

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____

State: _____

Phone: _____

E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____

State: _____

Zip: _____

Phone: _____

E-mail: _____

BAR CASE# _____

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NATURE OF PROPOSED WORK: *Please check all that apply*

☐ NEW CONSTRUCTION

☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☐ doors

☐ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☐ other _____

☐ ADDITION

☐ DEMOLITION/ENCAPSULATION

☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

N/A

- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:  _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature

Project Team

ARCHITECT
Rust Construction
3701B Mount Vernon Ave
Alexandria, VA 22305
703-836-6010

CONTRACTOR
Rust Construction
3701B Mount Vernon Ave
Alexandria, VA 22305
703-836-6010

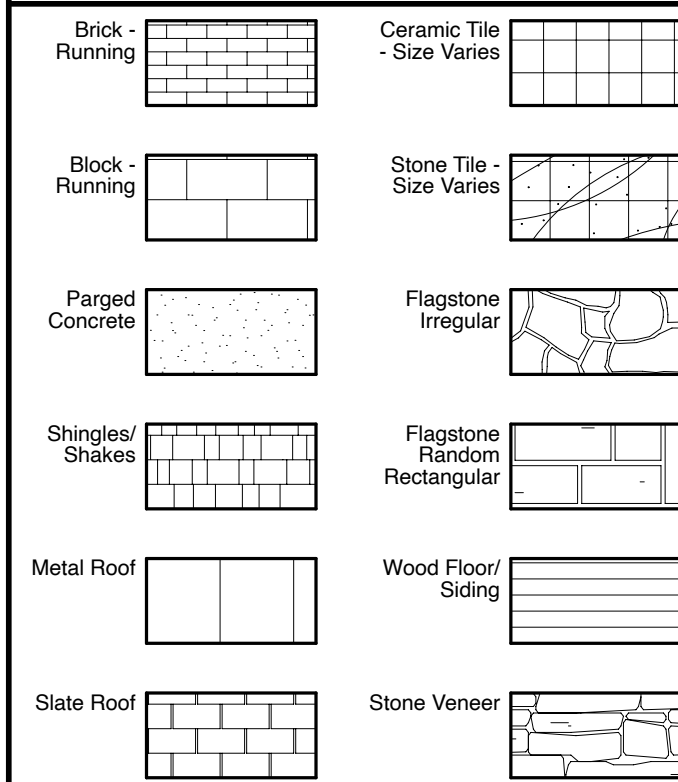
STRUCTURAL ENGINEER
JVN Consulting
2248 Ontario Road, NW Unit 1
Washington, DC 20009
716-508-0162

CIVIL ENGINEER

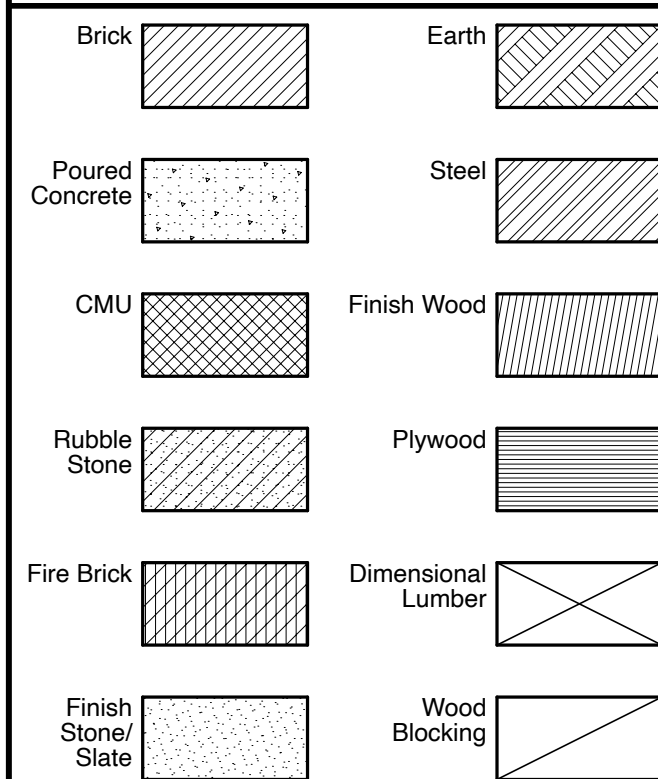
INTERIORS

LANDSCAPE ARCHITECT

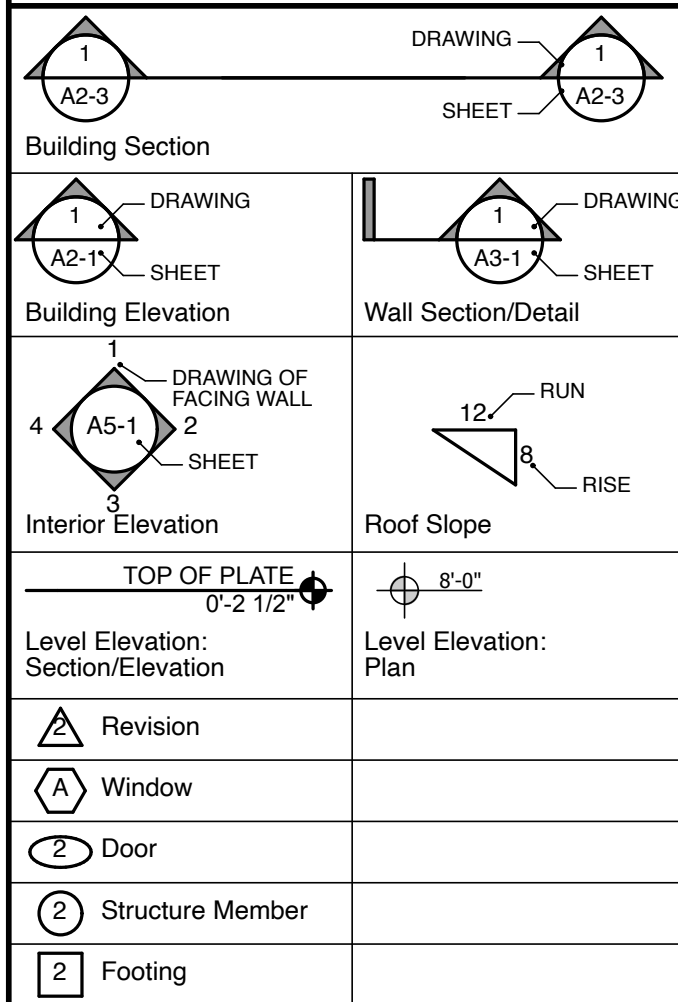
Surface Materials



Section Materials



Drawing Symbols



PROJECT INFORMATION :

DEMOLISH AND REPLACE 50 SQFT SHED, GATE AND FENCE IN-KIND TO EXISTING TWO-STORY SINGLE-FAMILY ATTACHED TOWNHOUSE DWELLING WITH ATTIC

ADDRESS: 229 S. Payne Street
Alexandria, VA 22314

LOCATION: LOT 505 C-D FOUR NO. 1

ZONING: CL

SETBACKS: FRONT: 20' OR BLOCK FACE
SIDE: 1:3; 8' MIN. ONLY FOR INTERIOR END LOTS >25' WIDE
REAR: 1:1; 8'MIN.

LOT AREA: 1,785 SF
MIN LOT SIZE: 1,980 SF FOR TOWNHOUSE

	ALLOWED:	EXISTING:	PROPOSED:
BUILDING HEIGHT:	35'	28'-10 1/4"	28'-10 1/4"
OPEN SPACE:	35%	34.2% (610 SF)	34.2% (610 SF)*
FLOOR AREA RATIO:	1.5 (Townhouse in Old Town)	.985 (1,758 SF/1,785 SF)	.985 (1,758 SF/1,785 SF)
PARKING:	0 SPACES REQ'D (Enhanced Transit Area)	0 SPACES	0 SPACES

17.85' LOT WIDTH
MIN. LOT WIDTH 18' FOR INTERIOR LOT, 26' FOR END LOT
* : PROPOSED OPEN SPACE TO MATCH EXISTING NON-COMPLYING OPEN SPACE

BUILDING AREA:

	EXISTING:	PROPOSED
FIRST FLOOR AREA:	1,037 SF	1,037 SF
SHED AREA:	50 SF	50 SF
SECOND FLOOR AREA:	580 SF	580 SF
ATTIC FLOOR AREA:	449 SF	449 SF
TOTAL FLOOR AREA:	2,116 SF	2,116 SF
AREA EXCLUDED FROM FAR:		
STAIRS: 69 SF	308 SF	308 SF
LAVATORIES: 103 SF		
AREA < 7' HEIGHT: 136 SF		

PLANS PREPARED BASED ON THE FOLLOWING CODES:

2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC):

2021 VIRGINIA CONSTRUCTION CODE
2021 VIRGINIA RESIDENTIAL CODE
2021 VIRGINIA ENERGY CONSERVATION CODE
2021 VIRGINIA EXISTING BUILDING CODE

Boswell Residence

229 S. Payne Street
Alexandria VA 22314



1

Front Elevation
SCALE: 1/8" = 1'-0"

Drawing List

- T1 Cover
- T2 Site Plan
- T3 Project Photos
- T4 Product Specifications – Door
- T5 Product Specifications – Roof
- T6 Product Specifications – Window
- T6 Product Specifications – Gate
- T6 Product Specifications – Fence
- D0 Demolition Plans
- A1-0 Proposed Plans
- A2-1 Front Existing and Proposed Elevations
- A2-2 Right Existing and Proposed Elevations
- A2-3 Rear Existing and Proposed Elevations
- A2-4 Left Existing and Proposed Elevations
- A2-5 Shed Elevations



RUST
CONSTRUCTION

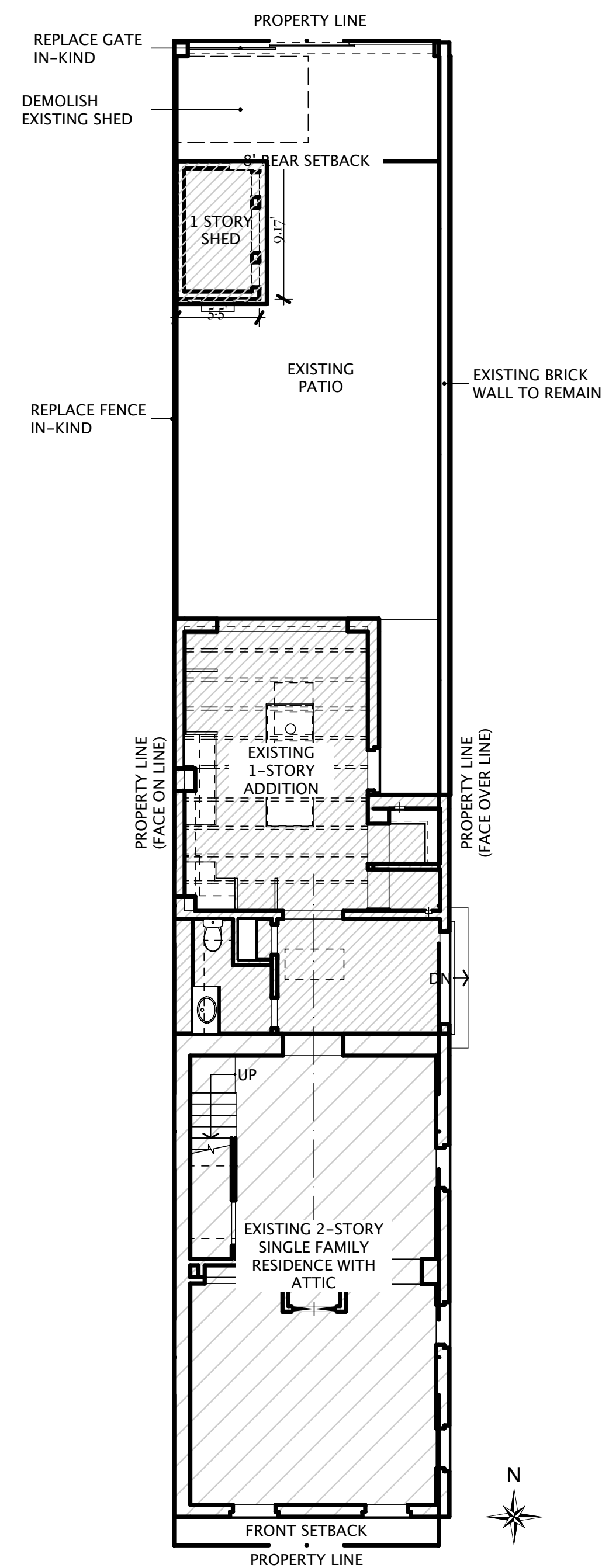
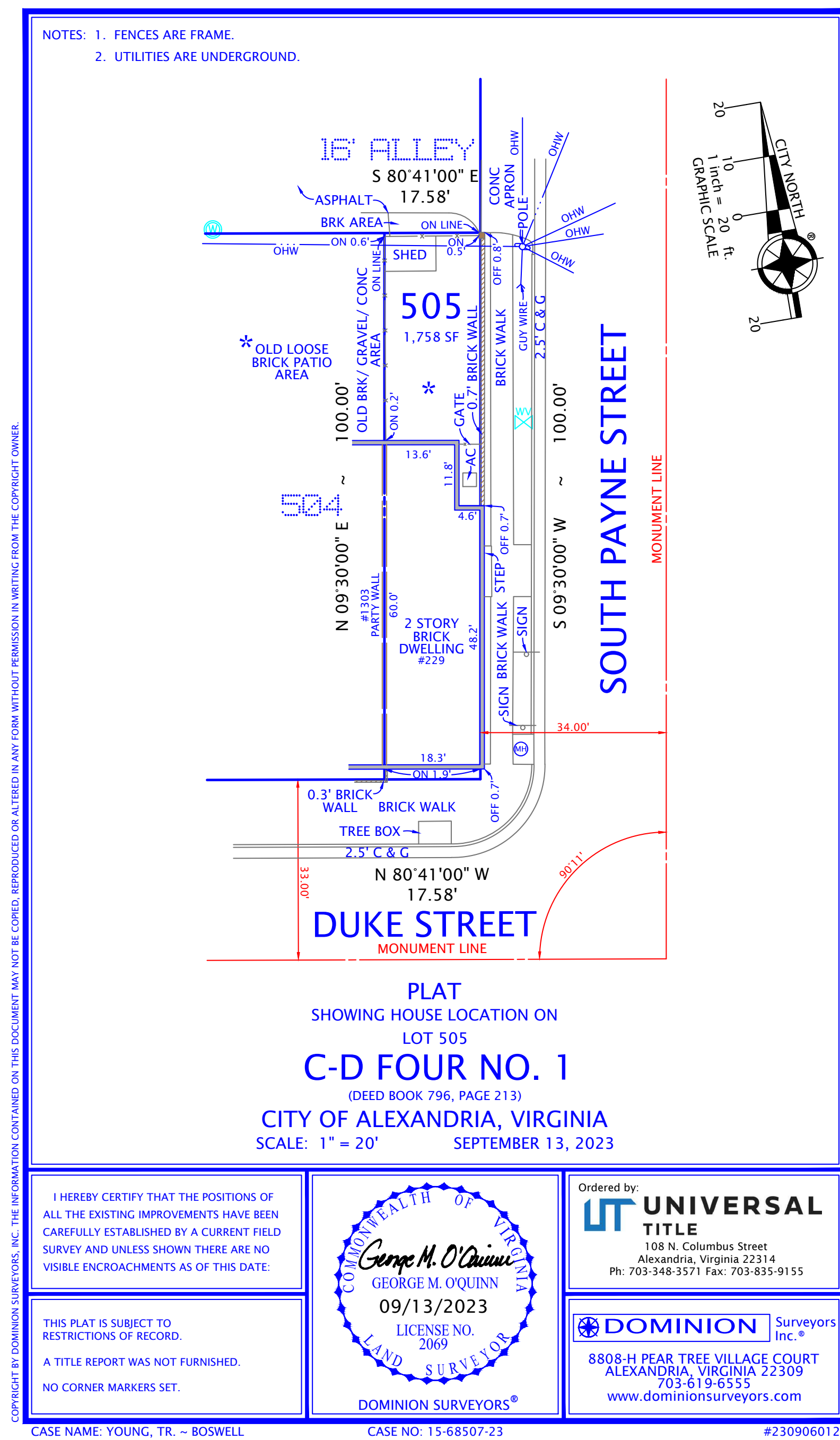
3701B Mount Vernon
Ave
Alexandria, VA 22305
703-836-6010

Boswell Residence
2229 S. Payne Street Alexandria VA 22314

Cover

T1

Date	11/6/25
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Ave
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703-836-6010

Boswell Residence
2229 S. Payne Street Alexandria VA 22314

Site Plan

T2

Date	11/6/25	
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SIDE VIEW – NO WORK



REAR ELEVATION – NO WORK



REAR VIEW – REPLACE REAR GATE IN KIND



BACK PATIO VIEW – DEMOLISH EXISTING SHED



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Project Photos

T3	
Date	11/6/25



TRUSTILE WOOD ENTRY SYSTEMS



Resilient Wood Entry System™ with TM3100-111B



Reserve Wood Entry System™ with TS4300-308C2

Elevate Every Entry

In collaboration with our parent company, Marvin®, we have engineered and extensively tested a family of premium residential wood entry systems that set the tone for the whole home.

Design Forward

We offer more design styles, sizes, and options than anyone else so our customers can create without constraint. The Resilient Wood Entry System™ takes your home to the next level with the most durable painted construction without sacrificing any design options. Our Reserve Wood Entry System™ offers the beauty of stain-grade wood to match the refined elegance of your home.

Materials Matter

TruStile wood entry systems use innovative Accoya® and Tricoya® to provide exception stability and durability. All of our entry systems come with industry-leading warranty coverage.



Learn more at:
www.trustile.com/elevate



Resilient Wood Entry System™ with FL400-108C



TRUSTILE OUTSWING WOOD DOOR OR EQUAL



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Product Specifications – Door

T4

Date	11/6/25

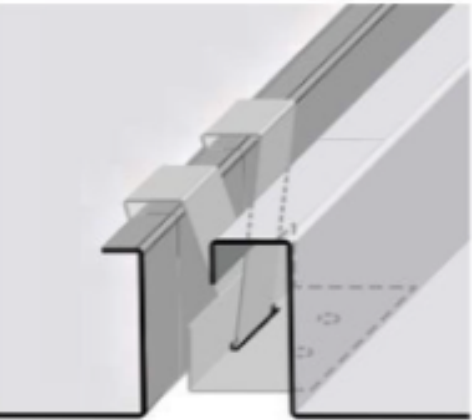
NOTE: TRUSTILE WOOD DOOR OR EQUAL

UC-3

Double-Lock Architectural Series



The UC-3 Double-Lock Standing Seam provides the architect with a 1.5" high traditional lock-form standing seam, which is locked in the field by a mechanical seamer.



TECHNICAL INFORMATION

- UL 580 Class 90 rated
- ASTM E283 air infiltration
- ASTM E330-90 structural performance
- ASTM E331 water penetration
- ASTM E1646-95 water penetration
- ASTM E1680-95 air leakage
- ASTM E1592 uniform static air pressure
- UL 263, UL 790 Class A fire rating
- Available for radius applications
- Miami-Dade County approved
- UL 2218 Class 4 hail rating

Red Shield Warranty available

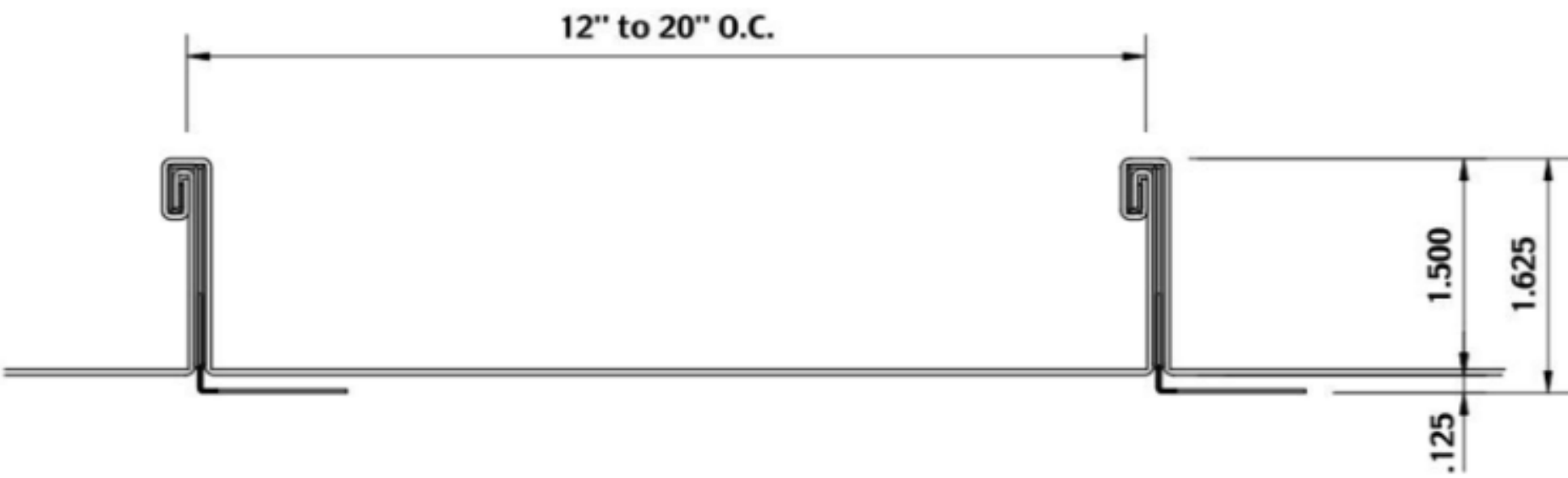


PROJECT: Bentley School
LOCATION: Lafayette, CA
MATERIALS: UNA-CLAD® UC-3 Double-Lock Standing Seam, .040 Aluminum, Silver Metallic Hylar 5000®/Kynar 500® finish by Valspar

The UNA-CLAD™ UC-3 is a Double-Lock Standing Seam roofing system that provides a traditional look and allows mechanical seaming to enhance the architect's design needs—while meeting current wind-load designs for architectural metal roofing. The UC-3 roofing system offers the designer the ability to design or specify various radius roof profiles. Concealed fasteners and patented stainless steel slotted clips allow for expansion and contraction. It is recommended that UC-3

panels be installed over a solid substrate such as plywood and an underlayment of 30# felt. The UC-3 roofing system is available in 22, 24 and 26 gauge painted galvanized steel, .032 and .040 painted or anodized aluminum, and 16 oz. or 20 oz. Architectural Grade Sheet Copper. Heavier gauges, narrower widths and embossing minimize oil canning. Contact UNA-CLAD for radius capabilities.

Note: Oil canning is not a cause for rejection.



Color Selection Guide



STONE WHITE SR	BONE WHITE SR	ALMOND SR	SANDSTONE SR
SLATE GRAY SR	CITYSCAPE SR	CHARCOAL GRAY SR	SIERRA TAN SR
MEDIUM BRONZE SR	DARK BRONZE SR'	EXTRA DARK BRONZE	MATTE BLACK SR'
BRANDYWINE SR'	COLONIAL RED SR	TERRA COTTA SR	MANSARD BROWN SR
REGAL RED SR	AWARD BLUE ★	SKY BLUE SR	ELECTRIC BLUE ★
REGAL BLUE	TEAL	PATINA GREEN SR	DARK IVY SR'
SHERWOOD GREEN SR	HARTFORD GREEN	HEMLOCK GREEN SR	TROPICAL PATINA SR
SILVER METALLIC SR ★	CLASSIC COPPER SR ★	CHAMPAGNE METALLIC SR ★	

★ = Premium Color
SR = Solar-Reflectant color, with KYNAR finish have Reflectivity of at least 0.25
SR' values qualify in steel only
SR' values qualify in aluminum only

For a true color representation, please call or write for actual metal sample(s).
Protective film must be removed immediately after installation. Oil canning is not a cause for rejection.



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229 S. Payne Street Alexandria VA 22314

Product Specifications – Roof

T5

Date 11/6/25

NOTE: STANDING SEAM ROOF
PROPOSED, UNA-CLAD OR EQUAL

FEATURES & SPECIFICATIONS

Standard Features

- Exterior glazed for easier installation of oversized glass
- No interior glazing stops creates a clean aesthetic
- Larger glass for increased energy efficiency
- Available with 7/8" frame cladding or 1 1/8" frame cladding
- Natural, clear Douglas Fir interior (no visible finger joints)
- 4 9/16" (116 mm) jamb construction
- LowE insulated glazing with 1/2" (13 mm) airspace
- Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior

Glazing

LowE Double, LowE Triple, Tranquility® and StormForce™. StormForce is not available on all products. Double or triple glass configurations with 1/2" (13 mm) airspace. With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort. LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL)

- Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.
- Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)
- Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)
- Square Profile (interior only) – 5/8" (16mm), 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Casing

- Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.
- Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Kerf.

Metal Cladding

Heavy duty exterior metal cladding comprised of extruded aluminum is available in a variety of Palette colors, including anodized and Cyprium (copper and bronze cladding). Metal clad units are supplied ready-to-install complete with integral metal nailing flange.

FEATURES & SPECIFICATIONS

Wood

In addition to our standard Coastal Douglas Fir, the entire Loewen product line is also available in optional Mahogany. The interior can be natural wood (unfinished), primed, or prefinished in Jet Black or Oxford White paint. Additional wood species, as well as the Jet Black and Oxford White prefinishes, are available through our Custom Shop. All wood parts are dipped in approved preservative.

Performance Standards

Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.

Variables	Picture/Direct Set
Performance	
LowE Double	●
LowE Triple	○
StormForce™	○
Appearance	
SDL	○

Standard ● Optional ○



Picture/Direct Set



CURRENT WINDOW ON EXISTING SHED – REPLACE IN-KIND

NOTE: PICTURE WINDOW
PROPOSED, LOEWEN OR EQUAL



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Product Specifications – Window

T6

Date	11/6/25



BARN GATE PRECEDENT



TRIPLE TRACK BYPASS THREE DOOR HARDWARE

NOTE: WOOD BARN GATE



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Product Specifications – Gate

T6

Date	11/6/25



CURRENT FENCE ON SITE – REPLACE IN-KIND

NOTE: REPLACE FENCE IN-KIND



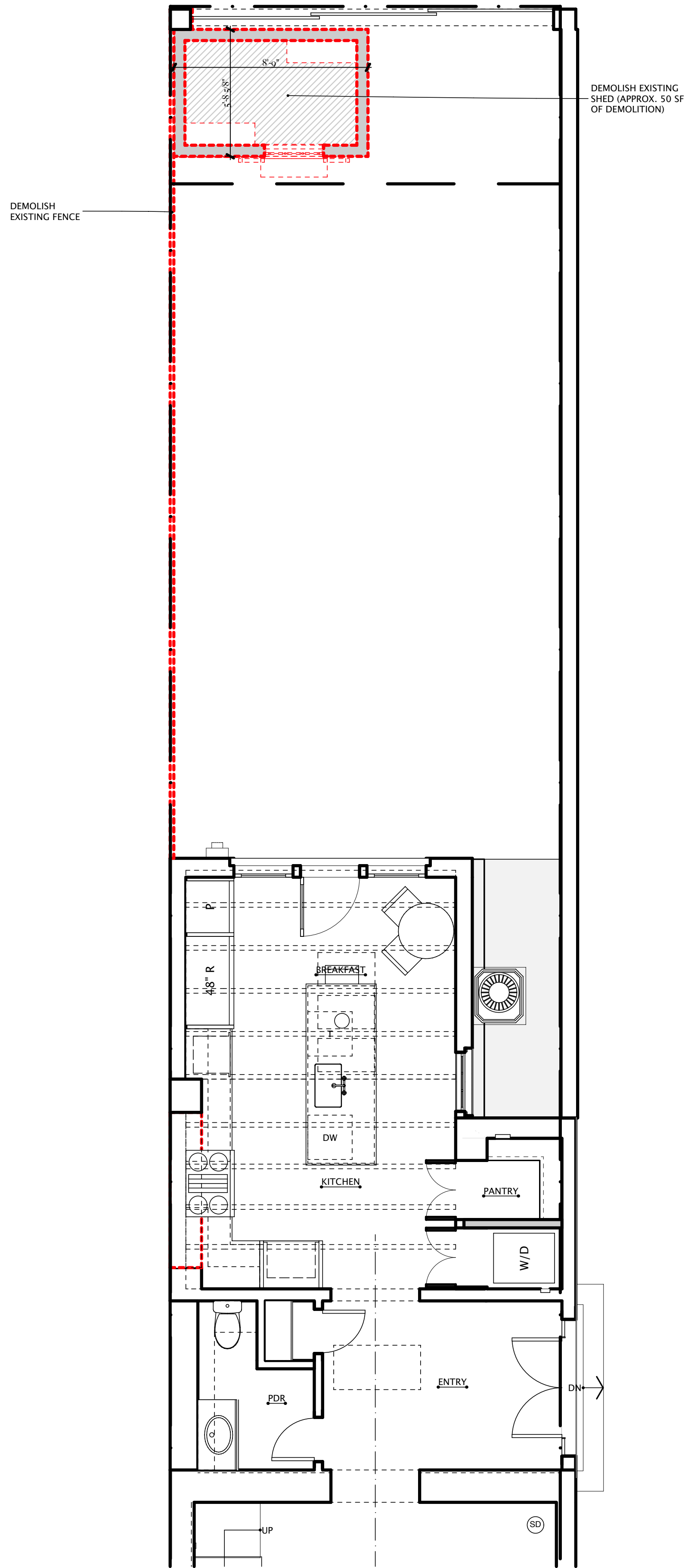
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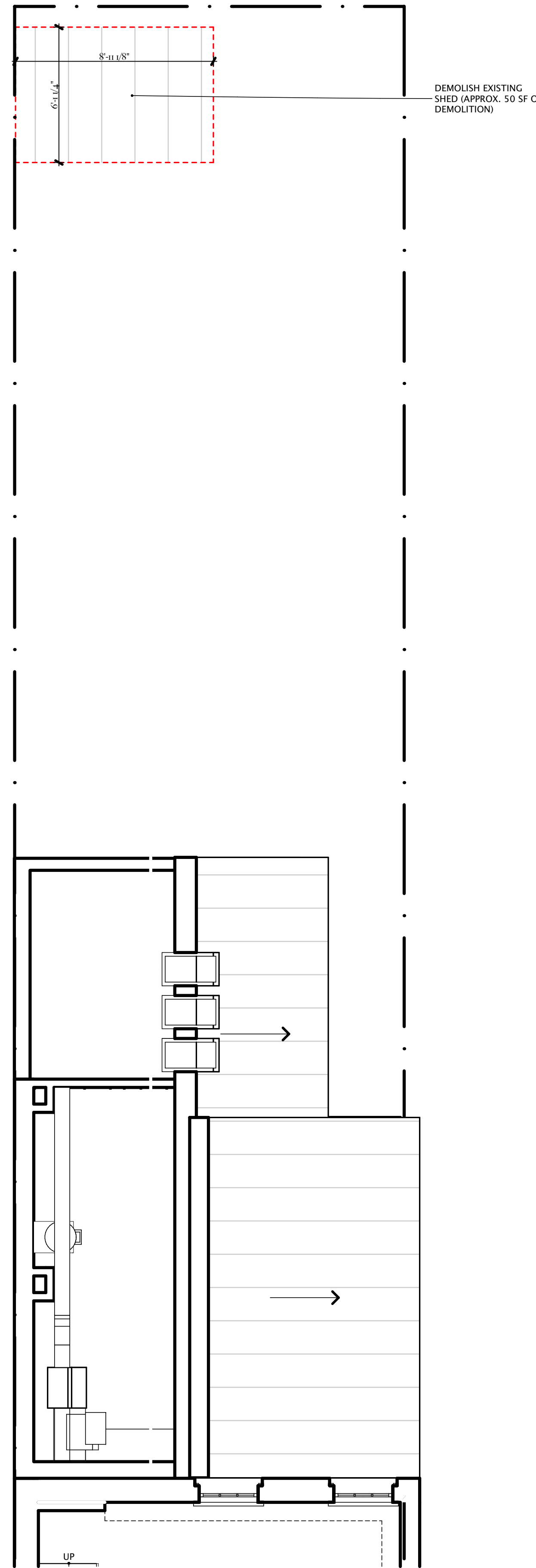
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Product Specifications – Fence

T6	
Date	11/6/25



1 First Floor Demolition Plan
SCALE: 1/8" = 1'-0"



2 Second Floor Demolition Plan – NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"

DENOTES EXISTING WALLS
 DENOTES PROPOSED WALLS
 DENOTES WALLS TO BE DEMOLISHED



**RUST
CONSTRUCTION**

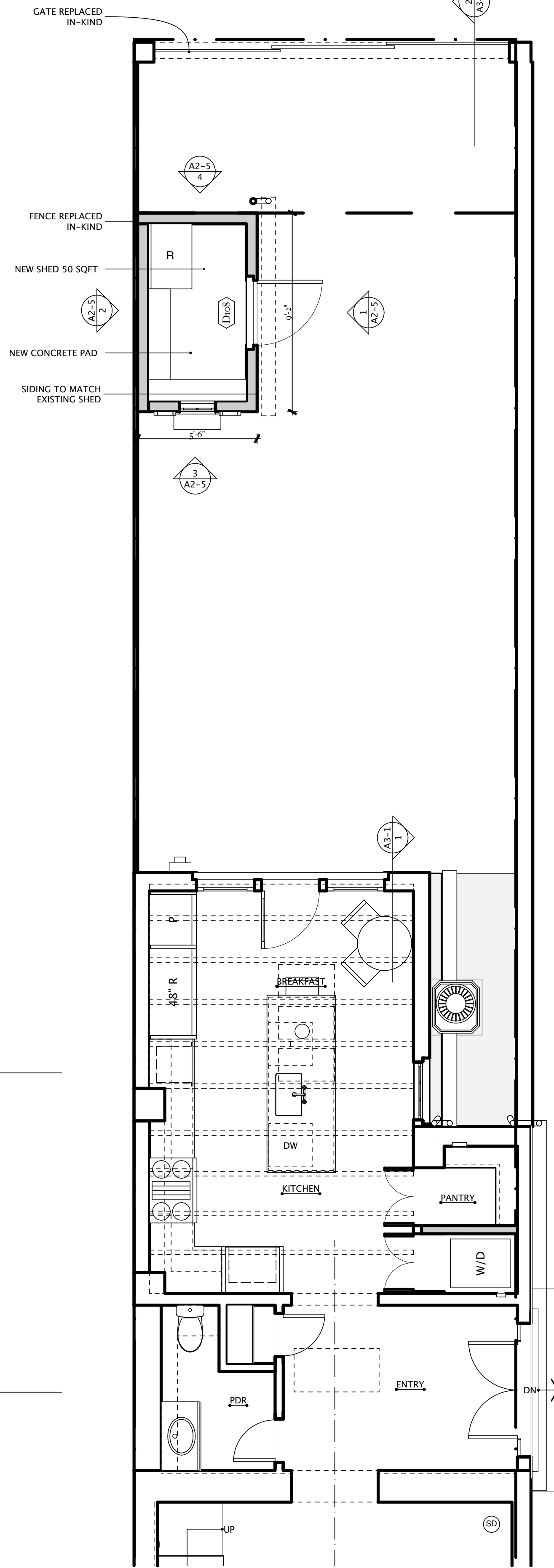
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Demolition Plans

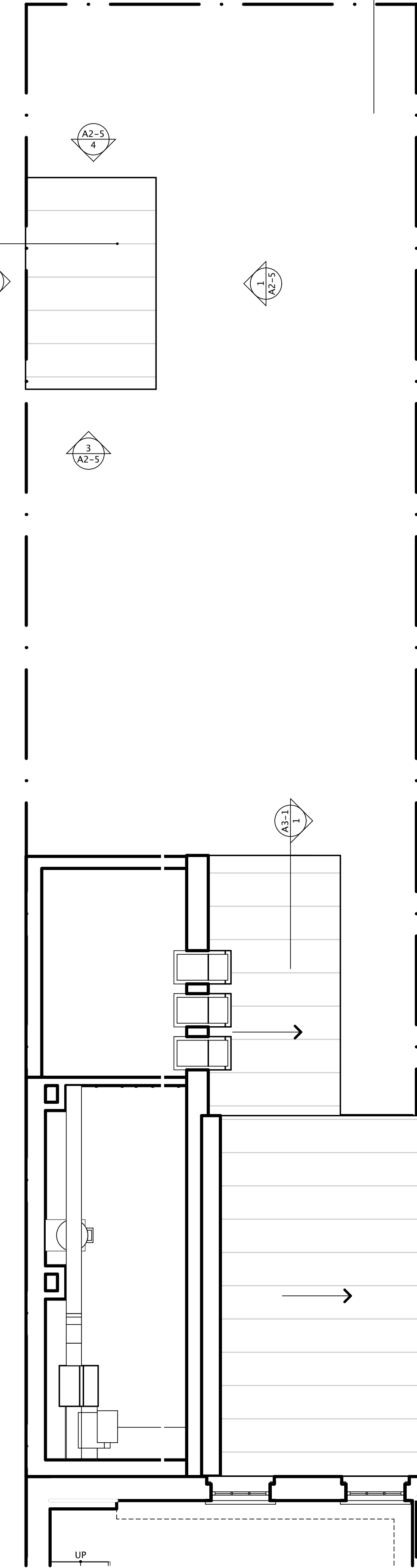
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Date	11/6/25
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1 First Floor Plan
SCALE: 1/8" = 1'-0"

NEW STANDING
SEAM METAL ROOF



2 Second Floor Plan – NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- DENOTES WALLS TO BE DEMOLISHED



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Proposed Plans

A1-0

Date 11/6/25



1 Existing Front (South) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



2 Proposed Front (South) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



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Boswell Residence
229 S. Payne Street Alexandria VA 22314
Front Existing and Proposed Elevations

A2-1	
Date	11/6/25



1

Existing Right (East) Elevation
SCALE: 1/8" = 1'-0"



2

Proposed Right (East) Elevation
SCALE: 1/8" = 1'-0"



1 Existing Rear (North) Elevation
SCALE: 1/8" = 1'-0"



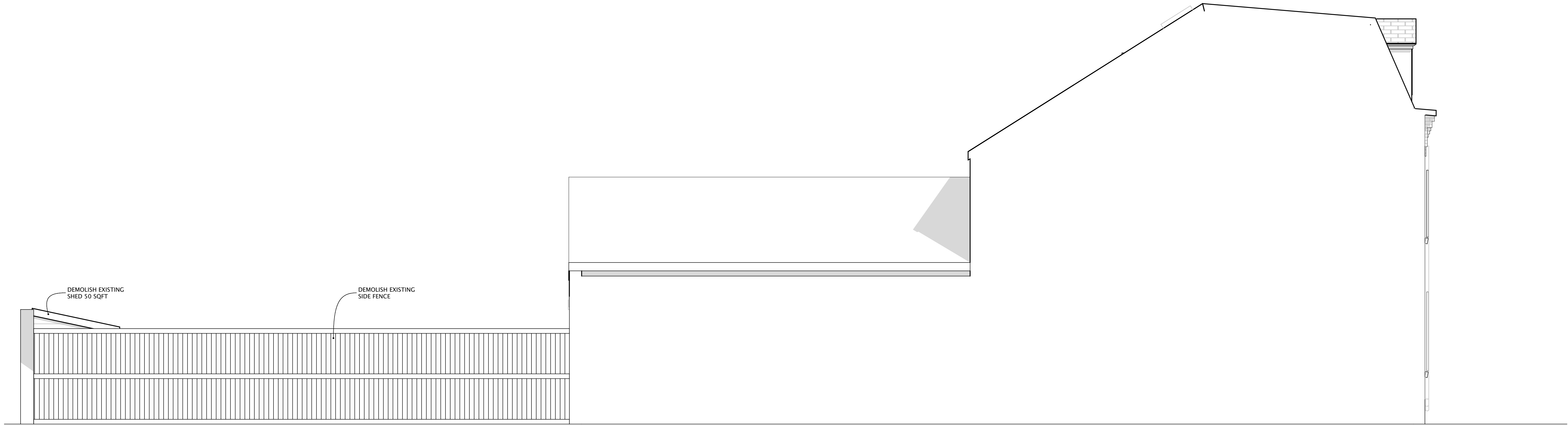
2 Proposed Rear (North) Elevation
SCALE: 1/8" = 1'-0"



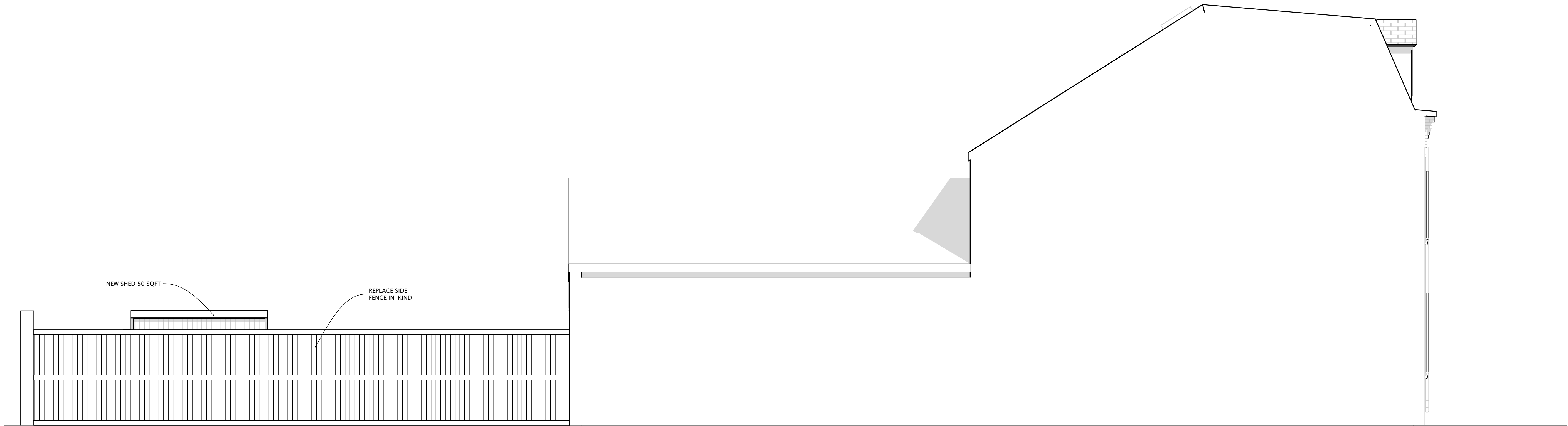
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Rear Existing and Proposed Elevations

A2-3	
Date	11/6/25



2 Existing Left (West) Elevation
SCALE: 1/8" = 1'-0"



1 Proposed Left (West) Elevation
SCALE: 1/8" = 1'-0"



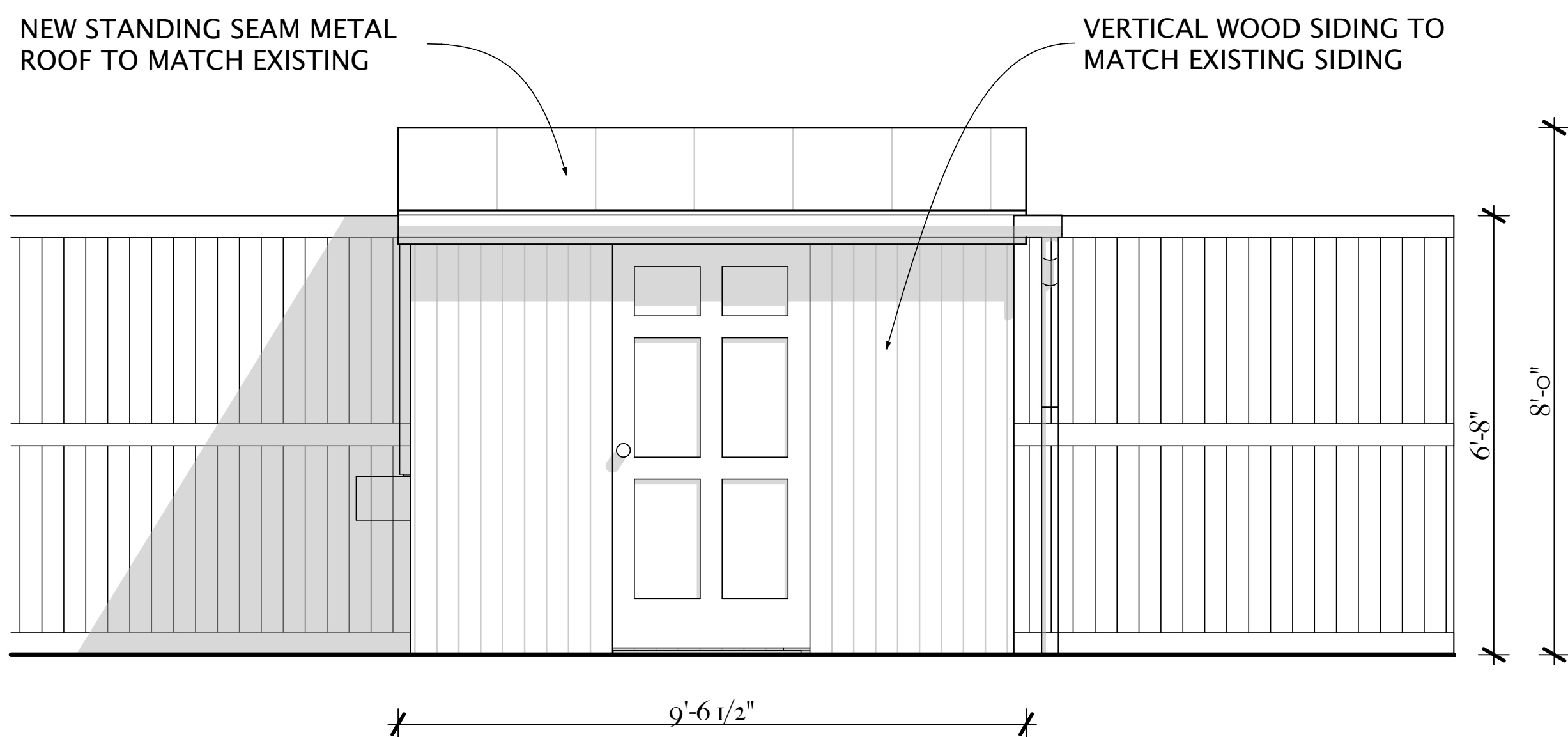
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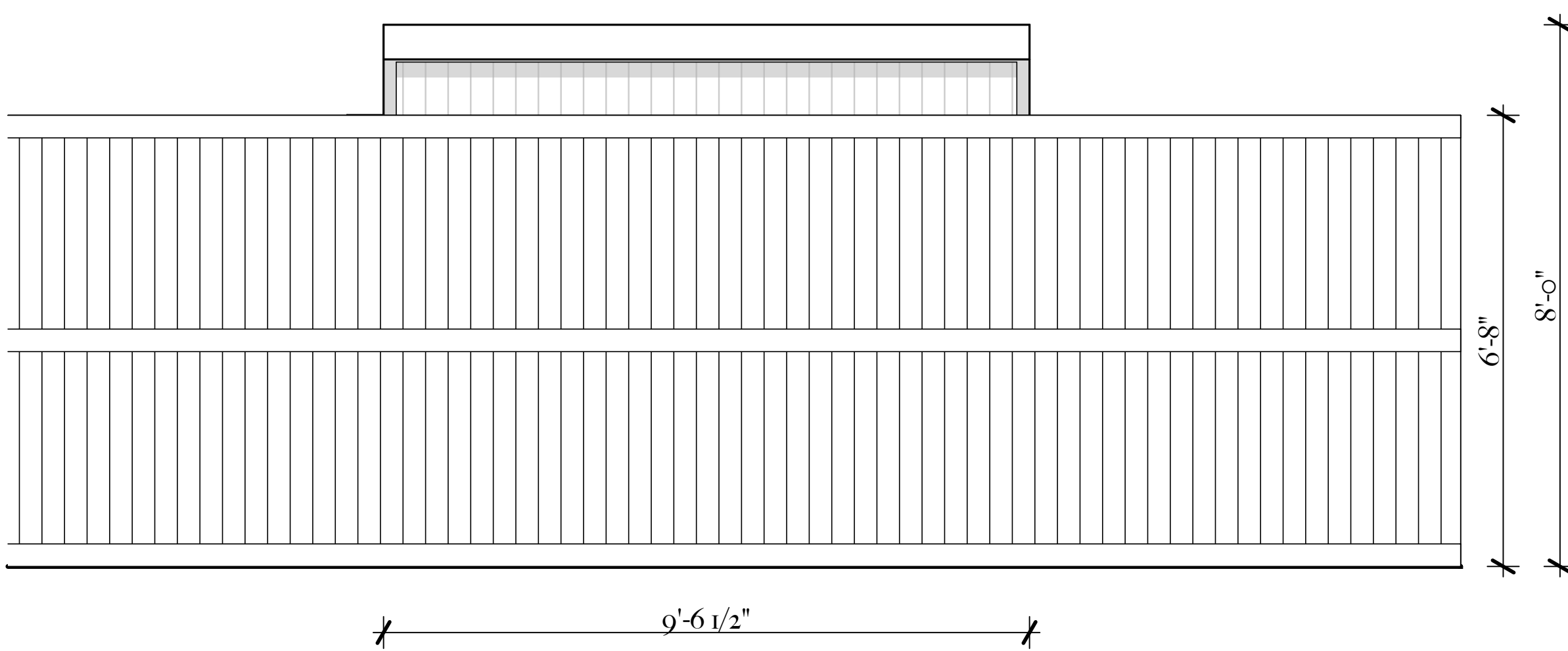
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Left Existing and Proposed Elevations

A2-4

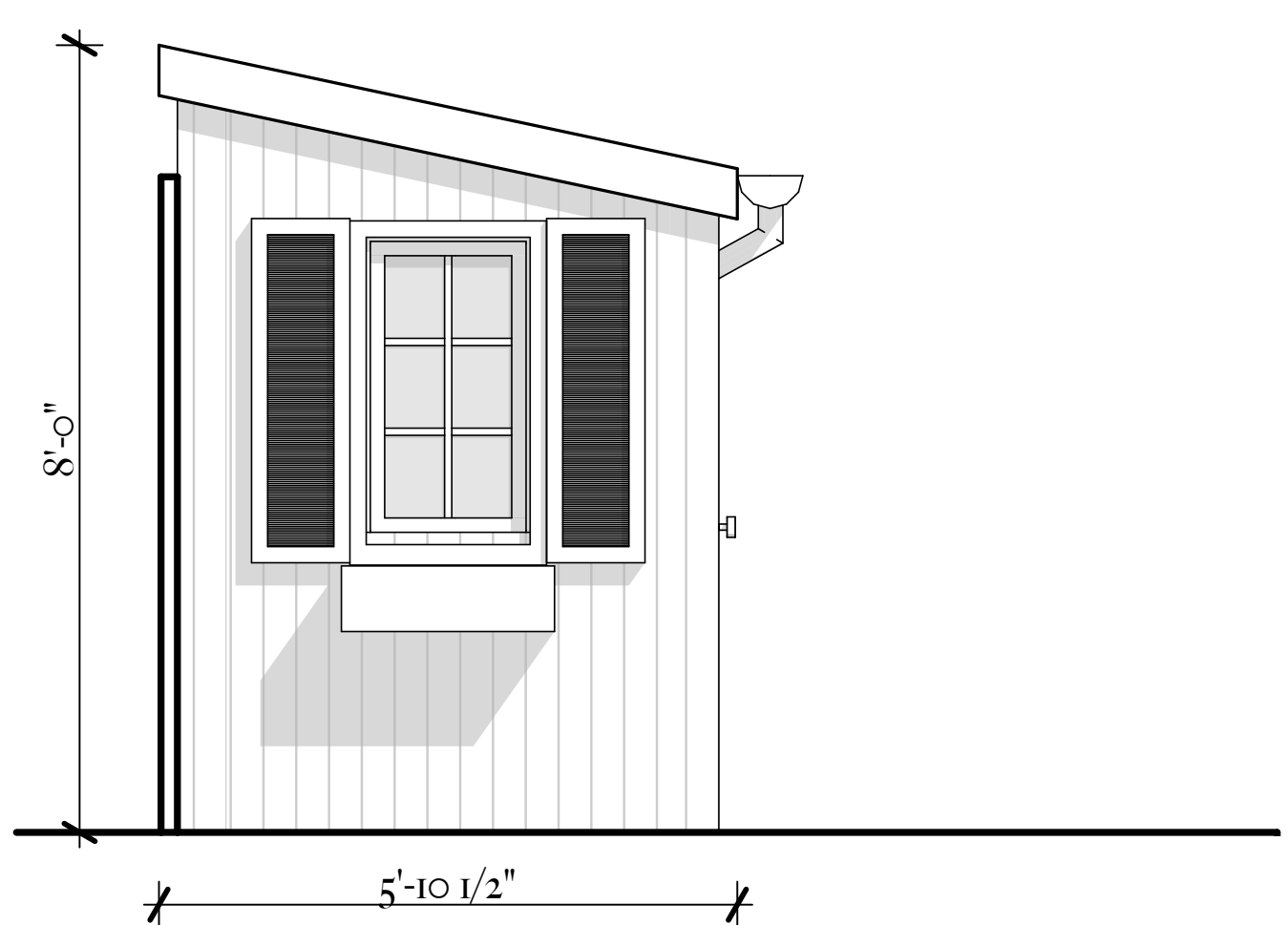
Date	11/6/25
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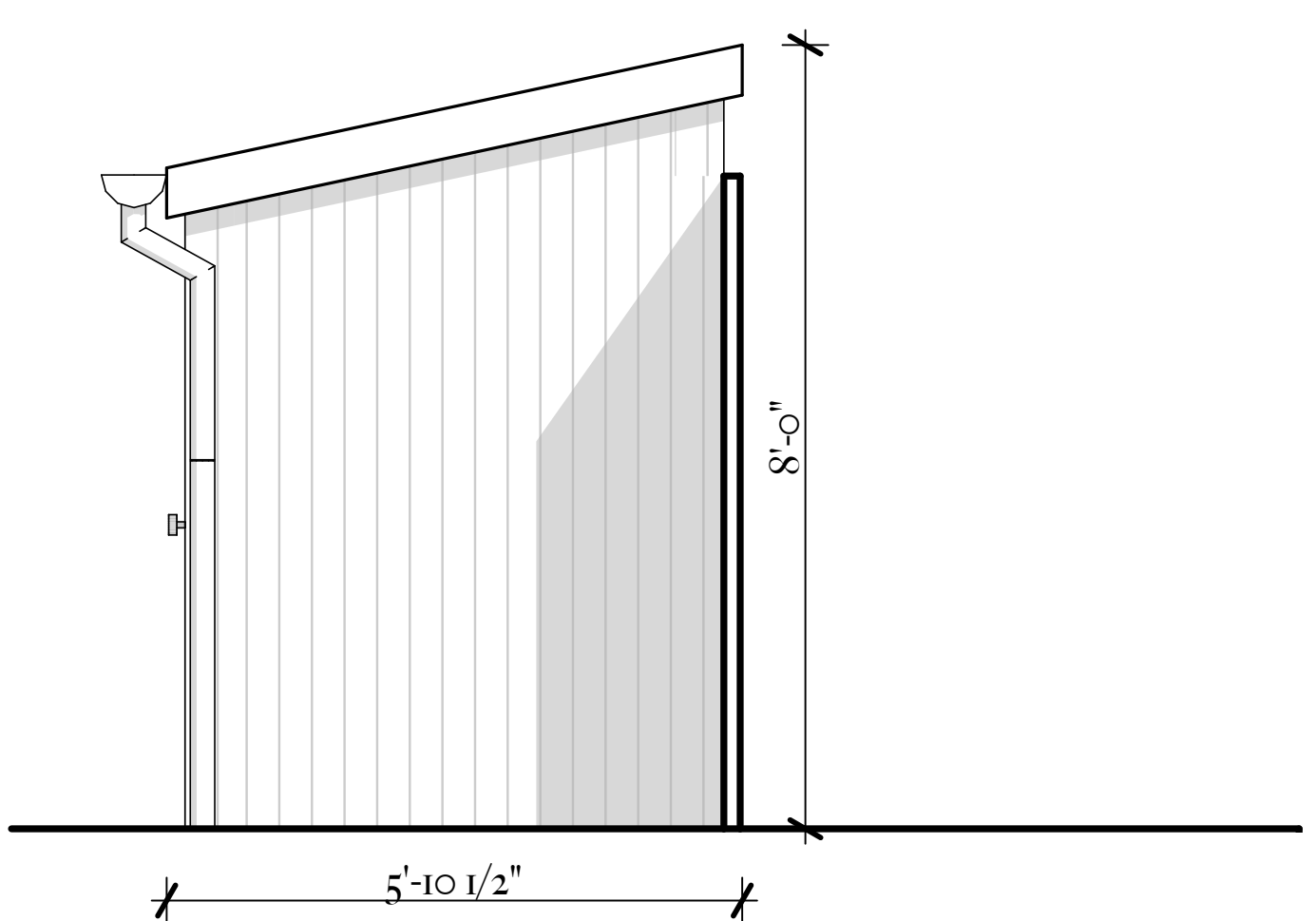
1 Front (East) Elevation
SCALE: 1/4" = 1'-0"



2 Back (West) Elevation
SCALE: 1/4" = 1'-0"



3 Left (South) Elevation
SCALE: 1/4" = 1'-0"



4 Right (North) Elevation
SCALE: 1/4" = 1'-0"



RUST
CONSTRUCTION

3701B Mount Vernon
Ave
Alexandria, VA 22305
703-836-6010

Boswell Residence
229 S. Payne Street Alexandria VA 22314

Shed Elevations

A2-5

Date	11/6/25



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address Zone

A2. x =
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement	<input type="text"/>	Basement**	<input type="text"/>
First Floor	<input type="text"/>	Stairways**	<input type="text"/>
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>
Lavatory***	<input type="text"/>	Other**	<input type="text"/>
Other**	<input type="text"/>	Other**	<input type="text"/>

B1. Sq. Ft.
Existing Gross Floor Area*

B2. Sq. Ft.
Allowable Floor Exclusions**

B3. Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross B2. Total Exclusions

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement	<input type="text"/>	Basement**	<input type="text"/>
First Floor	<input type="text"/>	Stairways**	<input type="text"/>
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>
Lavatory***	<input type="text"/>	Other**	<input type="text"/>
Other	<input type="text"/>	Other**	<input type="text"/>

C1. Sq. Ft.
Proposed Gross Floor Area*

C2. Sq. Ft.
Allowable Floor Exclusions**

C3. Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross C2. Total Exclusions

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space


Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: _____