

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** Leslie McBride

**LOCATION:** Parker Gray District  
510 North Patrick Street

**ZONE:** RB/Residential Townhouse Zone

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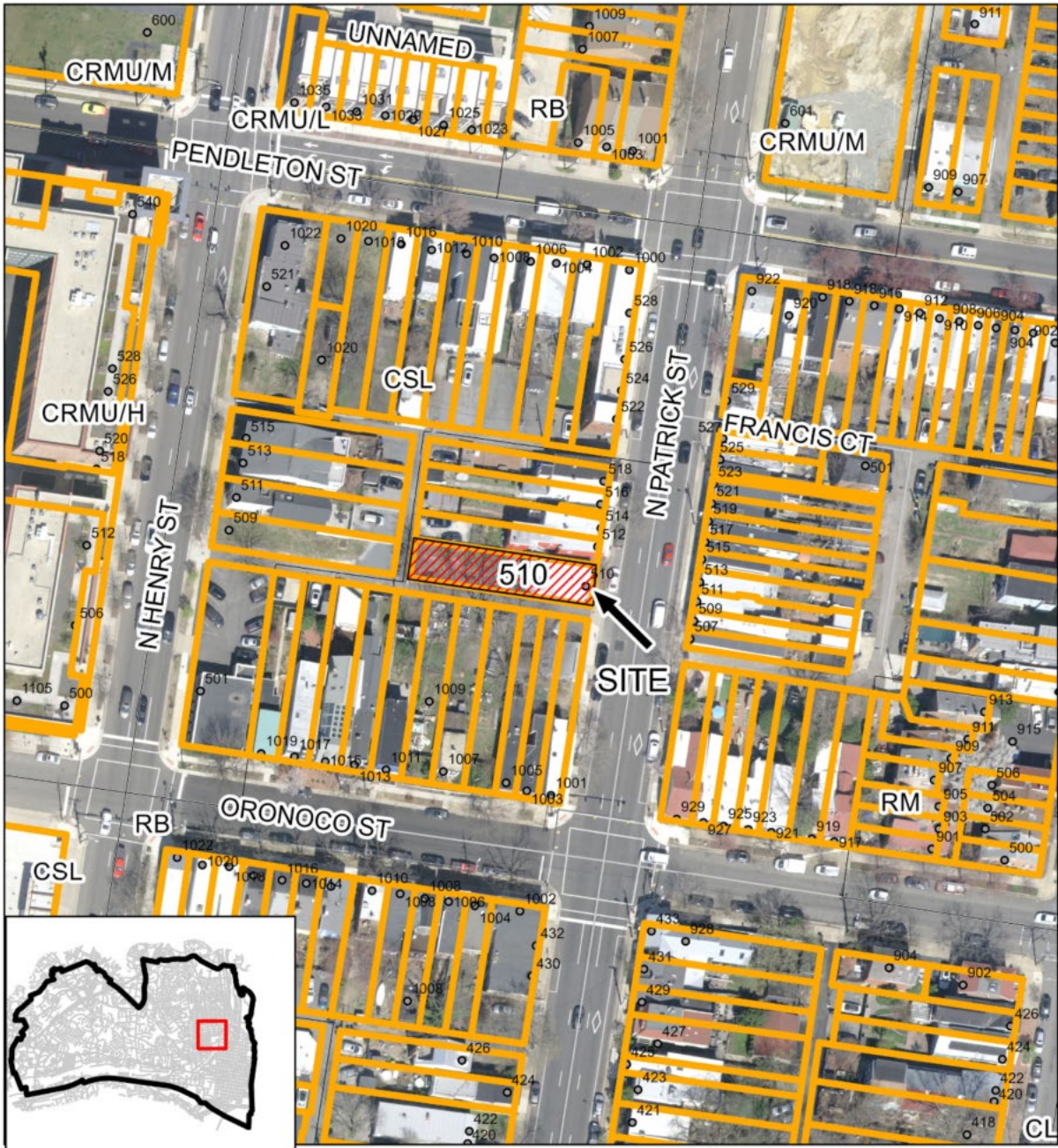
**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness, with the following conditions:

1. The windows and doors will be in compliance with the adopted window and door chapters of the *Design Guidelines*.
2. The applicant work with staff to simplify the design for the cornice at the proposed north addition.
3. The second floor windows at the rear of the building should align with the doors on the ground floor.
4. New window trim will not include beveled corners.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR2025-00306 & BAR2025-00321**  
**510 North Patrick Street**



0 40 80 160 Feet

Note: Staff coupled the application for a Permit to Demolish (BAR #2025-00321) and Certificate of Appropriateness (BAR #2025-00306) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations to elements at the structure located at 510 North Patrick Street. Historic Preservation staff visited the site along with Code Inspectors on April 8, 2025 in response to a complaint about work being done on the property without a valid building permit. At the time of the visit, staff noted that much of the north side addition had been demolished along with extensive interior demolition. This application, in conjunction with the relevant building permit, will resolve this issue.

The applicant is proposing the following demolition and modifications to the existing structure:  
Permit to Demolish

- Remove the single story addition at the north side of the property.
- Remove double second floor window on south side of building.
- Remove existing windows on the north side of the building which are not original to the building.

Certificate of Appropriateness

- New addition at north side of building in lieu of the existing portion to be removed.
- The applicant is intending to repair and reuse existing siding wherever possible. If it cannot be salvaged, new wood siding will be installed at the front elevation. The new addition on the north side will be clad in fiber cement siding. The original portion of the building will be clad in wood siding on the south side with the 20<sup>th</sup> century rear addition clad in fiber cement siding to match the clapboard siding in place.
- Install single window to replace double window on the second floor of the south elevation.
- Replace the windows on the front elevation with single glazed wood windows.
- Replace the windows on the south elevation with double pane wood windows.
- Install a full width sliding metal door at the first floor of the rear elevation.
- Install new second floor windows above the sliding door at the rear elevation

### **Site context**

The building at 510 North Patrick Street sits in the middle of the block on the west side of the 500 block of North Alfred Street. An alley bisects the block in the east-west direction directly to the south of the subject property and another alley runs north-south in the middle of the block. Both of these alleys are public, meaning that all sides of the structure are visible from a public right of way.



## II. HISTORY

The building at 510 North Patrick Street appears to have been originally constructed sometime **between 1877 and 1902**, making it an **Early** building. The 1877 Hopkins map does not show a building at this location. The 1902 Sanborn Fire Insurance Map is the earliest of these maps to show this block. At that time, this structure sat on the southeastern section of a large property that occupied the central portion of this block. This map shows a one story porch on the north side of the structure, facing this large yard. By 1912, this open yard now housed four townhomes with individual rear yards, the porch remained on the north side of the structure but it faced the house at 512 North Patrick Street instead of the open yard. The 1941 map shows a different configuration for the rear of the property with a series of additions modifying the original structure.

According to the applicant's discussions with the previous owner, and consistent with the construction method, the single story addition on the north side of the building appears to date from sometime in the 1990s and is in place of the original open porch. Permit number 5011 was issued sometime in the 1940s and included the installation of fake brick on the building exterior. In 1970, permit number 27532 was issued for the installation of aluminum siding; it is unclear in the permit the extent of this siding. Staff has been unable to locate a BAR approval or building permit for the replacement of the original windows with the vinyl windows that are currently installed.

## III. ANALYSIS

### Permit to Demolish/Capsulate

The Board shall consider any or all of the following criteria set forth in the Zoning Ordinance, Section 10-205 (B) in determining whether or not to grant a permit to move, remove, capsulate or demolish in whole or in part a building or structure within the Parker-Gray District. The Board has purview over the proposed demolition/capsulation regardless of visibility,

| Standard | Description of Standard                                                                                                                                                    | Standard Met? |
|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| (1)      | Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?                                 | No            |
| (2)      | Is the building or structure of such interest that it could be made into an historic shrine?                                                                               | No            |
| (3)      | Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty? | No            |
| (4)      | Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?                                         | No            |

|     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |    |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| (5) | Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live? | No |
| (6) | Would retention of the building or structure help maintain the scale and character of the neighborhood?                                                                                                                                                                                                                                                                                                                                                                                                           | No |

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish /Capsulate should be granted. The areas of the most significant proposed demolition include the addition on the north side of the building and the rear of the building. As noted above, these portions of the building have been heavily modified throughout the twentieth century and retain little of the original historic fabric.

#### Certificate of Appropriateness

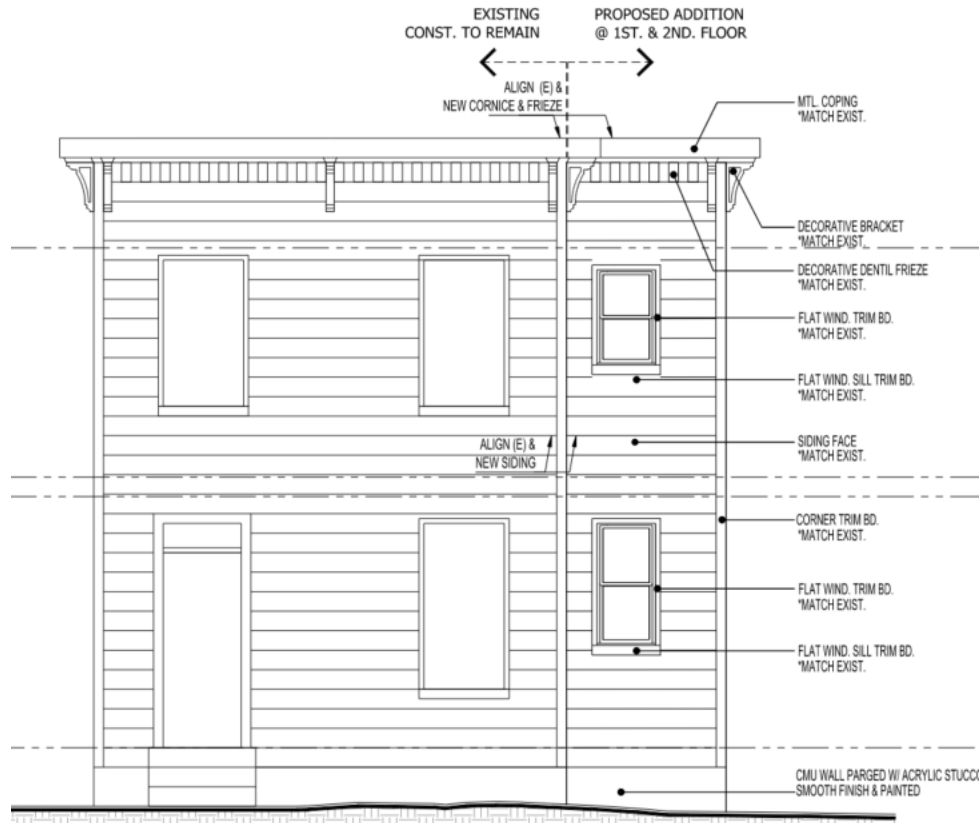
The applicant is proposing to renovate the Early townhome at 510 North Patrick Street with the intention to create street facing and alley facing elevations that more closely resemble the original configuration than the current conditions. As noted above, the existing structure has undergone a number of changes that have diminished the original appearance of the building. The most significant of these is the addition on the north side of the building and the conversion of a single window into a double window on the south side of the building (Figure 1).



**Figure 1: View of 510 N Patrick Street with modified second floor window and ground floor addition**

#### Addition

The applicant is proposing to build a two story addition on the north side of the property in the location of the original porch and later enclosed addition. Upon purchasing the property, the owner had a new property survey completed which showed that the previous addition was constructed over the property line. In building the new addition, the northern wall will be relocated so that it is fully within the subject property. The design for the addition is simple with the front wall recessed behind the original building front elevation and including a window on the first and second floor. As the building is on the property line and adjacent to the neighboring structure, there are no windows on the north elevation. The roof of the addition aligns with the roof on the existing structure and the applicant is proposing a cornice which matches the historic cornice including dentil molding and brackets (Figure 2).

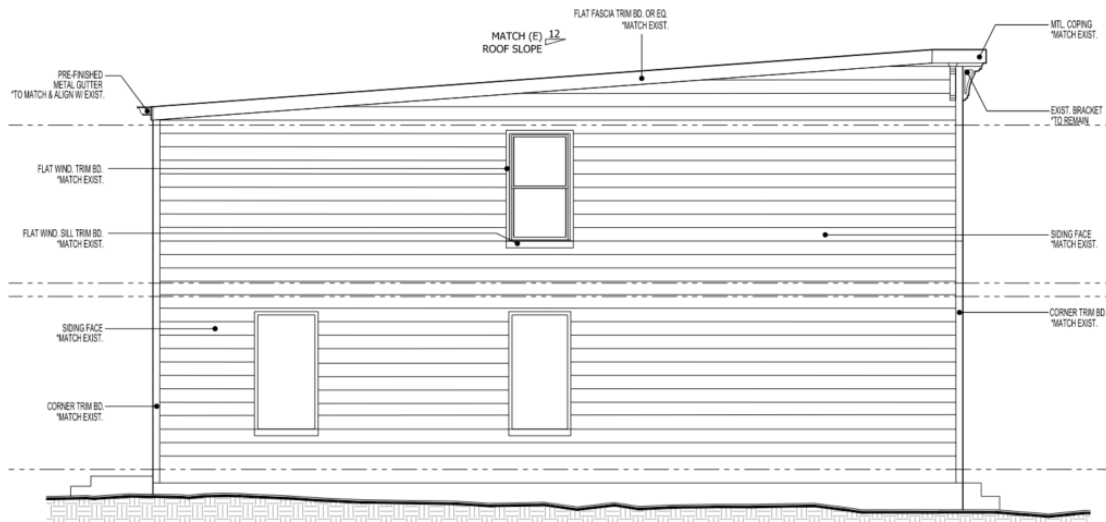


**Figure 2: Proposed east elevation with addition on right (Note that addition is recessed)**

Staff appreciates the restrained approach to the new addition, noting that recessing it from the main block of the house will return the composition of the façade to the historic configuration while retaining the form of the original porch. The *Design Guidelines* state that “An addition should be clearly distinguishable from the original structure.” The proposed recess will help to clearly distinguish this as an addition; however, the use of a cornice that matches the historic building obscures the line between historic and modern. Staff recommends that the applicant work with staff on the design of a cornice for the addition that is simpler and clearly designates this as a background element.

### South Elevation

The applicant is proposing to change the existing double second floor window on the south elevation into a single punched window, aligned with the other existing window openings. At the ground floor windows on the south elevation, the applicant is proposing to increase the height by lowering the sill height by 6” (Figure 3). As with the front elevation, staff appreciates the intention of the applicant to return the south elevation to the original composition. While lowering the sill height at the ground floor windows will change the proportions of these windows, this area has been previously modified and staff finds that this modification is appropriate to the style of the historic building.



**Figure 3: Proposed south elevation with single punched window opening restored**

### Siding

The applicant has removed test sections of the existing siding in an effort to determine whether or not original siding may remain intact in portions of the building (Figure 4). It appears that originally, the front section of the house used a German lap siding with the rear portion and the addition using a simpler beveled siding. The applicant is proposing to attempt to reuse the original siding if it can be saved wherever possible. Where this is not possible, the applicant will use siding that matches the original profile. Staff recommends that the applicant prioritize the use of historic siding on the front elevation. It is often possible to retain enough original fabric to use on this elevation and replace the siding only on the secondary elevations.



**Figure 4: Portion of siding removed to expose original siding**

### Rear (West) Elevation

As noted above, the rear portion of the building has been heavily modified over time, with a series of additions and modifications that have resulted in an unremarkable secondary elevation without significant original historic fabric. The applicant is proposing the most significant exterior modification to the existing building on this elevation. The adjacent alleys are public, meaning that this elevation will be visible from a public right of way.

The proposed design for this elevation includes a large ground floor opening with glass doors and four rectangular windows at the second floor (Figure 5). The new addition at the north elevation



will be flush with the existing rear elevation and there will not be a noticeable difference between the existing and new construction in this area.

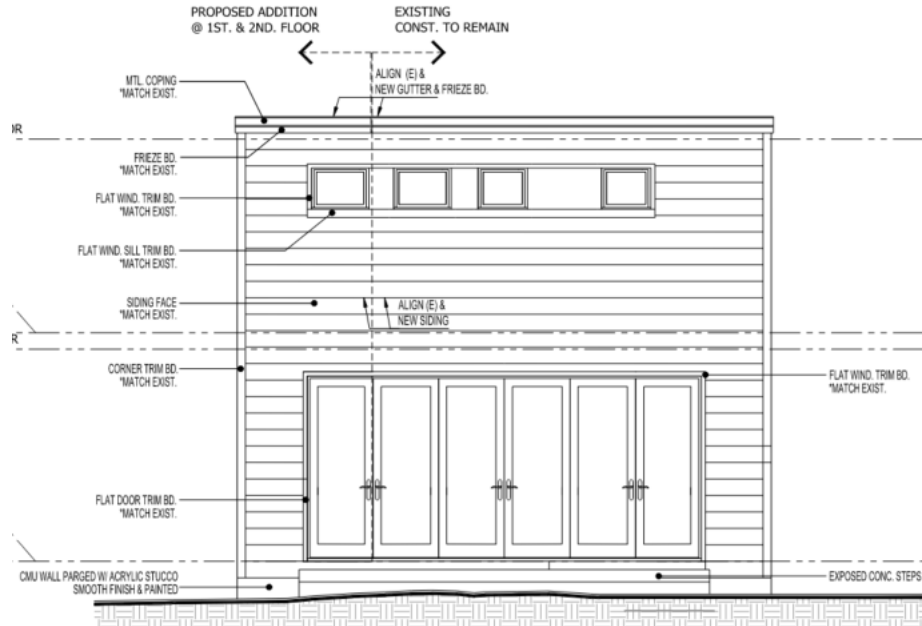


Figure 5: Proposed west elevation

As the existing rear elevation lacks historic fabric and as such, staff supports the use of more contemporary window and door openings in this area. The upper level windows are not aligned with the ground floor glass doors, giving the composition an unbalanced effect. As a secondary elevation, this composition should be simple and balanced so as not to draw attention. Staff recommends that the applicant work with staff on arrangement of windows that are symmetrical and aligned with the doors below.

For the reasons noted above, staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness, with the following conditions:

1. The windows and doors will be in compliance with the adopted window and door chapters of the *Design Guidelines*.
2. The applicant work with staff to simplify the design for the cornice at the proposed north addition.
3. The second floor windows at the rear of the building should align with the doors on the ground floor.
4. New window trim will not include beveled corners.

#### **STAFF**

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### **Zoning**

- C-1 Proposed construction of first floor addition and new second story above it will comply with zoning.
- C-2 All construction mentioned in the scope of work needs to be done on property and not encroach over the property line.
- F-1 Existing first story addition encroaches over the property line

##### **Code Administration**

- C-1 A building permit is required

##### **Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley adjacent to the parcel is to be used at any point of the construction process, the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if

available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

#### **Alexandria Archaeology**

- F-1 According to historic maps and aerial photographs, as well as primary documents, the house on this lot was built in the 1880s. Over the years dozens of people occupied the dwelling from a variety of walks of life, many of them renting the property for a short span of time. The property has the potential to yield significant archaeological evidence of the development of the Uptown neighborhood of Alexandria in the late nineteenth and early twentieth centuries.
- C-1 \*The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- C-2 \*The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- C-3 The statements in archaeology conditions above marked with an asterisk “\*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

#### **V. ATTACHMENTS**

- Application Materials
- Completed application
- Plans (included in application)
- Material specifications (included in application)
- Photographs (included in application)
- Public comment if applicable
- Any other supporting documentation

ADDRESS OF PROJECT: \_\_\_\_\_

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: \_\_\_\_\_ ZONING: \_\_\_\_\_

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Legal Property Owner:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- |                                      |                                                     |                                                     |                                   |
|--------------------------------------|-----------------------------------------------------|-----------------------------------------------------|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |                                                     |                                                     |                                   |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

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**SUBMITTAL REQUIREMENTS:**

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**BAR CASE#** BAR2025-00306 & BAR2025-00321

(OFFICE USE ONLY)

**ADDRESS OF PROJECT:** 510 N Patrick St. Alexandria, VA 22314

**DISTRICT:** ☐ Old & Historic Alexandria ☒ Parker – Gray ☐ 100 Year Old Building

**TAX MAP AND PARCEL:** 064.01-04-16; 10930500

**ZONING:** RB

**APPLICATION FOR:** *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

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(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

**Applicant:** ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

**Name:** Leslie McBride (Lee)

**Address:** [REDACTED]

**City:** [REDACTED] **State:** [REDACTED] **Zip:** [REDACTED]

**Phone:** [REDACTED] **E-mail:** [REDACTED]

**Authorized Agent** *(if applicable):* ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

**Name:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**E-mail:** \_\_\_\_\_

**Legal Property Owner:**

**Name:** Leslie McBride

**Address:** [REDACTED]

**City:** [REDACTED] **State:** [REDACTED] **Zip:** [REDACTED]

**Phone:** [REDACTED] **E-mail:** [REDACTED] McBride.Lee@gmail.com

**NATURE OF PROPOSED WORK:** Please check all that apply

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: Please check all that apply.  
     ☐ awning                      ☐ fence, gate or garden wall    ☐ HVAC equipment                      ☐ shutters  
     ☐ doors                              ☐ windows                              ☐ siding                              ☐ shed  
     ☐ lighting                              ☐ pergola/trellis                      ☐ painting unpainted masonry  
     ☐ other \_\_\_\_\_  
☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

Demo of the one story, shotgun addition on the north side of the building. See attachments.

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**SUBMITTAL REQUIREMENTS:**

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☒ ☐ Description of the reason for demolition/encapsulation.  
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



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- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
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- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
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**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Leslie (Lee) McBride

Date: 10 August 2025

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|------|---------|----------------------|
| 1.   |         |                      |
| 2.   |         |                      |
| 3.   |         |                      |

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|------|---------|----------------------|
| 1.   |         |                      |
| 2.   |         |                      |
| 3.   |         |                      |

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

| Name of person or entity | Relationship as defined by Section 11-350 of the Zoning Ordinance | Member of the Approving Body (i.e. City Council, Planning Commission, etc.) |
|--------------------------|-------------------------------------------------------------------|-----------------------------------------------------------------------------|
| 1.                       |                                                                   |                                                                             |
| 2.                       |                                                                   |                                                                             |
| 3.                       |                                                                   |                                                                             |

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

\_\_\_\_\_  
Date                      Printed Name                      Signature

## **Work to be done:**

The building at 510 N. Patrick was built sometime on or before 1900. Research, interviews with the prior owner (a 98-year-old Alexandria resident born in the house), and physical inspection of the building has shown the original building was likely a square two-story building with a center wall separating a front and back room both downstairs and upstairs. Originally, there were no utilities, bathroom, or kitchen in the home but had a separate kitchen, outhouse, shed. Several additions were built, first to the rear likely in the 1930s or 1940s, where different siding was added and the roof line changed in the rear, and later in the 1990s when a shotgun style one story room was added on the north side.

The original home was a two-story Italianate style house, tall and narrow with wooden Dutch lap siding and a decorative cornice in the front. This building sat on the south side of a large field and had a porch on the north side overlooking the field. Based on the Sanborn Fire Insurance map from 1900, it appears that this property owned the land to the north. Based on later Sanborn maps, this open land was developed with a series of rowhouses leaving little space between the porch the new building next to it.

Sometime in the mid-twentieth century, the wood siding was covered with a faux brick asphalt siding popular at the time. Circa 1990s the porch on the north side was encapsulated with cinder block to form a one-story shotgun style structure that altered the original shape of the building, especially from the front. Likely during this time, vinyl windows and aluminum siding were added around the entire building. Today the building looks noticeably different from the original structure and no longer fits into the historic intent of the Parker-Gray Historical District.

By January 2025 had the strong smell of smoke and significant structural damage was observed. The single-story shotgun addition on the north side was also found to be over the adjacent property line.

Below outlines an overview of work to be done. While adding modern features, such as laundry and bathrooms, the intent is to save as much of the original construction as possible, and to restore the front and observable south side exterior to what the building might have looked circa 1900. The north side and rear (west side) will be mostly hidden from public view and will see some external changes.

## **Foundation:**

North Side: The foundation on the north side was built circa 1990s over a porch and extends past the adjacent property line and must be moved. The foundation over the property line will be removed and a new one built 1 foot closer to the house, within the property line. The new foundation on the north side's east (front of house) will also be moved back (west towards the back of the house) offsetting this side and returning the front of the house to original shape. See structure comments for full changes.

South Side: The foundation on the front (east facing) and south side along the alley seem to be in decent condition and should be salvageable.

East Side: The foundation on the front (east facing) and south side along the alley seem to be in decent condition and should be salvageable.

West Side: The foundation across the rear (west side) and center have denigrated and the entire wall it supports is collapsing. As a result, it needs to be rebuilt with concrete.

Center/interior: The foundation across the rear (west side) and center have denigrated and the entire wall it supports is collapsing. As a result, it needs to be rebuilt with concrete.

**Structure:** There was strong smoky/chimney smell throughout the house. Pulling out the interior plaster, we found massive fire damage. Where possible we intend to save the existing structure where fire damage is minimal. A large portion in parts of infrastructure has been burned through however and will likely need to be replaced.

North Side: The north side of the building has seen a fair amount of fire damage and will either need to be reinforced or removed. Beyond the original wall, cinder block was used to build a shotgun style room for utilities and storage. This modern addition will be removed completely. The first five feet will be repaired and the siding replaced with Dutch lap that mirrors the front. This will help return the front of the structure to its original shape and look.

North Side addition: We intend to remove the addition that was built in the 1990s and replace it with an addition that highlights the original front of the building. The current addition, which must be removed because it extends over the property line, is a one-story-shotgun style addition. We intend to remove this and build a two-story addition that is one foot narrower (inside the property line) and pushed back 5 feet so that the original front dimensions are visible.

- **Current extension exterior dimensions:** Single story, 81 inches wide overall, including approx 10 inch wide cinder block outer wall, X 40 feet 8 inches long.
  - **Proposed extension exterior dimensions:** Two story, 71 inches wide overall, including exterior wall and Hardie Board siding, X 35 feet 8 inches long (set five feet back off front).
  - **The work crew will adjust if needed to ensure outer edge is within property line.**
- Justification for removal of old addition and replacement:



- Removal of the shotgun addition: This addition is approx. 6 feet wide and runs from the front of the house to the back. It was added in the 1990s and is not part of the original structure. It further takes away from the Italianate style of the original structure. Finally, the addition extends into the adjacent property.
- Replacement with a shorter and narrower, two-story addition: Placing the shotgun addition will be a narrower, approx. 5 feet wide, addition and pushed back from the front by 5 feet. This will allow for the original front lines to show and should fade into the side relatively unnoticed. There will be no windows on this addition which will allow for laundry, two bathrooms, and storage.

South Side: The south side structure has two different configurations. The original structure on the south side is in relatively good condition and will be preserved. The addition in the rear of the building, possibly built in the 1940s, is structurally unsound. We will save any wood that isn't burned through from fire but significant reinforcement will be required.

East Side: The front of the house (east facing) is in good shape and salvageable. This part should see little/no alterations.

West Side: This part of the building was built later in the history of the house, maybe 1940s. There is not one salvageable board in the back (west side) of the building. We left much of the iron piping to hold it up but I couldn't find one board that wasn't burned through or floating and held up by the siding. This includes the floor joists all of which are dangerous to walk under.

Center/interior: Depending on where fire hit the house we think/hope we can save most of this structure, including the staircase.

**Siding:** Several types of siding have been added to the house since its construction. The original siding was Dutch Lap. When an addition to the rear was added, clapboard was used; the two different siding styles were apparent. Later, post WWII, faux brick asphalt siding was nailed over the wood siding around the entire house. In the 1990s, when the north side addition was added, vinyl windows and aluminum siding added around most of the house.

North Side: The north side was built from cinder block in the 1990s. The north wall, near the front where maintain the original shape, we'll use Dutch lap. We'll have to

replace it because there's no siding there to save. On the north side addition, we'll use Hardie Board to mirror the clapboard. This keeps the earliest trend on the house of original house using Dutch lap and additions using clapboard style.

South Side: We think/hope we can save the original siding. After pulling back a 2 foot section of the aluminum and asphalt siding down to the original, the original Dutch Lap seems to be in fairly good condition. The western side of the south wall, where the later 1940-is addition was built in the back has clapboard, instead of Dutch. We will try to save most/all of this original siding. We hope most of the clapboard will also be salvageable. structure and either wooden or Hardie board shiplap around the addition on back side, back, and north side addition.

East Side: The east, front of the building, may have the original siding in good/repairable shape and will be restored/maintained if possible. Any boards that are rotted out will be replaced with wooden Dutch lap of the same size as the originals. The former owner could not remember the original color other than the building was painted a light color. I intend to paint the building white (one single shade of white) and the front door black. At this time, I'm not adding shutters but if I do in the future, they will be wooden and painted black.

West Side: The west side (back) of the house will be mostly hidden. We will replace this siding Hardie Board in the same dimensions as the original clapboard siding.

**Fences:** According to the previous owner, she specifically mentioned the house having a white picket fence in front as long as she could remember. The rear of the house has a 6' wooden fence surrounding it. I plan to repair the fences and paint them white but otherwise leave them as is.

**Front Cornice:** I plan to save the existing cornice, repaint it, but otherwise keep it as is.

## **Windows:**

North Side: The north side of the building is only a few feet from the neighboring building. The current windows were added in the 1990s and will be removed. There will be no windows facing this direction. This side is not be observable from the street.

South side: There are currently four windows on the south side (alley side) of the building. All four are modern vinyl replacement windows. We would like to keep three windows with minor changes and fully remove the fourth window on the upper rear addition . The two ground level vinyl windows will be replaced with windows, specs attached, and lengthened by approx. six inches so that they reach closer to the floor. The height and width of these windows won't change. Upstairs, it looks like the original window was widened at some point to a double window. I would like to change this and replace that window with the same exact sized window as the bottom two. put the exact same All windows will be 2 over 2 style. There should be no noticeable change by a person on the street.

- 3 windows using Marvin Traditional Historic Wood Double Hung, double glazed, Potter Casing with A217 Subsill – Page 9 and 12 of attachment.

East side: This is the front of the building. No changes in window location or size will be made. The vinyl windows will be replaced by windows consistent with BAR guidelines and 2 over 2 double hung which are consistent Italianate architecture. Ideally, we want the front to look like it did in 1900.

- 3 windows using Marvin Traditional Historic Wood Double Hung, SINGLE glazed, Potter Casing with A217 Subsill – Page 9 and 12 of attachment.

West Side: The west side will undergo the most changes. The ground floor will not be visible by anyone. On the ground level we will add an 8' x 15' sliding glass door with aluminum frame. There will then be four transom windows on the second floor providing ventilation for the master bath.

- 4 Pella Reserve transom windows
- 168 in. x 96 in. Right Swing/Outswing Double Tempered Glass Black Aluminum Folding Patio Door

**Front Door:** There are no picture or other references of the original door. We will keep the current configuration of an entrance and save the transom window over the door.

- I intend attached front door page 29 by builder's Choice, model 4020 1P flat, painted black. The storm door will be removed. 4" plain flat molding will surround the entire door

**Lighting:** No changes.

**Roofing:** The current white roof, see photo, will be replaced with a similar white TPO sheet. No part of the roof will be visible from any angle.

**Other:** Replace all plumbing, electrical, HVAC. The HVAC will be on the ground in the backyard and not visible.

## Notice Requirements / Neighboring Property

### Neighboring Property Map

North



[https://realestate.alexandriava.gov/index.php?StreetNumber=510&text\\_street=N+PATRICK+ST&StreetName=N%5EPATRICK%5EST&UnitNo=&Search=Search](https://realestate.alexandriava.gov/index.php?StreetNumber=510&text_street=N+PATRICK+ST&StreetName=N%5EPATRICK%5EST&UnitNo=&Search=Search)

South



**Neighboring properties on east & north side:**

507 N. Patrick St. (Map # 064.02-01-28; Account 11660000)

Owner: Gisele Roget

Mailing Address: 507 N. Patrick St. Alexandria, VA 22314

509 N. Patrick St. (Map #064.02-01-29; Account 11660500)

Owner: Human Resources Research Organization

Mailing Address: 509 N. Patrick St. Alexandria, VA 22314

511 N Patrick (Map #064.02-01-30; Account 11661500)

Owner: Vanessa Hranitz

Mailing Address: 511 N Patrick St

City, State, Zip: Alexandria, VA 22314

512 N Patrick (Map #064.01-04-15; Account 10930000)

Owner: Zeynep Cihan Cakal

Mailing Address: 512 N Patrick St

City, State, Zip: Alexandria, VA 22314

513 N Patrick (Map #064.02-01-31; Account 11661000)

Owner: Justin Knox

Mailing Address: 513 N Patrick St.

City, State, Zip: Alexandria, VA 22314

**Neighboring properties on west side:**

509 N Henry (Map #064.01-04-28; Account 10936500)

Owner: Zonoozi Rasoul Termeh

Mailing Address: 509 N. Henry St.

City, State, Zip: Alexandria, VA 22314

511 N Henry (Map #064.01-04-29; Account 10937000)

Owner: Lori Welsh

Mailing Address: 511 N. Henry St.

City, State, Zip: Alexandria, VA 22314

**Neighboring properties on south side:**

1001 Oronoco St. (Map #064.01-04-17; Account 10931000))  
Owner: Michael and Priscilla Kinney  
Mailing Address: 1001 Oronoco St. Alexandria, VA 22314

1003 Oronoco St. (Map #064.01-04-18; Account 10931500)  
Owner: Morgan Kinney, Alex Rock  
Mailing Address: 1003 Oronoco St. Alexandria, VA 22314

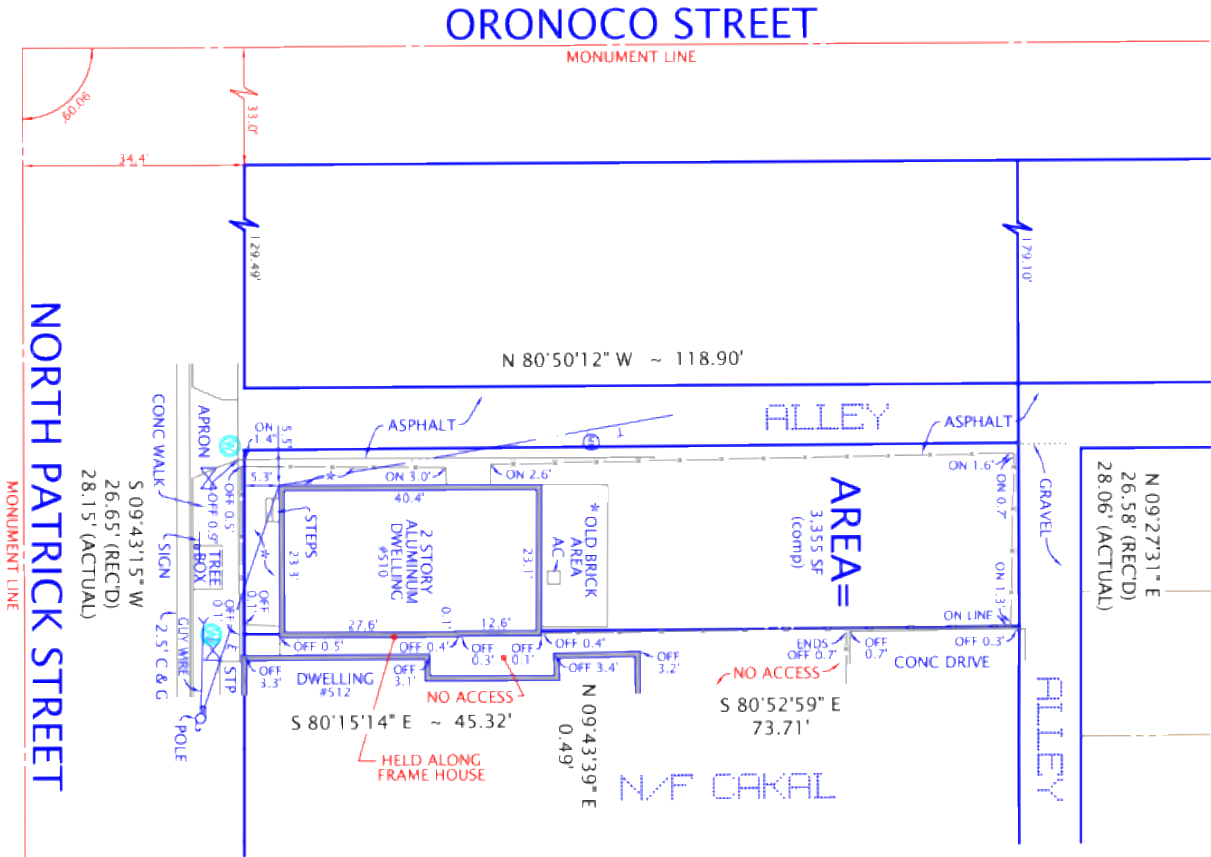
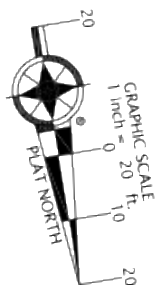
1005 Oronoco St. (Map #064.01-04-19; Account 10932000)  
Owner: Brian R. Frederickson and Kay Thomas  
Mailing address: 1005 Oronoco St. Alexandria, VA 22314

1007 Oronoco St. (Map # 064.01-04-20; Account 10932500)  
Owner: Oronoco Street Homes LLC  
Mailing Address: 1007 Oronoco St. Alexandria, VA 22314

1009 Oronoco St. (Map #064.0104-21; Account 10933000)  
Owner: Oronoco Street Homes LLC  
Mailing Address: 1009 Oronoco St. Alexandria, VA 22314

1011 Oronoco St. (Map # 064.01-04-22; Account 10933500)  
Owner: Stephen Chen and Karen Błaszkievicz  
Mailing Address: 1011 Oronoco St. Alexandria, VA 22314

NOTES: 1. FENCES ARE FRAME.



PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#510 NORTH PATRICK STREET**  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20'  
DECEMBER 19, 2024  
(DEED BOOK 317, PAGE 74)

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE.

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.

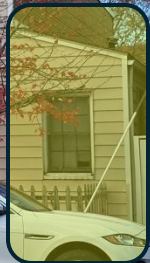


Ordered by:  
**CARDINAL**  
- I T L E - G R O U P  
14291 Park Meadows Dr., Suite 400  
Chantilly, VA 20151  
Ph: 703-898-5005

 **DOMINION** Surveyors  
Inc.  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
www.dominionsurveyors.com







Part to remove







Rear of the house. Section to remove.



# Demo Plan for 510 N Patrick Street

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Name: **Lee McBride**  
Address: **510 N Patrick St. Alexandria, VA 22314**  
Email: **mcbride.lee@gmail.com**  
Date: **8 August 2025**

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This work plan outlines the demolition of an existing extension at 510 N Patrick Street. The project is scheduled to begin in late September 2025 following approval from the Alexandria BAR.

## Scope

- This demolition project includes the complete deconstruction of a shotgun style extension that extends along the north side of house. Two days will be scheduled to allow for weather and unforeseen events however, full removal should be started/completed within one workday.
- Existing Structure: The single-story addition was built out of cinder block circa 1990s and added to along the north side of the original building. The walls, and likely the foundation are 8-inch cinder block. This extension is approx. 81 inches wide, including 10-inch thick outer walls, and is 40' 8" long. The roof collapsed during removal of hazardous material.
- Building Demolition: The entire structure will be removed including foundation, floors, and walls.
- Interior Demolition: Complete demolition of all internal structures, including drywall, flooring, ceilings, partitions, and plumbing was completed during removal of hazardous material.
- Hazardous Materials Removal: All hazardous materials has been certified removed.
- Utility Disconnections: There are no utilities in this part of the structure.
- Site Preparation: 4x8 sheets of plywood will be used both on the exterior and interior to avoid damage to the neighboring property at 512 N Patrick or the remaining building structure.

## Timeline

- The demolition project is planned for late September 2025 pending BAR approval. The specific day of demolition will be coordinated with the owner of 512 N Patrick to minimize negative impact to them. We expect only one day is needed but will plan for two days in case of unforeseen events

## Safety Plan

The safety of all personnel involved in this demolition project is our top priority. Below are the key components of our comprehensive safety plan:

- Personal Protective Equipment (PPE): All workers will be required to wear full PPE, including hard hats, safety goggles, high-visibility vests, steel-toe boots, hearing protection, and respiratory protection as needed.

## Demo Plan for 510 N Patrick Street

- **Hazardous Materials Handling:** A licensed hazardous material removal team has already removed and dispose of any asbestos, lead, or chemicals found in the building. Proper containment procedures were followed to prevent exposure. A certificate of removal is available.
- **Site Signage and Barricades:** Workers will be positioned to ensure pedestrians are aware of the work and remain a safe distance from the project. Clearly marked signs will be placed indicating the work and date of work being conducted.
- **Training and Safety Briefings:** All workers are experienced in this process and have undergone safety briefings. They will be trained and insured on all work and equipment used.

### **Risk Assessment**

The following risks have been identified and addressed:

- **Structural Collapse:** The main building will be reinforced where needed to prevent collapse. Risk of injury is from cinder blocks falling on workers or the adjacent building will be controlled and mitigated.
- **Dust and Airborne Particles:** The demolition process will not generate significant dust. Water spray will be used should dust particles begin to accumulate.
- **Noise and Vibration:** Noise will minimal and will primarily affect the residents at 512 N Patrick. Following demolition approval, demo will be coordinated with the owner of this neighboring property to ensure the dates and time of work does not interfere with their schedule.

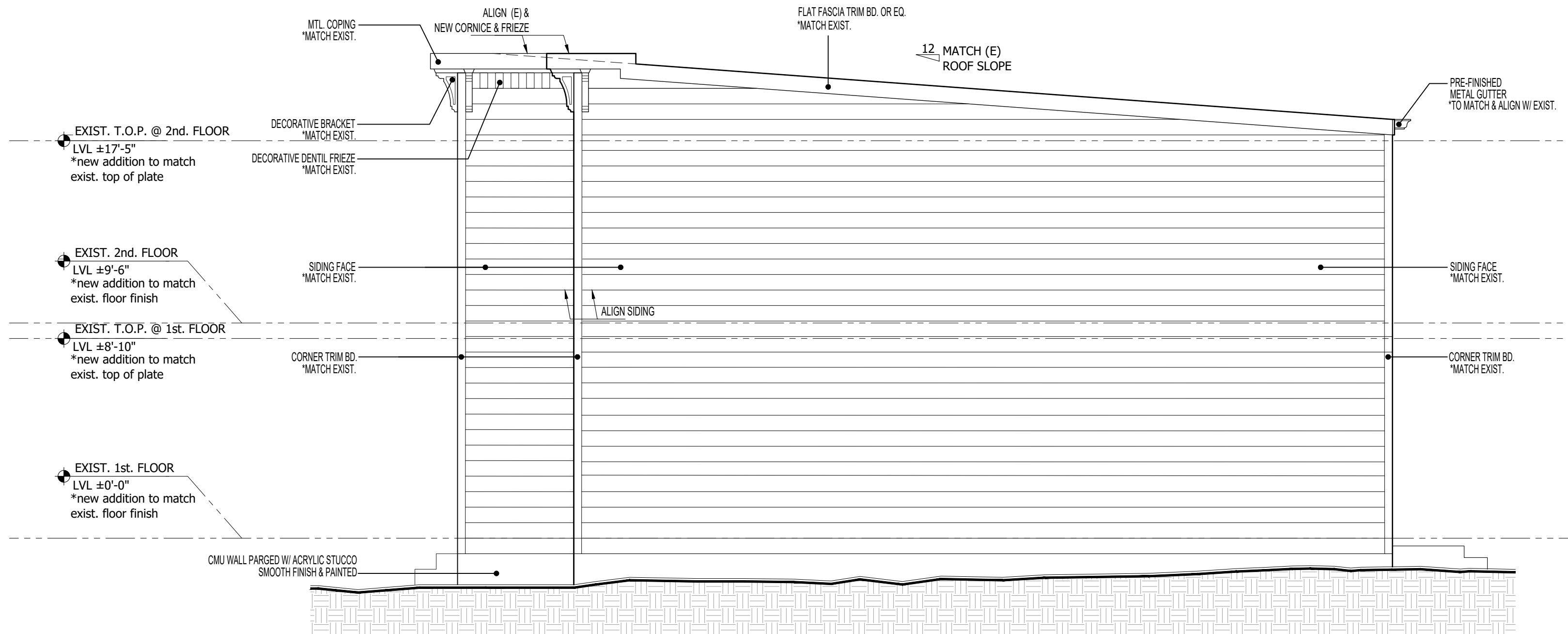
### **Equipment and Materials**

The following equipment and materials will be used for the demolition of the building:

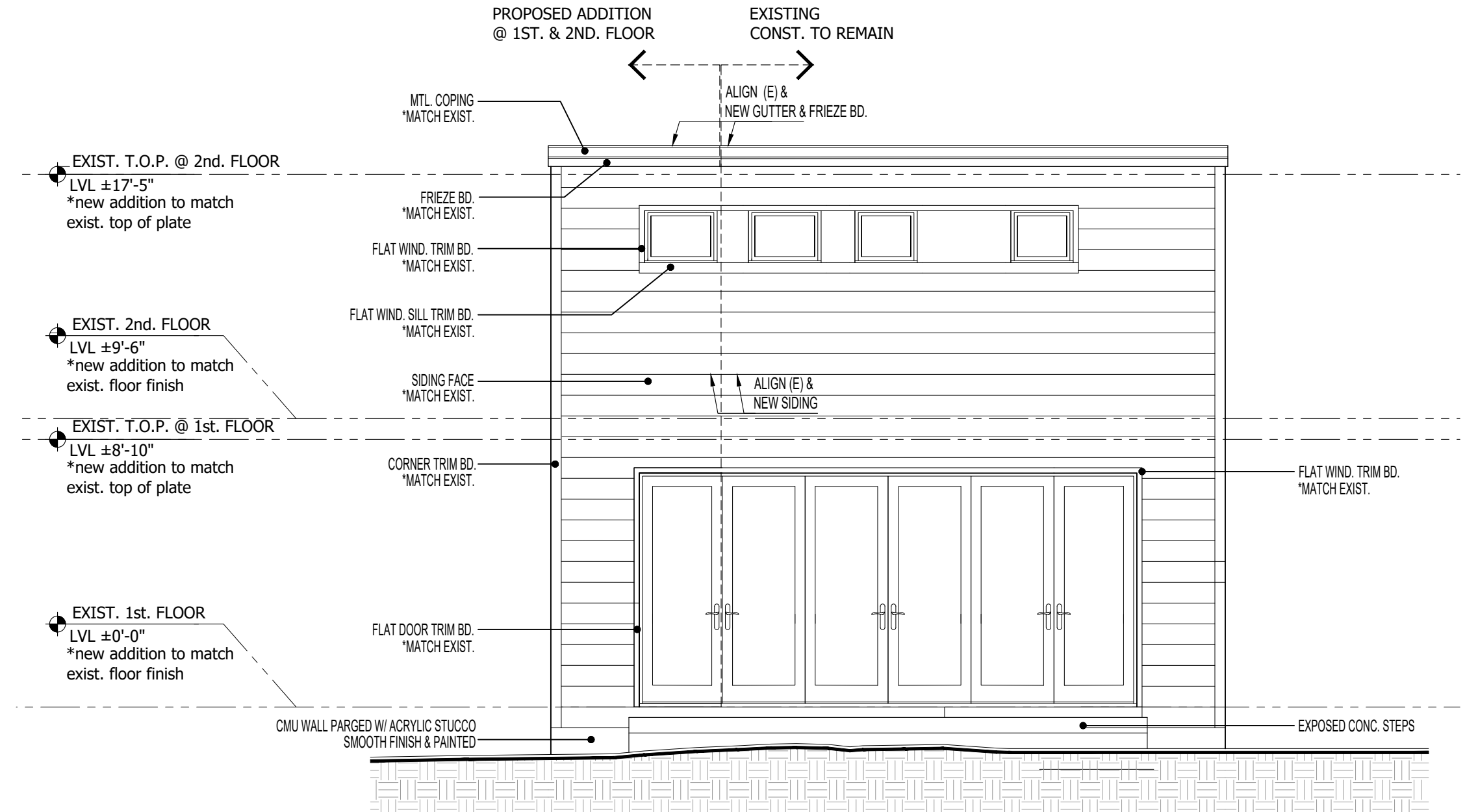
- **Demolition Equipment:** Hand operated tools will be used. The wall and foundation are constructed of cinderblock. If poured concrete is found, jackhammers may be needed though this is unlikely.
- **Transportation Vehicles:** All debris will be moved via wheelbarrow to the backyard of the property for collection and removal.

### **Waste Management**

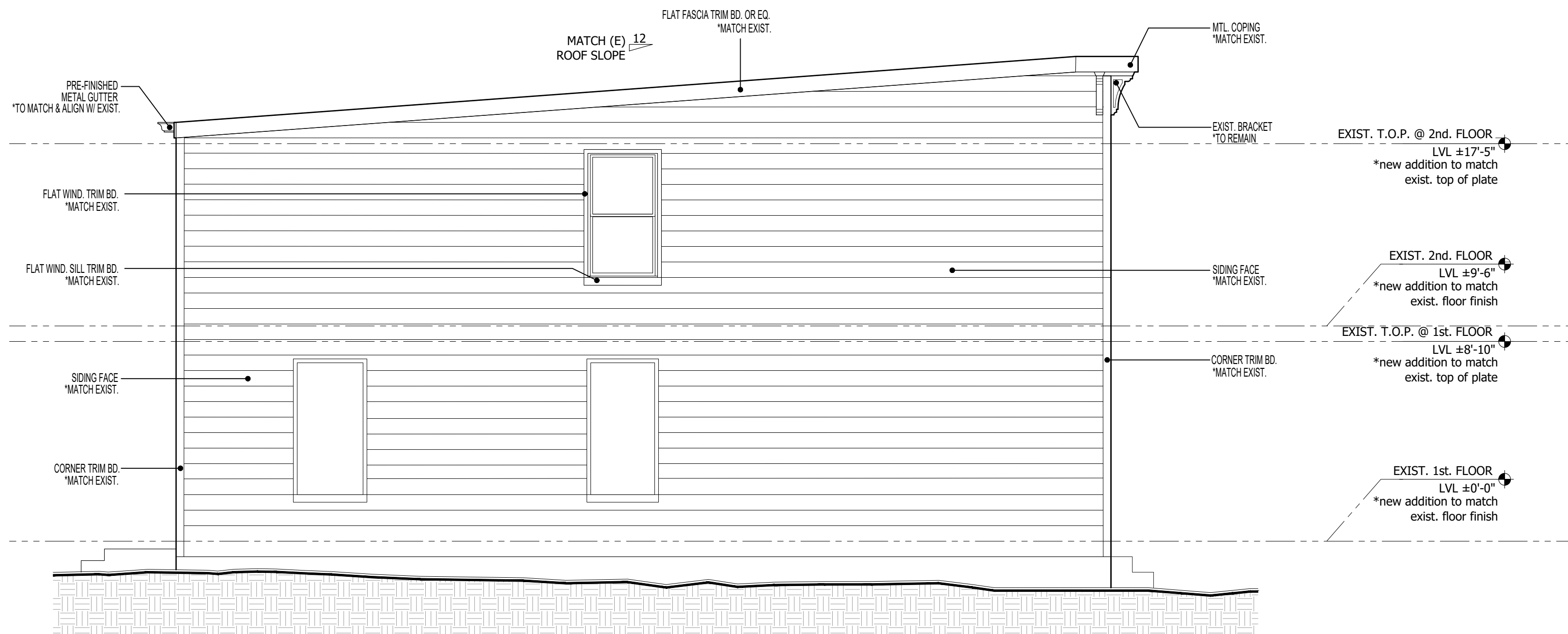
- There no recyclable material expected. All material is believed to be cinderblock for the walls and foundation and wood flooring



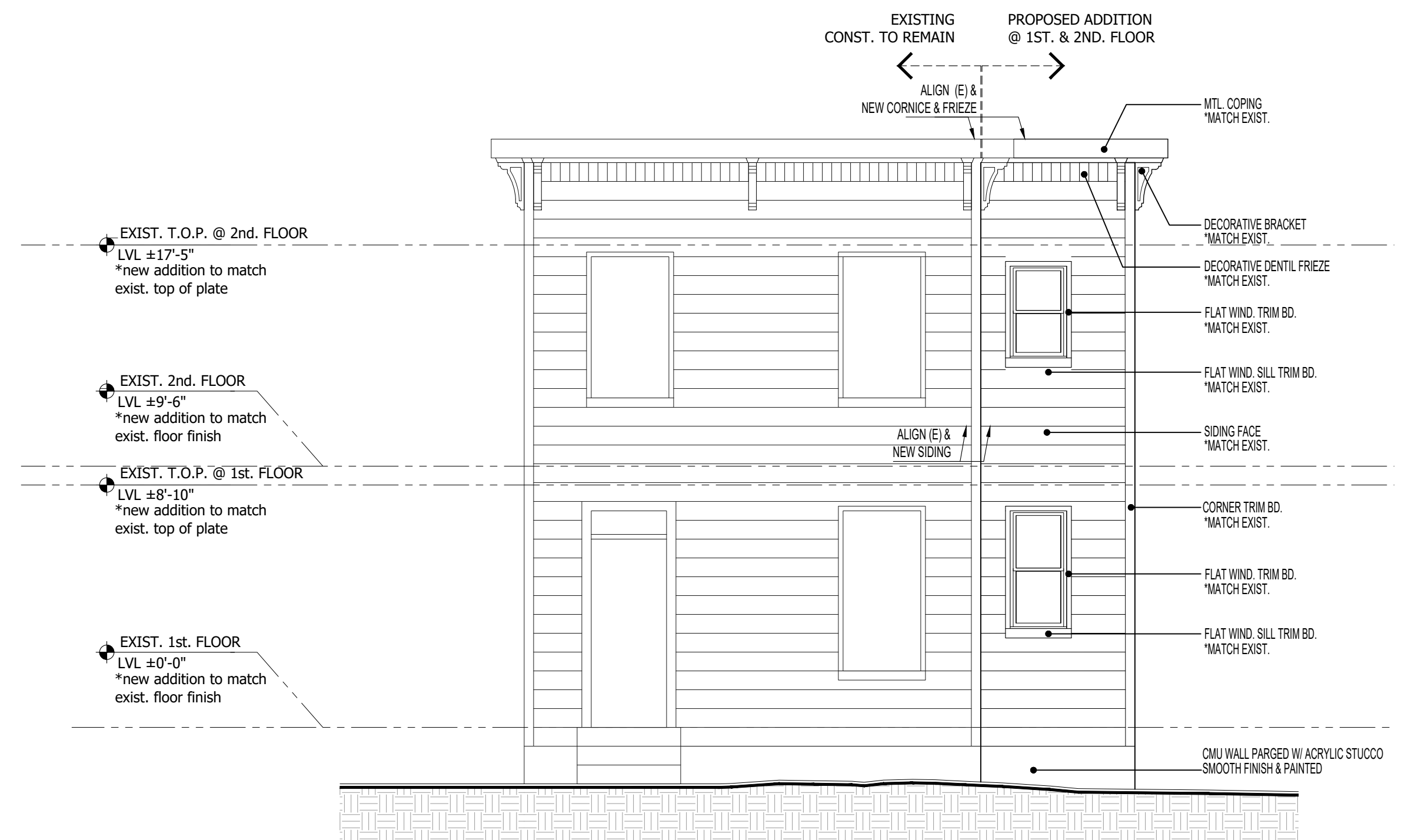
4 PROPOSED RIGHT SIDE ELEVATION  
A.05 SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION  
A.05 SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
A.05 SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
A.05 SCALE: 1/4" = 1'-0"

STAMP:

NOTES:

CONTRACTOR SHALL COORDINATE ALL WORK ON ALL SHEETS IN THE FIELD SHALL VERIFY EXISTING CONDITIONS AND NOTIFY TO THE DESIGNER OR STRUCTURAL ENGINEER IF ANY DIMENSIONAL OR INFORMATIONAL DISCREPANCIES WITH THE DRAWINGS MAY OCCUR PRIOR TO CONSTRUCTION. INSTALL ALL PRODUCTS AND ELEMENTS (PLUMB, FIXT., APPLIANCES, WIND, FINISHES ETC.) IN ACCORDANCE WITH APPLICABLE COUNTY CODES AND WRITTEN APPLICATION INSTRUCTIONS FROM MANUFACTURERS.

CONTRACTOR:

PROJECT NAME:  
510 N Patrick St. Alexandria, VA. 22314

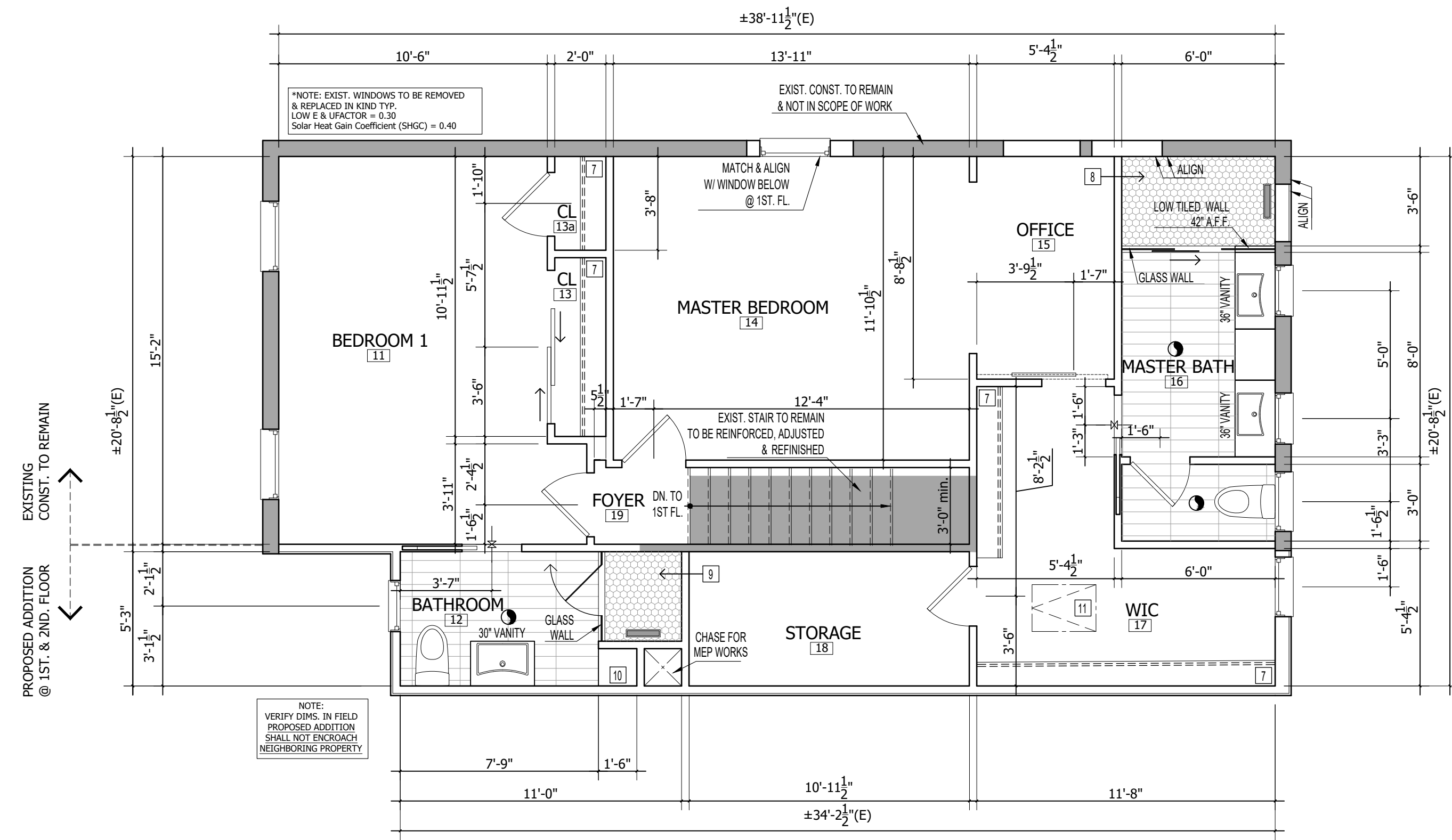
OWNER NAME:  
Lee McBride

SHEET NAME:  
ELEVATIONS

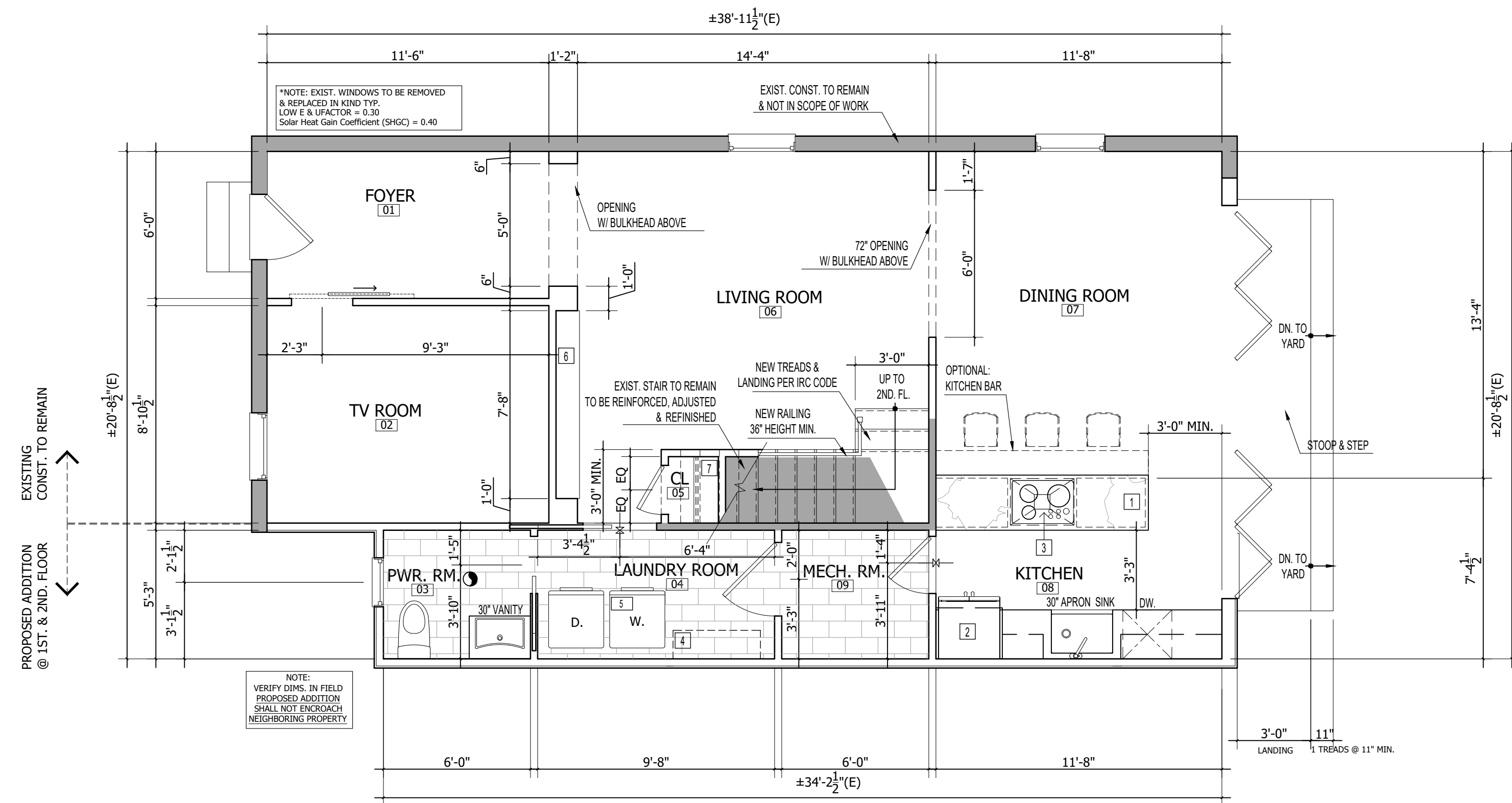
|             |                           |      |
|-------------|---------------------------|------|
| NO          | ISSUE/REVISION            | DATE |
| 00.00.00    |                           |      |
| FILE NAME:  | 510 N PATRICK ST. 046.dwg |      |
| DRAWN BY:   | ES/ROSS                   |      |
| CHECKED BY: | LM                        |      |
| PLOT DATE:  | 3/12/2025                 |      |

A.05





2 PROPOSED 2ND FLOOR PLAN  
A.01 SCALE: 1/4" = 1'-0"



**1 PROPOSED 1ST FLOOR PLAN**  
A.01 SCALE: 1/4" = 1'-0"

**NOTES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE TO THE LOCAL CODES & REGULATIONS CONSIDERED AS MINIMUM REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING & NOTIFY ANY DISCREPANCIES.
- SEE STRUCTURAL DRAWINGS & NOTIFY ANY DISCREPANCIES.
- ALL FLOOR PLANS DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- DOOR LOCATIONS NOT DIMENSIONED ARE TO MIDPOINT OF WALL SEGMENT, TYPICAL.

## TYPICAL NOTES

### TYPICAL KEY NOTES

- |                                                                                     |                                                                                                    |
|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|
|  | NEW WALL                                                                                           |
|  | ALIGNMENT INDICATOR                                                                                |
|  | FLOOR TRANSITION STRIP AT ALL FLOOR CHANGES                                                        |
|  | EXISTING CONSTRUCTION TO REMAIN & NOT IN CONTRACT                                                  |
|  | FLOOR LEVEL CHANGES                                                                                |
|  | KITCHEN ISLAND @36" AFF. W/ STONE C-TOP<br>W/ WATERFALL END PANEL                                  |
|  | 30" COUNTER DEPTH FRIDGE & FRIDGE DEPTH CABINETS BROSE                                             |
|  | 30" RANGE & OVER THE RANGE EXHAUST HOOD                                                            |
|  | FLOATING LINEN SHELVES @14" O.C. AT ALL REACH HEIGHTS                                              |
|  | WASHER & DRYER (-COORD. W/ OWNER)                                                                  |
|  | BUILT-IN NICHE W/ 12" BOOKSHELVES (-COORD. W/ OWNER)                                               |
|  | DOUBLE ROD & SHELF MOUNTED AT 3" x 4" & 6" AFF.<br>OR CLOSET ORGANIZER -COORD. W/ OWNER ON COT CL. |
|  | 72"x36" FRAMELESS GLASS SHOWER ENCLOSURE (GLASS WALL)<br>W/ 22" GLASS DOOR MIN. & LINER. DRAIN.    |
|  | 42"x36" FRAMELESS GLASS SHOWER ENCLOSURE (GLASS WALL)<br>W/ 22" GLASS DOOR MIN. & LINER. DRAIN.    |
|  | 18" LINEN SHELVES @14" O.C. AT ALL REACH HEIGHTS                                                   |
|  | 22"x30" ROOF ACCESS HATCH -COORD. W/ TRUSSES                                                       |

TYPICAL GENERAL NOTES

- ALL FLOOR PLANS DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
  - DOOR LOCATIONS NOT DIMENSIONED ARE TO MIDPOINT OF WALL SEGMENT, TYPICAL.
  - REPRESENT WINDOW TYPE  
SEE WINDOW SCHEDULE.
  - REPRESENT DOOR TYPE  
SEE DOOR SCHEDULE.
  - FINISHED CEILING HEIGHT 3'
- SEE SHEET FOR INFORMATION.
- EXHAUST FAN - VENTED TO OUTSIDE - 50 CFM/min. @ BATHROOM**
- Air Exhaust Openings**  
per IRC, SEC. M1503.1
- Air exhaust openings shall terminate not less than 3 feet (914 mm) from property lines, 3 feet (914 mm) from operable and nonoperable openings into the building and 10 feet (3048 mm) from mechanical exhaust stacks except where the opening is located 3 feet (914 mm) above the bar intake
- Section M1503 Range Hoods  
Range hood motors shall discharge to the outdoors through a duct. The duct serving the hood shall have a smooth interior surface. The hood shall be on the exterior wall of the building and shall be equipped with a back-draft damper and shall be independent of all other exhaust systems

**Air Exhaust Openings**  
per IRC SEC. M1506.3

Air exhaust openings shall terminate not less than 3 feet (914 mm) from property lines; 3 feet (914 mm) from operable and nonoperable openings into the building and 10 feet (3048 mm) from mechanical air intakes except where the opening is located 3 feet (914 mm) above the air intake

**Section M1503 Range Hoods**

Range hoods shall discharge to the outdoors through a duct. The discharging hood shall have a smooth interior surface, shall be air tight, shall be equipped with a back-draft damper and shall be independent of all other exhaust systems

STAMP:

NOTES:

-CONTRACTOR SHALL COORDINATE ALL WORK ON ALL SHEETS. IN THE FIELD SHALL VERIFY EXISTING CONDITIONS AND NOTIFY TO THE DESIGNER OR STRUCTURAL ENGINEER IF ANY DIMENSIONAL OR INFORMATIONAL DISCREPANCIES WITH THE DRAWINGS MAY OCCUR PRIOR TO CONSTRUCTION. -INSTALL ALL PRODUCTS AND ELEMENTS (PLUMB, FIXT., APPLIANCES, WIND, FINISHES ETC. IN ACCORDANCE WITH APPLICABLE COUNTY CODES AND WRITTEN APPLICATION INSTRUCTIONS FROM MANUFACTURERS.

CONTRACTOR:

PROJECT NAME: **ADDITION & INTERIOR ALTERATION TO A RESIDENCE**

PROJECT ADDRESS:  
510 N Patrick St. Alexandria, VA 22314

OWNER NAME: Lee McBride

**SHEET NAME:**

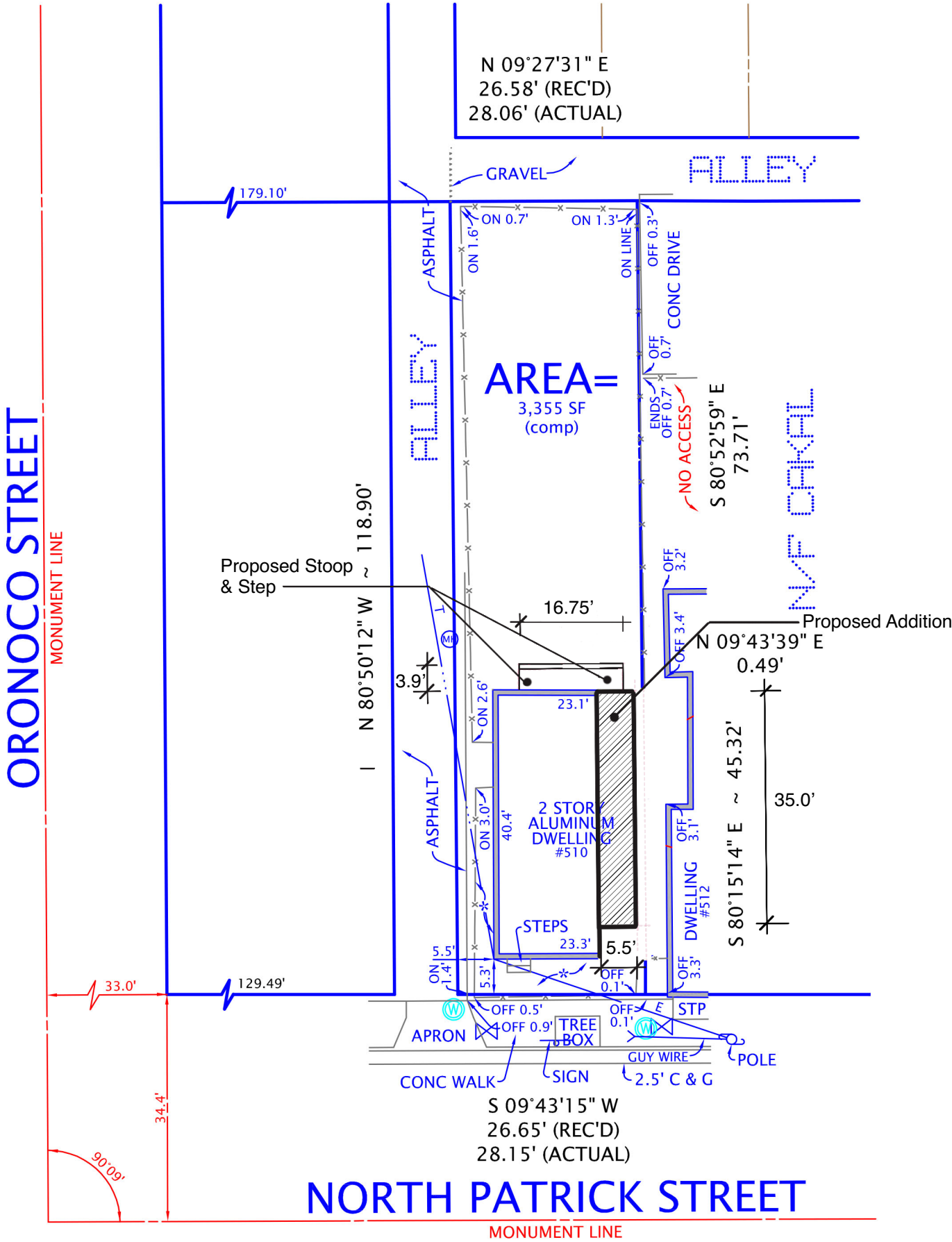
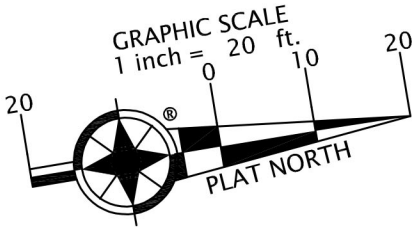
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|-------------|----------------|------------------------|
|             |                | 00.00                  |
| NO          | ISSUE/REVISION | DATE                   |
| PROJECT No: |                |                        |
| FILE NAME:  |                | 510 N PATRICK ST., BAY |
| DRAWN BY:   |                | ES/RO                  |
| CHECKED BY: |                | L                      |
| PLOT DATE:  |                | 3/12/2                 |

# A.01



NOTES: 1. FENCES ARE FRAME.



PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#510 NORTH PATRICK STREET**  
(DEED BOOK 317, PAGE 74)  
**CITY OF ALEXANDRIA, VIRGINIA**  
SCALE: 1" = 20'      DECEMBER 19, 2024

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD.  
  
A TITLE REPORT WAS NOT FURNISHED.  
  
NO CORNER MARKERS SET.



Ordered by:  
**CARDINAL**  
TITLE GROUP  
14291 Park Meadows Dr., Suite 400  
Chantilly, VA 20151  
Ph: 703-896-5005

**DOMINION** Surveyors  
Inc.®  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
www.dominionsurveyors.com



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

## A. Property Information

A1. 510 N Patrick St. Alexandria, VA 22134  
Street Address

RB  
Zone

A2. 3,355 x 0.75  
Total Lot Area Floor Area Ratio Allowed by Zone

= 2,516.25  
Maximum Allowable Floor Area

## B. Existing Gross Floor Area

### Existing Gross Area

Basement

First Floor 937.28

Second Floor 937.28

Third Floor

Attic

Porches

Balcony/Deck

Lavatory\*\*\*

Other\*\*

### Allowable Exclusions\*\*

Basement\*\*

Stairways\*\* 40.90

Mechanical\*\* 40.92

Attic less than 7'\*\*\*

Porches\*\*

Balcony/Deck\*\*

Lavatory\*\*\*

Other\*\*

Other\*\*

B1. 1,874.56 Sq. Ft.

Existing Gross Floor Area\*

B2. 81.82 Sq. Ft.

Allowable Floor Exclusions\*\*

B3. 1,792.74 Sq. Ft.

Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 1,874.56 B2. Total Exclusions 81.82

## C. Proposed Gross Floor Area

### Proposed Gross Area

Basement

First Floor 210

Second Floor 210

Third Floor

Attic

Porches

Balcony/Deck

Lavatory\*\*\*

Other

### Allowable Exclusions\*\*

Basement\*\*

Stairways\*\*

Mechanical\*\*

Attic less than 7'\*\*\*

Porches\*\*

Balcony/Deck\*\*

Lavatory\*\*\*

Other\*\*

Other\*\*

C1. 420 Sq. Ft.

Proposed Gross Floor Area\*

C2. 0 Sq. Ft.

Allowable Floor Exclusions\*\*

C3. 420 Sq. Ft.

Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. Total Gross 420 C2. Total Exclusions 0

## D. Total Floor Area

D1. 2,212.74 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

## E. Open Space

E1. 1,976 Sq. Ft.  
Existing Open Space

E2. 64 Sq. Ft.  
Required Open Space

E3. 1,976 Sq. Ft.  
Proposed Open Space

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

39

22 Aug 2025

Date: \_\_\_\_\_





**510 N. Patrick Street**  
Alexandria



510



- N Patrick Street – Camera looking west at house and neighbors





N Patrick Street – Camera looking north at houses opposite 510 N Patrick Street







The house is a detached two story.

Sometime, likely in the 1990s, a shotgun one story addition was added to the house, vinyl windows added, and most of the house encapsulated with aluminum siding.

A small part of the norther side, second story was left sided in faux brick tar paper that was likely added in the mid-1900s.

The shotgun extension was built over the property line and into the neighing property on the north side.











Faux brick asphalt siding was a popular siding choice in the 1930s and 1940s.





The north side of the building extends about 6 inches into the neighboring property.





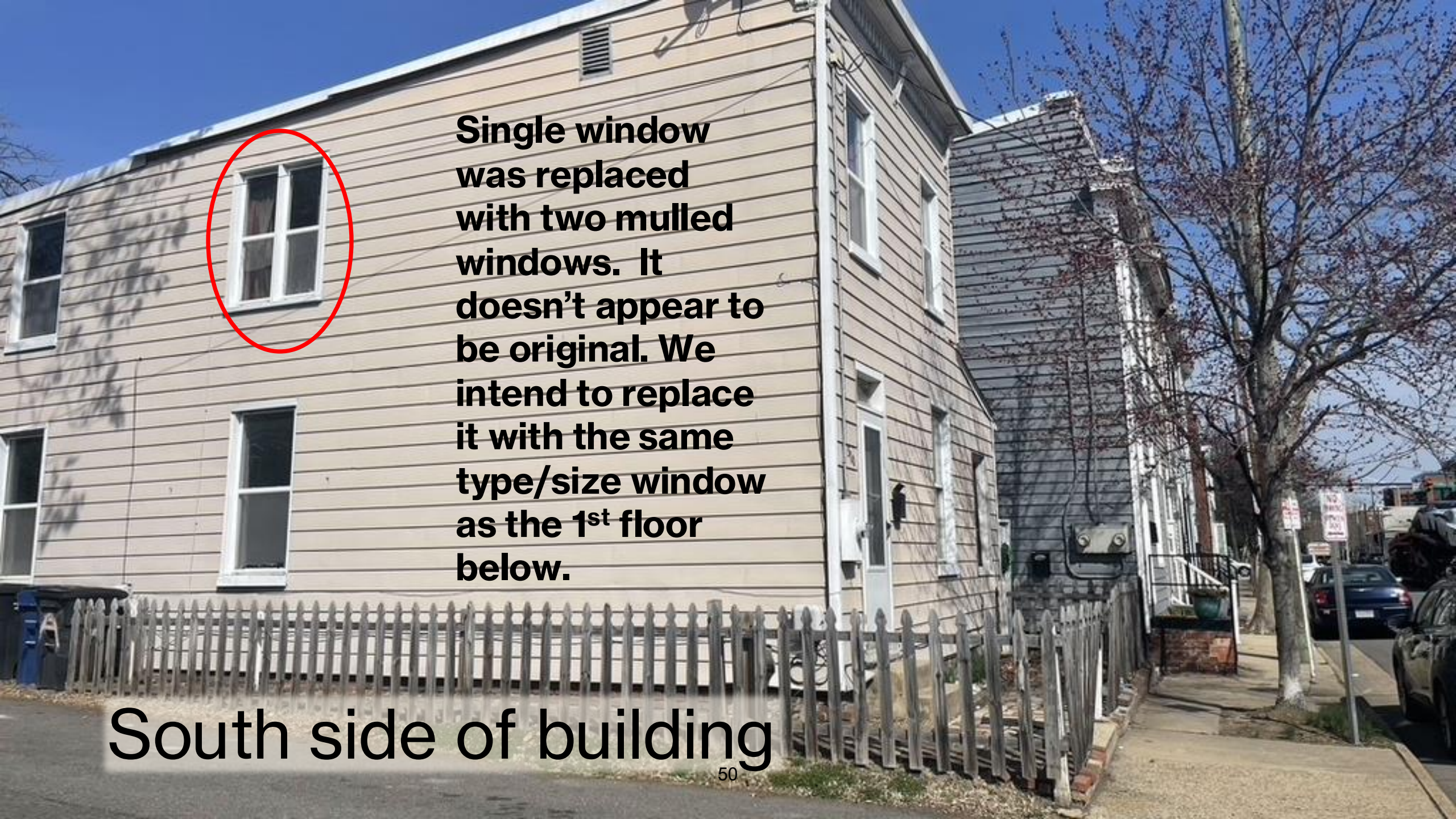
Current condition of the foundation around the original property





**Rear of the house. Taken from  
the backyard facing east.**





**Single window  
was replaced  
with two mulled  
windows. It  
doesn't appear to  
be original. We  
intend to replace  
it with the same  
type/size window  
as the 1<sup>st</sup> floor  
below.**

**South side of building**





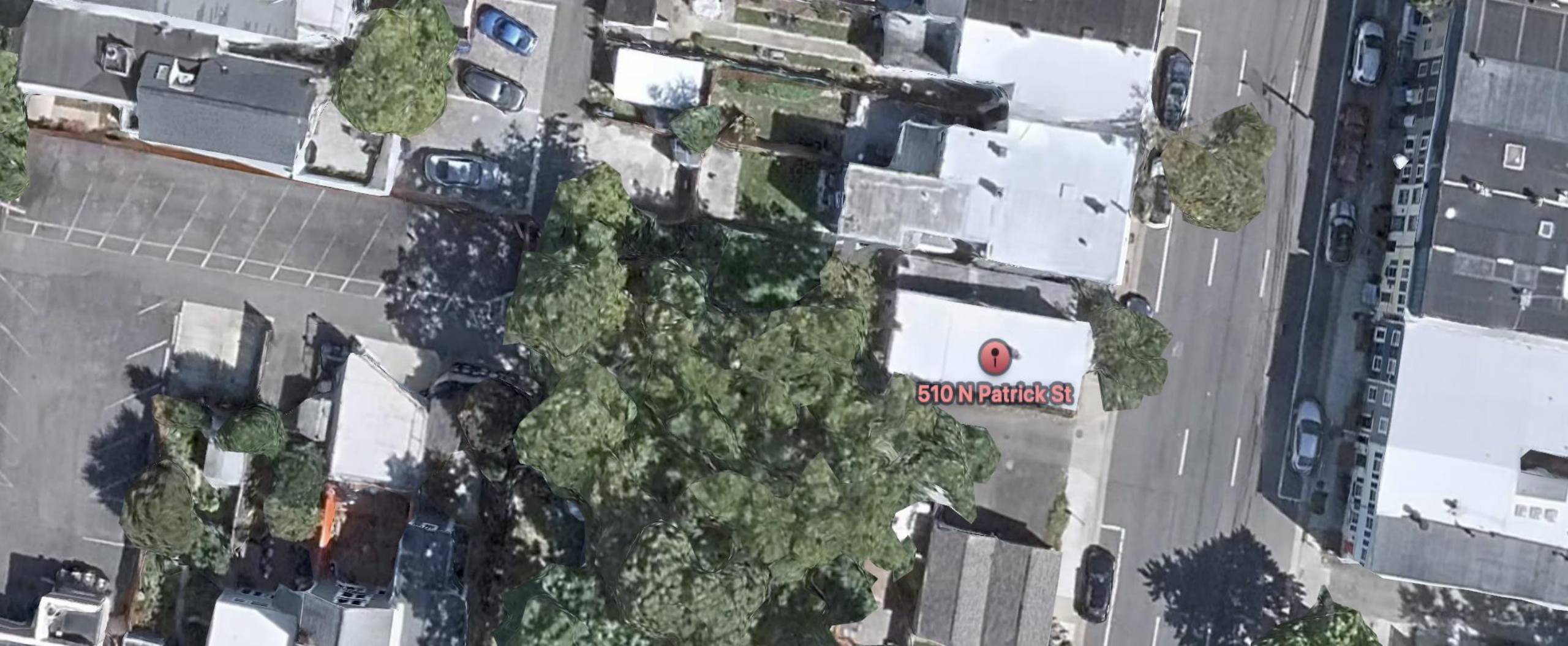
Existing siding removed down to original on side, near front of house.





Inside view of the siding on the south wall.  
The left side is the Dutch lap on the front of the house.  
The right <sup>52</sup>side is the clapboard an addition.





Current roof of the building. We will replace with a similar white covering made from TPO.

There are two old brick chimneys that are no longer used. These will be saved and used to hide vents.



# Pella® Reserve™

## Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- **Historical details**

Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.

- **Authentic hardware**

Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.

- **Architectural interest**

Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

- **Virtually unlimited customization**

If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.

- **Tailor-made solutions**

From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.

- **Intentional innovation**

Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.

- **Durable interiors and extruded aluminum exteriors**

To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.

- **ENERGY STAR® certified<sup>1</sup>**

Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

- **Best limited lifetime warranty<sup>2</sup>**

Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>2</sup>

Available in these window and patio door styles:



Special shape windows also available.



*Builders*  
® CHOICE

FULL LINE CATALOG

WOOD DOORS  
EXTERIOR & INTERIOR





# About OrePac



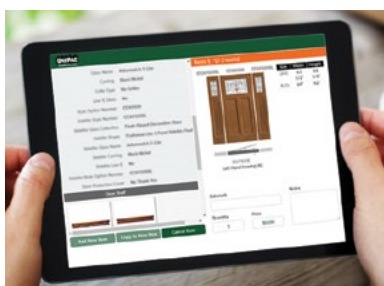
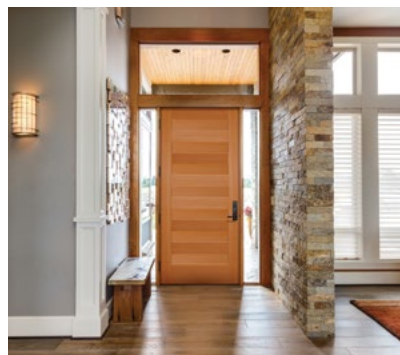
## OUR HISTORY

OrePac is a family-owned and operated business, founded by the Hart family in 1977. Through strong leadership and a commitment to success, the company has grown into one of the premier distributors in the building industry.

Trust, integrity, and a dedication to excellence are the values most important to OrePac. That commitment can be found in the services we offer, the quality of the products we provide, and the way we treat our employees and customers. This dedication to our markets has enabled us to make a positive impact on the shelter industry and the communities we serve.

## BUILDERS CHOICE DOORS

Our Builders Choice wood doors come in a wide assortment of species, sizes, and architectural styles to fit your needs. From standard looks to custom designs, our high-quality doors are produced with state-of-the-art machinery at the hands of expert craftsmen. Add curb appeal and value to your home by upgrading the look with a Builders Choice door.



## OREPAC MARKETPLACE

At OrePac, our goal is to Make Complicated Simple™. That's why we've created an industry-leading configurator to simplify the door ordering process for our dealers. Talk to your OrePac Sales Representative to find out more about this easy and time-saving tool.

## COMPLETE THE LOOK WITH BUILDERS CHOICE MOULDING

We are proud to offer a wide selection of moulding and millwork to complete your home project. Whether you're building a new home, remodeling, or simply updating a room, Builders Choice offers millwork for all professional and DIY applications. Browse our moulding and millwork catalogs to find moulding in architectural profiles and wood species that complement any style of home.



4130 | shown in fir







4020 1P | Flat



4082 | Flat



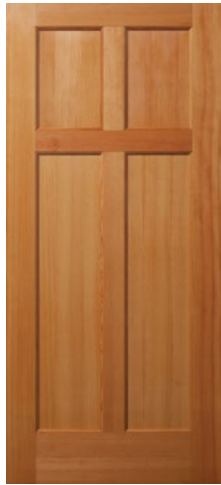
4030 | Flat



4033 | Flat



4582 | Flat



4040 | Flat



4044 | Raised



4085 | Flat



4055 | Flat



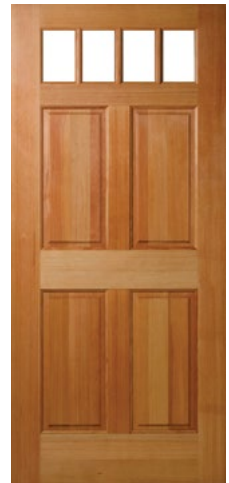
4055 | Raised



4130 | Raised



4132 | Raised



4134 | Raised

## **Ark Design Black-6 Panel Center Opening Outswing Double Tempered Glass Aluminum Folding Patio Door**

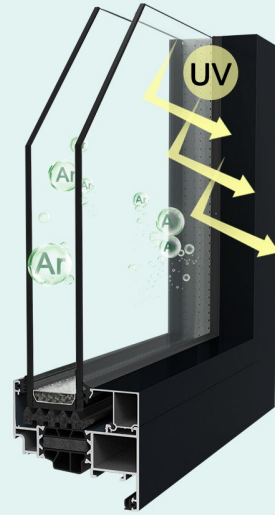
168 in. x 96 in. Right Swing/Outswing Double Tempered Glass Black Aluminum Folding Patio Door

<https://arkdesignhome.com/products/ark-design-black-6-panel-center-opening-outswing-double-tempered-glass-white-aluminum-folding-patio-door?variant=50694960906537>









## Tempered Glass Panel:

Features double-glazed tempered Low-E glass with argon filled in between, which blocks out heat, UV rays and IR rays, effectively saving energy and protecting household items from fading.

## Aluminum Frame:

- Light yet sturdy
- Rust/corrosion resistant
- Low maintenance
- 100% recyclable
- Thermal-break compatible



# Left swing? Right swing?

When you stand outdoors facing the patio door,  
if the door panels fold towards the left,  
it is a left swing door, vice versa.



**Left  
Swing**

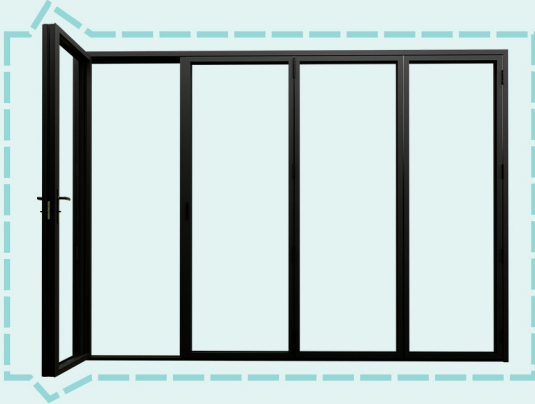
**Right  
Swing**



# Multiple Operational Configurations

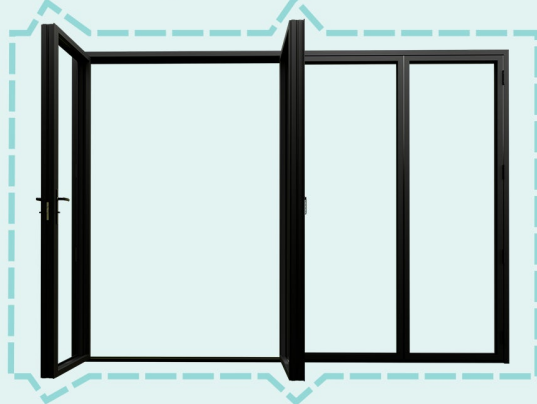
- **Single Door Style**

Only Swing Door Active



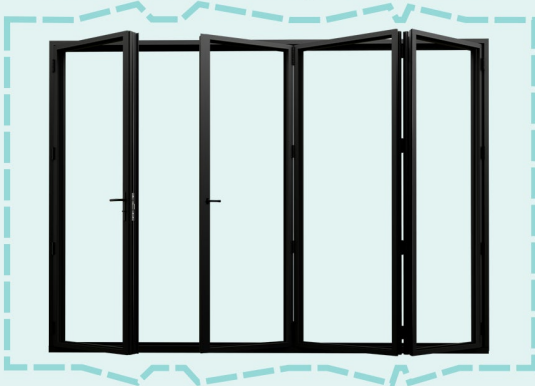
- **French Door Style**

Only Swing Door & 1st Folding Door Active



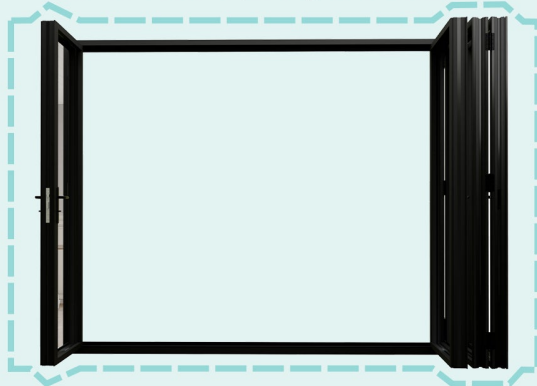
- **Partial Open**

All Doors Active & Stop at Any Position



- **Full Opening**

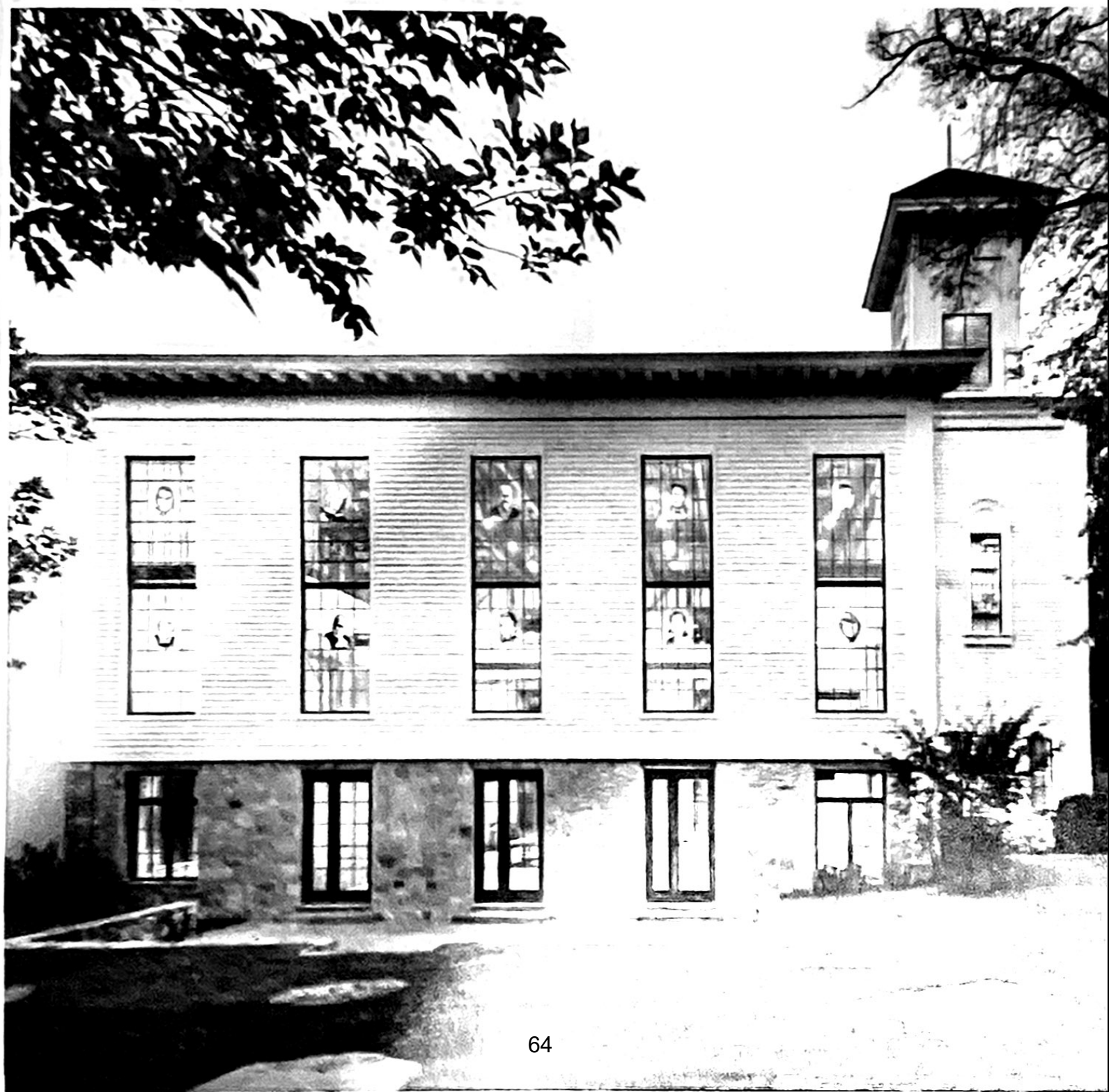
Provide 80%+ Opening to Outdoor





MARVIN®

# HISTORIC SOLUTIONS FOR WINDOWS & DOORS

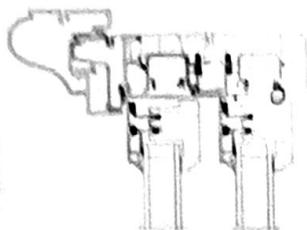


## DOUBLE HUNG 62 CASING OPTIONS

AT MARVIN, WE TAKE PRIDE IN REPLICATING THE SMALLEST DETAIL TO ENSURE HISTORIC ACCURACY.

With the Marvin Double Hung 62 Historic Casing Option, projects benefit from improved mass and proportionality of the upper sash and casing, along with reduced shadow lines for a truly historically accurate result. When replicated with a traditional historic wood double hung casing and blind stop profiles are accurately over-molded. This attention to detail allows the sash and glass to remain in the same plane, maintaining the traditional character of the edge of glass and the masonry opening.

Marvin Casing Options are available as well as custom casing profiling capabilities to match existing interior details.



MARVIN ULTIMATE DOUBLE HUNG 62 HISTORIC CASING OPTION



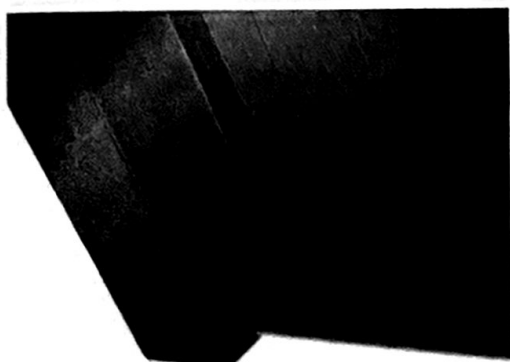
TRADITIONAL HISTORIC WOOD DOUBLE HUNG



NO. 7 TRADITIONAL BLACK MARVIN HISTORIC CASING OPTION



EXTENDED SASH LONG SHOWN IN QUINCY, ILLINOIS PROJECT



MODERN PROFILE CASING SHOWN IN QUINCY, ILLINOIS PROJECT



## EXTERIOR CASINGS + SUBILLS

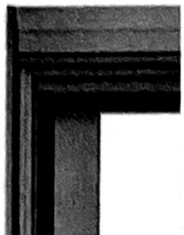
Adding Warmood or wood casings and subills provides great architectural details to any project. We offer numerous of wood and casing options that have the can be customized to match existing profiles. Our casings are made of ultra-durable extruded aluminum, which features an extremely durable factory finish that resists staining, peeling, corrosion and warping, and is backed by a 20-year warranty against color and fade. Meets AAMA 2605 requirements.



WOOD MOULD CASING  
WITH ALUM SUBILL



PLATE CASING  
WITH ALUM SUBILL



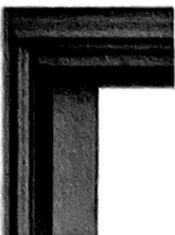
COLLARED CASING  
WITH ALUM SUBILL



WOOD MOULD CASING  
WITH ALUM SUBILL



PLATE CASING  
WITH ALUM SUBILL



COLLARED CASING  
WITH ALUM SUBILL



WOOD MOULD CASING  
WITH ALUM SUBILL

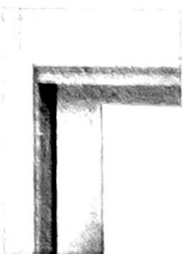


PLATE CASING  
WITH ALUM SUBILL



COLLARED CASING  
WITH ALUM SUBILL

