

Docket Item # 3  
BAR CASE # 2013-00017

BAR Meeting  
February 20, 2013

**ISSUE:** Certificate of Appropriateness  
**APPLICANT:** Bank of America c/o CBRE  
**LOCATION:** 110 South Union Street  
**ZONE:** CD/Commercial Downtown Zone

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**STAFF RECOMMENDATION:** Staff recommends approval of the application, with the following conditions:

1. Elimination of the hanging sign, per section 7-1800 of the Zoning Ordinance, and
2. Lighting elements shall be the minimum possible to meet safety requirements, and shall not exceed 2.0 foot candles measured at a radius of five feet from the source.

\*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

\*\*BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**BAR2013-0017**



**I. ISSUE:**

The applicant requests approval of a Certificate of Appropriateness at 110 South Union Street for alterations to the west elevation of the building to install an ATM. The applicant proposes to remove an existing door and replace it with an ATM in a monochrome gray color and one acrylic plastic wall sign with the Bank of America logo and name. The remaining area of the former door opening will be filled with new insulated wood panel to match the paneling beneath the building's bay window. In addition, the applicant also requests approval to apply a new opaque film on an existing window on the north elevation and to install a CCTV camera on an existing clearance beam. The applicant intends to install a new HVAC unit, at ground level, with screening, on the north side of the building.

**II. HISTORY:**

The four story brick building was approved by the Board in 1988 and constructed in 1990. The BAR has reviewed and approved a number of alterations to the property that include signage and rooftop antennas. In 1996, an application for an ATM at this location was deferred by the BAR for further study (BAR1996-00229).

**III. ANALYSIS:**

The proposed ATM will have minimal impact on the overall design of the building as it is modest in size and design. It fits within a pre-existing opening and is therefore an easily reversible alteration. Staff has no objection to the security camera or opaque film on the north side window, required for security measures, as these, too, may be easily reversed in the future. Section 7-1800 of the Zoning Ordinance provides very detailed requirements for ATMs and their associated signs within the historic districts. These requirements are addressed below:

**Sec. 7-1800 - Installation of ATM and similar machines on the exterior of buildings in the Historic Districts.**

(A) Within the Old and Historic Alexandria District and the Parker Gray District, machines for dispensing money, tickets, postage, and similar paper records, and providing electronic transactions and services, but not to include the sale or provision of other products or merchandise or lottery tickets, may be installed on the exterior of a building, or as an outdoor freestanding machine, provided:

(1) The director determines that the installation is consistent with each of the following minimum criteria:

(a) No machine may be installed on the exterior of a contributing structure to the district as determined at the time of application using the Secretary of Interior's Guidelines. A list of noncontributing structures within each district is maintained by the Department of Planning and Zoning.

***This structure is determined to be non-contributing to the Old and Historic District.***

(b) No more than one machine may be installed per individual building.

***No other ATM exists on this building and this approval will prohibit the installation of additional machines on this building.***

- (c) No freestanding machine may be installed outside of a completely enclosed space within the interior of a building, unless located within an open court or similar area within the footprint of a noncontributing building.

***This is not a free-standing machine.***

- (d) No machine shall face residentially zoned land.

***The proposed machine will face land zoned CD/Commercial Downtown.***

- (e) The exterior surface of the machine shall not exceed 8.0 square feet in size.

***The proposed machine is 5 square feet in size.***

- (f) One bank identification sign shall be allowed abutting the top of the machine. The width of the sign shall not exceed the width of the machine, and the height of the sign shall not exceed one-third of the width of the machine. Backlit signs shall not be permitted.

***The proposed sign is located at the top of the machine. The width of the sign is equal to the width of the machine (2.42 feet). The height of the proposed sign is 9 5/8", which equals 0.32 of the machine's height and is one-third (0.33) the width of the machine. The sign is not backlit. The proposed hanging sign does not comply.***

- (g) No surround shall be permitted. Network logos may be displayed provided they are contained within the borders of the machine or the bank identification sign and a monochromatic (gray scale) color scheme is used.

***The design as submitted does not include a surround and all logos are located on the bank identification sign or the machine itself.***

- (h) Lighting elements shall be the minimum possible to meet safety requirements, and shall not exceed 2.0 foot candles measured at a radius of five feet from the source.

***The applicant has not submitted a lighting plan. The applicant intends to replace the bulbs in the existing light fixtures. Any replacement bulbs must meet the above requirement. Staff notes that there is an existing street light in front of the proposed ATM. As proposed, the lighting may exceed this requirement.***

- (i) The building on or within the foot print of which the machine is located shall be located in a commercial zone.

***The building where the machine is to be located is within a CD/Commercial downtown zone.***

- (B) The installation of the machine, including without limitation its specific size and location and the extent of its signage and lighting, shall require approval by the Board of Architectural review pursuant to Articles IX and X of this ordinance.

- (C) Except as provided in this section, the installation of machines for dispensing money, tickets, postage, and similar paper records, and providing electronic transactions and

services, and for the sale or provision of other products or merchandise or lottery tickets, on the exterior of a building or structure, or as an outdoor freestanding machine, within the Old and Historic Alexandria District and the Parker Gray District is prohibited.

*(Ord. No. 4282, § 1, 11-16-02) .*

Staff believes that the proposed ATM complies with zoning requirements, with the exception of the hanging sign and lighting, and is a relatively minor and easily reversible alteration in this late 20<sup>th</sup> century building. Staff, therefore, recommends approval of the application, as conditioned.

**STAFF:**

Mary Catherine Collins, Urban Planner, Historic Preservation Section, Planning & Zoning  
Al Cox, FAIA, Manager, Historic Preservation Section, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS:**

Legend: C - code requirement R - recommendation S – suggestion F- finding

**Code Administration**

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plans Review Services Division Chief at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) or 703-746-4193.

C-1 Alterations to the existing structure and/or installation of equipment requires construction/alteration permits. Six sets of architectural quality drawings shall accompany the permit applications that fully detail the construction/alteration as well as layouts and schematics of the mechanical, electrical, and plumbing systems.

C-2 Alteration to a building/structure shall comply with the 2009 edition of the Virginia Construction Code (VCC).

C-3 Building construction permits are required prior to sign attachment.

C-4 Building, sign and electrical permits are required for the project. Five sets of architectural quality drawings shall accompany the permit applications that fully detail the construction/alteration as well as layouts and schematics of the new work being performed.

C-5 All signs shall conform to VCC Appendix “H” as amended

C-6 All sign applications shall include;

- Size and type of sign
- Method of attachment including number and type of fasteners

- Maximum projection, minimum height above grade, and whether the sign is illuminated or non-illuminated

C-7 A separate circuit is required for illuminated outdoor signs per NFPA #70, 2008 Section 600.5.

### **Transportation and Environmental Services (T&ES)**

#### FINDINGS

- F1. This parcel is tagged as being located within a Resource Protection Area (RPA). After review it has been found that this parcel is not located within an RPA. (T&ES)
- F2. This property and building are located within the 100-yr floodplain. Due to the fact that these improvements do not amount to a "Substantial Improvement" as defined by City ordinance, this project is not subject to the Floodplain District regulations. However, the owner(s) of this property should be advised that flooding can and does occur at this location up to elevation 10' (City Datum) and to ensure safety the project is advised to comply with Section 6-307 (D) "Water heaters, furnaces, electrical distribution panels and other critical mechanical or electrical installations shall not be installed below the 100-year-flood level. Separate electrical circuits that serve areas below the 100-year-flood level shall be dropped from above."  
Non-Substantial Improvement Exemption to lowest floor  $\geq$  BFE+1 Requirement in Floodplain Ordinance.  
(T&ES)

#### RECOMMENDATIONS

- R1. It is advised that no food storage or preparation areas be located below the 100-year-flood level (elevation 10'). (T&ES)
- R2. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R3. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R4. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

#### CITY CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All other conditions apply. Section 6-307 Other Conditions, (B):"All uses, activities and development occurring within any floodplain district shall only be undertaken in strict compliance with the Virginia Uniform Statewide Building Code (VA USBC)."
- C-7 A sign may be erected or displayed flat against a building wall or at an angle thereto, so long as the sign does not project more than four feet from the building wall or within one foot of an established curb line and the bottom of the sign is at least eight feet above a sidewalk or parking area and at least 14.5 feet above any alley. (Sec. 5-2-29(c)) (T&ES)
- C-8 Canopies, awnings and marquees suspended from a building or structure with no ground supports, having a clearance of at least eight feet above a sidewalk, extending no more than four feet beyond the front property line and extending to no more than one foot from the established curb line, may be erected. (Sec. 5-2-29(d)) (T&ES)
- C-9 *Encroachment requirements.* In addition to any other restrictions or requirements imposed by this code or the City of Alexandria Zoning Ordinance, the owner of any sign, canopy, awning or marquee, nonpermanent planter, bench, bicycle display or similar street furniture that encroaches into a public right-of-way pursuant to this section shall also comply with the following:

*Liability insurance.* The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest), and the city as an additional named insured, against all claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Section 5-2-29 (h) (1)). (T&ES)

## **V. ATTACHMENTS**

1 – *Supporting Materials*

2 – *Application BAR2012- 00017 at 110 S Union St.*

Modify existing door with new locking hardware to allow access for Bank of America and Landlord

Remove shrubs, add HVAC compressor unit and screening wall

New opaque film on existing glass window

On clearance beam, enhance existing lighting and install CCTV camera

Remove existing door and store in ATM room, install new insulated painted wood panel with Bank of America signage and walk-up ATM

Existing street light

Existing tree

**SOUTH UNION STREET**

**1 BofA ATM Layout**  
SK.1 SCALE: 1/8" = 1'-0"

New electrical panel  
Replace door locks for Bank of America access only

Remove existing partition

New NCR 5886 walk-up ATM

New painted wood hanging Bank of America signage meeting City of Alexandria historic area requirements. New bracket to match extg.

Enhance existing lighting using existing and new lamps or fixtures that match existing

On clearance beam, enhance existing lighting and install CCTV camera

Remove shrubs, add HVAC compressor unit and screening wall

Remove existing door and store in ATM room, install new insulated painted wood panel with Bank of America signage and walk-up ATM

**2 BofA ATM Street Elevation**  
SK.1 SCALE: 3/32" = 1'-0"



**3 ATM Detail**  
SK.1 SCALE: 3/8" = 1'-0"

**Bank of America - South Union Street ATM**

General Scope of Work:

1. Replace door with custom painted wood insulated panel for ATM and ATM signage.
2. Modify landscaping next to parking entrance for new HVAC unit. Furnish and install new painted wood screening wall 32" tall.
3. Furnish and install new BofA hanging sign and painted metal sign bracket sign bracket (to match existing).
4. Modify room interior and entrance doors to Bank of America specifications.
5. ATM will be ADA accessible.



South Union Street Remote Walk-Up ATM  
110 South Union Street, Alexandria, Virginia

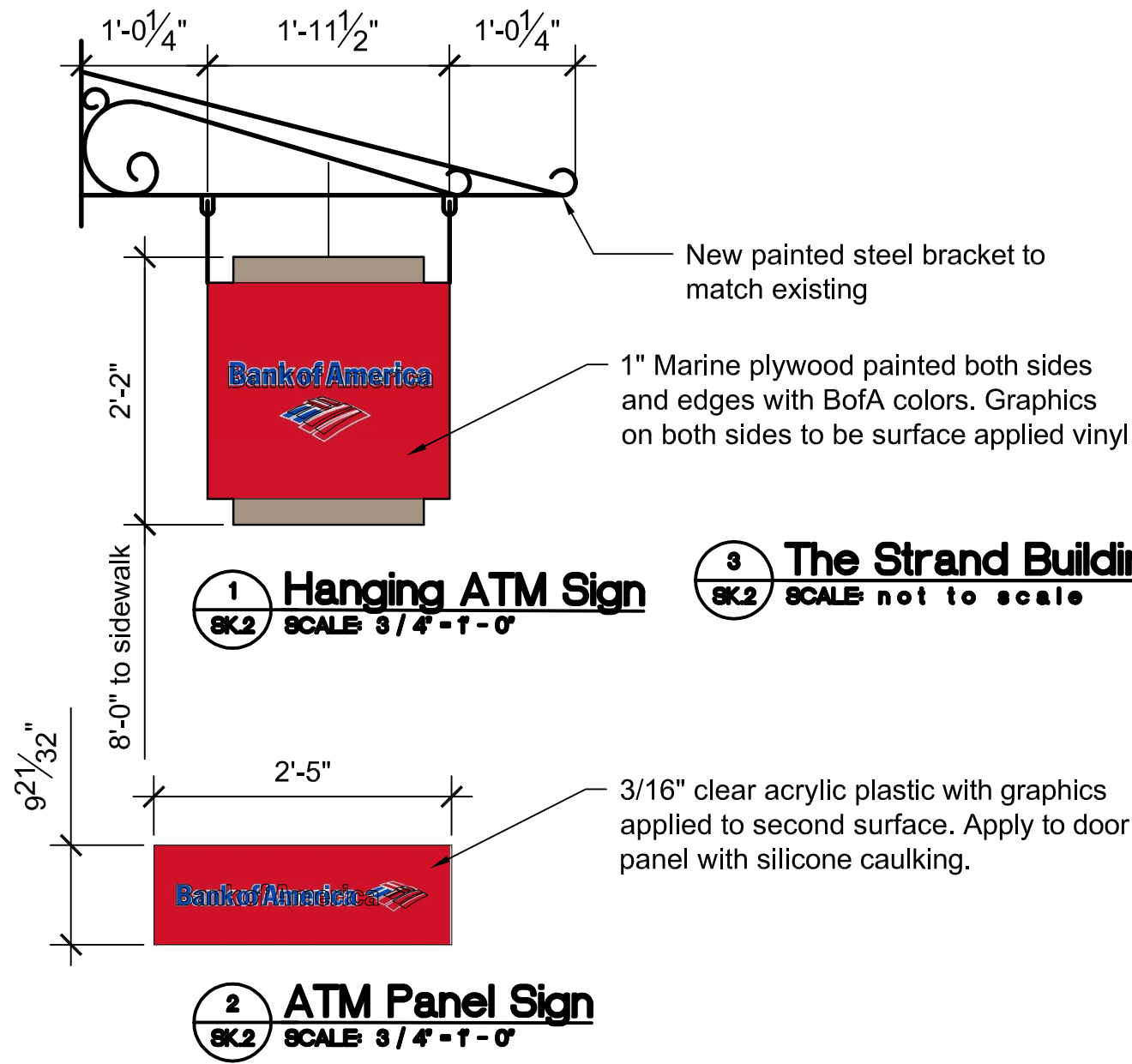
January 17, 2013 (revised February 14, 2013)

LITTLE  
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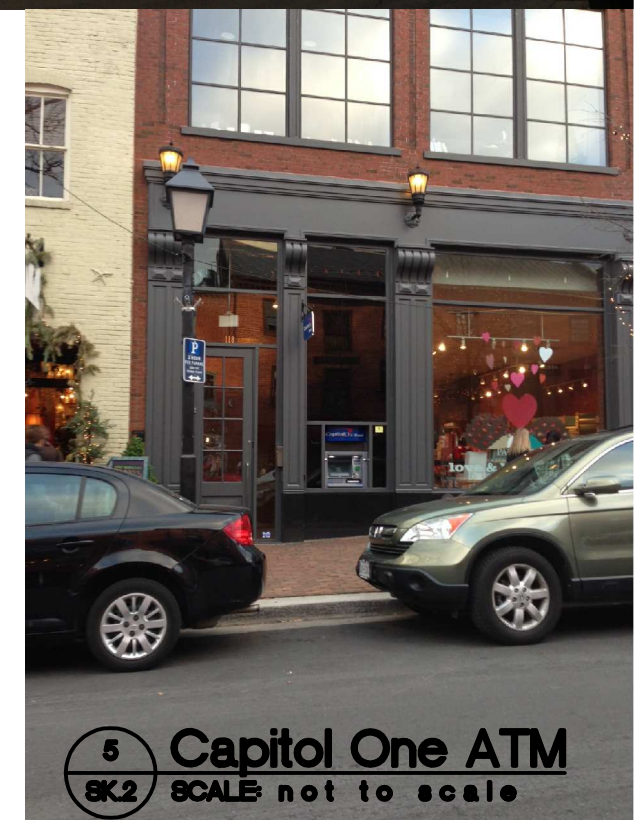
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**1 Hanging ATM Sign**  
 SK2 SCALE: 3/4" = 1'-0"

**2 ATM Panel Sign**  
 SK2 SCALE: 3/4" = 1'-0"

**3 The Strand Building**  
 SK2 SCALE: not to scale



**Bank of America - South Union Street ATM**  
 General Scope of Work:

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3. Furnish and install new BofA handing sign and painted metal sign bracket sign bracket (to match existing).
4. Modify room interior and entrance doors to Bank of America specifications.
5. ATM will be ADA accessible.

**Bank of America**

South Union Street Remote Walk-Up ATM  
 110 South Union Street, Alexandria, Virginia

January 17, 2013

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BAR Case # 2013-0017

ADDRESS OF PROJECT: 110 South Union StreetTAX MAP AND PARCEL: 075.01-05-06ZONING: CD**APPLICATION FOR:** *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

**Applicant:**  Property Owner  Business *(Please provide business name & contact person)*Name: Bank of America c/o CBREAddress: 1111 East Main Street #601City: Richmond State: VA Zip: 23219Phone: (703) 908-4526 E-mail: jennifer.breuninger@cbre.com**Authorized Agent** *(if applicable):*  Attorney  Architect  \_\_\_\_\_Name: Bruce G. Marshall Phone: (703) 908-4526E-mail: bmarshall@littleonline.com**Legal Property Owner:**Name: 110 Union Street LLCAddress: 525 Coconut Palm RoadCity: Vero Beach State: FL Zip: 32963Phone: (772) 492-0400 E-mail: \_\_\_\_\_

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: Please check all that apply.
  - awning
  - doors
  - lighting
  - other \_\_\_\_\_
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Remove the existing door to the former park attendant lobby and install an insulated painted wood panel with the face of a walk-up ATM and a sign above the ATM for Bank of America. The room was formerly used by PNC Bank for an ATM and much of the electrical infrastructure is still in place needing only minor modification. A new compressor for the air conditioning system will be installed in the planter area next to the parking lot entrance and concealed with a painted wood screen wall approximately 32" tall (same height as the hedge). In addition, a hanging sign using the same kind of metal bracket as that used by the consignment shop next door will be installed between the two existing light fixtures above the door opening. The light fixtures will be cleaned and relamped for maximum allowable performance.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
  - FAR & Open Space calculation form.
  - Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
  - Existing elevations must be scaled and include dimensions.
  - Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
  - Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
  - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
  - For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- Linear feet of building: Front: 34 LF Secondary front (if corner lot): \_\_\_\_\_.
  - Square feet of existing signs to remain: 6 sf.
  - Photograph of building showing existing conditions.
  - Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
  - Location of sign (show exact location on building including the height above sidewalk).
  - Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
  - Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A
- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
  - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
  - Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
  - An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
  - Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature:  \_\_\_\_\_

Printed Name: Bruce G. Marshall

Date: 01/22/2013

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Bank of America	c/o CBRE, 1111 E. Main St., Richmond, VA 23219	100% ownership
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 110 South Union Street, Alexandria, Virginia (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. David L. Pyles	110 Union Street LLC, PO Box 651430, Vero Beach, FL 32964	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Wayne Neale	Original architect for Strand Building and architect for tenant fitouts	BAR and Old & Historic District
2. Bank of America	None	
3. Bruce G. Marshall	None	

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

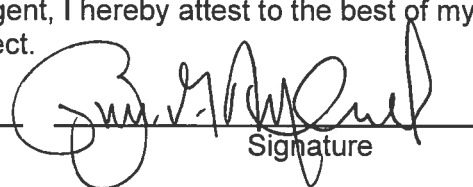
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

02/14/2013

Date

Bruce G. Marshall

Printed Name

  
Signature