

ISSUE: Permit to Demolish/Capsulate (accessory structure) and Certificate of Appropriateness for alterations

APPLICANT: Cody Stadler

LOCATION: Parker-Gray Historic District
1008 Oronoco Street

ZONE: RB

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations, with the condition that the applicant work with staff to submit window specifications that comply with the BAR's window policy.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate and a Certificate of Appropriateness for alterations to capsulate an existing concrete masonry unit (CMU) shed with fieldstone and add a new pitched roof with a dormer and windows. Some alterations, such as a proposed door and window, will not be visible from the public right-of-way due to a privacy fence and thus are not discussed in this report.

Site context

The property is bound by Oronoco Street to the north and a private alley to the south. However, the proposed alterations will be slightly visible from an adjacent public alley (Figure 1).

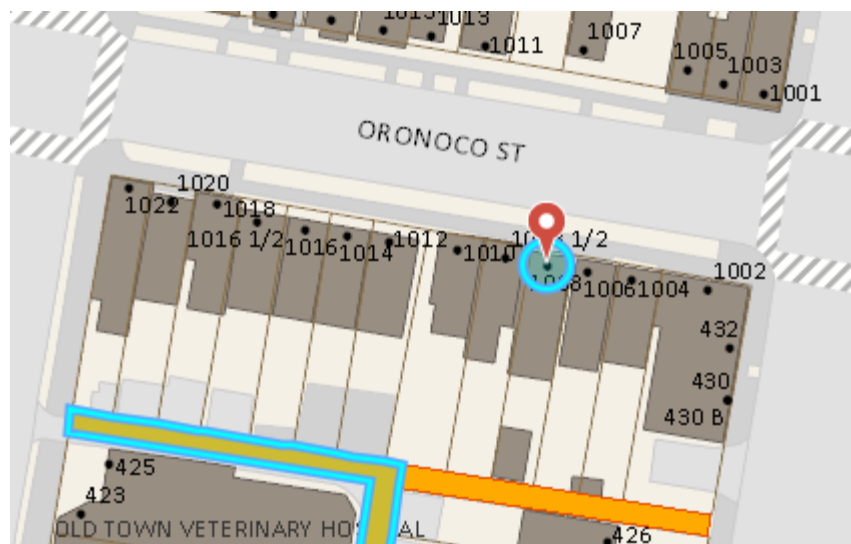


Figure 1. The alley directly to the south of the subject property is private, but the rear of the property is slightly visible from the public alley further to the west (highlighted in blue).

II. HISTORY

According to the 1881 Sanborn map, the Victorian style structure at 1008 Oronoco Street was originally a one and one-half story mass with a one-story addition set far back from the street. Around 1907-1912, this structure was either demolished or had a major renovation into a two-story configuration set along the front property line. Staff believes that, based on the available historical evidence, the main portion of the structure dates to around **1907-1912**. The third story mansard roof was not added until 1982 (Permit #37758), which is before the establishment of the Parker-Gray Historic District. The only BAR approval staff was able to locate is an administrative approval to replace the old mansard roof shingles.

It is not known when the existing shed was constructed. In the Parker-Gray Historic District, BAR approval would not have been required to construct a rear yard accessory structure that is no greater than one story, 256 gross square feet in area, and 11.5 feet in height.

Previous BAR Approvals
BAR2021-00567

Shingle roof replacement

III. ANALYSIS

The applicant requests a Permit to Demolish/Capsulate and a Certificate of Appropriateness for alterations to capsulate an existing concrete masonry unit (CMU) shed with fieldstone and add a new pitched roof with a dormer and windows. The height of the structure will increase to 13 feet (midpoint of the dormer). The visibility of the shed was confirmed by staff during a site visit (Figures 2a and 2b). Due to the privacy fence and heavy vegetation, staff believes that in current conditions the proposed alterations would not be visible at all from the public right-of-way. However, it is likely that the proposed roof area with the dormer window will be visible from the public alley in the winter when the roof is taller and vegetation is not blocking the view.



Figure 2a (left) shows an aerial view of the existing shed. Figure 2b (right) shows the visibility of the shed while standing in the public alley to the southwest of the subject property.

The most significant change to the shed is the proposed addition of a pitched gable roof with dormer windows on the west and east elevations. The roof will have synthetic slate shingles, and the dormer will have Hardie plank siding. There are also two windows proposed on the second floor of the north elevation. The entire shed will have its existing CMU exterior clad in field stone. Anything on the first floor of the structure, such as the door, will not be visible from the public right-of-way, so staff does not discuss those features. Additionally, staff notes that the north and east elevations are not visible from the public right-of-way, so they are not discussed.

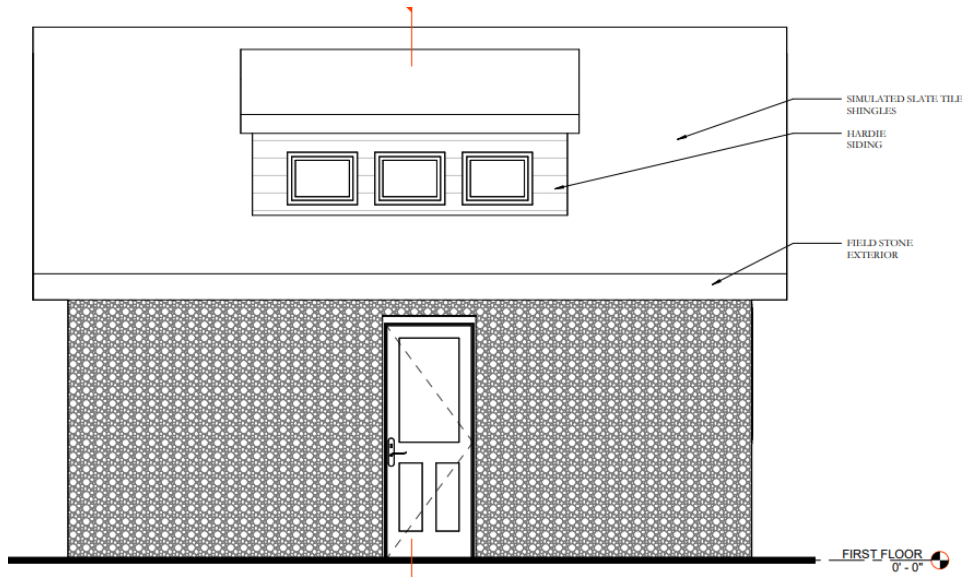


Figure 3. Proposed west elevation. Only the roof area will be visible.

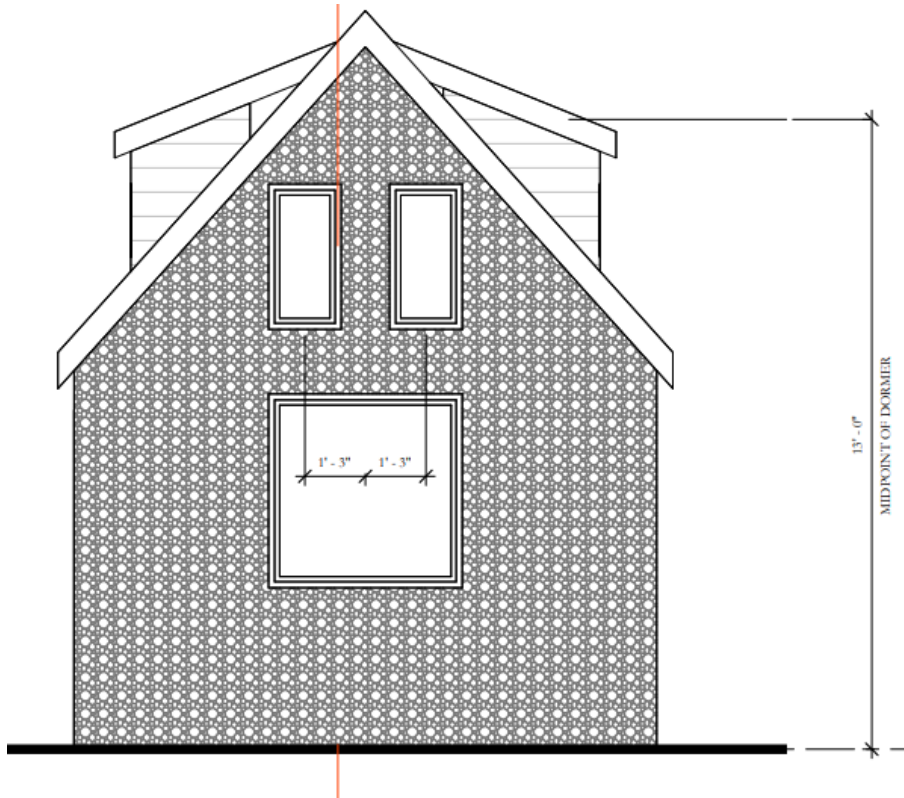


Figure 4. Proposed south elevation. Only the roof area will be visible.

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	N/A
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The shed is a modern concrete block and not of unusual or uncommon design. Additionally, the capsulation will only be slightly visible from the public right-of-way and the historic integrity of the main structure at 1008 Oronoco Street will not be affected by the proposed work.

Staff therefore has no objection to the demolition/capsulation and recommends approval of the Permit to Demolish/Capsulate.

Certificate of Appropriateness

According to the *Design Guidelines*, “free-standing accessory structures should complement, not compete with, the architecture of the main building” and “the materials of accessory structures should not detract from the materials of the main building”. Staff believes that the proposed roof addition and dormer window are appropriate for this accessory structure and are sympathetic to

the main building at 1008 Oronoco Street. The main building has a modern dormer window on the front façade, so the addition of a dormer on the accessory building is not in conflict with the architectural style of the main structure. Additionally, the proposed Hardie siding and fieldstone exterior are appropriate for a modern structure.

Overall, staff emphasizes that the proposed alterations to the existing shed will be very minimally visible from the public alley and will not affect the historic integrity of the main structure. Therefore, staff recommends approval of the Certificate of Appropriateness for alterations, with the condition that the applicant work with staff to submit window specifications that comply with the BAR's window policy, which in this case allows for any window material except for vinyl and no tinted or reflective glass.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed ADU will comply with zoning.

F-1 ADU has been conditionally approved by Zoning staff through ZAP2024-00018 pending no further changes made to the design by the BAR.

F-2 ADU will need be added to the deed of the property before the issuance of the building permit.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- C-1 No archaeology comments.

V. ATTACHMENTS

1 – Application Materials

- *Completed application*
- *Plans*
- *Material specifications*
- *Scaled survey plat if applicable*
- *Photographs*

2 – Supplemental Materials

- *Public comment*

- *Easement approval if applicable*
- *Any other supporting documentation*

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 1008 Oronoco St

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.01-05-07 ZONING: RB

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Cody Stadler (stadlerdesign, llc)

Address: 9207 Volunteer Dr

City: Alexandria State: VA Zip: 22309

Phone: 9203790472 E-mail: cody@stadlerdesign

Authorized Agent *(if applicable)*: Attorney Architect _____

Name: Cody Stadler (stadlerdesign) Phone: 9203790472

E-mail: cody@stadlerdesign.com

Legal Property Owner:

Name: Donald + Jaki McCarthy

Address: 1008 Oronoco St.

City: Alexandria State: Va. Zip: 22314

Phone: 703 503-5899 E-mail: jaki.don@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Cladding of existing shed in field stone. New pitched roof with dormers on top of existing shed to replace existing flat roof. Construction project will result in an ADU for the owners.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Donald J. McCarthy + Jaki S. McCarthy

Date: 6-25-24

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Donald J. McCarthy	1008 Oronoco St. Alexandria Va. 22314	50 %
2. Jaki S. McCarthy	same as above	50 %
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1008 Oronoco St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Donald J. McCarthy	1008 Oronoco St. Alexandria Va. 22314	50 %
2. Jaki S. McCarthy	same as above	50 %
3.		

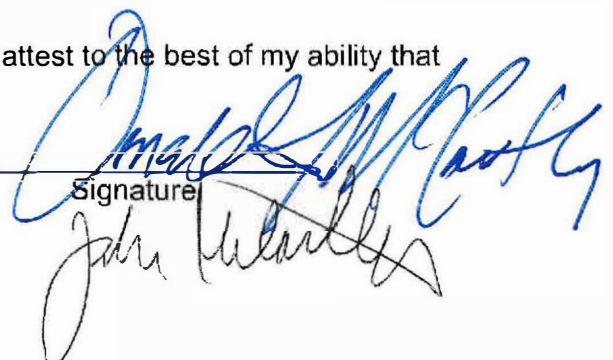
3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6-25-24 Donald + Jaki McCarthy
Date Printed Name


Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address RB Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	B1. <input type="text" value="2,806.00"/> Sq. Ft.
First Floor	<input type="text" value="652.00"/>	Stairways**	<input type="text" value=""/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="652.00"/>	Mechanical**	<input type="text" value=""/>	B2. <input type="text" value="851.00"/> Sq. Ft.
Third Floor	<input type="text" value="651.00"/>	Attic less than 7'***	<input type="text" value="651.00"/>	Allowable Floor Exclusions**
Attic	<input type="text" value="651.00"/>	Porches**	<input type="text" value=""/>	B3. <input type="text" value="1,955.00"/> Sq. Ft.
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value=""/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text" value=""/>	Garage**	<input type="text" value=""/>	Comments for Existing Gross Floor Area Other - Existing CMU shed
Garage	<input type="text" value=""/>	Other***	<input type="text" value=""/>	
Other***	<input type="text" value="200.00"/>	Other***	<input type="text" value="200.00"/>	
B1. Total Gross	<input type="text" value="2,806.00"/>	B2. Total Exclusions	<input type="text" value="851.00"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	C1. <input type="text" value="0.00"/> Sq. Ft.
First Floor	<input type="text" value="0.00"/>	Stairways**	<input type="text" value=""/>	Proposed Gross Floor Area*
Second Floor	<input type="text" value="0.00"/>	Mechanical**	<input type="text" value=""/>	C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text" value=""/>	Attic less than 7'***	<input type="text" value="0.00"/>	Allowable Floor Exclusions**
Attic	<input type="text" value="0.00"/>	Porches**	<input type="text" value=""/>	C3. <input type="text" value="0.00"/> Sq. Ft.
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value=""/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text" value=""/>	Garage**	<input type="text" value=""/>	
Garage	<input type="text" value=""/>	Other***	<input type="text" value=""/>	
Other***	<input type="text" value=""/>	Other***	<input type="text" value=""/>	
C1. Total Gross	<input type="text" value="0.00"/>	C2. Total Exclusions	<input type="text" value="0.00"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

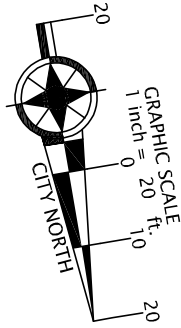
*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

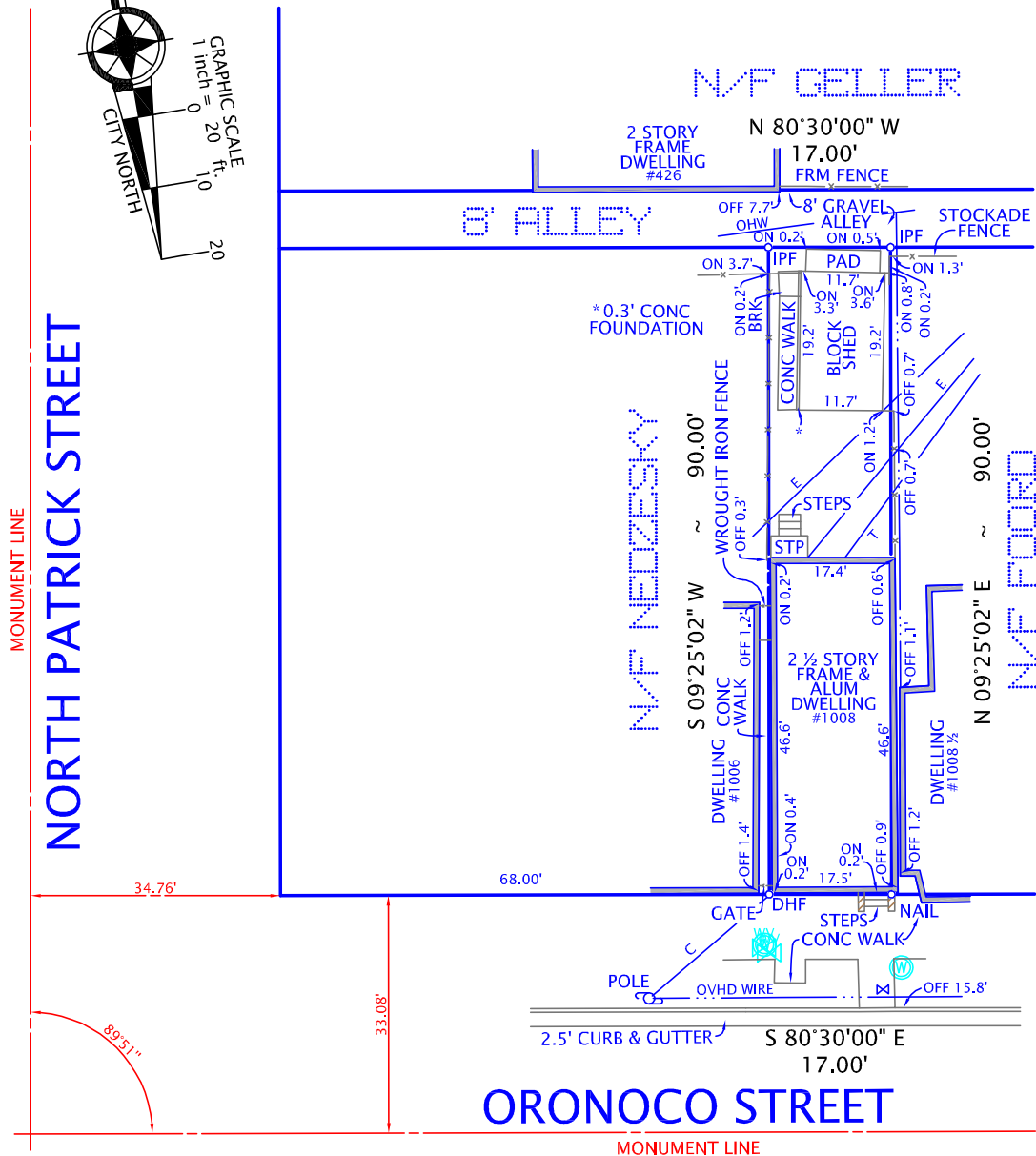
Signature:

Date: 20.June.2024

- NOTES: 1. FENCES ARE STOCKADE UNLESS NOTED.
 2. AREA = 1,530 SF (COMP)



MONUMENT LINE
 NORTH PATRICK STREET



PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#1008 ORONOCO STREET
 (INSTRUMENT NO: 050033065)
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' MAY 16, 2024

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I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
 A TITLE REPORT WAS NOT FURNISHED.
 NO CORNER MARKERS SET.

George M. O'Quinn
 GEORGE M. O'QUINN
 05/16/2024
 LICENSE NO. 2069
 DOMINION SURVEYORS®

ORDERED BY:
 McCARTHY
 STADLER DESIGN

DOMINION Surveyors Inc.®
 8808-H PEAR TREE VILLAGE COURT
 ALEXANDRIA, VIRGINIA 22309
 703-619-6555
 www.dominionsurveyors.com

McCarthy Residence ADU
 1008 Oronoco St
 Alexandria, VA 22314



McCarthy ADU
 1008 Oronoco St
 Alexandria, VA 22314

Consultant:

Issue No.	Description	Date
1	ISSUE FOR PERMIT	05/25/2022

Fee Rate:

Architect Signature:

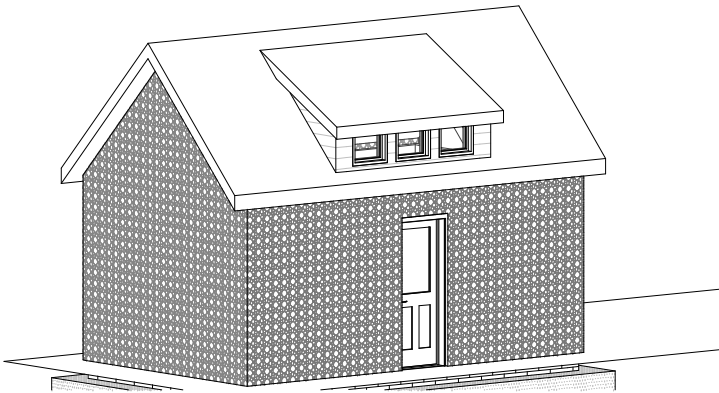


Sheet Name:

COVER AND
 DRAWING INDEX

Project No:	19801	Sheet No.:	G-000
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Scale:



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SHEET INDEX

GENERAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
G-001	PROJECT INFORMATION	
G-000	COVER AND DRAWING INDEX	ISSUE FOR PERMIT
G-100	SITE PLAN	ISSUE FOR PERMIT

ARCHITECTURAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
A-101	FIRST FLOOR - EXISTING	
A-101	FIRST FLOOR	ISSUE FOR PERMIT
A-201	FIRST FLOOR RCP	ISSUE FOR PERMIT
A-400	BUILDING ELEVATIONS	ISSUE FOR PERMIT
A-410	BUILDING SECTIONS	ISSUE FOR PERMIT
A-700	WINDOW AND DOOR SCHEDULES	ISSUE FOR PERMIT

GENERAL NOTES

- General Conditions of the Contract (AIA Document A201) apply to this project.
- All work shall comply with State and local Building Codes, fire department regulations, utility company standards, and the best trade practices.
- The General Contractor shall arrange all inspections and tests as specified or required by the building department and shall pay all costs and fees for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the Owner a Certificate of Occupancy or Use from the building department.
- All plumbing and electrical work shall be performed by State licensed contractors. Contractors shall submit all required permits, certificates, and sign-offs to Owner and Architect for their records.
- The General Contractor shall verify all dimensions, be familiar with the existing conditions, and bring any discrepancies to the attention of the Architect prior to submission of construction proposal and before beginning work. The Drawings reflect conditions reasonably inferred from the existing visible conditions but cannot be guaranteed by the Architect. Drawings may be scaled for estimating purposes and for general reference only. For all other dimensions or locations consult the Architect or refer to dimensions on Drawings. Verify all dimensions in the field.
- The General Contractor shall lay out all work and be responsible for all dimensions and conditions for trades such as electrical, plumbing, etc.
- The General Contractor shall provide and maintain access to the premises at all times.
- The Construction Manager shall make the premises secure from the elements and trespass on a daily basis.
- The General Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of Work, the entire construction area is to be thoroughly cleaned and prepared for occupancy by Owner. All materials and debris resulting from the Contractor's work shall be removed from the site and disposed of properly. Care shall be taken during construction that no debris or materials are deposited in any Right of Way area.
- The General Contractor shall be responsible for protecting all existing and new conditions and materials on the site. Any damage caused by or during the execution of the Work is the Contractor's responsibility and shall be repaired to the Owner's satisfaction at the Contractor's expense.
- No cutting or damage to building structural components will be allowed without written authorization from the Architect.
- All utilities shall be connected to provide gas, electric, and water to all equipment whether said equipment is in Contract or not. Equipment shall be guaranteed to function properly upon completion.
- Manufacturer's standard specifications and materials approved for project use are hereby made part of these Notes with same force and effect as if written out in full herein. All appliances, fixtures, equipment, hardware, etc. shall be installed in accordance with Manufacturer's specifications and procedures.
- Written words take precedence over drawn lines. Large-scale details and plans take precedence over smaller details and plans. Should a conflict arise between the Specifications and Drawings, the requirements deemed most stringent shall be used.
- Minor details not usually shown or specified but necessary for proper and acceptable construction, installation, or operation of any part of the Work as determined by the Architect shall be included in the Work as if it were specified or indicated on the Drawings.
- All architectural drawings and construction notes are complimentary. What is indicated and called for by one shall be binding as though called for by all.
- No deviation from the Drawings or Specifications or intent of same shall be made without the Architect's written authorization.
- All Work shall be guaranteed for one year after final approval. The General Contractor shall sign the written guarantee as provided by the Owner. The guarantee shall cover all general and subcontractor work. All defects discovered during this period shall be repaired to the Owner's satisfaction at the Contractor's expense.
- All dimensions are to face of stud or centerline of structure unless otherwise noted (UNO).
- Door and window details are indicated on the Door and Window Schedules.
- Door and window dimensions are to centerlines of units UNO.

LEGEND

- Wall Type (see wall type schedule)
 - Door Type (see door schedule)
 - Window Type (see window schedule)
 - Building Section
 - Wall Section
 - Detail Number
 - Building Elevation
 - Interior Elevation
 - Elevation Mark
 - Room Name / Number
 - Column Line
 - Centerline
 - Revision Tag
-
- A.C.I. AMERICAN CONCRETE INSTITUTE
 - BLDG. BUILDING
 - CONC. CONCRETE
 - C.J. CONTROL JOINT
 - COL. COLUMN
 - DET. DETAIL
 - DIA. DIAMETER
 - DN. DOWN
 - EL/ELEV. ELEVATION
 - ELEC. ELECTRICAL
 - EQ. EQUAL
 - FIN. FINISH
 - FLR. FLOOR
 - GALV. GALVANIZED
 - GYP. GYPSUM
 - LD. INSIDE DIAMETER
 - IT. JOINT
 - MECH. MECHANICAL
 - MIN. MINIMUM
 - N.T.S. NOT TO SCALE
 - NO. NUMBER
 - O.C. ON CENTER
 - OPG. OPENING
 - O.D. OUTSIDE DIAMETER
 - UNO. UNLESS NOTED OTHERWISE
 - REF. REFERENCE
 - R. RISER
 - R.O. ROUGH OPENING
 - RM. ROOM
 - S/STL. STAINLESS STEEL
 - STRUCT. STRUCTURAL
 - SPEC. SPECIFICATIONS
 - T.O. TOP OF ()
 - T.O.CONC. TOP OF CONCRETE
 - T.O.F. TOP OF FRAMING
 - T.O.STL. TOP OF STEEL
 - T.O.W. TOP OF WALL
 - T. TREAD
 - TP. TYPICAL
 - @ AT
 - + AND
 - BD. BOARD
 - A.F.F. ABOVE FINISHED FLOOR
 - UNO. UNLESS OTHERWISE NOTED
 - V.I.F. VERIFY IN FIELD

BUILDING CODE

- BUILDING CODE REFERENCES
 2021 VIRGINIA RESIDENTIAL CODE
 (BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE)
- BUILDING/PRECASTING CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021
 - STRUCTURAL CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021
 - PLUMBING & GAS CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021
 - MECHANICAL CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021
 - ELECTRICAL CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021
 - ENERGY CODE VIRGINIA RESIDENTIAL CODE (VRC) 2021

STRUCTURAL	DEAD LOADS	HEAD LOADS
ROOF TRUSSES	30PSF	10PSF
RAFTERS	30PSF	12PSF
ATTIC FLOORS	30PSF	10PSF
FLOORS	40PSF	12PSF
GARAGE FLOORS	30PSF	30PSF
DECKS	40PSF	10PSF
BALCONIES	60PSF	10PSF
STAIRS	40PSF	20PSF
GROUND SNOW LOAD	30 LBS	
DESIGN WIND SPEED	115MPH (ULTIMATE)	
SEISMIC DESIGN CATEGORY	B	
FRONT LINE	24'	
SOIL BEARING CAPACITY	1500PSF	
ENVIRONMENTAL		
DECAY PROT REQUIRED	SLIGHT TO MODERATE	
TERMITE PROT REQUIRED	ACCELERATE TO HEAVY	
CLIMATE ZONE	4A NON MARINE	
ENERGY CODE	2018 IECC CODE REQUIRED MINIMUMS	
WINDOWS	USUALIE 012	
SKYLIGHTS	15A VALUE 033	
CEILING	R40	
WALLS	R13 (CAVITY)	
FLOOR	R19	
GRAVEL/SURFACE	R10 (CONTINUOUS)	
SLAB	R10 (CONTINUOUS)	



McCarthy ADU

1008 Oronoco St
Alexandria, VA 22314

Contractor:

Architect:

Rev. Date:

Architect Signature:



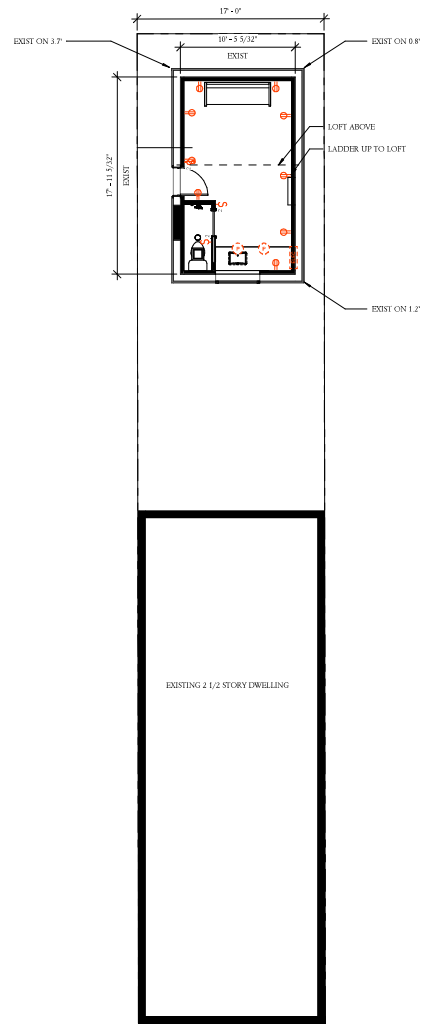
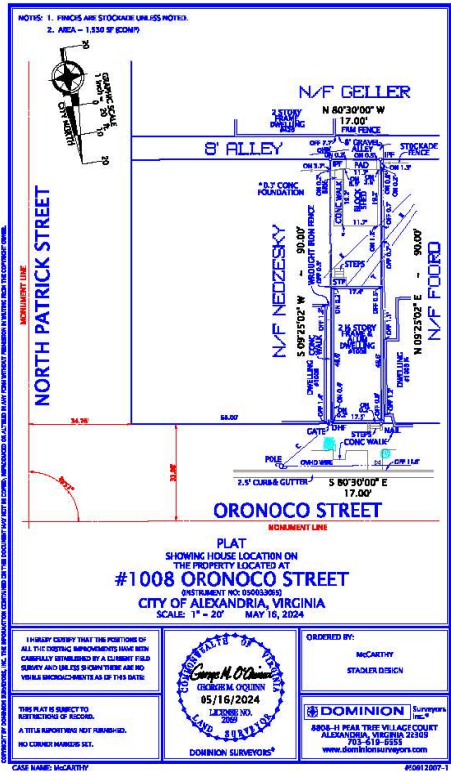
Sheet Name:

PROJECT INFORMATION

Project No.: 1903 Sheet No.:

G-001

Scale: 1/4" = 1'-0"



01 SITE PLAN
3/16" = 1'-0"



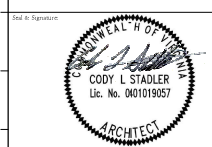
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Contractor:

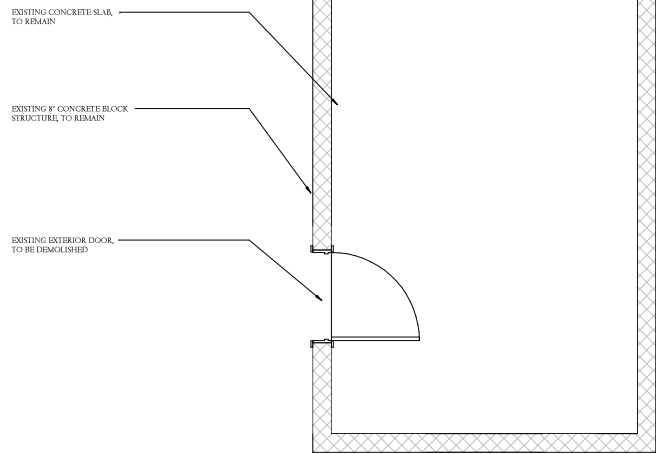
Issue No.	Description	Date
1	ISSUE FOR PERMIT	05/25/2024

Key Plan:



Sheet Name:
SITE PLAN

Project No.:	19801	Sheet No.:	G-100
Scale:	3/16" = 1'-0"		



01 FIRST FLOOR - EXISTING
1/2" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS.
2. PROTECT ALL MATERIALS NOTED AS EXISTING TO REMAIN, OR NOT NOTED TO BE DEMOLISHED.

LEGEND



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Consultant:

No.	Description	Date
1	ISSUE FOR PERMIT	05/25/2022

Key Plan:

Seal & Signature:



Sheet Name:
FIRST FLOOR - EXISTING

Project No.: 1901 Sheet No.:
AX-101

Scale:
As indicated

4.17.2024 11:28:04 AM



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Coordinate:

No.	Description	Date
1	ISSUE FOR PERMIT	05/25/2022

Rev. Date:

Field Signature:



Sheet Name:

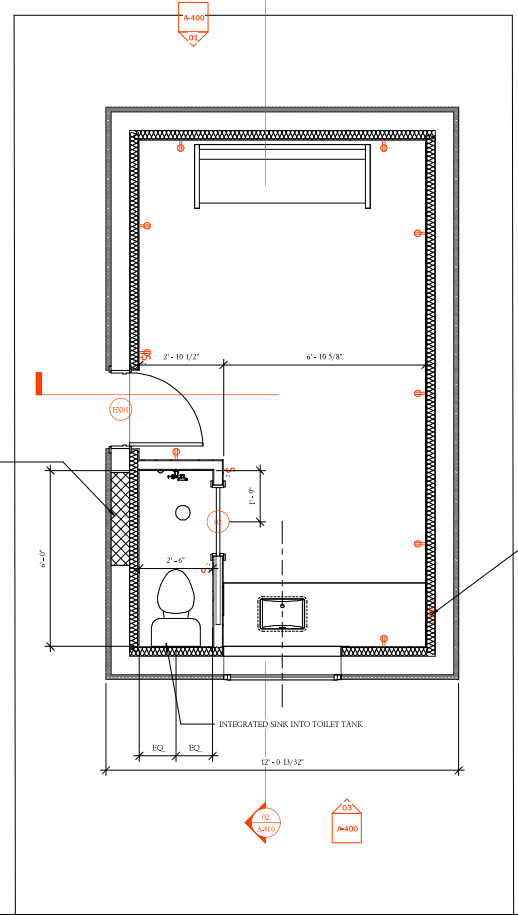
FIRST FLOOR

Project No: 1901 Sheet No:

A-101

Scale: As Indicated

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A-400 (A)
INFILL EXISTING OPENING WITH NEW 8" CMU

INCOMING ELECTRICAL SUBPANEL

01 FIRST FLOOR
1/2" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTING		NEW FINISH
	TO BE DEMOLISHED		QUARTZ
	FINISH TO BE DEMOLISHED		TILE
	NEW PARTITION		WOOD

4.17.2020 10:41 AM



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Contractor:	
Architect:	
No. Description	Date
1 ISSUE FOR PERMIT	05/25/2022

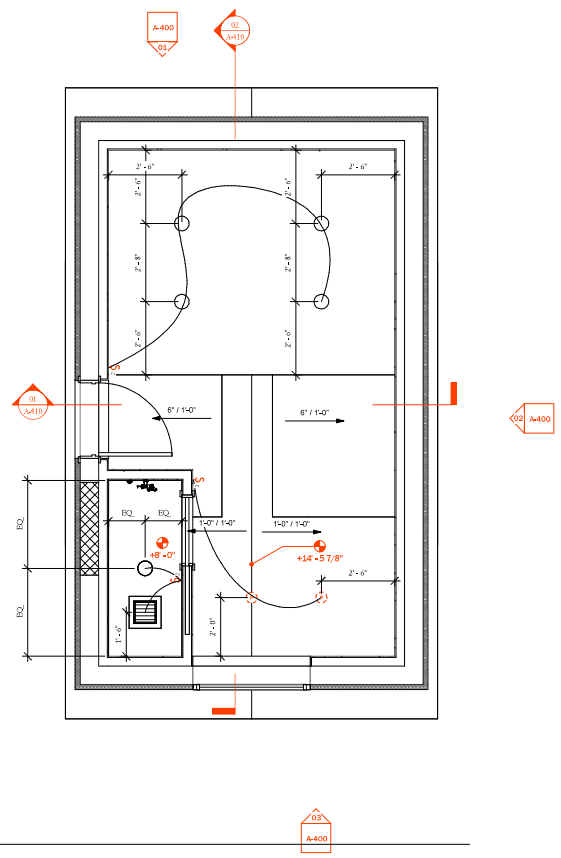
Key Plan

Field Signature



Sheet Name: **FIRST FLOOR RCP**

Project No.:	1903	Sheet No.:	A-201
Scale:	As Indicated		



01 FIRST FLOOR
1/2" = 1'-0"

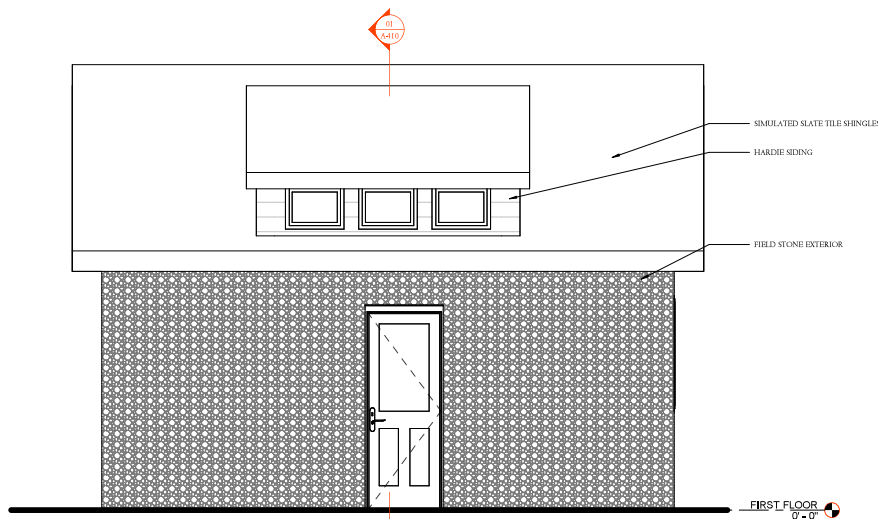
GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

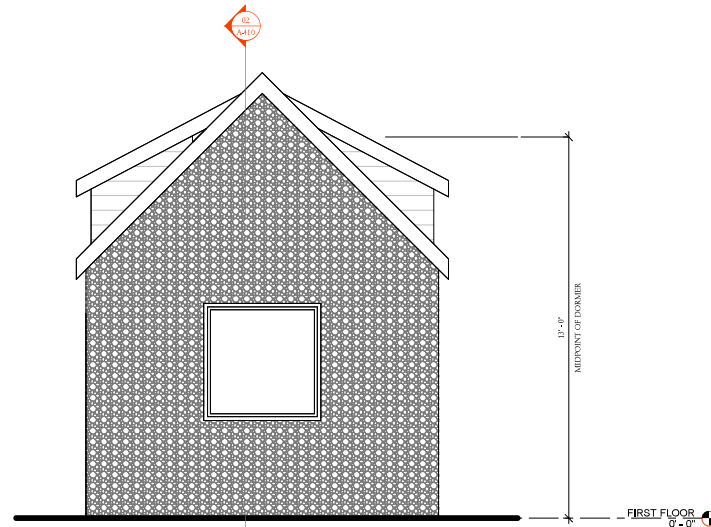
- A. INSTALL ALL RECEPTACLES AT (INSERT HEIGHT)" A.F.F. (HORIZONTALLY/VERTICALLY), U.O.
- B. INSTALL ALL ABOVE COUNTER OUTLETS (HORIZONTALLY/VERTICALLY) WITH A CENTERLINE OF (INSERT HEIGHT)" A.F.F., U.O.
- C. INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT) A.F.F. INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.
- D. MOUNT CENTERLINE OF THERMOSTATS + KEYPADS AT (INSERT HEIGHT) A.F.F. CENTER ON SWITCHES BELOW IF APPLICABLE.
- E. ALL SWITCHES TO BE ON DIMMING CIRCUITS. NOTIFY ARCHITECT PRIOR TO ROUGH-IN OF ANY FIXTURE LOCATIONS THAT ARE NOT ABLE TO BE ON A DIMMING CIRCUIT SO ALTERNATE PLANS CAN BE MADE.
- F. ALL EXPOSED SWITCHES AND OUTLETS TO BE "(INSERT SERIES) SERIES WITH (INSERT COVERPLATES) COVERPLATES BY (INSERT MANUF).
- G. DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES. **COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
- H. ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.
- I. INSTALLATION SHALL CONFORM TO CURRENT ADOPTED (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND ARCHITECT AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.
- J. COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ANY INTERIOR ELEVATIONS.
- K. NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

TV HOOK-UP (LIST CABLING REQ'D. CAT6, STRUCTURED CABLING, ETC.)	THERMOSTAT	PLUG-IN FIXTURE
KEYPAD	EXHAUST FAN	PENDANT
ETHERNET / PHONE (LIST JACK REQUIREMENTS)	HEAT DETECTOR (LOW - LOW TEMP SENSOR, LP = LP GAS DETECTOR)	CEILING MOUNTED SPEAKER
SWITCH (DIMMING CIRCUIT)	SMOKE/CO DETECTOR	IN-WALL SPEAKER
DUPLEX RECEPTABLE (USB INDICATES CHARGING OUTLET/STATION)	REMOTE TRANSFORMER	LED STRIP LIGHT
QUAD RECEPTACLE	FEATURE TYPE, SEE SCHED SURFACE MTD. LIGHT	STEP LIGHT
GFCI DUPLEX RECEPTACLE	RECESSED LIGHT (ARROW = DIRECTIONAL)	INGROUND/WELL LIGHT
FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE)	WALL MOUNTED LIGHT	TRACK/HEADS
	MONOPOINT	WALL MOUNTED SWING-ARM LIGHT
		ELECTRICAL PANEL

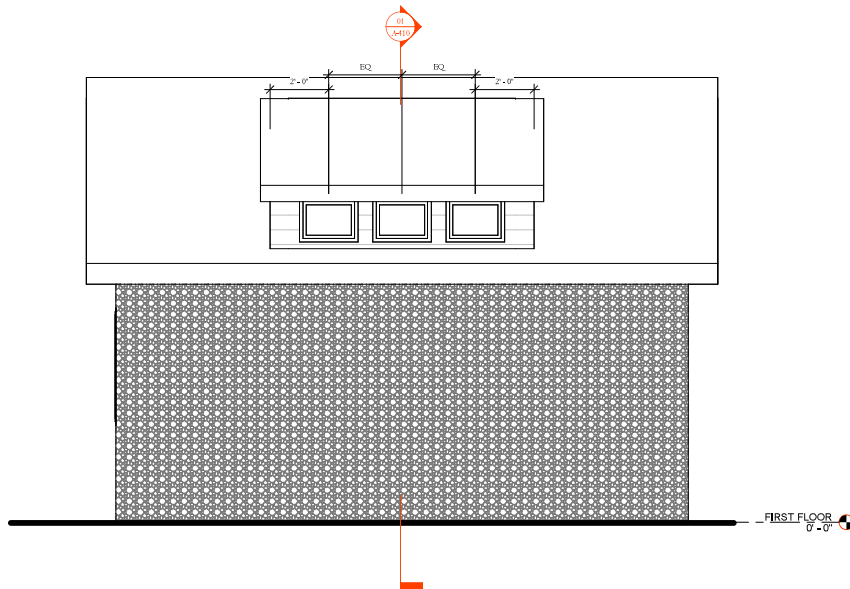
4/17/2020 10:23 AM



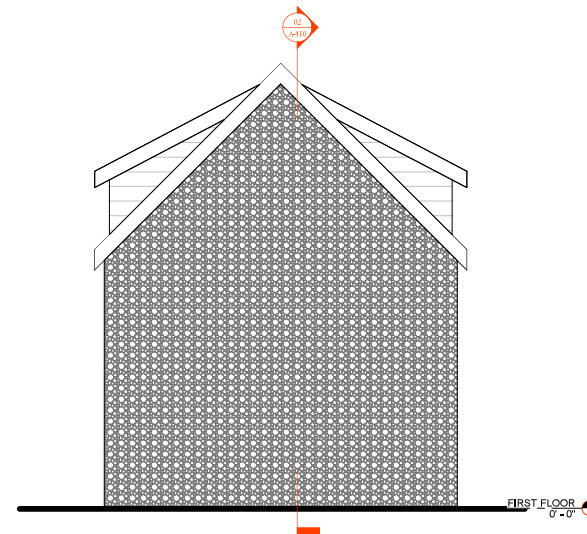
04 WEST BUILDING ELEVATION
1/2" = 1'-0"



03 SOUTH BUILDING ELEVATION
1/2" = 1'-0"



02 EAST BUILDING ELEVATION
1/2" = 1'-0"



01 NORTH BUILDING ELEVATION
1/2" = 1'-0"



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Alexandria, VA 22314

Consultant:

No.	Description	Date
1	ISSUE FOR PERMIT	05/25/2022

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Scale & Signature:



Sheet Name:

BUILDING ELEVATIONS

Project No.: 19801 Sheet No.: A-400

Scale: 1/2" = 1'-0"

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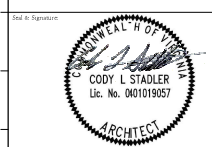
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Contractor	
Architect	
Issue	05/25/2022
1	ISSUE FOR PERMIT

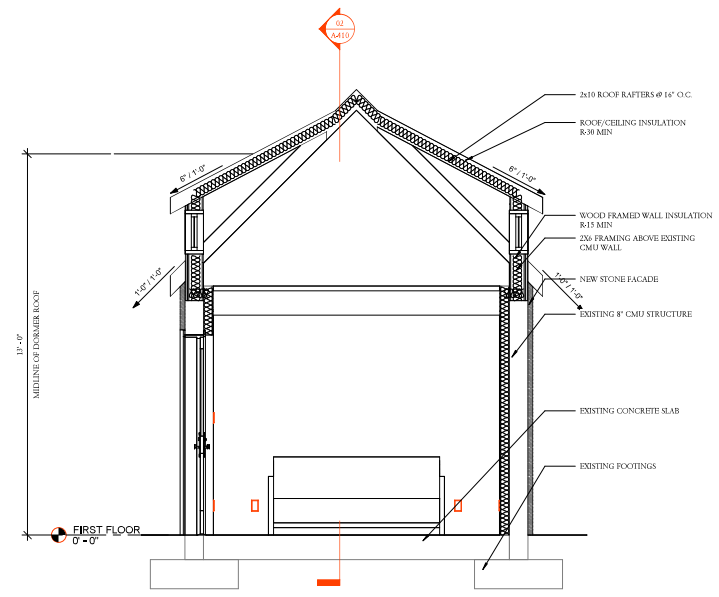
Rev. No.



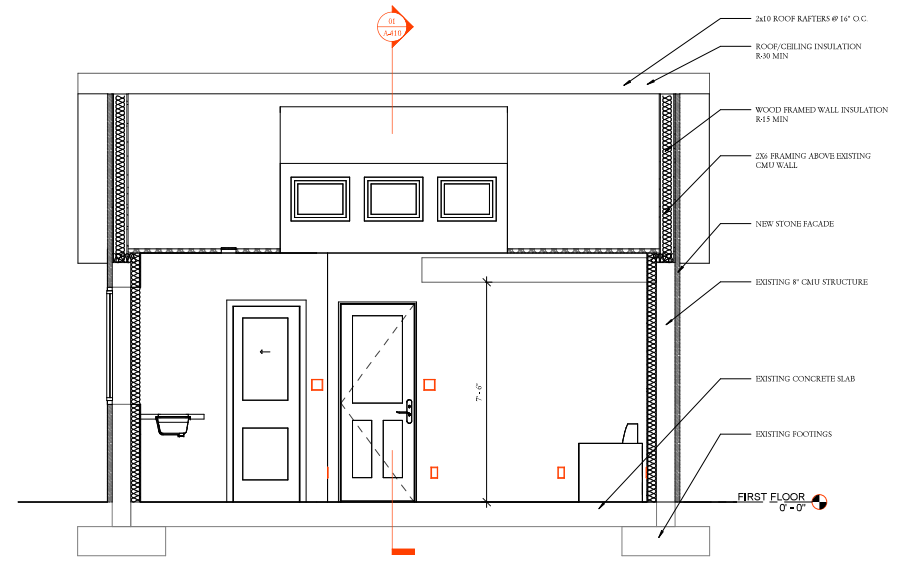
Sheet Name
BUILDING SECTIONS

Project No.	1903	Sheet No.	A-410
Scale	1/2" = 1'-0"		

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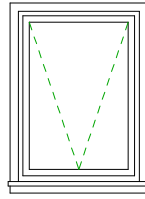
01 BUILDING SECTION 1
 1/2" = 1'-0"



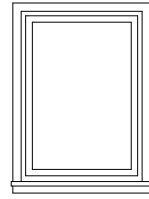
02 BUILDING SECTION 2
 1/2" = 1'-0"

4.17.2024 11:27 AM

WINDOW SCHEDULE							
WD No.	Level	Phase Created	Sill Height	Height	Width	Type	Comments
96	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
97	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
98	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
105	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
106	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
108	SECOND FLOOR	New	0' - 1"	1' - 6"	2' - 0"	A	
111	FIRST FLOOR	New	3' - 4"	4' - 0"	4' - 0"	B	

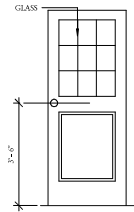


TYPE A (AWNING)

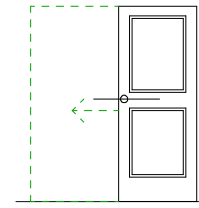


TYPE B (FIXED)

DOOR SCHEDULE									
Mark	Level	Phase Created	Height	Width	Door Type	Finish	Frame Material	Thickness	Comments
02	FIRST FLOOR	New	6' - 8"	2' - 4"	B			0' - 1 3/8"	
EX01	FIRST FLOOR	New	6' - 9"	2' - 6"	A			0' - 1 3/8"	



TYPE A



TYPE B (POCKET)



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Alexandria, VA 22314

Coordinate:

Rev.	Description	Date
1	ISSUE FOR PERMIT	05/25/2022

Key Plan:

Seal & Signature:



Sheet Name:

WINDOW AND
DOOR
SCHEDULES

Project No.: 19801 Room No.:

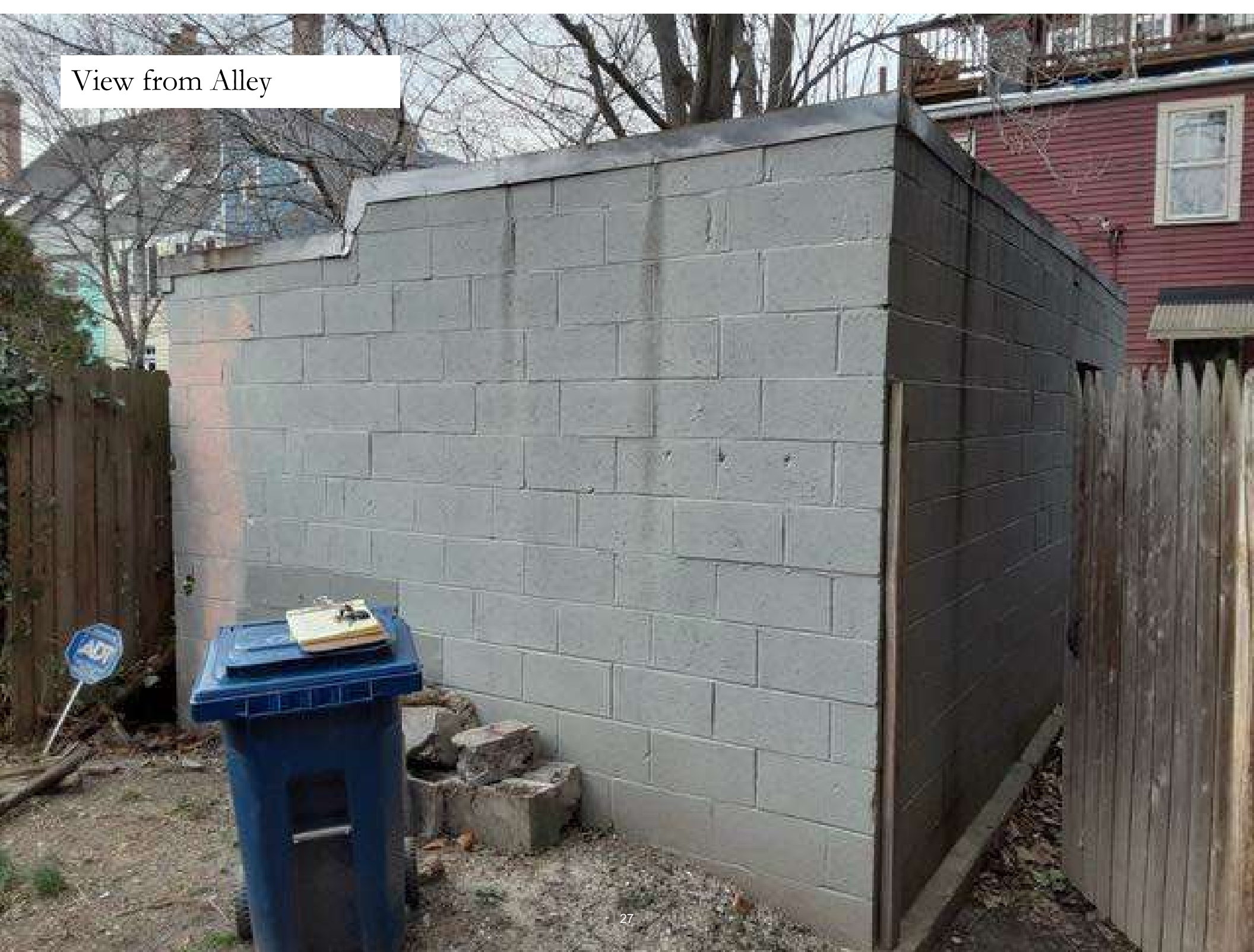
A-700

Scale: As indicated

View from Main Dwelling



View from Alley



View from 1010 Oronoco
Yard



View from Main Dwelling

