**ISSUE:** Permit to Demolish/Capsulate (partial)

**APPLICANT:** Frog & Toad LLC

**LOCATION:** Old and Historic Alexandria District

112 North Columbus Street

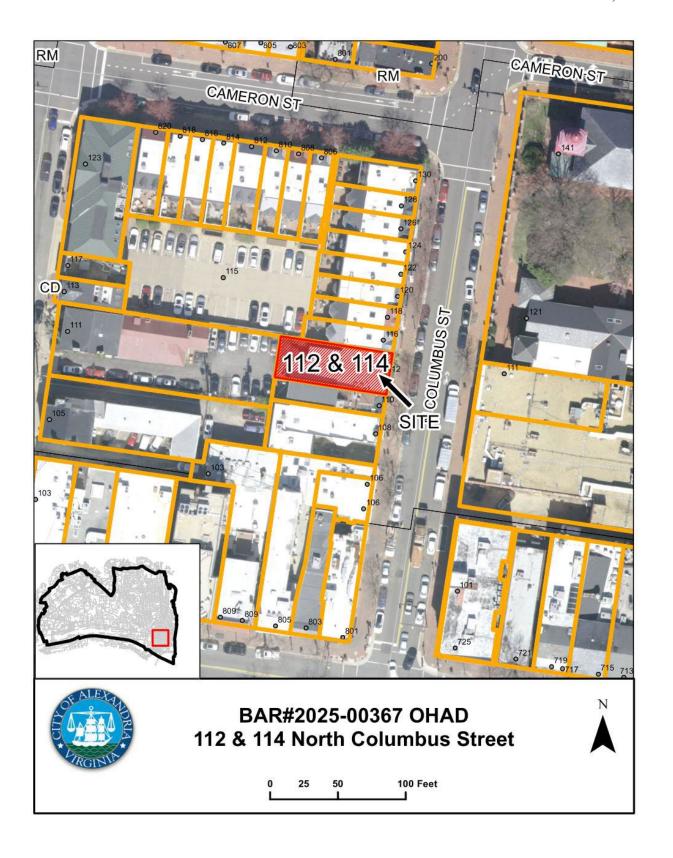
**ZONE:** CD/Commercial Downtown Zone

#### STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial), as submitted.

#### **GENERAL NOTES TO THE APPLICANT**

- 1. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
- 2. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
- 3. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (<u>including signs</u>). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
- 4. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
- 5. EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
- 6. HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the <u>Virginia Department of Historic Resources (VDHR)</u> prior to initiating any work to determine whether the proposed project may qualify for such credits.



# I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) to remove approximately 102 square feet of brick at the first-floor rear/west elevation to install French doors with flanking sidelights.

### Site context

The second story of the structure is minimally visible from North Alfred Street. The proposed alterations to the first story are not visible from a public right of way and therefore do not require a Certificate of Appropriateness. See Figure 1.



Figure 1: Visibility from North Alfred Street circled in red. Note that the first floor, where the proposed alterations will take place, is not visible, which is why the project does not require a Certificate of Appropriateness.

#### II. HISTORY

City records indicate that this property was two separate buildings with different addresses until the 1980s. Prior to the 1980s, the southern half of the building, the right side in Figure 1, was 112 North Columbus Street and the northern half of the building, the left side in Figure 1, was 114

North Columbus Street. They are now identified as a single building with the address of 112 North Columbus. Based on Sanborn maps, the southern half, 112 South Columbus, was constructed between 1885 and 1891. The northern half, 114 North Columbus, was constructed **between 1891** and 1896. The proposed alterations will be restricted to the northern portion of the building. This property operated as Spurgeon-Lewis Antiques, proprietor Thomas Osborne, from 1997 to May of 2025.

#### Previous BAR Approvals

Staff notes that there are BAR approvals for 112 North Columbus from 1946 and 1967 which refer to the property as J.C. Penney. Based on the approved projects, garage doors and patio lighting, it is unlikely that the approvals were actually for 112 North Columbus. J.C. Penney was located across the street where the Ross/Linder Academy is today. These old cases must be using an incorrect address. As the proposed work will not affect the former 112 North Columbus, those approvals are irrelevant regardless of whether or not the address is correct.

4/10/1968 114 N. Columbus: BAR hearing for sign "approved and denied."

8/21/1974 114 N. Columbus: BAR approval to construct fence.

5/19/1976 114 N. Columbus: BAR approval for signage.

Several repair permits for both addresses were issued in 1981-1983, but none have BAR approval.

# III. ANALYSIS

# Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A

(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

The *Design Guidelines* state that "...the Boards are also sympathetic to the needs of building owners to make contemporary 20<sup>th</sup> century use of a property." Of course, we are now in the 21<sup>st</sup> century but the stance still applies. In adding French doors to the rear of the house, the owners can have better access to the rear of their property and admit more light into the interior. The applicant proposes the removal of the minimal amount of brick wall to create the new opening. The entire first floor rear wall will not be removed – only the minimal required to add the new doors. See Figure 2.

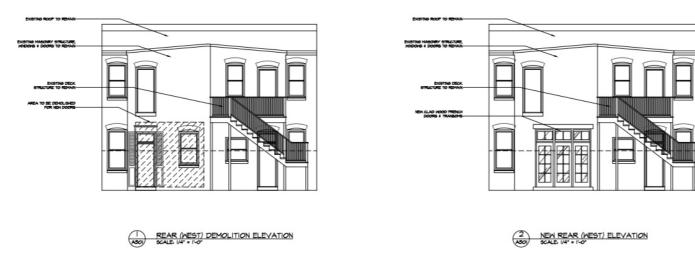


Figure 2: Existing rear elevation with area to be demolished on left; proposed elevation on right.

Staff therefore recommends approval of the project as submitted.

#### **STAFF**

Susan Hellman, Historic Preservation Planner, Planning & Zoning Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

# IV. <u>CITY DEPARTMENT COMMENTS</u>

Legend: C- code requirement R- recommendation S- suggestion F- finding

# **Zoning**

C-1 Proposed demolition and creation of a new French door will comply with zoning.

#### **Code Administration**

C-1 A building permit is required.

#### **Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

# Alexandria Archaeology

No Archaeology comments.

# V. <u>ATTACHMENTS</u>

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Supplemental Materials
- Public comment
- Any other supporting documentation

	BAR CASE#(OFFICE USE ONLY)		
ADDRESS OF PROJECT:			(OFFICE USE ONLY)
DISTRICT: Old & Historic Al	lexandria 🗌 Parker	– Gray □ 100 Y	ear Old Building
TAX MAP AND PARCEL:		zo	NING:
APPLICATION FOR: (Please check	k all that apply)		
☐ CERTIFICATE OF APPROPE	RIATENESS		
PERMIT TO MOVE, REMOV (Required if more than 25 square fee			
☐ WAIVER OF VISION CLEAR CLEARANCE AREA (Section			EQUIREMENTS IN A VISION
WAIVER OF ROOFTOP HVA (Section 6-403(B)(3), Alexandria 199		JIREMENT	
Applicant: Property Owner	Business (Pleas	e provide business na	me & contact person)
Name:			
Address:			
City:	State:		
Phone:	E-mail :		
Authorized Agent (if applicable):	Attorney	Architect	
Name:			Phone:
E-mail:			
Legal Property Owner:			
Name:			
Address:			
City:	State		
Phone	E-mail		

		BAR CASE#	
			(OFFICE USE ONLY)
NAT	URE OF PROPOSED WORK: Please check all that	apply	
_	NEW CONSTRUCTION  EXTERIOR ALTERATION: Please check all that apply awning fence, gate or garden wall doors windows pergola/trellis other  ADDITION  DEMOLITION/ENCAPSULATION  SIGNAGE		☐ shutters ☐ shed y
	CRIPTION OF PROPOSED WORK: Please de ached).	scribe the proposed work in de	tail (Additional pages may
□с	MITTAL REQUIREMENTS:  heck this box if there is a homeowner's associatio of the letter approving the project.	n for this property. If so, yo	u must attach a
requ	s listed below comprise the <b>minimum supporting</b> est additional information during application review gn Guidelines for further information on appropriate	. Please refer to the relevar	
mate dock	cants must use the checklist below to ensure the a rial that are necessary to thoroughly describe the p eting of the application for review. Pre-application op oplicants are encouraged to meet with staff prior to	project. Incomplete application	ons will delay the proposed additions.
	nolition/Encapsulation: All applicants requesting complete this section. Check N/A if an item in this section		
N 	<ul> <li>Survey plat showing the extent of the proposed</li> <li>Existing elevation drawings clearly showing all</li> <li>Clear and labeled photographs of all elevations to be demolished.</li> </ul>	elements proposed for demo	

BAR CASE#		
	(OFFICE USE ONLY)	

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

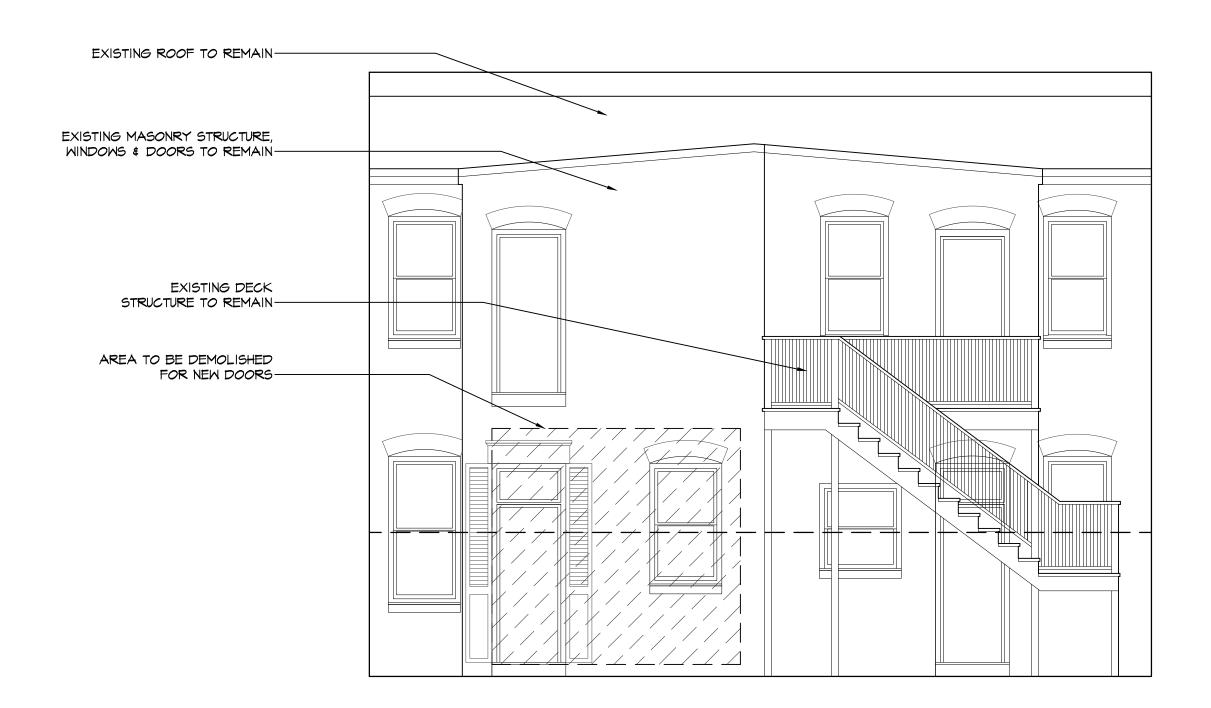
	N/A	
Ш	Ш	Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
		FAR & Open Space calculation form.  Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
		Existing elevations must be scaled and include dimensions.  Proposed elevations must be scaled and include dimensions. Include the relationship to
		adjacent structures in plan and elevations.  Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
		For development site plan projects, a model showing mass relationships to adjacent properties and structures.
illun	ninate	& Awnings: One sign per building under one square foot does not require BAR approval unless ed. All other signs including window signs require BAR approval. Check N/A if an item in this section does to your project.
		Linear feet of building: Front:Secondary front (if corner lot):  Square feet of existing signs to remain:  Photograph of building showing existing conditions.  Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.  Location of sign (show exact location on building including the height above sidewalk).  Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).  Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.
Alt	erat	ions: Check N/A if an item in this section does not apply to your project.
	N/A	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.  Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, foreign, HVAC equipment and walls.
		doors, lighting, fencing, HVAC equipment and walls.  Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.  An official survey plat showing the proposed locations of HVAC units, fences, and sheds.  Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

	BAR CASE#			
	(OFFICE USE ONLY)			
ALL	ALL APPLICATIONS: Please read and check that you have read and understand the following items:			
	I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.			
	I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.			
	I, the applicant, or an authorized representative will be present at the public hearing.			
	I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.			
eleval action grant Section this a inspection to material the section of the sect	undersigned hereby attests that all of the information herein provided including the site plan, building ations, prospective drawings of the project, and written descriptive information are true, correct and rate. The undersigned further understands that, should such information be found incorrect, any in taken by the Board based on such information may be invalidated. The undersigned also hereby as the City of Alexandria permission to post placard notice as required by Article XI, Division A, on 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of application. The undersigned also hereby authorizes the City staff and members of the BAR to ext this site as necessary in the course of research and evaluating the application. The applicant, if than the property owner, also attests that he/she has obtained permission from the property owner aske this application.  **LICANT OR AUTHORIZED AGENT:**  **LICANT OR AUTHORIZED AGENT:**			
Printe	ed Name:			

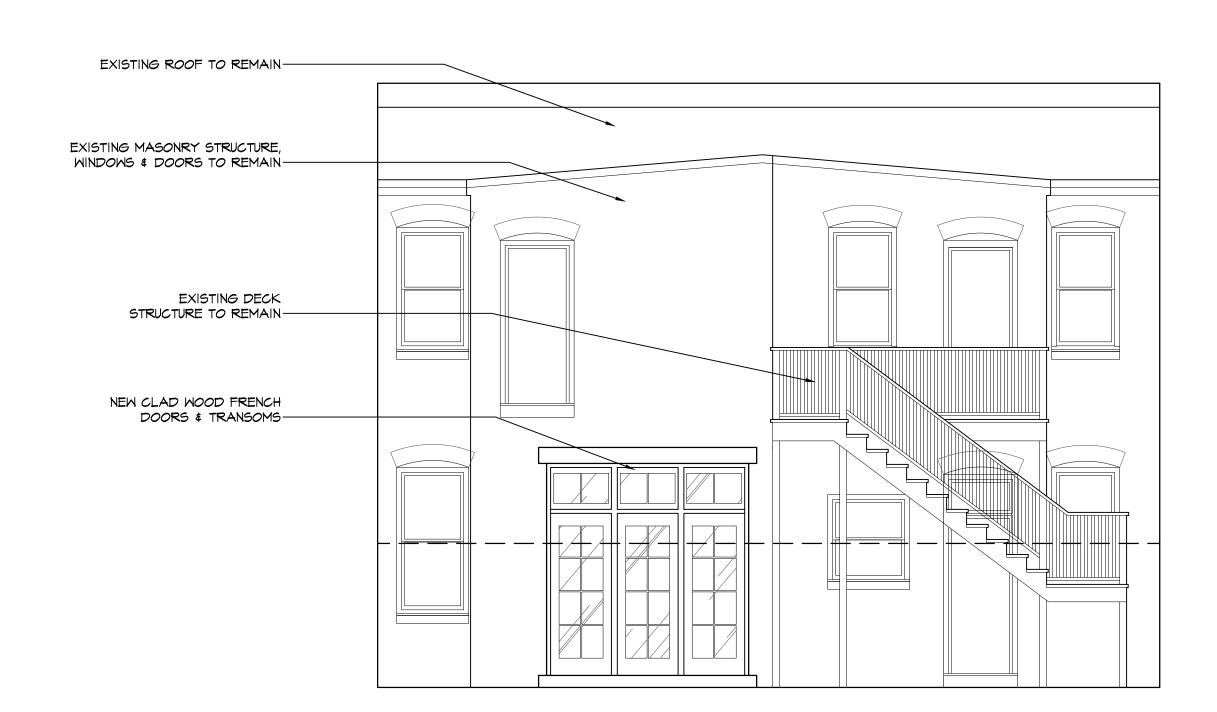
Date: \_\_\_\_\_

# OWNERSHIP AND DISCLOSURE STATEMENT Use additional sheets if necessary

an interest in the applicant, ur case identify each owner of r include any legal or equitable	address and percent of ownership nless the entity is a corporati more than three percent. The to interest held at the time of the	ion or partnership, in which erm ownership interest shall		
which is the subject of the appli  Name	Address	Percent of Ownership		
1.	Address	reicent of Ownership		
1.				
2.				
2.				
3.				
2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at				
Name	Address	Percent of Ownership		
1.				
2.				
3.				
3. <u>Business or Financial Relationships.</u> Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose <b>any</b> business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.				
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)		
1.		, , , , , , , , , , , , , , , , , , ,		
2.				
3.				
NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.  As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that				
the information provided above				
Date Printed	l Name	Signature		



REAR (WEST) DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

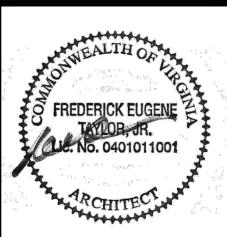


NEW REAR (WEST) ELEVATION SCALE: 1/4" = 1'-0"

WILLIAM CROMLEY DESIGN / DEVELOPMENT 426 COLUMBUS STREET ALEXANDRIA VA, 22314 wm.cromley@mindspring.com (703) 973-2250

FREDERICK TAYLOR, AIA 1433 OTIS STREET NE WASHINGTON DC, 20017 Cell: (202) 277-8087 www.chevychasearchitect.com

PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect under the laws of the Commonwealth of Virginia.
License # 040101100,
Expiration date: 4-30-2026



112 NORTH COLUMBUS STRE ALEXANDRIA, VA 22314 PROJECT

ISSUED DATE DESCRIPTION xx/xx/xxxx -

REAR DEMOLITION & NEW ELEVATIONS

SCALE AS NOTED

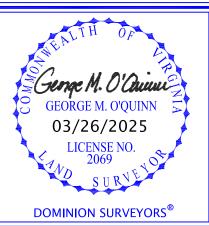
A301

SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



**\***DOMINION

8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555

www.dominionsurveyors.com

CASE NAME: FROG AND TOAD, LLC

#250304018





