

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Properties Reimagined. LLC

LOCATION: Parker-Gray District
400 N Fayette Street

ZONE: Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, with the condition that the applicant paints or stains the deck to complement the predominant color of the building or trim.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR2024-00225) and Certificate of Appropriateness (BAR2024-00224) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enclose two windows, demolish existing sunroom, extend the existing deck and convert a window into a door, as well as alterations, at 400 North Fayette Street.



Photo 1: View of subject property from Princess St.

Site context

The alley to the west, behind the subject property, is public. The proposed alterations will be visible from the right-of-way.

II. HISTORY

The two-story, three-bay, Colonial Revival brick rowhouse and rear porch was constructed by **1941** based on *Sanborn Fire Insurance Maps*.

Previous BAR Approvals

No previous approvals.

III. ANALYSIS

Permit to Demolish/Capsulate

The Board shall consider any or all of the following criteria set forth in the Zoning Ordinance, Section 10-205 (B) in determining whether or not to grant a permit to move, remove, capsulate or demolish in whole or in part a building or structure within the Parker-Gray District. The Board has purview over the proposed demolition/capsulation regardless of visibility,

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

The analysis of the standards indicated above relate only to the portions of the wall area and enclosed porch proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Staff has no objection to the proposed alterations. The *Design Guidelines* state that windows and doors are character defining architectural features. The proposed reconfiguration of the existing windows and doors on the west elevation are architecturally appropriate and compatible with the

remaining windows on the second-story. Staff notes that based on the *Parker-Gray Residential Reference Guide (RRG)* the material of the windows can be any material, without tinted or reflective glass. The new door can also be any material per the *Parker-Gray RRG*.

The *Design Guidelines* states that decks should not hide, obscure or cause the removal of historic architectural details. The proposed wood deck extension with 36” railing has a simple design that compliments the rowhouse. Decks constructed of unpainted pressure treated wood are discouraged in the historic district, so staff recommends the applicant paint or stain the deck to complement the predominant color of the building or trim.

With the conditions above, staff recommends approval of the project.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed conversion of existing porch into an open deck will comply with zoning.

C-2 Not approved for an expansion of the footprint beyond the existing footprint.

Code Administration

A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria’s Solid Waste Control, Title 5,

- Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeological oversight is required for this project.

V. ATTACHMENTS

1 – Application Materials

- *Completed application*
- *Plans*
- *Material specifications*
- *Scaled survey plat if applicable*
- *Photographs*

BAR CASE#

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 400 N. Fayette Street Alexandria VA 22314

DISTRICT: ☐ Old & Historic Alexandria ☒ Parker - Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 064.01-07-26 ZONING: RB

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Properties Reimagined LLC (Elizabeth Kianianthra)

Address: 43022 Waters Overlook Court

City: Leesburg State: VA Zip: 20176

Phone: 571-235-2178 E-mail: Elizabethkianianthra@yahoo.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Contractor

Name: Rick Ingavo

Phone: 814-241-0903

E-mail: rick@tnplepeakconstruction.com

Legal Property Owner:

Name: Properties Reimagined LLC (Elizabeth Kianianthra)

Address: 43022 Waters Overlook Court

City: Leesburg State: VA Zip: 20176

Phone: 571-235-2178 E-mail: Elizabethkianianthra@yahoo.com

BAR CASE# _____

(OFFICE USE ONLY)

NATURE OF PROPOSED WORK: Please check all that apply

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: Please check all that apply
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Close-in two windows with framing and brick and paint to match the existing house.

Alter one existing window.

Demo the existing sunroom down to the existing concrete deck and extend the deck with a wood framed deck.

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR CASE# _____

(OFFICE USE ONLY)

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: N/A Secondary front (if corner lot): N/A
- ☐ ☒ Square feet of existing signs to remain: N/A
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR CASE# _____

(OFFICE USE ONLY)

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Properties Reimagined LLC Elizabeth Kanianthra

Printed Name: Properties Reimagined LLC (Elizabeth Kanianthra)

Date: 06/21/2023

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Properties Reimagined LL	43022 Waters Overlook Court Leesburg VA 20176	100%
2. (Elizabeth Kianthra)		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 400 N. Fayette Street Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Properties Reimagined LL	43022 Waters Overlook Court Leesburg VA 20176	100%
2. (Elizabeth Kianthra)		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

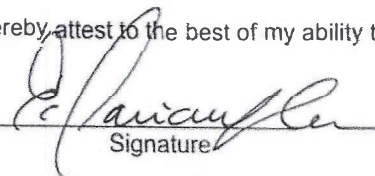
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/2/2024
Date

Elizabeth Kianthra
Printed Name


Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 400 N. Fayette Street Alexandria VA 22314
Street Address

RB
Zone

A2. 3,070.00 x 0.75 = 2,302.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 506.60
First Floor 506.60
Second Floor 506.60
Third Floor
Attic 506.60
Porches
Balcony/Deck
Garage
Other***

Allowable Exclusions**

Basement**
Stairways** 90.00
Mechanical** 9.00
Attic less than 7'*** 506.60
Porches** 24.00
Balcony/Deck**
Garage**
Other***
Other***

B1. 2,026.40 Sq. Ft.
Existing Gross Floor Area*
B2. 629.60 Sq. Ft.
Allowable Floor Exclusions**
B3. 1,396.80 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 2,026.40 B2. Total Exclusions 629.60

C. Proposed Gross Floor Area

Proposed Gross Area

Basement
First Floor
Second Floor
Third Floor
Attic
Porches
Balcony/Deck 119.00
Garage
Other***

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7'***
Porches**
Balcony/Deck** 119.00
Garage**
Other***
Other***

C1. 119.00 Sq. Ft.
Proposed Gross Floor Area*
C2. 119.00 Sq. Ft.
Allowable Floor Exclusions**
C3. 0.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 119.00 C2. Total Exclusions 119.00

D. Total Floor Area

D1. 1,396.80 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 2,302.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 2,433.00 Sq. Ft.
Existing Open Space
E2. 800.00 Sq. Ft.
Required Open Space
E3. 2,402.00 Sq. Ft.
Proposed Open Space

Notes

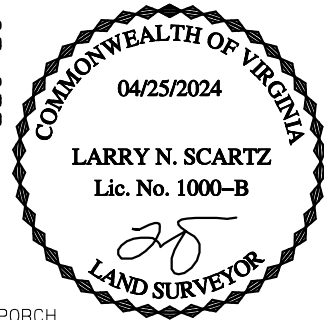
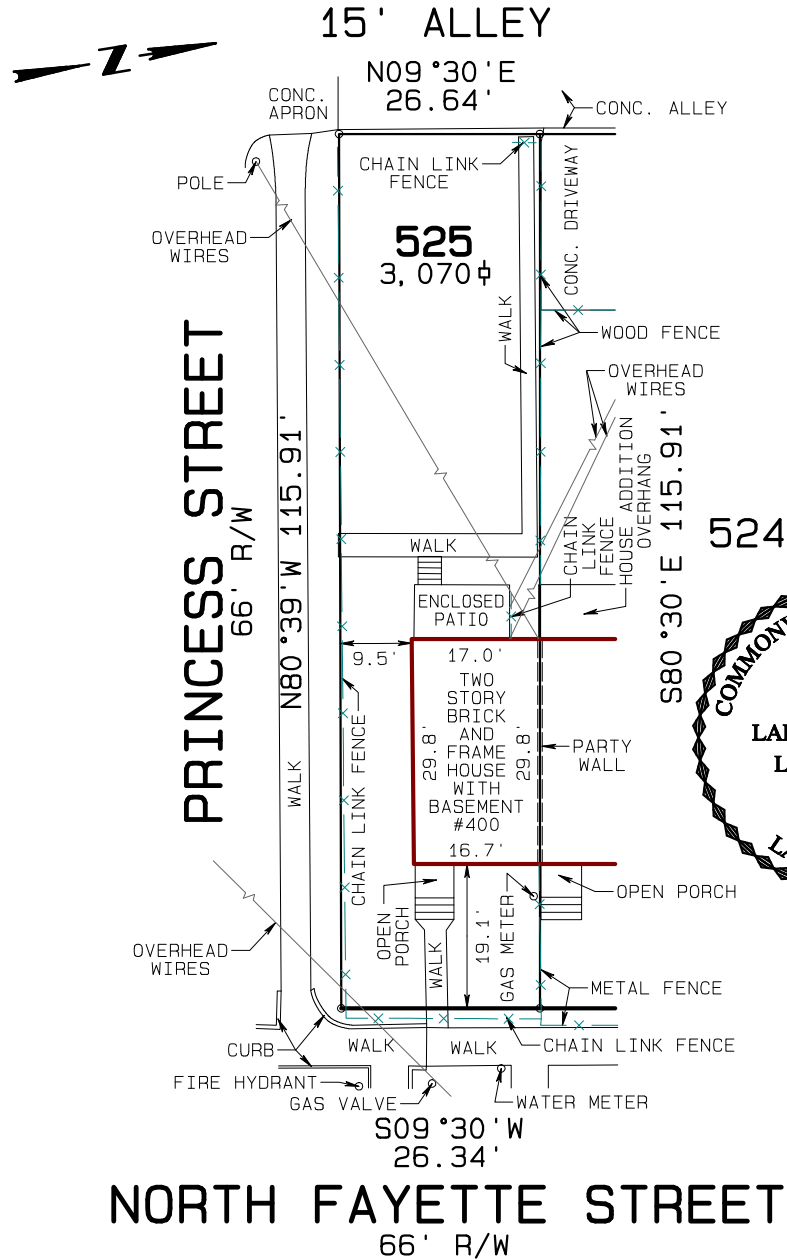
*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: 6-2-24



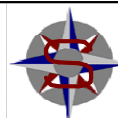
CASE NAME: PROPERTIES REIMAGINED LLC

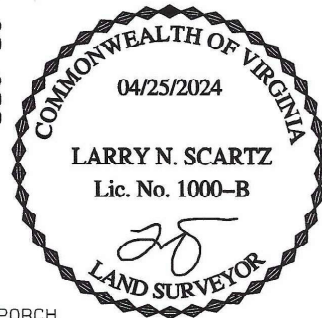
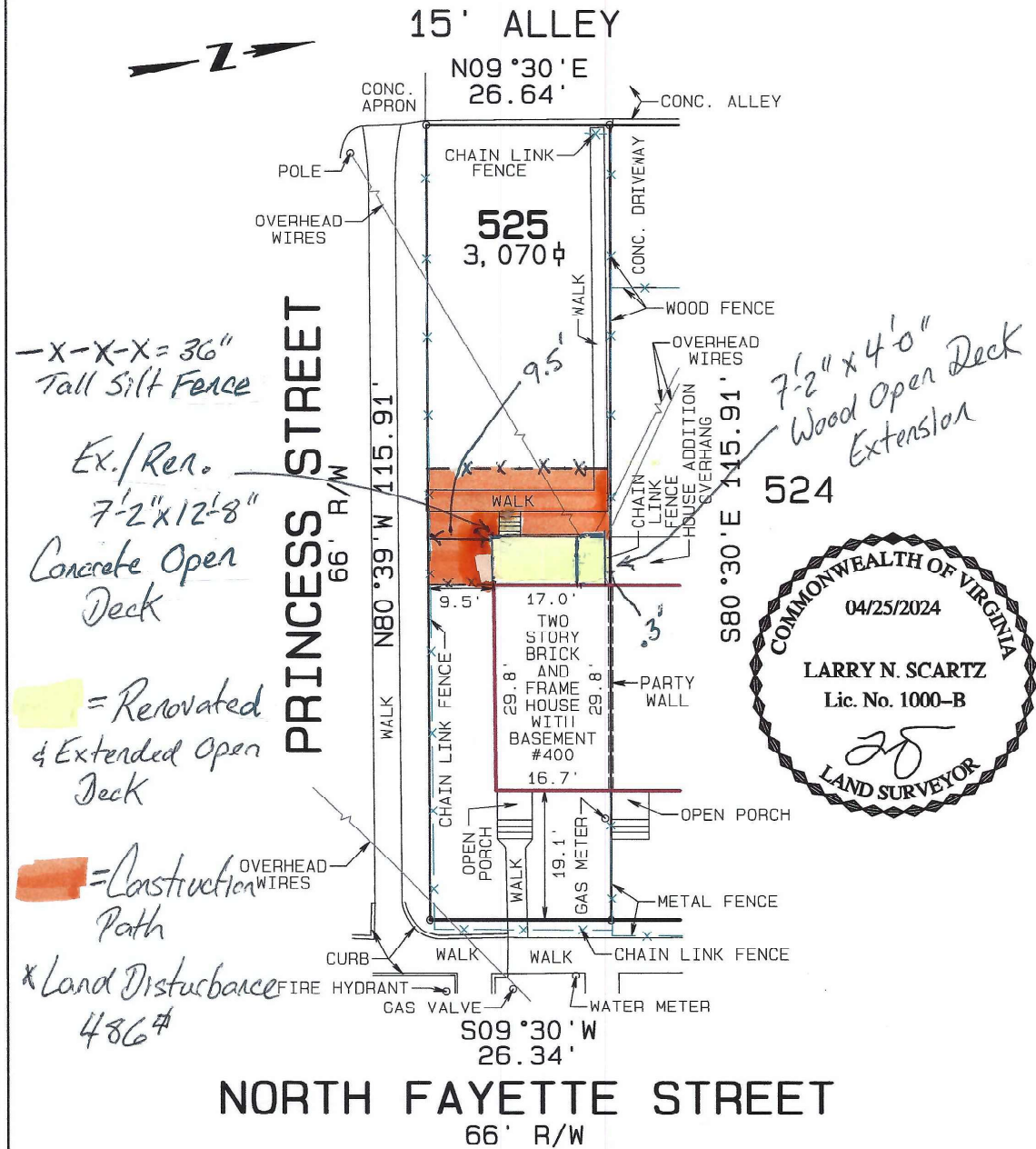
NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBIDGE, VIRGINIA

LOCAL (703) 494-4181
FAX (703) 494-3330
LARRY.SCARTZ@SCARTZ.COM





PHYSICAL IMPROVEMENTS SURVEY
LOT 525, THE SQUARE BOUNDED BY
**PAYNE, ORONOCO, FAYETTE,
AND PRINCESS STREET**

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20' DATE: APRIL 25, 2024

CASE NAME: PROPERTIES REIMAGINED LLC

NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ LOCAL (703) 494-4181
CERTIFIED LAND SURVEYOR FAX (703) 494-3330
WOODBIDGE, VIRGINIA LARRY.SCARTZ@SCARTZ.COM





**CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF CODE ADMINISTRATION**

301 King Street, Room 4200, Alexandria, VA 22314
703.746.4357 alexandriava.gov/Code

ASBESTOS INSPECTION and ABATEMENT CERTIFICATION

Effective July 1, 1993, the Virginia Uniform Statewide Building code requires all buildings constructed before 1985 that are to be renovated or demolished be inspected for the presence of asbestos-containing materials with appropriate response actions undertaken, subject to exemptions. The following form is to be completed by all applicants for Building Permits for renovations, alterations, repairs, or demolition. A completed form will contain one of the areas checked below and must be signed by the owner or authorized owner's agent to be a part of the building permit application.

I Schuyler Ahrens certify that the construction project located at
(Printed name of building owner or Agent)
400 N. Fayette Street Alexandria VA 22314
(Building address, including floor, room and/or suite number)

I claim the following exemption as it relates to this project:

- ☒ The above building is a single family dwelling, or is a residential housing building containing four or fewer units, and is exempt from asbestos inspection requirements. **NOTE: This exemption does not apply if the proposed renovation or demolition is for commercial or public development purposes;** or
- ☐ The combined amount of regulated asbestos-containing material involved in the renovation or demolition is less than 260 linear feet on pipes, or less than 160 square feet on other facility components, or less than 35 cubic feet off facility components where length or area could not be measured previously, and is exempt from asbestos inspection requirements.
- ☐ This building is exempt from asbestos certification requirements as the original building permit was issued after January 1, 1985.

If the building permit application is for repair or replacement of roofing, floor covering, or siding materials and the use is not a school, the asbestos inspection requirements may be satisfied by checking one of the following:

- ☐ The materials to be repaired or replaced are assumed to contain asbestos and that appropriate response actions will be accomplished by a licensed asbestos contractor or a licensed RFS contractor; or
- ☐ An inspection of the materials to be removed was accomplished by an RFS inspector and analysis of the sample showed no asbestos to be present.

If none of the above applies, one of the remaining must be checked to complete this form:

- ☐ The affected area of the above building to be renovated or demolished has been inspected for the presence of asbestos by an individual licensed to perform such inspections and that no asbestos-containing materials were found; or
- ☐ Asbestos-containing materials in the affected areas of the above building to be renovated or demolished will be subject to appropriate response actions in accordance with all applicable laws related to asbestos abatement in accordance with §36-99.7,

I further certify that the abatement area will not be re-occupied until any required response actions have been completed and final clearances have been measured. By requesting a final in section for this permit, I certify that the final clearance levels for re-occupancy of the abatement area shall be 0.01 or fewer asbestos fibers per cubic centimeter if determined by Phase Contrast Microscopy analysis (PCM) or 70 or fewer structures per square millimeter if determined by Transmission Electron Microscopy analysis (TEM).

Schuyler Ahrens
SIGNATURE OF OWNER OR OWNER'S AGENT

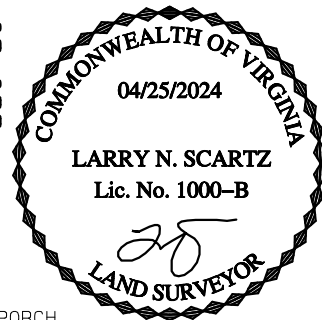
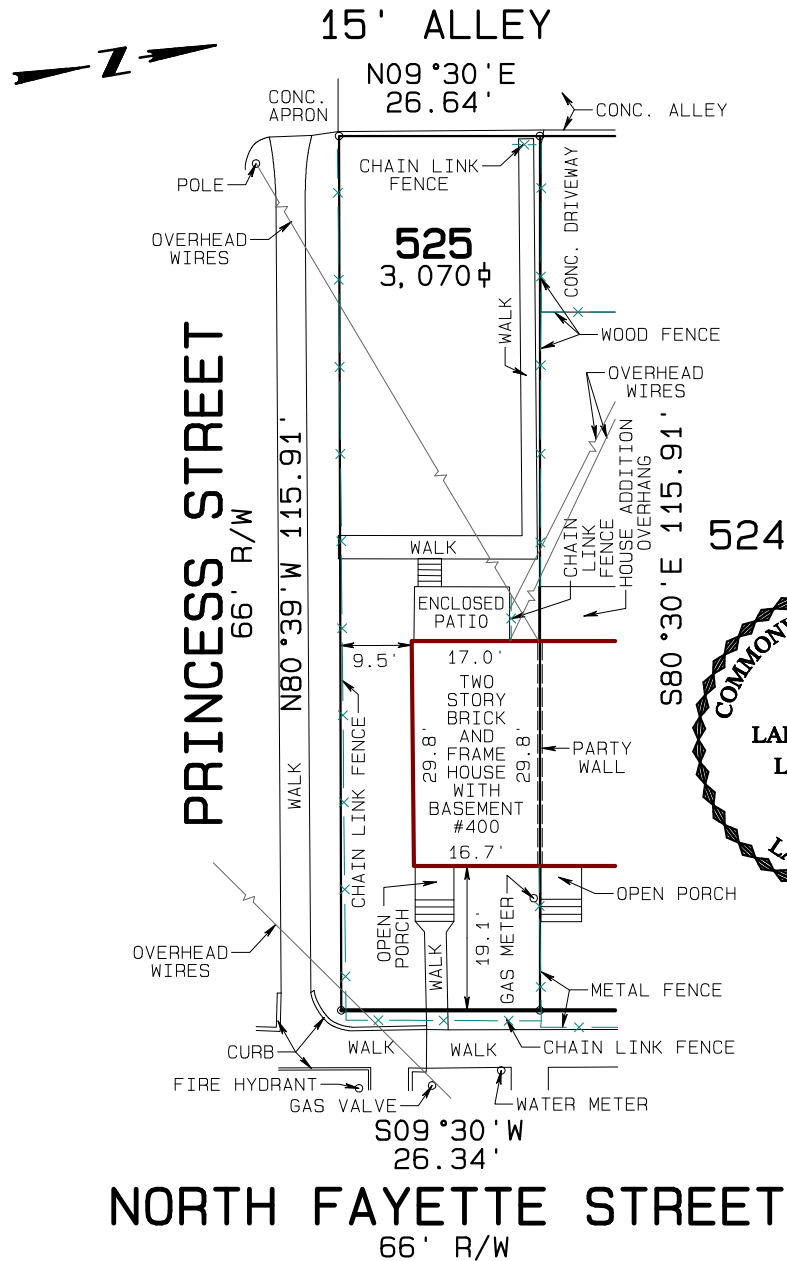
5-7-24
DATE

Office Use Only:

Permit Number: _____

Date Received: _____

COPYRIGHT SCARTZ SURVEYS - THIS IS A SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED.
THIS SURVEY WAS PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN VIRGINIA CODE SECTION 54.1-407.



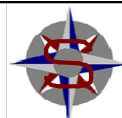
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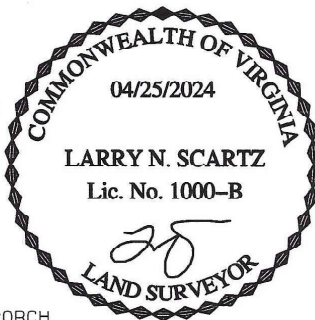
NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBIDGE, VIRGINIA

LOCAL (703) 494-4181
FAX (703) 494-3330
LARRY.SCARTZ@SCARTZ.COM





Disturbed Area Certification:

I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

Drainage Certification:

I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

*MAXIMUM LAND DISTURBANCE- 486sqft

*Owner Name: Properties Reimagined LLC - Elizabeth Karanthra

*Address: 400 N. Fayette Street Alexandria VA 22314

*Signature: E. Karanthra

*Date: 5/8/2024

*Title: Owner

*Phone Number: 571-235-2178

Project:

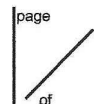
Location: 400 N. Fayette Street- Kitchen Beam
Uniformly Loaded Floor Beam

(3) 1.75 IN x 11.875 IN x 15.0 FT
Versa-Lam 3100 Fb - Boise Cascade
Section Adequate By: 60.0%
Controlling Factor: Deflection



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**CAUTIONS**

* Laminations are to be fully connected to provide uniform transfer of loads to all members

DEFLECTIONS

Center

Live Load 0.28 IN L/643

Dead Load 0.19 in

Total Load 0.47 IN L/384

Live Load Deflection Criteria: L/360 Total Load Deflection Criteria: L/240

REACTIONS

A

B

Live Load 2700 lb 2700 lb

Dead Load 1824 lb 1824 lb

Total Load 4524 lb 4524 lb

Bearing Length 1.15 in 1.15 in

BEAM DATA

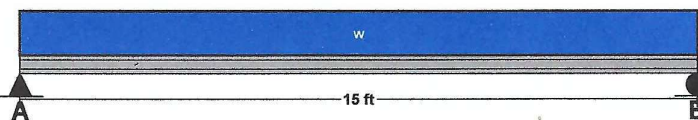
Center

Span Length 15 ft

Unbraced Length-Top 0 ft

Floor Duration Factor 1.00

Notch Depth 0.00

LOADING DIAGRAM**FLOOR LOADING**

		Side 1	Side 2
Floor Live Load	FLL =	40 psf	40 psf
Floor Dead Load	FDL =	15 psf	15 psf
Floor Tributary Width	FTW =	4 ft	5 ft
Wall Load	WALL =	90 plf	

BEAM LOADING

Beam Total Live Load:	wL =	360 plf
Beam Total Dead Load:	wD =	225 plf
Beam Self Weight:	BSW =	18 plf
Total Maximum Load:	wT =	603 plf

MATERIAL PROPERTIES

Versa-Lam 3100 Fb - Boise Cascade

	Base Values	Adjusted
Bending Stress:	Fb = 3100 psi Cd=1.00 CF=1.00	Fb' = 3104 psi
Shear Stress:	Fv = 285 psi Cd=1.00	Fv' = 285 psi
Modulus of Elasticity:	E = 2000 ksi	E' = 2000 ksi
Comp. \perp to Grain:	Fc \perp = 750 psi	Fc \perp ' = 750 psi

Controlling Moment: 16965 ft-lb

7.5 ft from left support

Created by combining all dead and live loads.

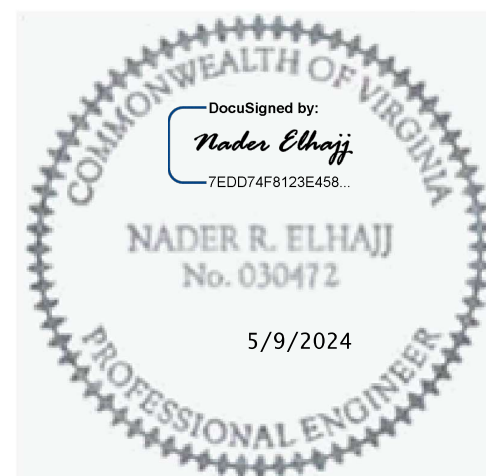
Controlling Shear: 4524 lb

At support.

Created by combining all dead and live loads.

Comparisons with required sections:

	Req'd	Provided
Section Modulus:	65.59 in ³	123.39 in ³
Area (Shear):	23.81 in ²	62.34 in ²
Moment of Inertia (deflection):	457.97 in ⁴	732.62 in ⁴
Moment:	16965 ft-lb	31913 ft-lb
Shear:	4524 lb	11845 lb



Project:

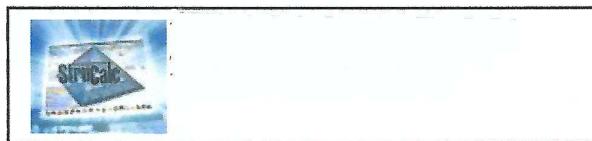
Location: 400 N. Fayette Street- Living Room Beam
Combination Roof And Floor Beam

(2) 1.75 IN x 11.25 IN x 9.0 FT

Versa-Lam 3100 Fb - Boise Cascade

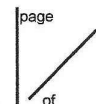
Section Adequate By: 82.2%

Controlling Factor: Shear



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**CAUTIONS**

* Laminations are to be fully connected to provide uniform transfer of loads to all members

DEFLECTIONS

Center

Live Load 0.10 IN L/1085

Dead Load 0.09 in

Total Load 0.19 IN L/579

Live Load Deflection Criteria: L/360 Total Load Deflection Criteria: L/240

REACTIONS

A

B

Live Load 2520 lb 2520 lb

Dead Load 2202 lb 2202 lb

Total Load 4722 lb 4722 lb

Bearing Length 1.80 in 1.80 in

BEAM DATA

Center

Span Length 9 ft

Unbraced Length-Top 0 ft

Roof Pitch 6 :12

Floor Duration Factor 1.00

Roof Duration Factor 1.15

Notch Depth 0.00

MATERIAL PROPERTIES

Versa-Lam 3100 Fb - Boise Cascade

Base Values

Adjusted

Bending Stress: Fb = 3100 psi Fb' = 3591 psi

Cd=1.15 CF=1.01

Shear Stress: Fv = 285 psi Fv' = 328 psi

Cd=1.15

Modulus of Elasticity: E = 2000 ksi E' = 2000 ksi

Comp. \perp to Grain: Fc - \perp = 750 psi Fc - \perp ' = 750 psi

Controlling Moment: 10624 ft-lb

4.5 ft from left support

Created by combining all dead and live loads.

Controlling Shear: 4722 lb

At support.

Created by combining all dead and live loads.

Comparisons with required sections:

Req'd

Provided

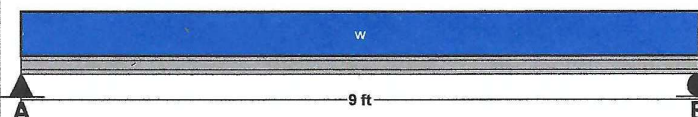
Section Modulus: 35.5 in3 73.83 in3

Area (Shear): 21.61 in2 39.38 in2

Moment of Inertia (deflection): 172.08 in4 415.28 in4

Moment: 10624 ft-lb 22091 ft-lb

Shear: 4722 lb 8603 lb

LOADING DIAGRAM**ROOF LOADING**

Side 1

Side 2

Roof Live Load RLL = 30 psf 30 psf

Roof Dead Load RDL = 20 psf 20 psf

Roof Tributary Width RTW = 8 ft 8 ft

FLOOR LOADING

Side 1

Side 2

Floor Live Load FLL = 40 psf 40 psf

Floor Dead Load FDL = 15 psf 15 psf

Floor Tributary Width FTW = 1 ft 1 ft

Wall Load

WALL = 90 plf

BEAM LOADING

Roof Uniform Live Load: wL-roof = 480 plf

Roof Uniform Dead Load: wD-roof = 358 plf

Floor Uniform Live Load: wL-floor = 80 plf

Floor Uniform Dead Load: wD-floor = 30 plf

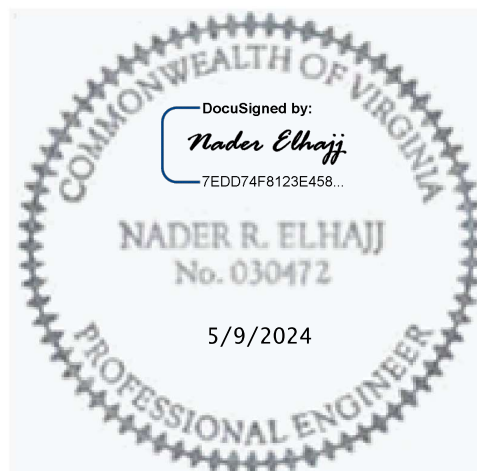
Beam Self Weight: BSW = 11 plf

Combined Uniform Live Load: wL = 560 plf

Combined Uniform Dead Load: wD = 489 plf

Combined Uniform Total Load: wT = 1049 plf

Controlling Total Design Load: wT-cont = 1049 plf



1. DESIGN LOADS

USE	LL(p.s.f.)	DL(p.s.f.)
FLOOR	40	10
SLEEPING ROOMS	30	10
DECKS	40	10

2. LATERAL LOADS

- WIND 115 Miles Per Hour

3. SOIL VALUE

- ASSUMED TO BE 1500 PSF BEARING CAPACITY.
- WATER TABLE: MIN. 2'-0" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS.
- SOIL TYPES, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.

4. FOOTINGS

- BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2' BELOW FINISHED GRADE.
- FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE OF THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

5. CONCRETE

- ALL CONCRETE SHALL BE 3500 PSI @ 28 DAYS. (EXCEPT STOOP & GARAGE WHICH SHALL BE 3500 PSI @ 28 DAYS.) MAXIMUM SLUMP OF 5".
- CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
- REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
- ALL EXPOSED EXTERIOR CONCRETE SHALL BE 6 +/- 1% AIR ENTRAINED.
- DETAILS OF REINFORCING SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:

EXPOSED				
	NOT EXPOSED	#5 OR SMALLER	#6 OR LARGER	EARTH FORMED
SLABS	3/4"	1-1/2"	2"	3"
BEAMS	1-1/2"	1-1/2"	2"	3"
COLUMNS	1-1/2"	1-1/2"	2"	3"
WALLS	3/4"	1-1/2"	2"	-
FOOTINGS	-	3"	3"	3"

6. CONCRETE FOUNDATION WALLS

- SEE DETAILS FOR 45# AND 60# LATERAL PRESSURE.
- FOOTINGS FOR 8" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- FOOTINGS FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- FOOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- STEP FOOTINGS 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT.
- FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE 6" PROJECTIONS x 12" DEPTH.
- ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.

7. CONCRETE SLABS ON GRADE

- UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6 x 6 W1.4 x W1.4 (#1010) WELDED WIRE FABRIC IN THE MIDDLE PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
- PLACING, LAP, ETC., SHALL CONFORM TO WR STANDARDS.
- FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.

8. CONCRETE RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- PROVIDE WEAKENED PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
- PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH SECTION 905.

9. MASONRY

- PIERS, PILASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270.
- BOND ALL MASONRY WITH METAL JOINT REINFORCEMENT EVERY 16" VERTICALLY.
- WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY. 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S @ 24" O.C. INTO THE FOOTING TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE.
- IE ALL BRICK VENEER TO WOOD STUB BACK-UP WITH CORRUGATED METAL TIES AT 24" O.C. (MAX).
- ALL MORTAR BELOW GRADE TO BE TYPE H.
- PROVIDE 3 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID (NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
- UNLESS OTHERWISE NOTED, PROVIDE 6 COURSES OF SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 2' MINIMUM LENGTH AT ALL STRUCTURAL STEEL BEARING.
- PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
- PIERS SHALL BE BONDED WITH HEADER COURSES.
- PROVIDE THROUGH MASONRY CONTINUITY (CEMENT GROUT) WHERE PIERS EXTEND ABOVE STEEL BEAMS.

SPECIFICATION:

- EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS 0.16 @ 1" SECOND PERIOD 0.033
- RESIDENTIAL SEISMIC DESIGN CATEGORY-B
- WEATHERING PROBABILITY FOR CONCRETE - SEVERE
- TERMITE INFESTATION PROBABILITY - MODERATE TO SEVERE
- DECAY PROBABILITY - SLIGHT TO MODERATE
- ICE SHIELD UNDERLAMENT REQUIRED - YES
- FLOOD HAZARDS (3-15-1990) NATIONAL FLOOD PROGRAM DATE
- WINTER DESIGN TEMPERATURE 17 DEGREES F
- AIR FREEZING INDEX < - OR 1500 DEGREES
- MEAN ANNUAL TEMPERATURE 50 DEGREES F

EQUIVALENT U-FACTORS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL U-FACTOR
4A	0.32	0.55	0.40	49	15	8/13	19	10/13	10.2 FEET	10/13

- CONSTRUCTION CLASSIFICATION TYPE - 5B
- USE GROUP CLASSIFICATION - R5
- ALL 3", 3 1/2", AND 4" DIAMETER ADJUSTABLE STEEL COLUMNS ARE TAPCO MONOPOST 40-300 SERIES U.N.O. AND CONFORM TO ASTM A513 STEEL.
- ALL SMOKE / CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED & INTERCONNECTED PER THE 2018 USBC, 315.1 & 315.2 & LISTED IN ACCORDANCE W/ UL2034 & UL217.
- THESE PLANS HAVE BEEN DESIGNED TO COMPLY WITH THE 2018 USBC AND THE 2018 INTERNATIONAL BUILDING CODES.

10. MASONRY RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
- KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPPINGS. THE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH WIRE TIES AND SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
- FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE. 2500 PSI @ 28 DAYS. OR MASONRY GROUT PER ASTM C-476. * CLOSE CLEANOUTS ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL. VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
- MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
- PROVIDE DUROWAL (OR EQUAL) 8" O.C. VERTICALLY.

11. BACKFILL COMPACTION

- PER GEOTECHNICAL REQUIREMENTS.

12. WOOD FRAMING

- ALL SPANS UP TO 15'-0" FRAMING TIMBERS SHALL BE NO. 2 HEM FIR, OR BETTER (Fb = 850.0 = 1,300,000 PSI, Fv = 135 PSI).
- ALL SPANS OVER 15'-0" FRAMING TIMBERS SHALL BE NO. 1 YELLOW PINE, OR BETTER (Fb = 1,300.0 = 1,700,000 PSI, Fv = 175 PSI 2x12 FB=1250 psi)
- PROVIDE ANCHORAGE INTO FOUNDATION WALLS WITH 1/2" DIA. A307 ANCHOR BOLTS @ 4'-0" O.C. 9" INTO CONCRETE, AND A MAXIMUM OF 12" FROM ANY CORNER.
- PROVIDE TEGO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT.
- STUDS SHALL BE MIN. S-P-F CONSTRUCTION GRADE.
- ALL EXTERIOR LUMBER TO BE P.T. SOUTHERN PINE #2 OR BETTER
- LUMBER IN CONTACT W/ GROUND SHALL BE RATED AS "GROUND CONTACT"

13. WOOD TRUSSES (PREFAB/PREND.)

- FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF 1/360 SPAN. REFER TO FLOOR TRUSS MANUFACTURERS RECOMMENDATIONS FOR ERECTION BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
- TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS.
- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES (TP1-78). PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TPI QUALITY CONTROL MANUAL (QCM-77).
- ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION, ALLOWABLE LOAD PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES), LOAD TEST DATA, AND DETAILS FOR TRUSS-TO-TRUSS CONNECTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
- TRUSS DESIGN SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
- ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TEGO OR EQUIVALENT FRAMING ANCHOR EACH END.
- ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRACING WOOD TRUSSES (BTW-76), AS PUBLISHED BY TPI.

14. MICRO-LAM BEAMS

- SHALL HAVE AN EXTREME FIBER BENDING STRESS OF FB-2600 PSI, E-2,000,000 PSI, Fv-265 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.

15. PLYWOOD WEB JOISTS

- JOISTS SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOADS SHOWN BUT NOT LESS THAN 10 PSF.

16. STRUCTURAL STEEL

- STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER.
- ALL WELDING SHALL CONFORM TO THE AWS STRUCTURAL WELDING CODE. WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
- ONE SHOP COAT OF PAINT, SOUTHERN COATING 1-0476 OF 0702, OR AN APPROVED EQUIVALENT. TWO MILS DRY FILM THICKNESS SHALL BE APPLIED TO ALL STRUCTURAL MEMBERS.
- PROVIDE MASONRY FRAMING ANCHORS AT EACH BEAM END BEARING UPON MASONRY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS FOR BUILDINGS.
- AND UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-572 GR-50
- STRUCTURAL TUBING SHALL CONFORM TO ASTM-A501 WITH MINIMUM YIELD OF 36 KSI (ROUND ONLY). SQUARE AND RECTANGULAR SHALL CONFORM TO ASTM A-500 GR-B Fy=46 KSI
- SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
- HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE TURN-OF-NUT METHOD.

17. MISCELLANEOUS

- HANDRAILS ARE TO BE BUILT & INSTALLED PER 2018 USBC.
- STAIRWAYS ARE TO BE ILLUMINATED WITH A MINIMUM OF 10 FOOT CANDLES PER TREAD
- OUTSIDE LIGHTING IS TO BE PROVIDED SO THAT DECK STAIRS ARE ILLUMINATED PER CODE.
- ALL STUCCO FINISH HOUSES ARE TO BE INSTALLED WITH STRICT COMPLIANCE TO MANUFACTURER'S INSTRUCTIONS.
- ALL FOAM PLASTIC MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH 2018 IRC SECTION R316.

INDEX

DESCRIPTION	SHEET	CHECKED
COVER SHEET	C	4-25-2024
EXISTING BUILDING ELEVATIONS	A1	4-25-2024
EXISTING FLOOR PLANS	A2	4-25-2024
PROPOSED BUILDING ELEVATIONS	A3	4-25-2024
PROPOSED FLOOR PLANS	A4	4-25-2024
PROPOSED ELECTRIC PLANS	E1	4-25-2024
GENERAL DETAILS	D1	4-25-2024

WORK DESCRIPTION:

- RENOVATE EXISTING BASEMENT
- NEW DEN & BATHROOM
- RENOVATE EXISTING FIRST FLOOR
- REMOVE PORTIONS OF LOAD BEARING WALLS
- RENOVATE EXISTING SECOND FLOOR
- NO STRUCTURAL CHANGES
- DEMO EXISTING SUNROOM - EXISTING DECK TO REMAIN & TO BE EXTENDED

NOTES TO ALL PARTIES INVOLVED:

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE W/ THE VIRGINIA RESIDENTIAL CODE (VRC) 2018
2. THIS PLAN IS A BASIC PLAN FOR THE USE OF OBTAINING A BUILDING PERMIT AND PROVIDING A LAYOUT OF THE PROPOSED WORK FOR ALL SPECIFICATIONS, NOTES, REGULATIONS, SAFETY REQUIREMENTS, BUILDING CODES, ELECTRICAL CODES, PLUMBING CODES, OTHER APPLICABLE CODES AND ETC NOT SHOWN ON THIS PLAN. PLEASE REFER TO THE VRC 2018 VRC CODE FOR CLARIFICATION. THIS PLAN IS NOT FOR THE USE OF OBTAINING MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER OF THIS PROPERTY-ACTING AS CONTRACTOR, TO CONSTRUCT THIS PROPOSED RESIDENTIAL STRUCTURE PER THESE APPROVED PLANS AND IN ACCORDANCE WITH THE VRC 2018 CODE.
4. IF THE CONTRACTOR AND/OR PROPERTY OWNER SHOULD HAVE ANY QUESTIONS AND/OR CONCERNS AT ANY TIME BEFORE OR THROUGHOUT THE CONSTRUCTION OF THIS PROJECT, THEN HE OR SHE SHOULD STOP WORK IMMEDIATELY AND CONTACT THE PERSON WHO PREPARED THESE PLANS. IN ORDER TO CLARIFY AND/OR CORRECT ANY CONFUSION AND/OR CONCERNS. THIS WILL HELP TO PREVENT UNNECESSARY MISTAKES, INJURIES, COST & ETC.
5. This proposed structure should be built per the plans, only after they have been approved by the appropriate county/city jurisdiction. And for any parts of this plan that may appear to be incorrect or contradictory to the VRC 2018 Code (even if they are already approved and construction is under way). Then it is the responsibility of the contractor and/or property owner to contact the person who prepared these plans. In order to clarify such concerns. If it is necessary, revision will need to be made through the appropriate county/city jurisdiction prior to construction. This structure must be constructed per the VCR 2018 code.
6. It is the responsibility of the contractor and/or property owner to ensure that all required permits are obtained, that they do not expire and that all required inspections are scheduled and approved. It is also the responsibility of the contractor and/or property owner to ensure that all of the required permits remain active until all of the required permits are finalized / approved with the appropriate county/city inspection office.
7. The contractor and/or property owner is responsible and liable for the lives and safety of any and all occupants of the property, their visitors and the people performing the labor/trade construction services-before, during, and after construction of this project - on this property. The contractor and/or property owner is also responsible and liable for any and/or all damages) to this property-before, during, and after the construction of this project. The contractor and/or property owner will be responsible for using the correct materials specified and not specified in this plan and that those materials will be of good quality. The contractor and/or property owner is also responsible for ensuring that all individuals) performing any work are knowledgeable and competent enough to perform construction labor/trade services and that they are using safe construction practices at all times. The contractor and/or property owner is responsible for ensuring that any individual(s) performing any type of construction services at any time of this project, that he or she can comprehend these plans and is familiar with and understanding of the VRC 2018 code.
8. It is the responsibility of the contractor and/or property owner to ensure that all existing site conditions are verified in the field. He or she must also verify that all existing site conditions in the field correspond with what is shown on these plans that are approved by the appropriate county/city jurisdiction. It is the responsibility of the contractor and/or property owner to ensure that all existing field conditions meet the VRC 2018 code. If it is discovered that the existing site/structure(s) does not meet current applicable state, county and city codes and ordinances, then the contractor and/or property owner is responsible for modifying/upgrading the existing site/structure(s), in order to meet any and all such current codes. The contractor and/or property owner is responsible for verifying that any and all existing structure(s) is in good condition and can sustain any alterations and/or additional loads being added as shown in this plan, prior to construction.
9. Once the contractor and/or property owner has taken possession of these approved plans for whatever intent or purpose, he or she is certifying that they agree with all of the notes, statements, and conditions listed above and that he or she comprehends exactly what each statement is saying. Also the contractor and/or property owner is responsible for ensuring that every requirement of these statements are performed.
10. It is the responsibility of the contractor and/or homeowner to verify that all of the existing structures dimensions, measurements, conditions, etc. match what has been proposed in this plan. These specifications need to be verified and addressed prior to the ordering of materials and prior to any demo or construction being performed, for any part of this proposed work. The contractor and/or homeowner is liable and financially responsible for all costs, fees, and etc. that may occur throughout construction, even if these plans are incorrect or different that the conditions on the site or different from previous conversations and requests. The contractor and/or homeowner are responsible for any additional costs for additional materials, corrections, engineering, labor and etc. that may occur throughout this project.

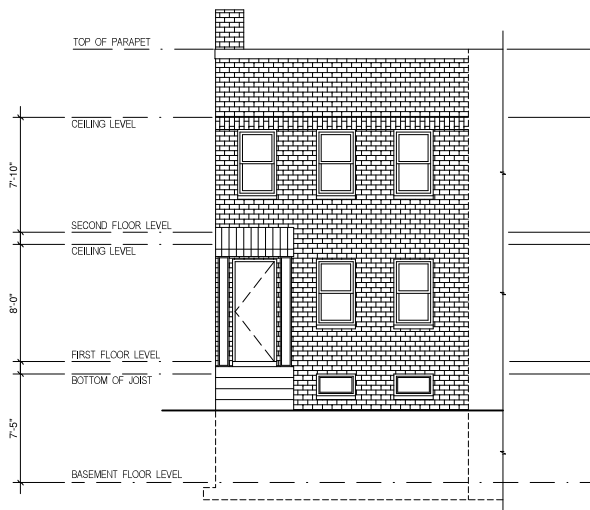
EZ PLAN & CONSULTING, LLC
4393 KEVIN WALKER DR. #156
DUMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

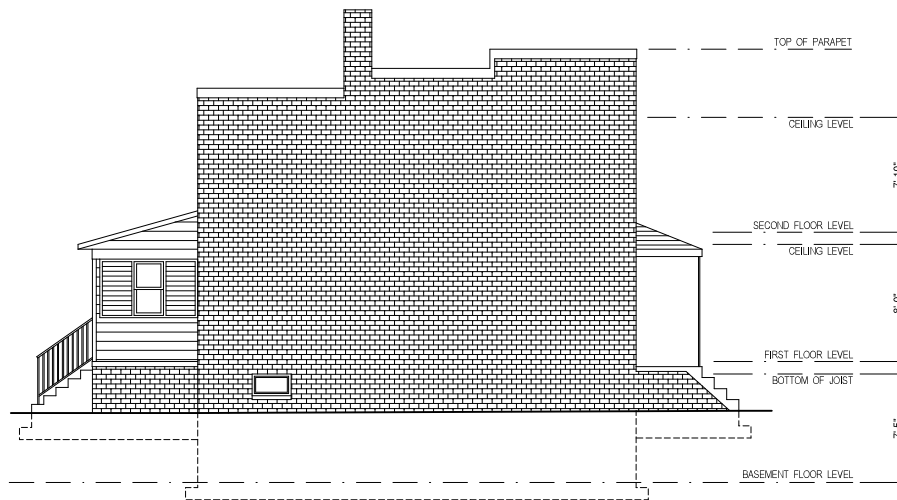
400 NORTH FAYETTE STREET
ALEXANDRIA, VA 22314

SCALE: 1/4" = 1'-0"

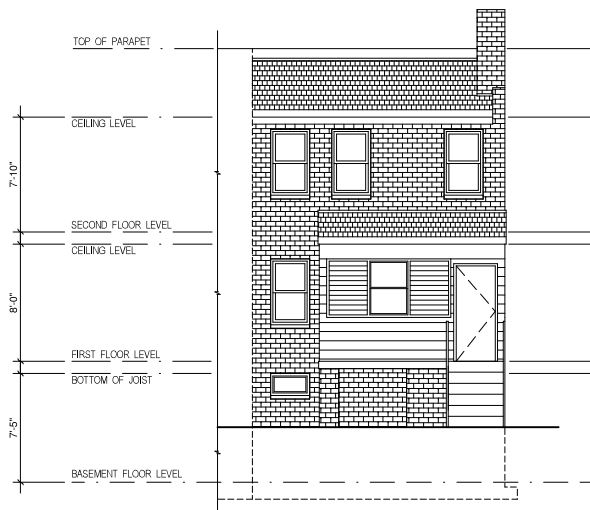




**EXISTING
FRONT ELEVATION (NO CHANGE)**
SCALE 1/4" = 1'-0"



**EXISTING
LEFT SIDE ELEVATION**
SCALE 1/4" = 1'-0"



**EXISTING
REAR ELEVATION**
SCALE 1/4" = 1'-0"

REVISIONS

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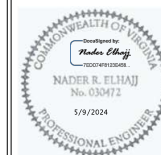
PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

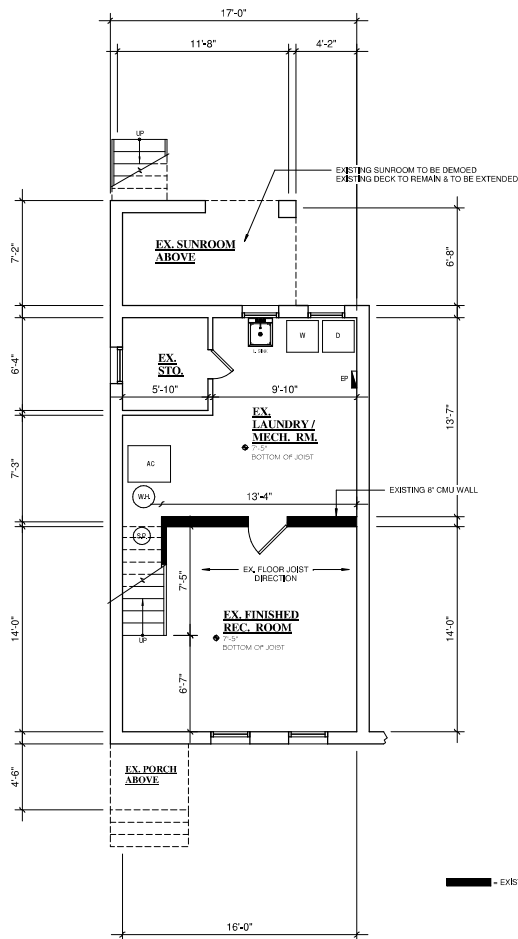
EXISTING BUILDING
ELEVATIONS

400 NORTH FAYETTE STREET
ALEXANDRIA, VA 22314

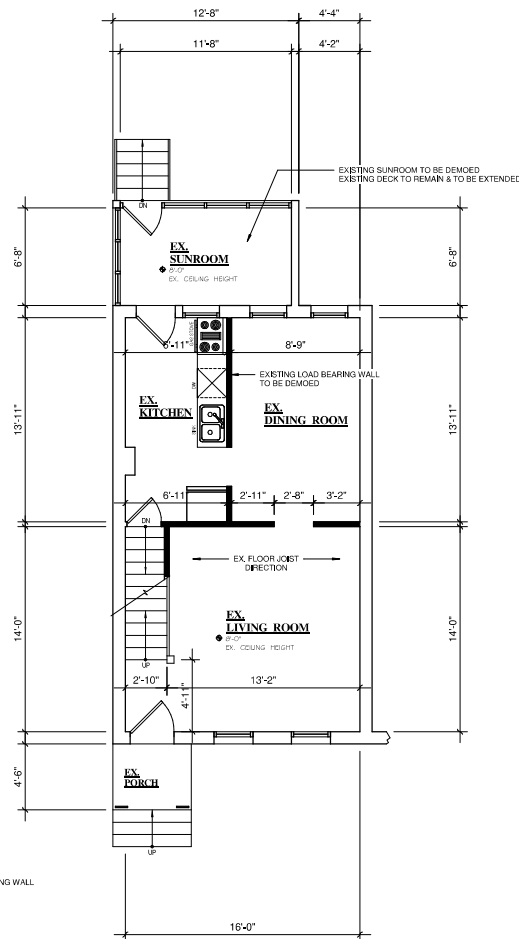
A1

SCALE: 1/4" = 1'-0"

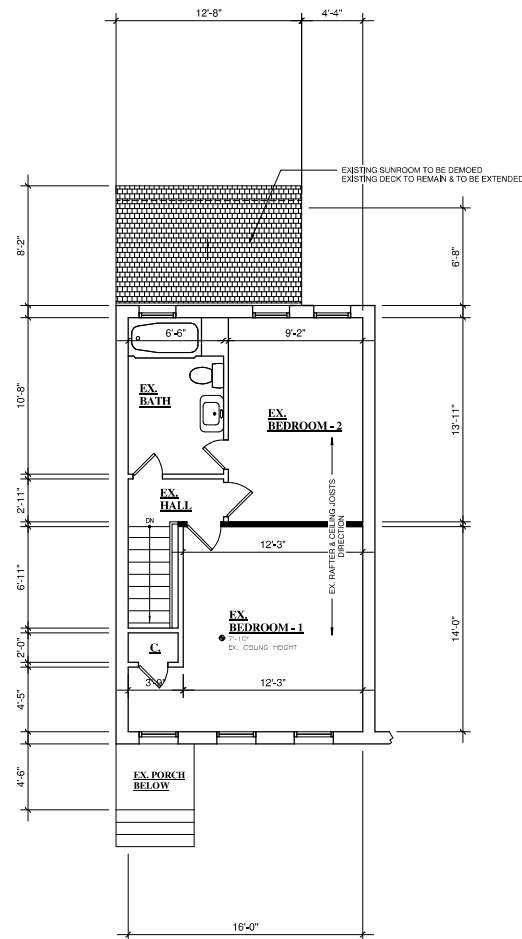




**EXISTING
BASEMENT FLOOR PLAN**
SCALE 1/4" = 1'-0"



**EXISTING
FIRST FLOOR PLAN**
SCALE 1/4" = 1'-0"



**EXISTING
SECOND FLOOR PLAN**
SCALE 1/4" = 1'-0"

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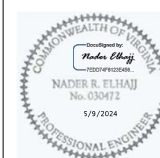
PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

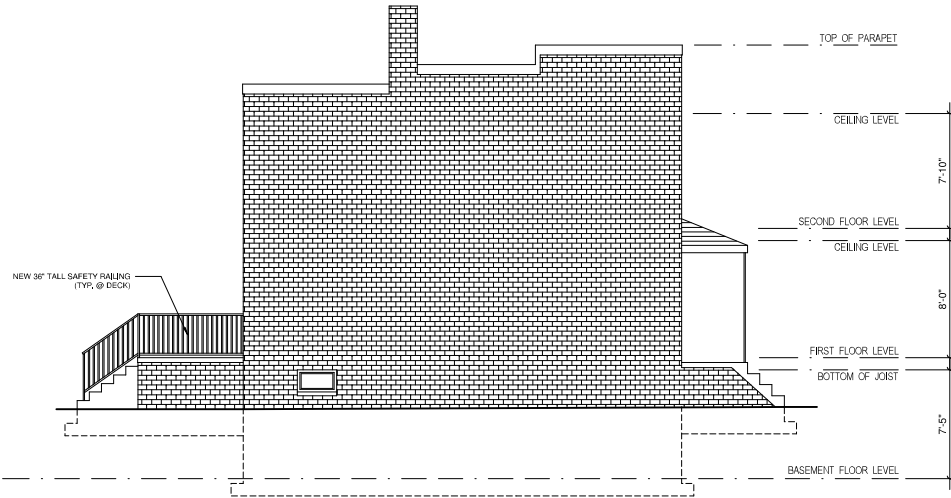
EXISTING FLOOR
PLANS

400 NORTH FAYETTE STREET
ALEXANDRIA, VA 22314

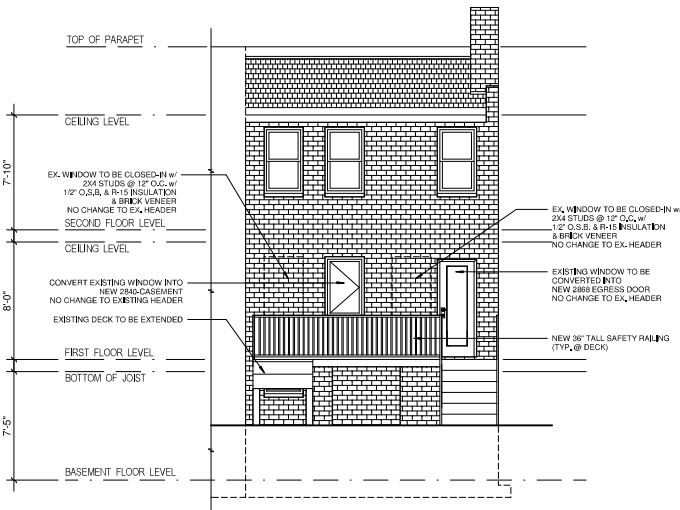
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SCALE: 1/4" = 1'-0"





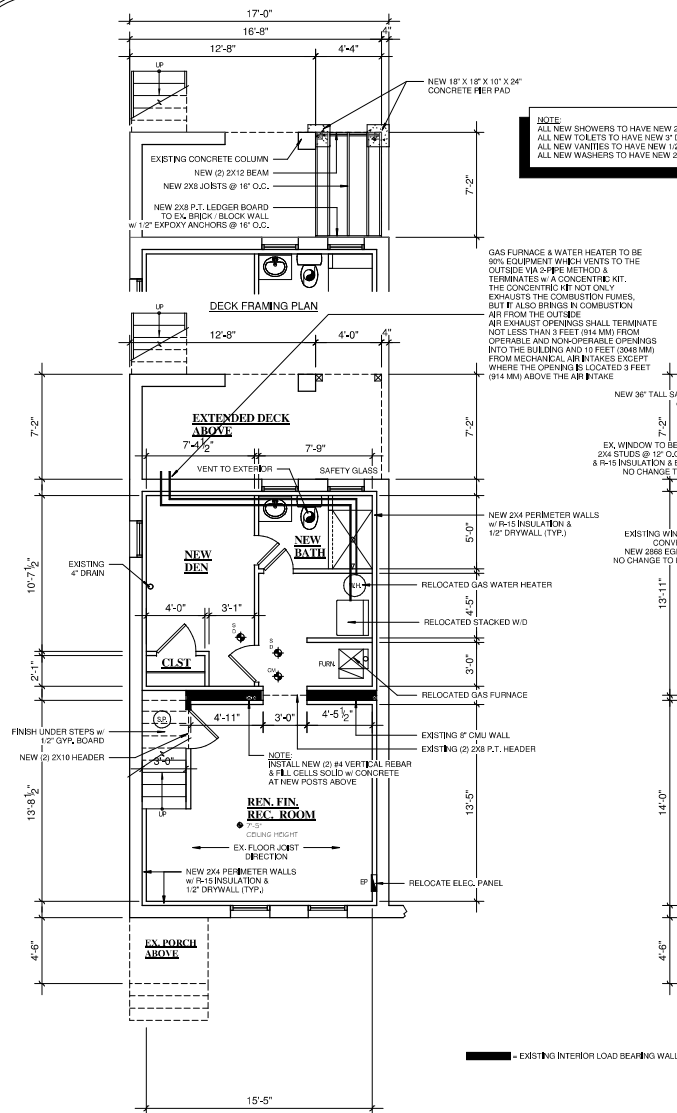
**PROPOSED
LEFT SIDE ELEVATION**
SCALE 1/4" = 1'-0"



**PROPOSED
REAR ELEVATION**
SCALE 1/4" = 1'-0"

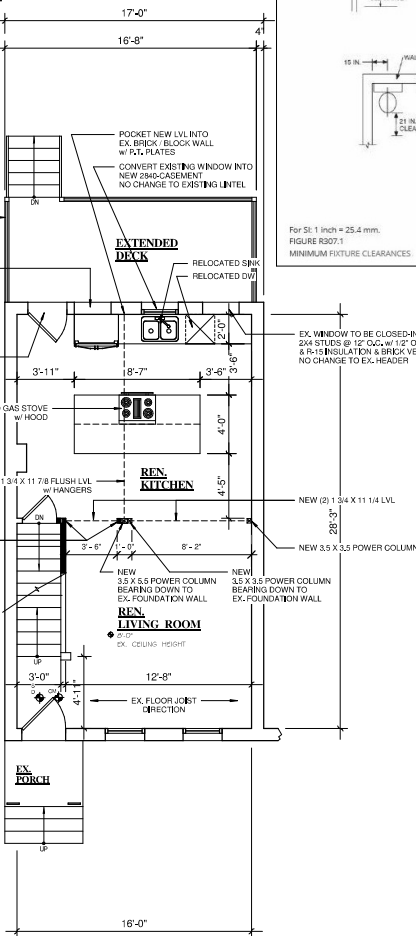
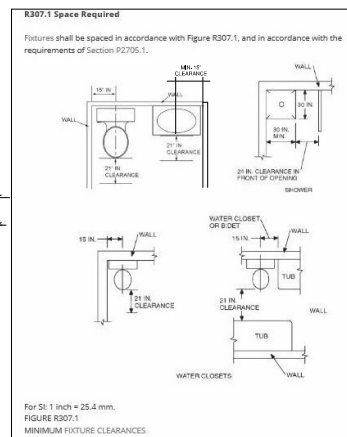
- DEMO EXISTING SUNROOM EXISTING DECK TO REMAIN & TO BE EXTENDED
- NEW 36" TALL SAFETY RAILING
- CLOSE-IN (2) EXISTING WINDOWS
- EXISTING WINDOW TO BE CONVERTED INTO NEW DOOR

REVISIONS	
EZ PLAN & CONSULTING, LLC 4398 KEVIN WALKER DR. #156 DUMFRIES, VA 22025	PREPARED BY: BURNS DRAFTING & DESIGN, LLC
PROPOSED BUILDING ELEVATIONS	
400 NORTH FAYETTE STREET ALEXANDRIA, VA 22314	
A3	
SCALE: 1/4" = 1'-0"	



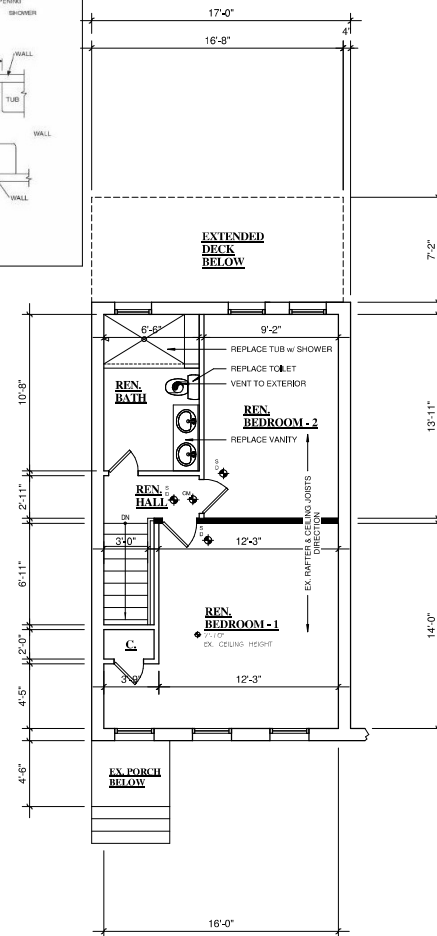
PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- RENOVATE ENTIRE LEVEL
- NEW PAINT & FLOORING THROUGHOUT
- REMOVE PORTIONS OF LOAD BEARING WALLS
- DEMO EXISTING SUNROOM
- EXISTING DECK TO REMAIN & TO BE EXTENDED
- NEW 36" TALL SAFETY RAILING
- CLOSE-IN (2) EXISTING WINDOWS



PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- RENOVATE ENTIRE LEVEL
- NEW PAINT & FLOORING THROUGHOUT
- REPLACE EXISTING PLUMBING FIXTURES
- NO STRUCTURAL CHANGES



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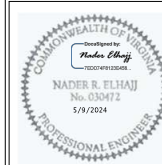
PREPARED BY:
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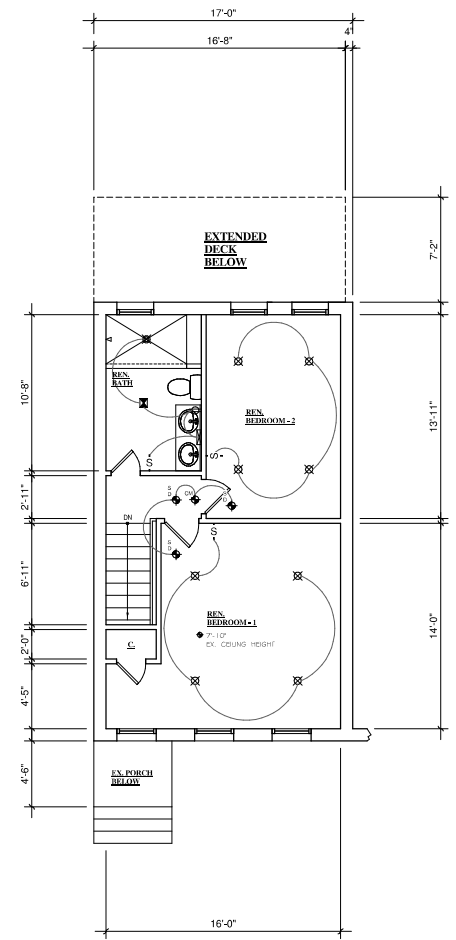
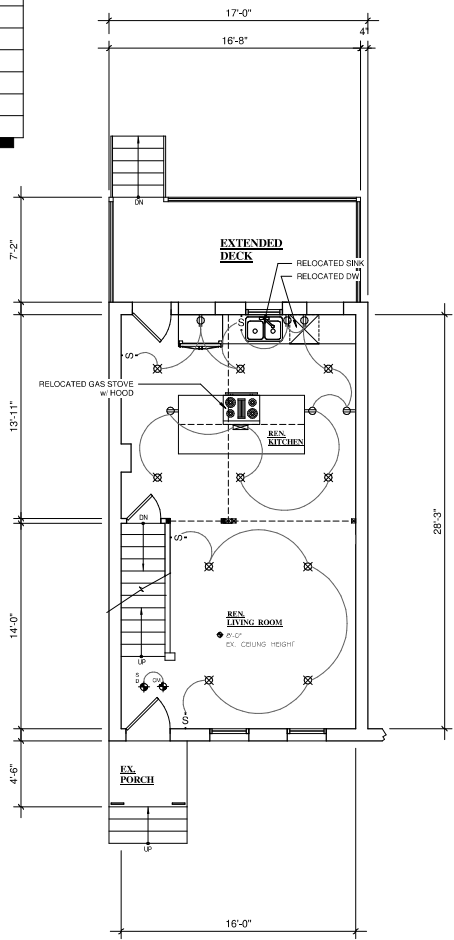
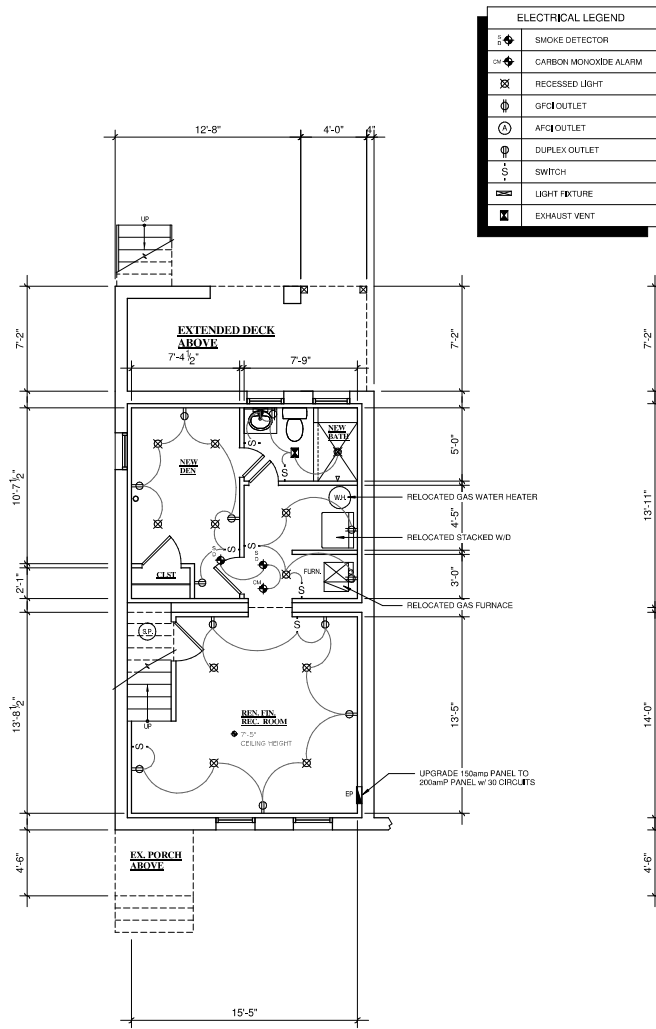
PROPOSED FLOOR
PLANS

400 NORTH FAYETTE STREET
ALEXANDRIA, VA 22314

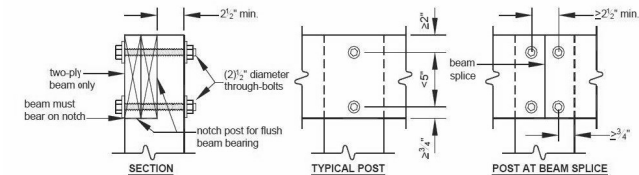
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SCALE: 1/4" = 1'-0"



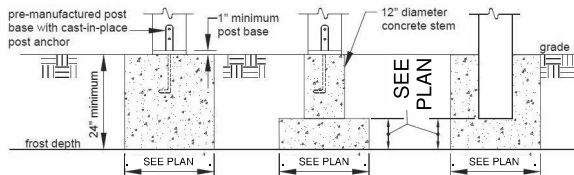


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PROPOSED ELECTRIC PLANS		
400 NORTH FAYETTE STREET ALEXANDRIA, VA 22314		
E1		
SCALE: 1/4" = 1'-0"		



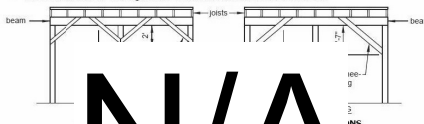
POST-TO-FOOTING CONNECTION

- Post attachment requirements shall be in accordance with FIGURE 15.
- Post anchors shall have a 1-inch minimum base.
- Posts shall be centered on the footing.



1 BEAM & FOOTING DETAILS

- Method-2, Knee-bracing at beam:
- Knee-bracing shall be comprised of 2x or 6x6 members.
 - Decks shall have 2x knee-bracing installed at each post-beam location or 6x6 knee-bracing at end posts and both sides of every other interior post in accordance with FIGURE 28.
 - Connections of knee-bracing shall be in accordance with FIGURE 30 or 31.



- Method-3, Knee-bracing at joist:
- Knee-bracing
 - Knee-bracing
 - Connections

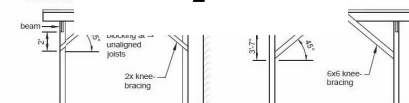


FIGURE 29: METHOD 3 - KNEE-BRACING AT JOIST POST LOCATIONS

BRACING-TO-FRAMING CONNECTIONS

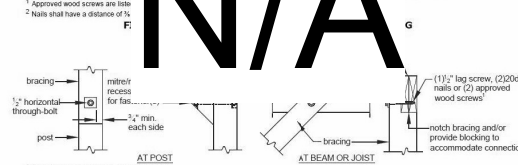
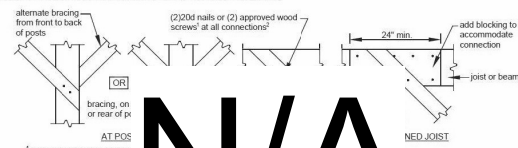


FIGURE 31: TYPICAL CONNECTIONS OF 6x6 KNEE-BRACING

2 "Y" BRACING DETAILS

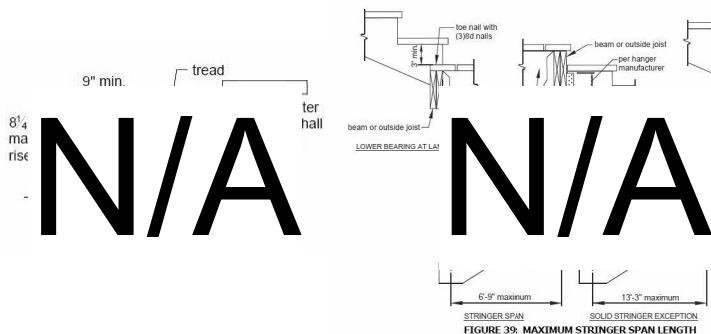


FIGURE 39: MAXIMUM STRINGER SPAN LENGTH



FIGURE 40: MAXIMUM STRINGER SPAN LENGTH

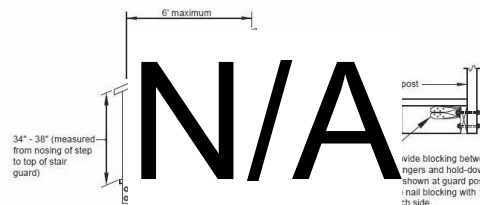
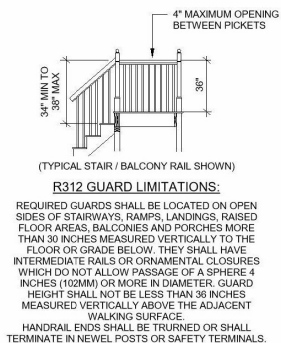


FIGURE 41: STAIR GUARD

3 STAIR DETAILS



R312 GUARD LIMITATIONS:

REQUIRED GUARDS SHALL BE LOCATED ON OPEN SIDES OF STAIRWAYS, RAMPS, LANDINGS, RAISED FLOOR AREAS, BALCONIES AND PORCHES MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW. THEY SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER. GUARD HEIGHT SHALL NOT BE LESS THAN 36 INCHES MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. HANDRAIL ENDS SHALL BE TURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

FIGURE 33: GUARD CONSTRUCTION

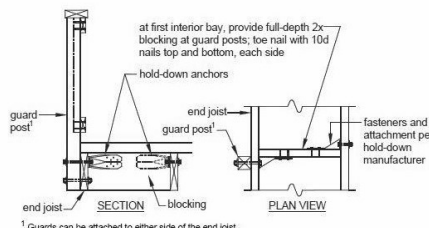


FIGURE 35: GUARD POST-TO-END JOIST

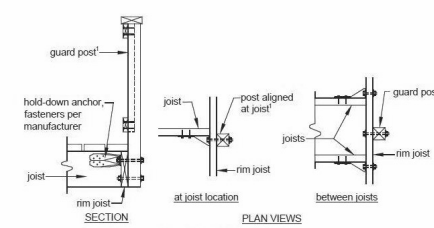


FIGURE 36: GUARD POST-TO-RIM JOIST

4 GUARDRAIL DETAILS

GENERAL DETAILS

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400 NORTH FAYETTE STREET
ALEXANDRIA, VA 22314

D1

SCALE:

