

Docket Item # 3
BAR CASE # 2013-00118

BAR Meeting
May 15, 2013

ISSUE: Alterations (Window Replacement)

APPLICANT: Amy Smith by Brian Weil

LOCATION: 1211 Michigan Court

ZONE: RM / Residential

STAFF RECOMMENDATION

Staff recommends denial of the Certificate of Appropriateness application for vinyl windows and, instead, recommends replacement with new fiberglass, wood composite or aluminum clad wood windows which comply with the Board's *Window Policy* and the Alexandria Replacement Window Performance Specifications.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR2013-00118



BACKGROUND

This case came to Staff's attention when a neighbor complained that vinyl windows were being installed on the subject property on March 6, 2013 without BAR approval or a building permit. A Code Administration inspector conducted a site visit and determined that vinyl windows were being installed and contacted BAR staff. On March 22, 2013, BAR staff issued a notice of violation to the owner and on March 26, 2013 a separate notice of violation was sent to the contractor. The subject application is an after-the-fact approval request for the vinyl window installation.

Staff reminds the Board that all property owners in the Districts have been sent a letter from the Directors of both Planning and Code Administration with their annual Real Estate Tax Assessment, since 2002.¹ This letter alerts them that they are in a local historic district and that they must receive approval from the BAR for new construction, demolition and any exterior alterations visible from a public right-of-way. Staff has attached a copy of the annual letter to this case for the Board's reference – see Attachment 3. While the owner received approval from the homeowner association to replace the windows, the Nethergate Community Services Association notes in numerous locations on their website that portions of the development are within the Old and Historic Alexandria District and that separate approvals are required from the BAR for work on the exterior.

I. ISSUE

The applicant is requesting an after-the fact Certificate of Appropriateness to replace the existing single-glazed wood windows on the front and rear elevations with vinyl, simulated-divided light, double-glazed, insert replacement windows with a flat muntin profile.



Figure 1: Photo of Original Wood Windows with Storm (on neighboring Property)



Figure 2: Photo of Installed Vinyl Insert Windows

¹ The Annual Letter (attached) was sent on February 8, 2013 to the subject owner.

III. HISTORY

1211 Michigan Court is a two-story, Colonial Revival townhouse constructed in the **mid-1980s** as part of the Virginia Village development – Section Two, Phase III, bound by West Abington Drive, Porter Road, Second Street and Bashford Lane.

Portions of Section One² and Two of the Virginia Village development are within the boundaries of the Old and Historic Alexandria District as they are within 500' of the George Washington Parkway. The inclusion of this development within the District is primarily to regulate alterations and changes which could affect the memorial character of the Parkway and/or its associated environmental setting/landscape or impair the character of the historic district as a whole, and not for their individual architectural, cultural or historic significance.

The subject building's front and rear elevations are both visible from West Abington Drive, which acts as the service road for this portion of the Parkway.

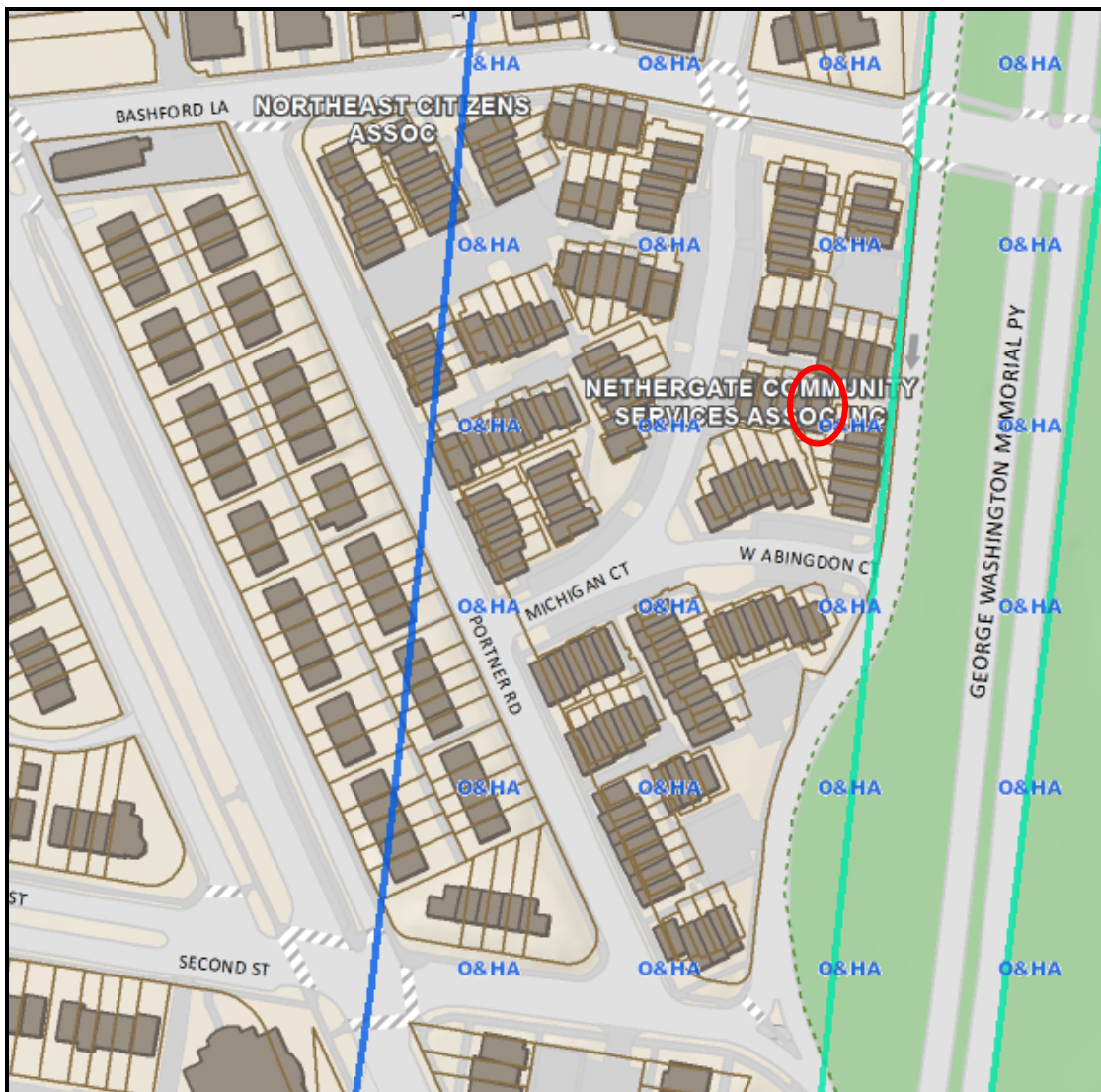


Figure 3: Map illustrating OHAD District Boundaries and Location of Subject Building

² Located between Powhatan and Portner Road – Townhouses constructed in the 1940s/50s.

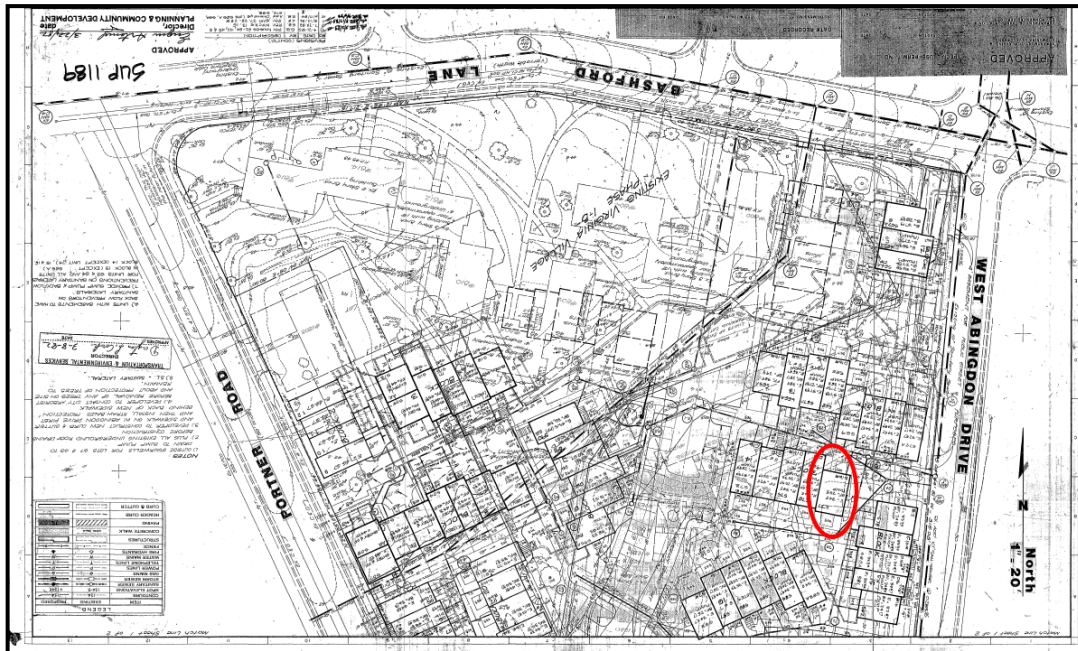


Figure 4: 1982 Site Plan – Virginia Village with Location of Subject Building

IV. ANALYSIS

Based on the recommendations of the Modern & Sustainable Materials Work Group in 2010, the Board adopted a *Window Policy* which allows for the administrative approval of replacement windows if existing windows are replaced with either full frame replacement windows or sash replacement kits in existing openings, so long as they comply with all of the policies and performance specifications outlined in the *Window Policy* (*Window Policy* included in Attachment 2).

The *Policy*, however, does not allow the use of insert or pocket replacement windows. Insert windows require that a new, full-frame replacement window be installed directly into the existing window frame, reducing the original sash and glazing sizes and requiring additional trim surrounding the opening. When the *Policy* was adopted, the Board found that insert windows could not match historically appropriate window proportions and dimension and were visually inappropriate, though the Board recently approved a new Marvin brand fiberglass insert window product at Cameron Mews as a test case because this high quality window unit maintains the original window's glass area.



Figure 5: Detail of Installed Vinyl Insert Window

With respect to window materials, the *Window Policy* states: “High quality, appropriately detailed aluminum clad wood replacement windows may be used on buildings constructed after **1969**, when these windows became commercially available.” Subsequently, at a meeting in 2012, the Board amended its *Window Policy* to also permit the use of “Anderson Fibrex windows or a similar quality, paintable wood composite [or fiberglass] windows on buildings constructed after **1975**.” The *Policy* also specifically identifies that “vinyl or vinyl clad windows are not considered appropriate or compatible” and that “muntins must be paintable and have a putty glaze profile on the exterior. The subject vinyl windows have a flat applied muntin.

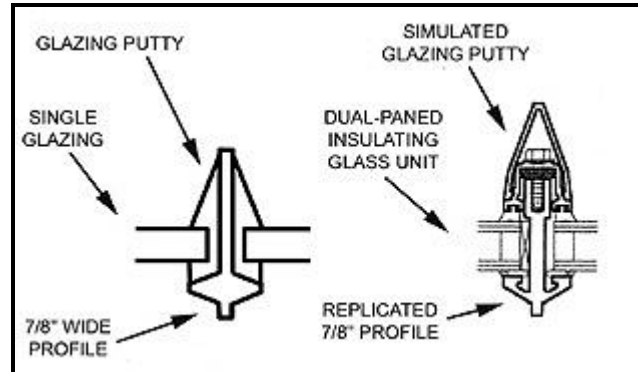


Figure 6: Traditional Wood Muntin vs Aluminum-Clad Muntin “Putty” Profiles

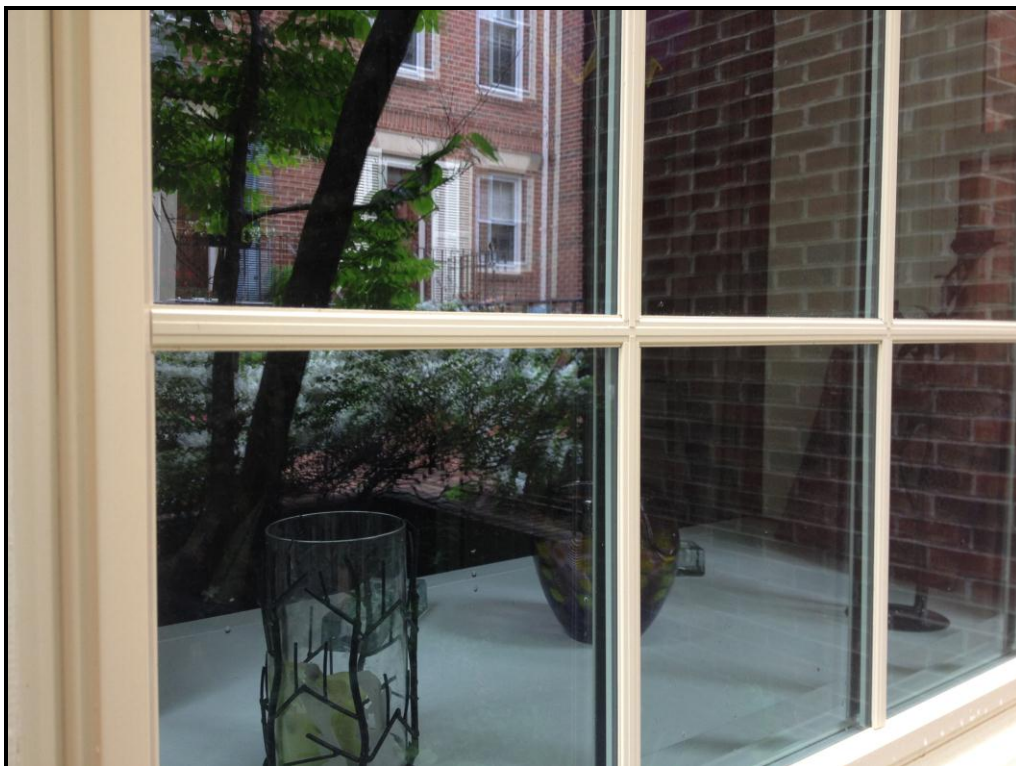


Figure 7: Detail of Installed Vinyl Window Muntins

Based on the material (vinyl), the use of an insert window with wide surrounding trim and the flat muntin profile, Staff finds that the windows installed on do not comply with the Board's *Window Policy*. Staff recommends that the Board deny this Certificate of Appropriateness application, require removal of the inappropriate vinyl windows and require replacement with new fiberglass, wood composite or aluminum clad wood windows which comply with the Board's *Window Policy* and the Alexandria Replacement Window Performance Specifications.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief at ken.granata@alexandriava.gov or 703-746-4193.
- C-1 Building permit must be obtained prior to applicable work commencement. Five sets of *construction documents* that fully detail the construction as well as layout and schematics of any alterations must be submitted to the Code office for review. If a design professional prepares drawings for the project the plans must bear the seal of the design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Any proposed alterations to the existing structure must comply with the current edition of the Virginia Uniform Statewide Building Code (VUSBC).

VI. ATTACHMENTS

- 1 – *Supporting Materials*
- 2 – *BAR's Window Policy*
- 3 – *BAR's Annual Letter to Residents*
- 4 - *Application for BAR2013-0118 at 1211 Michigan Court*



February 20, 2013

Amy Smith
1211 Michigan Court
Alexandria, Virginia 22314

**RE: NETHERGATE COMMUNITY SERVICE ASSOCIATION- ARCHITECTURAL REQUEST APPROVAL-
1211 Michigan Court**

Dear Ms. Smith.

Please be advised that the Board of Directors has reviewed your request to replace windows. The Board has **APPROVED** your request. as submitted.

Please ensure that work is completed in the manner specified, that all construction debris is kept in an orderly fashion during construction and removed from the property on a daily basis.

Please keep a copy of this approval letter for your records. This letter is proof that you have sought and received the necessary approvals for improvements to your home and may be required documentation if you chose to sell your home.

If you have any questions or concerns, please feel free to contact my office at 703-673-9131 or via email to w Schroeder@nrpartners.com.

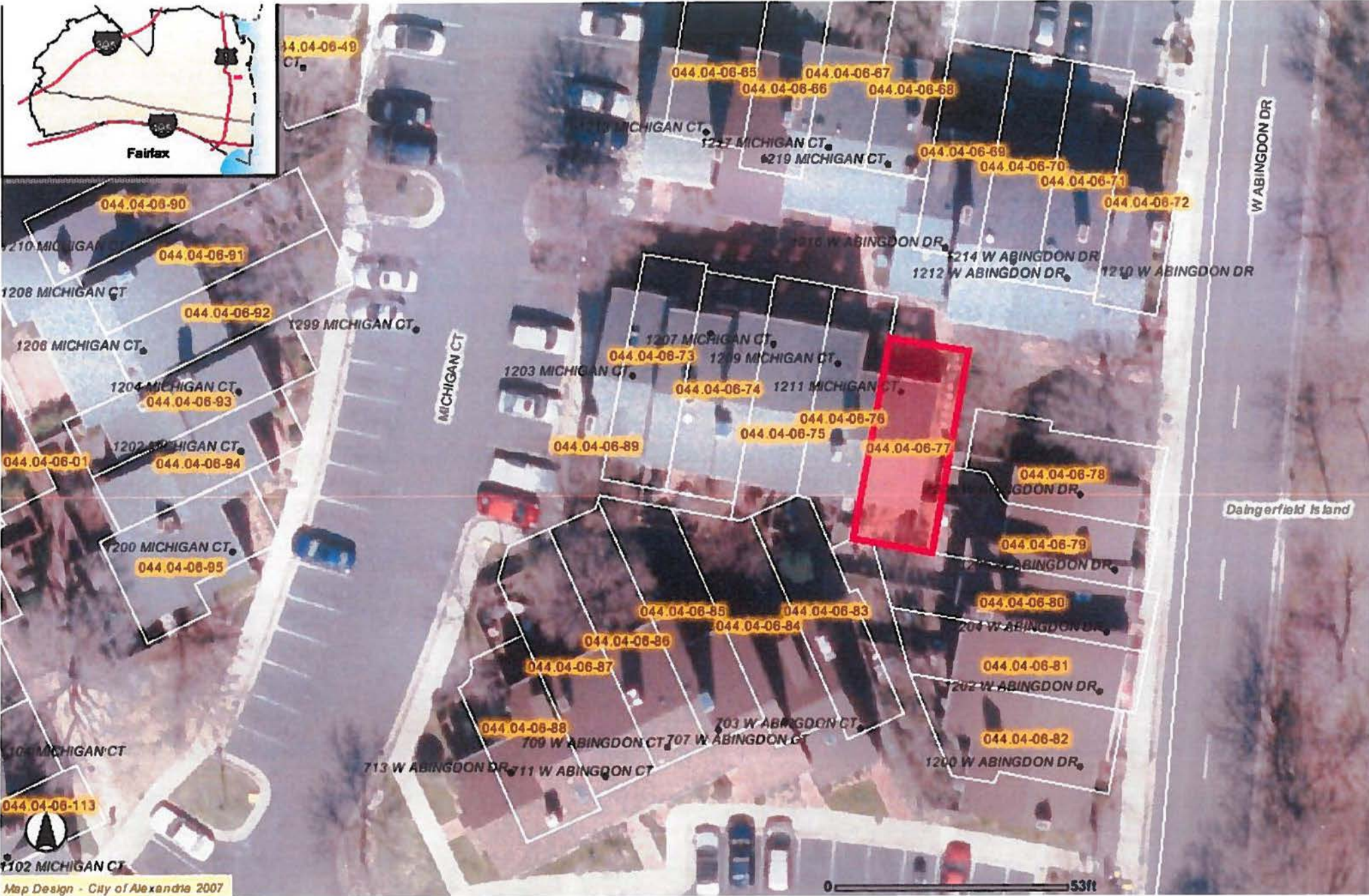
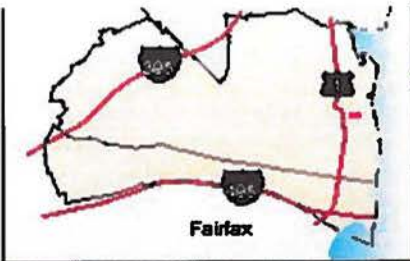
Sincerely,

Wesley Schroeder

Wesley Schroeder, CMCA®
Portfolio Property Manager
National Realty Partners, AAMC®
On behalf of the Nethergate Community Service Association
/vm

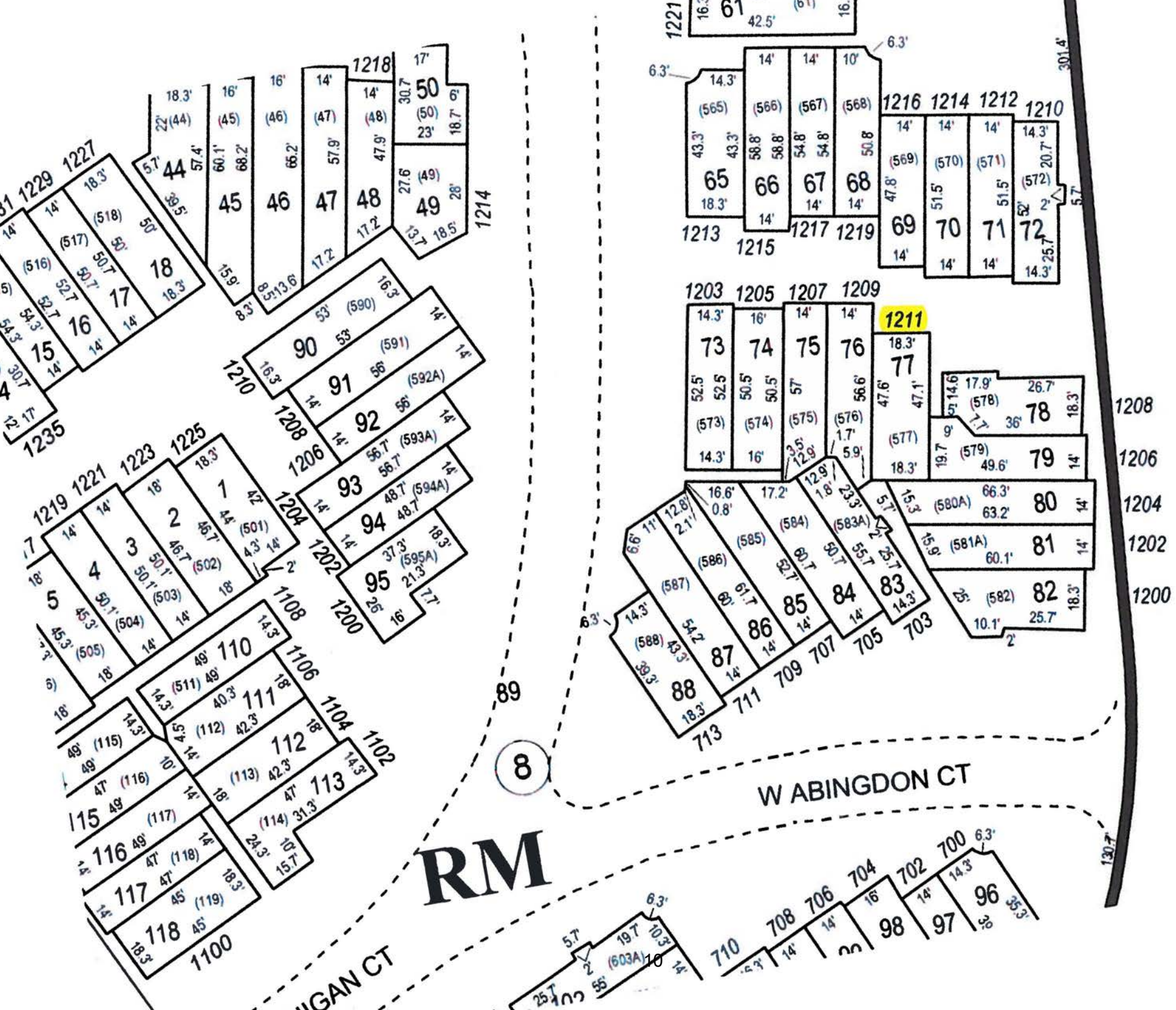
Cc: Unit File

365 Herndon Parkway, Suite 106 ♦ Herndon, Virginia 20170
Telephone: 703-435-3800 ♦ Fax: 703-689-0949



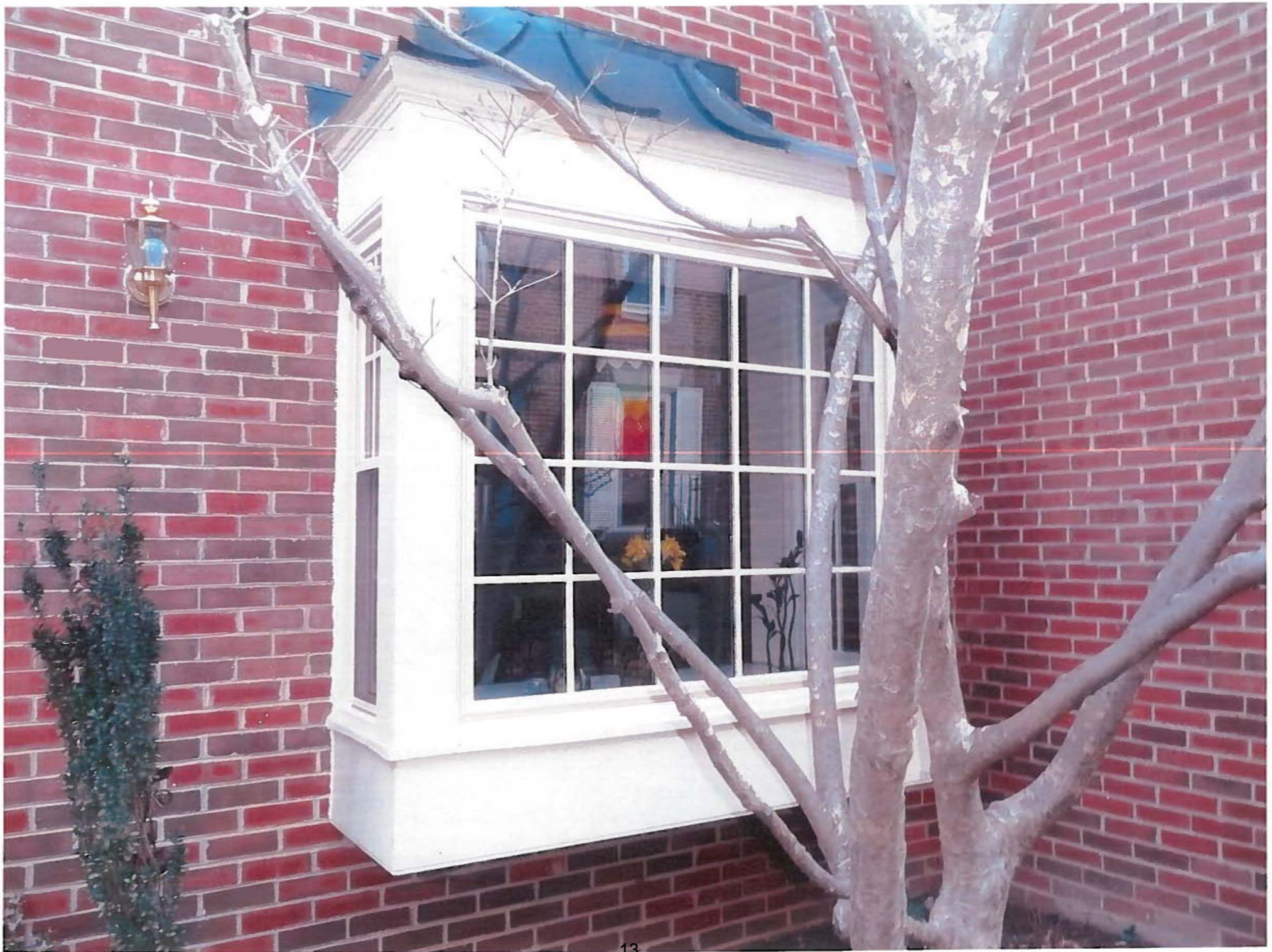
Map Design - City of Alexandria 2007

Owner Name:	SMITH AMY CLAIRE		Account No.:	50410020
Property Address:	1211 MICHIGAN CT		Date:	01/01/2013
Latest Assessment Information	Tax Assessment Map Number:	044.04-06-77	Total Value:	€182 154
Land Value:	Building Value:	9		
€268 010	€222 144			



















**SIT BACK, RELAX AND ENJOY
A WORRY FREE EXPERIENCE**



Since 1987 Unicorp has made window, siding and roofing projects a worry free experience for thousands of homeowners in Maryland, Virginia and Washington D.C.

Great value and savings are always



guaranteed as well as your complete and total satisfaction.

Rated among the top 500 companies in the nation by "Qualified Remodeler Magazine" Unicorp's consistency and attention to detail have made us a leader in our industry and are the hallmarks of our organization.

We thank you and look forward to improving the quality of your home.



Our contoured grids and exclusive sash design give your windows the detailing of wood with the benefits of vinyl.



Our energy efficient sliding glass doors glide effortlessly for years to come.



Bay Window



Bow Window



Picture Window



Double Hung Window



Three Part Slider



Double Casement



Two Part Slider



301-779-0900

www.UnicorpHomeEnergy.com

703-462-6100

PR^oDIGY CUSTOM WINDOWS

exclusive product of



Because You Only Want to Buy Windows Once

Prodigy windows: so different, so beautiful, so unique in design. These are windows YOU WILL LOVE!



*C*ongratulations for choosing one of the many options and styles available in the “*Prodigy*” window series line! Each window will be made to fit your existing opening to the nearest 1/4” in width and height. Manufacturing windows to exact specifications allows installation in most cases to be done without disturbing your existing trim or wall materials. That means you get superior performance and better looking windows with minimal or no disruption to your home. In fact, installation in most cases takes only one day.



Prodigy windows are made using state of the art, computer controlled welders for superior strength and energy efficiency. Unicorp's development team designed the *Prodigy* window with sashes that are slimmer which optimize the area of glass and maximize your view. In addition, *Prodigy* windows are the only vinyl windows that have our unique beveled sashes for a more natural appearance in your home. *Prodigy* windows are exclusively manufactured at the largest and most state of the art window manufacturer in Maryland. All *Prodigy* windows are NFRC certified meeting Energy Star® standards for all areas of the United States.



Prodigy windows are covered by our impressive LIFETIME LIMITED WARRANTY so you have peace of mind in addition to comfort and savings.

Cutting utility bills not corners®

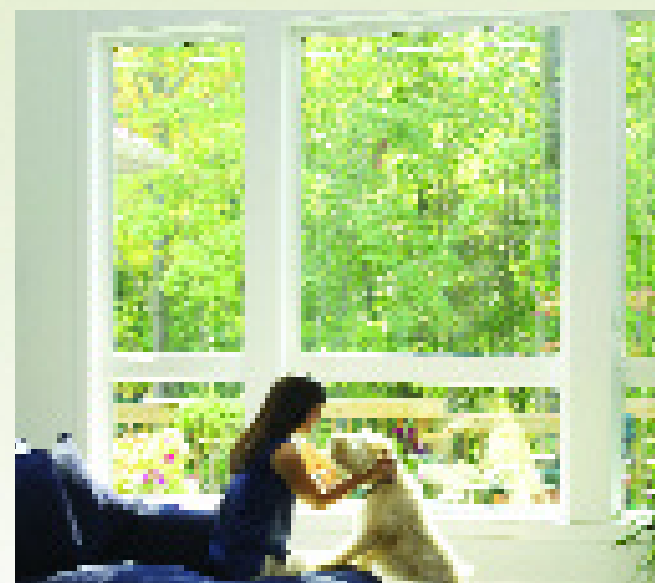
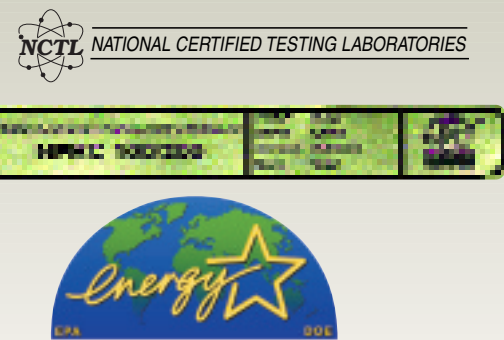


PRODIGY CUSTOM WINDOWS

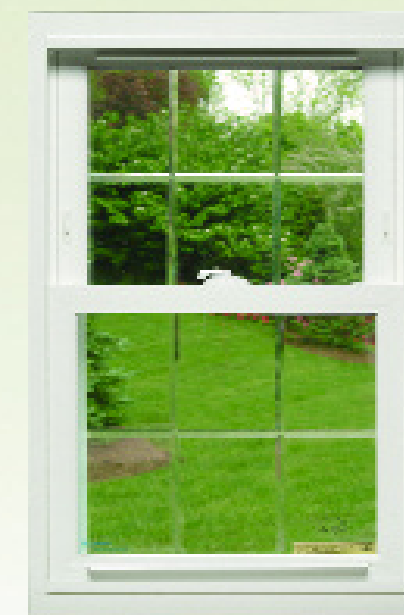
- Full 1/2" sealed insulated units consisting of two panes of 1/8" thick double strength glass.
- Low E coating filters UV rays to protect furnishings from fading.
- Adding safe, colorless argon gas mixture to the air space significantly increases the window units energy efficiency.
- Our warm edge technology spacer system reduces heat transfer and provides "fog free" windows for that *Prodigy* advantage.
- Multi-chambered dual-durometer sash providing superior thermal performance and sound control

CERTIFICATION & TECHNICAL DATA

Prodigy picture window (no grids)
 3.57=R value
 .28=U value
 .34=SHGU
 .48=% visible light transmission



Our Crystal Grid Glass adds style and elegance to any home.



BECAUSE INSTALLATION IS EVERYTHING.

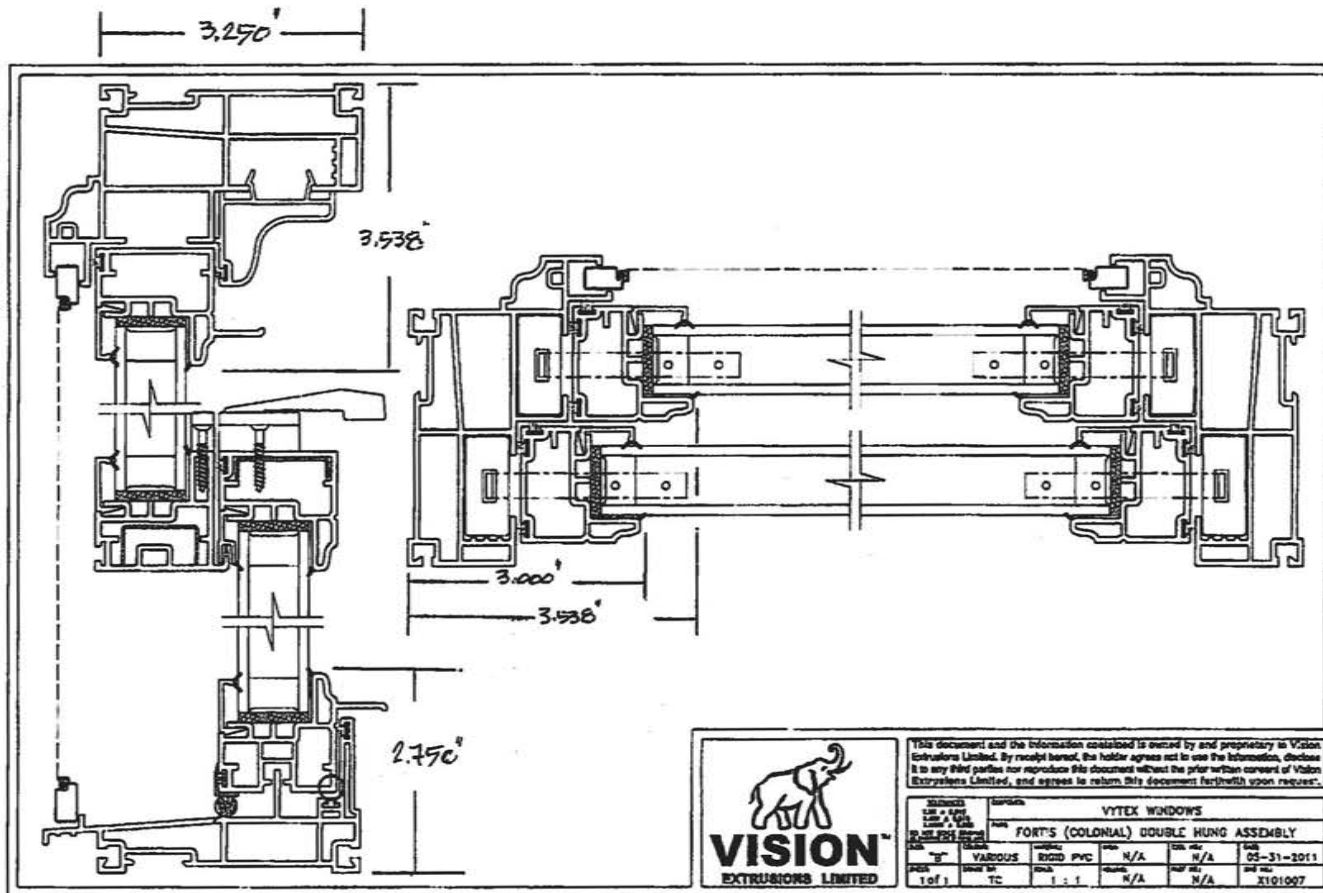
At Unicorp Home Energy Services, our belief is that the world's best window is only as good as the people installing it. We use only factory certified mechanics that properly and efficiently install each new window. Our ten year workmanship warranty means you have peace of mind knowing your investment is backed by a company that stands behind its products and people. With Unicorp Home Energy Services you get a perfect window, expertly installed.

OUR PLEDGE: To make your home improvement project one that will exceed your expectations for workmanship and quality.



Fortis Double Hung

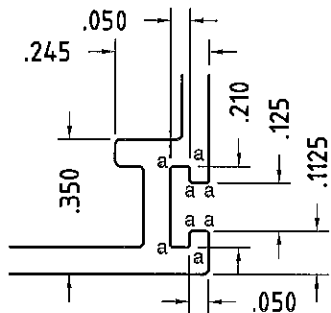
- **Double Hung, 2 and 3 Lite Slider, Direct Set Picture Window**
- **Classic architectural detail on the exterior of the frame**
- **Frame is filled with VyCore™ insulating foam for strength, sound deadening, and energy efficiency**
- **Contoured and weatherstripped head receptor**
- **New Technology Frame Sill**
 - **Frame sill dam is mortised behind vertical jamb walls**
 - **Tremendously strong frame**
 - **R-50/DP-75 rating translates to withstanding a 171 mph wind load**
- **Three points of weatherstripping**
 - **Triple fin on the sill dam leg**
 - **Foam-tite bulb on the interior shoulder sash support**
 - **Foam-tite bulb with fin on the bottom lift rail compresses onto sill spike**
 - **R-60 water test equals 1.77" of rain per hour at 60 mph wind**
 - **Air infiltration at full test size is 0.05 cfm.ft2, allowed is 0.3 cfm**
- **Patent pending inverted constant force balance system**
 - **Reduces operating force by 50% vs. conventional balance systems**
 - **Means fingertip operation**
 - **Weatherstripped balance shoe blocks air flow up the jamb channels**
 - **Weatherstripped balance shoe blocks dirt from fouling balance system**
- **Architectural detail on the sash resembles a real wood window**
- **Sash members other than lock and keeper rails are VyCore™ foam filled**
- **Lock and Keeper rails reinforced with Therma Core™ composite reinforcement**
 - **Greatly reduces sash deflection during high winds**
 - **Test deflection was 0.500" at 171 mph**
- **Zinc die cast tilt latch is secured through Therma Core™ composite for added strength**
- **Glazing Options:**
 - **Standard ESP (7138 Low E/DuraTex™/Argon) U=0.26 SHGC=0.29
N 0.26 G**
 - **ESM Triple Glazed w/Argon (Double Low E) U=0.20 SHGC=0.25 N
0.23 G**
 - **ESU Triple Glazed w/Krypton (Double Low E)U=0.16 SHGC=0.25 N
0.23 G**
 - **New R-5 Dual Glazed w/Argon U=0.22 SHGC=0.28 N
0.25 G**



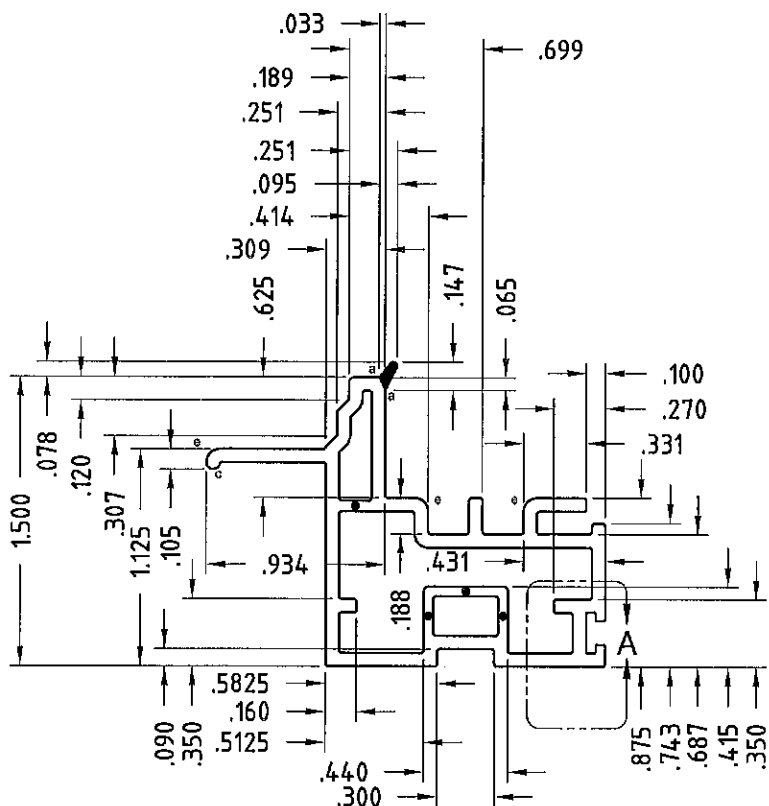
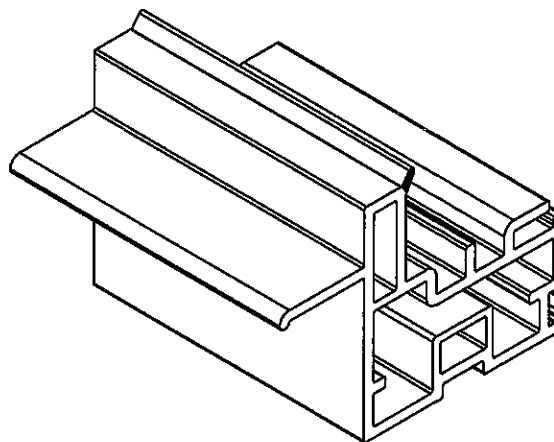
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

REVISIONS		DESCRIPTION			
DATE	BY	YITEX WINDOWS			
10/1/07	TC	FORT'S (COLONIAL) DOUBLE HUNG ASSEMBLY			
10/1/07	TC	VARIOUS	RIGID PVC	N/A	05-31-2011
10/1	TC			N/A	X101007

REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



DETAIL "A" (SCALE 2:1)



RADII:

- a = 0.007"
- b = 0.020"
- c = 0.035"
- d = 0.050"
- e = 0.070"
- f = full
- unmarked = 0.015"

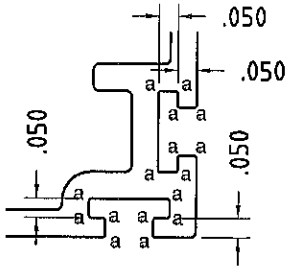
WALL THICKNESS:
 NOMINAL = 0.070"
 ● = 0.055"
 ○ = 0.050"



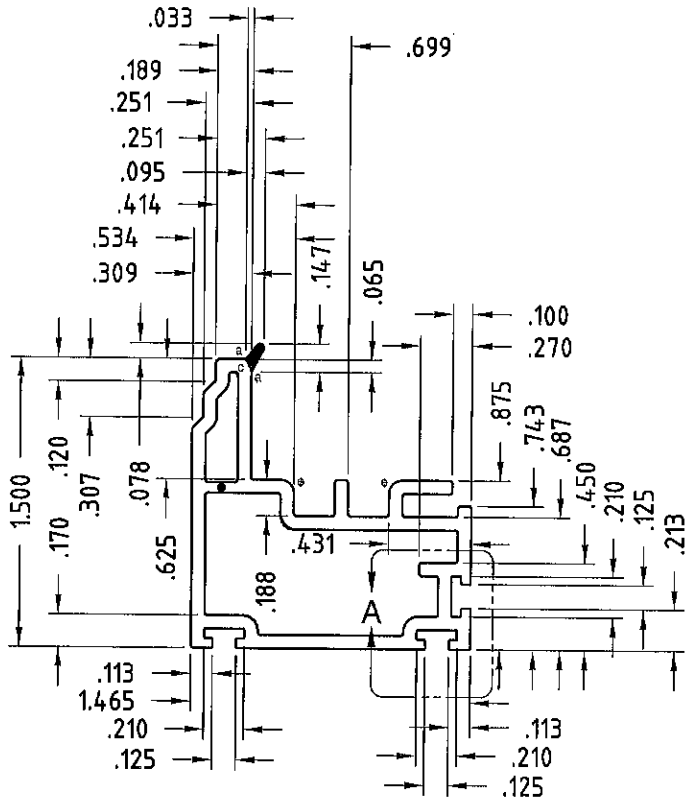
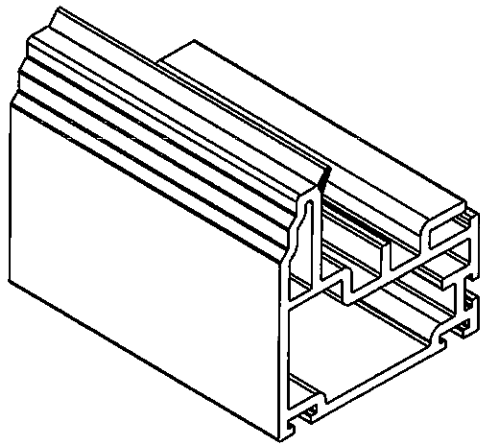
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005 DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.O.S.		CUSTOMER: VISION EXTRUSIONS LIMITED PART: LIFT RAIL WITH BAR POCKET			
SIZE: "A"	COLOUR: WHITE 48	MATERIAL: RIGID PVC	AREA: 0.575 in ²	TOOL NO.: 1163	DATE: 01-03-2008
SHEET: 1 of 1	DRAWN BY: TC 23	SCALE: 1 : 1	WEIGHT: LBS/FT 0.363	PART NO.: 1271	DWG NO.: E101C11

REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	

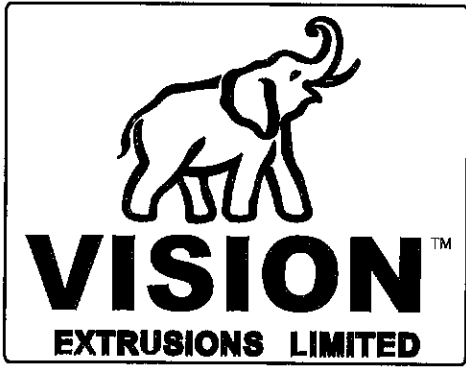


DETAIL "A" (SCALE 2:1)
TYPICAL POCKET RADII



- RADII:**
a = 0.007"
b = 0.020"
c = 0.030"
d = 0.050"
e = 0.070"
f = full
unmarked = 0.015"

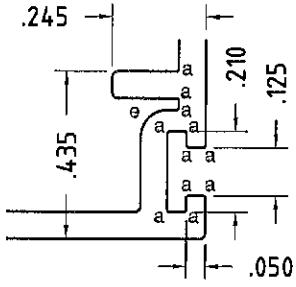
WALL THICKNESS:
NOMINAL = 0.070"
● = 0.055"
○ = 0.050"



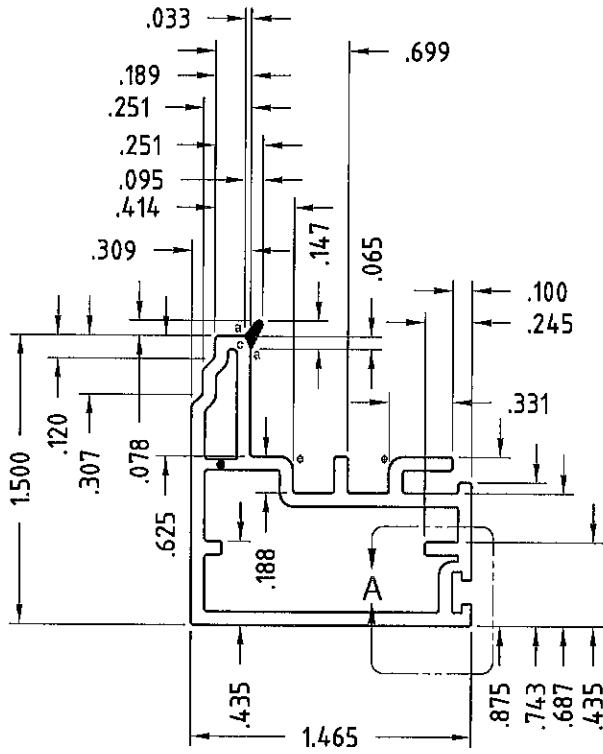
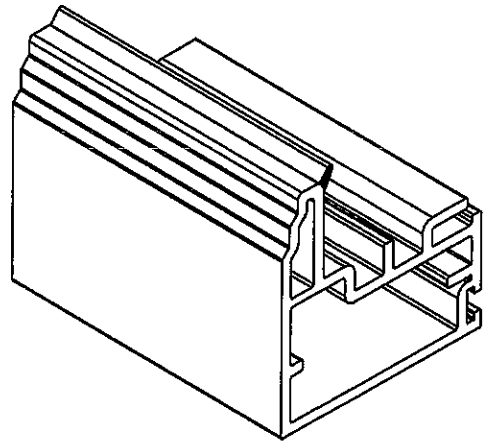
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005		CUSTOMER: VISION EXTRUSIONS LIMITED			
DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.S.A.		PART: WELDED SASH			
SIZE: "A"	COLOUR: WHITE 48	MATERIAL: RIGID PVC	AREA: 0.489 in ²	TOOL NO.: 1162	DATE: 01-03-2008
SHEET: 1 of 1	DRAWN BY: TC 24	SCALE: 1 : 1	WEIGHT: LBS/FT 0.307	PART NO.: 1270	DWG NO.: E101C10

REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



DETAIL "A" (SCALE 2:1)



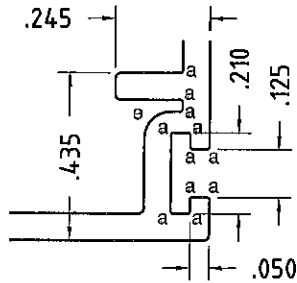
RADII:
a = 0.007"
b = 0.020"
c = 0.030"
d = 0.050"
e = 0.070"
f = full
unmarked = 0.015"

WALL THICKNESS:
NOMINAL = 0.070"
● = 0.055"
○ = 0.050"



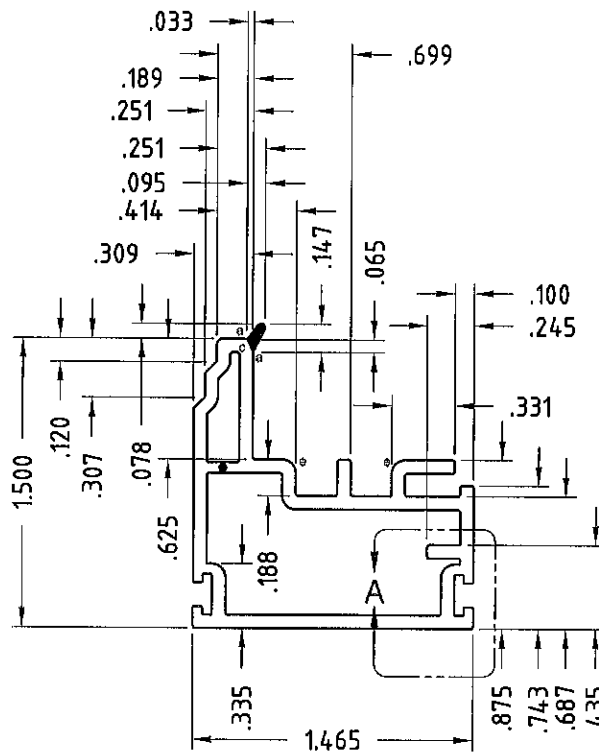
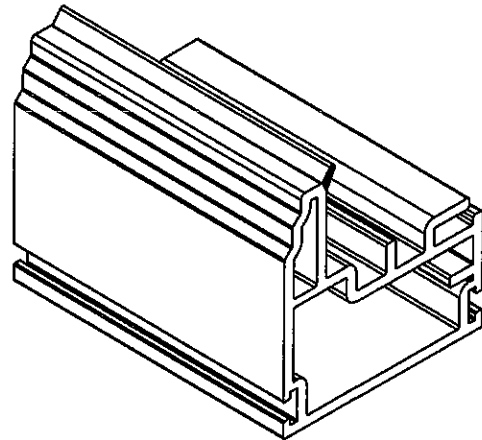
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005		CUSTOMER: VISION EXTRUSIONS LIMITED			
DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.O.S.		PART: WELDED SASH			
SIZE: "A"	COLOUR: WHITE 48	MATERIAL: RIGID PVC	AREA: 0.478 in ²	TOOL NO.: 1164	DATE: 01-03-2008
SHEET: 1 of 1	DRAWN BY: TC 25	SCALE: 1 : 1	WEIGHT: LBS/FT 0.300	PART NO.: 1272	DWG NO.: E101C12



DETAIL "A" (SCALE 2:1)

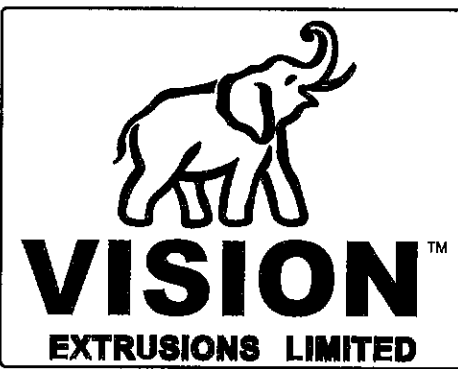
REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



RADII:

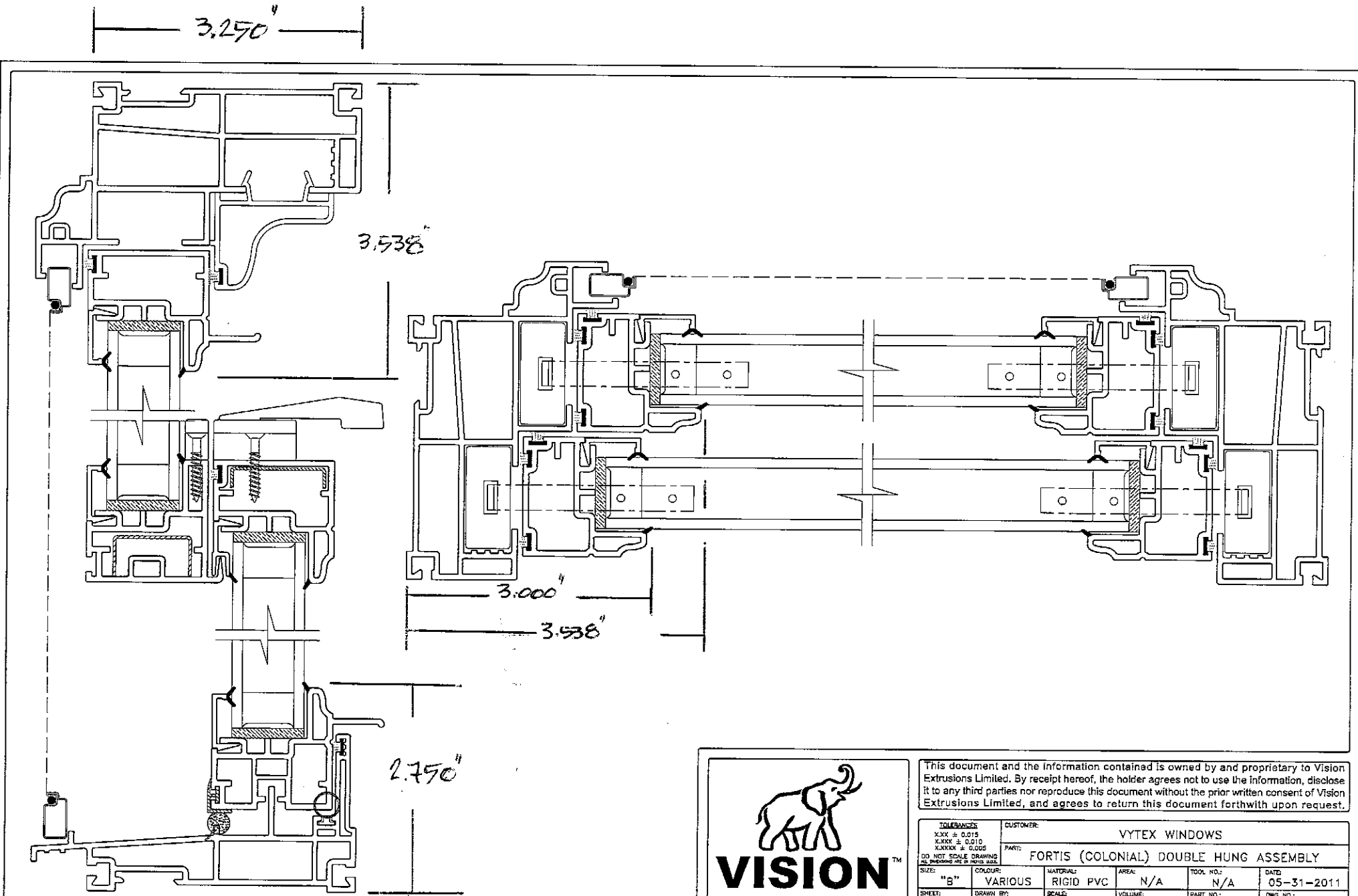
- a = 0.007"
- b = 0.020"
- c = 0.030"
- d = 0.050"
- e = 0.062"
- f = full
- unmarked = 0.015"

WALL THICKNESS:
 NOMINAL = 0.065"
 ● = 0.055"
 ○ = 0.050"



This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

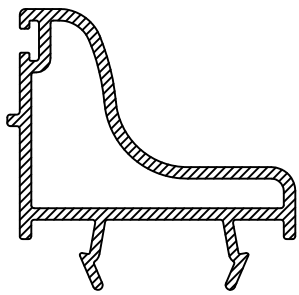
TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005 DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.O.S.		CUSTOMER: VISION EXTRUSIONS LIMITED	
SIZE: "A"		PART: WELDED SLIDER SASH	
COLOUR: WHITE 48	MATERIAL: RIGID PVC	AREA: 0.480 in ²	TOOL NO.: 1166
SHEET: 1 of 1	DRAWN BY: TC 26	SCALE: 1 : 1	DATE: 01-03-2008
WEIGHT: LBS/FT 0.302		PART NO.: 1274	DWG NO.: E101C14



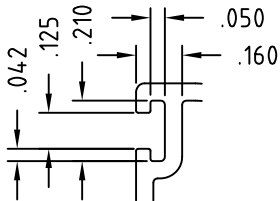
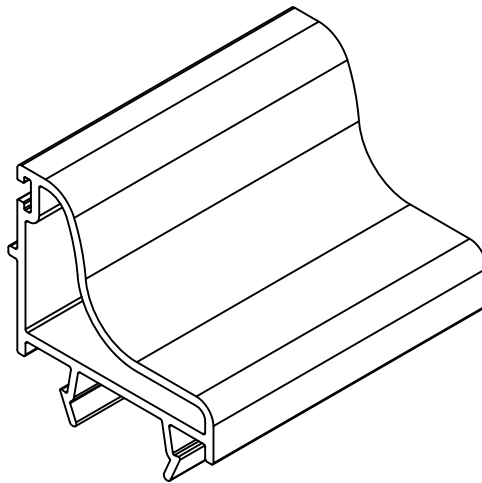
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005 <small>DO NOT SCALE DRAWING AND DIMENSIONS ARE IN UNITS UNLESS NOTED OTHERWISE</small>		CUSTOMER: VYTEX WINDOWS			
SIZE: "B"		PART: FORTIS (COLONIAL) DOUBLE HUNG ASSEMBLY			
SHEET: 1 of 1	DRAWN BY: TC	MATERIAL: RIGID PVC	AREA: N/A	TOOL NO.: N/A	DATE: 05-31-2011
		SCALE: 1 : 1	VOLUME: N/A	PART NO.: N/A	DWG NO.: X101007

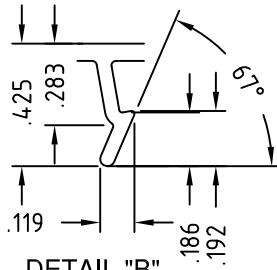
REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



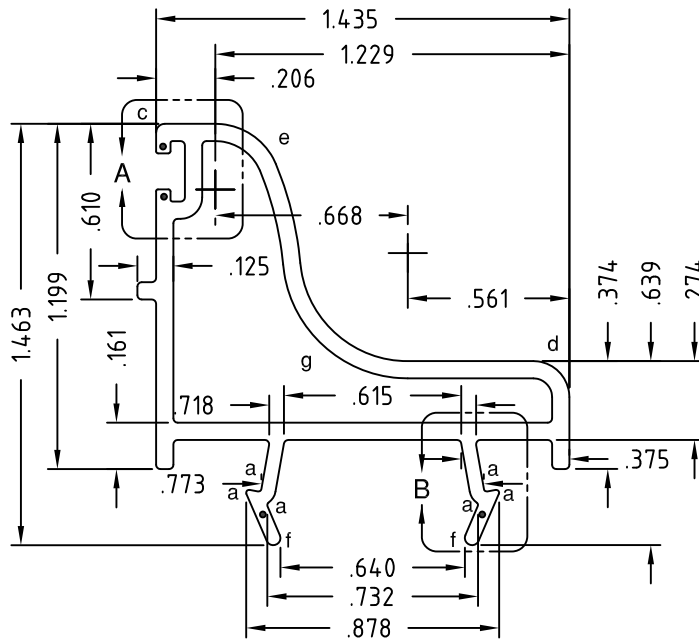
PROFILE VIEW (SCALE 1:1)



DETAIL "A"
(SCALE 3:2)



DETAIL "B"
(SCALE 3:2)



RADII:

- a = 0.010"
- b = 0.020"
- c = 0.030"
- d = 0.0125"
- e = 0.228"
- g = 0.435"
- f = full
- unmarked = 0.015"

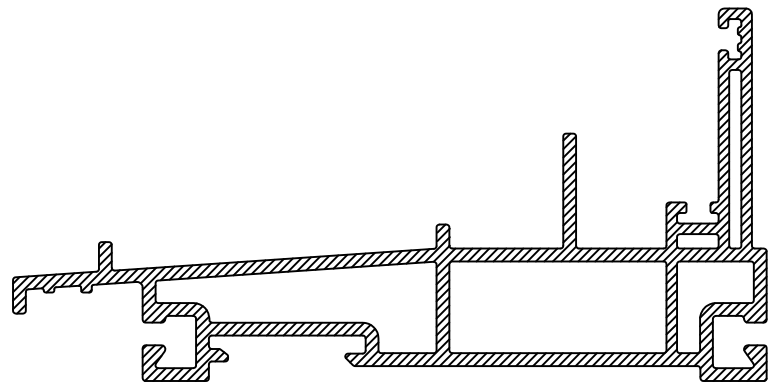
WALL THICKNESS:
NOMINAL = 0.060"
 ● = 0.050"



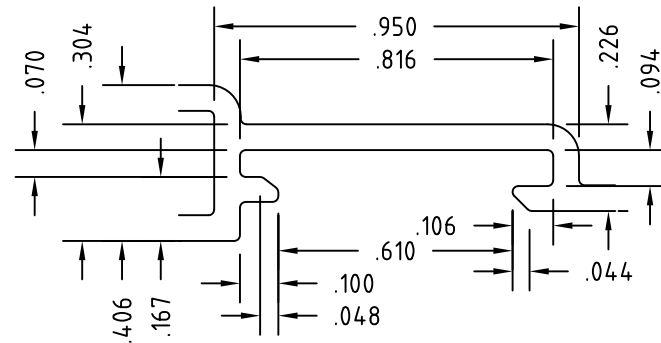
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

<u>TOLERANCES</u> X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005		<u>CUSTOMER:</u> VISION EXTRUSIONS LIMITED			
<u>DO NOT SCALE DRAWING</u> ALL DIMENSIONS ARE IN INCHES U.O.S.		<u>PART:</u> HERITAGE-COLONIAL D. H. POCKET COVER			
<u>SIZE:</u> "A"	<u>COLOUR:</u> VARIOUS	<u>MATERIAL:</u> RIGID PVC	<u>AREA:</u> 0.334 in ²	<u>TOOL NO.:</u> 3121	<u>DATE:</u> 02-17-2011
<u>SHEET:</u> 1 of 1	<u>DRAWN BY:</u> TC/SV ₂₈	<u>SCALE:</u> 3 : 2	<u>VOLUME:</u> 0.000	<u>PART NO.:</u> 1194	<u>DWG NO.:</u> E101C26

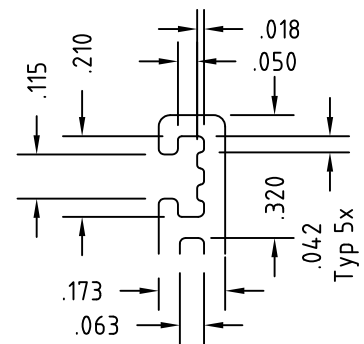
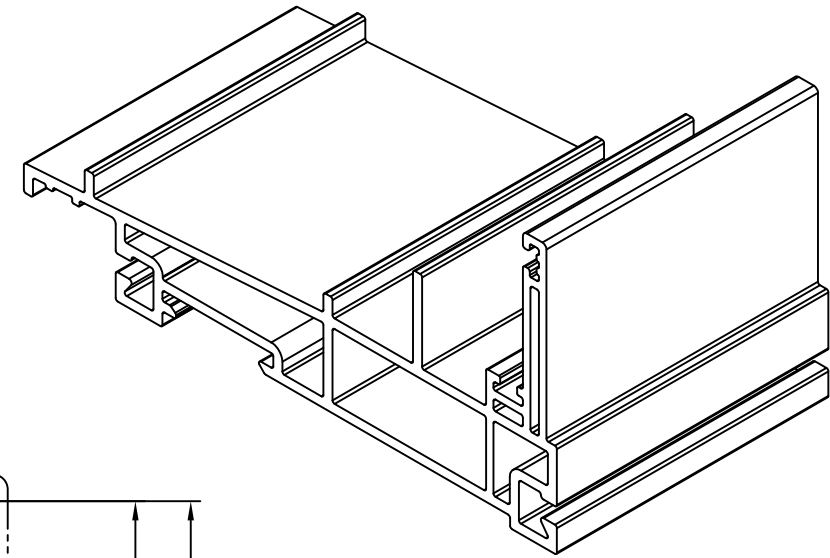
REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



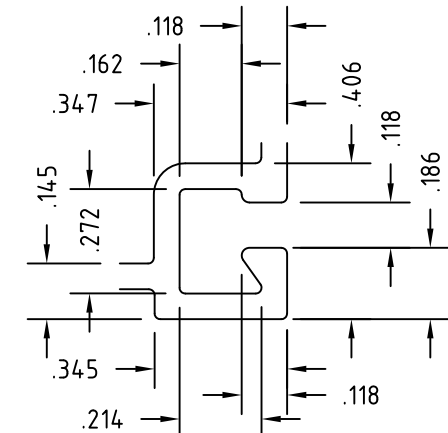
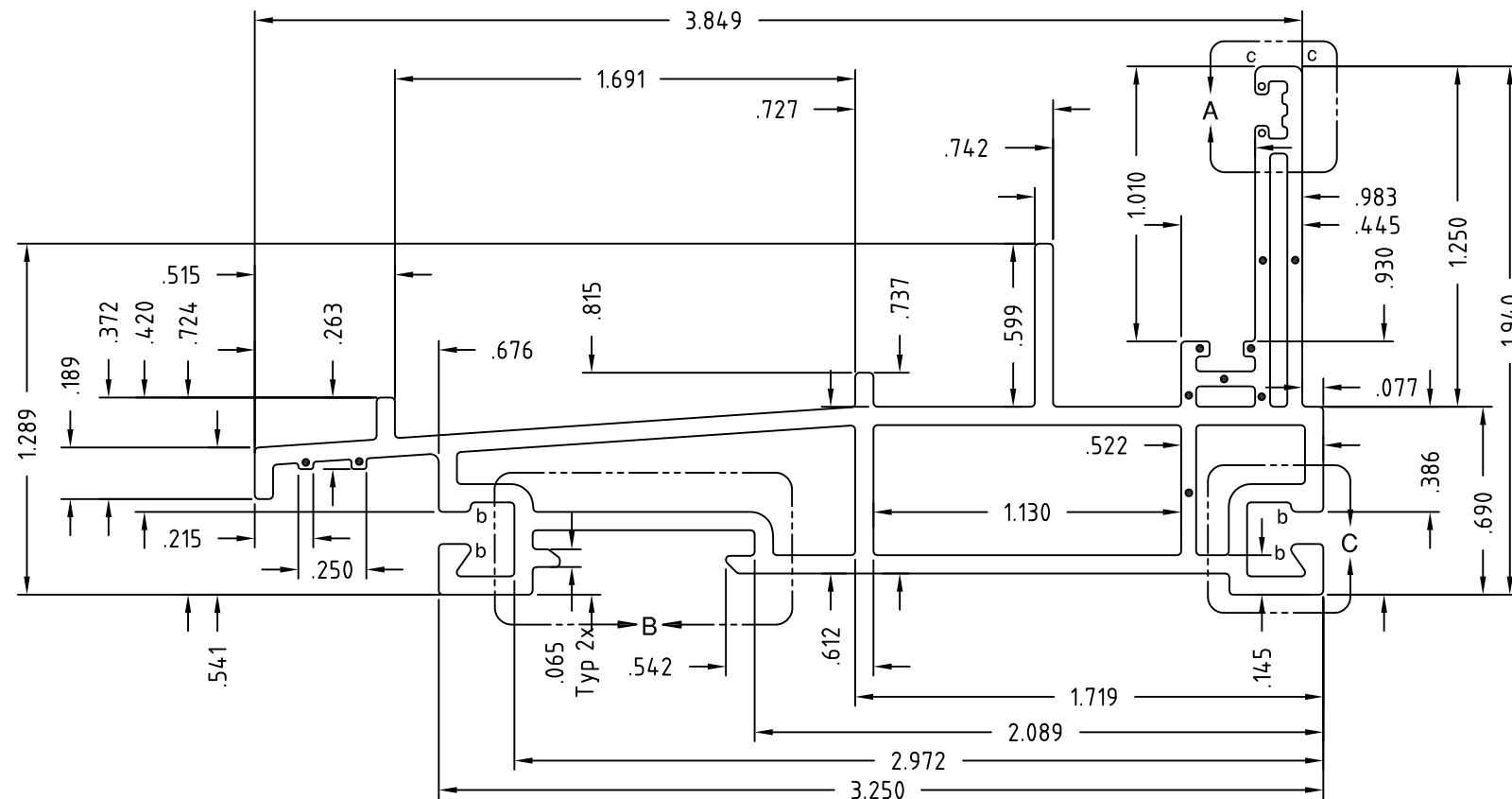
PROFILE VIEW (SCALE 1:1)



DETAIL "B" (SCALE 2:1)



DETAIL "A" (SCALE 2:1)



DETAIL "C" (SCALE 2:1)

RADI:
a = 0.010"
b = 0.020"
c = 0.030"
d = 0.050"
s = sharp
f = full
unmarked = 0.015"

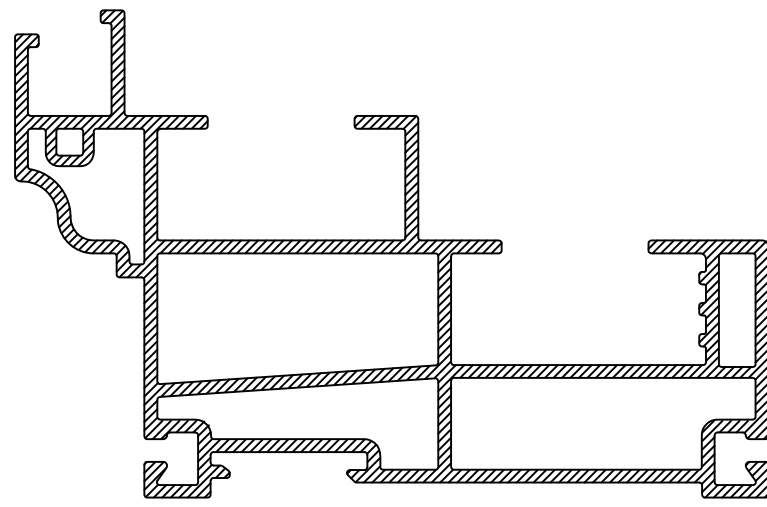
WALL THICKNESS:
NOMINAL = 0.067"
● = 0.055"
○ = 0.050"



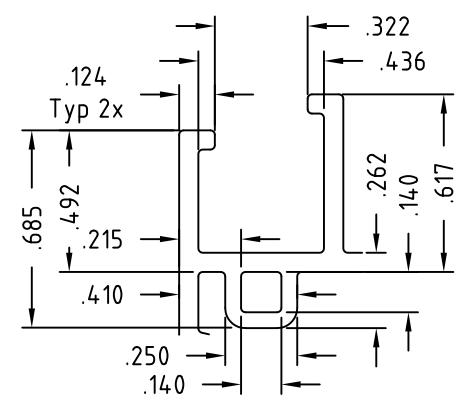
This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005 DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.S.C.		CUSTOMER: VISION EXTRUSIONS LIMITED			
		PART: HERITAGE-COLONIAL D. H. SILL			
SIZE: "A"	COLOUR: VARIOUS	MATERIAL: RIGID PVC	AREA: 0.933 in²	TOOL NO.: 3119	DATE: 02-17-2011
SHEET: 1 of 1	DRAWN BY: TC/SV	SCALE: 3 : 2	VOLUME: 0.000	PART NO.: 1191	DWG NO.: E101C25

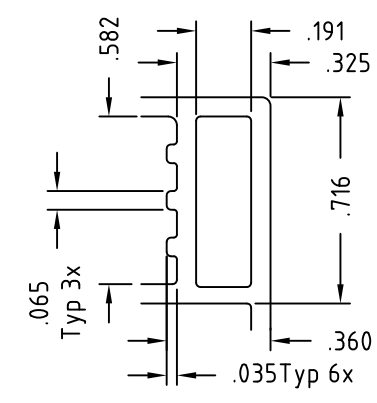
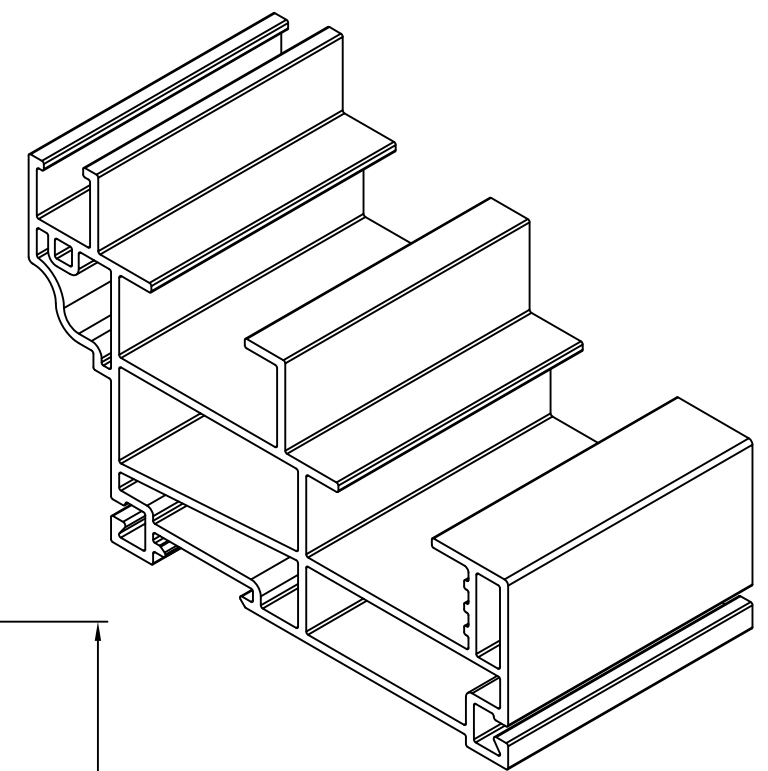
REVISIONS		
REV	DESCRIPTION	APPROVED
A1	PRELIMINARY	



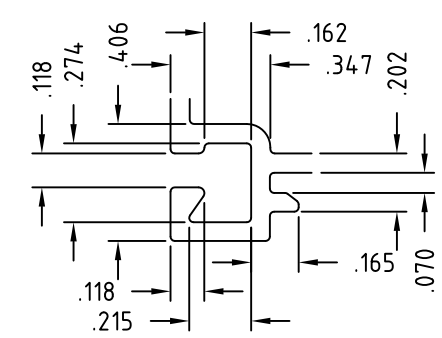
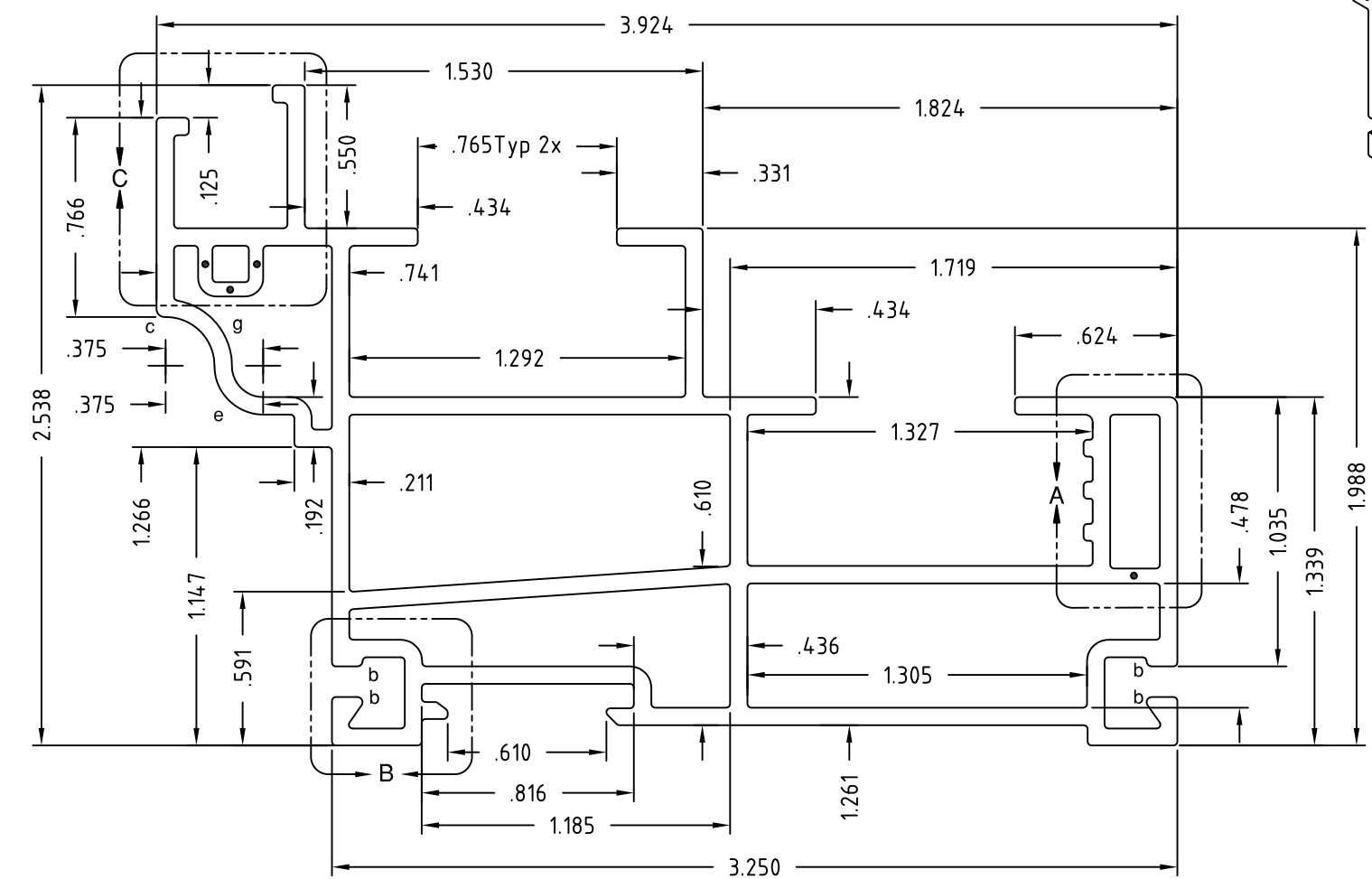
PROFILE VIEW (SCALE 1:1)



DETAIL "C" (SCALE 3:2)



DETAIL "A" (SCALE 3:2)



DETAIL "B" (SCALE 3:2)

- RADII:**
a = 0.010"
b = 0.020"
c = 0.030"
d = 0.050"
e = 0.188"
g = 0.255"
s = sharp
f = full
unmarked = 0.015"
- WALL THICKNESS:**
NOMINAL = 0.067"
● = 0.055"
○ = 0.050"



This document and the information contained is owned by and proprietary to Vision Extrusions Limited. By receipt hereof, the holder agrees not to use the information, disclose it to any third parties nor reproduce this document without the prior written consent of Vision Extrusions Limited, and agrees to return this document forthwith upon request.

TOLERANCES X.XX ± 0.015 X.XXX ± 0.010 X.XXXX ± 0.005 <small>DO NOT SCALE DRAWING ALL DIMENSIONS ARE IN INCHES U.O.S.</small>		CUSTOMER: VISION EXTRUSIONS LIMITED			
SIZE: "A"		COLOUR: VARIOUS		MATERIAL: RIGID PVC	
SHEET: 1 of 1		SCALE: 3 : 2		AREA: 1.303 in ²	
TOOL NO.: 3120		DATE: 02-17-2011		PART: HERITAGE-COLONIAL D. H. JAMB/HEAD	
VOLUME: 0.000		PART NO.: 1190		DWG NO.: E101C24	

**Boards of Architectural Review
Window Policy**

Adopted 10/20/2010 (OHAD) & 10/27/2010 (PG)

A. General

1. Direct replacement of any window requires an administrative finding of appropriateness from the Board of Architectural Review (BAR) staff, under sec. 10-109 and 10-209 of the Alexandria Zoning Ordinance. A building permit from Code Administration is also required per a City Code amendment, effective June 1, 2010.
2. BAR staff may administratively approve the direct replacement of windows in the existing openings which comply with all of the policies stated in section B, below, and with the Alexandria Replacement Window Performance Specifications listed in section C, below. Prior to any approval, qualified BAR staff must first survey and confirm the existing window's age, architectural style and condition in the field.
3. Where staff makes a written finding that a window is not visible from a public right-of-way, the window is not regulated by the BAR and may be replaced with any suitable window allowed by the Uniform Statewide Building Code. However, whether visible or not, a building permit is required from Code Administration to replace a window in the historic districts.
4. Proposed replacement windows not in compliance with the Board's adopted policies, or not architecturally compatible or historically appropriate in the opinion of staff, require review and approval of a Certificate of Appropriateness by the BAR. The BAR will evaluate such cases on the merits of that particular building and the window product proposed.
5. Vinyl or vinyl clad windows, and windows with removable muntins ("grilles") or muntins sandwiched between the glass, are not considered appropriate or compatible by the Boards and may not be approved administratively as replacement windows.
6. The use of storm windows is encouraged to protect historic windows and to conserve energy. According to the BAR's adopted *Design Guidelines*, storm windows are not regulated by the BAR and do not require a building permit but they should be installed so as not to damage historic material and to be visually minimally obtrusive. Energy panels may be used on single glazed replacement window sash.
7. Any appropriate and compatible modern windows may be used on new buildings and additions approved by the Board as part of the overall building's Certificate of Appropriateness approval. Refer to the chapter on Windows in the BAR's *Design Guidelines* for additional information.
8. These policies may be amended by the Boards as new materials become available but will be reviewed by the Board and updated at least every five years.

B. Staff Administrative Approval of Replacement Windows

Staff may administratively approve direct replacement of windows if the proposed windows comply with the Alexandria Replacement Window Performance Specifications and all of the policies stated below:

1. Original Windows

All original or previously replaced windows with either mortise and tenon ("pegged") sash joinery, or with cylinder ("wavy") glass must be repaired and retained. This generally applies to all 18th or 19th century buildings. Where staff confirms in the field that these elements are too deteriorated to repair, they may be replicated to match exactly on a case by case basis. Original window frames from the 18th and 19th centuries must also be preserved and repaired or replicated.

2. Previously Replaced Windows

Windows, or window sash, previously replaced with modern frames and smooth (sheet, plate or float) glass may be replaced with one of the following in the historically appropriate style:

- a. Single glazed painted wood sash must be used on the street facades of 18th and 19th century buildings with multi-light windows. Painted wood simulated divided light insulated glass windows may be used on the secondary elevations of these buildings. Energy panels may be used on single glazed replacement windows.
- b. 1-over-1, or 2-over-2 sash windows with modern float glass may be replaced with double glazed painted wood windows on any façade
- c. Appropriate sash replacement kits must be used in buildings whose sash was previously replaced but which retain the historic frame.

3. Double Glazing

Double glazed (insulated) and simulated divided light painted wood windows may be used throughout on buildings or additions constructed after 1930, when Thermopane insulated glass windows were invented.

4. Aluminum Clad Wood

High quality, appropriately detailed aluminum clad wood replacement windows may be used on buildings constructed after 1969, when these windows became commercially available. Aluminum clad wood windows may also be used on any 20th century commercial building more than four stories in height and on multifamily projects with greater than four units. Aluminum clad wood windows may generally replace steel sash windows on any building when using the same light configuration, color and operation, except where staff believes an architecturally significant building has intact and restorable existing steel sash.

C. Alexandria Replacement Window Performance Specifications

Windows may be provided by any manufacturer but their construction materials and form must comply with the specifications below in order to be approved administratively by BAR staff.

1. The applicant must use full frame replacement windows or sash replacement kits in the existing frame rather than insert or pocket replacements;
2. The dimensions and proportions of the window rails, stiles, muntins, frame, sill and exterior trim must match historically appropriate window proportions;
3. Corners of wood or aluminum clad wood sash must be constructed with mortise and tenon style, butt joinery rather than mitered, picture frame joinery;
4. Multi-light insulated glass windows must have permanently fixed muntins on the interior and exterior, with spacer bars between the glass that are a non-reflective, medium value color;
5. Low-E (low emissivity) glazing is encouraged for energy conservation but the glass must be clear, non-reflective and have a minimum 66% visible light transmission (VLT) through the glass;
6. Muntins must be paintable and have a putty glaze profile on the exterior;
7. The vinyl portion of the wood window jambs should be minimally visible;
8. The frame for insect screens must match the color of the window frame and the screen mesh must be a neutral color with sufficient light transmittance that the window sash remains visible behind; and,
9. The applicant must submit complete window manufacturer specification sheets and a contractor order form to BAR staff for final approval with the building permit application.



DEPARTMENT OF PLANNING AND ZONING
301 King Street, Room 2100

Alexandriava.gov/preservation

P.O. Box 178
Alexandria, VA 22313

Phone (703) 746-4666
Fax (703) 838-6393

February 2013

IMPORTANT INFORMATION ABOUT YOUR HISTORIC PROPERTY

Dear Residents and Property Owners:

You are receiving this letter because our records indicate that you own or reside in a structure that is located in one of Alexandria’s two locally regulated historic districts in Old Town - the **Old and Historic Alexandria District (OHAD)** or the **Parker-Gray (P-G) District** - or is an individually designated **100 Year Old Building** located outside of a historic district. In each of these areas, there are special architectural protections for the exterior of buildings. Since 1946, the community and the City government have worked diligently together to preserve the historic resources that create Alexandria’s unique character. *There have been a number of recent changes which may impact your future projects and may make the review process significantly easier.*

BOARD OF ARCHITECTURAL REVIEW APPROVALS

New construction, demolition and any exterior alterations visible from a public right-of-way (which includes public alleys and parks) must be approved by the Board of Architectural Review (BAR). The Boards approve alterations and new construction by issuing a **Certificate of Appropriateness**. The Boards must also approve any demolition or capsulation greater than 25 square feet, regardless of visibility, by issuing a **Permit to Demolish**. While the Boards do not review paint color, painting of previously unpainted masonry requires a Certificate of Appropriateness.

Over the past several years, the Boards have greatly simplified the process for many common minor alterations and repairs and delegated review of these items to BAR Staff through an **Administrative Approval** process. The *Design Guidelines* and regulations are slightly different in each district but the following architectural features may generally be administratively approved if they comply with the guidelines:

- doors and windows
- siding
- roofing
- exterior vents
- fences and gates
- signage and awnings
- HVAC equipment
- exterior lighting
- shutters
- steps and railings
- sheds
- decks and porches

Please be aware that failure to obtain the required Certificate of Appropriateness, Permit to Demolish, Building Permit or BAR Administrative Approval prior to undertaking a project may subject both you and your contractor to separate monetary fines and other penalties, as specified in the Zoning Ordinance and the Uniform Statewide Building Code. In addition, you will be required to correct the violation.

BAR STAFF IS AVAILABLE TO HELP

Historic Preservation staff within the Department of Planning & Zoning is available to help you navigate the BAR process. We encourage you, your architect or your contractor to contact staff early in the planning process in order to provide sufficient time in your design and construction schedule for the necessary reviews. Please visit the City's website at www.alexandriava.gov/preservation for more detailed information, including the BAR *Design Guidelines*, applications and forms, and Board meeting schedules. Some applications may now be processed by Staff via e-mail without your having to visit City Hall. Where a BAR public hearing is necessary, Staff can explain the applications, supporting materials and public notice requirements. Should you have any additional questions about historically appropriate materials, or would like to schedule a pre-application meeting or site visit, please call the Historic Preservation staff at 703-746-3833.

BUILDING PERMITS

In many cases, a building permit is also required for work described above. For instance, in the historic districts, **building permits are required for replacement of over 100 square feet of roofing or siding and for the installation of any windows.** Owners and residents are cautioned to use only licensed contractors. If you have work performed by unlicensed contractors or without the benefit of permits and City approval, your ability to sell or refinance your home or to file insurance policy claims may be affected.

Information about whether a building permit is required and whether a contractor is licensed to work in the City of Alexandria may be obtained by calling the Department of Code Administration at 703-746-4200 or from the City's website at <http://alexandriava.gov/code>.

SHARE INFORMATION WITH NEIGHBORS

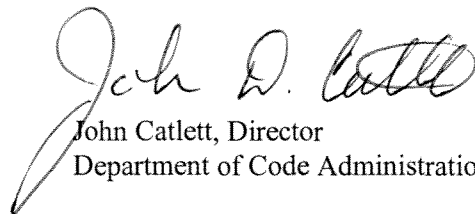
With your help, we can keep Alexandria's historic buildings and districts safe and beautiful for future generations. We hope that you will share this important information with your neighbors and contractors, thereby ensuring that everyone knows to obtain the proper approvals and permits before embarking on a project affecting the exterior.

We also encourage you to sign up for the City of Alexandria's free *eNews* service to receive updates from various agencies about topics of interest to you, including Historic Preservation, Building and Fire Code Administration, or Construction/Permitting. You can subscribe to *eNews* at the City's website <https://enews.alexandriava.gov>.

Sincerely,



Faroll Hamer, Director
Department of Planning and Zoning



John Catlett, Director
Department of Code Administration

ADDRESS OF PROJECT: 1211 MICHIGAN COURT, ALEXANDRIA VA 22314
 TAX MAP AND PARCEL: 044.04-06-77 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: AMY SMITH

Address: 1211 MICHIGAN COURT

City: ALEXANDRIA State: VA Zip: 22314

Phone: 571-278-0900 E-mail: asmith@KEYWORLD.COM

Authorized Agent *(if applicable)*: Attorney Architect CONTRACTOR

Name: BRIAN WEIL

Phone: 301-779-0900

E-mail: bweil@UNICORPMAIL.COM

Legal Property Owner:

Name: AMY SMITH

Address: 1211 MICHIGAN COURT

City: ALEXANDRIA State: VA Zip: 22314

Phone: 571-278-0900 E-mail: asmith@KEYWORLD.COM

- Yes No Is there an historic preservation easement on this property?
 Yes No If yes, has the easement holder agreed to the proposed alterations?
 Yes No Is there a homeowner's association for this property?
 Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: Please check all that apply.
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

1) REMOVAL OF EXISTING STORM WINDOWS 2) INSTALLATION OF FULL FRAME CUSTOM MADE (PRODISY) VINYL WINDOW. 3) WINDOW TO INCLUDE DETAILED SASH PROFILES. 4) WINDOWS TO BE CUSTOM COLOR EXTERIOR TO CONFORM TO H.O.A. REQUIREMENT. 5) WINDOWS TO INCLUDE SDL (SIMULATED DIVIDED-LIGHT COPOLYMER) GRIDS TO MATCH EXISTING PATTERN. - NOTE - GRIDS ARE NOT REMOVABLE OR INTERNAL TYPE. 6) ALL WINDOWS TO INCLUDE HALF OR FULL SCREENS AS REQUIRED.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Amy Claire Smith*

Printed Name: *Amy Claire Smith*

Date: *April 15, 2013*

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Amy Smith	1211 Michigan Court	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1211 Michigan Court, Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Amy Smith	1211 Michigan Court	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Amy Smith	N/A	N/A
2. Brian Weil	N/A	N/A
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4-15-13
Date
Amy Smith
Printed Name
X Amy Marie Smith
Signature