

**DOCKET ITEM #6**  
**Development Special Use Permit #2020-00012**  
**TMP Special Use Permit #2020-00060**  
**North Potomac Yard Innovation Campus**  
**Virginia Tech Academic Building – Blocks 4 & 7**

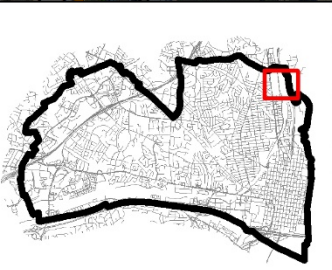
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<b>Application</b>	<b>General Data</b>	
<b>Project Name:</b> Virginia Tech Academic Building – 7W	PC Hearing:	October 6, 2020
	CC Hearing:	October 17, 2020
	If approved, DSUP Expiration:	October 17, 2025
	Plan Acreage:	3.51 acres
<b>Location:</b> 3601 Potomac Avenue Blocks 4 and 7 Phase 1 – North Potomac Yard	Existing Zone:	CDD #19 North Potomac Yard
	Proposed Use:	Academic Building with below ground parking
	Gross / Net Floor Area:	300,000 sf / 270,516 sf
<b>Applicant:</b> Virginia Tech Foundation & Virginia Tech, by Ken Wire, Wire   Gill, LLP	Small Area Plan:	North Potomac Yard
	Historic District:	Not Applicable to this site
	Green Building:	LEED Silver or equivalent for non-residential

<b>Purpose of Application</b>
The applicant requests approval of a new 11-story academic building with two levels of below grade parking, a central campus and two temporary surface parking lots.
<b>Special Use Permits and Modifications Requested:</b>
<ol style="list-style-type: none"> <li>1. A development special use permit and site plan to construct an academic building with below grade parking and temporary surface parking lots;</li> <li>2. A special use permit for a transportation management plan for Tier 3 (large projects); and</li> <li>3. Modification to the Height to Setback Ratio.</li> </ol>

<b>Staff Recommendation: APPROVAL WITH CONDITIONS</b>
<b>Staff Reviewers:</b> Karl Moritz, Planning Director <a href="mailto:karl.moritz@alexandriava.gov">karl.moritz@alexandriava.gov</a> Robert M. Kerns, AICP, Division Chief <a href="mailto:robert.kerns@alexandriava.gov">robert.kerns@alexandriava.gov</a> Dirk H. Geratz, AICP, Principal Planner <a href="mailto:dirk.geratz@alexandriava.gov">dirk.geratz@alexandriava.gov</a> Sara Brandt-Vorel, Urban Planner <a href="mailto:sara.brandt-vorel@alexandriava.gov">sara.brandt-vorel@alexandriava.gov</a> Abigail Harwell, Urban Planner <a href="mailto:abigail.harwell@alexandriava.gov">abigail.harwell@alexandriava.gov</a>





**Development Special Use Permit #2020-00012**  
**Transportation Management Plan**  
**Special Use Permit #2020-00060**  
**3601 Potomac Avenue**

0 140 280 560 Feet





## **I. SUMMARY**

### ***A. Recommendation***

Staff recommends approval of the requested applications, subject to compliance with the Staff Recommendations. The proposal provides several public benefits including:

- New academic building for the Virginia Tech Innovation Campus;
- Construction of a new building on a currently underutilized site;
- Expansion and increased urban development within Potomac Yard;
- Location near the new Potomac Yard Metro Station;
- Construction of high-quality architecture and compliance with the 2019 Green Building Policy.

### ***B. General Project Description and Key Issues***

The applicant, The Virginia Tech Foundation (Virginia Tech) and Virginia Tech (Virginia Tech), represented by Kenneth Wire, Wire | Gill LLP, is requesting a development special use permit (DSUP) to accommodate a new 11-story, approximately 300,000 square foot (gross) office building with a below grade parking garage, a campus plaza, and two temporary surface parking lots (until a second and third building can be built in the future) on the site of the CPYR Movie Theatre. The building identified as building 7W is the first of three buildings planned for the Virginia Tech Innovation campus. The other two buildings will be built in the future and replace the temporary parking lots as funding permits.

To construct this project, the applicant has requested approval of:

- Development Special Use Permit with site plan;
- A Special Use Permit for a Transportation Management Plan (TMP); and,
- Modification to the Height to Setback Ratio.

Key issues under consideration and discussed in greater detail in this report include:

- Compatibility with the North Potomac Yard Urban Design Guidelines;
- Environmental Sustainability;
- Transportation, Transit, Pedestrian, bicycle and Streetscape Improvements; and
- City Policies and Contributions.

### ***C. Report Organization***

This staff report is for cases DSUP 2020-00012 and TMP 2020-00060, which is focused on the North Potomac Yard Blocks 4 and 7 related to the Virginia Tech Innovation campus. Specifically, this report is for the approval of the first of three new academic buildings for Virginia Tech, identified as building 7W. The future two buildings will be submitted in the future for review and approval of separate DSUPs. For information regarding the proposed development of the other six buildings within the

North Potomac Yard Innovation District and a more detailed review of all other elements related to the North Potomac Yard overall implementation and development of Phase 1, please refer to the staff report for DSUP’s 2020-00013, 2020-00014, 2020-00015, 2020-00016, 2020-00017 and 2020-00018.

## **II. BACKGROUND**

### ***A. Detailed Project Description***

The proposed Virginia Tech Innovation campus consists of 3.51 acres and two blocks at the northern end of the first phase of redevelopment of North Potomac Yard. The two blocks include block 4 with one building pad and block 7 which has two building pads, 7 west (7W) and 7 east (7E). Building 7W is the subject of this DSUP approval.

The North Potomac Yard Small Area Plan concept plan designated 600,000 square feet of academic use for blocks 4 and 7, consistent with the Coordinate Development District #19 zoning requirements (CDD #19). Block 4 is approved for 150,000 gross square feet and a height of up to 110 feet. Block 7 is approved for 450,000 gross square feet with 300,000 gross square feet allocated to Building 7W and 150,000 gross square feet for Building 7E with heights of up to 180 feet and 80 feet, respectively.

Building 7W will not only be the anchor for the campus but also will bookend new development at the north end of Phase 1 and will cap the end of “new street A” affording views of the building from the southern end of the New Street A and Metro Plaza. The building’s main entrance is at the southeast corner of the structure, which will provide the primary access to the building and the first-floor lobby. This entrance will open onto the central campus area which consists approximately one acre of vehicle free open space.

Parking for the entire campus will be provided in a two level below grade parking garage. A portion of this underground garage will be built with building 7W. Two temporary surface parking lots in the area of future buildings 4 and 7E are included of this DSUP.

As the first building, 7W will be the flagship building for the campus and will not only consist of a cutting-edge design but will also be cutting edge regarding sustainability. The applicant has indicated that the new office building will be designed to achieve LEED Silver certification to benefit the environment and reduced long-term operating costs.

### ***B. Site Location***

The subject site, North Potomac Yard, is approximately 69.07 acres (64.6 acres after the dedication of Potomac Avenue) and consists of two parcels of land, bisected by Potomac Avenue. The smaller parcel of approximately 19 acres, known as Phase 1, is located to the east of Potomac Avenue and currently consists of the Regal Potomac Yard Movie Theater and surface parking lots. The remaining 45 acres of land are located to the west of Potomac Avenue, known as Phase 2 and consist of a mix of retail stores and restaurants, such as a Target, Old Navy, &Pizza, Cava and Best Buy along with required

surface parking. The various retail buildings were constructed during the 1990s and have hosted a mix of neighborhood and regionally serving retail tenants.

*Graphic #1: Virginia Tech Campus Shown in Red Oval at north end of Phase 1*



The site is well served by vehicular access as Route One is a primary transportation corridor within the City and the site is proximate to the George Washington Memorial Parkway. The subject site is also within a quarter mile of numerous DASH and WAMATA bus routes. The site is also directly served by the City’s Metroway (a Bus Rapid Transit Line) which provides connectivity between the Braddock Road and Pentagon City Metro Stations. Additional BRT stops will be added within North Potomac Yard as the site redevelops. The North Potomac Yard site is also directly south of the Ronald Reagan Washington National Airport, providing easy access to an airport with nationwide flights.

The site has several development constraints, most notable, the Federal Aviation Administration (FAA) building height restrictions due to the site’s location within the flight path to Ronald Reagan Washington National Airport. As such, the maximum heights within the North Potomac Yard Small Area Plan and CDD Concept Plan have been set as the maximums per the identified flight paths and all final building heights must receive approval from the FAA. Additionally, within Phase 1 of North Potomac Yard, the easternmost portion of the site, east of New Street B, falls within the 500-foot boundary of the George Washington Memorial Parkway and is within the boundaries of the City’s Old and Historic District. As such, any structures and permanent fixtures may require review and approval by the Board of Historical Review, in addition to applicable design review boards. A portion of the northernmost end of North Potomac Yard, adjacent to Four Mile Run, falls within the boundaries of a designated Resource Protection Area.

### ***C. Evolution of the Innovation Campus – Phase 1 of North Potomac Yard***

With a goal of enabling Virginia Tech’s Innovation Campus to open for students in the Fall of 2024, the applicant and staff have developed a phased approach to review the development proposals for

Phase 1 of North Potomac Yard. With an ongoing review process, the applicant team has previously brought the following applications to Planning Commission and City Council for approval.

*March 2020*

- **Master Plan Amendment MPA #2019-0008:** to amend the North Potomac Yard Small Area Plan to incorporate Virginia Tech and the Innovation District to include:
  - a new section describing the intent and objectives of the Innovation District;
  - a new text and map amendments;
  - amended square footages and locations of uses;
  - amendments to retail locations;
  - amendments to framework streets and pedestrian connections; and
  - amendments to building heights.
- **Subdivision #2019-00004:** to create a stand-alone parcel for the Virginia Tech campus which combines blocks 4 and 7.
- **North Potomac Yard Design Standards & Guidelines:** to amend the North Potomac Yard Design Standards & Guidelines to create an addendum for the new Innovation District Design Excellence Prerequisites and Criteria.

*June 2020*

- **Text Amendment #2020-0001:** to reflect use land changes and maximum building height references.
- **CDD #19 Concept Plan Amendments #2019-0008:** to amend the CDD Concept plan and conditions for consistency with the Small Area Plan and current regulations.
- **Preliminary Infrastructure Site Plan DSP #2019-0043:** to begin the site preparation and installation of the interim road network and permanent site infrastructure for Phase 1 North Potomac Yard. As a site plan, this will only be reviewed by Planning Commission.
- **Development Special Use Permit DSUP #2020-0008:** to approve a pump station as a special utility use in North Potomac Yard to include the general location, size and approve the mechanical equipment for the pump station,

Additional requests are being considered in October 2020 to build upon the initial approvals in March and June. The October approvals are focused upon the development requests needed to construct the physical buildings on each block and the associated final conditions of the streetscape and publicly accessible open spaces. To facilitate the individual building Development Special Use Permits, the applicant is seeking a Master Plan Amendment and CDD Concept Plan amendment to increase the height on two blocks and a subdivision to create the individual blocks, roads, park and other parcels. Additional requests are being brought forward.

*October 2020:*

- **Master Plan Amendment MPA #2020-0005:** to amend the North Potomac Yard Small Area Plan to increase building heights.

- **CDD #19 Concept Plan Amendments #2020-0004:** to amend the CDD Concept plan to increase building heights for consistency with the proposed Master Plan Amendment MPA #2020-0005.
- **Subdivision #2020-0004:** to subdivide the parcels for each block, Potomac Yard Park, the pump station and Metro Station.
- **Development Special Use Permits (Six):** Six Development Special Use Permits for the construction of two new residential buildings and four new office buildings with ground floor retail and commercial uses. Requested modifications to height-to-setback requirements, Landscape Guidelines, and increased penthouse height. Please see individual building descriptions for greater detail.
- **Transportation Management Plan SUP #2020-00042:** Special Use Permit for a Transportation Management Plan for Tier 3 (two multi-family buildings and four office buildings). TMP SUP #2020-00060 (for Virginia Tech Building 7W being processed with DSUP#2020-00012).
- **Street Name Case SNC #2020-0003:** consideration of a request for to name three new streets to be constructed in North Potomac Yard.
- **Environmental Sustainability Master Plan:** to provide a framework for achieving carbon neutrality by 2040 and guide for long-term sustainable practices in North Potomac Yard.
- **Open Space Master Plan:** An overarching vision for the design and principles of open space in North Potomac Yard for Phase 1 and Phase 2 to ensure open space meets the diverse needs of the community.

The final round of approvals will come in the winter of 2020 or early 2021 to wrap up the final DSUP and SUP requests for consideration. Those include for Phase 1 of North Potomac Yard:

- **Pump Station DSUP #2020-10024:** to request approval of the building architectural design for the pump station structure.
- **Potomac Yard Park DSUP #2020-10025:** A Development Special Use Permit to permit the construction of North Potomac Yard Park.
- **Coordinated Sign SUP #2020-0043:** A coordinated sign plan for sitewide signage.

Future development is envisioned in Phase 2 of North Potomac Yard consistent with the North Potomac Yard Small Area Plan and the CDD Concept Plan and does not have a timeline identified for redevelopment.

### **III. ZONING**

#### ***A. Current Zoning***

The subject site is zoned CDD#19 and constitutes the boundaries of the North Potomac Yard Small Area Plan and the CDD Concept Plan. The CDD #19 zoning and CDD Conditions regulate the mix of uses, permitted densities and building heights in North Potomac Yard. The underlying zone of the subject property is Industrial (I). A summary of the CDD zoning is provided in Table #1 as follows:

*Table #1: CDD #19 Zoning Parameters*

CDD No.	CDD Name	Without a CDD Special Use Permit	With a CDD Special Use Permit		
			Maximum F.A.R. and/or Development Levels	Maximum Height	Uses
19	North Potomac Yard	The CSL zone regulations shall apply on the first 250 feet east of Route 1, and the I zone regulations shall apply on the remainder of the site. However, in no case shall the development exceed 610,000 square feet.	Maximum development levels will be as depicted in Table 2 of the CDD conditions. Conversion of square footage between uses may be permitted through the development special use permit process.  Refer to Table 1 of the CDD conditions for maximum parking ratios.	Heights shall be as shown in the North Potomac Yard Small Area Plan, as may be amended.	Mixed-use development to include, amusement enterprises; child care home; day care center; health and athletic club; health professional office; home professional office; restaurant; business and professional office; multi-family dwelling; retail shopping establishment; public park and community recreation buildings; outdoor dining; valet parking; light assembly; service and crafts; private school (commercial); private school (academic); personal service; hotel; parks and open spaces; public schools; special use utility; and community facilities.

***B. Zoning Tabulations***

*Table #2: Proposed Zoning Tabulations*

Property Address:	3601 Potomac Avenue – Blocks 4 and 7	
Total Site Area:	152,868 square feet (3.51 acres)	
Zone:	CDD #19	
Proposed Use:	Academic Building 7W – Phase 1	
Building 7W	Permitted / Required per CDD#19	Proposed
Gross Floor Area	300,000 sf	300,000 sf
FAR	N/A	1.77
Height	180 feet	120 – 180 feet
Setbacks	N/A	2.1 ft Potomac Ave / 5 ft E. Reed
Permanent Parking:		176 spaces (below grade)



Temporary Surface Parking”	N/A	103 spaces
Total Parking	spaces	279 spaces
Loading spaces:	N/A	1 space

## IV. STAFF ANALYSIS

### *A. Master Plan and CDD Concept Plan*

The proposed academic campus is following both the updated North Potomac Yard Small Area Plan (as amended by MAP2020-00005) and the corresponding CDD #19 (as amended by CDD2020-00004). These plans were amended to reflect the desire of Virginia Tech to locate their Innovation Campus in Potomac Yard. As noted earlier, a parallel staff report analyzing the other six buildings in Phase 1 provides additional detail regarding the Master Plan, CDD Concept Plan, infrastructure plan and park and open space plans.

### *B. Site and Building Design*

#### *Urban Design Guidelines:*

In March 2020, the Planning Commission and City Council endorsed the adoption of the *North Potomac Yard Innovation District Design Excellence Prerequisites and Criteria* (referred to as the Design Excellence Standards). This addendum to the existing North Potomac Yard Design Standards allows for more creativity and innovation to implement a high level of design excellence sought for the Phase 1 of development. At their core, the Design Excellence Standards set a higher level of baseline excellence, by establishing a set of prerequisite conditions an applicant must achieve. If an applicant can opt into the prerequisites, the Design Excellence Standards then permit a greater level of flexibility on the final architectural design.

The Design Excellence Standards set a high standard of expectations and baseline design, including:

1. The innovation district is conceived as an integrated whole;
2. Environmental sustainability is integrated with the design of infrastructure, open spaces and the buildings;
3. Quality and durable building materials are specified; and
4. Off-street parking is located below-grade.

As the applicant team committed to the prerequisites, staff and the Potomac Yard Design Advisory Committee (PYDAC) worked over the past year to evaluate the applicant’s design proposals for compliance with the Design Excellence Standards. In total, the committee met with the applicant team for a total of eleven times between November 2019 and September 2020 when they voted on the final building designs. Please see Table #6 under the “Community” section of this report for a summary of the applicant’s community meetings, which include all the PYDAC meetings.

On August 26, 2020, the applicant team from Virginia Tech presented their final building design proposals to the PYDAC committee. The building design reflected several months of discussion and feedback between the applicant team, PYDAC and City staff to arrive at a design which complies with the Design Excellence Standards and reflects the identity of the innovation District. Please see the attached letter of recommendation from the PYDAC Committee (Attachment #1). In addition to the letter of recommendation, a copy of the Design Excellence Standards Matrix provided to PYDAC is attached to this report (Attachment #2). The matrices have a building overview for each design criteria and how the applicant believes the building meets the prerequisites and criteria. Staff have also included a response for each design prerequisite or criteria.

### *Site Design:*

The applicant proposes to construct a new eleven-story academic building of approximately 300,000 gross (270,516 net) square feet on Block 7W of the Innovation District. Block 7W is situated at the north end of New Street A, at the intersection of East Reed Avenue and Potomac Avenue. This will be first building of three planned for the Virginia Tech campus. The first phase of a two level below grade parking garage will be constructed as part of the first building. This garage will be expanded with the additional two buildings in the future.

A temporary curb cut and ramp will provide access to the garage from New Street B. In the ultimate condition the curb cut will be constructed with Building 7E. Since the build-out of the parking garage will not occur for some time, two temporary surface parking lots will be constructed on Blocks 4 and 7E to ensure adequate parking in the interim period.

The campus site plan is designed to have publicly accessible sidewalks that provide pedestrian access to the building as well as to the future buildings. The interior of the campus is entirely vehicular free and creates a pedestrian only link between New Street A, at the south and North Potomac Yard park at the north. The campus grounds are divided into two areas, the flexible plaza at the south end and the campus green at the north end. The flexible plaza will be located between the two Block 7 buildings and begins at the north end of New Street A. This plaza serves as the entry portal to the inner campus and is paved with unit pavers and interrupted by irregularly shaped planting areas with seat walls. The north campus green is more open and consists of two open lawn areas and walkways passing through it. This space is located between the future buildings planned for Blocks 4 and 7E and is open on the north side to North Potomac Yard located across New Street B. Seat walls and an outdoor digital courtyard for learning add to this space.

The area designated for loading and deliveries at the north end of Building 7W is designed to be flexible space that can be used of other events outside of normal delivery times. These events may include, among others, an assembly space, exhibition space and for showing movies with the screen placed on the loading dock wall. The loading area will feel more like a plaza with a special paving pattern and a pedestrian connection to the campus green via a metal grate bridge spanning a bio-retention area.

**Open Space:**

The Virginia Tech campus will be providing the largest percentage of open space of any of the other blocks in Phase 1 of North Potomac Yard with a total of 44% with the construction of building 7W and 38% with the final build out of all three campus buildings. The open space, nearly all at ground level, consists of the flexible plaza, campus green and the service / flex space as described in the section above. The above grade open space is located on the rooftop at the eighth floor.

*Table #3: Amount of Open Space for the Virginia Tech Campus*

Open Space*				
	Ground Level	Roof Top	Total	Percent of Campus
Phase 1	49,689 sf	3,600 sf	53,289 sf	44%
Full Build	42,638 sf	3,600 sf	46,238 sf	38%

*\*Note these numbers are projected and may adjust up or down during the final site plan review.*

**Building Design:**

The proposed academic building has been designed by Smith Group Architects based in Washington, DC. The building has a dramatic, faceted “gem-like” shape and appearance resulting from the geometric carved form of the building to optimize its solar performance. The building form is a direct result of the goal of collecting solar energy through the orientation and placement of photovoltaic panels, which also create a unique skin to the building. Fins used to shade the interior of the building are placed with varying depths, again based on the orientation to the sun and solar performance, add depth to the exterior.

Staff finds the overall building form and organization is successful in meeting the Design Excellence Criteria by:

- The successful embodiment of sustainable design in the building’s overall design approach, massing and materials.
- Quality and durable building materials.
- An open ground floor which encourages porosity and views into the building, and interaction with the public.
- Glass expression which allows for sightlines into the building at various floors.
- The vertical expression of fins while preserving the geometric simplicity and crystalline expression of the building massing – there is a balance and tension between the “skin” and the fins that maintains the pristine form while achieving a finer grain of detail and environmental response
- Visual porosity of the first floor and entries from primary streets is critical in creating an active presence; staff recommends that an active, public entry to the lobby be added facing Potomac Avenue.

The building design also has a distinct variation in height, with the northern end of the building consisting of eight floors and the southern end with eleven floors. Furthermore, the roof of the eleventh floor is angled creating additional variation in height and overall interest.

The gem-like design will deliver a signature building in the overall site composition and balance of buildings in Phase 1 and a design that is distinguishes itself from the others. The ground floor consists of a two-story volume that is envisioned as a space that is very open and porous along much of its frontage. The first floor includes a large lobby space with a visitor center, a 200-person flexible space for lectures, special events and programs and back of house areas for building operations. A student project space with floor to ceiling glass is planned along the Potomac Avenue façade. This high-volume space is an open lab where student work can be showcased and will be visually open to the street to activate this street frontage. Loading for the entire building will be served through the singular loading dock at the northern end of the building with the loading doors discretely integrated into the surrounding wall through the consistent use of a singular perforated aluminum panel material.

The roof of the eighth floor will have two small areas of vegetated roof and a terrace open to users of the building. Additional solar panels may be added as an option on a steel trellis system located above the eighth-floor roof. The roof of the eleventh floor is also designed to add an optional solar array. The mechanical equipment yard will consolidate all rooftop mechanical equipment for the building on the eighth floor concealed on the other three sides by a screen wall and on the fourth side by the taller portion of the building.

The materials and colors have been carefully selected to give the building an unusual gold-warm tone presence. The use of photovoltaic glass fins combined with terra cotta or colored metal fins and louvers and subtly reflective glass and metal finishes will project an image of high-tech sophistication.

***Building Modification Request:***

As part of this application, the applicant is requesting a modification to the Zoning Ordinance related to the required height-to-setback ratio pursuant to Section 6-403 of the Zoning Ordinance.

Pursuant to Section 11-426 of the Zoning Ordinance, the Planning Commission may approve modifications to the site plan if the modifications are deemed:

1. Necessary and desirable to good site development;
2. Specific and identified features of the site design make up for those impacts otherwise protected by the regulations for which modification is sought; and
3. That such modification will not be detrimental to neighboring property or to the public health, safety, and welfare.

The modification request for relief from the height to setback ratio applies to the west and south sides of the building where they abut Potomac Avenue and E. Reed Avenue, respectively. The relatively narrow blocks laid out in North Potomac Yard require the applicant to maximize the height permitted under the Small Area Plan to balance the narrow building footprints. As such, the building height exceeds more than double the distance from the building face to the adjacent centerline.



1. *Necessary or desirable to good site development:* In order to achieve a feasible amount of project density to construct a new office building and to create an urban environment consistent with the intent of CDD #19, the applicant team would be required to set back the upper floors of the academic building to maintain the height-to-setback ratio. Furthermore, changes to the building design would result in the loss of building design features and alter an amazing design of this building which has received unanimous support for the Potomac Yard Design Advisory Committee.
2. *Specific and identified features of the site design make up for those impacts otherwise protected by the regulations for which modification is sought:* The creation of a car free campus providing 38% open space is achieved by placing the density of this building at the corner of Potomac and E. Reed Avenues and by limiting the footprint by increasing the height of the building. Impacts are further mitigated by creating a very dynamic building design with angled walls that pull back from the street. The incorporation of the shade fins on the exterior create depth and interest to the façade and mitigates the increased height along the two street frontages.
3. *That such modification will not be detrimental to neighboring property or to the public health, safety and welfare:* The proposed adjacent parcels have a similar rectangular parcel shape which will limit the buildings' abilities to adhere to the height-to-setback ratio and maintain enough floor area to be financially viable. As the adjacent properties and building designs have been designed coordination with each other and through a public process, it is reasonable the uniform modification to the height-to-setback ratio is not detrimental to the overall impact on this innovation campus focused development. Furthermore, staff has reviewed the proposed design with appropriate fire and safety considerations and the building will not be detrimental to public health, safety or welfare.

### ***C. Consistency with City Policies and Contributions***

#### ***Affordable Housing Policy:***

As a public school, this building was exempted from providing an affordable housing contribution consistent with the City's Procedures Regarding Affordable Housing Contributions. The North Potomac Yard Phase 1 DSUP's involving commercial and non-residential development will be making contributions pursuant to the CDD.

#### ***Public Art:***

The City's Public Art Policy, adopted by City Council in October 2012, established a voluntary monetary contribution for new development projects within the city which would fund new public art and encourage the growth of public art in the community. The contribution may be used for public art on site or dedicated to a fund to further the City's public art efforts in the surrounding community. If the applicant elects for a monetary contribution, instead of direct installation of public art on site, the policy requires a monetary contribution of \$0.30 per gross square foot of development, with a maximum contribution requirement of \$75,000 per building.

At this time Virginia Tech has identified a freestanding piece of art proposed for a central outdoor location within the campus green. Staff will continue to work with the applicant through the Final Site Plan process to finalize the public art contribution to either provide a monetary contribution or an on-site art installation. The art piece will be installed with one of the future campus buildings.

***Green Building Policy and Sustainability:***

All new development in North Potomac Yard will be subject to the City’s 2019 Green Building Policy. Pursuant to the Policy, new private developments are asked to achieve a minimum of Silver Certification in Leadership in Energy and Environmental Design (LEED), or an equivalent standard (Green Globes and EarthCraft have been identified as standard third-party equivalents to LEED).

In addition to achieving either the minimum level of certification for the development project, the Green Building Policy identifies required Performance Points in the areas of Energy Use Reduction, Water Efficiency and Indoor Environmental Quality. All buildings in North Potomac Yard will be held to these adopted City standards.

In addition to the Green Building Policy, Virginia Tech will be subject to the Environmental Sustainability Master Plan (ESMP) which set sitewide benchmarks to achieve carbon neutrality by 2040 and other sitewide sustainability goals. The ESMP for North Potomac Yard will provide a flexible framework of sustainability metrics for the site and individual buildings and is envisioned as a living document that will evolve alongside changes in technology. This framework will allow property owners and the City to identify shared measures of success and assess compliance over the long-term.

Virginia Tech is committed to / or planning for the following environmentally sustainable features:

- Building orientation to maximize solar performance;
- Façade designed for installation photovoltaic panels;
- Rainwater Harvesting Cistern to reuse rainwater;
- Electrical usage metering;
- Green Roof;
- Future sewage wastewater energy exchange (SWEE) to be co-located with the future NPY pump station, is a system that extracts thermal energy from wastewater.
- Potential geothermal bore field within NPY Park.

The building will target to meet LEED Silver building certification without the use of the SWEE or bore field. The solar element on the building will contribute to the LEED certification, specifically, the renewable energy credits that are part of the City’s Green Building Policy.

***Capital Bikeshare Contribution***

Bicycle access in and around the site will be supported by the bikeshare program, which creates extra flexibility for bikers who either don’t own a bike or don’t have a bike with them and want to make a quick connection to any of the nearly 400 bikeshare stations in the DC region. Bikeshare is

complimentary to the new Potomac Yard Metro Station, as it provides an easy way to connect from elsewhere in the community to or from the metro.

Staff are requesting space be provided for three bikeshare stations in North Potomac Yard Phase 1: a 19-dock station on Block 15 across from the Metro Station, a 15-dock station on Block 14 near the corner of Silver Meteor Ave and New Street A, and a 15-dock station on the Virginia Tech site. Staff believe these three locations will provide visibility from key activity areas, promote bikeshare connections within the site, and provide easy access to designated bike routes. Having three stations within the site will also create a desired level of flexibility and redundancy in case docks are full or empty at a nearby station. This is consistent with the number of bikeshare stations near other urban Metro Stations in Alexandria, as there are three bikeshare stations within 1,500 feet of both the King Street and Braddock Road Metro Stations.

Across all DSUPs in North Potomac Yard Phase 1, including the Virginia Tech site, staff are requesting \$250,000 for bikeshare contributions, as is consistent with the contribution schedule based on land use density for each building. At an average of approximately \$40,000 per bikeshare station with bikes, the estimated capital cost of the three stations is approximately \$120,000. Any funding that is not needed for fabrication and installation of the three stations will be used for operations and maintenance of bikeshare stations in North Potomac Yard, which is a significant portion of the costs of the bikeshare program, as the annual cost of operations and maintenance of a single station is typically around \$10,000-\$15,000 a year. It is estimated that after capital costs, the bikeshare contributions would fund operations and maintenance of the three stations provided in North Potomac Yard Phase 1 for four to five years after installation.

#### ***D. Pedestrian and Streetscape Improvements***

##### ***Streetscape:***

The development of Phase 1 in North Potomac Yard proposes to utilize a unique set of streetscape materials to create an identifiable district within North Potomac Yard and establish a sense of place. The overarching goal of the streetscape design is to create a safe and usable public realm for pedestrians, cyclists and vehicles to move through the neighborhood. The applicant has developed a common design palette for the permanent streetscape which will be delivered as each building completes construction, replacing the temporary streetscape and sidewalks as installed through the infrastructure site plan. The applicant has indicated redevelopment is likely to start in the northern portion of the site, around the Virginia Tech Campus, and move south towards the Metro Station.

The overall street design for North Potomac Yard creates a pedestrian-oriented experience along New Street A, along the key north-south spine of Phase 1. Along New Street A, the streetscape utilizes a curb less design between the sidewalks and the roads, with an integrated use of pavers between the road and the sidewalk. Delineation between the road and sidewalk is signaled through visual pavers, tactile pavers, planters, and at key intersections, the use of bollards. The unique streetscape of New Street A is extended throughout Phase 1 though installing raised platforms and raised intersections in key locations to create a uniform streetscape experience. The intersection of E. Reed Avenue and New Street A is raised to create a visually connected plaza experience between the Virginia Tech Campus,

the Partnership Building (Building 10) and the adjacent office use in Building 14. And as each east-west road intersects with New Street B along Potomac Yard Park, the applicant team is installing raised pedestrian crossings which continue the street scape design while simultaneously serving as a traffic calming measure to enhance pedestrian safety. At the southern end of the Phase 1 redevelopment, next to the Metro Pavilion, the curbless design of New Street A is echoed in Metro Plaza, which uses a pattern of pavers and a curb less design to mirror the overall streetscape while establishing a unique public space experience.

### ***Sidewalk Design:***

As each building on the campus is constructed, the final streetscape abutting the building will be added. This approach was conditioned in the CDD Conditions and replicated in each individual building DSUP condition of approval. The sidewalks for each building include an “Amenity Zone” of variable depth directly against the building wall. This area has been reserved for various building overhangs and architectural features to encourage a variety of depth in the building massing that does not encroach into the public right-of-way. Directly adjacent is a “Pedestrian Zone”, a minimum of an eight-foot wide area of the sidewalks which will be kept clear of any seating or other obstructions and is solely for the use of passage. These pedestrian zones will either be public sidewalks or covered with a public-access easement to ensure perpetual public access. The final area of the sidewalks, between the roadways and pedestrian zones is the “Landscape Zone” which varies from a minimum of eight feet in width upwards to twelve feet and will include areas of landscaped plantings and underground stormwater facilities, such as BMPs. This landscaped area will be used to strategically position benches and install lighting, meters, signage and other common streetscape features. The landscape areas will be public on public roads or covered by a public access easement on private sidewalks to ensure perpetual public access. While the sidewalk has been delineated into three zones, amenity, pedestrian and landscape zones, the streetscape materials and design seamlessly blend the three into a uniform sidewalk design. The applicant team has selected a blend of concrete pavers for the sidewalks which create a decorative pattern along the streetscape. Permeable pavers are being used for all on-street parking spaces, on both public and private roads and permeable pavers are to be installed on all public sidewalks throughout Phase 1.

## ***E. Transportation and Mobility Improvements***

### ***Transit:***

As reaffirmed in the Coordinated Development District Conditions in June 2020, the JBG applicant team will be providing a range of transit improvements in the Phase 1 Redevelopment of North Potomac Yard which will be delivered through the construction of individual building DSUPs. Phase 1 will deliver a new pedestrian-oriented network of streets and infrastructure to connect Phase 1 redevelopment with the City. The infrastructure site plan will deliver the initial construction of a new network of streets and sidewalks, while the permanent streetscape condition will be constructed on a block-by-block basis. As part of that process, new sidewalks will be installed along all new roads and through Potomac Yard Park to provide pedestrian connectivity.



To implement the bicycle network, as seen in the City’s Transportation Master Plan and the North Potomac Yard Small Area Plan, the applicant team is installing sharrows along New Street B and a bicycle lane along Silver Meteor Avenue. Intersection improvements along Potomac Avenue have been conditioned in the CDD, to provide signalized intersections and crosswalks, to facilitate safe passage across Potomac Avenue.

***Public Infrastructure:***

Additional public infrastructure is being constructed and provided by JBG in conjunction with the redevelopment of Phase 1. At the southern end of the site area, along New Street A between Blocks 18 and 20, the applicant team is constructing a new DASH Bus Depot which is directly adjacent to the forthcoming Metrorail Station. The DASH Bus Depot will include four bus bays and accompanying bus shelters, with the final design of the shelters to be established through the Final Site Plan process. The location will enable both southbound and northbound bus drop-off to occur and riders can cross Metro Plaza to easily access the Metro Pavilion and traverse the pedestrian bridge into the station. Prior to the final construction of the DASH Bus Depot, along New Street A, the applicant team is providing temporary bus stops along Potomac Avenue to ensure there is connectivity between the City’s multi-modal transportation options. As construction of Blocks 18 or 20 occurs, City and DASH staff will coordinate with the applicant team to ensure there is continuous and safe access between the temporary DASH bus stops and the Metro Pavilion for all riders.

Prior to any development in Phase 2, the developer shall collaborate with staff to determine the design of Potomac Avenue with transit dedicated lanes per the Small Area Plan. In addition, Phase 2 development will not preclude the expansion of the existing Metroway along Route One. These transit enhancements will greatly benefit students, faculty and staff. However, Virginia Tech will not be responsible for these improvements.

***Phase 1 Transportation Assessment:***

The anticipated trip generation for the building developed by Virginia Tech was included in the Phase 1 Multimodal Transportation Impact Study, which also included all other buildings developed by JBG within the Phase 1 site. This study was conducted to ensure the transportation network is adequate to support the proposed Phase 1 redevelopment of North Potomac Yard. The assessment assumed several trip-reduction factors such as internal capture, pass-by trips, and mode splits.

The study included operation analysis at eight intersections during both AM and PM Peak hour. The intersections included:

- Route One and E. Glebe Road
- Route One and E. Reed Avenue
- Potomac Avenue and E. Glebe Road
- The proposed intersecting streets of Phase 1 and Potomac Ave

To assess the operation of each intersection during interim stages of development and determine the impacts any changes proposed to the existing network would have in accordance to the proposed site, various conditions and scenarios were established and analyzed.

Based on the results of the study, staff concluded all proposed streets within the Phase 1 site which intersect Potomac Avenue, shall be signalized. Installing signals at each intersection ensures any delay and queuing exiting the site do not exceed acceptable level of service, provide safe and accessible crossing for pedestrians and bicycle users from/to site, and does not significantly degrade Potomac Avenue operation.

In addition to the various intersection improvements to address vehicular capacity issues, the development plans to align with city's guiding principle of encouraging multimodal-use and decrease the need for single-occupancy vehicle travel. Virginia Tech and JBG plan to contribute to these improvements as development occurs.

***Building 7W Vehicle Trips:***

The proposed 11 story academic building containing 300,00 square feet of floor area, building 7W is anticipated to generate approximately 270 base vehicle trips in the AM Peak Hour and 290 base vehicle trips in the PM Peak Hour, not accounting trip reduction factors. With the improvements conditioned with Phase 1 and considering various trip reduction factors, these additional trips do not result in exceeding acceptable intersection level of service throughout the study area.

The Block proposed by Virginia Tech is adjacent to the portion of E. Reed Avenue which is flush with the sidewalk to prioritize pedestrian activity and promote slower travel speeds. In addition, the portion of New Street B adjacent to the block proposed by Virginia Tech includes a raised mid-block crosswalk that enhances pedestrian visibility crossing New Street B to and from North Potomac Park. In addition, each proposed traffic signal adjacent to the block proposed by Virginia Tech shall include pedestrian signals with pedestrian push buttons, crosswalk crossing all legs of the intersection with ADA compliant curb ramps on all corners, and sufficient sidewalk space that corresponds with the anticipated pedestrian activity and provides considerable level of comfort. All other unsignalized intersections adjacent to the block will also include crosswalks on all legs with ADA compliant curb ramps or detectable warning strips on all corners.

The Building 7W site includes several bike rack locations along the frontage, a bike room adjacent to the parking garage entrance, and accessible routes to bike and pedestrian friendly facilities. In addition, a strong emphasis was placed upon pedestrian and cyclist connectivity between the site and the future Potomac Yard Metro Station. And finally, the site does not preclude future plans of a transit dedicated lane or the expansion of the existing Metroway per the Small Area.

***Transportation Management Plan SUP:***

According to Section 11-700 of the Zoning Ordinance, the Applicant is required to participate in a Transportation Management Plan (TMP) Special Use Permit to encourage alternate modes of transportation resulting in a decrease of Single Occupancy Vehicle (SOV) trips. Further, Condition

#119 of approved amendments to CDD #19 required a TMP for each future DSUP proposed in the CDD. To support the TMP, the applicant has agreed to the City's standard TMP rates, (adjusted annually per the Consumer Price Index [CPI-U]) to be contributed to the City's TMP fund.

Based on the size of the proposed development the Virginia Tech building is classified as a Tier 3 TMP. Therefore, this building will be required to join the Citywide TDM program or partner with an adjacent program to satisfy the need for the TMP.

As part of the TMP, Virginia Tech will designate a TMP Coordinator. The Coordinator will be the point of contact with the City's Transportation Planning Division and will work with Staff to implement the TMP. The duties of the TMP Coordinator include maintaining updated contact information with Staff, distributing annual electronic surveys, managing and accounting the TMP fund, submitting reports to the City, and administering the program as required by the Zoning Ordinance. Conditions have been added that will apply to all developments within North Potomac Yard to coordinate on enforcement of the TMP.

### ***F. Parking and Loading***

With the applicant's decision to utilize the *North Potomac Yard Innovation District Design Excellence Guidelines* for the building architecture, all permanent parking was located underground pursuant to the prerequisites across Phase 1. Thus, the applicant team for building 7W has placed all proposed building parking underground. Limited street parking, primarily along New Street A and the western side of New Street B has been designed to provide short-term parking and the hours and timing of those spaces will be finalized during the Final Site Plan process and be consistent with street parking regulations across the City.

The building is designed to include underground parking, which is accessed by a single garage entrance from New Street B, limiting the number of curb cuts on adjoining streets. The loading dock entrance for the building is situated adjacent to Potomac Avenue with a separate curb cut. This loading dock is planned to serve the entire school campus. Thus, at full build out there will only be two curb cuts serving the campus. All curb cuts to the loading and garage entrances are designed to be flush with the sidewalk and utilize tactile or similar paving treatment to warn pedestrians.

#### ***Parking Ratios:***

Parking ratios for North Potomac Yard were established in the North Potomac Yard Small Area Plan and in CDD #19 which set parking maximums for uses. For each building, the amount of parking provided is less than the maximums as established in the CDD and complies with the Small Area Plan and CDD Conditions. Please see Table #4 below for details. By utilizing a parking maximum, each building will be able to develop a flexible parking strategy to provide a mix of parking for each building's users, balancing the needs of daytime office workers, retail shoppers, residents and other visitors to North Potomac Yard.

*Table #4: CDD #19 Parking Maximums*

Use	Maximum Ratio
Civic / Community Facilities	2.0 / 1,000 sq. ft.
Theater	0.1 / seat
Hotel (per room)	0.75 / room
Office	1.21 / 1,000 sq. ft.
Residential	1.0 / unit
Restaurant	3.5 / 1,000 sq. ft.
Retail	3.5 / 1,000 sq. ft.
<b>Academic (VT Campus)</b>	<b>1.2/1,000 sq. ft</b>

Virginia Tech proposes a shared underground parking garage which will span areas under the campus open space so that in the final building there will be one garage serving the three buildings that will ultimately make up the Virginia Tech campus. A total of 279 parking spaces will be built as part of this approval for building 7W. This includes 176 spaces in the first phase of the below grade parking and 103 spaces in the two surface lots combined. In the final build out a total of 494 spaces will be provided with all of them located in the below grade garage, as shown in Table #5.

*Table #5: Entire Phase 1 Parking*

Block	Units	Residential (SF)	Office (SF)	Academic (SF)	Retail (SF)	Total	Maximum Parking per CDD	Proposed Parking
4 & 7*	-	-	-	600,000	-	<b>600,000</b>	720	494
10	-	-	218,761	-	20,965	<b>239,726</b>	338	425
14	-	-	234,105	-	13,747	<b>247,852</b>	332	213
15	212	165,298	-	-	14,874	<b>180,172</b>	264	306
18	-	-	154,601	-	7,967	<b>162,568</b>	216	134
19	262	197,318	-	-	22,715	<b>220,033</b>	342	182
20	-	-	145,470	-	10,540	<b>156,010</b>	214	119
<b>Totals</b>	<b>474</b>	<b>362,616</b>	<b>752,937</b>	<b>600,000</b>	<b>90,808</b>	<b>1,806,361</b>	<b>2,426</b>	<b>1,879</b>

\*This is for all three Virginia Tech campus buildings at final build out.

***Temporary Surface Parking Lots:***

While prerequisite 4.1 of the *North Potomac Yard Design Excellence Standards* requires all parking to be provided entirely below grade, the applicant is seeking approval with this DSUP to utilize two interim surface parking lots on Blocks 4 or 7E until such time as those buildings' sites are developed. Staff has created a condition that allows additional flexibility to enhance these lots with additional landscaping and screening as well as allowing the lots to be used for special events.



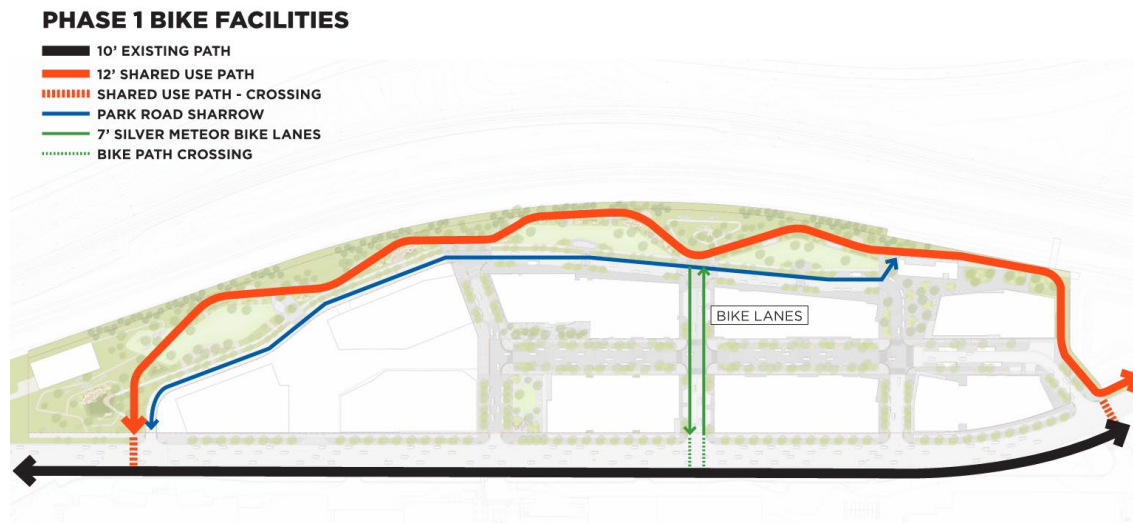
## G. Bike Network

As is described in the Small Area Plan and Environmental Sustainability Master Plan, North Potomac Yard is intended to be an area with convenient and diverse multimodal transportation options. This will not only help the City and North Potomac Yard meet sustainability goals by reducing carbon output and decreasing traffic congestion, but it will also support a vibrant and active community that is accessible for all.

Bicycling is envisioned to be a primary mode used for access to and within the site. The existing 10-foot wide asphalt path will remain along the west side of Potomac Avenue. Added to this trail are three new bike facilities, a new multi-use trail connection to the Potomac Yard Trail near the metro and into Crescent Park, the bike lanes on Silver Meteor Avenue, and the sharrows on New Street B provide a network for bicycle connectivity. The proposed visitor and long-term bicycle parking proposed at each building will make quick trips or longer-term bike storage convenient for different users of the site. See the Graphic #2 below of the proposed bicycle network.

Finally, bicycle access in and around the site will be supported by the bikeshare program, which creates extra flexibility for bikers who either don't own a bike or don't have a bike with them and want to make a quick connection to any of the nearly 400 bikeshare stations in the DC region. Bikeshare is complimentary to the new Potomac Yard Metro Station, as it provides an easy way to connect from elsewhere in the community to or from the Potomac Yard Metro station.

Graphic #2: Proposed North Potomac Yard Bicycle Network



## V. COMMUNITY

Table #6: Community Meetings

<b>Date</b>	<b>Meeting Forum</b>
November 12, 2019	Planning Commission & City Council Joint Work Session: Discussion on North Potomac Yard Innovation Campus Submissions
November 14, 2019	Community Meeting
November 20, 2019	PYDAC: Applicant introduction for Phase 1 Development in North Potomac Yard
February 5, 2020	PYDAC: Introduction of Design Excellence Standards (addendum to North Potomac Yard Design Guidelines) and applicant introduction to proposed CDD Concept Plan and Master Plan Amendments
February 13, 2020	Community Meeting
March 3, 2020	Planning Commission: Master Plan Amendment to the North Potomac Yard Small Area Plan and hearing for Virginia Tech Subdivision request
March 4, 2020	PYDAC: Applicant Introduction to Group 1 Building Designs
March 11, 2020	PYDAC: Applicant Introduction to Group 2 Building Designs
March 14, 2020	City Council: Master Plan Amendment to the North Potomac Yard Small Area Plan
<i>*All Meetings Transitioned to Virtual Due to COVID-19 Safety Practices *</i>	
April 22, 2020	Community Meeting
May 4, 2020	Community Meeting
May 6, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 1 Buildings
May 13, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 2 Buildings
May 18, 2020	Alexandria Affordable Housing Advisory Committee: Recommendation on Affordable Housing Contribution Requirements per CDD Amendments
May 19, 2020	Community Meeting
June 2, 2020	Planning Commission: Planning Commission Hearing for Zoning Text Amendment, CDD Concept Plan Amendment Infrastructure Site Plan and Pump Station DSUP
June 15, 2020	Environmental Policy Commission: Introduction to Environmental Sustainability Master Plan
June 20, 2020	City Council: Hearing for Zoning Text Amendment, CDD Concept Plan Amendment Infrastructure Site Plan and Pump Station DSUP
June 24, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 1 Buildings and Open Space and Public Realm Overview
June 29, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 2 Buildings
July 9, 2020	Parks and Recreation Commission: Introduction to Open Space Planning in North Potomac Yard

July 16, 2020	PYDAC: Applicant Presentation on the Public Realm Experience in North Potomac Yard (Streetscape, Open Space, Building Signage, and Sustainability)
August 17, 2020	Environmental Policy Commission Work Session: Interim update on status of Environmental Sustainability Master Plan
August 26, 2020	PYDAC: Applicant presentation on Architectural Refinements to Group 1 Buildings and PYDAC Recommendation
September 1, 2020	Planning Commission Work Session: Overview of Environmental Sustainability Master Plan
September 2, 2020	Board of Architectural Review: Introduction to the Pump Station Building Architecture
September 3, 2020	Alexandria Affordable Housing Advisory Committee: Vote upon affordable housing contribution proposal
September 9, 2020	PYDAC: Applicant presentation on Architectural Refinements to Group 2 Buildings and PYDAC Recommendation
September 16, 2020	Board of Architectural Review: Theater Demolition
September 17, 2020	Parks and Recreation Commission: Project update and recommendation on Market Lawn and Metro Plaza Design
September 23, 2020	Final Community Meeting

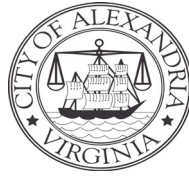
## **VI. CONCLUSION**

Staff recommends *approval* of the requested DSUP with Site Plan and TMP SUP subject to compliance with all applicable codes and the staff recommended conditions.

## **VII. ATTACHMENTS**

*Attachment #1: PYDAC Letter of Recommendation*

*Attachment #2: PYDAC Design Excellence Standards Matrix*



## POTOMAC YARD DESIGN ADVISORY COMMITTEE

DATE: September 22, 2020

TO: Karl Moritz, Director of Planning  
City of Alexandria

FROM: Jason Albers, Chair  
On behalf of the Potomac Yard Design Advisory Committee (PYDAC)

SUBJECT: North Potomac Yard, Phase 1 Development – Committee Recommendations

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Per Section 5-610 of the City’s Zoning Ordinance, the Potomac Yard Design Advisory Committee (PYDAC) is tasked with reviewing applications for preliminary development plan special use permit approval within CDD No. 10 Potomac Yard/Greens and CDD No. 19 North Potomac Yard, for compliance with the respective urban design guidelines or design standards applicable therein, and make recommendation on such applications to the planning commission and city council through the director.

In that role, the Committee met eleven (11) times since November 2019 to review six concurrent Development Special Use Permits for consideration within the boundaries of CDD #19 in an area known as the “Innovation District,” *See Table 1 for a list of meeting dates and topics.* Over the eleven meetings, the committee reviewed concept submissions for compliance with the *North Potomac Yard Design Excellence Standards*, an addendum to the *North Potomac Yard Design Guidelines* which was adopted by Planning Commission and City Council in March 2020. Given the volume of Development Special Use Permits to be reviewed by the Committee, meetings were typically spread over two nights to allow the committee adequate time to review and discuss each building.

The six Development Special Use Permits under consideration are the first development proposals within CDD #19 and the first projects to utilize the new *North Potomac Yard Design Excellence Standards*. Over two evenings, August 26, 2020 and September 9, 2020, the Committee met with the applicant team to review the final building design submissions and make recommendations on the proposed designs. The summary below is a building-by-building overview of the Committee’s recommendation. *Please see Tables 2 and 3 for committee attendance at each meeting.*

**August 26, 2020 Record of Recommendations from PYDAC**

**Building 7w: Virginia Tech Academic Building Designed by SmithGroup Architects**

- The Committee voted unanimously to recommend approval of the Building 7w design, as presented on August 26<sup>th</sup> with no additional conditions.

**Building 10: Partnership Building (Office) Designed by Hickok Cole Architects**

- The Committee voted unanimously to recommend approval of the Building 10 design, as presented on August 26<sup>th</sup> with no additional conditions.

**Building 14: Office Building Designed by Cook Fox Architects**

- The Committee voted unanimously to recommend approval of the Building 14 design, as presented on August 26<sup>th</sup> with the requested condition that the applicant provide an updated exhibit detailing the quality, color and proposed design of the parking and loading garage doors along Silver Meteor Avenue be provided to staff to be included in the Final Staff Report.

**September 9, 2020 Record of Recommendations from PYDAC**

**Building 15: Residential Building Designed by Hord Coplan Macht Architects**

- The Committee voted unanimously to recommend approval of the Building 15 design, as presented on September 9<sup>th</sup> with no additional conditions.

**Building 18: Office Building Designed by Hickok Cole Architects**

- The Committee voted unanimously to recommend approval of the Building 18 design, as presented on September 9<sup>th</sup> with no additional conditions.
- The Committee voted unanimously to request a condition requesting the applicant return to PYDAC to seek additional input from the committee on the sitewide design elements, Market Lawn, an interim Metro Plaza design and a final Metro Plaza design as outlined in the staff memorandum to PYDAC for the August 23<sup>rd</sup> and September 9<sup>th</sup> meetings, related to compliance with Criteria 4.3 and 2.3 of the Design Excellence Standards.

**Building 19: Residential Building Designed by Hord Coplan Macht Architects**

- The Committee voted unanimously to recommend approval of the Building 19 design, as presented on September 9<sup>th</sup> with the requested condition to provide additional flexibility

in the final materials, fenestration detailing and signage of the one-story retail base (corner element) at the northwest intersection of New Street A and Evans Lane.

**Building 20:** Office Building Designed by Elkus Manfredi Architects

- The Committee voted seven-to-two to recommend approval of the Building 20 design, as presented on September 9<sup>th</sup> with no additional conditions with Ms. Appleby voting nay and Mr. May abstaining.

**Table 1: PYDAC Meeting Schedule for Phase 1 Redevelopment of North Potomac Yard**

<b>Date</b>	<b>Meeting Forum</b>
November 20, 2019	PYDAC: Applicant introduction for Phase 1 Development in North Potomac Yard
February 5, 2020	PYDAC: Introduction of Design Excellence Standards (addendum to North Potomac Yard Design Guidelines) and applicant introduction to proposed CDD Concept Plan and Master Plan Amendments
March 4, 2020	PYDAC: Applicant Introduction to Group 1 Building Designs
March 11, 2020	PYDAC: Applicant Introduction to Group 2 Building Designs
<i>*All Meetings Transitioned to Virtual Due to COVID-19 Safety Practices *</i>	
May 6, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 1 Buildings
May 13, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 2 Buildings
June 24, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 1 Buildings and Open Space and Public Realm Overview
June 29, 2020	PYDAC: Applicant Presentation on Architectural Refinements to Group 2 Buildings
July 16, 2020	PYDAC: Applicant Presentation on the Public Realm Experience in North Potomac Yard (Streetscape, Open Space, Building Signage, and Sustainability)
August 26, 2020	PYDAC: Applicant presentation on Architectural Refinements to Group 1 Buildings and PYDAC Recommendation
September 9, 2020	PYDAC : Applicant presentation on Architectural Refinements to Group 2 Buildings and PYDAC Recommendation

Potomac Yard Design Advisory Committee  
 North Potomac Yard Phase 1 Committee Recommendations  
 September 18, 2020

**Table 2: Committee Attendance on August 26, 2020 PYDAC Meeting**

<b>Member</b>	<b>Attendance</b>	<b>Member</b>	<b>Attendance</b>
Jason Albers	Present	Matthew Johnston	Present
Nancy Appleby	Present	Peter May*	Present
Corey Faherty	Present	Jeremy Moss	Present
Jeremy Fretts	Present	Kristen Nunnally	Present
Travis Herret	Present	Amol Vaidya	Absent

\*As a representative of the National Park Service on the Committee, Mr. May abstained from all voting during the evening but participated in the discussion. All “unanimous” votes below include an abstention from Mr. May.

**Table 3: Committee Attendance on September 9, 2020 PYDAC Meeting**

<b>Member</b>	<b>Attendance</b>	<b>Member</b>	<b>Attendance</b>
Jason Albers	Present	Matthew Johnston	Present
Nancy Appleby	Present	Peter May*	Present
Corey Faherty	Present	Jeremy Moss	Present
Jeremy Fretts	Present	Kristen Nunnally	Present
Travis Herret	Absent	Amol Vaidya	Present

\*As a representative of the National Park Service on the Committee, Mr. May abstained from all voting during the evening but participated in the discussion. All “unanimous” votes below include an abstention from Mr. May.



## ATTACHMENT #2

Potomac Yard Design Advisory Committee

Design Excellence Matrix

Block 7W

Criteria	Text	Yes / No	Applicant Comments	Staff Comments
C-1	A variety of open spaces are provided.			
C-1.1	A variety of open spaces, which contribute to the regional network, are provided.	Yes	Blocks 4 and 7 contain a series of outdoor spaces that provide a variety of spatial experiences, through compression and expansion, and tactile experiences including a hardscape entry plaza at Reed Ave, quiet areas with seat walls for small gathering and open lawn for larger gatherings. The loading area for buildings 4 and 7W can be repurposed as a flexible plaza for open air or tented events. These campus environments engage the public realm and link directly to the local and regional open space network. Additionally, a terrace on level 8 provides outdoor gathering space and is another type of open space provided.	Complies.
C-1.2	The District includes public and private open spaces that, in concert with the regional Potomac Yard Park, support a variety of active, social, and passive uses in a mix of urban plazas, lawns, shared streets, rooftop open spaces, and recreational areas.	Yes	The series of experiences connecting Reed Avenue through campus to the park on the east side of the development vary to support large and small activities.	Complies.
C-2	An active public realm (streets, sidewalk, streetscapes).			

C-2.1	The public realm prioritizes the pedestrian experience and ground floors of buildings include active uses, interior-exterior visibility, and high-quality architecture.	Yes	At the ground level, glass walls wrap the east façade, south facade and south end of the west facade to connect activities inside and out into the campus and streetscape. On the campus side, interior and exterior spaces are both programmed for collaboration zones, creating activity clusters on both sides of the double height glass walls. Along Potomac Avenue, glass curtain walls at areas showcasing research and science are highlighted with increased openness of the facade's gradation of projecting fins above.	Complies.
C-2.2	Streetscape design incorporates the City's Complete Streets Design Guidelines, with amenities and infrastructure for pedestrians, bicyclists, and transit.	Yes	In progress, additional detail to be provided with a later submission.	Complies.
C-2.3	Site design incorporates high quality paving materials, site furnishings, and lighting.	Yes	In progress, additional detail to be provided with a later submission.	Complies.
C-2.4	Service areas will be designed to be compatible with the public realm and pedestrian experience while remaining as unobtrusive as possible.	Yes	Service for blocks 4 and 7 is consolidated to one area on Potomac Avenue, allowing for pedestrians to circulate through the campus separately from the service area.	Complies.
C-3	Inclusive design of buildings and open spaces.			

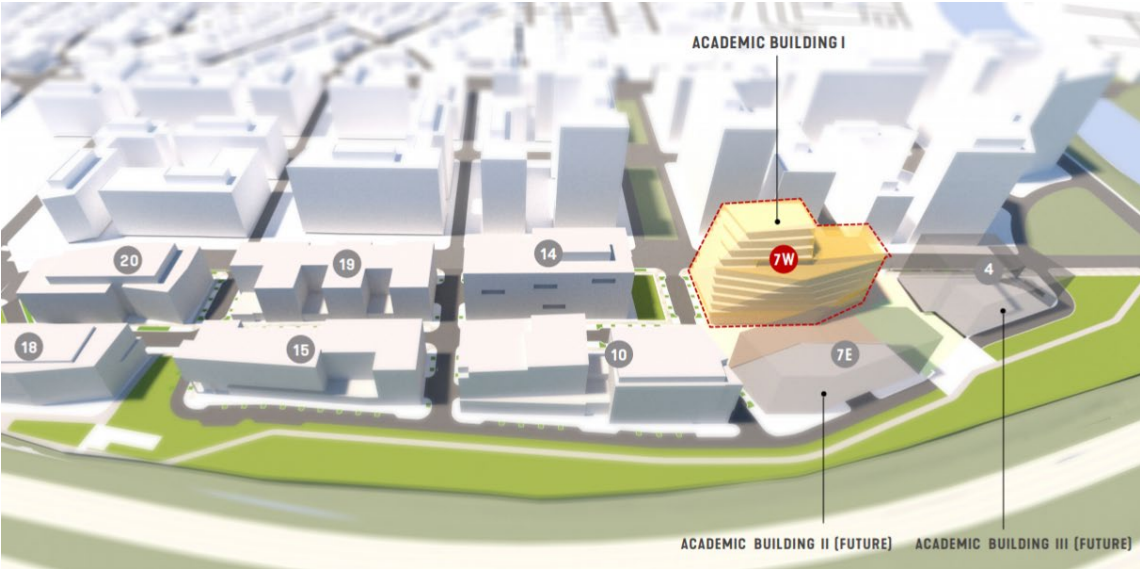
C-3.1	Building and open space design responds to the needs of diverse users and meets or exceeds the requirements of the Americans with Disabilities Act.	Yes	Blocks 4 and 7 walkways will all be 5% grade or less creating a campus environment without ramps or steps, and building entrances will be prominent, with the goal of inclusivity and ease of use.	Complies.
C3.2	Across the District, buildings and open spaces invite users of different ages, interests, and abilities to engage with the spaces.	Yes	The variety of open space, designed to be inclusive, will naturally attract people of all ages, and abilities, to encourage interaction for work and recreation - including Virginia Tech prospective students, current students, staff and faculty as well as alumni and their families.	Complies.
C-4	Utilitarian uses are thoughtfully integrated.			
C-4.1	Site and building design creatively integrates all support functions, parking garage entrances, loading docks, utility and mechanical spaces and penthouses to eliminate unsightly views and conflicts with pedestrians, and utilize creative screening where needed.	Yes	The building does not have a mechanical penthouse; a small amount of exterior equipment will be located behind a screen on level 8. Louvers for mechanical system demand are integrated into the building form, creating a reveal to reduce scale along the west façade.	Ongoing: Staff agrees the site and building design well integrate the utilitarian functions.  However, staff would encourage Virginia Tech to address the design of the two temporary surface parking lots. Staff would like to see the lots be designed in a way that allows them to be used in other ways such as added gathering spaces, incorporate environmentally appropriate features such as increased tree canopy, pervious paving, and

				screening features along the street frontages.
C-5	Building Signage is unique and identifiable.			
C-5.1	Signage design integrates high quality graphics with a variety of diverse signage styles into the architectural elements and streetscape to form an attractive composition.	Yes	The Coordinated Sign Program (CSP) encompasses a variety of sign types and styles that will be a cohesive part of the architecture, streetscape and overall experience in the public realm throughout the Innovation District. Sign types addressed in the CSP include, but are not limited to, building top signs, building entrance signs, a variety of sign types for retail and restaurant uses, vehicular and pedestrian wayfinding signs, historic interpretive signs, project icon signs that will identify the District and contribute to a unique sense of place, and innovative digital display signs that take advantage of technology to foster a sense of arrival in the Innovation District.	Not yet met: Staff is reviewing the first coordinated sign plan submission and will continue to coordinate with the applicant and PYDAC to finalize the signage proposal.
C-5.2	Signage utilizes high quality materials and appropriate lighting to ensure successful integration with the quality of buildings and site design.	Yes	The CSP includes guidelines for materials, illumination, and methods of installation for the various sign types throughout the District to ensure signs are integrated with the quality of buildings and site design.	Not yet met: Staff is reviewing the first coordinated sign plan submission and will continue to coordinate with the applicant and PYDAC to finalize the signage proposal.
C-5.3	Signage is creative, unique to the user, and enhances the visual	Yes	The parameters established by the CSP maintain a cohesive, District-wide approach to signage while allowing flexibility and	Not yet met: Staff is reviewing the first coordinated sign plan

	experience while providing clear, concise information and direction.		encouraging creativity in sign design for individual tenants throughout the District.	submission and will continue to coordinate with the applicant and PYDAC to finalize the signage proposal.
C-6	Architectural Excellence.			
C-6.1	There is variety of architectural character, height, massing, and articulation which express a clear overall composition among the buildings within the District.	Yes	Virginia Tech's Academic 1 is designed as an urban icon with increased height relative to the other buildings and a high degree of sculpting. The building acts as a bellwether and marks entry to the VT campus.	Complies.
C-6.2	Individual buildings express their purpose and program through design while positively contributing to both the character of the overall urban plan as well as the individual block context.	Yes	The building contributes a meaningful, unique form derived entirely from site context; utilizing computational modeling to optimize solar energy capture. This correlates directly to research, innovation and ongoing work within Virginia Tech and sets the precedence for the two future campus buildings in iteration of this theme. The campus plan responds directly to the urban surroundings by opening the campus core to the terminus of a retail street, setting urban edges at the perimeter of campus, and softening and greening the campus landscape as it connects to the city park.	Complies.

C-6.3	Building massing generates depth, a layering of visual interest and expresses the building's program.	Yes	The unique massing is directly tied to utilization of site opportunities, technological innovation and programmatic needs, which creates facades that address scale, shading, and proportion. The form was derived in part through computational analysis, expressive of the building's program which is primarily graduate level computer science and computer engineering.	Complies.
C-6.4	Buildings read as holistic and comprehensible entities.	Yes	The building facades and roof create a singular sculpted form to support the conceptual idea of a site-specific, environmentally responsive solution.	Complies.
C-6.5	Materials are used creatively, employ expressive and innovative detailing and are consistent with the underlying building concept.	Yes	Building details support the sculpted form, working to optimize solar exposure where desired and block it where necessary, with all components working together while creating interesting intersections, joints and resolution of massing elements. The detailing weaves together visually warm elements with the performative technologies integrated into the facade.	Complies.

**VIII. GRAPHICS**

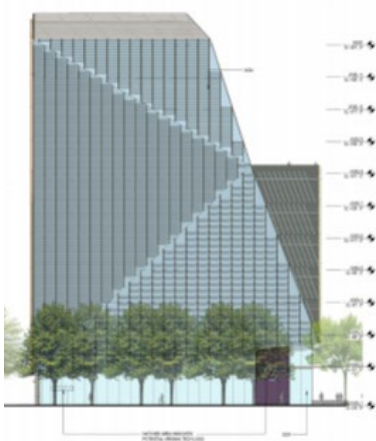


*Site Plan looking west*

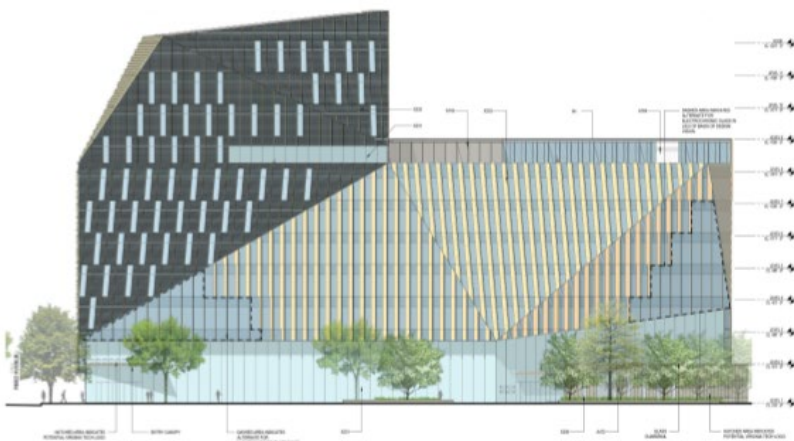


*View looking north from New Street B*

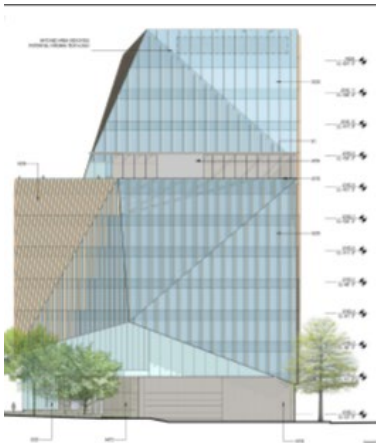




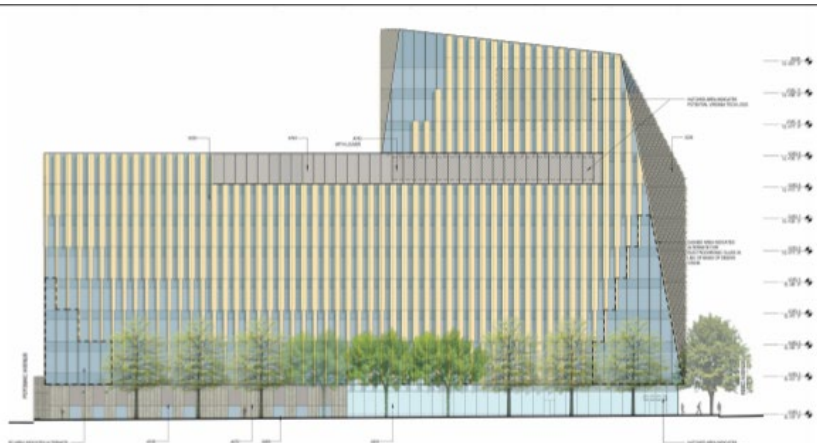
**SOUTH ELEVATION**



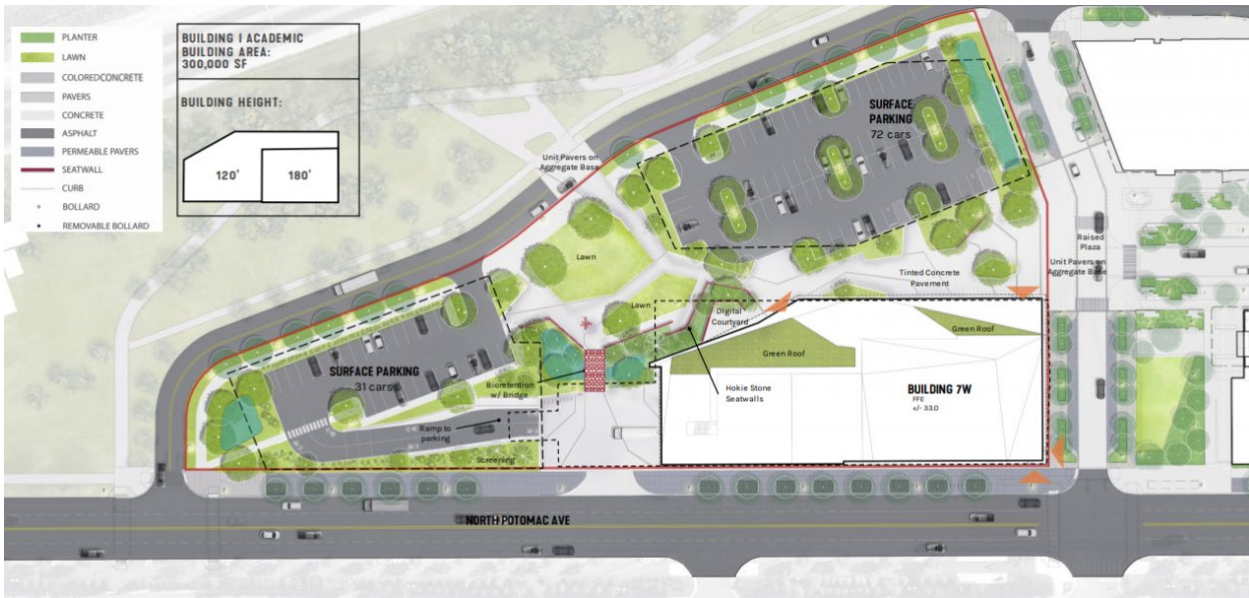
**EAST ELEVATION**



**NORTH ELEVATION**



**WEST ELEVATION**



*Site Plan of Entire Virginia Tech Campus – Blocks 4 and 7*

## **IX. STAFF RECOMMENDATIONS**

1. The Final Site Plan shall be in substantial conformance with the preliminary plan dated August 7, 2020 and comply with the following conditions of approval.
2. The City and the Applicant shall enter into a Memorandum of Understanding (“MOU”) to coordinate City review and release of the final site plan and the Applicant’s issuance of its own building permits and certificates of occupancy. The MOU shall address timing for review of the final site plan, alternatives to bonding of improvements in the public right of way, process for City comments on building permits and procedure for verification of compliance with these conditions. The MOU shall be completed and signed by all parties prior to the release of the final site plan. \*

### **A. SITE PLAN**

3. Pursuant Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 60 months after initial approval and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 18 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. The period of validity may be extended upon petition by the applicant and after adequate notice and public hearing. (P&Z)
4. Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include:
  - a. Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
  - b. Minimize conflicts with plantings, pedestrian areas and major view sheds.
  - c. Do not locate above grade utilities in dedicated open space areas and tree wells.
  - d. If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z) (T&ES) (BAR)
5. Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or P&Z in consultation with the Chief of Police and shall include the following:
  - a. Clearly show location of all existing and proposed streetlights and site lights, shading back less relevant information.
  - b. Determine if existing lighting on Potomac Avenue meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
  - c. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.

- d. All proposed light fixtures in the City right of way shall be consistent with the overall NPY Design Standards. Installed and maintained by JBG or their successors and subject to a maintenance agreement with the City of Alexandria.
  - e. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s), and security lighting.
  - f. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed streetlights and site lights.
  - g. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and streetlights to minimize light spill into adjacent residential areas.
  - h. If site lights are included in the photometric plan to comply with City's lighting standards, then these lights shall be put on photovoltaic switches.
  - i. Provide location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
  - j. Detail information indicating proposed light pole and any footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
  - k. The lighting for the areas not covered by the City of Alexandria's standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
  - l. Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development.
  - m. The walls and ceilings in the garage must be light-colored concrete (painted or dyed) to increase reflectivity and improve lighting levels at night.
  - n. The lighting for the underground/structured parking garage shall be an average of 5.0-foot candle maintained, when occupied. When unoccupied the lighting levels will be reduced to no less than 1.5-foot candles.
  - o. Light fixtures for the underground/structured parking garage shall be recessed into the ceiling for any areas that can be seen from the public ROW.
  - p. Light fixtures for open canopies shall be recessed into the ceiling or incorporate fixtures to minimize glare for any areas that can be seen from the public ROW.
  - q. Upon installation of all exterior light fixtures for the site/building, the applicant shall provide photographs of the site demonstrating compliance with this condition.
  - r. Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties.  
(P&Z) (T&ES) (Police)(BAR)(Code)
6. Provide a unit numbering plan for each floor of the building with the first Final Site Plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers for third

floor and continue in this scheme for the remaining floors. Indicate unit's use (i.e.: Academic, Lab, Retail, Office) if known. (P&Z)

7. The Emergency Vehicle Easement (EVE) shall not be painted. When an EVE is shared with a pedestrian walkway or consists of Grasscrete or a similar surface treatment, the EVE shall be defined in a manner that is compatible with the surrounding ground plane. (P&Z)
8. Provide a georeferenced CAD file in AutoCAD 2018 .dwg format, which follows the National CAD Standards, of the dimension plan of this project, including existing conditions, proposed conditions and grading elements. This information will be used to compile a master CAD reference to ensure all proposed features are correctly located and will connect. (P&Z) (DPI)\*

**BUILDING:**

9. The building design, including the appearance, color and quality of materials, final detailing, three-dimensional expression and proposed alternates shall be consistent with the elevations dated August 7, 2020 and the following conditions. (P&Z)
10. Prior to the release of the Final Site plan, confirm the final *base* or *alternate* of all building materials. This shall include:
  - a. Final fin dimensions and material combinations;
  - b. Stone cladding at base of building;
  - c. Final Roof height / deck may vary by an additional three feet to coordinate with green roof design;
  - d. Potential adjustment of top northwest corner of building at level 7 and terrace level to not be orthogonal;
  - e. Potential relocation of doors to coordinate with final site plan grading;
  - f. Final material and design of entry canopies;
  - g. Potential use of electrochromic glass at ground / second level (P&Z)
11. Provide the following building refinements to the satisfaction of the Director of P&Z:
  - a. Any ventilation shall be integrated with the overall building design, reviewed and approved to the satisfaction of the Director of Planning and Zoning.
  - b. All wall mounted vents shall be flush mounted and architecturally integrated with the building design regarding both placement and color.
  - c. Loading dock door material and appearance shall be fully integrated into the surrounding painted aluminum louver material. (P&Z)
12. Provide detailed drawings (enlarged and coordinated plan-section-elevation studies, typically at ¼"=1'-0" scale, in color, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing,

finish and color of these elements during the Final Site Plan review. Separate design drawings shall be submitted for each building typology or different bay type. (P&Z)

13. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the Preliminary Plan and as set forth in the associated *Guidelines for Preparations of Mock-Up Panels* Memo to Industry, effective May 16, 2013. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:
  - a. Provide a materials board that includes all proposed materials and finishes at first Final Site Plan. \*
  - b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant. \*\*\*
  - c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. \*
  - d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel requires a building permit and shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. \*\*
  - e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. \*\*\* (P&Z) (Code)
14. The project shall comply with the requirements defined by the City of Alexandria 2019 Green Building Policy. Diligent pursuance and achievement of this certification shall be monitored through the following:
  - a. The project shall comply with the requirements defined by the City of Alexandria 2019 Green Building Policy.
  - b. The project shall meet the Energy Use Reduction requirements including Optimize Energy Performance, Renewable Energy Production, Advanced Energy Metering and Enhanced Commissioning (or equivalents) defined by the City of Alexandria Green Building Policy.
  - c. The project shall comply the Water Efficiency requirements including Indoor Water Use Reduction and Outdoor Water Use Reduction (or equivalents) defined by the City of Alexandria Green Building Policy.
  - d. The project shall comply the Indoor Environmental Quality requirements including Low Emitting Materials, Construction Indoor Air Quality Management Plan, Thermal Comfort, Daylight and Indoor Air Quality Assessment (or equivalents) defined by the City of Alexandria Green Building Policy.
15. Update the plan set to include a copy of the proposed LEED Scorecard, the LEED Neighborhood Development Scorecard and a table of the proposed sustainability

elements from the Environmental Sustainability Master Plan with the first final site plan. (P&Z)

- a. Provide evidence of the project’s registration with LEED, Green Globes or Earthcraft (or equivalent) with the submission of the first Final Site Plan and provide a draft checklist showing how the project plans to achieve the certification and clearly indicate that requirements for Energy Use Reduction, Water Efficiency and Indoor Environmental Quality are being met as defined by the City of Alexandria 2019 Green Building Policy. \*
- b. Provide an updated copy of the certification scorecard prior to the release of building permits for above-grade construction. \*\*
- c. Provide updated energy projections prior to the release of building permits for above-grade construction. \*\*
- d. Provide a draft commissioning plan that includes items “i” through “v” below, prior to the release of building permits for above-grade construction. \*\*
  - a. A narrative description of the activities that will be accomplished during each phase of commissioning, including the personnel intended to accomplish each of the activities.
  - b. A listing of the specific equipment, appliances or systems to be tested and a description of the tests to be performed.
  - c. Functions to be tested including, but not limited to, calibrations and economizer controls.
  - d. Conditions under which the test will be performed. Testing shall affirm winter and summer design conditions and full outside air conditions.
  - e. Measurable criteria for performance.
- e. Provide updated water efficiency documentation reflecting any changes from the Final Site Plan prior to the release of building permits for above-grade construction. \*\*
- f. Provide evidence that design phase credits have been submitted by the first certificate of occupancy. \*\*\*
- g. Provide a commission report including issues log, completed pre-function checklists and any completed functional performance tests by the final certificate of occupancy. \*\*\*
- h. Provide evidence of submission of materials clearly indicating that requirements for Energy Use Reduction, Water Efficiency and Indoor Environmental Quality are being met as defined by the City of Alexandria Green Building Policy for Design Phase credits to the U.S. Green Building Council (USGBC), Green Globes or Earthcraft (or equivalent) prior to issuance of a certificate of occupancy.\*\*\*
- i. Provide documentation certification prior to approval of as-built drawings clearly indicating that requirements for Energy Use Reduction, Water Efficiency and Indoor Environmental Quality have been achieved as defined by the City of Alexandria Green Building Policy. \*\*\*\*



16. Failure to achieve the certification level, as required by the City of Alexandria 2019 Green Building Policy, will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve the certification level, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply.
17. The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES) (P&Z)
18. Provide level 2 electric vehicle charger installation for a minimum of 4 percent of the required parking spaces. The underground garage shall be space planned to enable the future installation of electric panels and conduit for future electric vehicle chargers for up to 15% of the required spaces with the 4% of the installed chargers may count towards the 15%. (T&ES)
19. To provide a more sustainable use of natural resources, the applicant shall use EPA-labeled WaterSense or equivalent low flow fixtures. In addition, the applicant is encouraged to explore the possibilities of adopting water reduction strategies (i.e., use of gray water system on-site) and other measures that could reduce the consumption of potable water on this site. A list of applicable mechanisms can be found at: [www.epa.gov/WaterSense](http://www.epa.gov/WaterSense). (T&ES)
20. The stairwells within structured parking garages shall be visible, without solid walls. The balusters shall be open to allow for a clear line of vision. Provide guards that are 42 inches in height along open sides of the stairways and landings which are located 30 inches above the floor or grade below. The width between the balusters shall be no wider than 4 inches and the handrails are to be a minimum of 34 inches and a maximum of 38 inches. (Police)
21. Elevator lobbies and vestibules shall be visible from the parking garage. The design of the elevator lobbies and vestibules in the parking garage shall be as open as code permits. (Police)

**OPEN SPACE/LANDSCAPING:**

22. Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. Landscape plans shall be submitted in accordance with the City of Alexandria's Landscape Guidelines, available online at: [www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGuidelinesFinalv2Final.pdf](http://www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGuidelinesFinalv2Final.pdf)
23. Provide the following modifications to the landscape plan and supporting drawings:

- a. Through the Final Site Plan process the applicant must meet the biodiversity requirements of the City’s Landscape Guidelines on a districtwide basis.
  - b. Use the city standard table for crown cover (this table can be found in the Resources section Chapter 6 of the Landscape Guidelines).
  - c. Show approximate full build out tabulation of open space square footage.
  - d. Revise open space calculations. Open space must be at least eight feet in width per the zoning ordinance. Loading docks, vehicle turning areas, and drive aisles do not count towards open space.
  - e. Revise open space plan to identify open space by square footage and type (include ground level, above grade, public or private). (RPCA) (P&Z)
24. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails, if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) (Code) \*

**ARCHAEOLOGY:**

25. An archaeological consultant has completed a Documentary Study and an Archaeological Evaluation primarily focused on the Preston plantation that is under review by Alexandria Archaeology. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
26. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Archaeological Evaluation plan and any required Resource Management Plans will be implemented to recover significant resources before or in concert with construction activities. (Archaeology) \*
27. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology)
28. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to

comply shall result in project delays. The language noted above shall be included on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology)

**PEDESTRIAN/STREETSCAPE:**

29. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
- a. Complete all pedestrian improvements associated with Phase 1 prior to the issuance of a final certificate of occupancy permit for building 7w.
  - b. Install ADA accessible pedestrian crossings serving the site.
  - c. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet in commercial, mixed-use or other high-density areas and 5 feet in single-family or other lower density areas.
  - d. All concrete sidewalks shall comply with the City's Memos to Industry 05-08 and 01-13.
  - e. Sidewalks shall be flush across all driveway crossings.
  - f. All newly constructed curb ramps in Alexandria shall be concrete with detectable warning and shall conform to current VDOT standards.
  - g. Provide separate curb ramps for each direction of crossing (i.e., two ramps per corner). Curb ramps shall be perpendicular to the street to minimize crossing distances. Any changes must be approved by the Director of T&ES.
  - h. Provide thermoplastic pedestrian crosswalks at all crossings at the proposed development, which must be designed to the satisfaction of the Director of T&ES.
  - i. All crosswalks shall be standard, 6 inches wide, white thermoplastic parallel lines with reflective material, with 10 feet in width between interior lines. High-visibility crosswalks [white, thermoplastic ladder crosswalks as shown in the Manual on Uniform Traffic Control Devices (MUTCD)] may be required as directed by staff at Final Site Plan. All other crosswalk treatments must be approved by the Director of T&ES.
  - j. Install pedestrian countdown signals and pedestrian activated pushbuttons in accordance with City Standards at the schedule agreed upon in the North Potomac Yard CDD conditions and per the transportation study findings. All pedestrian-activated push buttons shall be accessible per ADA Accessibility Guidelines (ADAAG).
  - k. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts.
  - l. Provide detectable warning surfaces at all flush transitions between pedestrian and vehicular areas. \*\*\* (P&Z) (T&ES)

**PARKING:**

30. Parking for the uses in the building shall be consistent with the requirements of the North Potomac Yard CDD Concept Plan in effect at the time of approval by City Council and/or Planning Commission. (P&Z) (T&ES)
31. Provide wheel stops for all surface parking with 90-degree and angled vehicle parking spaces adjacent to a sidewalk if the back of the sidewalk is less than seven (7) feet from the curb. (T&ES).
32. Provide a Parking Management Plan prior to release of the Final Site Plan consistent with the requirements of the North Potomac Yard CDD conditions. (P&Z) (T&ES)
33. Parking spaces within the parking garage that are required to comply with zoning requirements may be made available for public/off-site parking (separate from daily visitor parking), provided excess parking can be demonstrated. This request shall be to the satisfaction of the Directors of P&Z and T&ES.
34. The applicant may make the following improvements to the two temporary parking lots as follows:
  - a. The paving and landscaping materials shall be consistent with the preliminary plan or may be enhanced with use of pervious pavers, additional shade trees and / or landscaping walls. Any change from the preliminary plan shall be approved by the City as an amendment to the final site plan.
  - b. Periodically close off the parking lots for use as university event space, farmers market or other similar activities.
35. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)
36. Provide \$23,400 (\$7,800 per multi-space meter) for purchase and installation of parking meters prior to release of the final site plan. The City reserves the right to enforce parking meters on private streets containing public access easements. (P&Z) (T&ES)
37. Provide bicycle parking per Alexandria’s current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: [www.alexandriava.gov/bicycleparking](http://www.alexandriava.gov/bicycleparking). Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) \*\*\*
38. Provide a reserved space for a Capital Bikeshare Station with a minimum of 7 feet by 45 feet and show on the Final Site Plan to the satisfaction of the Director of T&ES. (T&ES)

**B. TRANSPORTATION**

**STREETS/TRAFFIC:**

39. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/ installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
40. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)
41. Mark all private street signs that intersect a public street with a fluorescent green strip to notify the plowing crews, both City and contractor, that they are not to plow those streets. (T&ES)
42. Show turning movements of standard vehicles in the parking structure and/or parking lots. Show turning movements of the largest delivery vehicle projected to use the loading dock. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)
43. The maximum desirable slope on parking ramps to garage entrance/exit shall not exceed 15 percent. For slopes 10 percent and greater, provide trench drains connected to a storm sewer to eliminate or diminish the possibility of ice forming. The slope on a ramp with parking or used for egress shall not exceed 6.5 percent. For non-parking ramps with slopes of 12 percent and greater, 15 feet transition slopes at the top and bottom of the ramp shall be required, and the transition slope shall be half of the ramp slope percentage. (T&ES)
44. Parking access control equipment that includes a gate for controlled access such as, but not limited to, ticket dispenser, card reader or cashier booth shall not be located a minimum of 20 FT from the crossing sidewalk and shall not be placed on a slope exceeding 3 percent. (T&ES)
45. The Final Site Plan shall include the proposed installation of a connected underground conduit grid underneath the sidewalk around the perimeter of the site as required per the CDD Conditions. In addition, the plans shall include the planned connection between the proposed connected underground conduit grid and the proposed building connection in which conduit risers are installed inside each floor of the building within reasonable proximity to the cable closet as required per the CDD Conditions. (T&ES)
46. As required per the CDD Conditions, the Final Site Plan shall include street light specifications which include capability to act as a host for sensors, cameras, and/or 5 G

infrastructure for traffic data collection, as well as capable of dynamic LED dimming. In addition, plans shall include conduit connection and proposed junction box locations adjacent to the site.

- a. The property owner shall own and maintain all streetlights bordering the site along the sidewalk with an agreement that allows the City to access utilization. (T&ES)
47. Wall mounted obstructions at the wall end of a parking space shall extend no more than 24 inches from the wall and shall be at least 48 inches from the garage floor. Spaces with obstructions that exceed this requirement will not be counted as usable parking spaces. (T&ES)
48. Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)
49. The Final Site Plan shall include a signal layout, consistent with the detailed signal plan sheet, for the New Street B and Potomac Avenue intersection, as well as the E. Reed Avenue and Potomac Avenue intersection. The signal layout should include, but not limited to, an approximate location of traffic signal equipment and pavement markings associated with the intersection operation. (T&ES)
50. Provide bicycle facilities on the site frontage and through the site per the City's Transportation Master Plan, Pedestrian and Bicycle Mobility Plan and applicable Small Area Plans and Design Guidelines. This includes sharrows along New Street B as shown on the preliminary plan. Provide routing signs on on-street bicycle facilities consistent with guidance from AASHTO and MUTCD. For shared-use paths, signs should be consistent with the City's Wayfinding Program.
  - a. Install sharrows consistent with AASHTO guidelines. (T&ES)
51. The Final condition of the proposed New Street B from Potomac Ave to E. Reed Avenue, as well as the proposed E. Reed Avenue from Potomac Ave and New Street B, shall be constructed to City of Alexandria's standard and specifications and/or to the satisfaction of the Director, Transportation and Environmental Services prior to issuance of the Certificate of Occupancy. In addition, the Final Site Plan shall include signing and striping plan sheet in accordance with the final condition of the aforementioned roadways as the proposed off-street parking surface lot. (T&ES)

**TRANSPORTATION MANAGEMENT PLAN (TMP2020-00060):**

*Large Projects (Tier 3)*

52. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement strategies to encourage residents and employees to take public transportation, walk, bike or share a ride, as

opposed to being a sole occupant of a vehicle. Below are the basic conditions from which other details originate. (T&ES)

53. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)
54. The applicant shall coordinate with the North Potomac Yard District Transportation Management Program when it is organized. All TMP holders in the established district will be part of this District TMP. The objective of this district is to make optimum use of transportation resources for the benefit of residents and employees through economies of scale. No increase in TMP contributions will be required as a result of participation in the District TMP. (T&ES)
55. An annual TMP fund shall be created and managed by the TMP Coordinator, and the funds shall be used exclusively for the approved transportation activities detailed in the attachment. The annual base assessment rate for this development shall be determined as set forth in section 11-708 (TMP Assessments Schedule and Adjustments). The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins. The TMP shall operate on the fiscal year, July 1 to June 30. (T&ES)
56. An on-site TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for implementing and managing all aspects of the TMP and the parking management program for the project. (T&ES) \*\*\*
57. The Director of T&ES may require that the funds be paid to the City upon determination that the TMP Coordinator or Association has not made a reasonable effort to use the funds for TMP activities. As so determined, any unencumbered funds remaining in the TMP account at the end of each reporting year may be either reprogrammed for TMP activities during the ensuing year or paid to the City for use in transportation support activities which benefit the site. (T&ES)
58. The TMP Coordinator or Association will submit to the Mobility Services Division the following as detailed attachments; biannual fund reports due in July and January of each fiscal year, and modes of transportation survey, and a TMP Coordinator survey both due in July of each fiscal year. (T&ES)
59. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP.



If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the use may be required to participate in the Citywide TMP Program, may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the City Council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (T&ES)

60. The applicant shall contact GoAlex at [goalex@alexandriava.gov](mailto:goalex@alexandriava.gov) at Final Site Plan to discuss the integration into the District Transportation Management Program and planning for how the TMP program will be established at the Certificate of Occupancy. (T&ES)

**BUS STOPS AND BUS SHELTERS:**

61. Show all existing and proposed bus amenities in the vicinity of the site on the Final Site Plan. Any proposed features shall be ADA compliant; all bus shelters shall include a bench, illumination and the ability to accommodate future real time bus information LED screens and electric connections to the satisfaction of the Director of T&ES. The final bus shelter, bus canopy, and bus stop bench design shall be the Brasco International Trident model and meet any associated City standards and the approval of the Director of T&ES. Design and specifications for the City standard bus shelter can be found at: [www.alexandriava.gov/6548](http://www.alexandriava.gov/6548). (T&ES) (Code)
62. The existing Metrobus stop on Potomac Ave just north of E. Reed Ave shall be maintained with the construction of building 7W and shall be relocated with the construction of Building 4 to the Satisfaction of the Director of T&ES and as is consistent with the phasing provided in the North Potomac Yard CDD Conditions. (T&ES)
63. Street trees in proximity to bus stop approaches or directly adjacent to travel lanes shall be planted and maintained pursuant to the Landscape Guidelines:
  - a. Located to avoid conflict with vehicles, specifically:
    - a. Trees shall be excluded from a 40-foot zone which represents the length of the bus as it is serving the stop.
    - b. Trees within both the 10-foot departure zone and the 20-foot approach zone (on either side of the 40-foot zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.

**C. PUBLIC WORKS**

**WASTEWATER/SANITARY SEWERS:**

64. The sewer connection fee must be paid or waived prior to release of the final site plan. (T&ES) \*

65. If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer. Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES) \*

**UTILITIES:**

66. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)
67. All power and communication lines fronting the development shall be undergrounded. (T&ES)
68. No transformer and switch gears shall be located in the public right of way. (T&ES)

**SOLID WASTE:**

69. If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection vehicles must be able to pick up solid waste from private streets without backing up. The containers must be stored inside the units or within an enclosure that completely screens them from view. Where the City of Alexandria provides the solid waste collection services; all refuse/recycling shall be placed at the City Right-of-Way for collection. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
70. If private collection is desired, the owner shall request approval from the Director of Transportation and Environmental Services to opt-out of the City approved trash and recycling collection to allow for privately contracted collection. The point of collection shall be as agreed upon between the owner and the private collector duly licensed, provided that such point shall not be in a public right-of-way and shall not hinder or interfere with parking, traffic or pedestrians. All trash collectors for the project site are required to take their collected trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
71. Where the City of Alexandria provides the solid waste collection services all refuse/recycling shall be placed at the City Right-of-Way. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
72. Provide \$1402 per receptacle to the Director of T&ES for purchase and installation of three (3) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally

located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. If an alternate receptacle usage is desired, the design, style, and color must be reviewed and approved by the Director of T&ES. Once a selection is approved a maintenance agreement is required and shall be approved by the director of T&ES before the release of the final site plan. (T&ES) \*

73. Provide \$1626 per receptacle to the Director of T&ES for the purchase and installation of three (3) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. If an alternate receptacle usage is desired, the design, style, and color must be reviewed and approved by the Director of T&ES. Once a selection is approved a maintenance agreement is required and shall be approved by the director of T&ES before the release of the final site plan. (T&ES) \*

***D. ENVIRONMENTAL***

**STORMWATER MANAGEMENT:**

74. The City of Alexandria’s stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site’s post-development impervious area shall be treated in a Best Management Practice (BMP) facility. Compliance with the WQVD shall be met for the overall phase through the Water Management Master Plan (WMMP) (DSP2020-00012). (T&ES)
75. This site plan shall be incorporated into the Water Management Master Plan (WMMP) for Phase 1 of North Potomac Yard (DSP2020-00012). The WMMP must be approved prior to the release of the final site plan. Any changes to applicable components of this plan also require a resubmittal of the WMMP. (T&ES)
76. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group “D” in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)

77. All stormwater Best Management Practices (BMPs) must be designed to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs. This includes site specific plan views, cross sections, planting plans, and complete design calculations for each BMP. (T&ES)
78. Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (percentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees (NAD83). (T&ES)
79. The permeable sidewalk and bioretention areas located in the right of way on Potomac Avenue and East Reed shall be included in the infrastructure plan DSP2019-00043. (T&ES)
80. Sidewalks on new street B shall be composed of permeable pavement. (T&ES)
81. Construction inspection checklists and associated photographic documentation must be completed for each stormwater best management practice (BMP) and detention facility during construction. Prior to the release of the performance bond, the applicant must submit all documents required by *The City of Alexandria As-Built Stormwater Requirements* to the City including as built plans, CAD data, BMP certifications and completed construction inspection checklists. (T&ES)
82. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
  - a. Constructed and installed as designed and in accordance with the released Final Site Plan.
  - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (T&ES) \*\*\*\*
83. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
84. Submit two (2) originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the Final Site Plan. (T&ES) \*

85. The Applicant/Owner shall be responsible for installing and maintaining stormwater Best Management Practices (BMPs). The Applicant/Owner shall execute a maintenance service contract with a qualified private contractor for a minimum of three (3) years and develop an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. A copy of the maintenance contract shall be submitted to the City as outlined in the Memorandum of Understanding between the City of Alexandria and Virginia Tech(T&ES) \*\*\*\*
86. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division on digital media prior to issuance of the final certificate of occupancy or as outlined in the Memorandum of Understanding. (T&ES) \*\*\*\*
87. As outlined in the Memorandum of Understanding, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required to make this certification, provide a description of the maintenance measures performed. (T&ES) \*\*\*\*

**WATERSHED, WETLANDS, & RPAs:**

88. The project site lies within Four Mile Run Watershed thus stormwater quantity controls shall be designed to demonstrate that post development stormwater runoff shall be contained within the existing outfall pipe for the 10-year storm event and the 100-year post development peak runoff shall not exceed the pre-development levels. A detention waiver may be requested for runoff exceeding the predevelopment levels for the 2-year and 10-year storm events provided the existing outfall pipe is found to be adequate due to the location of the development in the watershed. (T&ES)
89. The stormwater collection system is located within the Four Mile Run watershed. All on-site stormwater curb inlets and public curb inlets within 50 feet of the property line shall be duly marked using standard City markers, or to the satisfaction of the Director of T&ES. (T&ES)
90. Project lies entirely within an area described on historical maps as containing marine clays. Construction methodology and erosion and sediment control measures must account for the presence of marine clay or highly erodible soils. (T&ES)

91. Provide Environmental Site Assessment Notes that clearly delineate, map, describe and/or explain the following environmental features if located on site: the individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams and associated buffer; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)

**CONTAMINATED LAND:**

92. Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
93. If environmental site assessments or investigations discover the presence of contamination on site, the final site plan shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
  - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
  - b. Submit a Risk Assessment indicating any risks associated with the contamination.
  - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with “clean” soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
  - d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
  - e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).

- f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. (T&ES) \*
94. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)
95. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

**NOISE:**

96. The applicant shall conform with the City's noise ordinance and no amplified sound shall be audible at the property line after 11:00 PM. (T&ES)
97. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
98. No vehicles associated with this project shall be permitted to idle for more than 10 minutes when parked. This includes a prohibition on idling for longer than 10 minutes in the loading dock area. The applicant shall post of minimum of two no idling for greater than 10 minutes signs in the loading dock area in plain view. (T&ES)
99. All roof top HVAC and other mechanical equipment shall be equipped with appropriate noise reducing devices such as (but not limited to) silencers, acoustic plenums or louvers or enclosures in order to comply with the City noise limit at the property lines for that building. (T&ES)

**AIR POLLUTION:**

100. If a restaurant use or similar use is proposed, kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer.
101. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring

properties, as determined by the Director of Transportation and Environmental Services.  
(T&ES)

**ENVIRONMENTAL SUSTAINABILITY MASTER PLAN:**

102. The building shall employ a variety of tools from those listed within the identified toolkit of strategies described in the endorsed ESMP or additional strategies to the satisfaction of the Director of T&ES and P&Z. (P&Z) (T&ES)

*Carbon*

103. The applicant shall be responsible for demonstrating how the Virginia Tech campus will achieve carbon neutrality by 2030. If carbon neutrality for the first building cannot be achieved by 2030, after 2030 the applicant shall pursue methods to offset carbon impact for future phases of the campus. Methods can include renewable energy credits (RECs), Power Purchase Agreements (PPAs), other industry accepted credits available in 2030, and/or can be incorporated in future buildings, at the applicant's discretion. (P&Z) (T&ES)
104. The building shall use electricity except for limited accessory elements of the building such as food and beverage uses and emergency generators, and research and laboratory areas. For these limited accessory elements, the buildings shall be designed to support low cost and easy conversion from fossil fuel to electricity in the future. (P&Z) (T&ES)
105. Prior to release of the building permit, the applicant shall conduct a zero-carbon analysis for the building. The zero-carbon analysis will be used as a benchmark for associated revisions to the ESMP toolkit and targets in future phases to improve performance towards achieving carbon neutrality by 2030. (P&Z) (T&ES)
106. Rooftops shall be solar ready to be able to handle the equipment after installation. Pull-wire ready conduit shall be provided for a potential future roof PV system. Space shall be provided for solar related electric panel in or near a building electrical closet. (P&Z) (T&ES)

*Open Space*

107. The landscape plans for all applications submitted prior to 2024 shall strive to achieve the Landscape Guidelines Native Plant Standards for 2024. (RPCA)
108. Habitat areas shall be included where feasible. Designs shall focus on biodiversity, connectivity, and vertical and horizontal vegetation layering. Plant species with documented pollinator or avian habitat value shall be included in the planting plans. (P&Z) (RPCA)



109. Site furniture shall be selected for sustainability and durability with a minimum life expectancy of 15 years. (P&Z) (RPCA)
110. A landscape maintenance plan shall be developed for each site as set forth in the landscape guidelines. (P&Z) (RPCA)
111. Prior to the first Certificate of Occupancy, develop an educational component, such as a sign, to identify key sustainable features of the building and/or site about the environmentally sustainable practices being implemented. Signage can be placed indoors or outdoors. (P&Z) (RPCA)

*Implementation & Reporting*

112. Prior to the release of the Final Site Plan, the applicant shall provide a draft ESMP scorecard for the building. The ESMP Scorecard shall outline all the tools and strategies employed in the building design.
  - a. Prior to issuance of the building permit, an updated ESMP scorecard shall be submitted reflecting the final design of each building/site in furtherance of Appendix A of the ESMP.
  - b. The Final ESMP scorecard shall be provided within 12 months of certificate of occupancy.
  - c. Within 12 months of certificate of occupancy, update Appendix A of the ESMP and include in each building plan set, the “list of strategies to make the buildings more efficient” and ensure all categories are definitive for the building. No options should be pending or for further study. (P&Z) (T&ES)
113. Provide the BID with the Energy Star Portfolio Manager or comparable report tracking the energy and water consumption, greenhouse gas emissions, and waste management for the building to monitor sustainability performance as outlined in the endorsed ESMP. Annually, for the first 5-years after certificate of occupancy, the applicant shall update the ESMP scorecard accordingly. (P&Z) (T&ES)
114. At such time that a BID or comparable entity is formed, this building shall participate in the BID and shall provide the deliverable outlined in 113 to the BID, which will collect and compile the Energy Star Portfolio Manager or comparable reports provided by each building in a given year and provide the information to the City.
  - a. The reporting shall include:
    - i. ESMP scorecards for the first five-years of the building operation;
    - ii. Report out on sustainability in accordance with VT-mandated tracking standards;
    - iii. Site-wide ESMP scorecard demonstrating aggregate performance at the time of reporting;

- iv. Updates on larger sitewide efforts towards sustainability. (P&Z) (T&ES)

**E. CONSTRUCTION MANAGEMENT**

115. Submit a separate construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall:
- a. State that no streetlights shall be removed without authorization from the City of Alexandria.
  - b. State that if streetlights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning of new lights.
  - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
  - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
  - e. Include an overall proposed schedule for construction;
  - f. Include a plan for temporary pedestrian circulation;
  - g. Include the location and size of proposed construction trailers, if any;
  - h. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
  - i. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
116. Provide off-street parking for all construction workers without charge to the construction workers. The applicant shall be responsible for ensuring that all contractors use the off-street parking provided. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
- a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
  - b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
  - c. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z) (T&ES) \*

117. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of pedestrian access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
118. Bicycle facilities adjacent to the site shall remain open during construction. If a bicycle facility must be closed, Bicycle access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of bicycle access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
119. No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES) \*\*
120. Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the Metrobus stop at East Reed Avenue, a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)
121. Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tiebacks etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)
122. A “Certified Land Disturber” (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase 1 Erosion and Sediment Control sheets on the site plan. (T&ES)
123. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)
124. Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)

125. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z) (T&ES)
126. Install a temporary informational sign on the site prior to approval of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)
127. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City's Green Building Policy and conditions herein. (T&ES)
128. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code) \*\*\*
129. Submit a wall check prior to the commencement of construction of the first floor above grade construction for the building(s). The wall check shall include the building footprint, as depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)
130. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) \*\*\*

131. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
132. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

***F. CONTRIBUTIONS***

133. Contribute \$50,000 to the City prior to Final Site Plan release to install a bike share station on the Virginia Tech campus as part of a coordinated bike share program. Any funding not needed for bike share fabrication and installation may be used for Operations and Maintenance of the bike share program in North Potomac Yard. (T&ES)

**PUBLIC ART:**

134. Per the City’s Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site and artist selection, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)
  - a. The art shall be installed prior to the issuance of the first Certificate of Occupancy of building 4 or building 7east, whichever is completed first, to the satisfaction of the Directors of P&Z and/or RP&CA.

The appropriate DSUP (building 4 or building 7east, whichever is first) shall identify the location, type and goals for public art. The applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation prior to the release of the related Final Site Plan. The applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA) (P&Z)

\* \*\*\*

**G. USES AND SIGNS**

**OTHER USES:**

135. Day care centers shall be permitted with an administrative special use permit provided they comply with the criteria listed below. Day care centers that do not meet these criteria may apply for a separate special use permit.
- a. A plan that shows drop off and pick up areas must be provided and must be reviewed to ensure that the drop off and pick up areas will create minimal impact on pedestrian and vehicular traffic and will be safe for the day care users. The plan must be approved by the Directors of P&Z and T&ES.
  - b. (P&Z) (T&ES)
136. Restaurants or similar food service uses shall be permitted with an administrative special use permit provided they comply with Section 11-513(C), (L), and (M) of the Zoning Ordinance, with the following exceptions. Restaurants that do not meet these conditions may apply for a separate special use permit.
- a. The maximum number of indoor and outdoor seats allowed shall be determined by the Building Code.
  - b. The hours of operation for food service uses shall be limited to between 6:00 a.m. and 2:00 a.m. for indoor use, and between 7:00 a.m. and 11:00 p.m. for outdoor use.
  - c. If entertainment is proposed consistent with the Zoning Ordinance, then it must be demonstrated by a qualified professional that sufficient sound-proofing materials are provided to prevent the entertainment from disturbing building occupants. (Code)(P&Z) (T&ES)
137. The applicant shall encourage visitors to park off-street through the provision of information about nearby garages on advertising and on the campus website. (T&ES)

**SIGNAGE:**

138. This condition shall be applicable unless a separate coordinated sign plan for North Potomac Yard is reviewed and approved by Planning Commission and City Council. If a separate plan is approved, those conditions shall govern signage:
- a. Design and develop a coordinated sign plan, which includes a color palette, for all proposed signage. The plan shall be included as part of the Final Site Plan and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of P&Z. This condition shall be applicable unless a separate coordinated sign plan for North Potomac Yard is reviewed and approved by the Planning Commission and City Council. If a separate plan is approved, those conditions shall govern. \*
  - b. Commercial signs shall employ variety and creativity of design. Tenant designers shall bring a sculptural and dimensional quality to their signs.

- c. Highlight the identity of individual business tenants through signage and storefront design. Coordinate signage with the building design and with individual storefront designs, including but not limited to integration with any proposed awnings, canopies, etc.
  - d. Pedestrian-oriented signs (e.g. projecting signs, window signs, etc.) are encouraged. Tenants with main storefront entrances on Street(s) shall incorporate a projecting or under-canopy sign.
  - e. Installation of building mounted signage shall not damage the building and signage shall comply with all applicable codes and ordinances. (P&Z)
139. Design and develop a sign plan for wayfinding and directional signage. The plan shall be included as part of the Final Site Plan and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of T&ES. Installation of building mounted signage shall not damage the building and signage shall comply with all applicable codes and ordinances \* (T&ES)
140. Provide signage at the entrances to the parking garage with retail parking that is consistent with the City’s Wayfinding standards for identifying parking garages. (T&ES)
141. Internally illuminated box signs are prohibited. Explore the use of exterior illumination. (P&Z)
142. A freestanding monument sign must comply with Article IX of the Zoning Ordinance and may be located within the interior of the campus for building identification. (P&Z)

## **X. CITY DEPARTMENT CODE COMMENTS**

Legend: C - Code Requirement R - Recommendation S - Suggestion F – Finding

### **Planning and Zoning (P&Z)**

- R - 1. For all first-floor bays with a street-facing door providing their primary access, please coordinate with the Geographic Information Systems (GIS) Division for address assignments at tenant fit out. These uses are not permitted to use the primary building address as their address. Please contact the Addressing Coordinator in the GIS Division (703-746-3823) as each new tenant is determined, and an appropriate address based on the location of the primary entrance door of the new space will be assigned.
- R - 2. Update information on Virginia Tech’s committed approach to sustainable features to be incorporated on the campus site plan, off-site and in building 7w. (P&Z)

- C - 1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release or pursuant to an MOU. Refer to City of Alexandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) \*\*\*\*

**Recreation, Parks and Cultural Resources**

- R-1. The following elements should be addressed with the final site plan:
- a. Please use the city standard table for crown cover (this table can be found in the Resources section Chapter 6 of the Landscape Guidelines).
  - b. Show full build out tabulation of open space square footage.
  - c. Ensure that open space being counted is at least eight feet in width per the zoning code.
  - d. Review open space areas to ensure loading docks, vehicle turning areas, and drive aisles are not being counted towards open space totals.
  - e. Provide the water management/irrigation plan for the landscape.
  - f. Per the Landscape Guidelines, provide a tree every 10 parking spaces in parking lot.

**Code Administration (Building Code)**

- F - 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.
- C - 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C - 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.
- C - 3 A soils report must be submitted with the building permit application for all new and existing building structures.
- C - 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.
- C - 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.
- C - 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.



- C - 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C - 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C - 9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

### **Archaeology**

- F - 1. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.
- C - 1. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

### **Transportation and Environmental Services (T&ES)**

- F - 1. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)
- F - 2. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's website:  
<http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf>
- F - 3. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and

invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)

- F - 4. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)
- F - 5. Include all symbols, abbreviations, and line types in the legend. (T&ES)
- F - 6. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18” in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15”. The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)
- F - 7. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4-inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured “Y” or “T” or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured “Y” or “T”, or else install a manhole. (T&ES)
- F - 8. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)
- F - 9. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary

/ storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance shall be encased in concrete. (T&ES)

- F - 10. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)
- F - 11. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12 inches of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)
- F - 12. The rip rap shall be designed as per the requirements of Virginia Erosion and Sediment Control Handbook, Latest Edition. (T&ES)
- F - 13. Dimensions of parking spaces, aisle widths, etc. within the parking garage shall be provided on the plan. Note that dimensions shall not include column widths. (T&ES)
- F - 14. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)
- F - 15. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)
- F - 16. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)
- F - 17. A Maintenance of Traffic Plan shall be provided within the Construction Management Plan and shall replicate the existing vehicular and pedestrian routes as nearly as practical. Pedestrian and bike access shall be maintained adjacent to the site per Memo to Industry #04-18. These sheets are to be provided as “Information Only.” (T&ES)
- F - 18. The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES)

- a. The prepared drawings shall include a statement “FOR INFORMATION ONLY” on all MOT Sheets.
- b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.
- c. Contractor shall apply for all necessary permits for uses of the City Right of Way and shall submit MOT Plans with the T&ES Application for final approval at that time. \*

F - 19. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)

- C - 1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate, then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)
- C - 2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)
- C - 3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)
- C - 4 If it is determined that the site is not in compliance with Section 13-1-3 of the City Code, then the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with the Code. (T&ES)
- C - 5 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)

- C - 6 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)
- C - 7 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria’s web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C - 8 In compliance with Title 5: Transportation and Environmental Services, Section 5-1-2(12b) of the City Charter and Code, the City of Alexandria shall provide solid waste collection services to the condominium townhomes portion of the development. All refuse / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)
- C - 9 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)
- C - 10 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's “Solid Waste and Recyclable Materials Storage Space Guidelines”, or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: [www.alexandriava.gov/solidwaste](http://www.alexandriava.gov/solidwaste) or by contacting the City's Solid Waste Division at 703-746-4410, or via email at [commercialrecycling@alexandriava.gov](mailto:commercialrecycling@alexandriava.gov). (T&ES)
- C - 11 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)

- C - 12 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: [www.alexandriava.gov/solidwaste](http://www.alexandriava.gov/solidwaste) or by calling the Solid Waste Division at 703.746.4410 or by e-mailing [CommercialRecycling@alexandriava.gov](mailto:CommercialRecycling@alexandriava.gov). (T&ES)
- C - 13 All private streets and alleys shall comply with the City’s Minimum Standards for Private Streets and Alleys. (T&ES)
- C - 14 Bond for the public improvements must be posted prior to release of the site plan. (T&ES) \*
- C - 15 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan. (T&ES) \*
- C - 16 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)
- C - 17 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To ensure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)
- C - 18 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)
- C - 19 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C - 20 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)

- C - 21 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C - 22 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)
- C - 23 The applicant shall comply with the City of Alexandria’s Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C - 24 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
- a. Monday Through Friday from 7 AM To 6 PM and
  - b. Saturdays from 9 AM to 6 PM.
  - c. No construction activities are permitted on Sundays and holidays.  
Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
  - d. Monday Through Friday from 9 AM To 6 PM and
  - e. Saturdays from 10 AM To 4 PM
  - f. No pile driving is permitted on Sundays and holidays.  
Section 11-5-109 restricts work in the right of way for excavation to the following:
  - g. Monday through Saturday 7 AM to 5 pm
  - h. No excavation in the right of way is permitted on Sundays. (T&ES)
- C - 25 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)
- C - 26 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)
- C - 27 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine Resources shall be in place for all project construction and mitigation work prior to release of the Final Site Plan. This includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan (SWPPP)\_for land disturbing activities equal to or greater than one acre. See memo to industry 08-14 which can be found on-line here: <http://alexandriava.gov/tes/info/default.aspx?id=3522>. (T&ES) \*
- C - 28 The applicant must provide a Stormwater Pollution Prevention Plan (SWPPP) Book with the Final 1 submission. The project’s stormwater management (SWM) plan and the erosion and sediment control (E&SC) plan must be approved prior to the SWPPP being deemed approved and processed to receive coverage under the VPDES Construction General Permit. Upon approval, an electronic copy of the approved SWPPP Book must be provided with the Mylar submission and the coverage letter must copied onto the plan sheet containing the stormwater

management calculations. An electronic copy and a hardcopy of the SWPPP Binder Book must be included in the released site plans, and the approved hardcopy SWPPP Binder Book must accompany the construction drawings onsite. Separate parcel owners will be required to seek separate VPDES Construction General Permit Coverage unless a blanket entity incorporated in Virginia has control of the entire project. (T&ES-Storm)

### **AlexRenew Comments**

1. Applicant to include the following notes on the DSUP plans and the plans issued for construction:
  - a. Contractor shall ensure all discharges are in accordance with City of Alexandria Code Title 5, Chapter 6, Article B.
  - b. Dewatering and other construction related discharge limits to the sewer system are regulated by AlexRenew Pretreatment. Contractor is required to contact AlexRenew's Pretreatment Coordinator at 703-549-3381 x2020.

### **Fire Department**

- F-1. All new fire hydrants on private streets within this development shall be the responsibility of the developer, property owner, or their agent to inspect, test, service, and maintain. City shall own and maintain all fire hydrants on public streets.
- R - 1. In the event an existing building will be razed, the Alexandria Fire Department would like the opportunity to explore utilizing the structure before demolition for training exercises. If such an agreement can be reached, conditions of use between the parties and a hold harmless agreement will be provided to the owner or their representative.

### **Police Department**

#### Parking Garage Recommendations

- R-1. It is recommended that the doors in the garage (garage level only) leading into the stairwell have controlled electronic access.
- R - 3. The controlled electronic access should not interfere with the emergency push-bar release located on the inside of the stairwell door that allows for emergency exit of the building.

#### Landscape Recommendations

- R - 4. The proposed shrubbery should have a natural growth height of no more than 2 ½ to 3 feet with a maximum height of 36 inches when it matures and should not hinder the unobstructed view of patrolling law enforcement vehicles.

#### Miscellaneous



- R - 5. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R - 6. It is recommended that all the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a “breaking and entering” when the windows are open for air.

**Asterisks denote the following:**

- \* Condition must be fulfilled prior to release of the Final Site Plan
- \*\* Condition must be fulfilled prior to release of the building permit
- \*\*\* Condition must be fulfilled prior to release of the certificate of occupancy
- \*\*\*\* Condition must be fulfilled prior to release of the bond



APPLICATION

**DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN**

DSUP # \_\_\_\_\_ Project Name: \_\_\_\_\_

PROPERTY LOCATION: \_\_\_\_\_

TAX MAP REFERENCE: \_\_\_\_\_ ZONE: \_\_\_\_\_

APPLICANT:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

PROPERTY OWNER:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

SUMMARY OF PROPOSAL \_\_\_\_\_

MODIFICATIONS REQUESTED \_\_\_\_\_

SUP's REQUESTED \_\_\_\_\_

THE UNDERSIGNED hereby applies for Development Site Plan with Special Use Permit approval in accordance with the provisions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

\_\_\_\_\_  
Print Name of Applicant or Agent

*Kent A. W.*  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Mailing/Street Address

\_\_\_\_\_  
Telephone # Fax #

\_\_\_\_\_  
City and State Zip Code

\_\_\_\_\_  
Email address

\_\_\_\_\_  
Date

**DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY**

Application Received: \_\_\_\_\_

Received Plans for Completeness: \_\_\_\_\_

Fee Paid and Date: \_\_\_\_\_

Received Plans for Preliminary: \_\_\_\_\_

ACTION - PLANNING COMMISSION: \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

**ALL APPLICANTS MUST COMPLETE THIS FORM.**

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is: (check one)  
 the Owner     Contract Purchaser     Lessee or     Other: \_\_\_\_\_ of  
the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

See below

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If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes. Provide proof of current City business license.  
 No. The agent shall obtain a business license prior to filing application, if required by the City Code.

Not applicable

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Virginia Tech Foundation, Inc.	902 Prices Fork Road	100%
2.	Blacksburg, VA 24061	
3. VTF is a non-profit association		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Same as above		
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.


Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Virginia Tech Foundation Inc.	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

August 20, 2020  
Date

Kenneth W. Wire  
Printed Name

  
Signature

2. Narrative description. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

The applicant is requesting DSUP approval with modifications for a 300,000 square foot academic building. Building 7W is the first building of a three phase campus. The first phase will consist of at least one level of below grade parking, an open campus plaza and interim surface parking lots located within the building footprints of the future phases. The campus places a high priority on sustainability with an innovate building design to maximize solar energy production and a cistern to capture and reuse rain water. The campus is also planning for future green building features such as a sewage wastewater energy exchange to be co-located with the NPY pump station and a potential geothermal field within the NPY park to serve future phases.

3. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

Typical for graduate level campus of this size.  
\_\_\_\_\_

4. How many employees, staff and other personnel do you expect?  
Specify time period (i.e. day, hour, or shift).

To be determined as program is developed  
\_\_\_\_\_

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
Up to 7 days a week and as permitted by noise ordinance.			
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Typical graduate level academic use  
\_\_\_\_\_

B. How will the noise from patrons be controlled?

University management  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Describe any potential odors emanating from the proposed use and plans to control them:

**Not applicable**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

Typical for university and office use

B. How much trash and garbage will be generated by the use?

Typical for university and office use

C. How often will trash be collected?

Weekly or as needed

D. How will you prevent littering on the property, streets and nearby properties?

Property management

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Typical office cleaning supplies

10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. What methods are proposed to ensure the safety of residents, employees and patrons?

**Property management**

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ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine or mixed drinks?

Yes.  No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

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PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

Parking maximum of 1.2 spaces per 1,000 sf

B. How many parking spaces of each type are provided for the proposed use:

>200 in phase 1 with interim

- \_\_\_\_\_ spaces Standard spaces
- \_\_\_\_\_ Compact spaces
- \_\_\_\_\_ Handicapped accessible spaces
- \_\_\_\_\_ Other



C. Where is required parking located? (check one)     on-site     off-site

If the required parking will be located off-site, where will it be located?

\_\_\_\_\_

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the Parking Reduction Supplemental Application.

14. Provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance?

B. How many loading spaces are available for the use?

C. Where are off-street loading facilities located?  
Within internal loading dock  
\_\_\_\_\_  
\_\_\_\_\_

D. During what hours of the day do you expect loading/unloading operations to occur?  
As permitted by city noise ordinance  
\_\_\_\_\_  
\_\_\_\_\_

E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?  
Daily and as needed  
\_\_\_\_\_  
\_\_\_\_\_

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

**See CDD conditions of approval**

\_\_\_\_\_  
\_\_\_\_\_



# APPLICATION

# SPECIAL USE PERMIT

**SPECIAL USE PERMIT #** \_\_\_\_\_

**PROPERTY LOCATION:** \_\_\_\_\_

**TAX MAP REFERENCE:** \_\_\_\_\_ **ZONE:** \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_ 902 Prices Fork Road, Blacksburg, VA 24061

**PROPOSED USE:** \_\_\_\_\_

THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

\_\_\_\_\_  
Print Name of Applicant or Agent

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mailing/Street Address

\_\_\_\_\_  
Telephone #

\_\_\_\_\_  
Fax #

\_\_\_\_\_  
City and State

\_\_\_\_\_  
Zip Code

\_\_\_\_\_  
Email address

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of \_\_\_\_\_, I hereby  
(Property Address)  
grant the applicant authorization to apply for the \_\_\_\_\_ use as  
(use)  
described in this application.

Name: \_\_\_\_\_ Phone \_\_\_\_\_

Please Print

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

**Required floor plan and plot/site plan attached.**

**Requesting a waiver. See attached written request.**

**2.** The applicant is the *(check one)*:

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

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# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Virginia Tech Foundation Inc.	902 Prices Fork Road	100%
2.	Blacksburg, VA 24061	
3. VTF is a nonprofit association		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 3601 Potomac Avenue (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Same as above		
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).


Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Virginia Tech Foundation	None	None
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

\_\_\_\_\_  
Date

Kenneth W. Wire  
\_\_\_\_\_  
Printed Name

  
\_\_\_\_\_  
Signature



## USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):
- a new use requiring a special use permit,
  - an expansion or change to an existing use without a special use permit,
  - an expansion or change to an existing use with a special use permit,
  - other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

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- B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).

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6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Hours:

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7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

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- B. How will the noise be controlled?

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**8.** Describe any potential odors emanating from the proposed use and plans to control them:

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**9.** Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

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B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

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C. How often will trash be collected?

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D. How will you prevent littering on the property, streets and nearby properties?

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**10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes.                       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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**11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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**12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

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## **ALCOHOL SALES**

**13.**

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes       No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

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## PARKING AND ACCESS REQUIREMENTS - N/A for TMP

14. A. How many parking spaces of each type are provided for the proposed use:

- \_\_\_\_\_ Standard spaces  
\_\_\_\_\_ Compact spaces  
\_\_\_\_\_ Handicapped accessible spaces.  
\_\_\_\_\_ Other.

Planning and Zoning Staff Only
Required number of spaces for use per Zoning Ordinance Section 8-200A _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where is required parking located? (*check one*)

- on-site  
 off-site

If the required parking will be located off-site, where will it be located?

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**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

**Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? \_\_\_\_\_

Planning and Zoning Staff Only
Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where are off-street loading facilities located? \_\_\_\_\_

\_\_\_\_\_

C. During what hours of the day do you expect loading/unloading operations to occur?

\_\_\_\_\_

\_\_\_\_\_

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

\_\_\_\_\_

\_\_\_\_\_

**16.** Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

\_\_\_\_\_

\_\_\_\_\_

## **SITE CHARACTERISTICS**

**17.** Will the proposed uses be located in an existing building?  Yes  No

Do you propose to construct an addition to the building?  Yes  No

How large will the addition be? \_\_\_\_\_ square feet.

**18.** What will the total area occupied by the proposed use be? **N/A**

\_\_\_\_\_ sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = \_\_\_\_\_ sq. ft. (total)

**19.** The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: \_\_\_\_\_

an office building. Please provide name of the building: \_\_\_\_\_

other. Please describe: \_\_\_\_\_

## **End of Application**

Please include my comments into the record for the community meeting about Va Tech and the North Potomac Yard Phase 1 meeting for September 23, 2020:

I am the coordinator of the citizen's group, Alexandrians for the Environmental Action Plan. We are concerned that the immediate Environmental Action Plan target of reduced GHG emissions of 50% by 2030 and up to 100% by 2050 is in jeopardy. We are concerned about this target because of the many new developments planned for our city in light of the HQ2 Amazon move to our area.

To that end, I have been following the NPY development Phase 1 project to learn how the owners and developers will honor the City's commitment to lower GHG emissions and respect the City Council declaration of a Climate Emergency in October 2019.

I am encouraged that the NPY project has an Environmental Sustainability Master Plan which we understand is the first of its kind. I have reviewed this master plan and have supported the City's Environmental Policy Commission and Planning Commission concerns and observations of the plan.

Specifically I am encouraged by the design of the VA Tech building which incorporates carbon reduction strategies with solar orientation informed design as well as building integrated photovoltaic (BIPV). I am pleased that VA Tech recognizes that BIPV products deliver savings in materials and utility costs, reduce a building's carbon footprint, and may add another layer of architectural appeal.

Unfortunately the only building with BIPV is the VA Tech building !

b. I wish that the other buildings were designed like the VA tech building, especially since the Environmental Sustainability Master Plan states that the project will strive to achieve carbon neutral buildings by 2030 and the entire project by 2040.

I would thank VA Tech for their commitment to Alexandria's desire to combat climate change and ask that the other landowners follow their lead.

Sincerely,

Carolyn N. Lyle  
Alexandria Resident