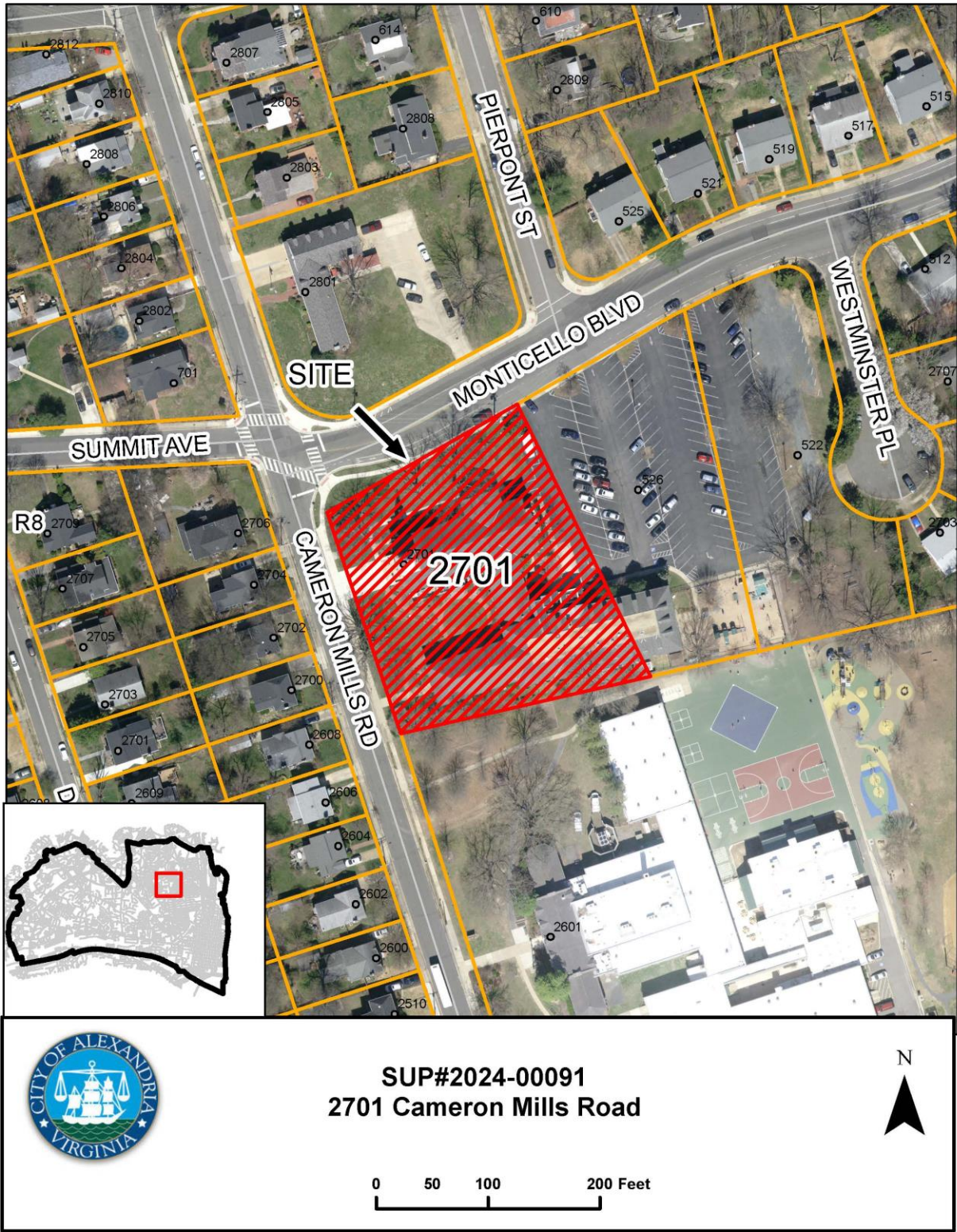




Docket Item #4
Special Use Permit #2024-00091
2701 Cameron Mills Road
Westminster Presbyterian Church

Application	General Data	
Public hearing and consideration of a Special Use Permit for a cemetery and lot modifications.	Planning Commission Hearing:	March 4, 2025
	City Council Hearing:	March 15, 2025
Address: 2701 Cameron Mills Road	Zone:	R-8 Residential
Applicant: Westminster Presbyterian Church of Alexandria, Inc.	Small Area Plan:	Northridge/Rosemont

Staff Recommendation: Approval subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.
Staff Reviewers: Mavis Stanfield, mavis.stanfield@alexandriava.gov Ann Horowitz, ann.horowitz@alexandriava.gov



I. DISCUSSION

The applicant, Westminster Presbyterian Church of Alexandria, Inc., requests Special Use Permit approval to construct a cemetery, consisting of a columbarium. The location of the columbarium within the side yard setback and a front yard fence over four feet in height both require lot modifications, as discussed below.

SITE DESCRIPTION

The subject site is a corner, where the SUP requests are located, rectangular lot of record and has 201 feet of frontage on Cameron Mills Road, 193 feet on Monticello Boulevard, 228 feet of depth, and a total lot area of approximately 49,776 square feet. The 40,000 square-foot church building, part of which extends to the adjacent lots, 526 and 522 Monticello Boulevard to the east, comprises the entire church property. A 124-space parking lot is located east of the church building and an 8,000 square foot fenced playground is located to the south of the parking lot (Figure 1).



Figure 1: Site context

The 2.9-acre church properties are surrounded by single-unit homes to the east and west, single unit homes and the Alexandria Fire Station 203 to the north, and the George Mason Elementary School and Park to the south.

BACKGROUND

Real estate assessment records indicate that the church was constructed in 1945, however the church's records indicate that the southern portion of the church was constructed earlier in 1942. While no plans for this development are found in City records, aerial photography indicates that the original church structure, which includes the proposed location of the columbarium, was present in 1949.

At the time of construction of the original part of the church, which is the subject of this application, the 1939 Zoning Ordinance governed the property and required a seven-foot side yard setback. The building was constructed 12.2 feet from the southern lot line.

During the review of this SUP report, staff identified that the existing setback for the late-addition education wing, partially located at 526 Monticello Boulevard, did not comply with the 25-foot setback requirement. As such, staff had initially planned to include an after-the-fact approval for a side yard lot modification to bring all the church buildings into zoning compliance and included the 526 Monticello Boulevard address in the legal ad docket language. Ultimately, staff found a BZA #488 approval from 1960 for a 10-foot setback, learning the existing setback area had been already approved. Therefore, the Monticello Boulevard address is no longer relevant to the request and reference to it is not included in this staff report.

On September 26, 1962, City Council approved Special Use Permit #510, for a preschool with 40 children, for four hours per day, five days a week. On July 29, 1975, Special Use Permit #1008 was granted by City Council for a half-day, day care center for 55 children. On September 23, 1975, City Council approved Special Use Permit #1019 to increase the hours of operation of the day care center from 9 a.m. to 12 noon to 9 a.m. to 3:30 p.m., also for 55 children.

On April 11, 1985, the BZA approved variance Case #5171 to locate an air conditioner condenser to within three feet of the southern lot line, which is at the southeastern end of the 1960 variance addition.

On April 10, 2023, staff administratively approved SUP #2023-00022 to increase the number of children permitted in the existing day care center from 55 children to 75 children. The number of employees increased from 13 to a maximum of 17 individuals.

PROPOSAL

The applicant is requesting Special Use Permit approval for a cemetery, consisting of an approximately 200-niche columbarium, surrounded by a six-foot high fence constructed with a brick base and an iron rail above, located along part of the southwest corner of the site (Figures 2-4).

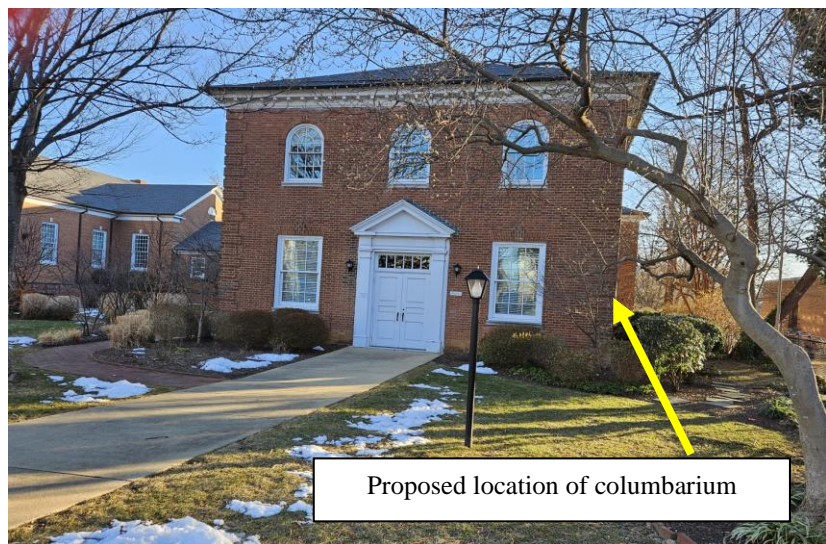


Figure 2: View of chapel entrance

The applicant also requests SUP approval for two lot modifications. The first is to locate the columbarium 13 feet from the side lot line, where a 25-foot setback is required. Second, a six-foot, semi-enclosed fence proposed in the required front yard requires modifications as it exceeds the allowable four-foot maximum height for open fences.

The columbarium would consist of approximately 200 niches located on the south wall of the existing chapel building surrounding existing windows, as shown in Figure, having a depth of roughly 1.3 feet and a height of 6.8 feet. The columbarium would be accessed via a new sidewalk that would connect to the existing sidewalk for the chapel, as can be seen in Figure 4. Three benches would be located along the southern lot line and two benches would surround a fountain at the southwest corner next to the right of the chapel entrance. Brick pavers would extend from the walkway to the edge of chapel/parlor structure and create a space for small gatherings of between five to 15 people who would attend services that would take place between the hours of 10 a.m. and 2 p.m. The fence would extend around the walkway and the area for gatherings.

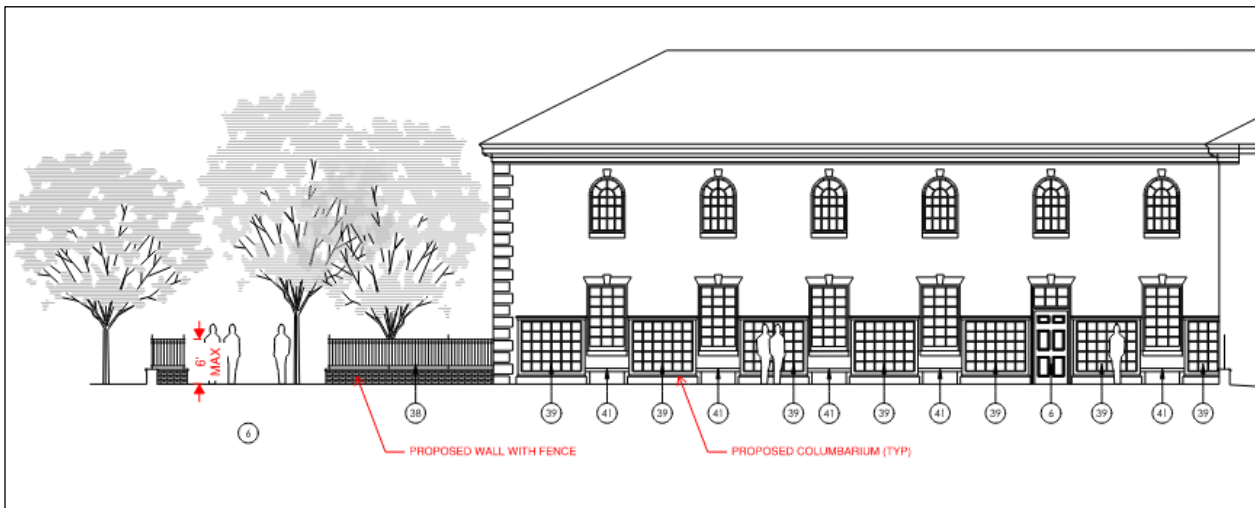


Figure 3: Rendering of south elevation showing proposed columbarium and fence locations

The applicant has indicated that there were a number of considerations in the church's choice to locate the columbarium near the southern side lot line. There is an existing columbarium located in the narthex of the existing chapel and maintaining proximity to this columbarium was important to the church. Additionally, the chapel is used to conduct memorial services, so locating the columbarium with direct access to the chapel was a key consideration. The church discussed the courtyard on the north side of the chapel as an alternative location, but that space is used for many alternative functions, for both the church and neighbors. It was felt that a number of these functions, including the walking of dogs and various gatherings, would not be conducive to the quiet, reflective space sought for the columbarium. Areas of the site to the north and east of the church placed the columbarium distant to the chapel as well as adjacent to large areas of parking or heavier street traffic. It was felt that the south side of the chapel offered a more secluded, private space that could be screened effectively and accommodate the adjacencies to the existing columbarium and chapel.

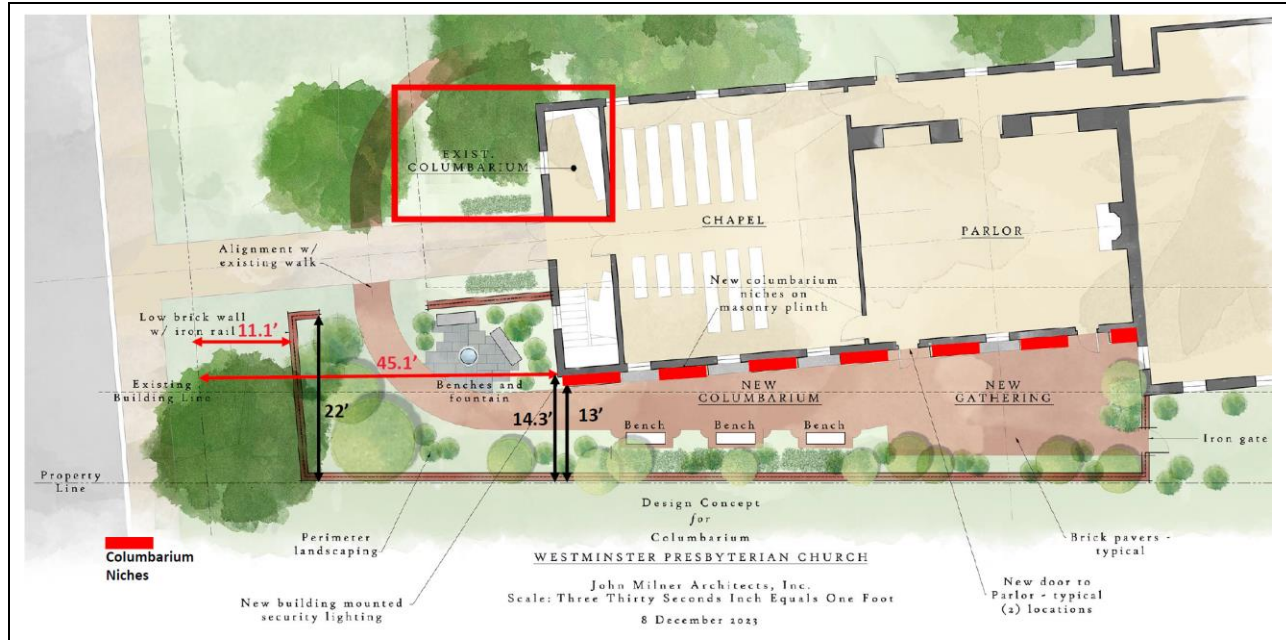


Figure 4: Design concept for the columbarium and fence locations

PARKING

The 124-space parking area was deemed to be in compliance at the time the church sanctuary was constructed. The proposed columbarium will not affect parking, as it is a continuation of the existing church use.

ZONING/MASTER PLAN DESIGNATION

The property is located in the R-8, Residential Zone. Cemeteries, which include columbariums, require special permit approval, pursuant to Section 3-303(A) of the Zoning Ordinance. A closed and up to six-foot side yard fence alongside the columbarium is permitted according to Section 7-202(C)(1).

Section 11-416(C) allows review of lot modifications for minimum lot requirements, such as setbacks and yards, in association with a special use permit request. Table 1 indicates the minimum lot modifications requested:

TABLE 1: Lot modification requests

<i>Modification</i>	<i>Required</i>	<i>SUP Request</i>
Front Yard (fence)	Four-foot fence height and open <i>Section 7-202(A)(1)</i>	Up to six-foot fence height and semi-closed
Side Yard Setback (south side with addition of columbarium)	25-foot minimum <i>Section 3-206(A)(2)</i>	13 feet

The proposed use is consistent with the Northridge/Rosemont Small Area Plan chapter of the Master Plan, which designates the property for Institutional use. Institutional uses include cemeteries.

II. STAFF ANALYSIS

Staff supports the applicant's request for a cemetery, consisting of an approximately 200-niche columbarium, and for lot modifications related to a minor reduction in the side yard setback and a six-foot brick and iron rail fence in the front yard.

Neighborhood impacts are not expected from the columbarium addition as the service hours would be limited to between 10 a.m. and 2 p.m. and with an expectation of no more than 15 congregants at a service. Other times the area would serve as a place of quiet visitation. The columbarium use is a distance away for the school at approximately 130 feet from the closest school building section. Residential uses, also are not nearby. Staff agree that this is a reasonable location for the columbarium at only 1.3 additional feet closer to the side yard lot line than the existing building face.

As noted in the proposal, the semi-closed six-foot side and front yard fence would be composed of brick and iron railings in an attractive design. The fence, along with shrubs and trees, would provide a screen to the areas where mourners would gather. Staff support the lot modification for a 22-foot long front yard fence height of up to six feet and semi-closed, as opposed to a permitted open and four foot fence, to provide privacy for congregants during funeral services. Additionally, this six-foot section of fence would only occupy 10% of the overall church frontage, and as such, would keep open the lovely view of the church property and open space.

Three conditions, somewhat unique to this site, have been also included in the staff report. As the potential for artifacts related to historic or prehistoric settlements may exist, Condition #3 was added to require the applicant's contractors to cease construction activities and immediately contact the City's Alexandria Archaeology department if any historical evidence is unearthed. Condition #4 prohibits metal detectors or artifact collection without authorization from Alexandria Archaeology and Condition #5 requires that the language of Conditions #3 and #4 appear on all site plans that involve that demolition and ground disturbance.

Other standard conditions are included that require the proposal to be consistent with the application (Condition #2) and Condition #6 requires reviews for compliance after one year and every three years thereafter by the Director.

Subject to the conditions stated in Section III of this report, staff recommends approval of the Special Use Permit request.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)
2. The location and specifications of the columbarium development shall be substantially consistent as submitted in the application on January 9, 2025. (P&Z)
3. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. (Archaeology)
4. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. (Archaeology)
5. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements. (Archaeology)
6. The Director of Planning and Zoning shall review the special use permit one year after it has been operational, and then again every three years for compliance with all conditions and may docket the matter for consideration by the planning commission and city council if there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse

zoning impact on the surrounding community; or the director has determined that new or revised conditions are needed to offset land use impacts not addressed in the City Code.
(P&Z)

STAFF: Tony LaColla, Division Chief, Land Use Services,
Department of Planning and Zoning;
Ann Horowitz, Principal Planner
Mavis Stanfield, Urban Planner

Staff Note: In accordance with section 11-506(C) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. This includes any sound from the bell tower. (OEQ/T&ES)
- C-2 Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES)
- C-3 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at commercialrecycling@alexandriava.gov, for information about completing this form. (T&ES)

Code Enforcement:

- C-1 A building permit is required.

Fire:

- C-1 Fire lanes and emergency vehicle access (EVE) shall remain accessible during construction.
- C-2 In the event water supply is shutdown - Prior to water being shutdown to surrounding fire hydrants contact Jack Hoffman with the fire department at Jack.Hoffman@alexandriava.gov.

Health:

No comments received.

Parks and Recreation:

No comments received.

Police Department:

No comments received.

Archaeology:

- F-1 Between the 1860s and 1939, historic maps suggest that this particular area of Alexandria remained undeveloped. During the Civil War a detailed map of the area shows several roads crisscrossing the property, and the John Lloyd estate located several hundred feet to the east. Aerial maps throughout the first half of the twentieth century indicate that the tract of land was forested until 1942 when the church was built. While there is no direct evidence of historic activity taking place on the property prior to construction of the church, the elevated, well drained tract could have attracted settlement before the Civil War. Also, given its location on a terrace overlooking tributaries of Four Mile Run and Timber Branch, the setting is the type of landform that often attracted temporary prehistoric settlement.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of historic or prehistoric artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays.
- R-3 The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 2701 Cameron Mills Road

TAX MAP REFERENCE: 023.04-10-01, 02, 03 **ZONE:** R-8

APPLICANT:

Name: Westminster Presbyterian Church of Alexandria, Inc.

Address: 2701 Cameron Mills Road

PROPOSED USE: Lot modifications for Existing Church with proposed Columbarium Cemetery Fence greater than 4FT in height

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Lavinia Davis-Laux

Print Name of Applicant or Agent

2701 Cameron Mills Road

Mailing/Street Address

Alexandria, VA

City and State

22302

Zip Code



Signature

01/09/2025

Date



Telephone #

n/a

Fax #



Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 2701 Cameron Mills Road, I hereby
(Property Address)
grant the applicant authorization to apply for the Cemetery Columbarium Fence use as
(use)
described in this application.

Name: Lavinia Davis-Laux

Phone: [REDACTED] ext. 110

Please Print

Address: 2701 Cameron Mills Road

Email: [REDACTED]

Signature: [Signature]

Date: 01/09/2025

- 1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☒ **Required floor plan and plot/site plan attached.**

☒ **Requesting a waiver. See attached written request.**

- 2.** The applicant is the (check one):

☒ Owner

☐ Contract Purchaser

☐ Lessee or

☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Westminster Presbyterian Church of Alexandria, Inc.

2701 Cameron Mills Road

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Westminster Presbyterian Church of Alexandria, Inc	2701 Cameron Mills Road	100%
2. Lavinia Davis-Laux	2701 Cameron Mills Road	Director of Finance & Administration
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2701 Cameron Mills Road (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Westminster Presbyterian Church of Alexandria, Inc.	2701 Cameron Mills Road	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click [here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Westminster Presbyterian Church of Alexandria, Inc.	None	None
2. Lavinia Davis-Laux	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01/09/2025

Date

Lavinia Davis-Laux

Printed Name


 Signature

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

The Applicant seeks to expand the existing church use to include a columbarium style cemetery along the southwest corner of the site with approximately 200 columbarium niches. The cemetery area will be screened by an ornamental metal and brick wall and activities consistent with a cemetery use will occur in this area. The existing building currently violates the side setback along the southern property line, which is shared with 2601 Cameron Mills Road and therefore a setback modification is requested to reduce the side setback requirement along this property line to adhere with existing conditions.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

- ☐ a new use requiring a special use permit,
☒ an expansion or change to an existing use without a special use permit,
☐ an expansion or change to an existing use with a special use permit,
☐ other. Please describe: _____

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

Typical number for a columbarium style cemetery with approximately 200 niches.

B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

Typical management for church grounds including church clergy personnel

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

7

Hours:

24

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Typical for conventional mechanical equipment and visitors to a cemetery

B. How will the noise be controlled?

City noise ordinance and building management

8. Describe any potential odors emanating from the proposed use and plans to control them:

None

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Typical cemetery and church trash

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

Typical for cemetery and church use

C. How often will trash be collected?

D. How will you prevent littering on the property, streets and nearby properties?

Building management

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☒ Yes. ☐ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Building maintenance and cleaning supplies typical for a church or cemetery use.

- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?
Building lighting and building management staff. Traditional door locks for the church.
-
-
-

ALCOHOL SALES

13.

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

118 _____ Standard spaces
_____ Compact spaces
6 _____ Handicapped accessible spaces.
_____ Other.

<p>Planning and Zoning Staff Only</p> <p>Required number of spaces for use per Zoning Ordinance Section 8-200A _____</p> <p>Does the application meet the requirement?</p> <p>[] Yes [] No</p>
--

- B. Where is required parking located? (*check one*)
- ☒ on-site
- ☐ off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? 0

<p>Planning and Zoning Staff Only</p> <p>Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____</p> <p>Does the application meet the requirement?</p> <p>[] Yes [] No</p>

- B. Where are off-street loading facilities located? N/A
- C. During what hours of the day do you expect loading/unloading operations to occur?
N/A
- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
N/A

- 16.** Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Access is adequate and no new public improvements are required

SITE CHARACTERISTICS

- 17.** Will the proposed uses be located in an existing building? ☒ Yes ☐ No Along the exterior wall of the existing building
- Do you propose to construct an addition to the building? ☐ Yes ☒ No
- How large will the addition be? _____ square feet.
- 18.** What will the total area occupied by the proposed use be?
- _____ sq. ft. (existing) + _____ sq. ft. (addition if any) = _____ sq. ft. (total) No floor area is proposed with the SUP cemetery use
- 19.** The proposed use is located in: *(check one)*
- ☐ a stand alone building
- ☐ a house located in a residential zone
- ☐ a warehouse
- ☐ a shopping center. Please provide name of the center: _____
- ☐ an office building. Please provide name of the building: _____
- ☒ other. Please describe: Along the southern wall of the existing church on the exterior of the building.

End of Application



Department of Planning & Zoning

Special Use Permit Application Checklist

Supplemental application for the following uses:

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Signs
- ☐ Substandard Lot
- ☐ Lot modifications requested with SUP use

Interior Floor Plan

- ☐ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- ☒ Plan for outdoor uses

Contextual site image

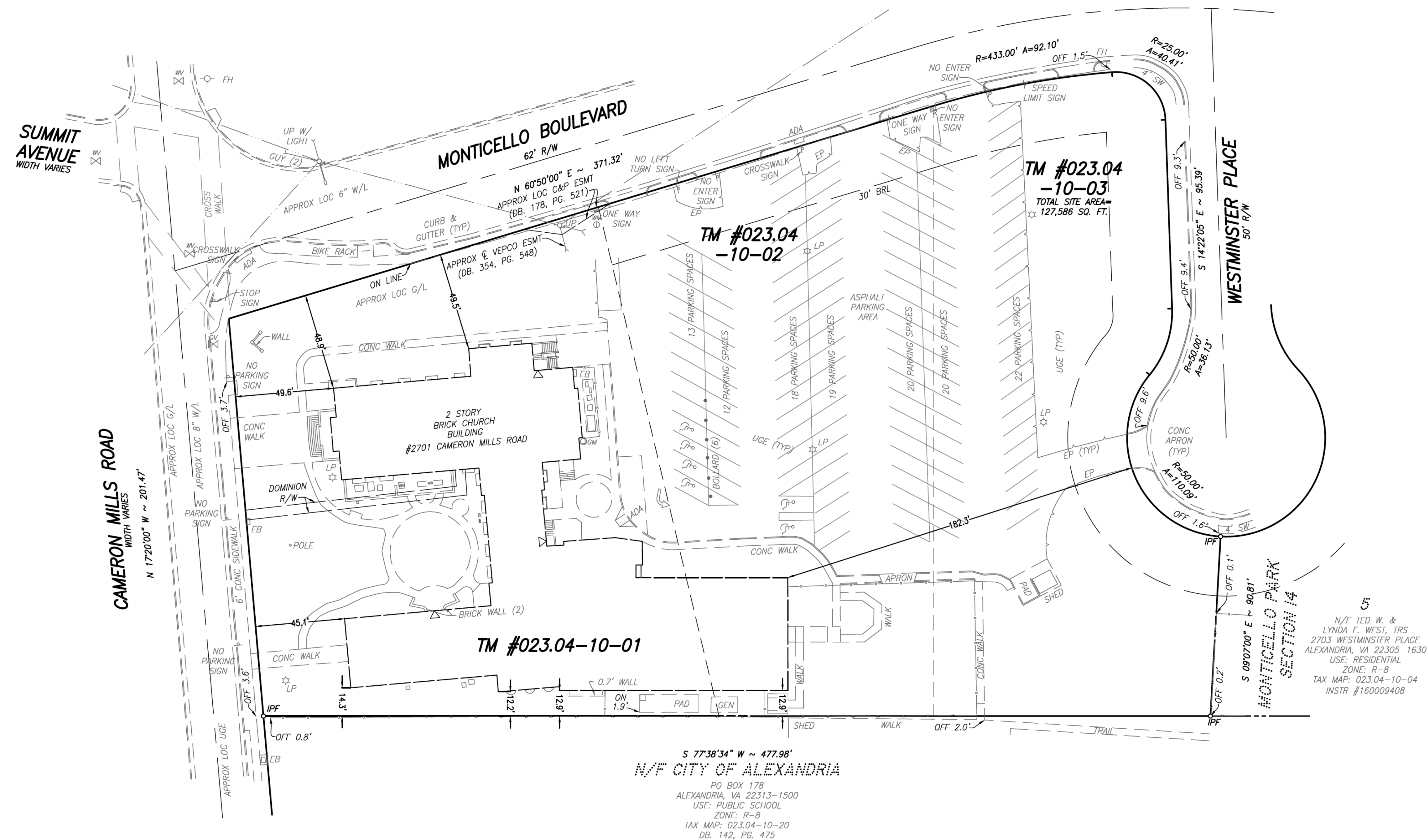
- ☒ Show subject site, on-site parking area, surrounding buildings, cross streets

SETBACK TABULATION

BUILDING SIDE	APPROX. BLD HEIGHT	ZONING SETBACK	SETBACK REQUIRED	SETBACK PROVIDED
FRONT (CAMERON MILLS RD)	—	MIN. 30.0'	30.0'	45.1'
FRONT (MONTICELLO BLVD)	—	MIN. 30.0'	30.0'	48.9'
FRONT (WESTMINSTER PL)	—	MIN. 30.0'	30.0'	182.3'
SIDE (SOUTH)	30.0'	1:1, MIN. 25.0'	30.0'	12.2' ^a

PROPERTY ZONED R-8
*SETBACK MODIFICATION REQUIRED

3CF
RECORD NORTH
(INSTRUMENT
#060026396)



SPECIAL USE PERMIT
WESTMINSTER PRESBYTERIAN CHURCH
2701 CAMERON MILLS ROAD
CITY OF ALEXANDRIA, VIRGINIA

[illegible]

DESIGN: TJD
CHECKED: TJD
SCALE: 1"=20'
DATE: DEC 2024

EXISTING CONDITIONS	
------------------------	--

SHEET 1 OF
FILE: 24-13

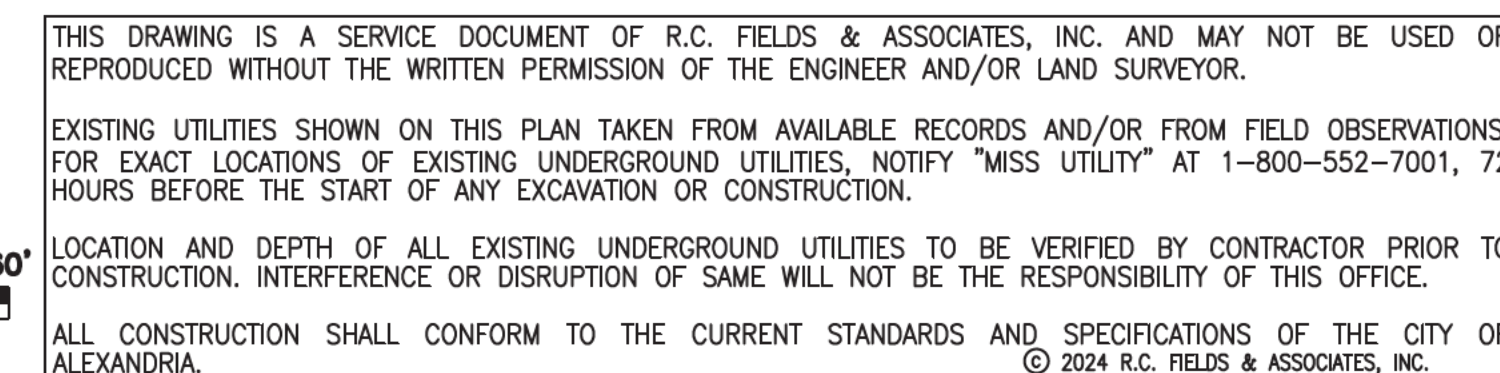
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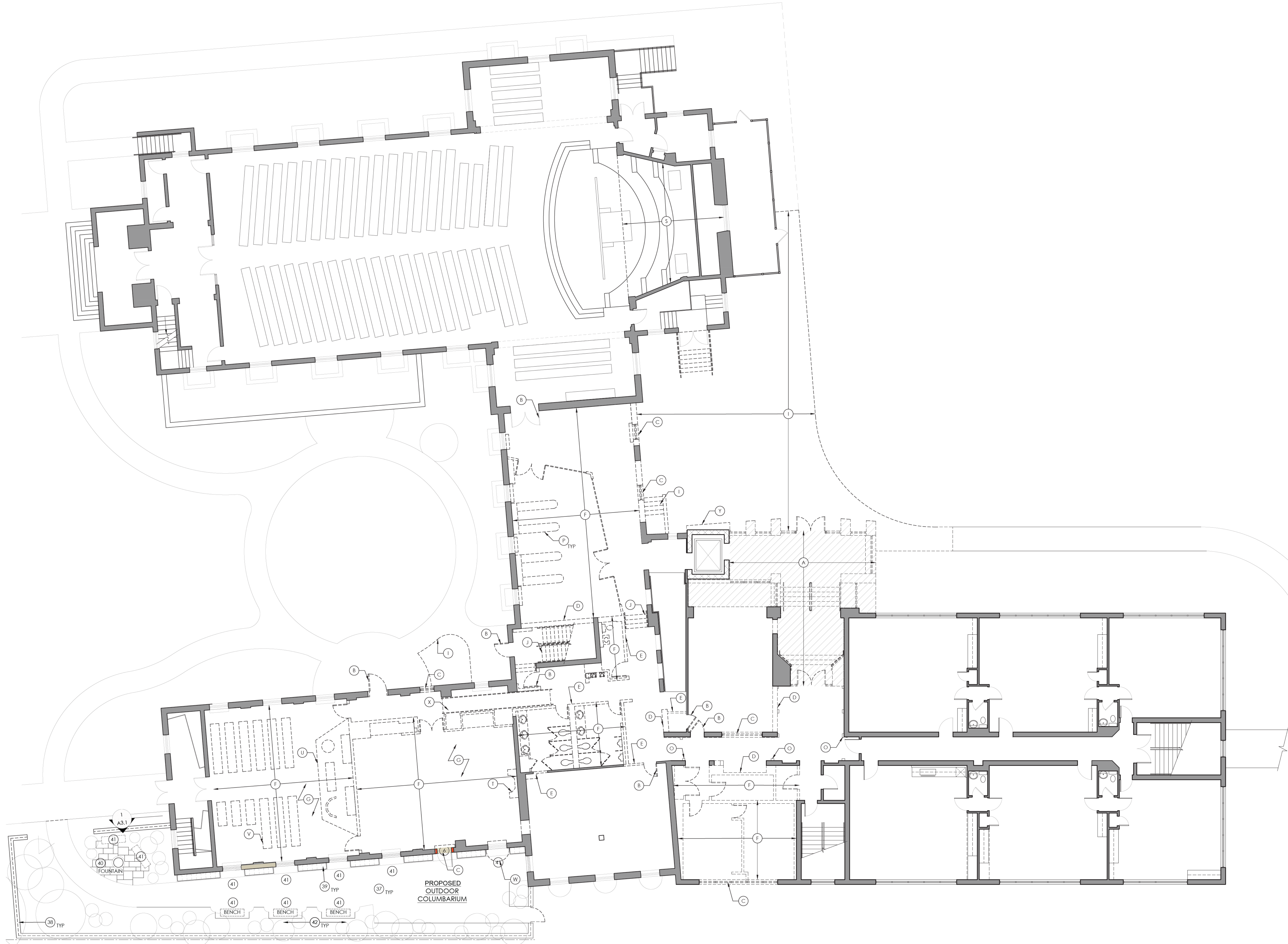
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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GENERAL NOTES

1. ALL DIMENSIONS ARE TO OUTSIDE FACE OF CMU, MASONRY, WOOD STUDS OR TO FINISH FACE OF EXISTING WALLS.
2. ALL GYPSUM BOARD IS 5/8" TYP., U.N.O.

GENERAL DEMOLITION NOTES

1. COORDINATE SHUT-OFF and CAPPING of ALL UTILITIES AS REQUIRED by SCOPE of DEMOLITION.
2. REFER TO MECHANICAL, ELECTRICAL and PLUMBING DRAWINGS for ADDITIONAL MEP DEMOLITION SCOPE. INFORMATION SHOWN on THE ARCHITECTURAL DRAWINGS RELATIVE TO MEP SCOPE is for GENERAL REFERENCE ONLY.
3. CONTRACTOR is RESPONSIBLE for ALL NECESSARY SHORING, TEMPORARY SUPPORT and PROTECTIONS REQUIRED for THE IDENTIFIED SCOPE of DEMOLITION WORK.
4. REMOVAL of EXISTING FINISHES SHALL BE AS REQUIRED by THE SCOPE of WORK OUTLINED on THE NEW WORK DRAWINGS.
5. ADDITIONAL CUTTING and PATCHING of FINISHES WILL BE REQUIRED BASED on THE SCOPE of STRUCTURAL and MEP WORK. CONTRACTOR SHALL COORDINATE CUTTING and PATCHING BASED on STRUCTURAL and MEP REQUIREMENTS. PATCHING of FINISHES SHALL MATCH ADJACENT, EXISTING to REMAIN MATERIALS UNLESS OTHERWISE NOTED.

DEMOLITION KEYNOTES

- A. REMOVE EXISTING CONSTRUCTION IN ITS ENTIRETY, INCLUDING ALL DOORS, WINDOWS, FLOOR and ROOF FRAMING and ASSOCIATED FOUNDATIONS. COORDINATE SHUT-OFF and CAPPING of ALL UTILITIES. OWNER to IDENTIFY ANY ITEMS FOR SALVAGE PRIOR to START of DEMOLITION.
- B. REMOVE EXISTING DOOR(S), FRAMES, HARDWARE and ASSOCIATED CASING in THEIR ENTIRETY.
- C. REMOVE EXISTING WINDOW FRAME and ASSOCIATED CASINGS, TRIM and SILL.
- D. REMOVE PORTION of EXISTING CMU WALLS AS INDICATED. COORDINATE with REQUIREMENTS of NEW WORK SHOWN on ARCHITECTURAL and STRUCTURAL DRAWINGS.
- E. REMOVE EXISTING FRAME WALLS as INDICATED. COORDINATE with REQUIREMENTS of NEW WORK.
- F. REMOVE EXISTING BUILDING CONSTRUCTION INCLUDING INTERIOR WALLS, CEILINGS, DOORS, WINDOWS, FLOORING, FIXTURES, EQUIPMENT, and FINISHES THROUGHOUT AS INDICATED, UNLESS NOTED OTHERWISE. COORDINATE with REQUIREMENTS of NEW WORK SHOWN on ARCHITECTURAL DRAWINGS.
- G. EXISTING CEILING TO REMAIN.
- H. REMOVE PORTION of EXISTING FOUNDATION WALLS, FOOTINGS and FLOOR SLAB as REQUIRED BY NEW WORK.
- I. REMOVE EXISTING STEPS, CONCRETE SLAB, WALKWAYS, ETC. FINAL SCOPE of REMOVAL to be COORDINATED w CIVIL CONSULTANT.
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- N. SAW-CUT SLAB FOR COLUMN FOUNDATIONS TO CARRY NEW LINTELS, TYP.
- O. REMOVE EXISTING DOOR JAMB, TYP.
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- Q. REMOVE PORTION of EXISTING SIDEWALK and PAVING, COORDINATE w/ CIVIL DRAWINGS.
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- S. INCIDENTAL WALL and CEILING DEMOLITION THIS AREA to be FINALIZED DURING NEXT PHASE w/ ORGAN and ACOUSTIC CONSULTANTS.
- T. REMOVE EXISTING FIREPLACE.
- U. REMOVE EXISTING CHANCEL PLATFORM and FURNITURE. CONFIRM SALVAGE ITEMS with OWNER PRIOR to START of WORK.
- V. REMOVE EXISTING PEWS and CHANCEL FURNITURE. CONFIRM SALVAGE ITEMS with OWNER PRIOR to START of WORK.
- W. REMOVE EXISTING WINDOW WELL.
- X. REMOVE EXISTING RAMP.
- Y. REMOVE EXISTING EXTERIOR CLADDING.

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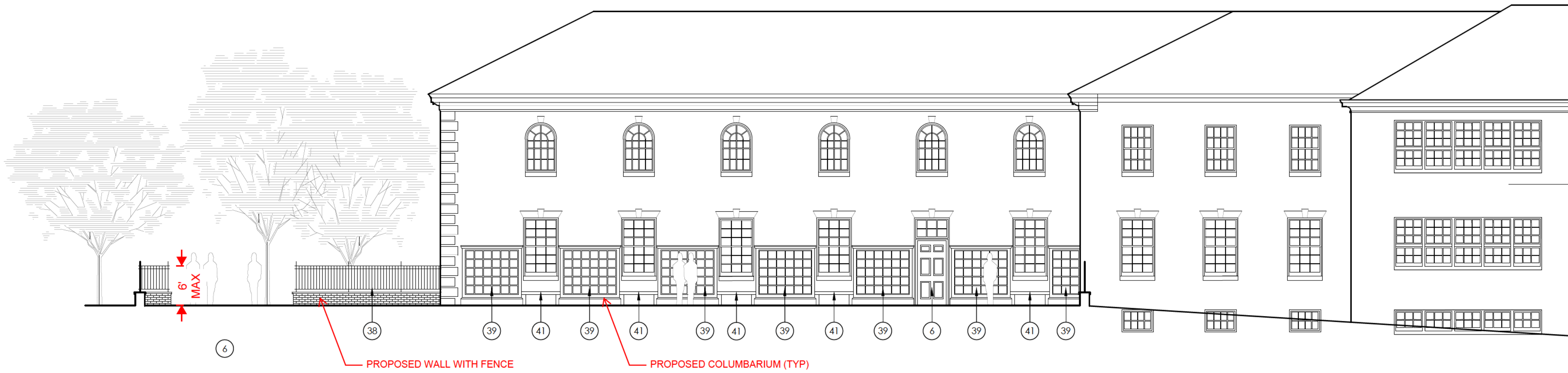
Revisions:	No.:	Date:	Status:
2024-11-18	As Noted	LJM/JDK	JDK
Date:	Scale:	Drawn:	Checked:
			Status: SCHEMATIC DESIGN

Renovation and Addition to
Westminster Presbyterian Church
2701 Cameron Mills Road, Alexandria, Virginia, 22302

JOHN MILNER ARCHITECTS, INC.
104 Lakeview Drive, Chadds Ford, Pennsylvania 19317
610-388-0111

SECOND FLOOR
DEMOLITION PLAN

D1.1



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF CMU, MASONRY, WOOD STUDS OR TO FINISH FACE OF EXISTING WALLS.
- ALL GYPSUM BOARD IS 5/8" TYP., U.N.O.

GENERAL NEW WORK NOTES

- REFER TO STRUCTURAL and MEP DRAWINGS for ADDITIONAL SCOPE.
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NEW WORK KEY NOTES

- NEW FINISHES (FLOORING, PAINT, CEILINGS) and LIGHTING THROUGHOUT. TYPICAL of SPACE INDICATED.
- NEW FOLDING ACOUSTICAL PARTITION.
- NEW WINDOW w/ INFILL CMU BELOW. PROVIDE NEW CONC. FLOOR SLAB at LOCATIONS of EXISTING SLAB REMOVAL. PROVIDE 1 HR FIRE-RATED WINDOWS in EDUCATION WING (NON-SPRINKLERED).
- NEW CASEWORK.
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- COPPER GUTTERS and DOWNSPOUTS.

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Revisions:
No.: 1 Date:

2024-11-18

As Noted

LJM/JDK

JDK

Checked:

Status: SCHEMATIC DESIGN

Date:

Scale:

Drawn:

Checked:

Status: SCHEMATIC DESIGN

Renovation and Addition to

Westminster Presbyterian Church
2701 Cameron Mills Road, Alexandria, Virginia, 22302

JOHN MILNER ARCHITECTS, INC.
104 Lakeview Drive, Chadds Ford, Pennsylvania 19317
610-388-0111

ELEVATION

A2.1

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No.: _____ Date: _____

Status: SCHEMATIC DESIGN

ELEVATOR SECTION

GENERAL NOTES

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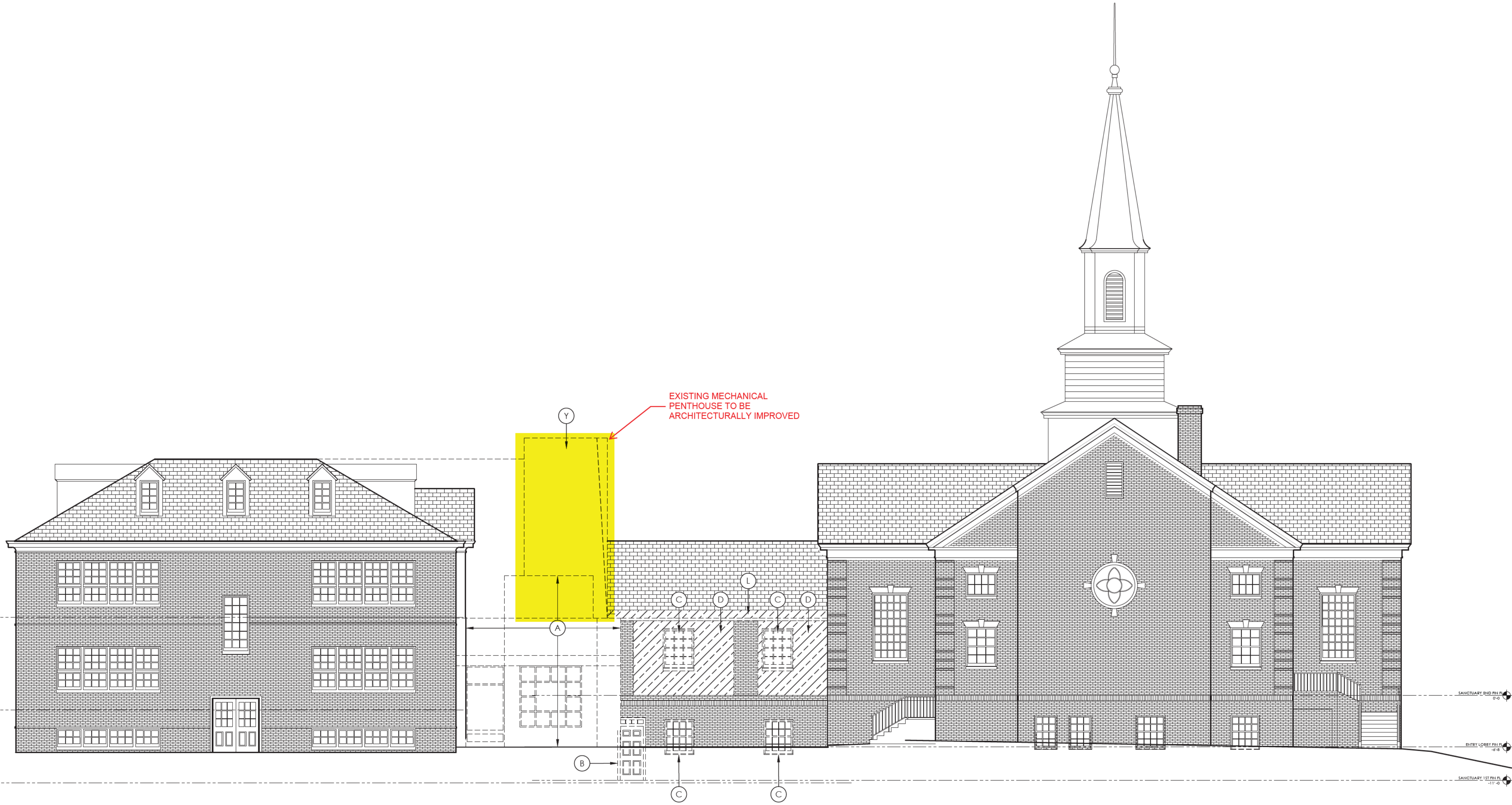
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1 ELEVATOR SECTION
SCALE: 1/4" = 1'-0"



1 EAST DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"

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Renovation and Addition to
Westminster Presbyterian Church
2701 Cameron Mills Road, Alexandria, Virginia, 22302

JOHN MILNER ARCHITECTS, INC.
104 Lakeview Drive, Chadds Ford, Pennsylvania 19317
610-388-0111

EAST DEMOLITION ELEVATION

D2.0



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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610-388-0111

EAST ELEVATION

A2.0

From: Joshua Kiehl <jkiehl@johnmilnerarch.com>
Sent: Friday, February 7, 2025 4:12 PM
To: Mavis E Stanfield <mavis.stanfield@alexandriava.gov>; Taylor Doyle <tdoyle@rcfassoc.com>
Cc: Ann Horowitz <ann.horowitz@alexandriava.gov>
Subject: RE: [EXTERNAL] RE: SUP 2024-00091, 2701 Cameron Mills Road

Mavis,

The original church had its first service in 1942. This consisted at least in part of the existing chapel (green area below). There was an annex constructed in 1948. I am not sure if this was the transept portion of the chapel located east of the nave or not. We do not have drawings.

The current sanctuary was originally constructed c. 1952 (blue) and included a link to the existing church (converted to chapel). It underwent significant renovations in 2006.

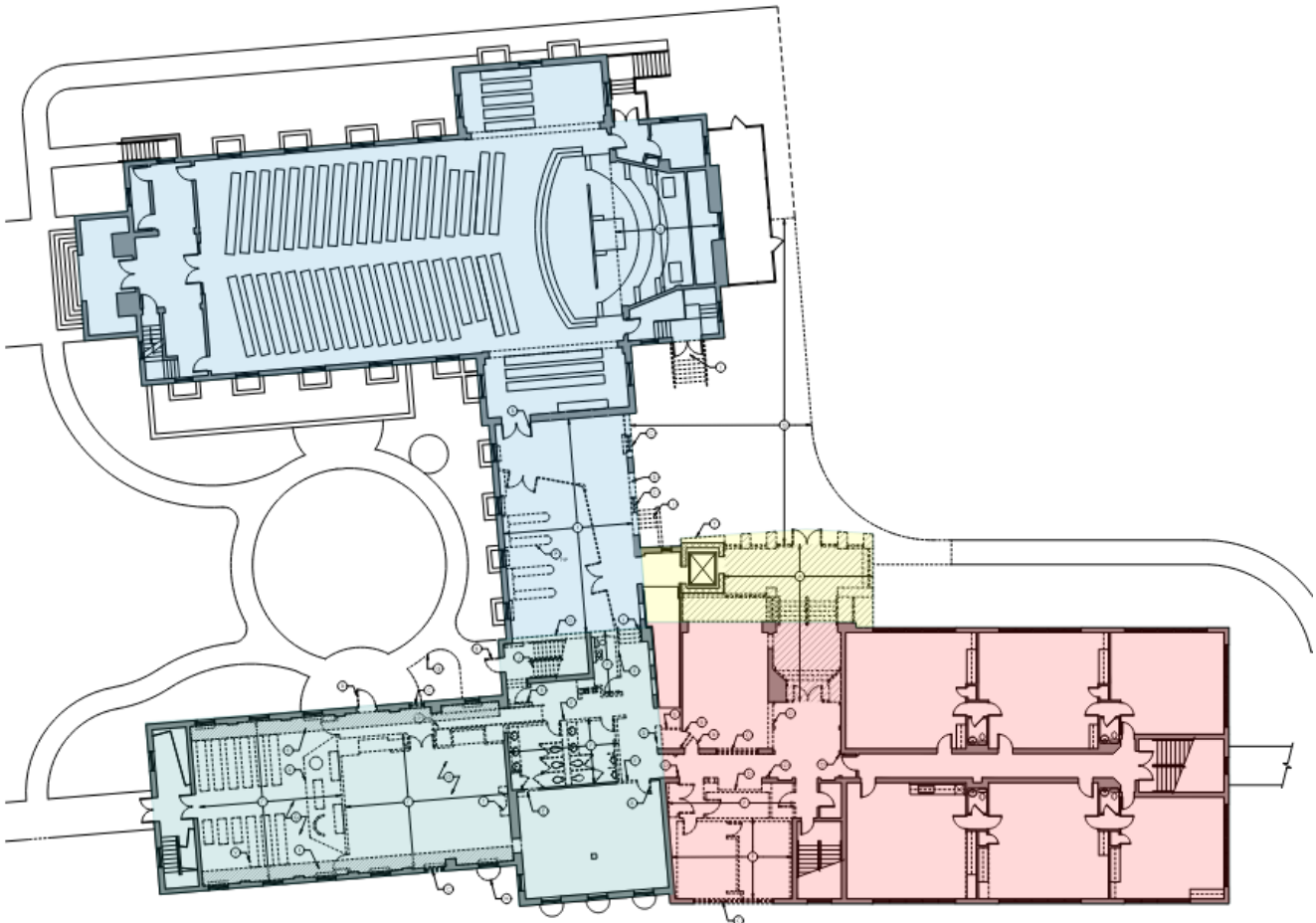
The education wing was constructed c. 1960 (red).

The elevator and current entry were constructed c. 1992 (yellow).

Various other renovations have occurred over the years, but those are the major building campaigns that I am aware of.

The chapel is located off of Cameron Mills Road – south of the intersection with Monticello and directly north of the George Mason Elementary School. It is the original church building (in green on my sketch) and shown in the aerial view you provided.

Hope this helps,
Joshua



Joshua D. Kiehl, AIA, NCARB
Senior Associate

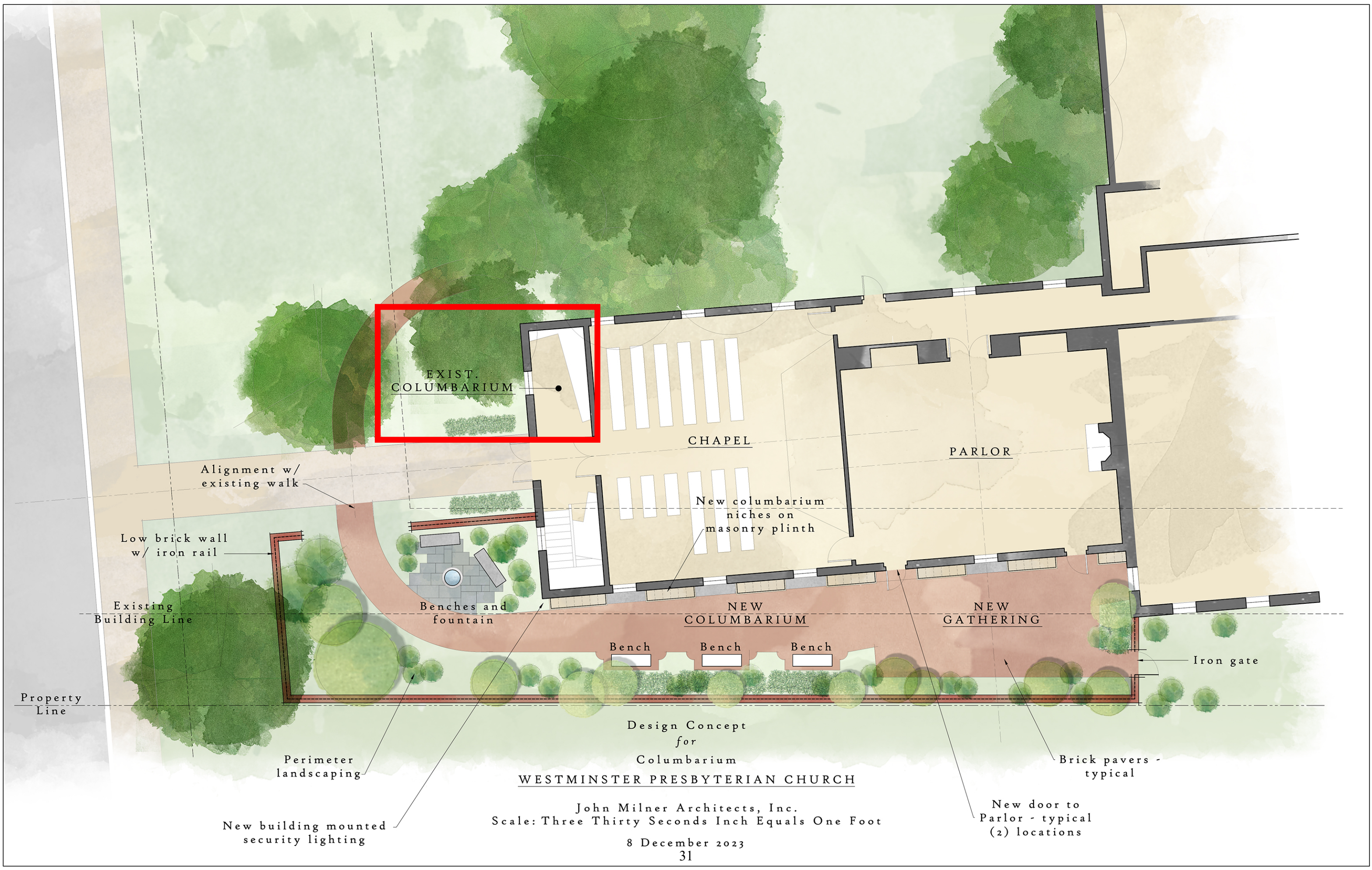
John Milner Architects, Inc.
104 Lakeview Drive, Chadds Ford, PA 19317
Office 610 388-0111, x 634, Mobile 717 572-5474
johnmilnerarchitects.com

From: Taylor Doyle <[tdoyle@rcfassoc.com](mailto:taylor@rcfassoc.com)>
Sent: Monday, February 3, 2025 12:26 PM
To: Mavis E Stanfield <mavis.stanfield@alexandriava.gov>
Cc: Ann Horowitz <ann.horowitz@alexandriava.gov>; Joshua Kiehl <jkiehl@johnmilnerarch.com>
Subject: RE: SUP 2024-00091, 2701 Cameron Mills Road

Mavis,

I have copied Joshua, the architect, on this email and have provided his detailed description for how this area was selected below. Let us know if you need any additional information.

There is an existing columbarium located in the narthex of the existing chapel (see attached). Maintaining proximity to this columbarium was important to the church. Additionally, the chapel is used to conduct memorial services, so locating the columbarium somewhere with direct access to the chapel was a key consideration. We discussed the courtyard on the north side of the chapel as an alternative location, but that space is used for many alternative functions, for both the church and neighbors. It was felt that a number of these functions, including the walking of dogs and various gatherings would not be conducive to the quiet, reflective space sought for the columbarium. Areas of the site to the north and east of the church placed the columbarium distant to the chapel as well as adjacent to large areas of parking or heavier street traffic. It was felt that the south side of the chapel offered a more secluded, private space that could be screened effectively, and which could accommodate the adjacencies to the existing columbarium and chapel.



EXIST.
COLUMBARIUM

CHAPEL

PARLOR

Alignment w/
existing walk

Low brick wall
w/ iron rail

Existing
Building Line

Property
Line

Benches and
fountain

New columbarium
niches on
masonry plinth

NEW
COLUMBARIUM

NEW
GATHERING

Bench

Bench

Bench

Iron gate

Perimeter
landscaping

Brick pavers -
typical

New building mounted
security lighting

New door to
Parlor - typical
(2) locations

Design Concept
for
Columbarium
WESTMINSTER PRESBYTERIAN CHURCH

John Milner Architects, Inc.
Scale: Three Thirty Seconds Inch Equals One Foot
8 December 2023
31

Thanks,

Taylor Doyle, PE | Principal



T: 703.549.6422

D: 571.933.6907

E: tdoyle@rcfassoc.com

W: www.rcfassoc.com

From: Mavis E Stanfield <mavis.stanfield@alexandriava.gov>

Sent: Wednesday, January 29, 2025 9:39 AM

To: Taylor Doyle <tdoyle@rcfassoc.com>; Ann Horowitz <ann.horowitz@alexandriava.gov>

Cc: Joshua Kiehl <jkiehl@johnmilnerarch.com>

Subject: RE: SUP 2024-00091, 2701 Cameron Mills Road

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, Taylor,

I have a couple of questions that I know are difficult to answer, as they may vary tremendously, but in round terms:

1. Will there be services held in the columbarium area?

Yes

2. If so, how many people would be expected?

5-15 people

3. What times of the day/week would the services occur?

There is currently no restriction on the day of the week, but services occur between 10AM and 2PM.

Thanks so much!

Mavis
