

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 414 Duke Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.04-05-09 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: DABNEY THOMAS C

Address: [REDACTED]

City: [REDACTED]

Phone: ([REDACTED]) [REDACTED]

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: John Linam Jr

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: DABNEY THOMAS C

Address: [REDACTED]

City: [REDACTED]

Phone: [REDACTED]

BAR CASE# _____

(OFFICE USE ONLY)

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| ☐ awning | ☐ fence, gate or garden wall | ☐ HVAC equipment | ☐ shutters |
| ☐ doors | ☐ windows | ☐ siding | ☐ shed |
| ☐ lighting | ☐ pergola/trellis | ☐ painting unpainted masonry | |
| ☐ other _____ | | | |
- ☒ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

TWO STORY ADDITION (1F- 336 SF; 2F- 264 SF) OVER CRAWL SPACE AT SOUTHEAST CORNER OF EXISTING DWELLING TO PROVIDE FOR AN ELEVATOR ACCESSING EXPANDED LIVING AND BEDROOM SPACES

Replace existing single door at south end of first floor level of side porch to a double door with arched transom to match existing adjacent doors.

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

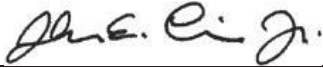
BAR CASE# _____

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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: John Linam JrDate: 6/4/26

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- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Demo 487 SF of exterior masonry wall (inclusive of doors and windows in wall); demo existing 24 SF masonry stoop; demo existing railing and wood arch at south end of existing porch

SUBMITTAL REQUIREMENTS:

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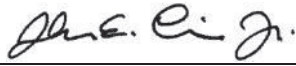
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APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: John Linam JrDate: June 11, 2026

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DABNEY THOMAS C		100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 414 Duke Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

414 Duke Street

Name	Address	Percent of Ownership
1. DABNEY THOMAS C		100
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NONE		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

May 20, 2026

John Linam Jr, Project Architect

Date

Printed Name



Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 414 Duke Street, Alexandria, VA 22314
Street Address

RM

Zone

A2. 5,653.00

Total Lot Area

x

1.50

Floor Area Ratio Allowed by Zone

=

8,479.50

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 936.00

First Floor 2,154.00

Second Floor 2,015.00

Third Floor 1,008.00

Attic

Porches 526.00

Balcony/Deck

Lavatory***

Other** 347.00

Pergola at Parking

B1. **Total Gross**

6,986.00

Allowable Exclusions**

Basement** 936.00

Stairways** 295.00

Mechanical**

Attic less than 7'***

Porches**

Balcony/Deck**

Lavatory*** 105.00

Other**

Other**

B2. **Total Exclusions**

1,336.00

B1. 6,986.00 Sq. Ft.
Existing Gross Floor Area*

B2. 1,336.00 Sq. Ft.
Allowable Floor Exclusions**

B3. 5,650.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor 347.00

Second Floor 275.00

Third Floor

Attic

Porches 27.00

Balcony/Deck

Lavatory***

Other 347.00

Pergola at Parking

C1. **Total Gross**

996.00

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7'***

Porches** 27.00

Balcony/Deck**

Lavatory***

Other**

Other**

C2. **Total Exclusions**

27.00

C1. 996.00 Sq. Ft.
Proposed Gross Floor Area*

C2. 27.00 Sq. Ft.
Allowable Floor Exclusions**

C3. 969.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 6,619.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 8,479.50 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 2,906.00 Sq. Ft.
Existing Open Space

E2. 1,979.00 Sq. Ft.
Required Open Space

E3. 2,533.00 Sq. Ft.
Proposed Open Space

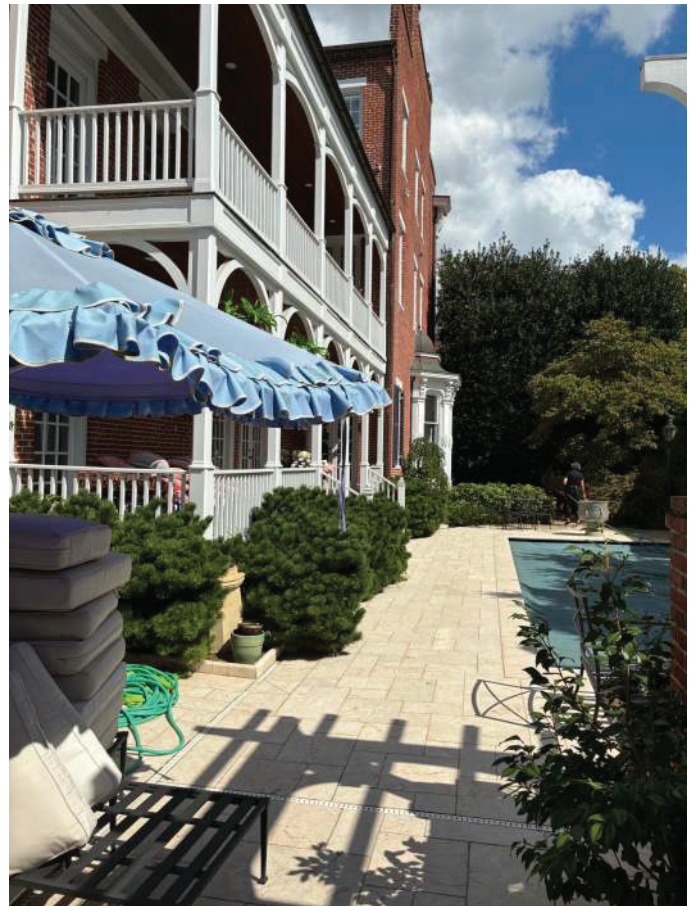
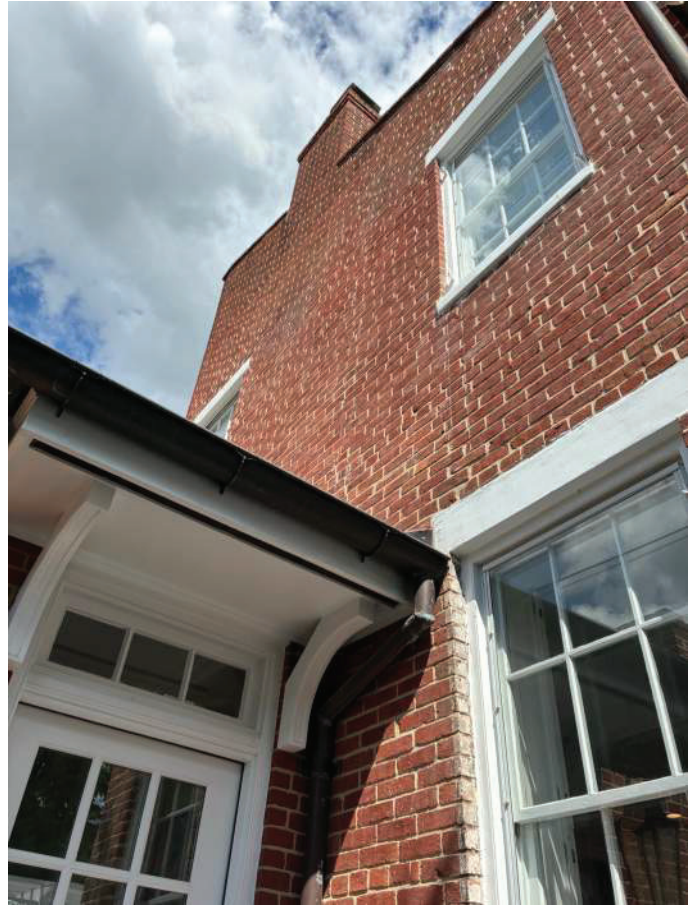
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

Date:

5/20/26

EXISTING EXTERIOR PHOTOS



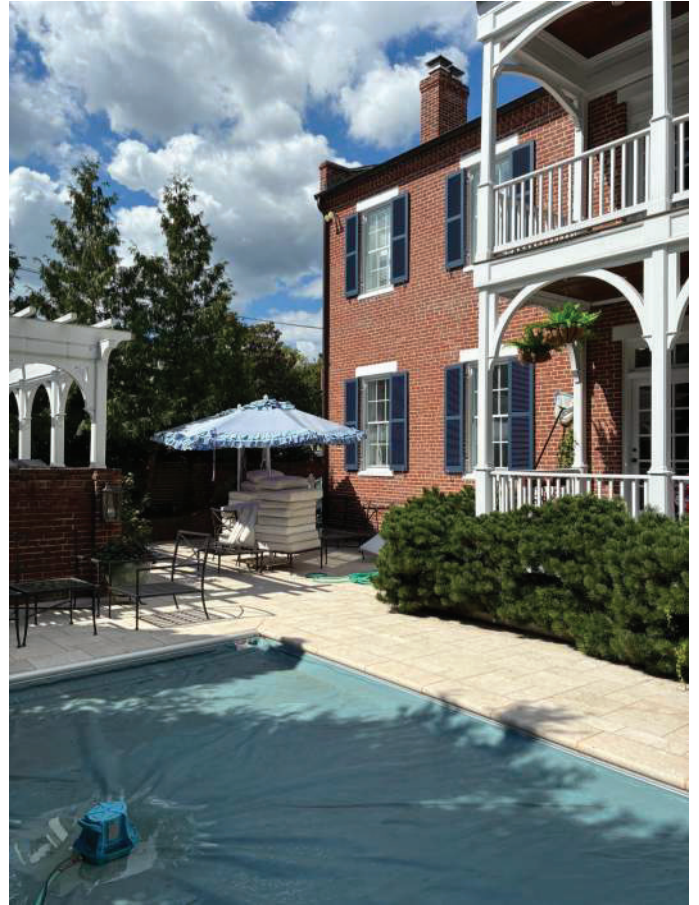
414 Duke Street
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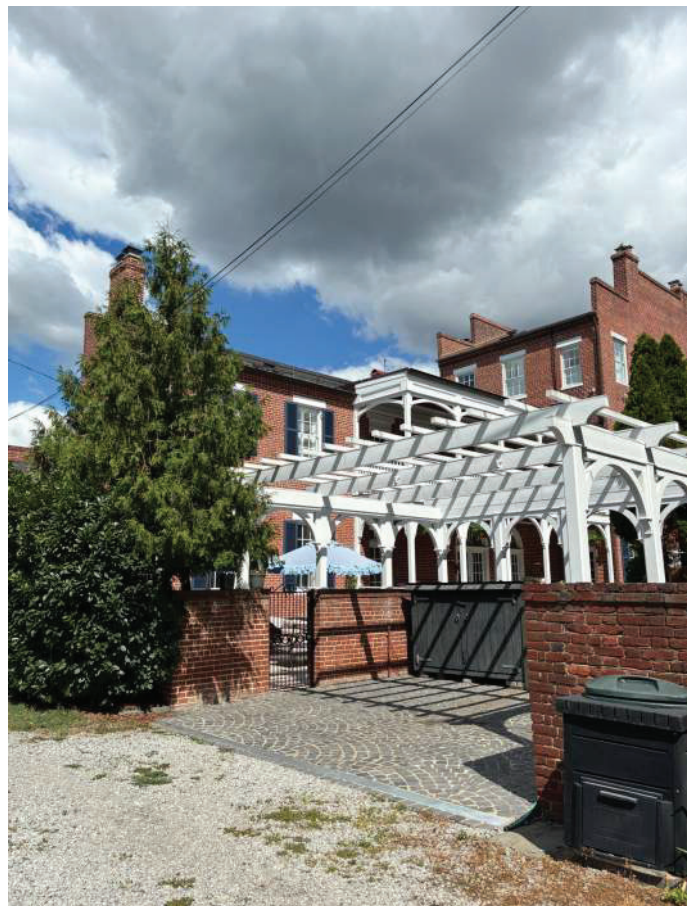
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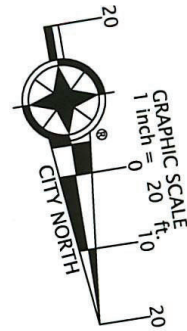


414 Duke Street
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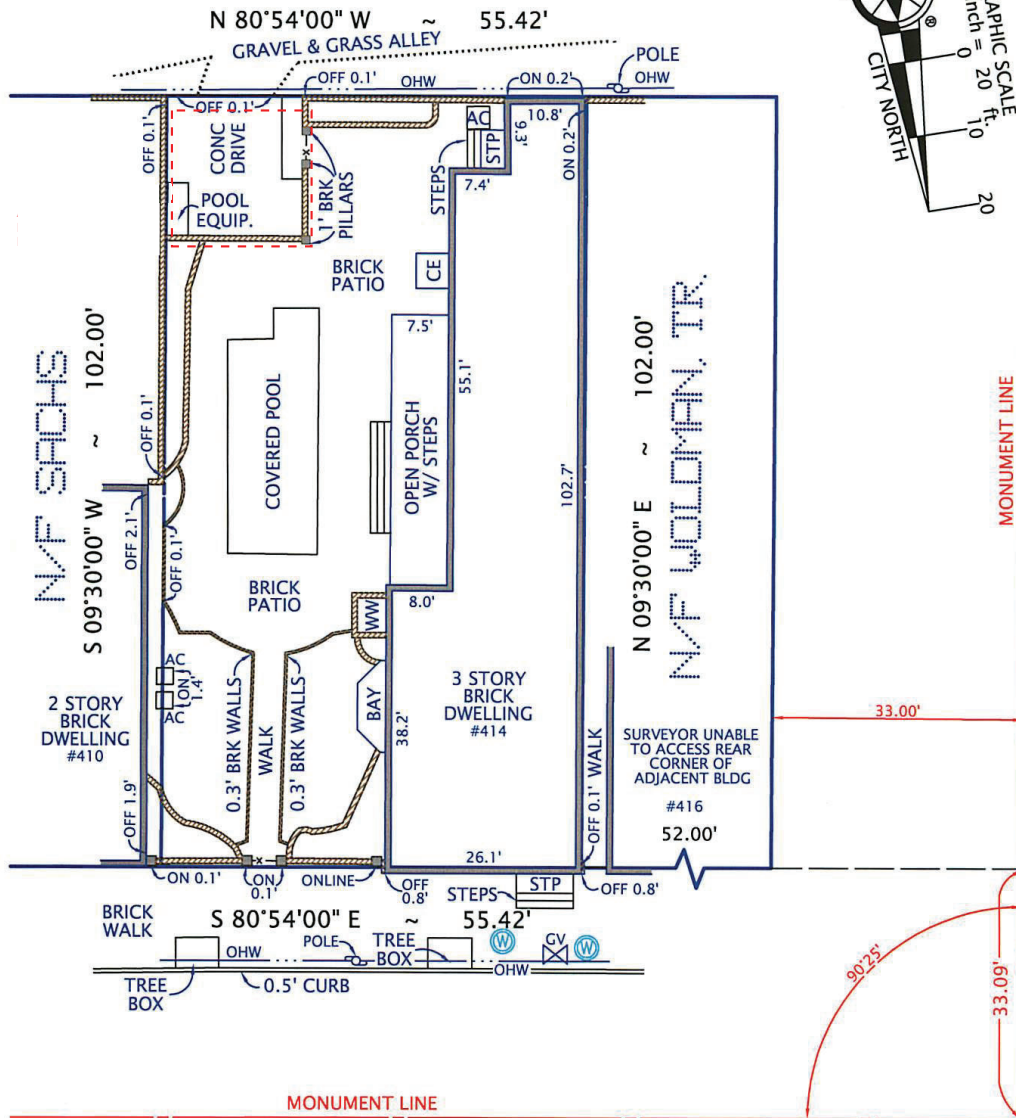
EXISTING EXTERIOR PHOTOS



18' ALLEY



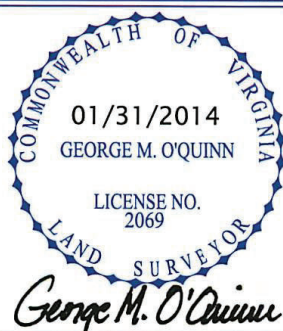
SOUTH PITT STREET



PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#412 & #414 DUKE STREET

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

NO CORNER MARKERS SET.



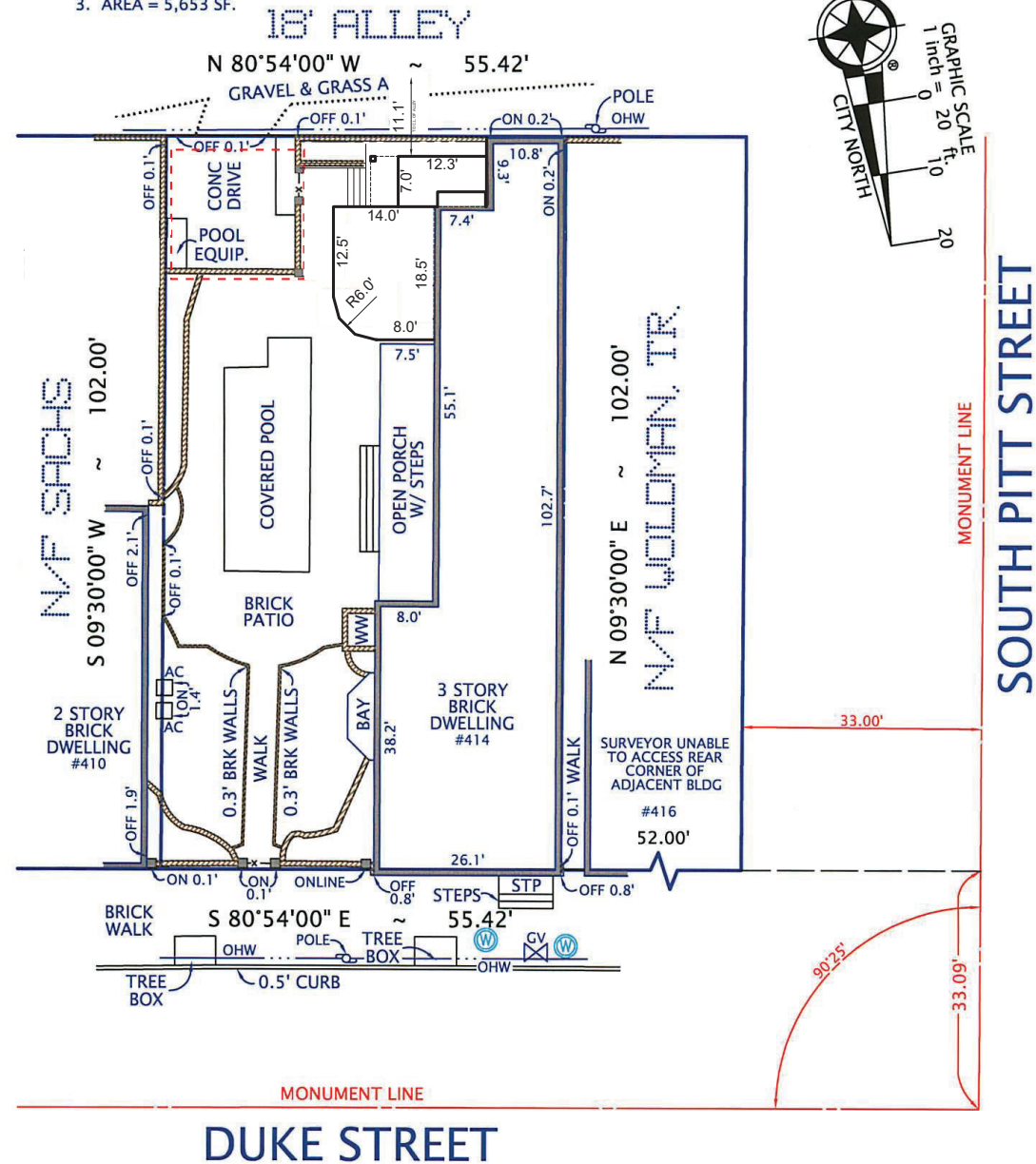
LAW OFFICES, MARK S. ALLEN



Surveyors
Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

- NOTES: 1. WALLS ARE 0.7' BRICK UNLESS NOTED.
2. UTILITIES ARE UNDERGROUND.
3. AREA = 5,653 SF.



DUKE STREET

PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#412 & #414 DUKE STREET

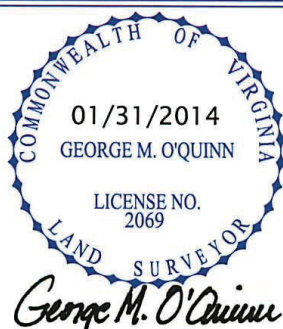
(DEED BOOK 1542, PAGE 1935)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JANUARY 31, 2014

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



ORDERED BY:

TEEL/SNOW ~ DABNEY
LAW OFFICES, MARK S. ALLEN

DOMINION Surveyors Inc.
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

DABNEY-MACHANIC RESIDENCE

414 DUKE STREET
ALEXANDRIA, VA 22314



ABBREVIATIONS

ACT	ACQUISTICAL	FA	FIRE ALARM	MACH	MACHINE	SAB	SOUND ATTENUATION BLANKET
AD	AREA DRAIN	FD	FLOOR DRAIN	MAX	MAXIMUM	SAB	SOUND ATTENUATION FIRE BLANKET
ADD	ADDENDUM	FE	FIRE EXTINGUISHER	MECH	MECHANICAL	SC	SCHEDULE
ADH	ADHESIVE	FEC	FIRE EXTINGUISHER CABINET	MET	METAL	SCHD	SCHEDULE
ADJ	ADJACENT	FF	FINISHED FLOOR	MIN	MINIMUM	SCLM	SOLID CORE PLASTIC LAMINATE
AF	ABOVE FINISH FLOOR	FHC	FIRE HOSE CABINET	MISC	MISCELLANEOUS	SCWD	SOLID CORE WOOD
ALT	ALTERNATE	FIN	FINISHED	MFR	MANUFACTURER	SQ	SQUARE FEET
ALUM	ALUMINUM	FL	FLOORING	MO	MASONRY OPENING	SH	SHELF SHELVE
ARCH	ARCHITECTURAL	FO	FLOOR OUTLET	MOV	MOVABLE	SMT	SHEET
ASB	ASBESTOS	FR	FIRE RATED	MIL	MILLION	SM	SIMILAR
ASPH	ASPHALT	FRT	FIRE RETARDANT TREATED	MT	MARBLE TILE	SN	SANITARY NAPKIN DISPOSAL
		FUR	FURRING	MTL	METAL MATERIAL	SND	SANITARY NAPKIN DISPENSER
		FVC	FIRE VALVE CABINET	MTD	MOUNTED	SND	SPECIFICATION SPECIFIED
BD	BETWEEN			NTS	NOT TO SCALE	SO	SQUARE
BHD	BULKHEAD	GA	GAGE	N	NEW	SS	STAINLESS STEEL
BLDG	BUILDING	GALV	GALVANIZED	N/A	NOT APPLICABLE	STD	STANDARD
BLK	BLOCKING	GL	GLASS	NC	NOT IN CONTRACT	STL	STEEL
BM	BEAM	GEN	GENERATOR	NO	NUMBER	STOR	STORAGE
BO	BOTTOM OF CABINET	GWB	Gypsum Wall Board	NOM	NOMINAL	STRUC	STRUCTURAL
				NTS	NOT TO SCALE	SUSP	SUSPENDED
CS	CORNER GUARD	H	HEIGHT	OA	OVERALL/OUTSIDE AIR	SYS	SYSTEM TREAD
CJ	CONSTRUCTION JOINT/CONTROL JOINT	HC	HOLLOW CORE	OC	ON CENTER	T	TREAD
CL	CLOSET	HD	HOLLOW METAL	OD	OUTSIDE DIAMETER	TBD	TO BE DETERMINED
CLG	CLEARANCE	HORZ	HORIZONTAL	OFF	OFFICE	TD	TRENCH DRAIN
CMU	CONCRETE MASONRY UNIT	HP	HIGH POINT	OH	OVERHEAD	TEL	TELEPHONE
CO	CLEAR OPENING	HR	HOUR	OPNG	OPENING	TERR	TERRAZZO
COL	COLUMN	H&V	HORIZONTAL AND VERTICAL	OPP	OPPOSITE	TG	TONGUE AND GROOVE
COM	COMPANY					THK	THICKNESS
COMB	COMBINATION	ID	INSIDE DIAMETER	PB	PARTICLE BOARD	THRES	THRESHOLD
CONC	CONCRETE	INCL	INCLUDE(ING)	PC	PRECAST CONCRETE	TLT	TOILET
CONF	CONFERENCE	INSUL	INSULATION	PERF	PERFORATED	TO	TOP OF
CONST	CONSTRUCTION	INT	INTERIOR	PF	PRE-FINISHED	TOL	TOILET PAPER DISPENSER
CONT	CONTINUOUS	JC	JANITOR'S CLOSET	PLAM	PLASTER	TOS	TOP OF STEEL
CONTR	CONTRACTOR	JT	JOINT	PLAS	PLASTER	TPD	TRANSFORMER
COORD	COORDINATE	KN	KNOCK DOWN	PLUM	PLUMBING	TRANS	TRANSFORMER
CPT	CARPET	KO	KNOCK OUT	PNL	PANEL	TS	TOP OF SHELF
CRD	CARD READER	KIT	KITCHEN	PR	PAIR	TYP	TYPICAL
CTR	CERAMIC TILE	KNO	KNOCK OUT	PROJ	PROJECTED(ION)	UC	UNDERCUT
CT	CENTER	KO	KNOCK OUT	PT	POINT	UNF	UNFINISHED
		LAM	LAMINATE	PTD	PAINTED	UNLESS	UNLESS OTHERWISE NOTED
DBL	DOUBLE	LAV	LAVATORY	PTN	PARTITION	PLYWOOD	PLYWOOD
DEMO	DEMOLITION	LBL	LABEL	QT	QUARTY TILE	VB	VINYL BASE
DEFS	DEFINITION	LGL	LONG LENGTH	QTY	QUANTITY	VCT	VINYL COMPOSITION TILE
		LH	LEFT HAND	R	RISER	CERT	CERTIFIED
DIAG	DIAGONAL	LD	LONG LENGTH	RD	RADIUS	VF	VERIFY IN FIELD
DIAM	DIAMETER	LP	LOW POINT	RB	RUBBER BASE	VWC	VINYL WALL COVERING
DISO	DISPENSER	LW	LIQUID WALL COVERING	RD	ROOF DRAIN	W/	WIDTH WITH
DN	DOWN	LWC	LIQUID WALL COVERING	REF	REFERENCE	W/O	WITHOUT
DO	DOOR			REIN	REINFORCED(ING)	W	WALL COVERING
DOOR	DOOR			REQD	REQUIRED	WC	WOOD
DTL	DETAIL			RES	RESILIENT	WD	WOOD
DWR	DRAWER			REV	REVISION	WP	WATERPROOFING
DWG(S)	DRAWING(S)			RH	RIGHT HAND	WR	WATER RESISTANCE
				RM	ROOM		
				RO	ROUGH OPENING		
EACH	EACH						
EFS	EXTERIOR INSULATION FINISH SYSTEM						
ELEV	ELEVATION						
ELEC	ELECTRIC(IAL)						
ELEV	ELEVATOR						
EJ	EXPANSION JOINT						
ENCL	ENCLOSURE						
EQ	EQUAL						
EWIC	ELECTRIC WATER COOLER						
E, EX	EXISTING						
EXP	EXPOSED						
EXT	EXTERIOR						

MATERIALS GRAPHIC

	ACOUSTIC CEILING TILE
	BATT INSULATION
	BRICK
	CMU
	CONCRETE
	EARTH
	FIRE SAFING
	GLASS
	GRAVEL
	GYPSUM WALL BOARD
	METAL GENERAL
	PARTICLE BOARD
	PLYWOOD
	PRECAST CONCRETE
	RIGID OR SEMI-RIGID INSULATION
	STEEL
	STONE
	MARBLE/GRAVITE STONE
	WOOD FINISH

SHEET INDEX

SUBMITTALS

DEFERRED SUBMITTALS REQUIRED:
- ROOF FINISHES
- FLOOR FINISHES
- SPRINKLER SYSTEM
Submittal documents for deferred submittal items shall be submitted to the registered design professional in responsible charge, who shall review them and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall NOT be installed until their design and submittal documents have been approved by the building official.

PROJECT DATA

PROJECT	DABNEY-MACHANIC RESIDENCE
LOCATION	414 DUKE STREET ALEXANDRIA, VA 22314
SCOPE OF WORK	TWO STORY ADDITION (1F- 336 SF; 2F- 264 SF) OVER CRAWL SPACE AT SOUTHEAST CORNER OF EXISTING DWELLING TO PROVIDE FOR AN ELEVATOR ACCESSING EXPANDED LIVING AND BEDROOM SPACES
OWNER	THOMAS DABNEY AND LAURA MACHANIC 414 DUKE STREET ALEXANDRIA, VA 22314
ARCHITECT	John Linam Jr, Architect, PLLC 12020 Sunrise Valley Dr Suite 100 Reston, VA 20191 703.980.3117
ENGINEERS	STRUCTURAL
FIRM NAME	
ADDRESS	
CITY	
PHONE	
FIRM NAME	
ADDRESS	
CITY	
PHONE	

John Linam Jr, ARCHITECT, PLLC
12020 Sunrise Valley Drive | Suite 100
Reston, VA 20191
703.980.3117 | jljarch.com

CODE

Work to be done in compliance with the following building codes:

DABNEY-MACHANIC RESIDENCE

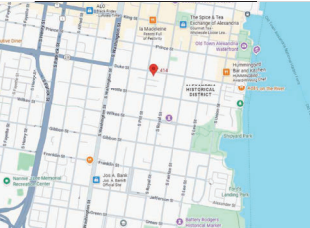
414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

CONSTRUCTION + FIRE RATINGS

CONSTRUCTION TYPE	5B
USE GROUP	R3 SINGLE FAMILY RESIDENCE
BUILDING ELEMENTS	IBC TABLE 601.602
STRUCTURAL FRAME	0 HR
EXTERIOR BEARING WALLS	0 HR
INTERIOR BEARING WALLS	0 HR
INTERIOR NON-BEARING WALLS	0 HR
FACE ON LINE WALLS	NOT APPLICABLE
FLOORS	0 HR
ROOF	0 HR
AUTOMATIC SPRINKLER SYSTEM	NO
SPRINKLER SYSTEM ALARM	NO
FIRE ALARM	NO

VICINITY MAP



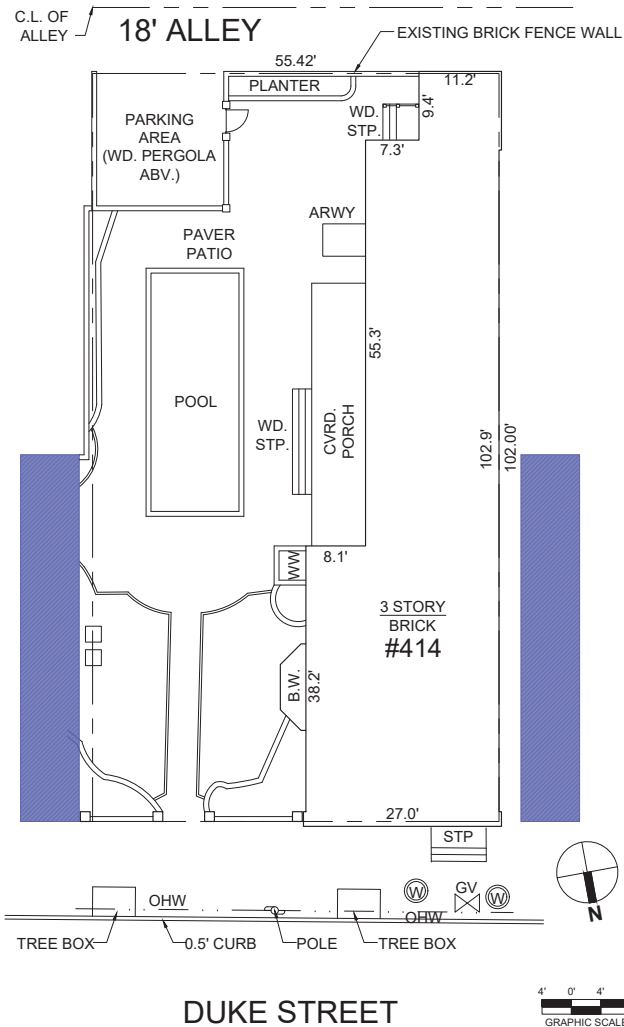
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BAR REVIEW SET
JULY 31, 2026

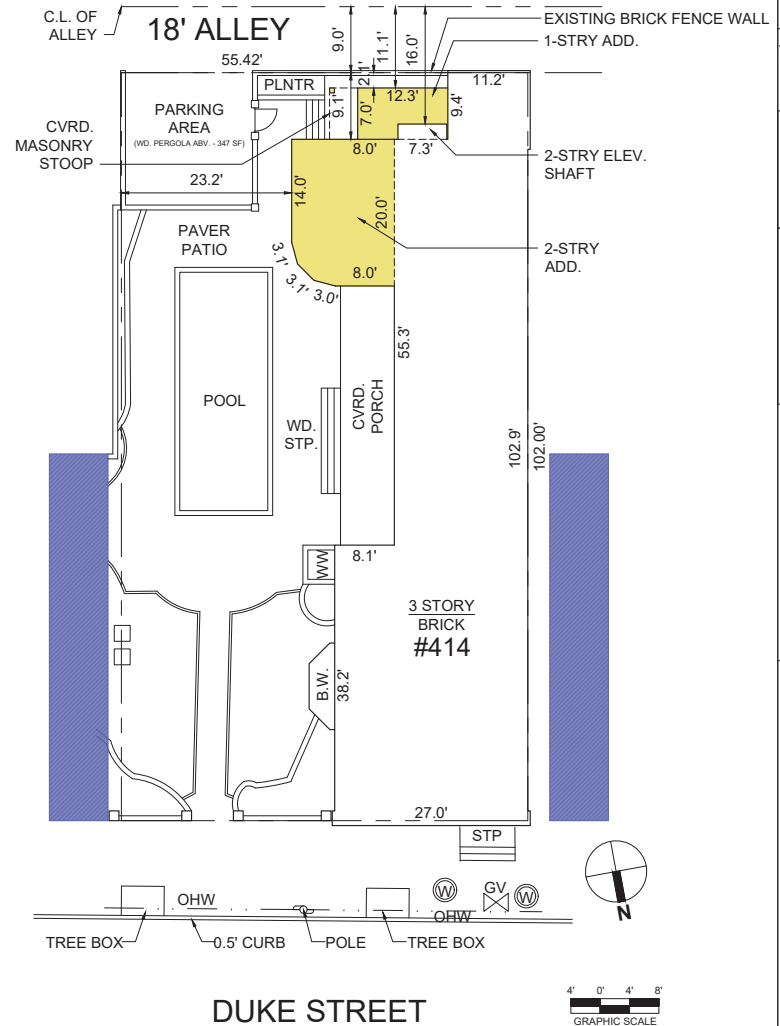
A000

PROJECT SIZE AND ZONING DATA

414 Duke Street ALEXANDRIA, VA 22314 Zoning Historic Overlay		RM One Town		
BUILDING AREA				
Existing		Proposed	Addition Size	
1F	2,111 SF	2,880 SF	2480	336
2F	2,815 SF	22,752 SF	22752	254
3F	1,888 SF	1,009 SF	1009	0
4F	438 SF	938 SF	938	0
Parking (Perigold)	2,000 Parking (Perigold)	330		
Porch (1F)	253 Porch (1F)	289		
Porch (2F)	583 Porch (2F)	263		
Porch	861 Porch	361		
Pool				
Gross Building Area	6,113 Gross Building Area	6,713		
Area Contributing to FAR	5,177 Area Contributing to FAR	5,777		
Lot Area	5,653 Lot Area	5,653		
Ground Footprint	2,747 Ground Footprint	3,107 Total Addition Size		600
1F (Perigold)	1F (Perigold)			
ZONING DATA				
Required		Existing	Proposed	
Minimum Lot Size	1,452	5,653	5,653	
Minimum Lot Width	38	55.42	55.42	
Front Yard Setback	0	0	0	
Rear Yard Setback	10.98	0	0	
Side Yard Setback	0	0	0	
Max Height (F)	35	42	42	
Floor Area Ratio	0.475	SEE FAR FORM	SEE FAR FORM	
Open Area	1,978	2,906	2,544	
Notes				
a) Rear yard setback measured from center line of 18' wide alley				



1| EXISTING ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



2| PROPOSED ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

John Linam Jr, ARCHITECT, PLLC
12020 Sunrise Valley Drive | Suite 100
Reston, VA 20191
703.980.3117 | jllarch.com

DABNEY-MACHANIC RESIDENCE

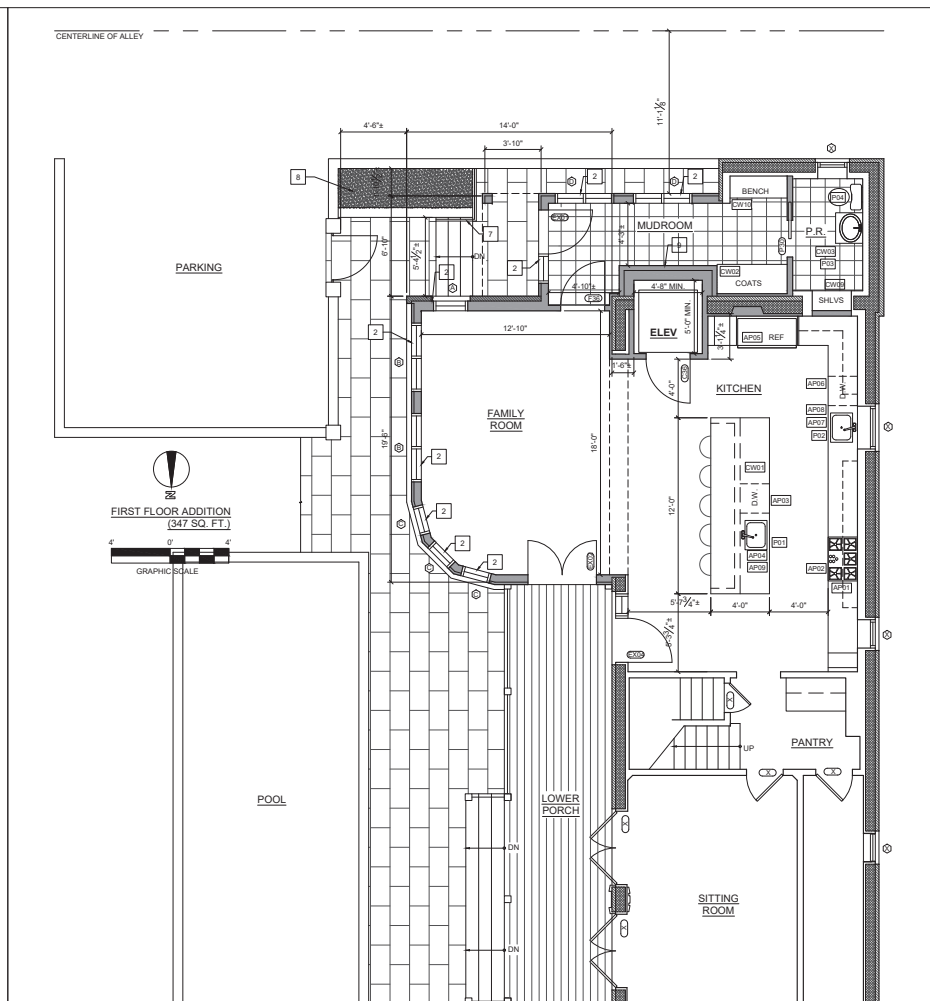
414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

ARCHITECTURAL SITE PLANS

BAR REVIEW SET
JULY 31, 2026

A020



A100

[illegible]



1| EXISTING SECOND FLOOR PLAN

NEW WALLS

GENERAL DEMOLITION NOTES

GENERAL DEMOLITION NOTES

- [illegible]

- * CONTRACT PRICE MUST INCLUDE ALL INCIDENTAL WORK TO SUPPORT DESIGN INTENT IN PROPOSED PLANS. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES FOUND, EXCLUDING UNFORESEEN CONDITIONS, PRIOR TO STARTING WORK.
- DEMOLITION PLAN NOTES**
1. DEMO PORTION OF EXISTING WALL, SALVAGE EXISTING BRICK
 2. DEMO WINDOW
 3. DEMO DOOR
 4. DEMO (FOR SALVAGE) EXISTING GARAGE, COORDINATE W OWNER
 5. DEMO EXISTING PAINT LINES
 6. DEMO EXISTING FLOOR FINISH
 7. DEMO EXISTING STAIRS
 8. DEMO PORTION OF EXISTING MASONRY FIREPLACE CHIMNEY. NOTE EXISTING CHIMNEY TO REMAIN TO REMAIN. SEE STRUCTURAL DETAILS FOR SUPPORT.
 9. DEMO EXISTING STOPS
 10. DEMO EXISTING SHELF BOARDS, EXISTING STAIRS TO REMAIN AS-IS
 11. DEMO PORTION OF EXISTING DOORS, EXISTING AND RE-USE BRICKS PER PROPOSED PLAN
 12. DEMO PORTION OF PORCH RAILING POSTS
 13. REPLACE EXISTING CHIMNEY CAP

DEMOLITION PLAN NOTES

1. DEMO (PORTION OF) EXISTING WALL. SALVAGE EXISTING BRICK
2. DEMO WINDOW
3. DEMO DOOR
4. DEMO (OR SALVAGE) EXISTING CASEWORK. COORDINATE W/ OWNER
5. DEMO EXISTING FIXTURES
6. DEMO EXISTING FLOOR FINISH
7. SALVAGE/ RELOCATE EXISTING APPLIANCES. SEE APPLIANCE FOR C
8. DEMO PORTION OF EXISTING MASONRY FIREPLACE CHIMNEY. NOTE
ABOVE EXISTING ROOF LINE TO REMAIN. SEE STRUCTURAL DETAILS
9. DEMO EXISTING STAIR
10. DEMO EXISTING SHELTER DOORS. EXISTING STEPS TO REMAIN AS-IS
11. DEMO EXISTING PORCH FLOORING BOA. SALVAGE AND RE-USE BRG
PLANS
12. DEMO PORTION OF PORCH RAILING POSTS

GENERAL NOTES	
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- THE FOLLOWING APPLIES TO ALL DRAWINGS IN THIS SET
- CONTRACTOR TO REVIEW EXISTING FIELD CONDITIONS PRIOR TO WORK START AND DURING PROGRESS. CONTRACTOR TO BRING ANY CONDITIONS THAT DO NOT MATCH DRAWINGS TO THE ARCHITECT IMMEDIATELY. CONTRACTOR TO CORRECT ARCHITECTURE/ENGINEERING PRIOR TO PROCEEDING WITH WORK
- CONTRACTOR TAKES PRECEDENCE OVER DRAWING LINES. BRING CONFLICTS BETWEEN WRITTEN INFORMATION AND DRAWN LINES TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
- IF A CONFLICT EXISTS BETWEEN DRAWINGS OF DIFFERENT SCALES, CONSULT THE ARCHITECT FOR CLARIFICATION
- IF THERE IS A CONFLICT OF A LINE DIMENSION OR IN CASE OF DOUBT AS TO THE PROPER MEASUREMENT, CONSULT THE ARCHITECT FOR CLARIFICATION. **DO NOT SCALE DIMENSIONS!**
- OFF OF DRAWINGS**
- INTERIOR DIMENSIONS MEASURED FROM FINISHED FACE OF WALL
- EXTERIOR DIMENSIONS MEASURED FROM OUTSIDE FACE OF SUBTEND OUTSIDE FACE OF CURVE

WALL TYPES

SEE SHEET A040 FOR ALL WALL TYPE DESCRIPTIONS

SEE SCHEDULES FOR NEW DOORS, FINISHES, FIXTURES, AND APPLIANCES

IN GENERAL, ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHOWN AND IMPLIED ON EXISTING AND PROPOSED PLANS IS SCHEMATIC AND SHALL BE VERIFIED AND COORDINATED BY GENERAL CONTRACTOR AND SUBCONTRACTORS. GC AND MEP SUBS MUST INSPECT ALL EXISTING CONDITIONS AND ADVISE ARCHITECT/OWNER OF ANY DISCREPANCIES OR INSUFFICIENCIES PRIOR TO STARTING WORK. CONTRACT PRICE MUST INCLUDE ALL NECESSARY INCIDENTAL WORK TO MODIFY MEP EQUIPMENT AND ACCESSORIES AS REQUIRED TO ACHIEVE PERFORMANCE OF SYSTEMS REQUIRED BY GC AND MEP SUBS. BRING ANY CONCERNS AS TO ADEQUACY OF EXISTING CONDITIONS TO ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO STARTING WORK.

1. OPERABLE WINDOW SHALL PROVIDE 5.7 SF (MIN) NET CLEAR OPENING WITH SILL AT 44" AFF (MAX) TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENING
2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION: A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, B) THE BOTTOM EDGE OF THE



2| PROPOSED SECOND FLOOR PLAN

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

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John Linam Jr, ARCHITECT, PLLC
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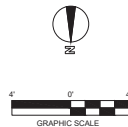
DABNEY-MACHANIC RESIDENCE

414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

BAR REVIEW SET
JULY 31, 2026

A101



NEW WALLS

* CONTRACT PRICES MUST INCLUDE ALL INCIDENTALS WORK TO SUPPORT DESIGN INTENT IN PROPOSED PLANS. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES FOUND, EXCLUDING UNFORESEEN CONDITIONS, PRIOR TO STARTING WORK.

DEMOLITION PLAN NOTES

1. DEMO PORTION OF 1 EXISTING WALL, SALVAGE EXISTING BRICK
2. DEMO WINDOW
3. DEMO DOOR
4. DEMO (ON BRICK) EXISTING CABINETRY, COORDINATE W/ OWNER
5. DEMO EXISTING FLOORS
6. DEMO EXISTING 1/2" C&G FRESH
7. DEMO EXISTING 1/2" C&G FRESH
8. DEMO PORTION OF EXISTING MASONRY FIREPLACE/CAMINO, NOTE EXISTING CHIMNEY
9. DEMO EXISTING 1/2" C&G FRESH TO REVEAL SEE STRUCTURAL DETAILS FOR SUPPORT.
10. DEMO EXISTING STOP
11. DEMO EXISTING SEE 1/2" C&G FRESH, EXISTING STEPS TO REVEAL AS IS
12. DEMO PORTION OF BRICK PLASTER BOX, SALVAGE AND REUSE BRICKS PER PROPOSED PLAN
13. DEMO PORTION OF PORCH RAILING POSTS
14. DEMO EXISTING CHIMNEY C&G
15. REPLACE EXISTING CHIMNEY CAP

1. DEMO (PORTION OF) EXISTING WALL. SALVAGE EXISTING BRICK
2. DEMO WINDOW
3. DEMO DOOR
4. DEMO (OR SALVAGE) EXISTING CASEWORK, COORDINATE W/ OWNER
5. DEMO EXISTING FIXTURES
6. DEMO EXISTING FLOORING
7. SALVAGE/RELOCATE EXISTING APPLIANCES, SEE APPLIANCE FOR CLARIFICATION
8. DEMO PORTION OF EXISTING MASONRY FIREPLACE CHIMNEY. NOTE EXISTING CHIMNEY
TO BE RECONSTRUCTED IN LINE TO REARM. SEE STRUCTURAL DETAILS FOR SUPPORT.
9. DEMO EXISTING STOP
10. DEMO EXISTING SHELTER DOORS. EXISTING STEPS TO REARM AS-B
11. DEMO PORTION OF BRICK PLANTER BOX. SALVAGE AND RE-USE BRICKS PER PROPOSED
PLANS
12. DEMO PORTION OF PORCH RAILING POSTS
13. REPLACE EXISTING CHIMNEY CAP

OWNER

FOR CLARIFICATION.
NOTE EXISTING CHIMNEY
TAILS FOR SUPPORT.

AS-B
BRICKS PER PROPOSED

[illegible]

PLAN NOTES

SEE SCHEDULES FOR NEW DOORS, FINISHES, FIXTURES, AND APPLIANCES

IN GENERAL, ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHOWN AND IMPLIED ON EXISTING AND PROPOSED PLANS IS SCHEMATIC AND SHALL BE VERIFIED AND COORDINATED BY THE ARCHITECT OR CONSULTANT. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL EXISTING CONDITIONS AND ADVISE ARCHITECT/OWNER OF ANY DISCREPANCIES OR CONDITIONS PRIOR TO STARTING WORK. CONTRACT PRICE MUST INCLUDE ALL NECESSARY MATERIALS TO MODIFY MECH EQUIPMENT AND ACCESSORIES AS REQUIRED TO ACHIEVE PERFORMANCE OF SYSTEMS REQUIRED BY GC AND MEP SUBS. BRING ANY CONCERNS AS TO EXISTING CONDITIONS TO ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO STARTING WORK.

[illegible]

FLOOR PLANS

BAR REVIEW SET
JULY 31, 2026

A103

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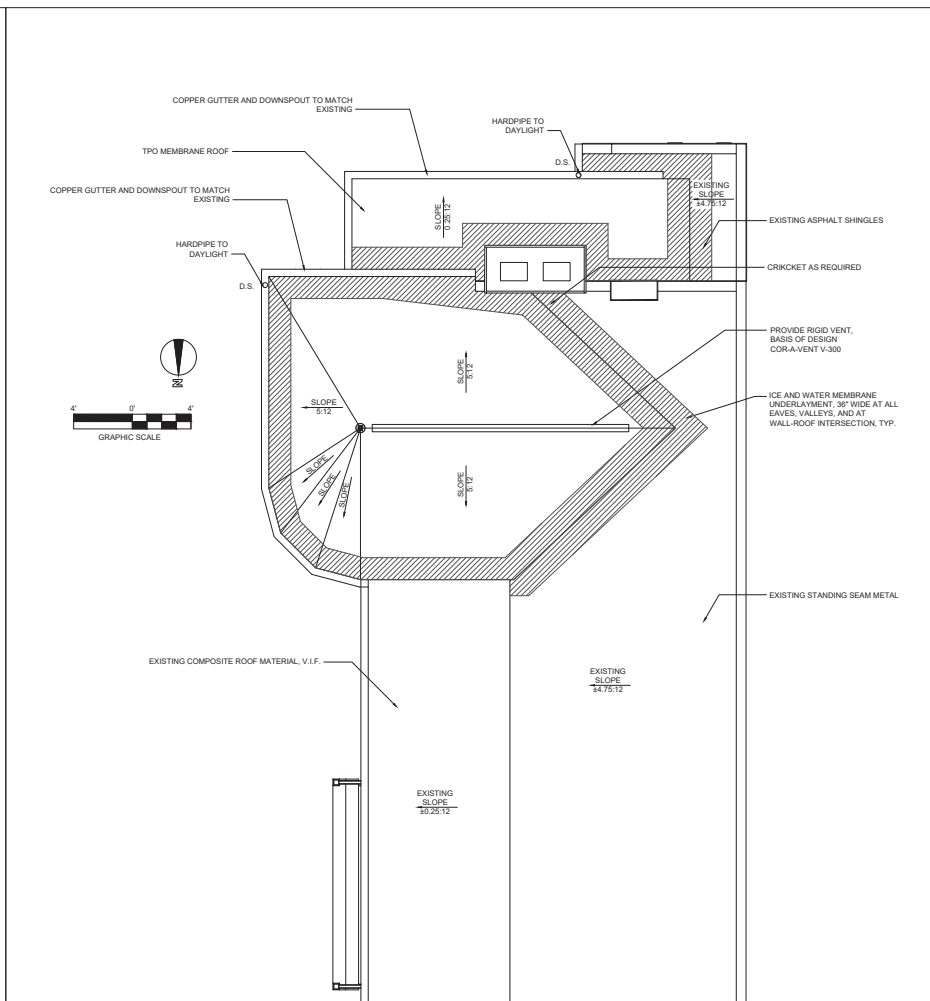
FLOOR PLANS

BAR REVIEW SET
JULY 31, 2026

A103

BAR REVIEW SET
JULY 31, 2026

A103



1.

NEW WALLS

GENERAL NOTES

- THE FOLLOWING APPLIES TO ALL DRAWINGS IN THIS SET
- CONTRACTOR TO REVIEW EXISTING FIELD CONDITIONS PRIOR TO WORK START AND DURING PROGRESS. CONTRACTOR TO BRING ANY CONDITIONS THAT DO NOT MATCH DRAWING CONDITIONS IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT/OWNER AND PRIOR TO ANY WORK BEING PERFORMED
- WRITTEN INFORMATION TAKES PRECEDENCE OVER DRAWING LINES. BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
- IF A CONFLICT EXISTS BETWEEN DRAWINGS OF DIFFERENT SCALES, CONSULT THE ARCHITECT FOR CLARIFICATION
- IN THE ABSENCE OF A WRITTEN DIMENSION, OR IN CASE OF DOUBT AS TO THE PROPER MEASUREMENT, CONSULT THE ARCHITECT FOR CLARIFICATION. **DO NOT SCALE DIMENSIONS**
- OFF OF DRAWINGS**
- INTERIOR DIMENSIONS MEASURED FROM FINISHED FACE OF WALL
- EXTERIOR DIMENSIONS MEASURED FROM OUTSIDE FACE OF SILL AND/OR OUTSIDE FACE OF MAINTENANCE WALL

WALL TYPES

SEE SHEET A-01 FOR ALL WALL TYPE DESCRIPTIONS

PLAN NOTES

SEE SCHEDULES FOR NEW DOORS, FINISHES, FIXTURES, AND APPLIANCES

IN GENERAL, ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHOWN AND IMPLIED ON EXISTING AND PROPOSED PLANS IS SCHEMATIC AND SHALL BE VERIFIED AND CORRECTED BY THE ARCHITECT AND ENGINEER PRIOR TO STARTING WORK. CONTRACTOR SHALL INCLUDE ALL NECESSARY EXISTING CONDITIONS AND ADVISE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO STARTING WORK. CONTRACTOR SHALL INCLUDE ALL NECESSARY INCIDENTAL WORK TO MODIFY MEV EQUIPMENT AND ACCESSORIES AS REQUIRED TO ACHIEVE THE DESIGN SYSTEMS REQUIRED BY GC AND MEV SUBS. BRING ANY CONCERN AS TO ACHIEVING EXISTING CONDITIONS TO ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO STARTING WORK.

OPERABLE WINDOW SHALL PROVIDE 57 CFM (MM) NET CLEAR OPENING WITH SLAT, AT 44" MAX) TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENING

OPERABLE WINDOW SHALL PROVIDE 57 CFM (MM) NET CLEAR OPENING AT ALL OF THE FOLLOWING AREAS. WINDOW SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION AT THE EXPOSED AREA OF THE WINDOW FRAME.

[illegible][illegible]

A104

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DABNEY-MACHANIC
RESIDENCE

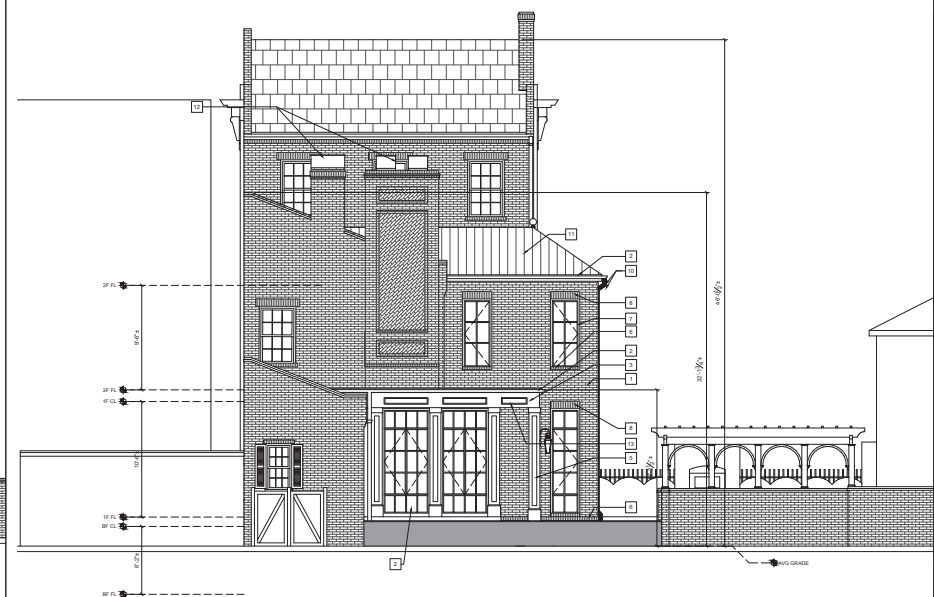
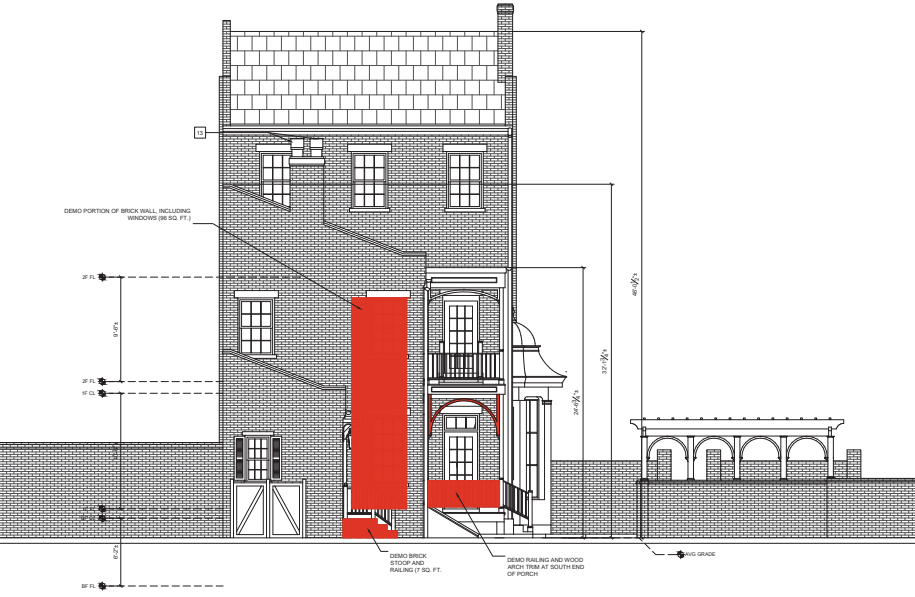
414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

EXTERIOR ELEVATIONS

BAR REVIEW SET
JULY 31, 2026

A200



1| EXISTING SOUTH ELEVATION 3/16" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTOR RESPONSIBLE FOR REMOVAL, CHAIN OF CUSTODY, AND PROPER DISPOSAL OF ALL DEMOLITION DEBRIS FROM THE PROPERTY.
- FACILITATE THE REDUCTION OF DEMOLITION WASTE BY SEGREGATING AND RECYCLING NON-HAZARDOUS MATERIALS INCLUDING MASONRY, GYPSEUM BOARD, METALS, GLASS, AND PAPER.
- PRIOR TO DEMOLITION, INSPECT CONCEALED SPACES IN PARTITIONS, FLOORS, AND CEILINGS FOR CONDUITS AND PIPING SERVING ADJACENT AREAS OR OTHER FLOORS. PROTECT AS NECESSARY.
- IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, REPORT SUCH DISCOVERY TO ARCHITECT FOR DIRECTION PRIOR TO DISTURBANCE.
- OBTAIN APPROVAL FOR CUTTING, PATCHING, OR DRILLING OF ANY SUSPECTED STRUCTURAL ELEMENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. THE METHOD OF CONSTRUCTION AND SEQUENCE OF OPERATIONS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. SUPPLY ANY NECESSARY SHORING, BRACING, ETC. TO PROPERLY BRACE THE STRUCTURE AGAINST THE WIND, DEAD, AND LIVE LOADS. ANY QUESTIONS REGARDING TEMPORARY BRACING REQUIREMENTS SHOULD BE FORWARDED TO A LICENSED STRUCTURAL ENGINEER FOR REVIEW.
- CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE DISRUPTION OF TENANTS. SCHEDULE ALL CORE DRILLING, MASONRY DEMOLITION, AND OTHER HIGH NOISE ACTIVITY OUTSIDE NORMAL BUILDING HOURS. PROVIDE MINIMUM 72 HOURS NOTICE TO PROPERTY MANAGER OF DEMOLITION ACTIVITIES OR UTILITY OUTAGES THAT WILL IMPACT NORMAL OPERATIONS.
- RESIDUAL FLOOR FINISH: EXISTING HARDWOOD TO REMAIN. REMOVE EXISTING CARPET AND REPAIR SUBFLOOR AS NECESSARY FOR SAFE CONTINUOUS WALKING SURFACE.
- REMOVE EXISTING PLUMBING FIXTURES WHERE INDICATED. PROTECT PROPERTY CARPENTERMATE ASSOCIATED SUPPLY, SANITARY AND VENT PIPING.
- MAINTAIN ADEQUATE HEAT AND INSULATION TO PROTECT PIPING.
- FULLY REMOVE ALL ABANDONED ELECTRICAL WIRING BACK TO PANEL SERVING THE FIXTURE OR DEVICE AND PROPERLY TERMINATE.
- EXISTING EMERGENCY LIGHTS AND EXIT SIGNS TO REMAIN, UNLESS NOTED OTHERWISE.
- MAINTAIN ADEQUATE LIGHTING.
- ALL SALVAGEABLE DEMOLITION MATERIALS REMAIN THE PROPERTY OF THE OWNER.
- CONTACT PROPERTY MANAGER FOR DIRECTION REGARDING ALL SALVAGEABLE MATERIALS BEFORE REMOVING OR STORING.
- ABANDONMENT AND TERMINATION OF PIPES, CONDUITS, DUCTS, AND OTHER MECHANICAL, PLUMBING, AND ELECTRICAL WORK TO BE PERFORMED BY QUALIFIED TRADES.
- EXISTING DIMENSIONS PROVIDED FOR GENERAL REFERENCE ONLY. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN FIELD.
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DEMOLITION PLAN NOTES

- DEMO (PORTION OF) EXISTING WALL. SALVAGE EXISTING BRICK
- DEMO WINDOW
- DEMO DOOR
- DEMO (OR SALVAGE) EXISTING CASEWORK. COORDINATE W/ OWNER
- DEMO EXISTING FIXTURES
- DEMO EXISTING FLOOR FINISH
- SALVAGE RELOCATE EXISTING APPLIANCES. SEE APPLIANCE FOR CARRIAGEPORT
- DEMO PORTION OF EXISTING MASONRY FIREPLACE CHIMNEY. NOTE EXISTING CHIMNEY ABOVE EXISTING ROOF LINE TO REMAIN. SEE STRUCTURAL DETAILS FOR SUPPORT
- DEMO EXISTING STUCCO
- DEMO EXISTING BRICK PLANTER BOX. SALVAGE AND RE-USE BRICKS PER PROPOSED PLANS
- DEMO PORTION OF PORCH RAILING PORTS
- REPLACE EXISTING CHIMNEY CAP

2| PROPOSED SOUTH ELEVATION 3/16" = 1'-0"

ELEVATION NOTES

- BRICK VENEER
- 1/2" COMPOSITE FASCIA TRIM, PAINTED
- EXTERIOR MDF PANEL
- COMPOSITE TRIM ADDED TO COVER WRAP BEAM/RRM, PAINTED
- COMPOSITE COLUMN TRIM DETAIL PER SHEET A410
- BRICK SILL
- COMPOSITE BRICK MOLD, PAINTED
- BRICK SOLDIER COURSE LINTES
- PAINTED STEEL HANDRAIL - 3" HIGH
- COPPER GUTTER AND DOWNSPUTES TO MATCH EXISTING, V.I.P.
- STANDING SEAM COPPER ROOF TO MATCH EXISTING
- NEW REPLACE CHIMNEY CAP
- 1/2" COMPOSITE PANEL MOLD
- ACCESS PANEL HARDWARE
- PAINTED LANTERNS TO MATCH EXISTING
- COPPER BALL FINIAL

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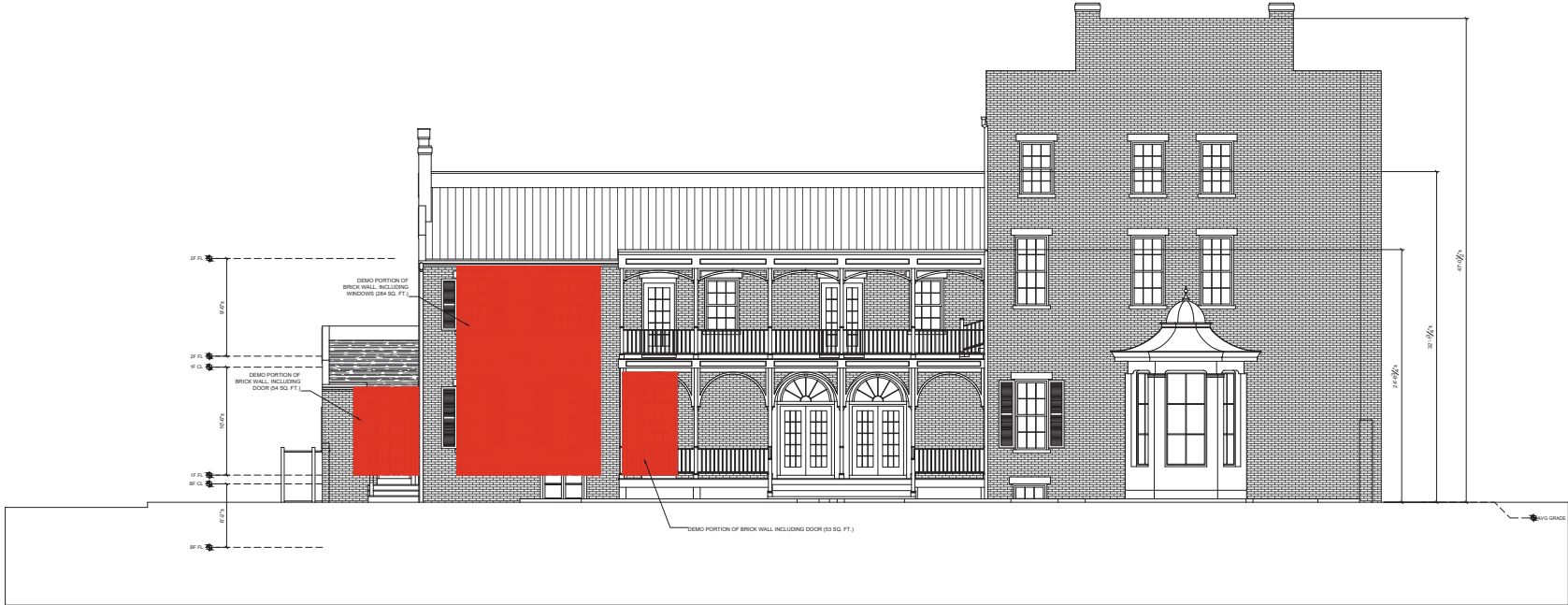
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REVISIONS:

EXTERIOR ELEVATIONS

BAR REVIEW SET
JULY 31, 2026

A201



1| EXISTING EAST ELEVATION

3/16" = 1'-0"

DEMOLITION

GENERAL DEMOLITION NOTES

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- REMOVE EXISTING PLUMBING FIXTURES WHERE INDICATED. PROVIDE Y CARPENTERMATE. ASSOCIATED SUPPLY, SANITARY AND VENT PIPING.
- MAINTAIN ADEQUATE HEAT AND INSULATION TO PROTECT PIPING.
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- DEMO EXISTING STUCCO
- DEMO EXISTING BREASTER DOORS, EXISTING STEPS TO REMAIN AS-IS
- DEMO PORTION OF BRICK PLANTER BOX. SALVAGE AND RE-USE BRICKS PER PROPOSED PLANS
- DEMO PORTION OF PORCH RAILING PORTS
- REPLACE EXISTING CHIMNEY CAP

ELEVATION NOTES

- BRICK VENEER.
- 1/2\"/>

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DABNEY-MACHANIC
RESIDENCE

414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

EXTERIOR ELEVATIONS

BAR REVIEW SET
JULY 31, 2026

A202



1| PROPOSED EAST ELEVATION

3/16" = 1'-0"

DEMOLITION

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- DEMO PORTION OF PORCH RAILING PORTS
- REPLACE EXISTING CHIMNEY CAP

ELEVATION NOTES

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- 1/2" COMPOSITE FACED TRIM, PAINTED
- EXTERIOR MDF PANEL.
- COMPOSITE TRIM ADDED TO COVER/WRAP BEAM/IRRM. PAINTED
- COMPOSITE COLUMN TRIM. DETAIL PER SHEET A410
- BRICK SILL
- COMPOSITE BRICK MOLD, PAINTED
- BRICK SOLDIER COURSE LINTEL
- PAINTED STEEL HANDRAIL - 3" HIGH
- COPPER GUTTER AND DOWNSPUTES TO MATCH EXISTING. V.I.P.
- STANDING SEAM COPPER ROOF TO MATCH EXISTING
- NEW FIREPLACE CHIMNEY CAP
- 1/2" COMPOSITE PANEL MOLD
- ACCESS PANEL HARDWARE
- PAINTED LATEL TO MATCH EXISTING
- COPPER BALL FINIAL



EXISTING WEST ELEVATION

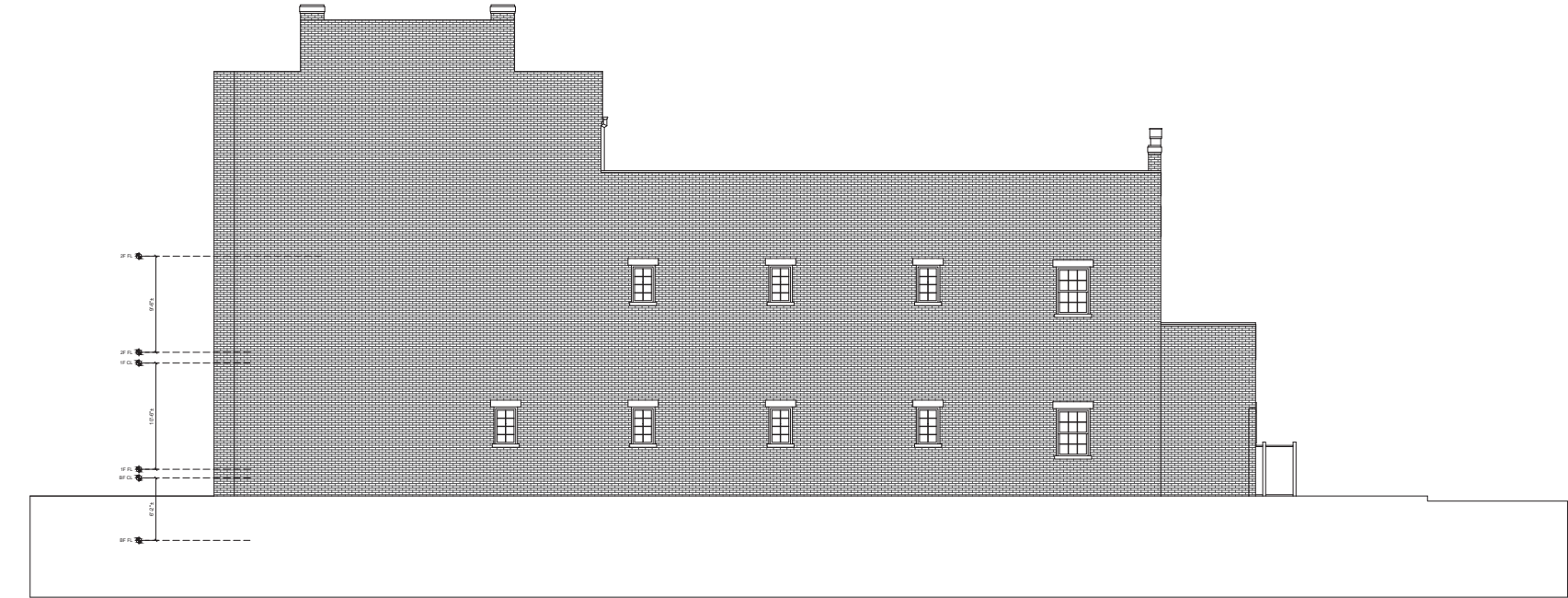
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REVISIONS:

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DEMOLITION

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 - DEMO PORTION OF PORCH RAILING PORTS.
 - REPLACE EXISTING CHIMNEY CAP.

- ELEVATION NOTES**
- BRICK VENEER.
 - 1/2\"/>

1| EXISTING WEST ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATIONS

BAR REVIEW SET
JULY 31, 2026

A203

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REVISIONS:

-

EXTERIOR ELEVATIONS

BAR REVIEW SET
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A204

1| PROPOSED WEST ELEVATION

3/16" = 1'-0"

DEMOLITION

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- REMOVE EXISTING PLUMBING FIXTURES WHERE INDICATED. PROTECT / CAP / TERMINATE ASSOCIATED SUPPLY, SANITARY AND VENT PIPING.
- MAINTAIN ADEQUATE HEAT AND INSULATION TO PROTECT PIPING.
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- COMPOSITE COLUMN TRIM, DETAIL PER SHEET #A10
- BRICK SILL
- COMPOSITE BRICK MOLD, PAINTED
- BRICK SOLDIER COURSE LINTLS
- PAINTED STEEL HANDRAIL - 3" HIGH
- COPPER GUTTER AND DOWNSPUTE TO MATCH EXISTING, V.I.P.
- STANDING SEAM COPPER ROOF TO MATCH EXISTING
- NEW REPLACE CHIMNEY CAP
- 1/2" COMPOSITE PANEL MOLD
- ACCESS PANEL HARDWARE
- PAINTED LANTIL TO MATCH EXISTING
- COPPER BALL FINIAL

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DABNEY-MACHANIC
RESIDENCE

414 DUKE STREET
ALEXANDRIA, VA 22314

REVISIONS:

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1| PARTIAL NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR ELEVATIONS

BAR REVIEW SET
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DEMOLITION

GENERAL DEMOLITION NOTES

- CONTRACTOR RESPONSIBLE FOR REMOVAL, CHAIN OF CUSTODY, AND PROPER DISPOSAL OF ALL DEMOLITION DEBRIS FROM THE PROPERTY.
- FACILITATE THE REDUCTION OF DEMOLITION WASTE BY SEGREGATING AND RECYCLING KNOWN HAZARDOUS MATERIALS INCLUDING MASONRY, GYP/SUM BOARD, METALS, GLASS, AND PAPER.
- PRIOR TO DEMOLITION, INSPECT CONCEALED SPACES IN PARTITIONS, FLOORS, AND CEILINGS FOR CONDUITS AND PIPING SERVING ADJACENT AREAS OR OTHER FLOORS. PROTECT AS NECESSARY.
- IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, REPORT SUCH DISCOVERY TO ARCHITECT FOR DIRECTION PRIOR TO DISTURBANCE.
- OBTAIN APPROVAL FOR CUTTING, PATCHING, OR DRILLING OF ANY SUSPECTED STRUCTURAL ELEMENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. THE METHOD OF CONSTRUCTION AND SEQUENCE OF OPERATIONS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. SUPPLY ANY NECESSARY SHORING, BRACING, SHIELD, ETC. TO PROPERLY BRACE THE STRUCTURE AGAINST THE WIND, DEAD AND LIVE LOADS. ANY QUESTIONS REGARDING TEMPORARY BRACING REQUIREMENTS SHOULD BE FORWARDED TO A LICENSED STRUCTURAL ENGINEER FOR REVIEW.
- CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE DISRUPTION OF TENANTS' SCHEDULE. ALL CORE DRILLING, MASONRY DEMOLITION, AND OTHER HIGH NOISE ACTIVITY OUTSIDE NORMAL BUILDING HOURS. PROVIDE MINIMUM 72 HOURS NOTICE TO PROPERTY MANAGER OF DEMOLITION ACTIVITIES OR UTILITY OUTAGES THAT WILL IMPACT NORMAL OPERATIONS.
- RESIDENT FLOOR FINISHES INCLUDING ADHESIVE REMOVE EXISTING CERAMIC FLOOR TILE. REPAIR SUBFLOOR AS NECESSARY FOR SAFE CONTINUOUS WALKING SURFACE.
- REMOVE EXISTING PLUMBING FIXTURES WHERE INDICATED. PROPERLY CAP/TERMINATE ASSOCIATED SUPPLY, SANITARY AND VENT PIPING.
- MAINTAIN ADEQUATE HEAT AND INSULATION TO PROTECT PIPING.
- FULLY REMOVE ALL ABANDONED ELECTRICAL WIRING BACK TO PANEL SERVING THE FIXTURE OR DEVICE AND PROPERLY TERMINATE.
- EXISTING EMERGENCY LIGHTS AND EXIT SIGNS TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL SALVAGEABLE DEMOLITION MATERIALS REMAIN THE PROPERTY OF THE OWNER. CONTACT PROPERTY MANAGER FOR DIRECTION REGARDING ALL SALVAGEABLE MATERIALS BEFORE REMOVAL OR STORING.
- ABANDONMENT AND TERMINATION OF PIPES, CONDUITS, DUCTS, AND OTHER MECHANICAL, PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY QUALIFIED TRADES.
- EXISTING DIMENSIONS PROVIDED FOR GENERAL REFERENCE ONLY. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN FIELD.
- CONTRACTOR TO REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO STARTING WORK.

DEMOLITION PLAN NOTES

- CONTRACT PRICE MUST INCLUDE ALL INCIDENTAL WORK TO SUPPORT DESIGN INTENT IN PROPOSED PLANS. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES FOUND, EXCLUDING UNFORESEEN CONDITIONS, PRIOR TO STARTING WORK.

- DEMO (PORTION OF) EXISTING WALL. SALVAGE EXISTING BRICK
- DEMO WINDOW
- DEMO DOOR
- DEMO (OR SALVAGE) EXISTING CASEWORK, COORDINATE W/ OWNER
- DEMO EXISTING FLOOR FINISH
- SALVAGE RELOCATE EXISTING APPLIANCES, SEE APPLIANCE FOR CAPPING/CAUTION
- DEMO PORTION OF EXISTING MASONRY FIREPLACE CHIMNEY. NOTE EXISTING CHIMNEY ABOVE EXISTING ROOF LINE TO REMAIN. SEE STRUCTURAL DETAILS FOR SUPPORT
- DEMO EXISTING STUCCO
- DEMO EXISTING BREXTER DOORS, EXISTING STEPS TO REMAIN AS-IS
- DEMO PORTION OF BRICK PLANTER BOX. SALVAGE AND RE-USE BRICKS PER PROPOSED PLANS
- DEMO PORTION OF PORCH RAILING PORTS
- REPLACE EXISTING CHIMNEY CAP

ELEVATION NOTES

- BRICK VENEER
- 1/2" COMPOSITE FASCIA TRIM, PAINTED
- EXTERIOR MDF PANEL
- COMPOSITE TRIM ASSED TO COVER/WRAP BEAM/RRM, PAINTED
- COMPOSITE COLUMN TRIM, DETAIL PER SHEET A410
- BRICK SILL
- COMPOSITE BRICK MOLD, PAINTED
- BRICK SOLDIER COURSE LINTEL
- PAINTED STEEL HANDRAIL - 3" HIGH
- COPPER GUTTER AND DOWNSPUTES TO MATCH EXISTING, V.I.P.
- STANDING SEAM COPPER ROOF TO MATCH EXISTING
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- 1/2" COMPOSITE PANEL MOLD
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- PAINTED LANTERN TO MATCH EXISTING
- COPPER BALL FINIAL





EXISTING FROM (NORTHEAST) ON DUKE STREET



EXISTING FROM (NORTHEAST) ON DUKE STREET- WITHOUT EXISTING LANDSCAPE



PROPOSED FROM (NORTHEAST) ON DUKE STREET- WITH EXISTING LANDSCAPE



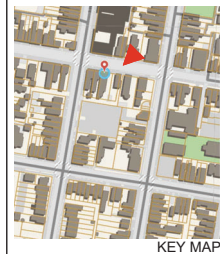
PROPOSED FROM (NORTHEAST) ON DUKE STREET- WITHOUT EXISTING LANDSCAPE

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KEY MAP

PHOTOS AND RENDERINGS

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A600



EXISTING FROM (NORTH) ON DUKE STREET



EXISTING FROM (NORTH) ON DUKE STREET- WITHOUT EXISTING LANDSCAPE



PROPOSED FROM (NORTH) ON DUKE STREET- WITH EXISTING LANDSCAPE



PROPOSED FROM (NORTH) ON DUKE STREET- WITHOUT EXISTING LANDSCAPE

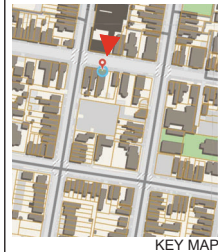
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EXISTING FROM (SOUTH) ST. MARY'S PARKING



EXISTING FROM (SOUTHEAST) ST. MARY'S PARKING



PROPOSED FROM (SOUTH) ST. MARY'S PARKING



PROPOSED FROM (SOUTHEAST) ST. MARY'S PARKING

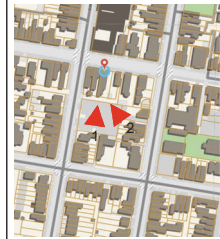
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KEY MAP

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A602



EXISTING PHOTOS AT EXISTING EAST WALL



EXISTING PHOTOS AT EXISTING EAST WALL

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PROPOSED RENDERING AT EAST WALL



PROPOSED RENDERING AT EAST WALL

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PHOTOS AND RENDERINGS

BAR REVIEW SET
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PROPOSED VIEW OF MUDROOM ENTRY



PROPOSED VIEW AT ROOF



PROPOSED VIEW AT 1F PORCH



PROPOSED VIEW AT 2F PORCH

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PHOTOS AND RENDERINGS

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