

Docket Item # 1
BAR CASE # 2013-00022
BAR Meeting
February 27, 2013

ISSUE: New Construction (Garage)
APPLICANT: Hayes Lewis and Rebecca Sneddon
LOCATION: 406 N Fayette Street
ZONE: RB / Residential

STAFF RECOMMENDATION: Staff recommends approval of the application, as submitted, with the following condition:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation Plans, Landscaping, Erosion and Sediment Control, Grading, Utilities and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or other artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



406 N FAYETTE ST



I. ISSUE

The applicant requests approval of a Certificate of Appropriateness to construct a new one-car garage off the rear alley. The garage will measure approximately 12 feet by 20 feet and will be located 8 feet from the rear property line. This standard prefabricated garage is designed with a low gable roof and paneled overhead door. The materials include: wood siding, a metal garage overhead door and asphalt shingle roof.

Currently, there is a temporary garage tent on a concrete pad in the rear yard.



Figure 1. Existing view of rear yard, looking east.

II. HISTORY

The house at 406 North Fayette Street is an interior unit in a row of six brick-faced, cinder-block rowhouses with minimal decoration constructed in **1952**, according to Real Estate records. Based on the date of construction, this rowhouse is considered a “Later Residential Building” with respect to the recently approved *Parker-Gray Residential Reference Guide*.

Staff was unable to locate any previous BAR approvals for this address.

III. ANALYSIS

The proposal is in accordance with zoning ordinance requirements, per the submitted plat showing an 8 foot setback from the rear property line.

The new *Parker-Gray Residential Reference Guide*, recommended by the Work Group and adopted by the PG BAR in December 2012, allows the construction of a new accessory structure no greater than one-story, 250 gross square feet and 11.5 feet in height in the rear yard of both Early (pre-1932) and Later (post-1931) residential buildings with no review of any kind. The Board agreed with the Work Group that such small structures in rear yards are minimally visible above a standard privacy fence and, therefore, have no adverse effect on the neighbors or the historic setting. However, until the zoning text amendment has been approved by City Council,

such an accessory structure still requires BAR approval at a public hearing. However, it should be noted that, although no BAR review will be required in the future, all other City requirements must be met, including building code and zoning ordinance requirements, such as setbacks, open space and FAR.

Staff supports the application, as submitted. The applicant's proposal is consistent with the intent of the *Parker-Gray Residential Reference Guide*, which allows for an adequately sized accessory structure, such as a one-car garage, to be constructed at the rear of any age residential property in Parker-Gray. Because this case would not be reviewed by the Board in the future, staff is placing this item on the Consent Docket, as instructed by the Board, for the owner's convenience.

STAFF

Catherine Miliaras, Historic Preservation Planner
Al Cox, FAIA, Historic Preservation Manager

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Alexandria Archaeology

Archaeology Findings:

1. According to preliminary background research, the lot at 406 N. Fayette does not have a high likelihood to contain significant archaeological resources. The current dwelling was built in the mid twentieth century. In a 1927 aerial map, a structure appears to have been standing on the adjacent lot at 408 N. Fayette. Otherwise, historic maps give no indication of activity at 406 N. Fayette prior to the construction of the present house on the lot.

Archaeology Recommendations:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation Plans, Landscaping, Erosion and Sediment Control, Grading, Utilities and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or other artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building and sign permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief at ken.granata@alexandriava.gov 703.746.4193.
- C-1 Building and trades permits are required for this project. Five sets of construction documents that fully detail the construction as well as layout and schematics of the mechanical, electrical and plumbing systems shall accompany the permit application(s).
- C-2 A Certificate of occupancy shall be obtained prior to any building change of occupancy.

Transportation and Environmental Services (T&ES)

RECOMMENDATIONS

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

CITY CODE REQUIREMENTS

- C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-5 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. ATTACHMENTS

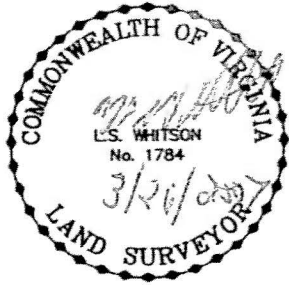
1 – Supporting Materials

2 – Application for BAR20130-00022 at 406 North Fayette Street



Attachment 1

MONUMENT LOCATED BUT NOT HELD



HOUSE LOCATION SURVEY

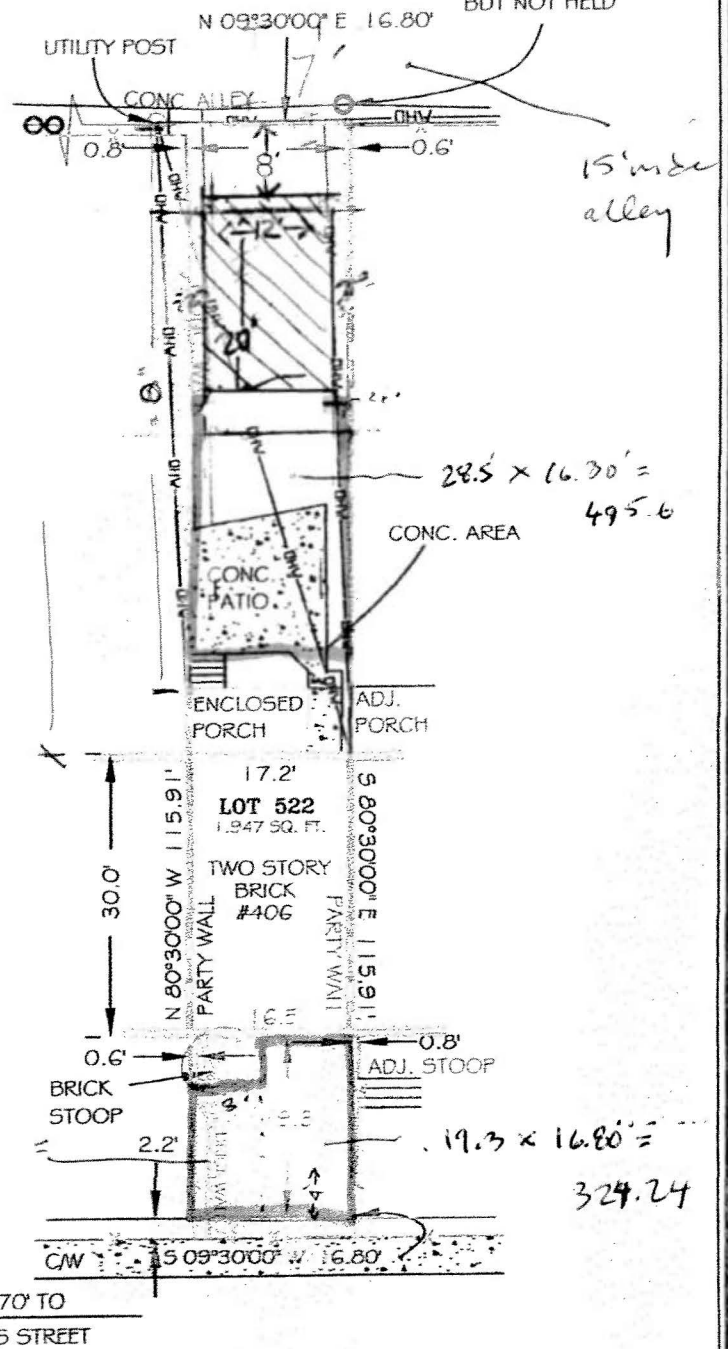
LOT 522
PAYNE, ORONCO, FAYETTE
& PRINCESS STREETS
DEED BOOK 232 PAGE 278
CITY OF ALEXANDRIA, VIRGINIA
DATE: MARCH 26, 2007
SCALE: 1" = 20'
DRAFTED BY: RLO
DATE: MAY 24, 2011 (REVISED)

NOTES

1. "NO" PROPERTY MONUMENTS SET. REFER TO TITLE 54.1-407 OF THE CODE OF VIRGINIA
2. THIS HOUSE LOCATION SURVEY WAS PERFORMED AT THE WRITTEN REQUEST OF YOUR LEGAL AGENT AND DOES NOT REPRESENT A BOUNDARY SURVEY
3. THIS SURVEY IS NOT TO BE USED FOR THE CONSTRUCTION OF FENCES OR ANY OTHER IMPROVEMENTS
4. THIS SURVEY WAS ESTABLISHED BY AN ELECTRONIC TOTAL STATION AND TAPE UNLESS OTHERWISE SHOWN THERE ARE NO ENCROACHMENTS
5. NO TITLE REPORT WAS FURNISHED. ALL EASEMENTS OF RECORD MAY NOT BE SHOWN

LEGEND

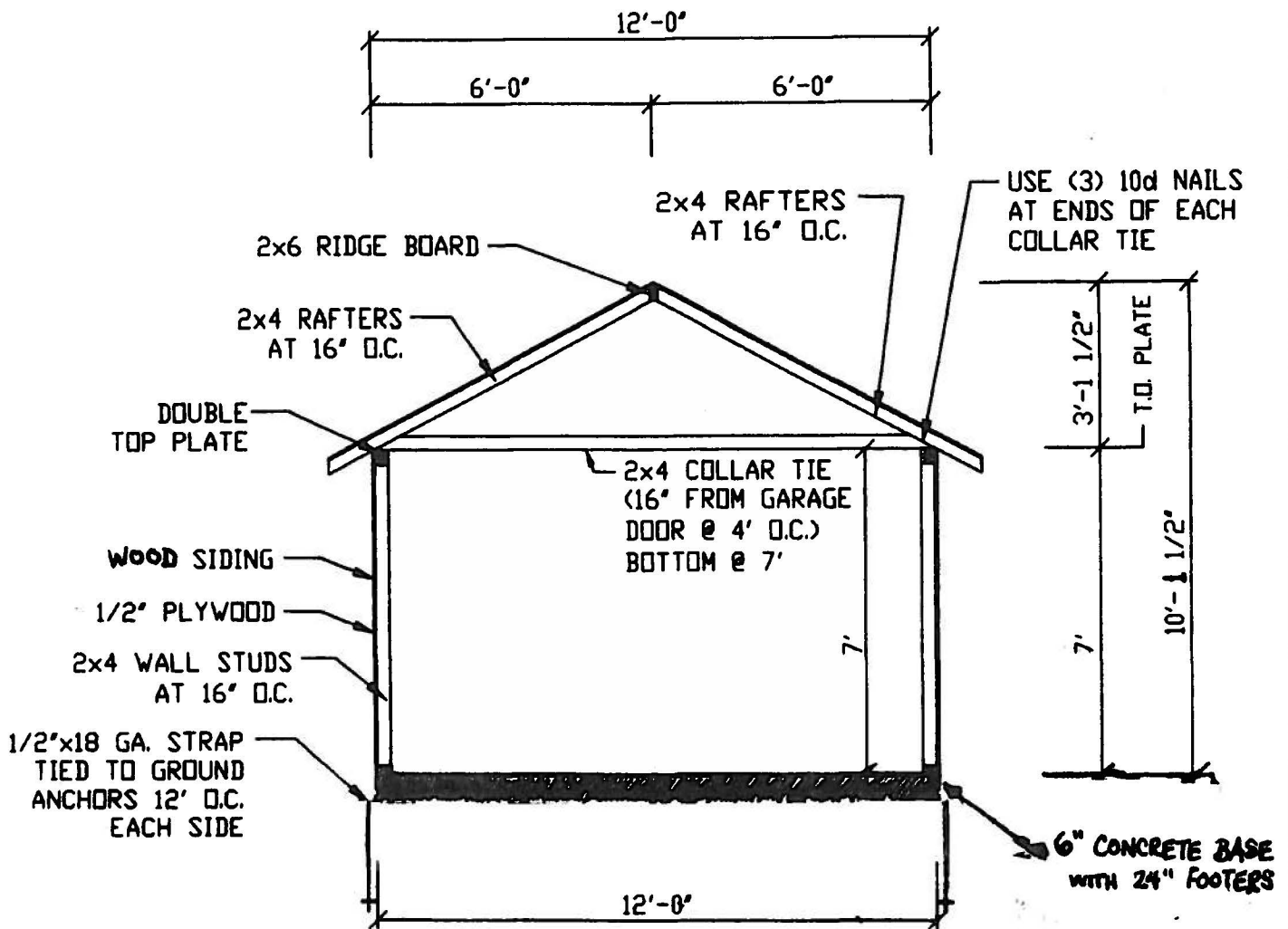
- CW = CONCRETE WALK
- SW = STONE WALK
- WL = WOOD LANDING
- B/L = BRICK LANDING
- WD = WOOD DECK
- C/S = CONCRETE STOOP
- M/S = METAL STOOP
- C/C/S = COVERED CONCRETE STOOP
- C/P = CONCRETE PATIO
- R/E = RECESSED ENTRY
- CHIM = CHIMNEY
- O.H. = OVERHANG
- B/W = BAY WINDOW
- OHW = OVERHEAD WIRE



Scale: 1" = 20'

NORTH FAYETTE STREET
66' WIDE

RB me:
 Open Space Required: 800^{sq}
 Open Space Provided: 819^{sq} +/-
 No side yard - two party walls
 veg rear yard: 8' or 11'
 provide rear yard: 15.5' to the centerline of alley

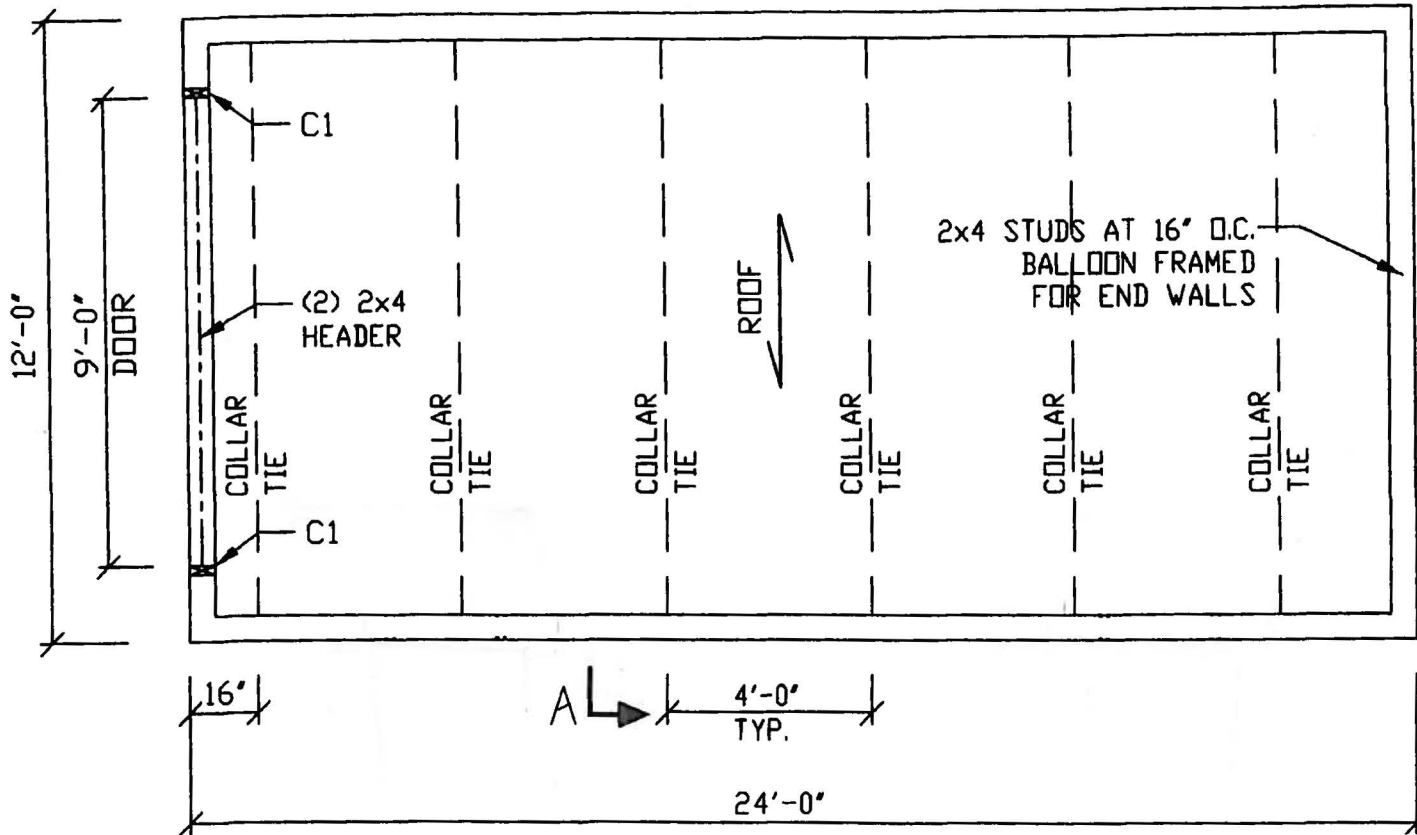


SECTION A-A



RUCKMAN ENGINEERING, PLC (540) 678-1216		
22-B RICKETTS DR., WINCHESTER, VIRGINIA 22601		
SCALE: NTS	APPROVED BY:	DRAWN BY: JHS
DATE: 9-6-07	RAR	
ALAN'S FACTORY OUTLET		
A-FRAME WITH WOODEN FLOOR AND GARAGE DOOR		
AUGUSTA COUNTY, VIRGINIA		DRAWING NUMBER
		1 OF 1

A →



PLAN VIEW

NOTES:

1. DESIGN LIVE LOADS:
 ROOF = 30 psf.
 FLOOR = 40 psf.
2. DESIGN WIND SPEED: 90 MPH, EXP. "C"
3. WINTER DESIGN TEMP: N/A (UNHEATED)
4. WOOD SPECIES: SPF NO. 2
5. OCCUPANCY CLASSIFICATION: UTILITY (STORAGE)
6. OPENINGS 2'-0" OR LESS TO HAVE (1) 2x4 JACK STUD & (1) 2x4 KING STUD, WITH A (2) 2x4 HEADER, S.P.F. #2.
7. GROUND ANCHORS MUST HAVE AN AVAILABLE UPLIFT RATING OF 1500# FOR THE EXISTING SOIL CONDITIONS.
8. C1 - (1) 2x4 JACK STUD WITH (1) 2x4 KING STUD, SPF #2.



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information
 A1. Street Address 406 N. Fayette St Zone RB
 A2. 1947 x J.75 = 1460.25
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	510	Basement**	510
First Floor	510	Stairways**	4.5
Second Floor	490.5	Mechanical**	-
Third Floor	n/a	Other**	-
Porches/ Other	81	Total Exclusions	514.5
Total Gross *	1591.5		

B1. Existing Gross Floor Area *
1591.5 Sq. Ft.
 B2. Allowable Floor Exclusions**
514.5 Sq. Ft.
 B3. Existing Floor Area minus Exclusions
1077 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	-	Basement**	-
First Floor	-	Stairways**	-
Second Floor	-	Mechanical**	-
Third Floor	-	Other**	-
Porches/ Other	240	Total Exclusions	-
Total Gross *	240		

C1. Proposed Gross Floor Area *
240 Sq. Ft.
 C2. Allowable Floor Exclusions**
0 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions
240 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1317 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 1460.25 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	1356
Required Open Space	800
Proposed Open Space	1116

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 2-19-13



view of backyard entrance and alley



view of back yard facing alley



Colors as preferred by BAR, this is just an exemplar of style.

BAR Case # 2013-00022

ADDRESS OF PROJECT: 406 N. Fayette St Alexandria, VA 22314
TAX MAP AND PARCEL: 064.01-07-23 ZONING: RB

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Hayes Lewis & Rebecca Sneddon
Address: 406 N. Fayette St
City: Alexandria State: VA Zip: 22314
Phone: 703.269.7357 E-mail: roneddon13@hotmail.com

Authorized Agent (if applicable): Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Hayes Lewis & Rebecca Sneddon
Address: 406 N. Fayette St
City: Alexandria State: VA Zip: 22314
Phone: 703.269.7357 E-mail: rsneddon13@hotmail.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

~~_____~~
 * Wood frame garage/shed
 * ~~_____~~ electrical line to serve structure, extend current

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: R. Snedden

Date: 2014 October 30

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Hayes Lewis	406 N. Fayette St	50%
2. Rebecca Sneddon	406 N. Fayette St	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 406 N. Fayette St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Hayes Lewis	406 N. Fayette St	50%
2. Rebecca Sneddon	406 N. Fayette St	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

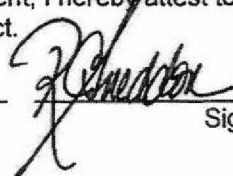
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. None		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2/11/10/30
Date

RC Sneddon
Printed Name


Signature