

***Special Use Permit #2020-00106***  
***1015 Duke Street***

---

<b>Application</b>	<b>General Data</b>	
<b>Request:</b> Consideration of a request for a special use permit for a parking reduction with lot modifications for a commercial to residential use conversion.	<b>Planning Commission Hearing:</b>	May 4, 2021
	<b>City Council Hearing:</b>	May 15, 2021
<b>Address:</b> 1015 Duke Street	<b>Zone:</b>	CL / Commercial Low Zone
<b>Applicant:</b> Patrick Jansen	<b>Small Area Plan:</b>	Old Town Small Area Plan

**Staff Recommendation:** APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

**Staff Reviewer:** Maggie Cooper, [margaret.cooper@alexandriava.gov](mailto:margaret.cooper@alexandriava.gov)  
 Ann Horowitz, [ann.horowitz@alexandriava.gov](mailto:ann.horowitz@alexandriava.gov)

**PLANNING COMMISSION ACTION, MAY 4, 2021:** On a motion by Vice Chair McMahon, seconded by Commissioner Koenig, the Planning Commission moved to recommend approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations. The motion carried on a vote of 5 to 2, with Commissioner Brown and Commisison Lyle dissenting.

**Reason:** The Planning Commission agreed with the staff analysis. Commissioner Brown and Commissioner Lyle dissented as they did not think the deficiency in open space due to the addition was reasonable.

Commissioner Brown said he did not support the roundabout way the applicant got his BAR approval for the addition, as he believed the applicant avoided the need for a variance by seeking approval for the addition while the building was used commercially with the intent of reverting to residential. He pointed out that it is unlikely staff or the BZA would have granted approval for the addition if the building was used as a residence because of the strict standards required for variances. While he understood staff's position that the requested modification of the open space requirement represents a minor change, he could not support the open space modification because of the path the applicant took to achieve the addition. The addition resulted in the property being deficient in the required open space, which he stated is a requirement for good site design.

Commissioner Lyle agreed with Commissioner Brown and said she found the applicant's previous review paths to have been a shell game that she could not support.

Chair Macek said he said he did not like the way the applicant went about getting BAR approval for the addition. However, he found the request to be reasonable and did not have a problem with the

site being residential, especially because the subject property has more parking and open space than the adjacent neighbors. He also said the zoning requirements in some of the zones in the historic districts indicate amendments are needed to equally support commercial and residential uses.

Commission Koenig agreed that the request is reasonable.

Vice-chair McMahon said there are many inconsistencies between the zoning ordinance and the existing buildings in the historic districts and thinks 40% open space may be excessive for this zone. She said the request was a reasonable variation, as this part of the City has many buildings that have reverted between commercial and residential for years. While she is unhappy with the series of events that led to the SUP application and the issues the neighbors express about the applicant, she finds the request to be reasonable from a land use perspective.

Speakers:

William Carle, 1017 Duke Street, spoke in opposition of the request, and said the applicant has a history of not being candid with him or the City.

Minturn Wright, representative for William Carle, Helen Choi, and Kumar Patel, spoke in opposition of the request and reviewed past staff reports, approvals and comments by the applicant.

Kumar Patel, 1011 Duke Street, spoke in opposition of the request and talked about his past negative experiences with the applicant.

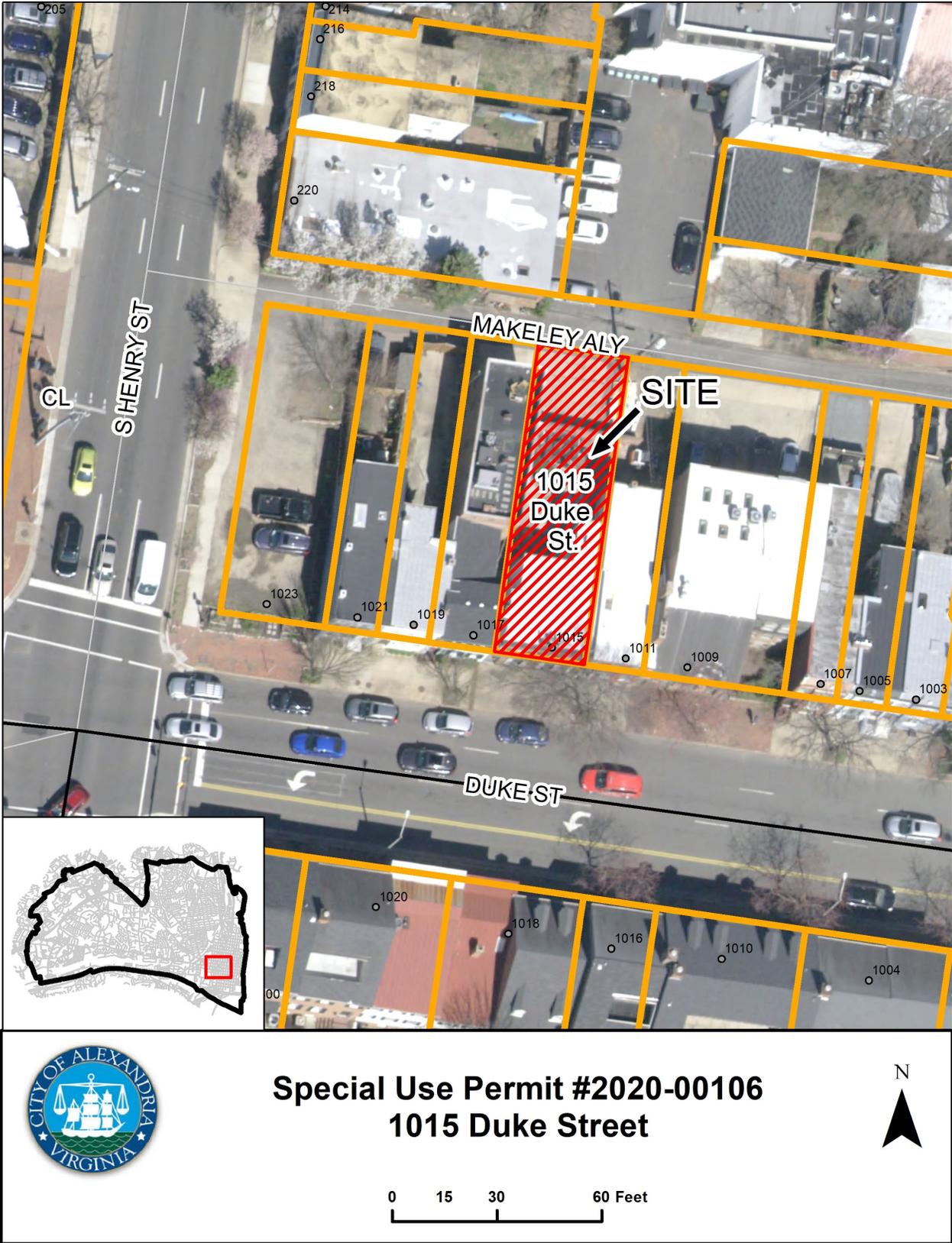
George Best, 421 N Columbus Street, spoke in opposition of the request, and talked about his past negative experiences with the applicant.

Helena Choi, 1017 Duke Street, spoke in opposition of the request, and talked about damage the applicant has caused at their home.

Kristen Brady, 1011 Duke Street, spoke in opposition of the request, and talked about her past experiences with the applicant.

Patrick Jansen, applicant, spoke in support of the request and responded to questions from the Commission.

Theodora Stringham, representative for the applicant, spoke in support of the request and responded to questions from the Commission.



PROJECT LOCATION MAP

## I. DISCUSSION

The applicant, Patrick Jansen, represented by Theodora Stringham, requests Special Use Permit approval for a parking reduction for two compact parking spaces with lot modifications to the CL zone residential use regulations for front yard setback and open space, pursuant to Section 4-106(A)(2) of the Zoning Ordinance.

### SITE DESCRIPTION

The subject site is located on one parcel of record with 26.40 feet of frontage on Duke Street and a depth of 88.00 feet. It has a lot area of 2,323.00 square feet. The parcel is developed with a two-story 1,717.40 square-foot townhouse (Figure 1). The rear parking area is accessible by Makeley Alley and includes a brick partition separating the parking area from the rear yard. (Figure 2).

Commercial and residential uses are found on this block. Historic homes, consisting primarily of townhouse dwellings, are to the south, west, and east. Commercial properties, primarily offices, are located to the south.

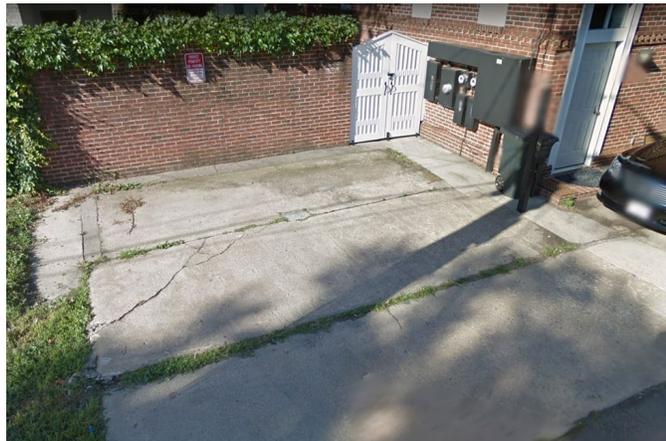


*Figure 1*

### BACKGROUND

The subject property is a two-story structure that was constructed prior to 1877, before the city's first zoning ordinance. The property was used as a residence until 1986, when it converted to a commercial use.

In 1985, a subdivision was approved to change the location of the lot line between 1015 and 1017 Duke Street. On December 10, 2018, the Board of Zoning Appeals approved BZA2018-00018 to waive the required front yard setback in order to convert the commercially-used townhouse back to its original residential use.



*Figure 2*

On January 16, 2019, the applicant received approval from the Board of Architectural Review (BAR) (BAR2019-00571/00579) to construct a 413 square-foot two-story addition with a 2.50-foot monitor with clerestory windows in the rear of the property, as the BAR felt that the proposed addition was compatible with the rear elevation. The BAR staff report stated that the "construction of the proposed addition would preclude future residential use of the property" and zoning

comments for the BAR report were as follows: “The building will continue to be used commercially. The proposed addition will negate the recent variance which approved a reduction to the required front yard setback if the building was to be used residentially. While open space is not required for commercial uses, the proposed addition would reduce the required open space for a residential use beyond what is required.” Following this approval, zoning staff approved the building permit (BLDR2019-00590) for the subject property with the condition that the building use remain commercial.

Per tax records, many of the structures on the block were used commercially during the mid-1980s and have progressively converted to residential uses over the past 30 years.

After the additions were made to the commercial building, the applicant decided to use the property for residential use and submitted this SUP request.

PROPOSAL

The applicant requests a parking reduction from two standard spaces to two compact parking spaces as a way to increase open space on the property. Open space and front yard setback modifications are also requested to comply with residential use requirements in the CL zone. The open space requirement for a residential use on this lot is 40% of the lot area or 929.28 square feet. The proposal to convert the two existing standard parking spaces to two compact spaces will allow the applicant to increase his open space by 192.00 square feet for a total of 879.5 feet of countable open space or 37.86% of the lot area, 2.14% less than the open space requirement.

The front yard setback requirement for residential uses in the CL zone is 20 feet and the applicant provides 0.90 feet. A front yard setback modification of 19.1 feet is requested.

PARKING

Section 8-200(A)(1) of the Zoning Ordinance requires townhouse dwellings to provide two standard parking spaces for each dwelling unit. Section 8-200(D)(1) requires off-street parking spaces to be standard in size and no less than 18.5 feet in length by 9 feet in width. Given that the

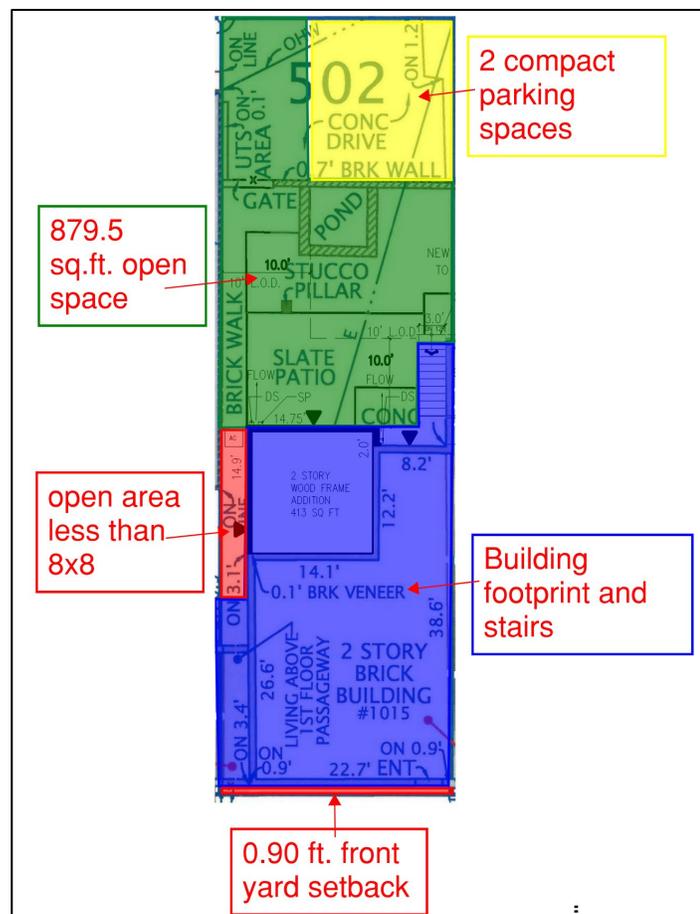


Figure 3

applicant proposes two compact spaces, SUP approval for a parking reduction is required, pursuant to Section 8-100(A)(4),

ZONING

The property is located in the CL, Commercial Low Zone, which allows for a mix of residential and commercial uses. Townhouse dwellings are a permitted use in the CL zone, pursuant to Zoning Ordinance Section 4-102(A)(2) of the Zoning Ordinance. Section 4-106(A)(2) outlines the area and bulk regulations for residential uses (Table 1). Section 11-416(C) of the Zoning Ordinance allows for lot modifications, such as front yard setback and open space, to be reviewed for requests that include an SUP proposal.

ZONING ANALYSIS

**Table 1. Zoning Table**

<b>CL Zone</b>	<b>Requirement (residential townhouse)</b>	<b>Existing/Proposed</b>
<b>Lot Area</b>	1,980 sq. ft.	2,323.20 sq. ft.
<b>Lot Width</b>	18.00 ft.	26.40 ft.
<b>Lot Frontage</b>	18.00 ft.	26.40 ft.
<b>Front Yard</b>	<b>20.00 ft.</b>	<b>.90 ft.</b>
<b>Side Yard (west)</b>	0 ft.	0 ft. (2 <sup>nd</sup> floor)
<b>Side Yard (east)</b>	0 ft.	0 ft.
<b>Rear Yard</b>	1:1 minimum 8.00 ft.	46.28 ft.
<b>Open Space</b>	<b>929.28 sq. ft. (40%)</b>	<b>879.50 (37.86%)</b>
<b>Floor Area Ratio</b>	Maximum 1,742 sq. ft. (.75)	1,717.40 sq. ft. (.739)
<b>Height</b>	45.00 ft.	22.67 ft.
<b>Parking</b>	2 spaces	2 spaces

MASTER PLAN DESIGNATION

The subject property is located within the Old Town Small Area Plan. The plan designates this area as a mixture of uses that is predominately residential while being anchored by the King Street and Washington Street commercial corridors.

**II. STAFF ANALYSIS**

Staff recommends approval of the parking reduction to convert two standard spaces to two compact spaces and for the proposed lot modifications for open space and front setback to allow for a reversion from commercial to residential use. Additionally, approval of the lot modifications for front yard and open space is recommended as it allows the building to return to its original residential use, consistent with the Old Town Small Area Plan goals and neighborhood trends,

reflecting an increasing interest from property owners to revert commercial properties to their historic residential use.

Staff finds this parking reduction request to be reasonable and technical in nature as the property would still have two off-street parking spaces, providing for open space that is only 2.14% less than required. The front yard setback modification request is also reasonable as all buildings except one dwelling on the north side of the block are setback less than a foot from the front property line. Additionally, the required front yard setback of 20 feet is inconsistent with the historic development character of this block (Figure 4).



*Figure 4*

Staff has included two conditions to ensure that open space of 37.86% is maintained (Condition 1) and that the area for the two compact parking spaces remains distinct from the adjacent open space so not to encroach on the open space (Condition #2).

Subject to the conditions contained in Section III of this report, staff recommends approval of the Special Use Permit request.

### III. RECOMMENDED CONDITIONS

Staff recommends *approval* subject to compliance with all applicable codes and ordinances and the following conditions:

1. The open space shall not be reduced to less than 37.86% of the lot area. (P&Z)
2. The two compact parking spaces shall be clearly delineated from the adjacent open space.  
(P&Z)

STAFF: Tony LaColla, AICP, Division Chief, Land Use Services  
Ann Horowitz, Principal Planner  
Maggie Cooper, Urban Planner

---

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

#### IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

F-1 SWM and Transportation Planning has no comments.

Code Enforcement:

No comments.

Fire:

No comments.

Health:

No comments received.

Parks and Recreation:

F-1 Please work to meet the open space requirements.

Police Department:

No comments received.



# APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT # \_\_\_\_\_

PROPERTY LOCATION: 1015 Duke St

TAX MAP REFERENCE: 074.01-08 ZONE: ~~CL~~ CL

**APPLICANT:**

Name: Patrick Jansen

Address: 1015 Duke St

PROPOSED USE: Residential

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Patrick Jansen  
Print Name of Applicant or Agent

[Signature] 11/9/20  
Signature Date

1631 Old Dominion Dr  
Mailing/Street Address

571-225-7947  
Telephone # Fax #

Norfolk, Va 22101  
City and State Zip Code

PATRICK@JANSENPAULBA.COM  
Email address

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of 1015 Duke St. I hereby  
(Property Address)  
grant the applicant authorization to apply for the Special Use use as  
(Use)  
described in this application.

Name: Patrick Jansen  
Please Print

Phone: 571-225-2947

Address: 1015 Duke St

Email: PATRICK@JANSENPAULBA.COM

Signature: 

Date: 12/22/20

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Patrick Jansen 50%  
Margan Jansen 50%  
\_\_\_\_\_  
\_\_\_\_\_

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Patrick Jansen	6631 Old Dominion Dr.	50%
2.	Maryann Jansen	6631 Old Dominion Dr.	50%
3.			

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1015 Duke St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Patrick Jansen	6631 Old Dominion	50%
2.	Maryann Jansen	6631 Old Dominion Dr.	50%
3.			

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	N/A	N/A	N/A
2.	Patrick Jansen	N/A	N/A
3.	Maryann Jansen	N/A	N/A

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/19/20
Patrick Jansen
  
Date
Printed Name
Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

**Yes.** Provide proof of current City business license

**No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

**NARRATIVE DESCRIPTION**

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

- 1) Request relief from front setback
- 2) Allow two compact parking spaces in the rear of the home.
- 3) Make the use of the home Residential

**USE CHARACTERISTICS**

4. The proposed special use permit request is for (check one):  
[ ] a new use requiring a special use permit,  
[ ] an expansion or change to an existing use without a special use permit,  
 an expansion or change to an existing use with a special use permit,  
[ ] other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:  
A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).  
\_\_\_\_\_ *2 residents* \_\_\_\_\_  
\_\_\_\_\_

B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).  
\_\_\_\_\_ *0* \_\_\_\_\_  
\_\_\_\_\_

6. Please describe the proposed hours and days of operation of the proposed use:  
Day: \_\_\_\_\_ *N/A* \_\_\_\_\_ Hours: \_\_\_\_\_ *N/A* \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Please describe any potential noise emanating from the proposed use.  
A. Describe the noise levels anticipated from all mechanical equipment and patrons.  
\_\_\_\_\_ *N/A* \_\_\_\_\_  
\_\_\_\_\_

B. How will the noise be controlled?  
\_\_\_\_\_ *N/A* \_\_\_\_\_  
\_\_\_\_\_

8. Describe any potential odors emanating from the proposed use and plans to control them:

N/A

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Residential trash service

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

Same as above

C. How often will trash be collected?

Once a week

D. How will you prevent littering on the property, streets and nearby properties?

N/A City provided trash receptacles

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[ ] Yes.

[] No.

If yes, provide the name, monthly quantity, and specific disposal method below:

---

---

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes.  No.

If yes, provide the name, monthly quantity, and specific disposal method below:

---

---

---

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

*N/A*

---

---

---

**ALCOHOL SALES**

13. A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes  No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

---

---

---

---

**PARKING AND ACCESS REQUIREMENTS**

14. A. How many parking spaces of each type are provided for the proposed use:

- \_\_\_\_\_ Standard spaces
- 2   Compact spaces
- \_\_\_\_\_ Handicapped accessible spaces.
- \_\_\_\_\_ Other.

<b>Planning and Zoning Staff Only</b>
Required number of spaces for use per Zoning Ordinance Section 8-200A _____
Does the application meet the requirement? [ ] Yes [ ] No

B. Where is required parking located? (check one)

- on-site
- off-site

If the required parking will be located off-site, where will it be located?

---

**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use?   0  

<b>Planning and Zoning Staff Only</b>
Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____
Does the application meet the requirement? [ ] Yes [ ] No

B. Where are off-street loading facilities located? N/A

\_\_\_\_\_

C. During what hours of the day do you expect loading/unloading operations to occur?  
N/A

\_\_\_\_\_

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

N/A

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access is adequate through Makeley St.

**SITE CHARACTERISTICS**

17. Will the proposed uses be located in an existing building?  Yes  No

Do you propose to construct an addition to the building?  Yes  No

How large will the addition be? \_\_\_\_\_ square feet.

18. What will the total area occupied by the proposed use be?  
\_\_\_\_\_ sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = \_\_\_\_\_ sq. ft. (total)

19. The proposed use is located in: (check one)  
 a stand alone building  
 a house located in a residential zone  
 a warehouse  
 a shopping center. Please provide name of the center: \_\_\_\_\_  
 an office building. Please provide name of the building: \_\_\_\_\_  
 other. Please describe: Additional Townhouses

End of Application



# APPLICATION - SUPPLEMENTAL

## PARKING REDUCTION

*Supplemental information to be completed by applicants requesting special use permit approval of a reduction in the required parking pursuant to section 8-100(A)(4) or (5).*

1. Describe the requested parking reduction. (e.g. number of spaces, stacked parking, size, off-site location)

Reducing the two normal parking spaces to compact parking spaces

---

---

---

2. Provide a statement of justification for the proposed parking reduction.

Reducing the parking sq footage to meet open space requirements.

---

---

---

3. Why is it not feasible to provide the required parking?

Reducing the parking sq footage to meet open space requirements.

---

---

---

4. Will the proposed reduction reduce the number of available parking spaces below the number of existing parking spaces?

Yes.  No.

5. If the requested reduction is for more than five parking spaces, the applicant must submit a *Parking Management Plan* which identifies the location and number of parking spaces both on-site and off-site, the availability of on-street parking, any proposed methods of mitigating negative affects of the parking reduction.

6. The applicant must also demonstrate that the reduction in parking will not have a negative impact on the surrounding neighborhood.

Emailing: 1015 Survey (2) (1) - p... | Apply for Plan | GIS Parcel Viewer | City of Alexan... | +

← → ↻ 🔒 <https://geo.alexandriava.gov/Html5Viewer/Index.html?viewer=parcelviewer> ☆ ⚙️ 🗑️ 👤 ⋮

**GIS Parcel Viewer**  
City of Alexandria, Virginia

Search...

Tool Labels ✕

How to use? Identify Clear map Show Legend Show Layer List Measure Distance Google Street View Feedback Print Map Share Find Parcel by Address Find Parcel by ID Find Plat by Address Find Plat by ID

Basic Tools Find Parcels and Plats

I want to...

Street M... 0 30 60ft 1500 01 A

City of Alexandria, GIS | DCGIS, Fairfax County, VA, MNCPPC, VITA, Esri, HERE, Garmin, INCREMENT P...

Type here to search

2:57 PM  
12/9/2020



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

B

### A. Property Information

A1.  Street Address      CL  Zone

A2.  Total Lot Area      x  Floor Area Ratio Allowed by Zone      =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="820.40"/>	Basement**	<input type="text" value="820.40"/>	B1. <input type="text" value="2773"/> Sq. Ft.
First Floor	<input type="text" value="976.3"/>	Stairways**	<input type="text" value="121.30"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="976.30"/>	Mechanical**	<input type="text"/>	B2. <input type="text" value="1055.6"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text" value="1717.4"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text" value="114"/>	<b>Comments for Existing Gross Floor Area</b> <div style="border: 1px solid gray; height: 40px; margin-top: 5px;"></div>
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
<b>B1. Total Gross</b>	<input type="text" value="2773"/>	<b>B2. Total Exclusions</b>	<input type="text" value="1055.6"/>	

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text" value="0.00"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text" value="0.00"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
<b>C1. Total Gross</b>	<input type="text" value="0.00"/>	<b>C2. Total Exclusions</b>	<input type="text" value="0.00"/>	

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space (RA & RB Zones)

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: **Patrick Jansen** Digitally signed by Patrick Jansen  
Date: 2021.02.03 13:53:44 -05'00'

Date: \_\_\_\_\_

# 1015 DUKE STREET INTERIOR ALTERATION / REAR ADDITION

**WEST WORKSHOP**  
**ARCHITECTS**

## SQUARE FOOTAGE / PROJECT DESCRIPTION

LEVEL	EXISTING	PROPOSED	TOTAL
BASEMENT	607.4	304.6	912
FIRST FLOOR	715.2	196.8	912
SECOND FLOOR	728.9	204	932.9
TOTAL - FINISHED	2051.5	705.4	2756.9
OVERALL WD x DPTH	26'-3" X 38'-6"	26'-3" X 40'-6"	

**PROPERTY LOCATION:**  
1015 DUKE STREET  
ALEXANDRIA VA 22314

**STRUCTURAL ENGINEER OF RECORD:**  
KALPESH PATEL  
INTEGRAL ENGINEERING INC  
2351 GENTRY DRIVE, STE 230  
STERLING VA 20166  
703.829.2340

**DESIGNER:**  
SALVATORE BENVENGA  
SB DESIGN STUDIOS LLC  
4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932

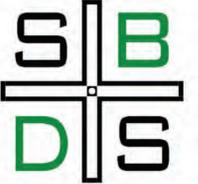
**ARCHITECT OF RECORD:**  
KURT WEST  
WEST WORKSHOP  
450 W BROAD STREET - STE 201  
FALLS CHURCH VIRGINIA 22046  
202-957-0933

**PROPERTY OWNER:**  
IMPRESSIVE HOME SOLUTIONS  
1011 DUKE STREET  
571-225-7947  
PATRICK@JANSENPAULBA.COM

## CODE STANDARDS AND SCOPE OF WORK

### BUILDING CODE DATA AND SCOPE OF WORK

- CODES: IBC2015, VUSBC 2015, IBC2015, IRC2015, IMC2015, IPC2015, IFC2015, NEC 2014, 2017 ICC ANSI A117.1, VEBC 2015
- BUILDING TYPE: 5B WOOD FRAME AND MASONRY UNPROTECTED; NO SPRINKLERS; NO FIRE ALARM SYSTEM
- SCOPE OF WORK:  
INTERIOR ALTERATION: FIRST AND SECOND FLOOR  
EXTERIOR ADDITION: 2 STORY PLUS BASEMENT



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

COVER SHEET  
PROJECT INFORMATION

1015 DUKE STREET

TITLE

PROJECT

SBDS PROJ. NO: **2018-24**

NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: **03-13-19**

DRWN. BY: **SBDS**    CHKD. BY: **SB**

SCALE: **AS NOTED**

SHEET NO. **G001**

SHEET:    OF:

## DRAWING INDEX

SHEET	SHEET TITLE	REVISION	
		PERMIT	REVISION
<b>GENERAL</b>			
G001	COVER SHEET	●	●
G002	GENERAL NOTES AND SPECIFICATIONS	●	●
G003	SYMBOLS AND ABBREVIATIONS	●	●
G004	CODE ANALYSIS / LIFE SAFETY DIAGRAMS	●	●
G005	PROPERTY SURVEY - EXISTING AND PROPOSED	●	●
<b>ARCHITECTURE</b>			
A001	BASEMENT PLAN - EXISTING AND PROPOSED	●	●
A002	FIRST FLOOR PLAN - EXISTING AND PROPOSED	●	●
A003	SECOND FLOOR PLAN - EXISTING AND PROPOSED	●	●
A004	ROOF PLAN - EXISTING AND PROPOSED	●	●
A005	ELEVATIONS - SOUTH - EXISTING AND PROPOSED	●	●
A006	ELEVATIONS - NORTH - EXISTING AND PROPOSED	●	●
A007	ELEVATIONS - WEST - EXISTING AND PROPOSED	●	●
A008	BUILDING SECTION	●	●
A009	DOOR AND WINDOW SCHEDULES / WALL TYPES	●	●
A010	FIRST FLOOR BATHROOM ELEVATIONS / DETAILS	●	●
<b>STRUCTURE</b>			
S001	STRUCTURAL NOTES	●	●
S100	FRAMING PLANS	●	●
S101	FRAMING PLANS	●	●
S102	FRAMING PLANS	●	●
S103	FRAMING DETAILS	●	●
E001	ELECTRICAL PLANS	●	●
<b>MECHANICAL PLANS</b>			
M001	MECHANICAL NOTES / SCHEDULES	●	●
M002	MECHANICAL PLANS	●	●
M003	MECHANICAL DETAILS	●	●
<b>PLUMBING PLANS</b>			
P001	PLUMBING NOTES / SCHEDULES	●	●
P002	PLUMBING PLANS - SANITARY	●	●
P003	PLUMBING PLANS - DOMESTIC WATER	●	●
P004	PLUMBING RISERS AND DETAILS	●	●

## ZONING INFORMATION - PER JURISDICTIONAL RECORDS

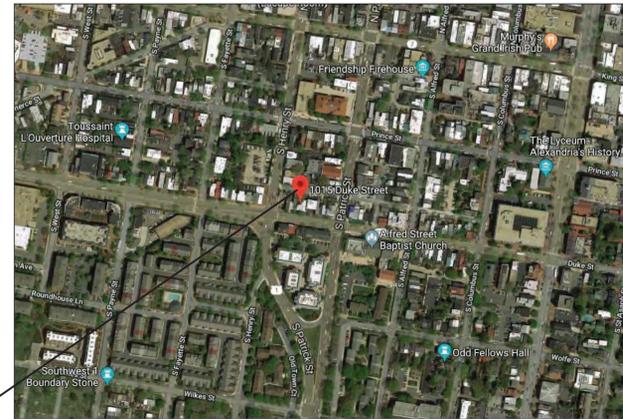
ZONE: CL  
LOT SIZE: 2323  
OVERLAY DISTRICT:  
OLD TOWN ALEXANDRIA HISTORIC  
YEAR BUILT 1900

EXISTING USE:  
BUSINESS

PROPOSED USE:  
BUSINESS

LEGAL DESCRIPTION:  
LOT 502 R/S 1015-1017 DUKE ST

EXISTING FOOTPRINT: 715  
PROPOSED FOOTPRINT: 912



VICINITY MAP

SUBJECT PROPERTY

## DRAWING STANDARDS

- ALL DIMENSIONS ARE FROM STUD TO STUD, UNLESS OTHERWISE NOTED
- CONTRACTOR MUST COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC ROUTING THROUGH CONCEALED SPACES. CONTRACTOR SHALL COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. DRAWINGS PROVIDE SCHEMATIC ARRANGEMENTS ONLY.
- CONTRACTOR MUST NOTIFY ARCHITECT TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED BY THE CONTRACTOR.
- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- T.B.D. (TO BE DETERMINED) INDICATES AN ITEM TO BE SELECTED BY THE APPROPRIATE PARTY AT A LATER DATE.
- V.I.F. (VERIFY IN FIELD) INDICATES AN ITEM OR DIMENSION THAT IS ASSUMED TO EXIST BUT REQUIRES VERIFICATION DURING CONSTRUCTION. CONSULT ARCHITECT IF DISCREPANCY EXISTS.
- D.I.F. (DETERMINE IN FIELD) INDICATES A DIMENSION WHICH IS DETERMINED BY OTHER CONDITIONS SPECIFIED ON THE DRAWINGS.
- A DIMENSION LABELED "CLR." INDICATES THAT THE SPECIFIED CRITICAL DIMENSION BE MAINTAINED.
- A DIMENSION LABELED "MIN." INDICATES THAT THE REQUIRED DIMENSION MAY NOT BE LESS THAN THE SPECIFIED DIMENSION.

### ELECTRICAL NOTES

- ALL WORK MUST BE IN FULL ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES.
- SMOKE DETECTORS MUST BE INSTALLED IN EACH SLEEPING ROOM AND IN THE IMMEDIATE VICINITY OUTSIDE OF EACH SEPARATE SLEEPING AREA AND ON EACH ADDITIONAL STORY PER IBC/IRC CODE, LATEST EDITION. SMOKE DETECTORS TO BE HARDWIRED ON INDEPENDENT CIRCUITS.
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER MUST BE WEATHER-PROOF.
- RECEPTACLES AT REFRIGERATORS, KITCHEN COUNTERS AND BATHROOM VANITIES MUST BE INSTALLED AT 42" A.F.F. UNLESS OTHERWISE NOTED ON DRAWINGS.
- BEDROOM DUPLEX ELECTRICAL RECEPTACLES TO BE EQUIPPED WITH ARC-FAULT INTERRUPTER AND GFCI.

## DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE BARRIER UNDERPAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX 100YR 450 PER NOAA	MEAN ANNUAL TEMP
25 psf	90 MPH	B	SEVERE	24"	MODERATE TO HEAVY	N/A	15° F	YES	NIPORS 1999	450 PER NOAA	50°

INSULATION AND FENESTRATION REQUIREMENTS PER IECC TABLES R402.1.1 AND R402.4.1.1

- |                                    |                                      |
|------------------------------------|--------------------------------------|
| CLIMATE ZONE: 4A                   | CONSTRUCTION TYPE: BRICK + WOOD FRMG |
| DOOR U FACTOR: 0.35                | NO. STORIES: 2 PLUS CELLAR           |
| WINDOWS / DOORS U-FACTOR: 0.35     | CONSTRUCTION FIRE RATING: N/A        |
| WINDOWS / DOORS SHGC: 0.40         | AUTOMATIC SPRINKLER SYSTEM: NONE     |
| SKYLIGHT U-FACTOR / SHGC: 0.55/.30 |                                      |
| CEILING R-VALUE: 49                |                                      |
| WOOD FRAME WALL R-VALUE: 15        |                                      |
| FLOOR R-VALUE: 19                  |                                      |
| BASEMENT WALL R-VALUE: 13          |                                      |
| SLAB R-VALUE AND DEPTH: 10, 2FT.   |                                      |

THERMAL AIR BARRIERS AND INSTALLATION PER IECC TABLE R402.4.1.1

SEE SHEET G003 FOR THE FULL TABLE

### PLUMBING NOTES:

- ALL WORK TO CONFORM TO CURRENT IPC CODE, ALL STATE AND LOCAL CODES, AND ALL UTILITY COMPANY REGULATIONS
- CONTRACTOR'S LICENSED PLUMBER TO REVIEW RISER DIAGRAM AND UPGRADE AS REQUIRED
- ALL HORIZONTAL PIPE RUNS WASTES OR VENTS SHALL PITCH AT A MINIMUM OF 1/4" PER FOOT
- VTR'S MUST NOT BE LOCATED WITHIN 10 FEET OF A WINDOW
- PLUMBING CONTRACTOR MUST OBTAIN AND PAY FOR ALL PERMITS AND PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK
- CONTRACTOR'S PRE-BID SITE VISITS MUST VERIFY ALL EXISTING CONDITIONS AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATED ON THE PLANS. DEMOLITION SHALL GENERALLY BE ARRANGED TO AGREE WITH THE ACCOMPLISHMENT OF WORK UNDER THE VARIOUS PHASES AND IN COORDINATION WITH THE WORK OF OTHER TRADES. CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- THE PLUMBING CONTRACTOR MUST OBTAIN A FULL SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT AND SHALL BE AWARE OF THE WORK OF ALL OTHER TRADES WHICH MAY REQUIRE COORDINATION.
- THE PLUMBING CONTRACTOR MUST VERIFY POINT OF CONNECTIONS TO AND ELEVATIONS OF EXISTING PIPING PRIOR TO INSTALLATION OF NEW PIPING
- PLUMBING CONTRACTOR MUST COORDINATE HIS WORK WITH THAT OF ALL OTHER CONTRACTORS BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACES AND OTHER AREAS WHERE CONFLICTS MAY OCCUR
- ALL EXISTING LINES AND CONDITIONS SHOWN ON THE DRAWINGS HAVE BEEN SHOWN IN GOOD FAITH, HOWEVER, THERE IS NO IMPLIED GUARANTEE AS TO THEIR SIZE, LOCATION, ELEVATION, COMPLIANCE WITH CURRENT CODES OR CONDITIONS. THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING CONDITIONS AND SHALL MODIFY THE PROPOSED WORK AS REQUIRED OR DIRECTED.
- ALL PIPING SHOWN IS SCHEMATIC. IT IS NOT POSSIBLE TO INDICATE EVERY OFFSET, ELBOW, UNION, VALVE, TRAP, ACCESS PANEL ETC. THAT IS REQUIRED FOR A PROPER WORKING SYSTEM. NO ADDITIONAL COST WILL BE ALLOWED FOR THESE FITTINGS THAT ARE REQUIRED TO INSTALL THE PIPING SYSTEM WITHIN THE SPACE PROVIDED AND THAT ARE REQUIRED FOR A COMPLETE WORKING SYSTEM IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE CODES AND REGULATIONS.



A	AMPERES	DR	DOOR	INCL.	"INCLUDE, INCLUSIVE"	R	RADIUS
A.B.	ANCHOR BOLT	E.A.	EXPANSION ANCHOR	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER
A.F.F.	ABOVE FINISHED FLOOR	E.F.	EXHAUST FAN	INT.	INTERIOR	R.D.O.	ROOF DRAIN OVERFLOW
A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	J-BOX	JUNCTION BOX	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	E.N.	END NAILING	JCT	JUNCTION	R.O.W. or R/W	RIGHT OF WAY
ABC	AGGREGATE BASE COURSE	E.W.	EACH WAY	JST.	JOIST	REF	REFRIGERATOR
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	EA.	EACH	JT.	JOINT	REF.	REFERENCE
ABV.	ABOVE	EL	ELEVATION	K-D	KNOCK DOWN	REINF.	REINFORCED
ACB	ASBESTOS-CEMENT BOARD	ELECT.	"ELECTRIC, ELECTRICAL"	KD	KILN DRIED	REQD.	REQUIRED
ACQU.	ACOUSTIC	ELEV.	ELEVATOR	KO	KNOCK OUT	RET.	RETURN
ACT	ACOUSTICAL CEILING TILE	EMC	ELECTRICAL METALLIC CONDUIT	L.E.D.	LIGHT EMITTING DIODE	REV.	REVISION
ADD.	ADDITION or ADDENDUM	EMT	ELECTRICAL METALLIC TUBING	L.F.T.	LINEAR FEET	RM	ROOM
AG	ABOVE GRADE	ENT	ELECTRICAL NON-METALLIC TUBING	LAM	LAMINATE	RMV.	REMOVE
AHU	AIR HANDLER UNIT	EQ.	EQUAL	LAT.	LATERAL	S.C.	SOLID CORE
AL or ALUM.	ALUMINUM	EQUIP.	EQUIPMENT	LAV	LAVATORY	S.D.	SMOKE DETECTOR
ALT.	ALTERNATE	EST.	ESTIMATE	LD.	LEAD	S.O.V.	SHUT OFF VALVE
ANL	ANNEALED	EVAP.	EVAPORATIVE COOLER	LN.	LINEAR	S/L	SKYLIGHT
ASPH.	ASPHALT	EW	ELECTRIC DRINKING COOLER	LNO.	LINOLEUM	S/S	STAINLESS STEEL
AVG	AVERAGE	EXC	EXCAVATE	LT.	LIGHT	SC	SELF CLOSING
AWG	AMERICAN WIRE GAUGE	EXH.	EXHAUST	LTG.	LIGHTING	SCHED.	SCHEDULE
∠	ANGLE	EXIST. or E	EXISTING	LVL	LAMINATED VENEER LUMBER	SECT.	SECTION
B.M.	BENCH MARK	EXT.	EXTERIOR	M.B.	MACHINE BOLT	SES	SERVICE ENTRANCE SECTION
B.N.	BOUNDARY NAILING	F.A.	FIRE ALARM	M.H.	MANHOLE	SH	SHEET
B.O.	BOTTOM OF	F.C.	FAN COIL	M.I.	MALLEABLE IRON	SHTG.	SHEATHING
B.O.F.	BOTTOM OF FOOTING	F.C.O.	FLOOR CLEAN OUT	M.O.	MASONRY OPENING	SIM.	SIMILAR
B.U.	BUILT UP	F.D.	FLOOR DRAIN	MAR.	MARBLE	SPA.	SPACE
B/C	BACK OF CURB	F.E.	FIRE EXTINGUISHER	MAS.	MASONRY	SPECS	SPECIFICATIONS
BD.	BOARD	F.N.	FIELD NAILING	MATL	MATERIAL	SPKR.	SPEAKER
BLDG	BUILDING	F.O.	FACE OF	MAX.	MAXIMUM	SQ. FT.	SQUARE FEET
BLK.	BLOCK	F.S.	FLOOR SINK	MECH.	MECHANICAL	SQ. IN.	SQUARE INCHES
BLKG.	BLOCKING	F/G	FIBERGLASS	MED.	MEDIUM	STC	SOUND TRANSMISSION CLASS
BM.	BEAM	FAB.	FABRICATE	MFG.	MANUFACTURING	STD.	STANDARD
BR	BRASS	FACP	FIRE ALARM CONTROL PANEL	MFR.	MANUFACTURER	STL.	STEEL
BRG.	BEARING	FDC	FIRE DEPARTMENT CONNECTION	MIN.	MINIMUM	SUSP.	SUSPENDED
BRZ	BRONZE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	SW	SWITCH
C.A.P.	CONCRETE ASBESTOS PIPE	FHC	FIRE HOSE CABINET	MOD	MODULAR	SYM	SYMMETRICAL
C.D.	CONSTRUCTION DOCUMENTS	FIN.	FINISH	MTL	METAL	SYS.	SYSTEM
C.I.P.	CAST IN PLACE	FL	FLOOR	MUL	MULLION	T & G	TONGUE AND GROOVE
C.J.	CONTROL JOINT	FLG.	FLOORING	N.I.C.	NOT IN CONTRACT	T.B.	THROUGH BOLT
C.O.	CLEAN OUT	FLUOR.	FLUORESCENT	N.T.S.	NOT TO SCALE	T.M.B.	TELEPHONE MOUNTING BOARD
C.T.	CERAMIC TILE	FP	FIRE PROOF	NCM	NON-CORROSIVE METAL	T.O.	TOP OF
CAB	CABINET	FTG.	FOOTING	NFC	NOT FOR CONSTRUCTION	T.O.B.	TOP OF BEAM
CAM.	CAMBER	FURN.	FURNISH	NLR.	NAILER	T.O.C.	TOP OF CURB
CCTV	CLOSED CIRCUIT TELEVISION	G.I.	GALVANIZED IRON	NO.	NUMBER	T.O.F.	TOP OF FOOTING
CEM.	CEMENT	GA.	GAUGE	NOM.	NOMINAL	T.O.J.	TOP OF JOIST
CER	CERAMIC	GALV.	GALVANIZED	O.C.	ON CENTER	T.O.M.	TOP OF MASONRY
CFM	CUBIC FEET PER MINUTE	GAR.	GARAGE	O.D.	OUTSIDE DIAMETER	T.O.S.	TOP OF SLAB
CH or C	CHANNEL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	O.H.	OVER HANG	T.O.W.	TOP OF WALL
CKT. BKR.	CIRCUIT BREAKER	GFI	GROUND FAULT INTERRUPTER	O.I.	ORNAMENTAL IRON	T.S.	TUBE STEEL
CL or Q	CENTERLINE	GL	GLASS	O.R.	OUTSIDE RADIUS	T.V.	TELEVISION OUTLET
CLG.	CEILING	GLB.	GLUE LAMINATED BEAM	OAI	OUTSIDE AIR INTAKE	TEL.	TELEPHONE
CLKG.	CAULKING	GM	GRADE MARK	OH	OVER HEAD	TH.	THRESHOLD
CLO.	CLOSET	GM	GATE VALVE	OPNG.	OPENING	THD.	THREADED
CLR.	CLEAR	GRC	GALVANIZED RIGID TUBING	OPPO.	OPPOSITE	THK.	THICK
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSON	P.C.	PRECAST CONCRETE	THRU	THROUGH
CNTRD.	CENTERED	GYP. BD.	GYPSON BOARD	P.L. or P	PROPERTY LINE	TLT.	TOILET
COL.	COLUMN	H.B.	HOSE BIBB	P.LAM.	PLASTIC LAMINATE	TRANS.	TRANSFORMER
COMB.	COMBINATION	H.C.	HOLLOW CORE	P.O.C.	POINT OF CONNECTION	TYP.	TYPICAL
CONC.	CONCRETE	H.M.	HOLLOW METAL	PERF.	PERFORATED	UNF.	UNFINISHED
CONST.	CONSTRUCTION	H/C	HANDICAPPED	PERP. or ⊥	PERPENDICULAR	UR	URINAL
CONT.	CONTINUOUS	HDBD.	HARDBOARD	PH or Ø	PHASE	V.B.	VAPOR BARRIER
CONTR.	CONTRACTOR	HDW	HARDWARE	PL.	PLASTER	V.I.F.	VERIFY IN FIELD
CU	COPPER	HGT.	HEIGHT	PL. or P	PLATE	VA	VOLT AMPERE
d	PENNY	HOR.	HORIZONTAL	PLAS.	PLASTIC	VCT	VINYL COMPOSITION TILE
D.F.	DRINKING FOUNTAIN	HTR	HEATER	PLMB.	PLUMBING	VERT.	VERTICAL
D.G.	DECOMPOSED GRANITE	HVAC	"HEATING, VENTILATING & AIR CONDITIONING"	PLYWD.	PLYWOOD	W/C	WATER CLOSET
D.S.	DOWN SPOUT	HW	HOT WATER	PORC.	PORCELAIN	WDW	WINDOW
D/W	DISHWASHER	HYD.	HYDRAULIC	PREFAB.	PREFABRICATED	WCT	WAINSCOT
DBL.	DOUBLE	I.C.	INTERCOM OUTLET	PSF	POUNDS PER SQUARE FOOT	WP	WEATHER PROOF
DEMO	DEMOLITION	I.D.	INSIDE DIAMETER	PSI	POUNDS PER SQUARE INCH	WT.	WEIGHT
DIA. or Ø	DIAMETER	I.F.	INSIDE FACE	PTN.	PARTITION	W7	WITH
DIAG.	DIAGONAL	ID	IDENTIFICATION	PVC	POLYVINYLCHLORIDE	W/O	WITHOUT
DIM.	DIMENSION	IG	ISOLATED GROUND	PWR.	POWER	WD.	WOOD
DL	DEAD LOAD	IMC	INTERMEDIATE METALLIC CONDUIT	Q.T.	QUARRY TILE	WI.	WROUGHT IRON
DN.	DOWN	IMPG	IMPREGNATED	QTY.	QUANTITY	YD.	YARD

## ARCHITECTURAL ABBREVIATIONS

N.T.S.



## LINEWORK



NORTH POINT COMPASS



INDICATES SECTION NUMBER

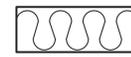
INDICATES DRAWING SHEET ON WHICH SECTION IS DRAWN



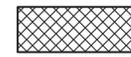
INDICATES SECTION NUMBER

INDICATES DRAWING SHEET ON WHICH SECTION IS DRAWN

## ARCHITECTURAL MATERIALS SYMBOLS



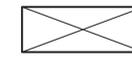
BATT INSULATION



CONCRETE BLOCK



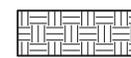
GYPSON



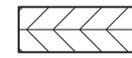
WOOD-ROUGH



BRICK - ELEVATION



EARTH



PLYWOOD



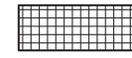
WOOD-BLOCKING



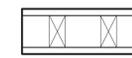
CEMENTITIOUS FIBER



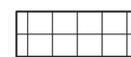
FIRESTOP



RIGID INSULATION



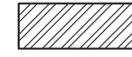
WOOD STUD PARTITION



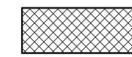
CERAMIC TILE



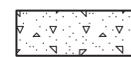
GLASS



STEEL



FIRE WALL SEPARATION  
SEE WALL TYPES SHEET FOR DETAILS



CONCRETE



STONE



WOOD

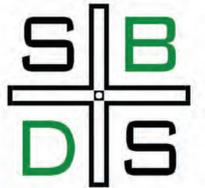
TABLE R402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.

Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.

Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

WEST WORKSHOP  
ARCHITECTS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
solvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

GRAPHIC SYMBOLS AND ABBREVIATIONS

TITLE

PROJECT

SBDS PROJ. NO.

REVISIONS: NO. DATE DESCRIPTION

DATE:

DRWN. BY:

CHKD. BY:

SCALE:

AS NOTED

SHEET NO.

G003

SHEET:

OF:

# SCOPE OF WORK DESCRIPTION

## CODE ANALYSIS:

GENERAL INFORMATION	EXISTING	PROPOSED
USE AND OCCUPANCY	B	B
TYPE OF CONSTRUCTION	VB	VB
NUMBER OF STORIES	2+BSMT	2+BSMT
FIRE SUPPRESSION	NO	NO
FIRE ALARM	NO	NO

FLOOR AREA: BASEMENT	607 SF	912 SF
FLOOR AREA: 1ST FLOOR	715 SF	912 SF
FLOOR AREA: 2ND FLOOR	763 SF	954 SF

FLOOR AREA: TOTAL	2085 SF	2778 SF
-------------------	---------	---------

GOVERNING JURISDICTION AND BUILDING CODES: CITY OF ALEXANDRIA, VIRGINIA

BUILDING	2015 INTERNATIONAL BUILDING CODE
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE
PLUMBING	2015 INTERNATIONAL PLUMBING CODE
ELECTRICAL	2014 NATIONAL ELECTRICAL CODE
ENERGY CONSERVATION	2015 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE	2015 FIRE PREVENTION CODE
GAS	2015 FUEL GAS CODE
LOCAL SUPPLEMENTS	2015 VIRGINIA CONSTRUCTION CODE / 2015 VIRGINIA EBC
ACCESSIBILITY	2017 ICC A117.1

EGRESS REQUIRED	EGRESS PROVIDED
1 (PER IBC 1004.1.2)	1

BASEMENT	912 / 100 = 10	1
FIRST FLOOR OFFICE #5	415 / 100 = 5	
FIRST FLOOR OFFICE #4	185 / 100 = 2	
FIRST FLOOR KITCHEN	103 / 100 = 2	
SECOND FLOOR OFFICE #1	203 / 100 = 3	
SECOND FLOOR OFFICE #2 + #3	260 / 100 = 3	
POWDER ROOM	1	
BATH #1	1	
BATH #2	1	
BATH #3	1	

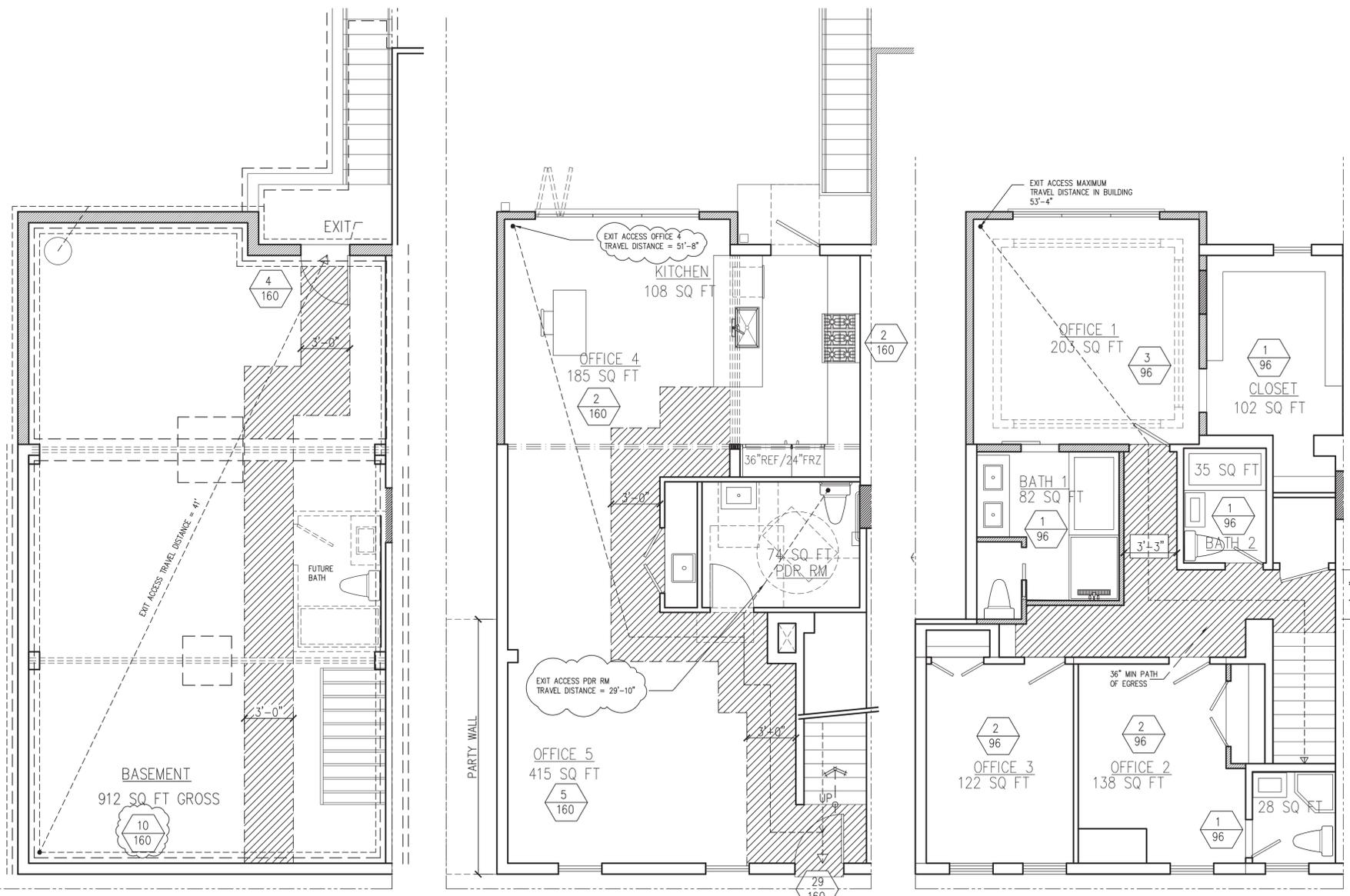
TOTAL OCCUPANCY: 29 PEOPLE 1

## PLUMBING FIXTURE CALCULATIONS

	REQUIRED	PROVIDED
WC	1	1
LAVATORY	1	1
URINAL	0	0
MOP SINK	1	1
DRINKING FOUNTAIN	0	0

## FIRE RATINGS

TENANT SEPARATION	N/A
INTERIOR WALLS	NON RATED
EXTERIOR WALLS / NON LOAD BEARING	N/A
EXTERIOR WALLS / LOAD BEARING	EXISTING 2 HOUR
CEILING AND FLOOR RATING	N/A



PATH OF EGRESS  
 EXIT SIGNS

BASEMENT PLAN

FIRST FLOOR

SECOND FLOOR

# OCCUPANCY LOAD DIAGRAMS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

EGRESS AND OCCUPANCY FLOOR PLANS

TITLE

PROJECT

SBDS PROJ. NO:

NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE:

DRWN. BY:

CHKD. BY:

SCALE:

AS NOTED

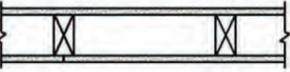
SHEET NO.

G004

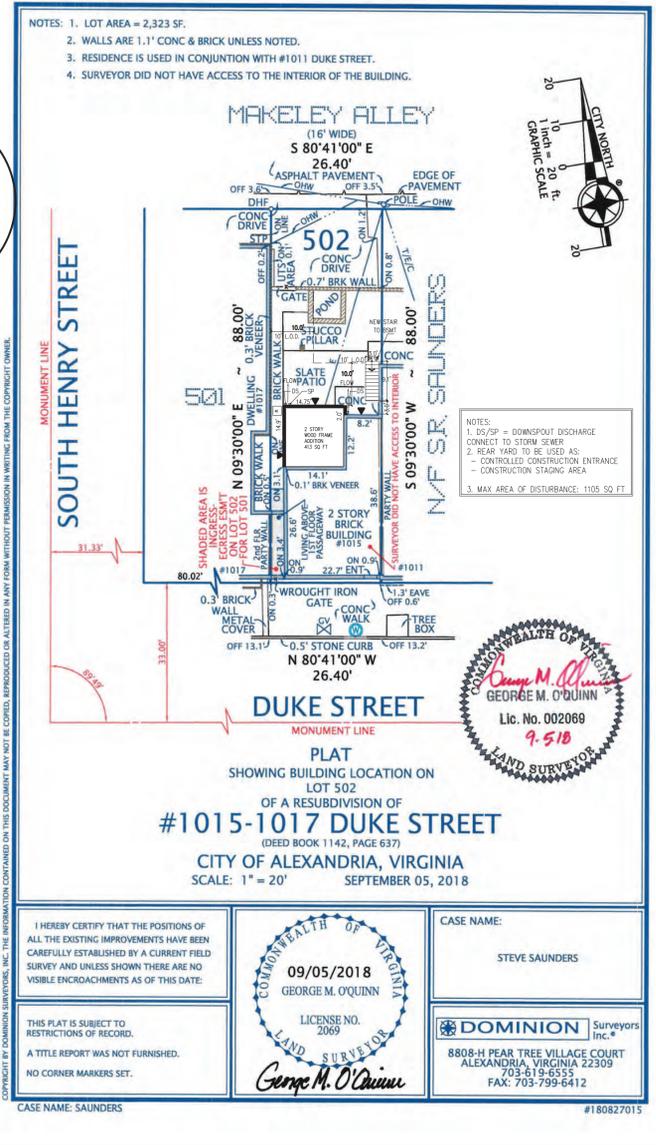
SHEET:

OF:

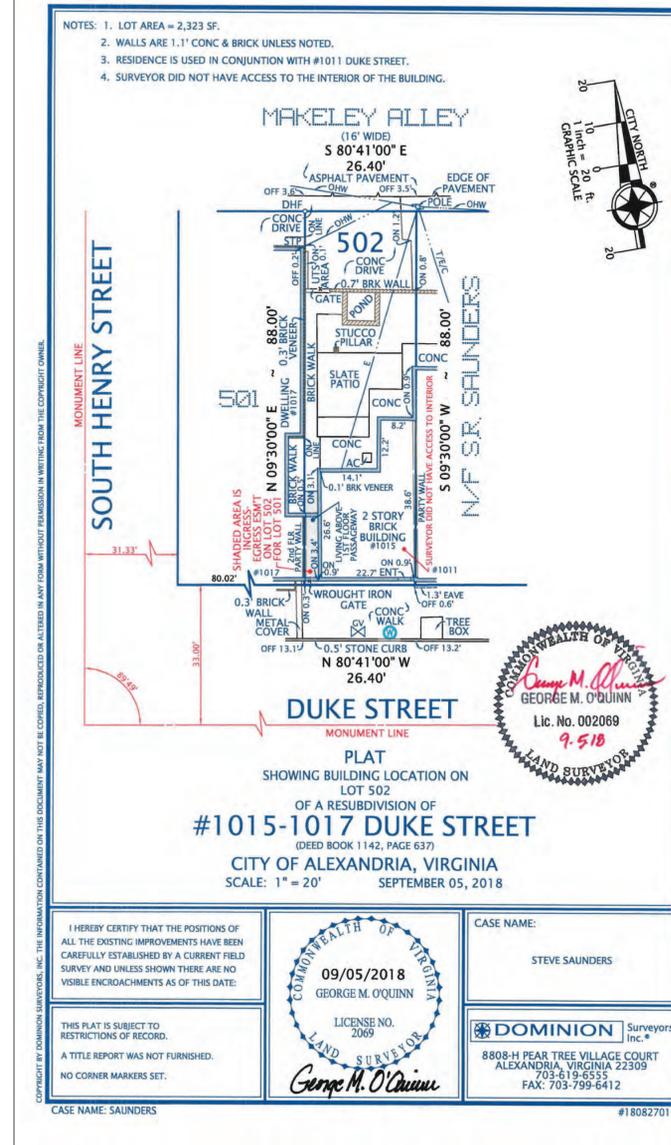
SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

<b>1 Hour FIRE</b>	Design #	GA File #	<b>STC - 35</b>
	<b>UL U305</b>	<b>WP 3605</b>	Sound Test # <i>NGC - 2403</i>
		5/8" (15.9 mm) Fire-Shield Gypsum Board or 5/8" XP Fire-Shield Gypsum Board applied horizontally or vertically to each side of 2x4 wood studs 16" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. at edges. Joints of square edge, bevel edge or predecorated gypsum board may be left exposed. Joints staggered 16" on opposite sides.	
<a href="#">Link to .PDF file</a> <a href="#">Link to .DWG file</a> <a href="#">Link to .DWG/Text file</a>			

UL U305 1 HOUR RATED ASSEMBLY  
WALL TYPE #4



EXISTING PROPERTY SURVEY  
SCALE: 1" = 20'



EXISTING PROPERTY SURVEY  
SCALE: 1" = 20'

**DISTURBED AREA CERTIFICATION STATEMENT**

Disturbed Area Certification:  
I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

Drainage Certification:  
I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

WEST WORKSHOP ARCHITECTS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019  
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

EXISTING AND PROPOSED PROPERTY SURVEYS

TITLE:

PROJECT:

SBDS PROJ. NO.:

NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE:	
DRWN. BY:	CHKD. BY:
SCALE:	AS NOTED
SHEET NO.	G005
SHEET:	OF:

**GENERAL DEMOLITION NOTES:**

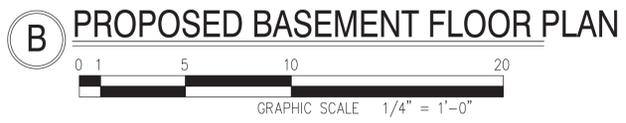
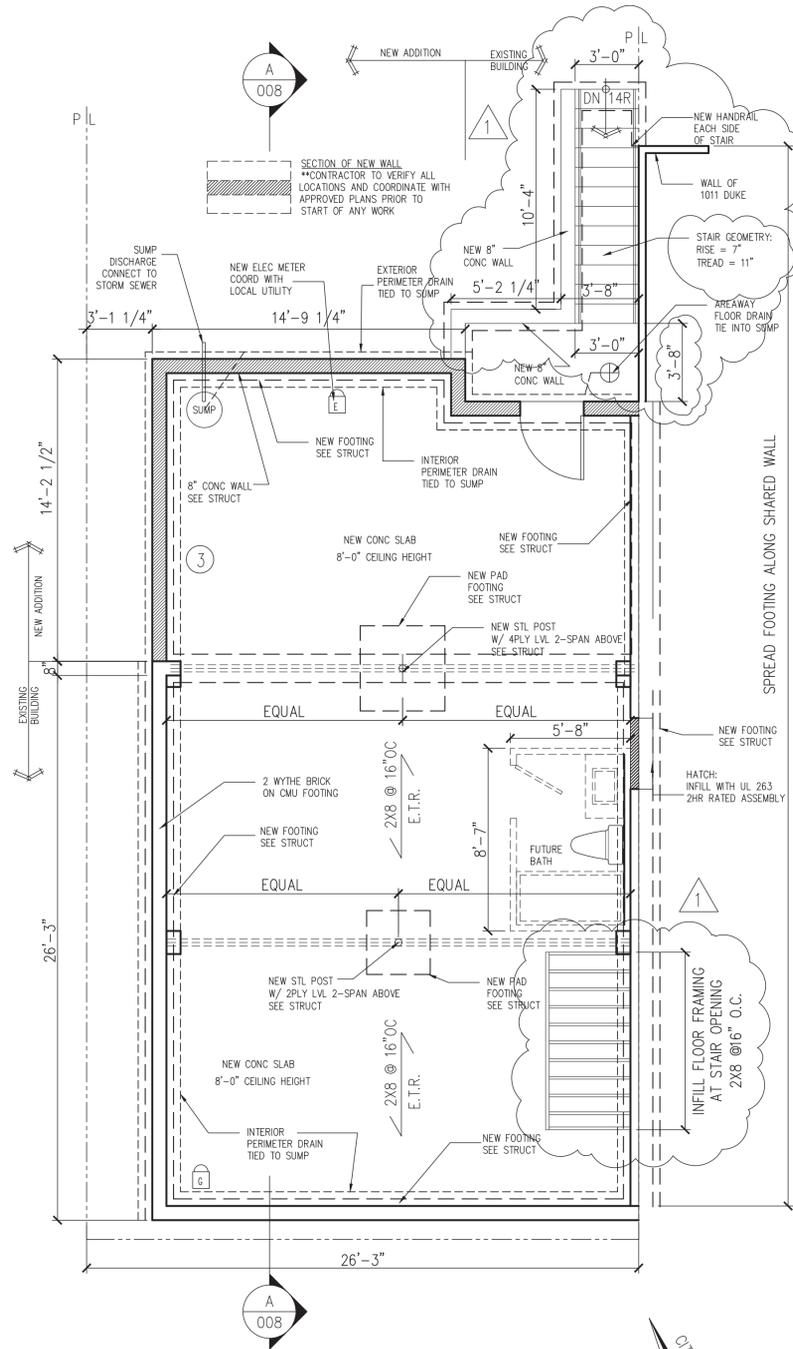
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

**GENERAL NOTES:**

1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

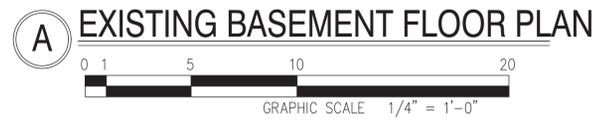
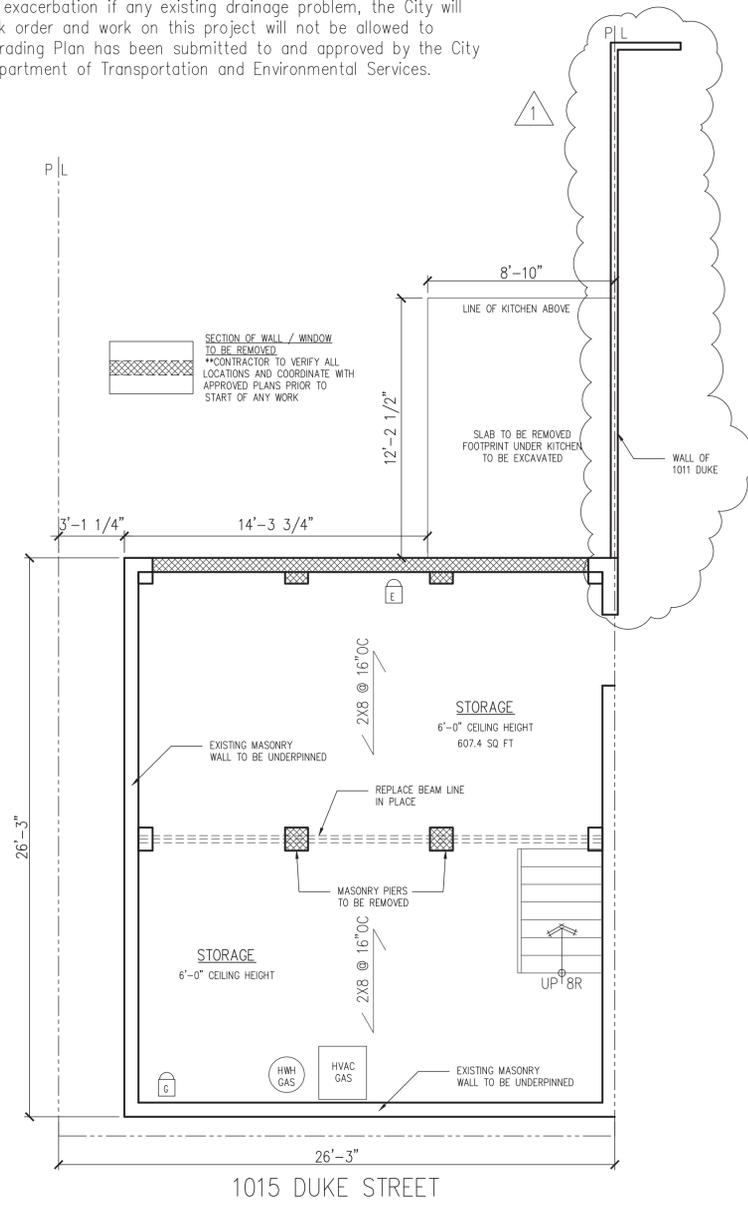
⊙ SMOKE DETECTOR      ⊙ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.

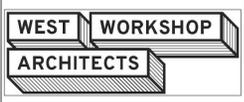


**Disturbed Area Certification:**  
I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

**Drainage Certification:**  
I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.



SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE



SB DESIGN STUDIOS LLC  
4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

TITLE: EXISTING + PROPOSED PLANS  
BASEMENT  
PROJECT: 1015 DUKE STREET

SBDS PROJ. NO.: 2018-24

REVISIONS NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: 03-01-19

DRWN. BY: SBDS      CHKD. BY: SB

SCALE: AS NOTED

SHEET NO. A001

SHEET:      OF:

**GENERAL DEMOLITION NOTES:**

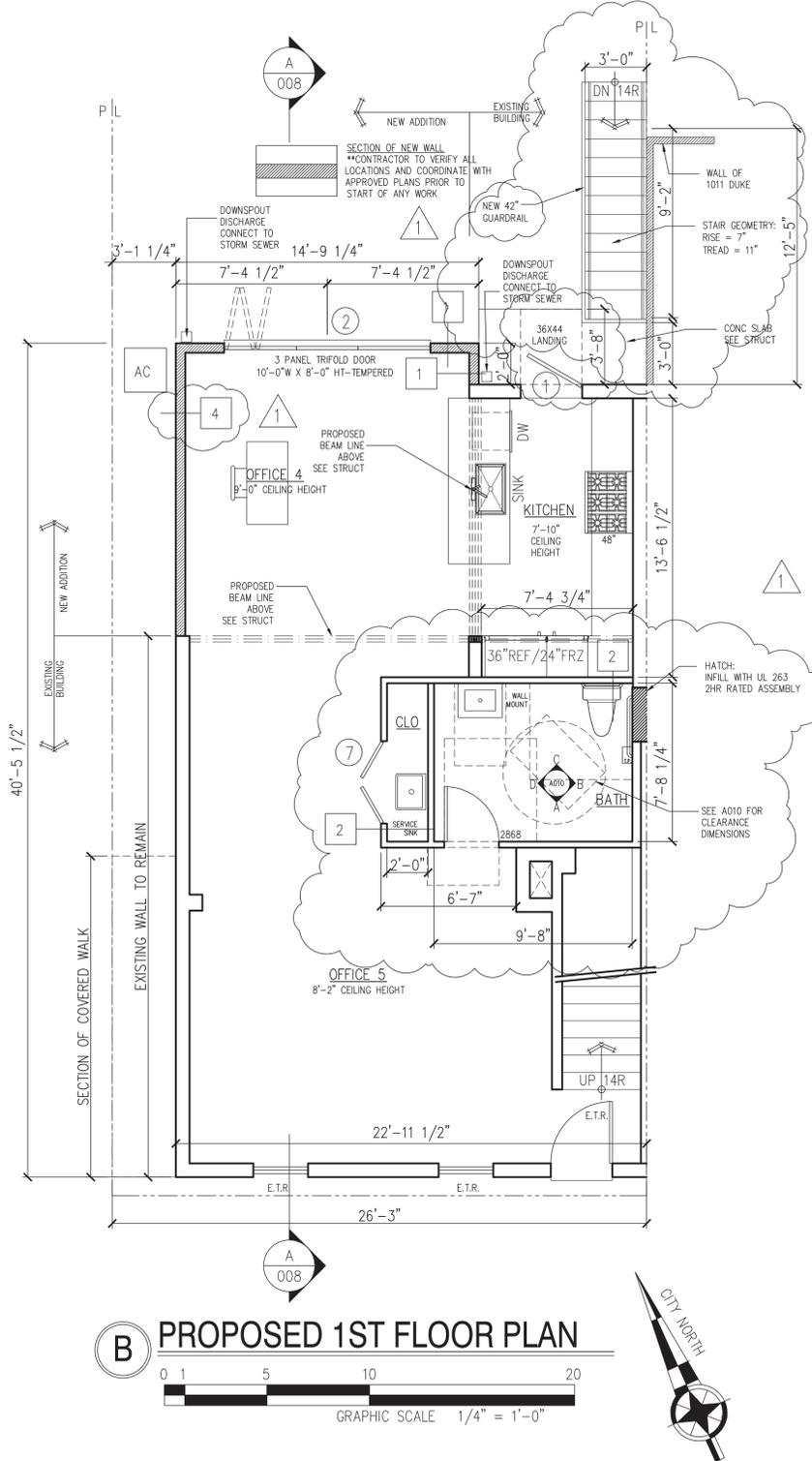
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

**GENERAL NOTES:**

1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

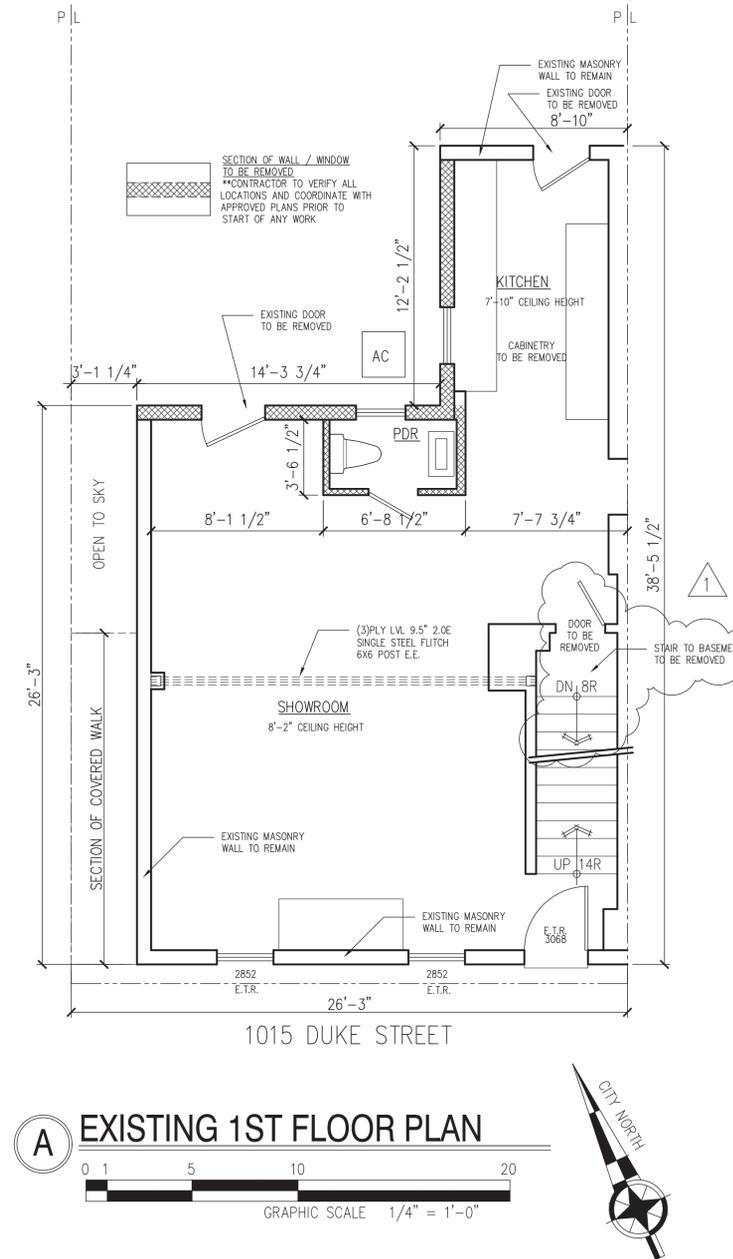
☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**Disturbed Area Certification:**  
I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

**Drainage Certification:**  
I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.



SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

**WEST WORKSHOP ARCHITECTS**



**SB DESIGN STUDIOS LLC**

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

**TITLE: EXISTING + PROPOSED PLANS FIRST FLOOR**

**PROJECT: 1015 DUKE STREET**

SBDS PROJ. NO: **2018-24**

REVISIONS NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE:	<b>03-01-19</b>
DRWN. BY:	<b>SBDS</b>
CHKD. BY:	<b>SB</b>
SCALE:	<b>AS NOTED</b>
SHEET NO.:	<b>A002</b>
SHEET:	OF:

**GENERAL DEMOLITION NOTES:**

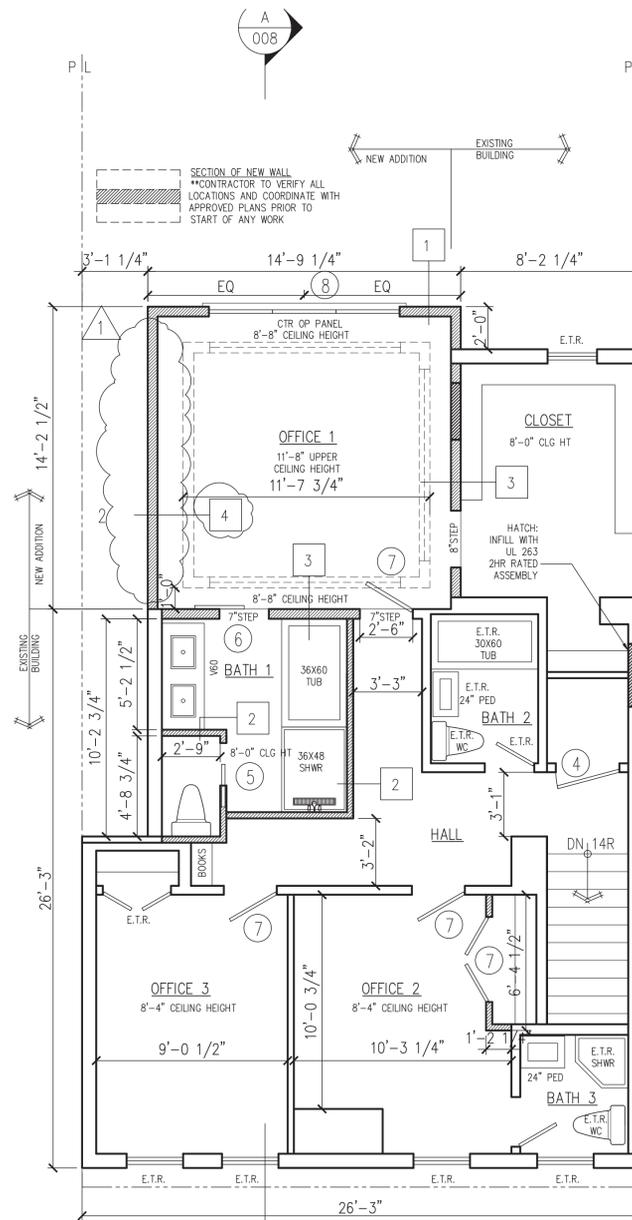
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

**GENERAL NOTES:**

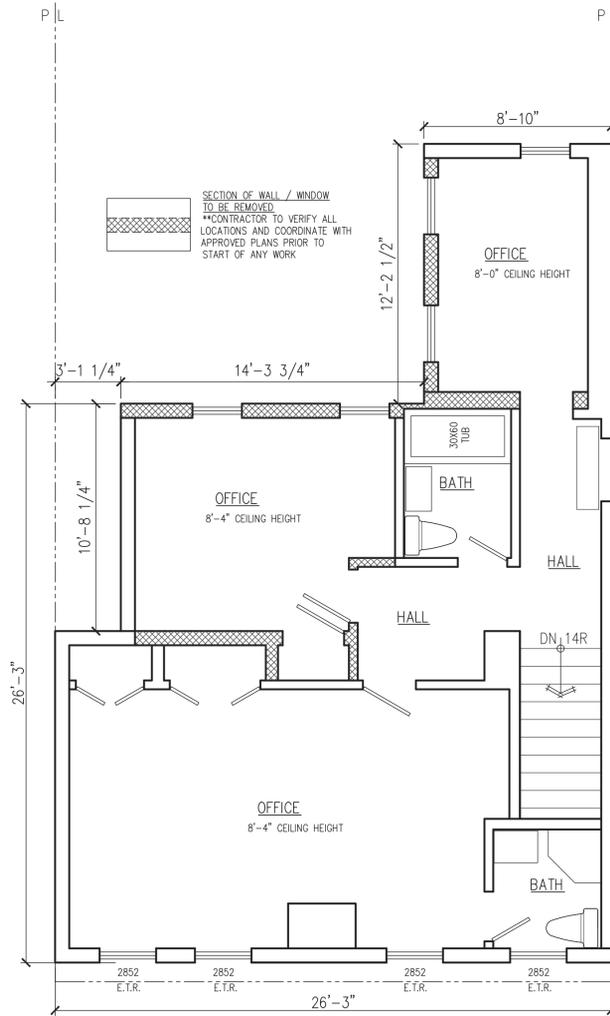
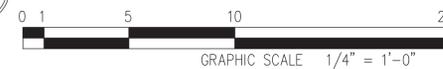
1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

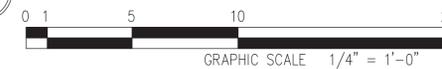
NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**B PROPOSED 2ND FLOOR PLAN**



**A EXISTING 2ND FLOOR PLAN**



**WEST WORKSHOP ARCHITECTS**



**SB DESIGN STUDIOS LLC**

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

TITLE: **EXISTING + PROPOSED PLANS SECOND FLOOR**  
PROJECT: **1015 DUKE STREET**

SBDS PROJ. NO: **2018-24**

NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: **03-01-19**

DRWN. BY: **SBDS**      CHKD. BY: **SB**

SCALE: **AS NOTED**

SHEET NO. **A003**

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

**GENERAL DEMOLITION NOTES:**

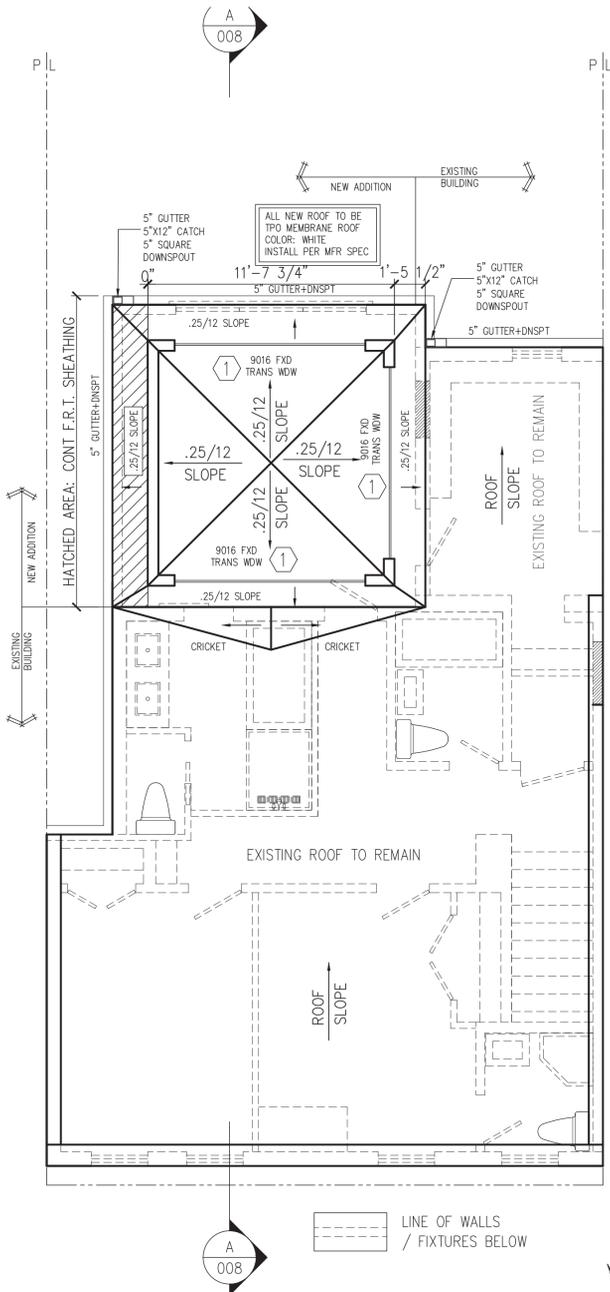
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

**GENERAL NOTES:**

1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.

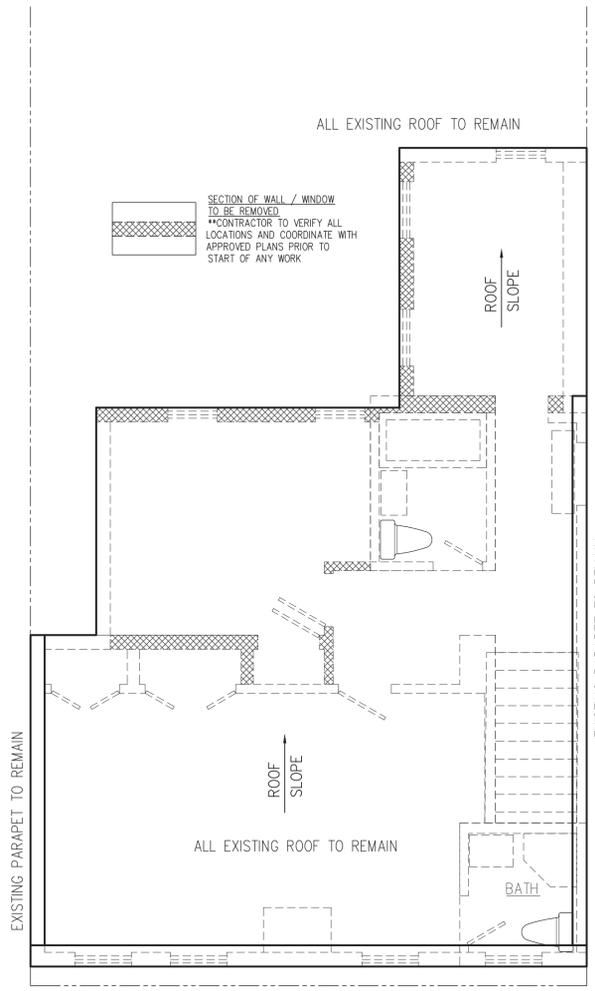


**B PROPOSED ROOF PLAN**  
0 1 5 10 20  
GRAPHIC SCALE 1/4" = 1'-0"



NOTE: CONTRACTOR TO VERIFY NEIGHBOR'S ROOF CONDITION AND COMPLY WITH IRC R302.2.2 WHERE ROOF SURFACES ADJACENT TO THE WALL OR WALLS ARE DIFFERENT ELEVATIONS, AND THE HIGHER ROOF IS NOT MORE THAN 30 INCHES ABOVE THE LOWER ROOF, THE PARAPET SHALL EXTEND NOT LESS THAN 30 INCHES ABOVE THE LOWER ROOF SURFACES.

NOTE: DRAINAGE CALCULATIONS PER WWW.NORTHCLAD.COM  
District of Columbia  
Rainfall Intensity (10yr) = 7.1 in./hr.  
Rainfall Intensity (100yr) = 9.7 in./hr.  
Drainable Area (10yr) = 170 sq. ft.  
Drainable Area (100yr) = 120 sq. ft.  
Year Setting = 100 yr.  
Plan Area = 1040 sq. ft.  
Gutter length = 50 ft.  
Max Gutter Served by Each DS = 25 ft.  
Design Area = 1040 sq. ft.  
Minimum Number of DS = 2  
Max Roof Area Served by Each DS = 520 sq. ft.  
Min. Gutter Width = 4 in.  
Min. Gutter Depth = 4 in.  
Recommended Product: NorthClad®Gs 600 Series  
Min. Ds Size = 2 in. x 3 in.  
Recommended Product: NorthClad®Gs 44 Square DS



**A EXISTING ROOF PLAN**  
0 1 5 10 20  
GRAPHIC SCALE 1/4" = 1'-0"



**WEST WORKSHOP ARCHITECTS**



**SB DESIGN STUDIOS LLC**

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
solvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

**TITLE: EXISTING + PROPOSED PLANS ROOF**  
**PROJECT: 1015 DUKE STREET**

SBDS PROJ. NO: **2018-24**

REVISIONS NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: **03-01-19**

DRWN. BY: **SBDS**      CHKD. BY: **SB**

SCALE: **AS NOTED**

SHEET NO. **A004**

SHEET:      OF:

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

**GENERAL DEMOLITION NOTES:**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

GENERAL NOTES:

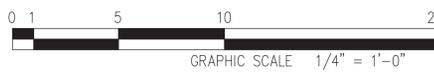
1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**A EXISTING SOUTH ELEVATION (FRONT)**



**A PROPOSED SOUTH ELEVATION (FRONT)**



WEST WORKSHOP  
ARCHITECTS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

2019  
© ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

EXISTING + PROPOSED  
ELEVATIONS

1015 DUKE STREET

TITLE

PROJECT

SBDS PROJ. NO: 2018-24

REVISIONS: NO. DATE DESCRIPTION

DATE: 03-01-19

DRWN. BY: SBDS CHKD. BY: SB

SCALE: AS NOTED

SHEET NO. A005

SHEET: OF:

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

**GENERAL DEMOLITION NOTES:**

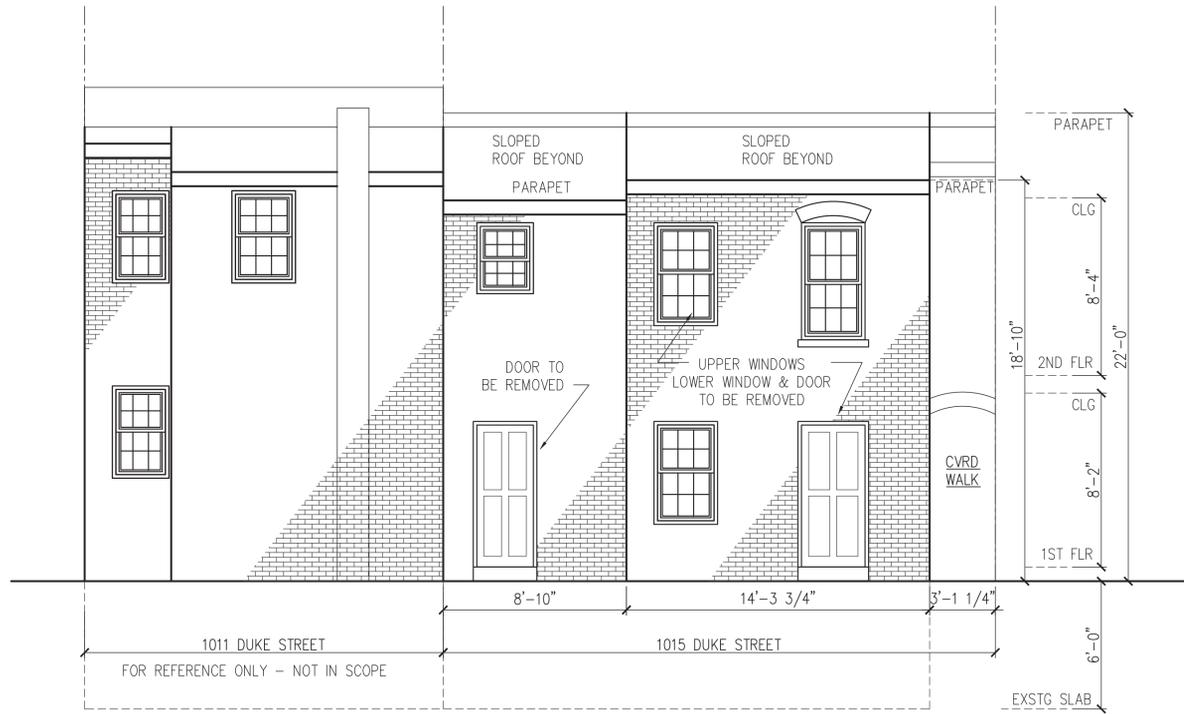
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

GENERAL NOTES:

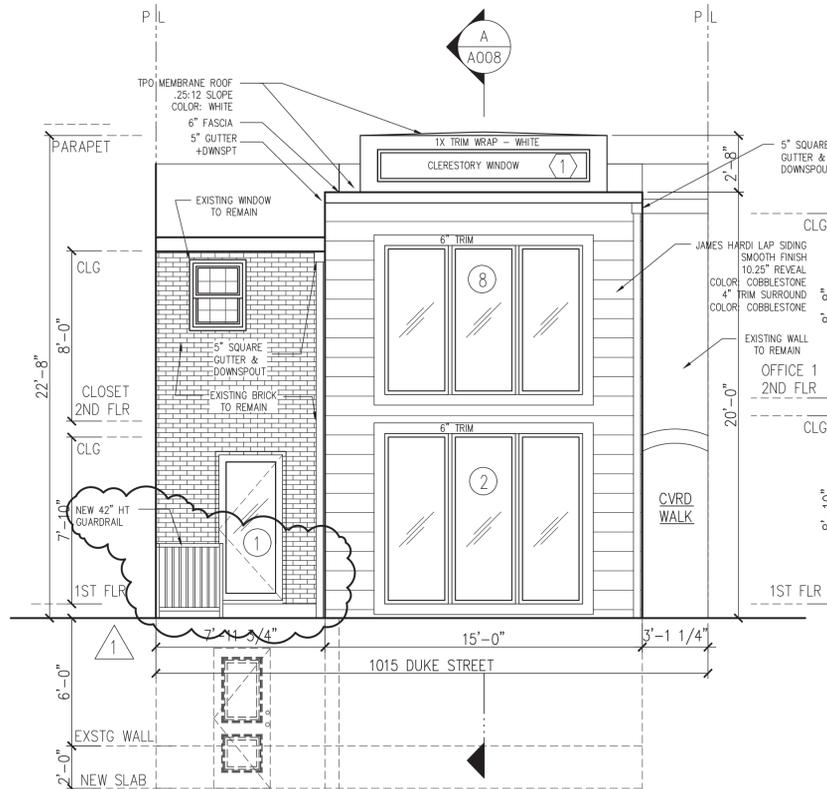
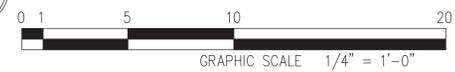
1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      Ⓞ CARBON MONOXIDE DETECTOR

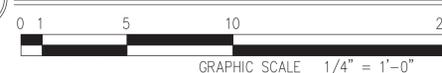
NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**C EXISTING NORTH ELEVATION (REAR)**

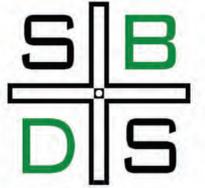


**C PROPOSED NORTH ELEVATION (REAR)**



SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

WEST WORKSHOP ARCHITECTS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

2019 © ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

EXISTING + PROPOSED ELEVATIONS

1015 DUKE STREET

TITLE

PROJECT

SBDS PROJ. NO: 2018-24

REVISIONS NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: 03-01-19

DRWN. BY: SBDS      CHKD. BY: SB

SCALE: AS NOTED

SHEET NO: A006

SHEET:

OF:

**GENERAL DEMOLITION NOTES:**

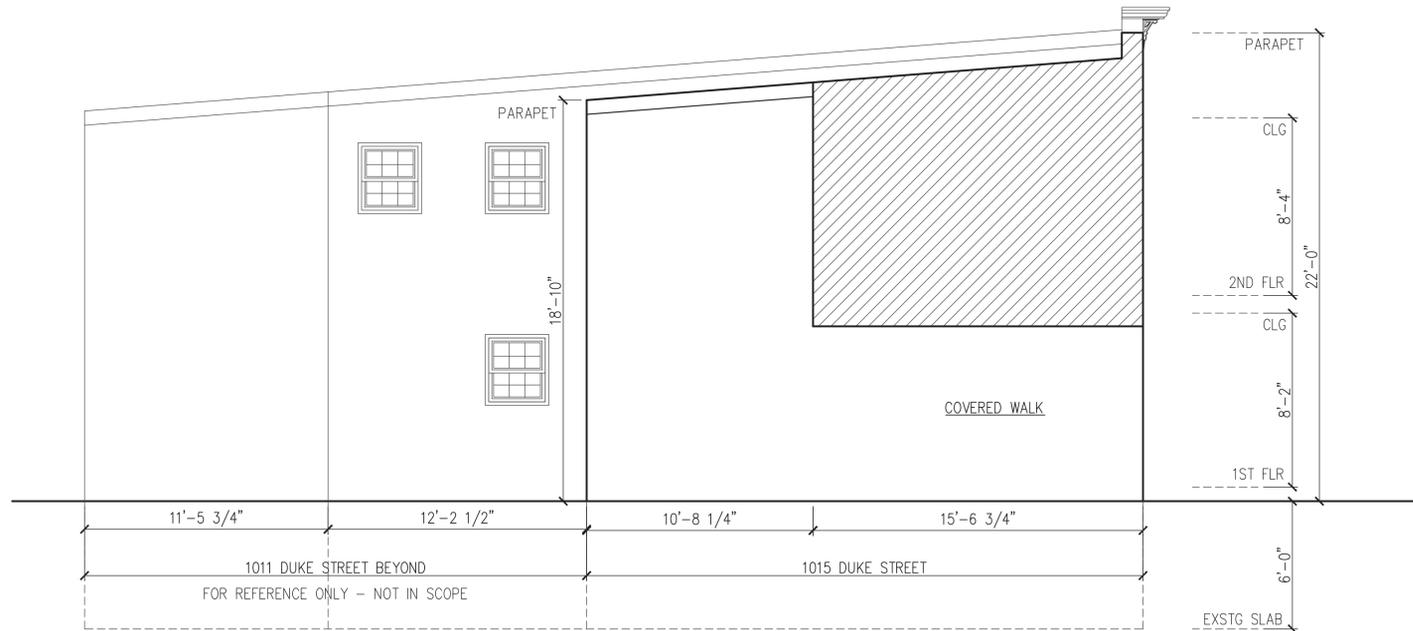
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

GENERAL NOTES:

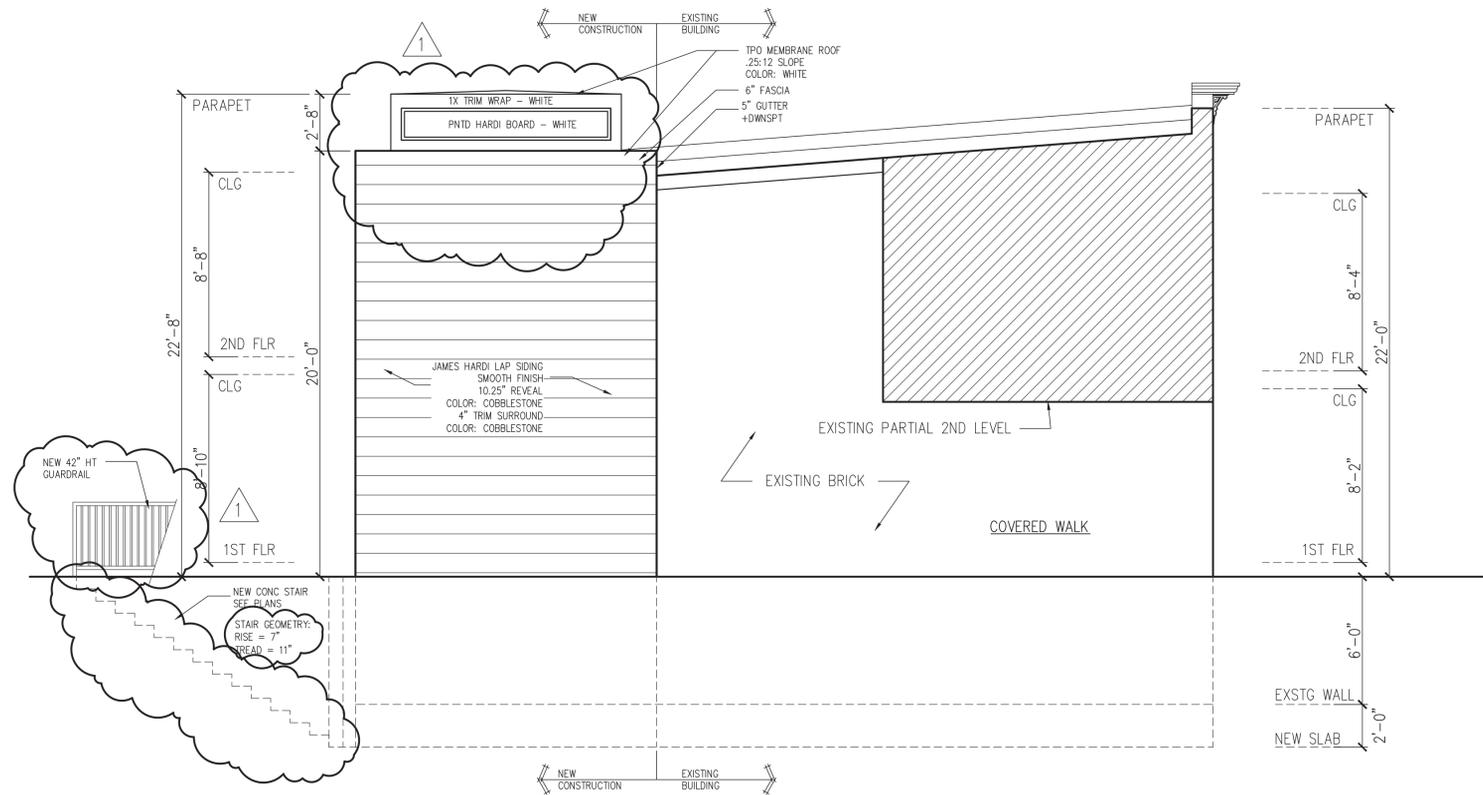
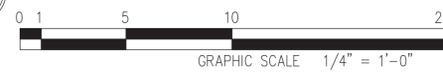
1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**B** EXISTING WEST ELEVATION (LEFT) 1015 DUKE



**B** PROPOSED WEST ELEVATION (LEFT) 1015 DUKE



SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

WEST WORKSHOP  
ARCHITECTS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

EXISTING + PROPOSED  
ELEVATIONS

1015 DUKE STREET

TITLE

PROJECT

SBDS PROJ. NO: 2018-24

REVISIONS	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: 03-01-19

DRWN. BY: SBDS      CHKD. BY: SB

SCALE: AS NOTED

SHEET NO. A007

SHEET:      OF:

**GENERAL DEMOLITION NOTES:**

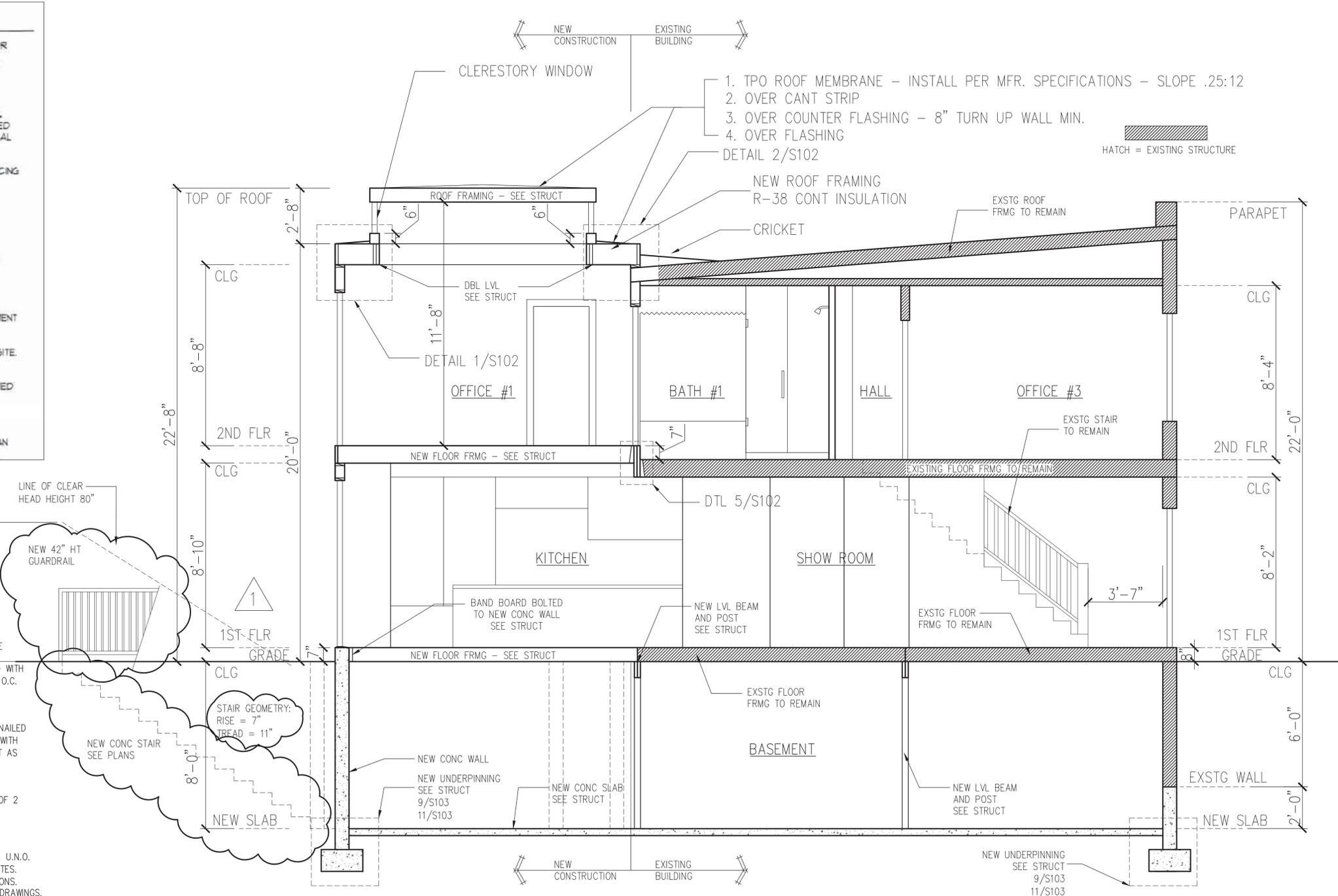
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
7. THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE. IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED OF FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY-DOWN AREA OR AN AREA DESIGNATED BY OWNER FOR OWNER RETAINED ITEMS.

**GENERAL NOTES:**

1. REFERENCE FRONT ELEVATIONS FOR HEADER HEIGHTS OF FEATURE WINDOWS.
2. FIRST FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
3. KITCHEN WINDOW SILL HEIGHT TO BE SET AT 48" A.F.F.
4. SECOND FLOOR HEADER HEIGHTS VARY PER ELEVATION & LOCATION
5. WINDOWS AT TUB DECK TO BE SET AT 33" A.F.F. UNLESS OTHERWISE NOTED.
6. ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X\_ STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
7. FLOOR TRUSS SPACING TO BE A MAX. OF 19.2" O.C. UNLESS OTHERWISE NOTED.
8. ALL SHEATHING USED FOR SUB FLOORING WILL BE GLUED AND SCREWED WITH 1 5/8" SCREW AT FOUR (4) INCHES O.C. AT EDGES AND EIGHT (8) INCHES O.C. IN FIELD. ALL EDGES REQUIRE A 1/16 INCH GAP. ALL TONGUE AND GROOVE JOINTS WILL RECEIVE A BEAD OF GLUE. GLUING AND SCREWING WILL BE ACCOMPLISHED ONE SHEET AT A TIME.
9. ROOF SHEATHING WILL BE 3/4" EXTERIOR GRADE PLYWOOD OR EQUAL, NAILED FOUR (4) INCHES O.C. AT ALL EDGES AND EIGHT (8) INCHES O.C. IN FIELD WITH A 1/8" GAP AT ALL EDGES. LEAVE TWO (2) INCHES OF GAP AT RIDGE VENT AS REQUIRED. CONTINUOUS FRT PLYWOOD 48" FROM ALL PROPERTY LINES
10. CERAMIC TILE FLOORS SHOULD BE SUPPORTED PER TILE COUNCIL OF AMERICA (TCA) RECOMMENDATIONS.
11. VERIFY LOCATION OF PLUMBING DROPS AND SHIFT JOISTS A MAXIMUM OF 2 INCHES.
12. HANGERS TO BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS OR BEAMS DESIGNED TO CARRY LOAD TO THE FOUNDATION.
14. ALL ROOF FRAMING WOOD TRUSSES TO BE SET AT A MAX. OF 24" O.C. U.N.O.
15. ALL ROOF TRUSSES TO BE ATTACHED PER STRUCTURAL ENGINEER'S NOTES.
16. ALL ROOF TRUSSES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
17. ROOF TRUSS MANUFACTURER TO SUPPLY CERTIFIED ENGINEERED SHOP DRAWINGS.
18. REFERENCE FIRST FLOOR PLANS FOR GARAGE BEAM SIZES AND LOCATIONS.
19. ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
20. PROVIDE BRACING FOR ALL CEILING FAN OUTLETS.
21. CARBON MONOXIDE ALARMS TO BE INSTALLED PER IRC SECTION 315
22. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE IRC2012 AND VUSBC2012
23. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" UNLESS NOTED OTHERWISE
24. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
25. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
26. ALL ANGLES ARE 90 AND/OR 45 DEGREES UNLESS NOTED OTHERWISE
27. ALL WINDOW DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3050 = 3'-0" (W) X 5'-0" (H)
28. ALL DOOR DIMENSIONS ARE GIVEN IN FEET AND INCHES.  
EXAMPLE: 3068 = 3'-0" (W) X 6'-8" (H)
29. BATH WALLS WITH TILE TO HAVE 1/2" CEMENT BOARD
30. ALL OTHER BATH WALLS TO BE MOISTURE RESISTANT GREEN BOARD
31. SILL HEIGHT IS BASED ON WINDOW SIZE AND WINDOW HEAD HEIGHT INDICATED ON ELEVATIONS. IN LOCATIONS WHERE THE SILL IS LESS THAN 18" AND THE FINISH GRADE OR SURFACE ON THE EXTERIOR SIDE IS MORE THAN 72" OPERABLE WINDOWS MUST HAVE A GUARD INSTALLED IN ACCORDANCE WITH R613.2 EXCEPTION 2.
32. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED - REQUIRED LOCATIONS PER IBC CHAPTER 9

☉ SMOKE DETECTOR      ☉ CARBON MONOXIDE DETECTOR

NOTE: THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATION OR TO INCORPORATE DESIGN IMPROVEMENTS.



**A PROPOSED BUILDING SECTION**  
 0 1 5 10 20  
 GRAPHIC SCALE 3/8" = 1'-0"

**WEST WORKSHOP ARCHITECTS**



**SB DESIGN STUDIOS LLC**

4201 S 31ST STREET #950  
 ARLINGTON VIRGINIA 22206  
 571.317.1932  
 salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

**BUILDING SECTION**

**1015 DUKE STREET**

SBDS PROJ. NO: **2018-24**

REVISIONS NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: **03-01-19**

DRWN. BY: **SBDS**      CHKD. BY: **SB**

SCALE: **AS NOTED**

SHEET NO. **A008**

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

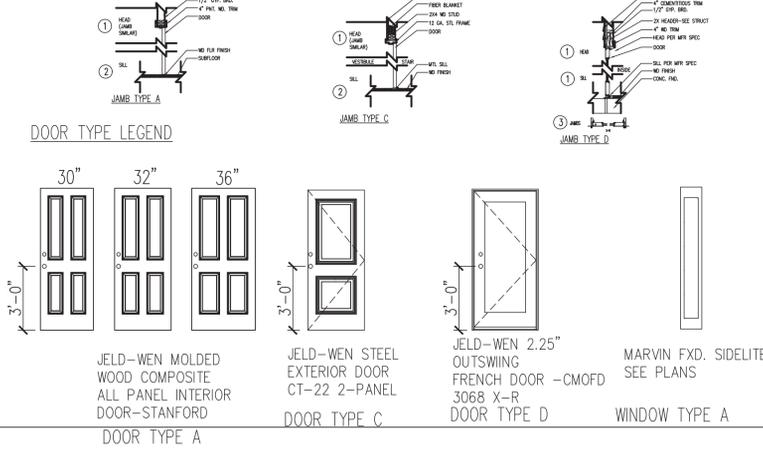
DOOR, FRAME AND HARDWARE GROUP SCHEDULE														
ASSEMBLY			DOOR			FRAME			HARDWARE GROUP			REMARKS		
NUMBER	LOCATION	TYPE	DIMENSIONS			MATERIAL	FINISH	MATERIAL	FINISH	DETAILS				
			W	H	THK					HEAD	JAMB	SILL		
1	KITCHEN ENTRY	D	36"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/D	2/D	3/D	SET-3	JELD-WEN CLAD 2.25 OUTSWING FRENCH DOOR OPRTG OR EQUAL
2	OFFICE 4	-	108"	96"	1.75"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-3	JELD-WEN MLD WD COMPOSITE 3 PANEL TRI FOLD OR EQUAL
3	BASEMENT ENTRY	C	32"	80"	1.75"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-3	JELD-WEN STEEL EXTERIOR-STANFORD OR EQUAL
4	2ND FLR UTILITY	A	32"	80"	1.75"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-1	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
5	BATH 1 W/C	A-PKT	24"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-3	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
6	BATH 1 ENTRY	A-ROLLING	30"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-3	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
7	WINE CLOSET	A	30"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-2	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
7	OFFICE 1/2/3	A	30"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-2	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
7	OFFICE 2 CLO	A	24"	80"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/A	1/A	2/A	SET-1	JELD-WEN MLD WD COMPOSITE INTERIOR-STANFORD OR EQUAL
8	OFFICE 1	D	108"	84"	2.25"	WOOD	PAINTED	WOOD	PAINTED	1/D	2/D	3/D	SET-2	MARVIN CLAD 2.25 OUTSWING FRENCH DOOR OPRTG OR EQUAL

WINDOW SCHEDULE						
NUMBER	LOCATION	TYPE	MANUFACTURER / PRODUCT	GLAZING TYPE	FINISH	REMARKS
1	OFFICE 1	A	JELD-WEN 9'-0" X 1'-6" FIXED TEMP PANEL OR EQUAL	TEMPERED	PAINTED	OWNER TO SELECT PNT COLOR

WALL TYPE SCHEDULE								
NUMBER	STUD SIZE	TYPE	STUD SPACING	GYPSUM BOARD	INSULATION	FIRE RATING	STC RATING	UL DESIGN NO.
1	2" X 6"	WOOD SPF STUD GRADE	24" O.C.	5/8"	R-15 WALLS R-38 ROOF	N/A	N/A	N/A
2	2" X 4"	WOOD SPF STUD GRADE	16" O.C.	5/8"	R-15	N/A	N/A	N/A
3	2" X 6"	WOOD SPF STUD GRADE	16" O.C.	5/8"	R-15	N/A	N/A	N/A
4	2" X 6"	WOOD SPF STUD GRADE	16" O.C.	5/8"	R-15	1 HOUR	N/A	U 305

HWDR SET	QUANTITY	DESCRIPTION	FINISH*	REMARKS
1	AS REQ'D	HINGES	SCHLAGE J10SOL619	HALL/CLOSET LEVER
1	AS REQ'D	LOCK SET	SCHLAGE J40SOL619	BED/BATH LOCK
1	AS REQ'D	CLOSER		2 COAT HOOKS AT BATHROOM DOOR
1	AS REQ'D	STOP		
1	AS REQ'D	KICK PLATE		
3	AS REQ'D	HINGES	SCHLAGE J54SOL619	KEYED ENTRANCE
1	AS REQ'D	LOCK SET		
1	AS REQ'D	DEAD BOLT		
1	AS REQ'D	SET WEATHERSTRIPPING		

\*ALTERNATE FINISHES TO BE APPROVED PRIOR TO SUBSTITUTION / INSTALLATION



# CEMENTITIOUS SIDING

HardiePlank® Lap Siding  
**SMOOTH**

Smooth is available in 25 ColorPlus® Technology finishes.

Arctic White

25 finishes for 22206

HardiePlank® Lap Siding  
**SMOOTH**

THICKNESS: 0.312"

LENGTHS: 144" boards

WIDTHS: 6.25", 7.25", 8.25"

EXPOSURES: 5", 6", 7"

# WINDOW SELECTION

SITELINE WOOD CASEMENT WINDOW

Options: View product details for more options

Model: Exterior

Grille Designs: No Grille

Exterior Color Options: Chestnut Bronze

DOUBLE-HUNG WINDOWS

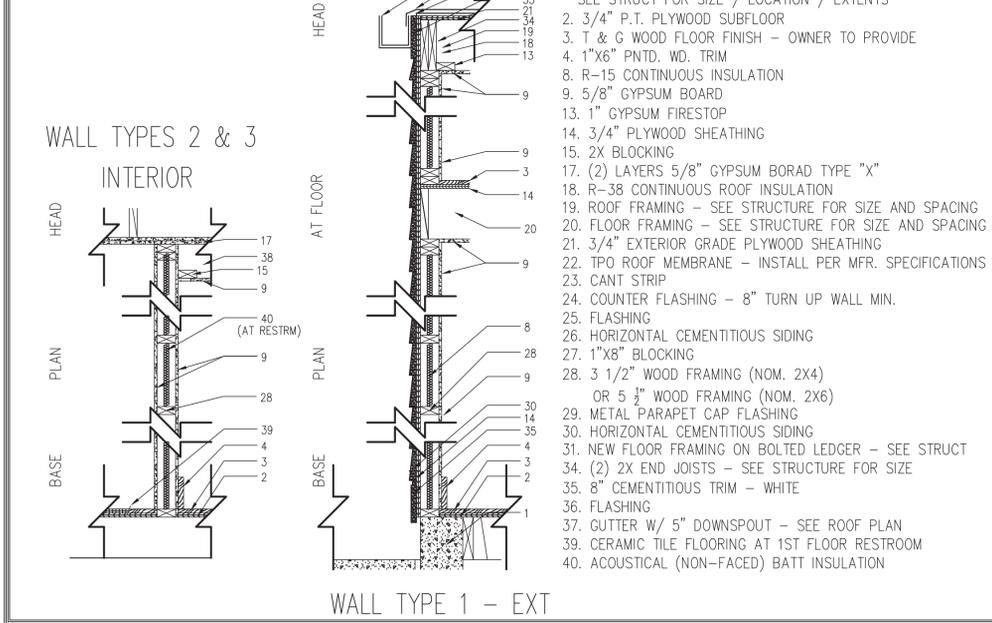
JELD-WEN double-hung windows offer a traditional style. They feature an upper and lower sash that can slide vertically past each other in a single frame and have a concealed pinch bolt, providing a clean and architecturally focused look. Both sash tilt in for convenient cleaning.

These windows feature an optional 3-1/2" bottom rail with optional finger stop and a top rail with optional finger router.

OPTIONAL DESIGNS: COTTAGE, REVERSE COTTAGE, HYBRID WOOD FRAMED CLAD SASH, HYBRID CLAD FRAMED WOOD SASH

CHAMBERED COMPOSITE INTERIOR SILL

# WALL TYPES



## BXUV.U301 - FIRE-RESISTANCE RATINGS - ANSI/UL 263

2HR SEPARATION WALL - U301 / UL263

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the General Guide Information for each product category and each group of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States Design Criteria and Allowable Variances.

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances.

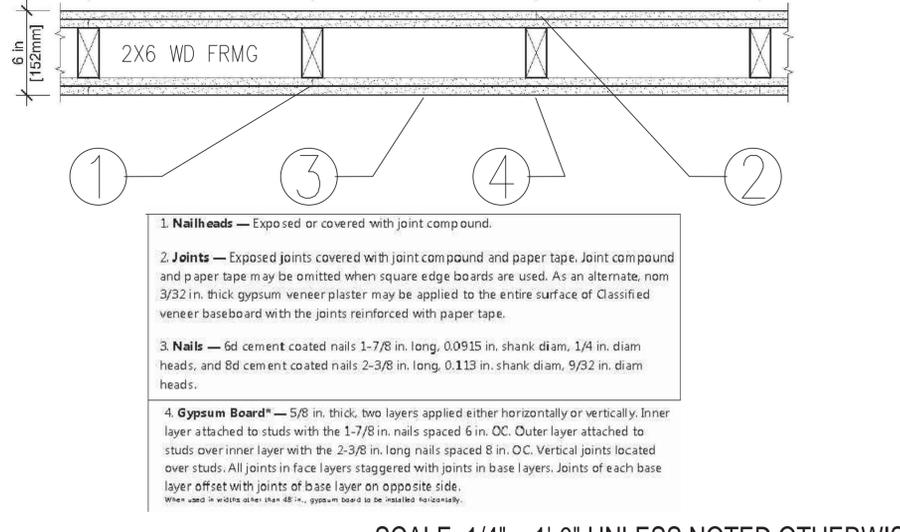
Design No. U301  
December 21, 2018

Bearing Wall Rating - 2 Hr.  
Finish Rating - 66 Min.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used - See Guide BXUV or BXUV7

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

## 2HR SEPARATION WALL - U301 / UL263



SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE



SB DESIGN STUDIOS LLC  
4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
solvatore@sbdesignstudios.com

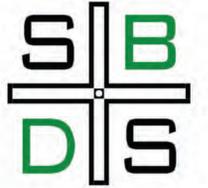
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

WINDOW AND DOOR SCHDEULES WALL TYPES

SBDS PROJ. NO.	
REVISIONS:	
NO.	DATE DESCRIPTION
1	05-06-19 REVIEW COMMENTS
DATE:	
DRWN. BY:	CHKD. BY:
SCALE:	AS NOTED
SHEET NO.	A009
SHEET:	OF:

# FIRST FLOOR BATHROOM ELEVATIONS AND DETAILS PER 2017 ICC A117.1

WEST WORKSHOP  
ARCHITECTS

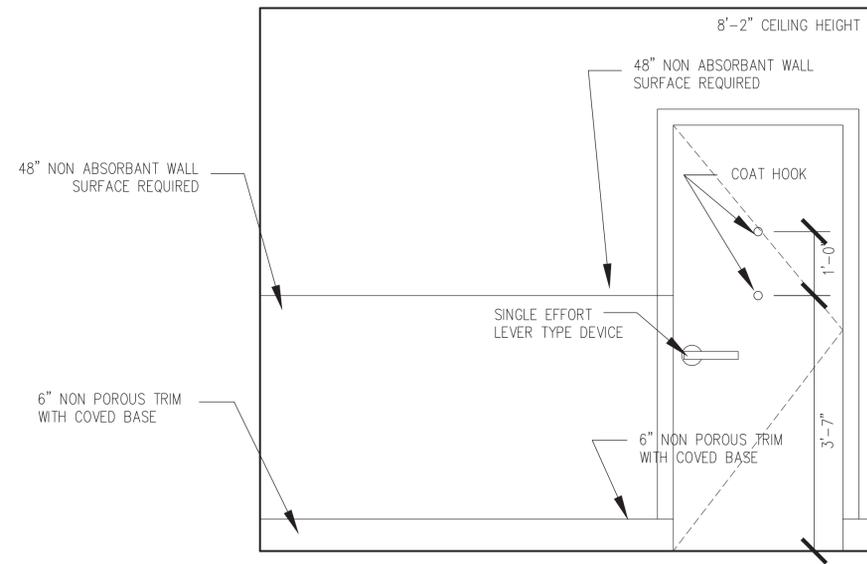


SB DESIGN STUDIOS LLC

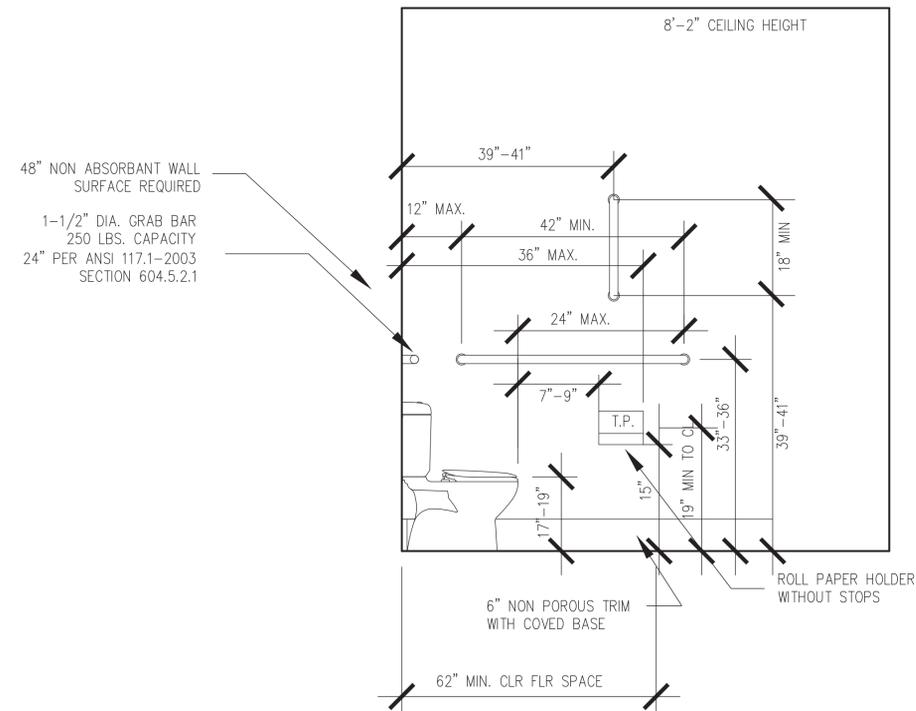
4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

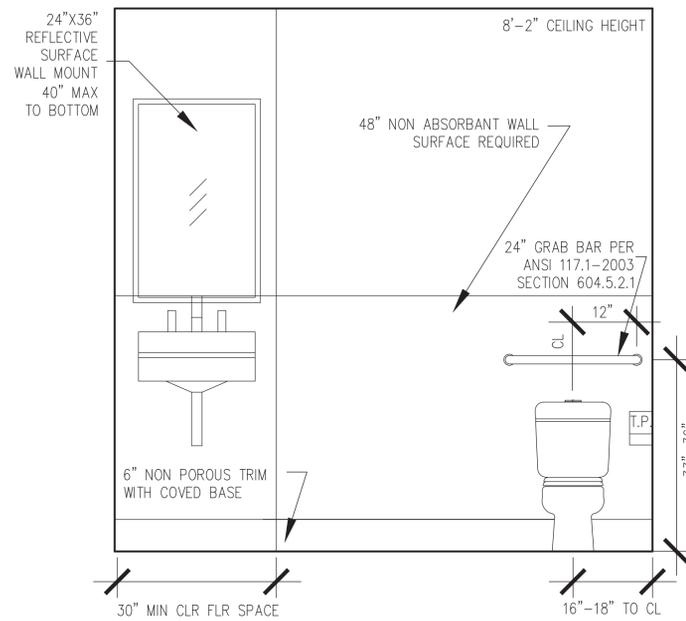
ELEVATION A



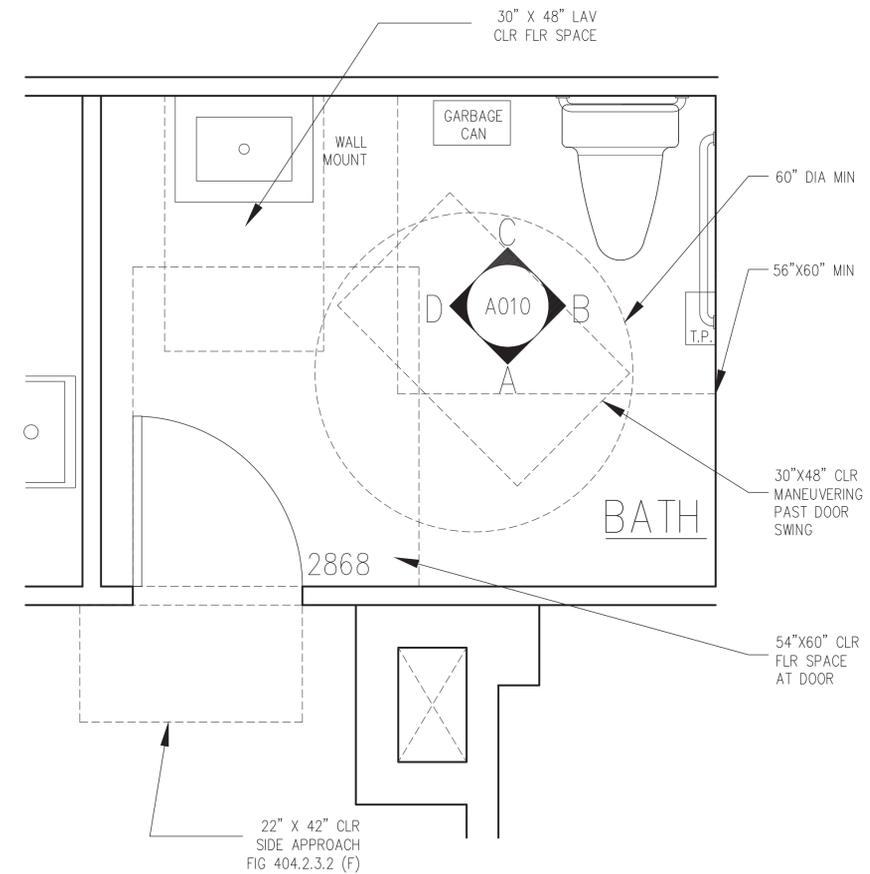
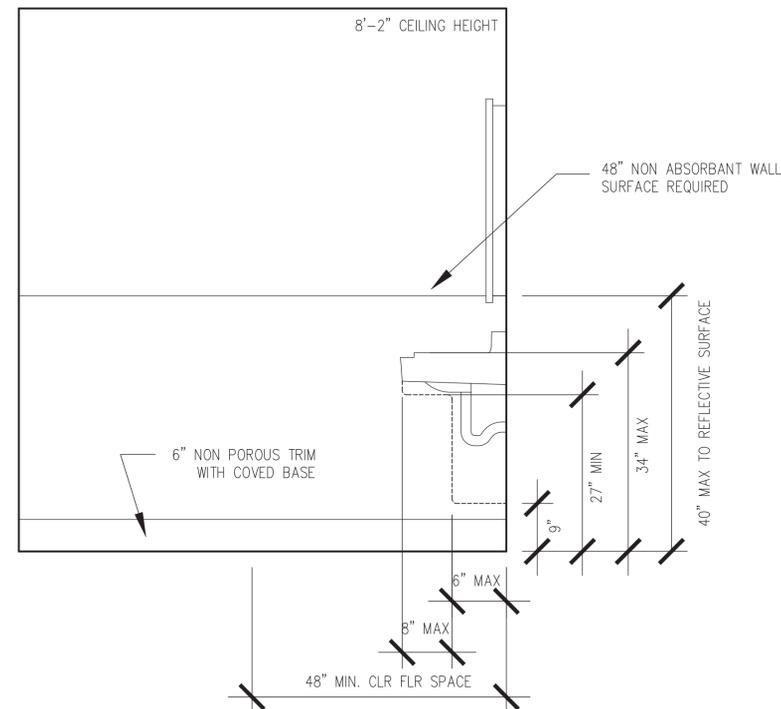
ELEVATION B



ELEVATION C



ELEVATION D



ACCESSIBLE BATH  
DETAILS

TITLE

PROJECT

SBDS PROJ. NO.

REVISIONS	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE:

DRWN. BY:

CHKD. BY:

SCALE:

AS NOTED

SHEET NO.

A010

SHEET:

OF:

SCALE: 3/4" = 1'-0" UNLESS NOTED OTHERWISE



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

TITLE: **PROPOSED POWER AND LIGHTING PLANS**  
PROJECT: **1015 DUKE STREET**

SBDS PROJ. NO: **2018-24**

NO.	DATE	DESCRIPTION
1	05-06-19	REVIEW COMMENTS

DATE: **03-01-19**

DRWN. BY: **SBDS** | CHKD. BY: **SB**

SCALE: **AS NOTED**

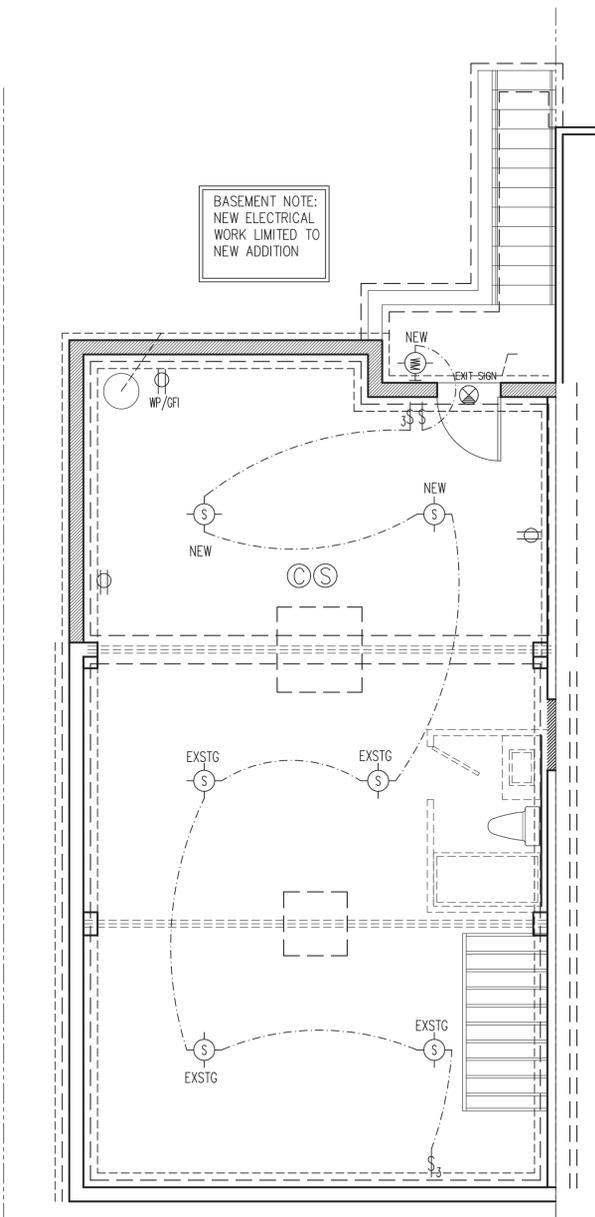
SHEET NO. **E001**

SHEET: | OF:

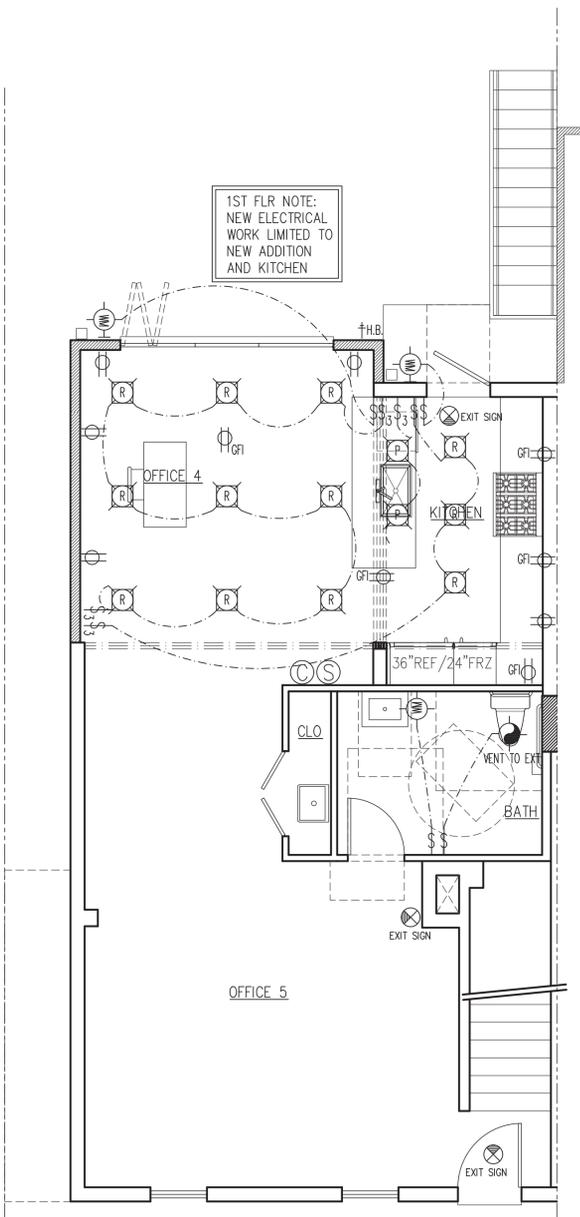
**ELECTRICAL SYMBOLS**

	CONVENIENCE OUTLET SET 12" AFF U.N.O.
	CONVENIENCE OUTLET - 42" AFF
	CONV. OUTLET - MOUNTED HORIZ. IN BACKSPASH
	CONV. OUTLET - 220 VOLT
	CONVENIENCE OUTLET 1/2 SWITCHED 12" AFF
	CONV. OUTLET - WATER PROOF - GRND FAULT INTERRUPT
	DEDICATED CIRCUIT
	GARAGE DOOR OPENER
	SWITCH, 3-WAY
	4-WAY - SET 38" AFF U.N.O.
	LIGHT FIXTURE SURFACE MOUNT
	LIGHT FIXTURE WALL MOUNT
	RECESSED/PENDANT LIGHT FIXTURE
	VAPOR RECESSED LIGHT FIXTURE
	PULL CHAIN LIGHT
	ELEC. METER
	GAS METER
	EXTERIOR SECURITY LIGHTS
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	ELECTRICAL PANEL
	CEILING FAN W/ LIGHT PROVIDE BRACING
	OUTLET FOR CEILING FAN PRE-WIRE, PROVIDE BRACING
	JUNCTION BOX
	WEATHER PROOF
	HOSE BIB
	TRACK LIGHTING

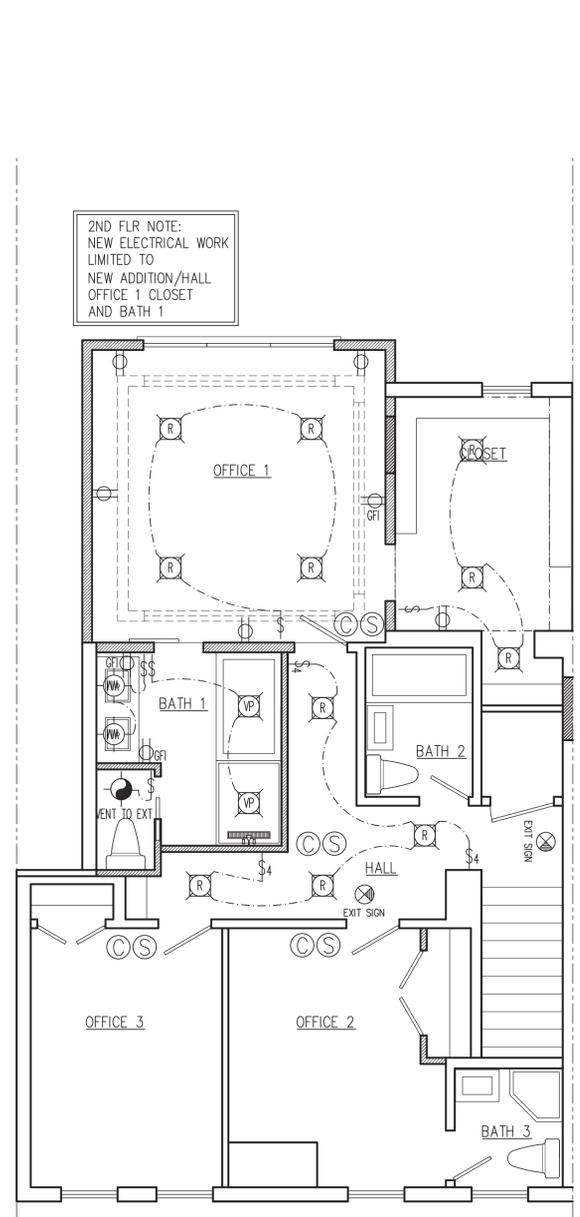
ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED



**BASEMENT**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

GENERAL

- 1) DESIGN BUILDING CODE: VBCB 2016.
- 2) THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH THE ARCHITECTURAL AND OTHER TRADES DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING, AS REQUIRED, TO INSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS. TEMPORARY BRACING AND SHORING SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
- 4) DESIGN LOADS:
 

LOADS	LIVE LOADS
a) ROOF	25 PSF
b) OFFICE FLOOR	50 PSF
c) CORRIDORS - 1ST FLR	100 PSF
d) CORRIDORS - ABV 1ST FLR	80 PSF
- 5) WIND LOADS:
  - i) BASIC WIND VELOCITY = 115 MPH (ULTIMATE)
  - ii) EXPOSURE CATEGORY = B
- 6) SUBMITTALS
  - a) SUBMITTALS REQUIRING A REGISTERED PROFESSIONAL ENGINEER'S SEAL OR REQUIRING SUPERVISION BY A REGISTERED PROFESSIONAL ENGINEER. THE ENGINEER SHALL HAVE AN ACTIVE REGISTRATION IN THE STATE IN WHICH THE PROJECT IS LOCATED.

SITE WORK

- 6) SUBGRADE DESIGN VALUES: PRESUMPTIVE VALUES HAVE BEEN USED FOR THE PROPOSED CONSTRUCTION.
  - a) BEARING ON VIRGIN MATERIAL: LEAN CLAY
  - b) BEARING PRESSURE: 1500 PSF
  - c) SOIL DENSITY: 110 PCF
- 7) BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW EXTERIOR GRADE.
- 8) ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS PLACED. NO EXCAVATION SHALL BE CLOSER THAN AT A SLOPE OF 2:1 (TWO HORIZONTAL TO ONE VERTICAL) TO A FOOTING. DO NOT PLACE CONCRETE OVER FROZEN SOIL. FOOTINGS SHALL NOT BE FOUND ON EXISTING FILL, LOOSE OR WET SOIL. STEP FOOTINGS WITH A RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

CAST-IN-PLACE CONCRETE

- 9) ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.
- 10) REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
- 11) REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- 12) CONCRETE COMPRESSIVE STRENGTHS AT 28 DAY CURE,  $F_c$  (PSI) = 3000
- 13) SLABS ON GRADE SHALL BE 4" THICK CONCRETE AND REINFORCED WITH 6X6 W14X14 WWF CONFORMING TO ASTM A185. LAP MESH 8" IN EACH DIRECTION. PLACE CONCRETE OVER 10 MIL POLYETHYLENE VAPOR BARRIERS WITH MIN 12" OVERLAP AND 4" MIN. INCHES MIN OF COARSE AGGREGATE OR AS RECOMMENDED BY THE SOILS ENGINEER. THE AGGREGATE LAYER SHALL BE PLACED OVER FIRM NATURAL SUBGRADE OR ON COMPACTED AND CONTROLLED FILL. USE AIR ENTRAINMENT AT ALL EXTERIOR SLABS. PROVIDE CONTROL AND CONSTRUCTION JOINTS AT BREEZEWAYS AS REQUIRED TO PREVENT UNCONTROLLED CRACKING PER ACI REQUIREMENTS.
- 14) SLUMP: 4 INCHES PLUS OR MINUS 1 INCH AT THE POINT OF DISCHARGE INTO THE FORMS.
- 15) CAST-IN-PLACE CONCRETE SHALL BE READY-MIX PER ASTM C94. THE MIX SHALL BE PROPORTIONED WITH:
  - a) PORTLAND CEMENT, ASTM C150
  - b) AGGREGATES, ASTM C33 WITH 0.75 INCH MAXIMUM DIAMETER
  - c) NO CALCIUM CHLORIDE SHALL BE PERMITTED
  - d) AIR ENTRAINMENT, ASTM C260
  - e) WATER REDUCING ADMIXTURE, ASTM C494
  - f) FLYASH, ASTM C618-78 CLASS F, 15% MAXIMUM BY WEIGHT
  - g) WATER, CLEAN AND POTABLE
- 16) CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE PLACED ACCORDING TO THE FOLLOWING MINIMUM DIMENSIONS UNLESS NOTED OTHERWISE:
  - a) 3 INCHES FOR CONCRETE CAST AGAINST EARTH
  - b) 2 INCHES FOR CONCRETE FORMED AND EXPOSED TO WEATHER OR EARTH
  - c) 1.5 INCHES FOR CONCRETE FORMED AND NOT EXPOSED TO WEATHER OR EARTH
- 17) ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE A MINIMUM AIR ENTRAINMENT OF 6% ± 15% PER ACI 318 4.11
- 18) PROVIDE CORNER BARS 2" x 2" AT ALL WALL AND FOOTING INTERSECTIONS TO MATCH CONTINUOUS REINFORCING. ALL LAPS SHALL BE A MINIMUM OF 30 BAR DIAMETER.
- 19) PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC, AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED SURFACES.
- 20) CONTRACTOR SHALL VERIFY EMBEDDED ITEMS, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC, BEFORE PLACING CONCRETE. NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR. STEP AND SLOPE ALL BALCONIES, WALKWAYS, AND PATIOS AWAY FROM THE BUILDING.
- 21) RESTRICT THE ADDITION OF MIX WATER AT THE JOB SITE. DO NOT ADD WATER WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR AND DO NOT EXCEED SLUMP LIMITATIONS. USE COLD WATER FROM THE TRUCK TANK AND REMIX TO ACHIEVE CONSISTENCY. THE REPORTS SHALL INDICATE HOW MUCH WATER WAS ADDED AT THE JOB SITE.
- 22) CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF BATCH TIME.

CONCRETE MASONRY

- 24) HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE I, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI. (NET AREA COMPRESSIVE MASONRY STRENGTH  $f_m=1500$  PSI)
- 25) MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS. MORTAR SHALL CONFORM TO ASTM C270 (PROPORTION OR PROPERTY SPECIFICATION).
- 26) FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476. PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAYS, 3/8" MAXIMUM AGGREGATE, AND 8" - 11" SLUMP. FILLED CELLS MAY ALTERNATIVELY BE FILLED WITH A 3000 PSI PEA GRAVEL MIX CONCRETE. THE PEA GRAVEL MIX SHALL BE PROPORTIONED WITH A MAXIMUM AGGREGATE SIZE OF 3/8 INCH DIAMETER TO PROVIDE A MINIMUM OF 1/2 INCH CLEARANCE. ADDITIONALLY, THE PEA GRAVEL MIX SHALL PROVIDE AN 8 TO 11-INCH SLUMP.
- 27) CODES AND STANDARDS INCLUDE: ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"; ACI 530.1/ASCE 6, "SPECIFICATIONS FOR MASONRY STRUCTURES"
- 28) VERTICAL REINFORCING BARS SHALL BE HELD IN POSITION, WITH BAR POSITIONERS, AT THE TOP AND BOTTOM OF BAR AND AT 8'-0" O.C. MAXIMUM WITH A MINIMUM CLEARANCE OF 1/2" FROM MASONRY. THE CLEAR DISTANCE BETWEEN BARS SHALL NOT BE LESS THAN ONE BAR DIAMETER, NOR LESS THAN 1". CENTER BARS IN WALLS UNO.
- 29) PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTINGS AND ROOF TIE BEAM. MAINTAIN VERTICAL REINFORCING SHOWN ON DRAWINGS, ABOVE AND BELOW MASONRY OPENINGS EXCEEDING 10'-0" CLEAR. CONTINUE FOUNDATION DOWELS BELOW ALL MASONRY OPENINGS.
- 30) REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS.
- 31) MINIMUM LAP SPLICE SHALL BE 48 BAR DIAMETERS. WIRE TIE LAP SPLICES.

- 32) WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN IF IT IS IN A CELL ADJACENT TO THE VERTICAL WALL REINFORCEMENT.
- 33) HORIZONTAL WALL REINFORCING SHALL BE 9 GA. GALVANIZED LAOUR TYPE DUR-O-WAL (OR EQUIVALENT) SPACED AT 16" O.C. MAXIMUM. VERTICAL LAP SPLICE: 12-INCH MINIMUM.
- 34) PROVIDE HORIZONTAL JOINT REINFORCEMENT AT MASONRY OPENINGS SUCH AS DOORS AND WINDOWS. CONTINUE JOINT REINFORCING FOR THE FIRST AND SECOND BLOCK COURSE ABOVE AND BELOW MASONRY OPENING. EXTEND JOINT REINFORCING A MINIMUM OF TWO FEET BEYOND OPENING.
- 35) CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN THE POUR HEIGHT EXCEEDS 5'. CLEANOUTS SHALL BE SAW-CUT 4" X 4".
- 36) GROUT POUR HEIGHT SHALL NOT EXCEED 24". PLACE GROUT IN 5' MAXIMUM LIFT HEIGHTS.
- 37) CONSOLIDATE GROUT POURS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND RECONSOLIDATE AFTER INITIAL WATER LOSS AND SETTLEMENT.
- 38) PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OF PIERS, COLUMNS, AND PLASTERS AND ADJACENT TO GROUTED CELLS.
- 39) MASONRY CONTROL JOINTS SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS. ADDITIONALLY, INSTALL MASONRY CONTROL JOINTS SPACE AT 26'-0" O.C. AT EXTERIOR WALLS, 32'-0" O.C. AT INTERIOR WALLS UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL

- 40) STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, EXCEPT CHAPTER 4.2.1, CODE OF STANDARD PRACTICE.
- 41) ALL STRUCTURAL STEEL SHALL BE ASTM A993 GRADE 50
- 42) ALL BOLTS SHALL BE ASTM A307 UNO.
- 43) PAINTING: ONE COAT OF SHOP PAINT SHALL BE APPLIED TO ALL STRUCTURAL STEEL WITH THE EXCEPTION OF AREAS TO BE WELDED.

WOOD - GENERAL

- 44) ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS.
  - a) ALL HEADERS AND BEAMS SHALL BE SPF No. 1/No. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: (UNLESS NOTED OTHERWISE ON PLANS)
 

$F_b = 875$ PSI
$F_c$ per = 425 PSI
$F_v = 70$ PSI
$E = 1,400,000$ PSI
  - b) EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF No. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: (UNLESS NOTED OTHERWISE ON PLANS)
 

$F_b = 875$ PSI
$F_c$ per = 425 PSI
$F_v = 70$ PSI
$E = 1,400,000$ PSI
  - c) SEE STUD SCHEDULE FOR SPACING. NON-BEARING INTERIOR WALL STUDS MAY BE STUD GRADE 2X4 AT 24" O.C. EXCEPT AT SHEAR WALL LOCATIONS.
  - d) WALL TOP AND BOTTOM PLATES AT BEARING LOCATIONS AND EXTERIOR WALLS TO BE SYP #2 MIN OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES (UNO)
 

$F_b = 1500$ PSI
$F_c$ per = 565 PSI
$F_v = 90$ PSI
$E = 1,600,000$ PSI
  - e) ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AND EXPOSED TO WEATHER (FOR BALCONY DECK BOARDS, LEDGER, JOISTS, BEAMS, AND SILL PLATES) SHALL BE SOUTHERN PINE PRESSURE TREATED TO 0.40 LB RETENTION, PER AWPA STANDARDS, HAVING THE FOLLOWING MINIMUM PROPERTIES:
 

$F_b = 1500$ PSI, 1250 PSI, 1200 PSI, 1050 PSI AND 975 PSI FOR 4, 6, 8, 10, AND 12 INCH WIDE SECTIONS RESPECTIVELY.
$F_c$ per = 565 PSI
$F_v = 90$ PSI
$E = 1,600,000$ PSI
  - f) LSL (LAMINATED STRAND LUMBER) RIM BOARDS SHALL BE MINIMUM OF 1-1/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNLESS NOTED OTHERWISE. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY:
 

$F_b = 1200$ PSI
$F_c$ per = 680 PSI
$F_v = 400$ PSI
$E = 800,000$ PSI
  - g) LSL (LAMINATED STRAND LUMBER) BEAMS/HEADERS SHALL BE MINIMUM OF 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNLESS NOTED OTHERWISE. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY:
 

$F_b = 2600$ PSI FOR 12" DEPTH. FOR OTHER DEPTHS MULTIPLY BY $[12/d]$ 0.092
$F_c$ per = 880 PSI
$F_v = 400$ PSI
$E = 1,700,000$ PSI
  - h) LVL (LAMINATED VENEER LUMBER) MEMBERS SHALL BE MINIMUM OF 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNLESS NOTED OTHERWISE. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY:
 

$F_b = 2600$ PSI FOR 12" DEPTH. FOR OTHER DEPTHS MULTIPLY BY $[12/d]$ 0.136
$F_c$ per = 750 PSI
$F_v = 285$ PSI
$E = 1,900,000$ PSI
  - i) PSL (PARALLEL STRAND LUMBER) MEMBERS SHALL BE A MINIMUM OF 3/12" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNLESS NOTED OTHERWISE. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY:
 

$F_b = 2900$ PSI FOR 12" DEPTH. FOR OTHER DEPTHS MULTIPLY BY $[12/d]$ 0.111
$F_c$ per = 750 PSI
$F_v = 290$ PSI
$E = 2,000,000$ PSI
- 45) ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- 46) ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS. MEMBERS ARE NOT TO BE DRILLED IN EXCESS OF NDS OR LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ALL POSTS AND STUDS SHALL STACK CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALLS OR BEAMS; PROVIDE SOLID BLOCKING AND OR CRIPPLES AS REQUIRED BETWEEN FLOORS.
- 47) STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOOR AND ROOF LEVELS. STUDS AND POSTS SHALL BE ONE-PIECE-CONTINUOUS BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF DIAPHRAGMS.
- 48) PLYWOOD SHALL BE IDENTIFIED WITH THE DFPA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 49) MINIMUM FASTENING OF WOOD FRAMING MEMBERS AND SHEATHING SHALL BE AS INDICATED IN IRC. SEE

- 50) STRUCTURAL DETAILS/SCHEDULES FOR INCREASED NAILING REQUIREMENTS WHERE APPLICABLE. WALL SHEATHING: SEE WALL SHEATHING SCHEDULE.
  - a) INSTALLATION OF GYPSUM SHEATHING SHALL CONFORM TO IRC AND ASTM STANDARDS C1396.
- 51) WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES. SUPPORT COLUMN AND POST SECURELY IN POSITION AND PROTECT BASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOISTS AND BEAMS, WHICH ARE EXPOSED, OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH. ALL EXTERIOR P.T. WOOD SECURED W/ HOT DIPPED GALVANIZED FASTENERS.
- 52) BEAR BEAMS AND GIRDERS AT LEAST 3 1/2" ON MASONRY OR CONCRETE, FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 2 1/4" MINIMUM BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY. PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS. OMIT SOLID BLOCKING WHEN JOISTS ARE END-NAILED TO AND/OR HUNG FROM A CONTINUOUS HEADER. LAP JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION AT LEAST 6". SECURE JOISTS FRAMED END-TO-END WITH METAL STRAPS. USE APPROVED FRAMING ANCHORS TO SUPPORT JOISTS FRAMING INTO THE SIDES OF WOOD OR STEEL BEAMS.
- 53) PROVIDE DOUBLED (OR EQUIVALENT CROSS- SECTION) TRIMMER AND HEADER JOISTS AROUND OPENINGS UNLESS NOTED OTHERWISE. SUPPORT HEADER JOISTS FROM FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM, PARTITION OR A WALL.
- 54) JOISTS CARRYING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH. JOISTS CARRYING PARTITIONS PARALLEL TO JOISTS SHALL BE DOUBLED.
- 55) FLOOR DECKING SHALL BE APA RATED FLOOR SHEATHING, GLUED AND NAILED PER APA RECOMMENDATIONS FOR THE STURDI-FLOOR SYSTEM.

WOOD - PREFABRICATED OPEN-WEB TRUSSES

- 57) WOOD TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION, "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES, TPI", PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND THE APPLICABLE BUILDING CODE LISTED IN THESE SPECIFICATIONS.
- 58) THE WOOD TRUSS MANUFACTURER MUST PARTICIPATE IN A CODE APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM SUCH AS THE TRUSS PLATE INSTITUTES "QUALITY CONTROL INSPECTION PROGRAM" OR EQUIVALENT.
- 59) WOOD TRUSS MEMBERS AND CONNECTIONS SHALL BE DESIGNED FOR ALL LOADS SHOWN ON THE CONTRACT DOCUMENTS INCLUDING: LIVE, DEAD, WIND, AND CONCENTRATED.
  - a) SEE DESIGN LOADS SECTION FOR LIVE LOADS
  - b) MINIMUM NET UPLIFT 15 PSF
- 60) ALL TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH HIB AND THE MANUFACTURERS INSTRUCTIONS. THE TRUSS DESIGNER MUST DESIGN THE TRUSSES FOR THE APPROPRIATE WIND LOADS AND PROVIDE THE NECESSARY END WALL BRACING DETAILS AND ANCHORAGE REQUIREMENTS.
- 61) LIVE LOAD DEFLECTION SHALL NOT EXCEED L/480 FOR ROOF TRUSSES.
- 62) PILING OF PLYWOOD OR OTHER BUILDING MATERIALS ON WOOD TRUSSES IS NOT ALLOWED.
- 63) INSTALLATION OF BROKEN, DAMAGED, WARPED, OR IMPROPERLY REPAIRED WOOD TRUSSES IS NOT ALLOWED.
- 64) IMPROPER OR UNAUTHORIZED FIELD ALTERATIONS OF WOOD TRUSSES IS NOT ALLOWED.
- 65) ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE, HILTI, OR BY APPROVED EQUIVALENT MANUFACTURER.
- 66) THE TRUSS FABRICATOR SHALL PROVIDE TRUSS LAYOUTS.
- 67) THE TRUSS ENGINEER SHALL DESIGN LOWER ROOFS AND TRUSSES ADJACENT TO PARAPETS FOR SNOW DRIFT AND SLIDE-OFF IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE.
- 68) MECHANICAL EQUIPMENT SIZES, LOCATIONS AND WEIGHTS SHALL BE COORDINATED WITH MECHANICAL DRAWINGS.
- 69) PREFABRICATED COMPONENTS SUBJECT TO OUT-OF-PLANE BENDING, SUCH AS GABLE ENDS EXPOSED TO WIND, SHALL BE DESIGNED BY THE TRUSS ENGINEER FOR FLEXURE IN THE WEAK AXIS (FLAT BENDING).
- 70) ALL GABLE END ROOF TRUSSES THAT ARE ADJACENT TO A CATHEDRAL OR SLOPED CEILING SHALL BE DESIGNED SUCH THAT THE WALL STUDS MAY SPAN TO THE BOTTOM OF THE CEILING LINE.
- 71) ALL TRUSS MEMBERS SHALL BE SIZED TO AVOID WOOD CRUSHING AT BEARING POINTS BASED ON THE PROPERTIES OF THE WALL PLATE MATERIAL INDICATED IN STRUCTURAL NOTES, AND ON THE AVAILABLE WALL WIDTH INDICATED ON ARCHITECTURAL DRAWINGS.
- 72) ALL MULTIPLE-PLY TRUSSES SHALL BE ATTACHED TOGETHER TO ACT AS A SINGLE UNIT UNDER SUPERIMPOSED LOAD. THE METHOD OF ATTACHMENT SHALL BE INDICATED ON THE CERTIFIED SHOP DRAWING AND SHALL INCLUDE SIZES AND MAXIMUM SPACINGS OF FASTENERS.
- 73) TOP CHORD BEARINGS SHALL BE DESIGNED IN ACCORDANCE WITH PCT-80 SUPPLEMENT: INTERIM DESIGN METHODOLOGY FOR PCT-CI 2x4/2x6 WOOD TRUSSES.
- 74) ALL WOOD TRUSSES SHALL BE FASTENED TO THEIR SUPPORTS WITH APPROVED TRUSS TIE DOWN CLIPS OR STRAPS.
- 75) PROVIDE TRUSS TIE DOWN CLIPS OR STRAPS FOR THE UPLIFT AND LATERAL FORCES SHOWN ON THE SUBMITTED WOOD TRUSS DESIGN CALCULATIONS.
- 76) TEMPORARY AND ERECTION BRACING, UNLESS OTHERWISE NOTED, SHALL BE DONE IN ACCORDANCE WITH HIB-91 AND SHALL BE THE RESPONSIBILITY OF THE TRUSS ERECTOR.
- 77) LOCATION OF PERMANENT BRACING REQUIRED TO REDUCE THE BUCKLING LENGTH OF AXIALLY LOADED COMPRESSION MEMBERS IN MANUFACTURED TRUSS COMPONENTS IS THE RESPONSIBILITY OF THE TRUSS ENGINEER.
- 78) ALL CONNECTIONS AND BRACING MUST BE INSTALLED BEFORE SHEATHING THE ROOF.
- 79) GABLE ENDWALL TRUSSES MUST TRANSFER LATERAL LOADS TO SHEAR WALLS AND/OR THE ROOF DIAPHRAGM.
- 80) WOOD TRUSSES THAT DO NOT MEET INTERIOR LOAD BEARING WALLS MUST BE SHIMMED. DO NOT PULL WOOD TRUSSES DOWN TO INTERIOR BEARINGS.
- 81) ALL DIMENSIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS.
- 82) DO NOT PRODUCE SHOP DRAWINGS PRIOR TO ISSUE OF FINAL CONSTRUCTION ISSUE DRAWINGS.
- 83) DO NOT FABRICATE PRIOR TO SHOP DRAWING REVIEW AND APPROVAL. REVIEW IS LIMITED TO CONFORMANCE WITH THE DESIGN CONCEPT. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR COMPATIBILITY WITH ARCHITECTURAL AND STRUCTURAL REQUIREMENTS. NOTIFY ARCHITECT OR ENGINEER OF ANY CONFLICTS PRIOR TO FABRICATION. SHOULD THE OWNER OR GENERAL CONTRACTOR FAIL TO OBTAIN THE STRUCTURAL ENGINEER'S REVIEW OF THE SHOP DRAWINGS, THE STRUCTURAL ENGINEER WILL NOT ACCEPT RESPONSIBILITY FOR THE DESIGN AND CERTIFICATION OF THIS PROJECT.

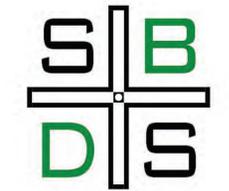
WOOD - SUBMITTALS

- 84) SUBMIT SIGNED AND SEALED FLOOR AND ROOF TRUSS SHOP DRAWINGS AND CALCULATIONS FOR REVIEW AND APPROVAL. SHOP DRAWING PREPARATION SHALL BE SUPERVISED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- 85) WOOD TRUSS DESIGN SHOP DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING INFORMATION:
  - a) SPAN LENGTH, OVER-HANG AND EAVE DIMENSIONS, SLOPE AND SPACING OF THE WOOD TRUSSES.
  - b) ALL DESIGN LOADS AND THEIR POINTS OF APPLICATION, VALLEY AND CONVENTIONAL FRAMING MUST BE CONSIDERED.
  - c) ADJUSTMENTS TO ALLOWABLE VALUES (DURATION OF LOAD FACTORS, ETC).
  - d) REACTIVE FORCES AND THEIR LOCATIONS.
  - e) BEARING TYPE AND MINIMUM BEARING LENGTH.
  - f) DEFLECTIONS, SPAN AND REACTION.
  - g) METAL CONNECTOR PLATE TYPE, GAUGE, SIZE, AND LOCATION.
  - h) LUMBER SIZE, SPECIES, GRADE AND MOISTURE CONTENT.

- j) TRUSS SPLICES MUST BE DETAILED. THIS INCLUDES "PIGGY BACK" TRUSSES.
- k) CONNECTION DETAILS: TRUSS TO BEARING, TRUSS TO TRUSS, TRUSS TO TRUSS GIRDER, PIGGY BACK TO TRUSS, ETC.
- l) BRACING REQUIREMENTS.

HANDRAILS, GUARDRAILS, STAIRS AND LADDERS

- 86) HANDRAILS, GUARDRAILS, STAIRS AND LADDERS SHALL BE DESIGNED AND CERTIFIED BY THE MANUFACTURER'S LICENSED ENGINEER.
  - a) HANDRAILS ASSEMBLIES AND GUARDRAILS SHALL BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT APPLIED IN ANY DIRECTION AT THE TOP.
  - b) HANDRAILS ASSEMBLIES AND GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARDRAIL.
- 87) AT METAL STAIRS: PROVIDE CROSS-BRACING BELOW METAL STRINGERS TO AVOID LATERAL MOVEMENT AS DETERMINED TO BE NECESSARY BY CALCULATIONS. DESIGN SHALL BE PER THE METAL STAIR MANUFACTURER'S ENGINEER.



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #616  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

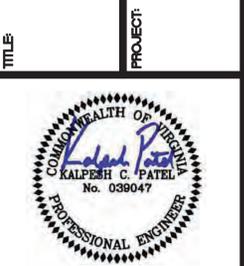
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF - THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



INTEGRAL ENGINEERING, LLC  
21051 GENTRY DR, STE 230  
STERLING, VIRGINIA 20166  
IE PROJ NO: DN19003  
STRUCTURAL ENGINEER

STRUCTURAL NOTES

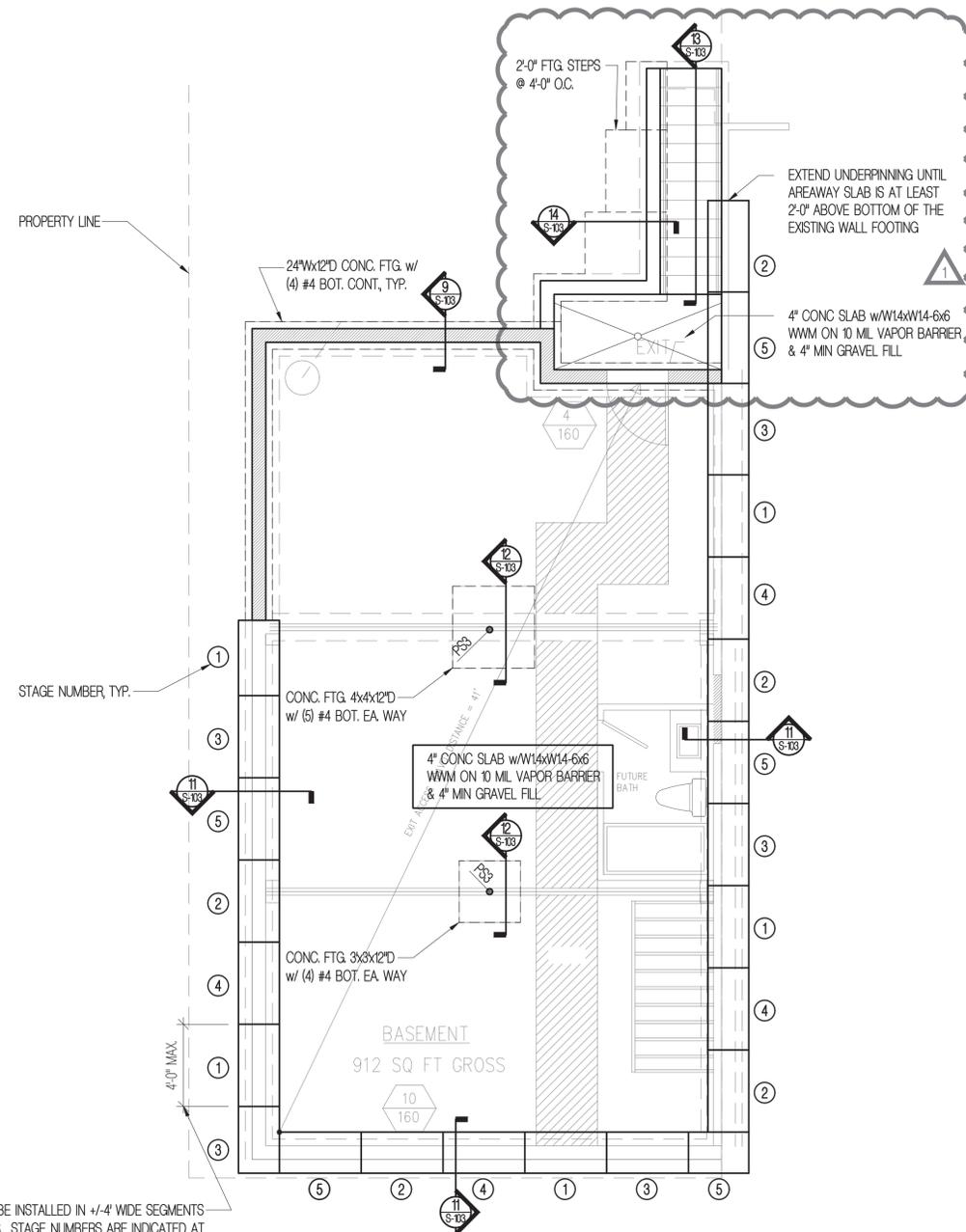
1015 DUKE STREET  
ALEXANDRIA, VA 22314



SBDS PROJ. NO: 2019-02

NO.	DATE	DESCRIPTION
1	04-25-2019	PERMIT COMMENT RESPONSES

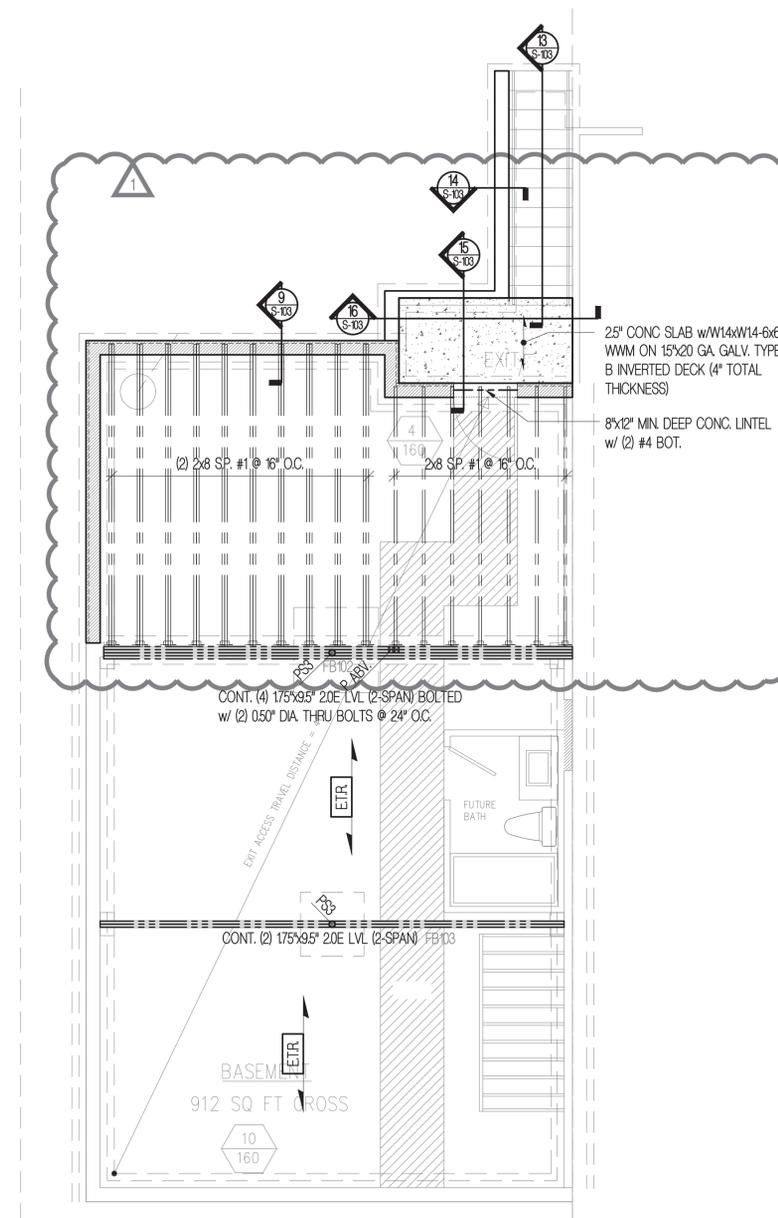
DATE:	03-15-2019
DRWN. BY:	IE
CHKD. BY:	KP
SCALE:	AS NOTED
SHEET NO.:	S-001
SHEET:	OF



**1 FOUNDATION PLAN**  
 S-100 SCALE: 1/4" = 1'-0"

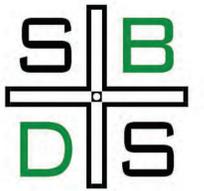
- FOUNDATION PLAN NOTES:
1. PRESUMPTIVE BEARING CAPACITY = 1600 PSF.
  2. MIN. FROST DEPTH = 2'-0".

FOUNDATION WALL TO BE INSTALLED IN +/-4' WIDE SEGMENTS AS SHOWN IN 5 STAGES. STAGE NUMBERS ARE INDICATED AT EACH SEGMENT. CONTRACTOR TO SUBMIT ANY CHANGES IN SCHEDULE FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH WORK. EACH SEGMENT SHALL BE COMPLETED BY THE APPROPRIATE DETAILS FOR THE SEGMENT AND ALLOWED TO CURE TO A MINIMUM 75% OF THE DESIGN STRENGTH.



**2 1ST FLOOR FRAMING PLAN**  
 S-100 SCALE: 1/4" = 1'-0"

- 1ST FLOOR FRAMING NOTES:
1. 1ST FLOOR FRAMING SHALL BE 2x8 SP. #1 FLOOR JOISTS @ 12" O.C. UNLESS NOTED OTHERWISE.
  2. ALL POST AND MULTIPLE STUD SHALL BE RUNNING CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALL OR BEAMS. PROVIDE SOLID BLOCKING AT FLOOR DIAPHRAGM @ COLUMN ABOVE AND BELOW.
  3. P. ABLY ON PLAN INDICATES POSTS/JACKS FROM FLOOR ABOVE. PROVIDE SOLID 2x BLOCKING OVER DROPPED BEAMS, HEADERS, & FOUNDATION WALL EQUAL TO WIDTH OF POSTS/JACKS ABOVE.
  4. PROVIDE KING STUDS PER THE KING STUD SCHEDULE AT ALL BEAMS AND HEADERS. KING STUDS ARE IN ADDITION TO JACK STUDS SPECIFIED ON PLAN OR IN THE JACK STUD SCHEDULE.
  5. SEE GENERAL FRAMING NOTES AND STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
  6. PS3 = 3" DIA SCHEDULE 40 ADJUSTABLE STEEL COLUMN.



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #616  
 ARLINGTON VIRGINIA 22206  
 571.317.1932  
 salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



INTEGRAL ENGINEERING, LLC  
 21351 CENTRY DR, STE 230  
 STERLING, VIRGINIA 20166  
 IE PROJ NO: DN19003  
 STRUCTURAL ENGINEER

STRUCTURAL PLANS

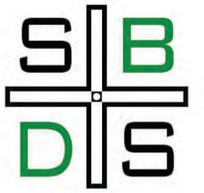
1015 DUKE STREET  
 ALEXANDRIA, VA 22314



SBDS PROJ. NO.: 2019-02

NO.	DATE	DESCRIPTION
1	04-25-2019	PERMIT COMMENT RESPONSES

DATE: 03-15-2019  
 DRWN BY: IE CHKD BY: KP  
 SCALE: AS NOTED  
 SHEET NO: S-100



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #616  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



INTEGRAL  
ENGINEERING, LLC  
21351 GENTRY DR, STE 230  
STERLING, VIRGINIA 20166  
IE PROJ NO: DN19003  
STRUCTURAL ENGINEER

STRUCTURAL PLANS

1015 DUKE STREET  
ALEXANDRIA, VA 22314

TITLE

PROJECT



SBDS PROJ. NO.: 2019-02

REVISIONS: DATE DESCRIPTION

1 04-25-2019 PERMIT COMMENT RESPONSES

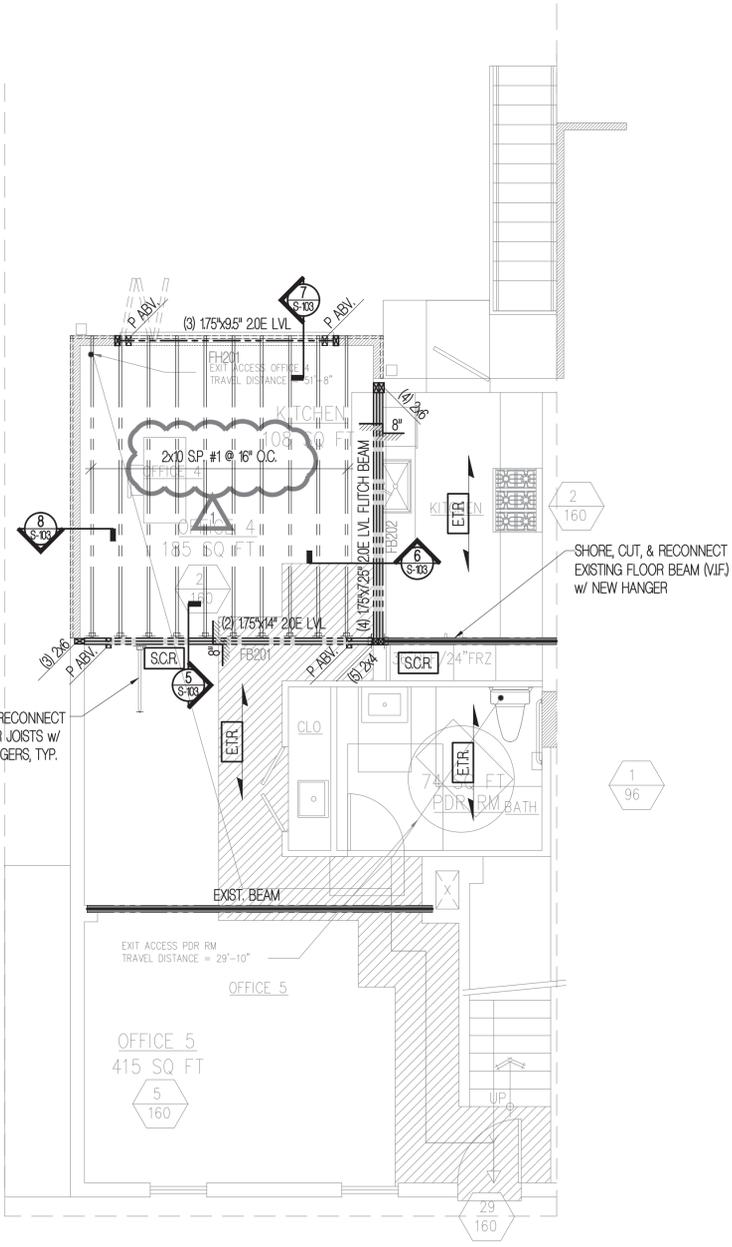
DATE: 03-15-2019

DRWN. BY: IE CHKD. BY: KP

SCALE: AS NOTED

SHEET NO: S-101

SHEET: 1 OF 1

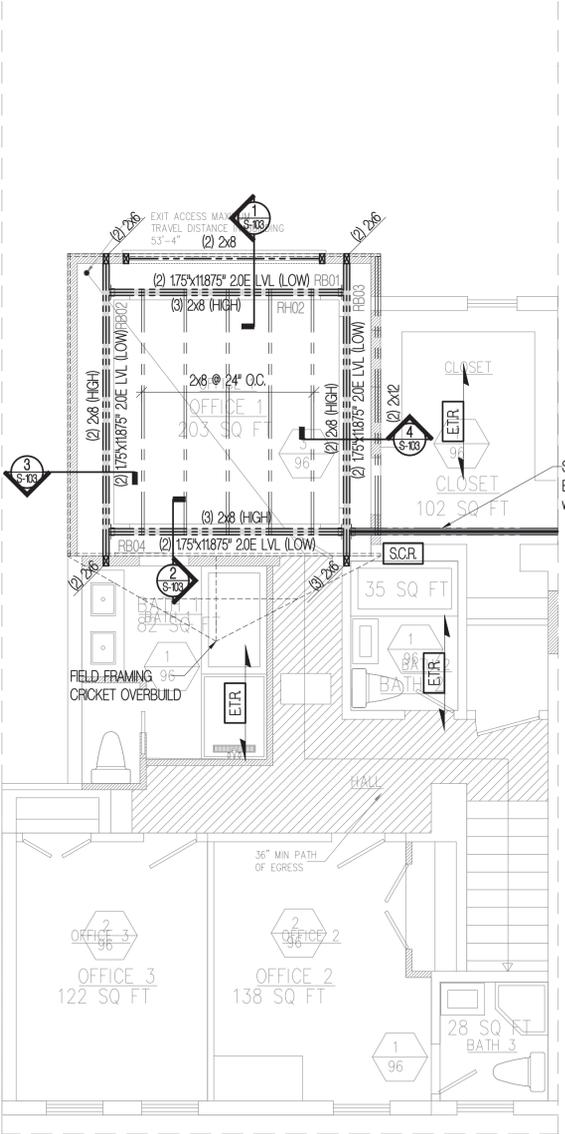


**1 2ND FLOOR FRAMING PLAN**

S-101 SCALE: 1/4" = 1'-0"

**2ND FLOOR FRAMING NOTES:**

- 2ND FLOOR FRAMING SHALL BE 2x10 FLOOR JOISTS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL POST AND MULTIPLE STUD SHALL BE RUNNING CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALL OR BEAMS. PROVIDE SOLID BLOCKING AT FLOOR DIAPHRAGM @ COLUMN ABOVE AND BELOW.
- P.ABV. ON PLAN INDICATES POSTS/JACKS FROM FLOOR ABOVE. PROVIDE SOLID 2x BLOCKING OVER DROPPED BEAMS, HEADERS, & FOUNDATION WALL EQUAL TO WIDTH OF POSTS/JACKS ABOVE.
- PROVIDE KING STUDS PER THE KING STUD SCHEDULE AT ALL BEAMS AND HEADERS. KING STUDS ARE IN ADDITION TO JACK STUDS SPECIFIED ON PLAN OR IN THE JACK STUD SCHEDULE.
- 1ST FLOOR EXTERIOR WALLS: 2x6 @ 24" O.C.
  - EXTERIOR SHEATHING: CS-WSP = 0.50" WOOD STRUCTURAL PANEL SHEATHING w/ 8d COOLER NAILS, 6" EDGE SPACING, 12" INTERMEDIATE SPACING. INSTALL PANELS WITH VERTICAL EDGES ALIGNED w/ STUDS AND HORIZONTAL JOINTS BLOCKED @ 8'-0" MAX OC.
  - INTERIOR SHEATHING: 0.50" GYPSUM WALLBOARD SHEATHING w/ 5d COOLER NAILS. 7" EDGE SPACING & 10" INTERMEDIATE SPACING.
- SEE GENERAL FRAMING NOTES AND STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.



**2 ROOF FRAMING PLAN**

S-101 SCALE: 1/4" = 1'-0"

**ROOF FRAMING PLAN NOTES:**

- ROOF FRAMING SHALL BE 2x8 ROOF JOISTS @ 24" O.C. MAX.
- ALL WINDOW HEADERS (2) 2x12 + 0.50" CONT PLYWOOD FLITCH w/ (2) JACKS & STUDS @ EACH END UNLESS NOTED OTHERWISE.
- 2ND FLOOR EXTERIOR WALLS: 2x6 SPF #2 @ 24" O.C.
  - EXTERIOR SHEATHING: CS-WSP = 0.50" WOOD STRUCTURAL PANEL SHEATHING w/ 8d COOLER NAILS, 6" EDGE SPACING, 12" INTERMEDIATE SPACING. INSTALL PANELS WITH VERTICAL EDGES ALIGNED w/ STUDS AND HORIZONTAL JOINTS BLOCKED @ 8'-0" MAX OC.
  - INTERIOR FACE: 0.50" GYPSUM WALLBOARD SHEATHING w/ 5d COOLER NAILS. 7" EDGE SPACING & 10" INTERMEDIATE SPACING.
- INTERIOR BEARING WALLS = 2x6 SPF #2 @ 16" O.C.
- PROVIDE KING STUDS PER THE KING STUD SCHEDULE AT ALL BEAMS AND HEADERS. KING STUDS ARE IN ADDITION TO JACK STUDS SPECIFIED ON PLAN OR IN THE JACK STUD SCHEDULE.

**GENERAL FRAMING PLAN NOTES:**

- NAIL EACH PLY OF MULTIPLE PLY POSTS WITH 12d NAILS @ 6" O.C. STAGGERED.
- KING STUD SHALL BE PROVIDED FOR ALL OPENINGS AS INDICATED IN THE KING STUD SCHEDULE.
- MATERIAL NOTES:  
PT = PRESSURE TREATED WOOD
- BEAR ALL BEAMS AND HEADERS ON (2) JACK STUDS MINIMUM, UNLESS NOTED OTHERWISE ON PLAN. PROVIDE SOLID 2x VERTICAL BLOCKS UNDER ALL JACKS IN FLOOR PLENUM BELOW OPENINGS.
- ETR = EXISTING FRAMING TO REMAIN
- SCR = SHORE EXISTING FRAMING, CUT, AND RECONNECT TO NEW FRAMING

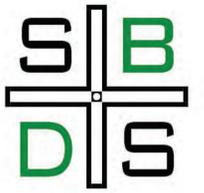
**KING STUD SCHEDULE (SPF #1/2 GRADE)**

OPENING SIZE	2x4 WALLS	2x6 WALLS	2x4 WALLS	2x6 WALLS	TWO STORY	
	9'-1 1/8" MAX		10'-1 1/8" MAX		19'-7" MAX	
INTERIOR WALLS						
7'-6" OR LESS	1	1	1	1	-	2
7'-7" TO 10'-3"	2	2	2	2	-	3
EXTERIOR WALLS						
2'-0" OR LESS	1	1	2	1	-	3
2'-1" TO 5'-6"	2	1	3	2	-	5
5'-6" TO 8'-3"	3	2	4	2	-	8
8'-3" TO 10'-3"	4	2	5	3	-	11

**KING STUD SCHEDULE NOTES:**

- NAIL EACH PLY OF KING STUDS TO EACH OTHER AND STRUCTURAL POST WITH 12d NAILS @ 6" O.C. STAGGERED.
- KING STUD SHALL BE PROVIDED FOR ALL FRAMED OPENING AND DROPPED BEAM WOOD POSTS AS INDICATED ABOVE.
- KING STUD SCHEDULE APPLIES TO ALL STANDARD HEIGHT INTERIOR BEARING AND EXTERIOR WALLS WITH PLATE HEIGHTS UP TO 9'-1 1/8". SEE PLANS FOR SPECIAL REQUIREMENTS FOR WALLS EXCEEDING THIS HEIGHT.

PRAPAS



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #616  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

**C 2018** ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



**INTEGRAL ENGINEERING, LLC**  
21351 CENTRY DR, STE 230  
STERLING, VIRGINIA 20166  
IE PROJ NO: DN19003  
STRUCTURAL ENGINEER

WIND BRACING PLANS

1015 DUKE STREET  
ALEXANDRIA, VA 22314

TITLE

PROJECT



SBDS PROJ. NO: 2019-02

REVISIONS:  
NO. DATE DESCRIPTION  
1 04-25-2019 PERMIT COMMENT RESPONSES

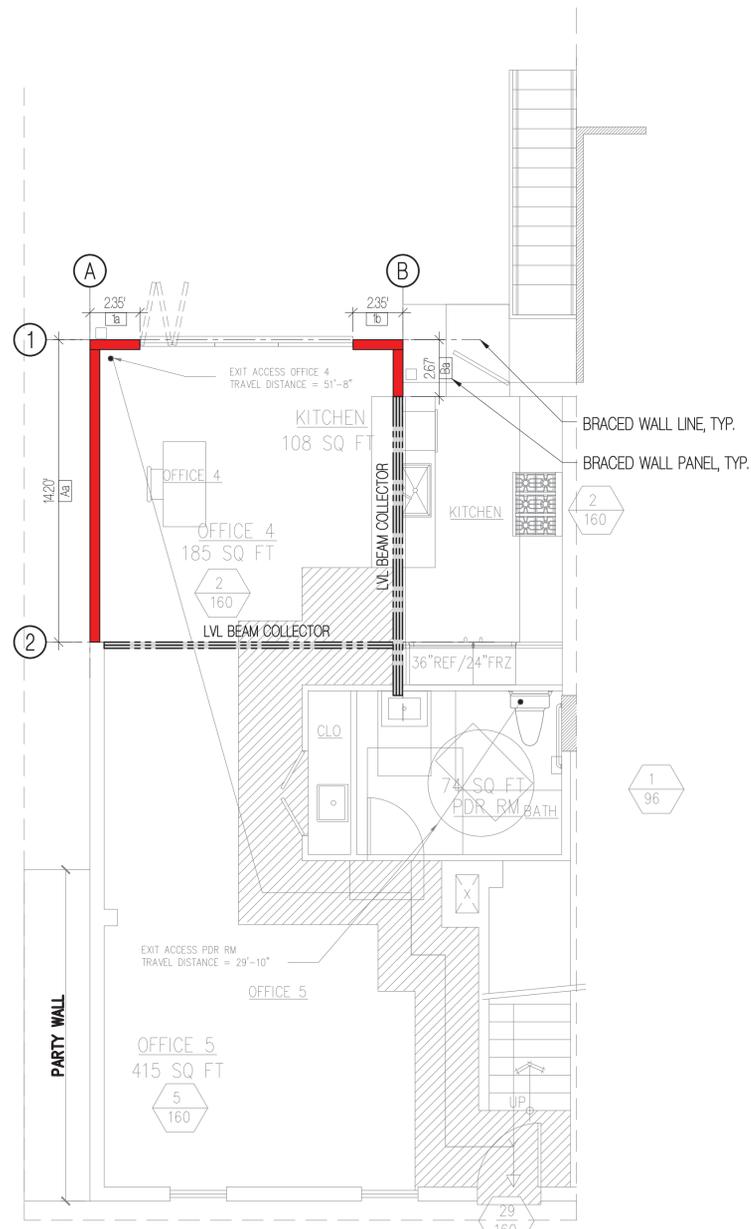
DATE: 03-15-2019

DRWN. BY: IE CHKD. BY: KP

SCALE: AS NOTED

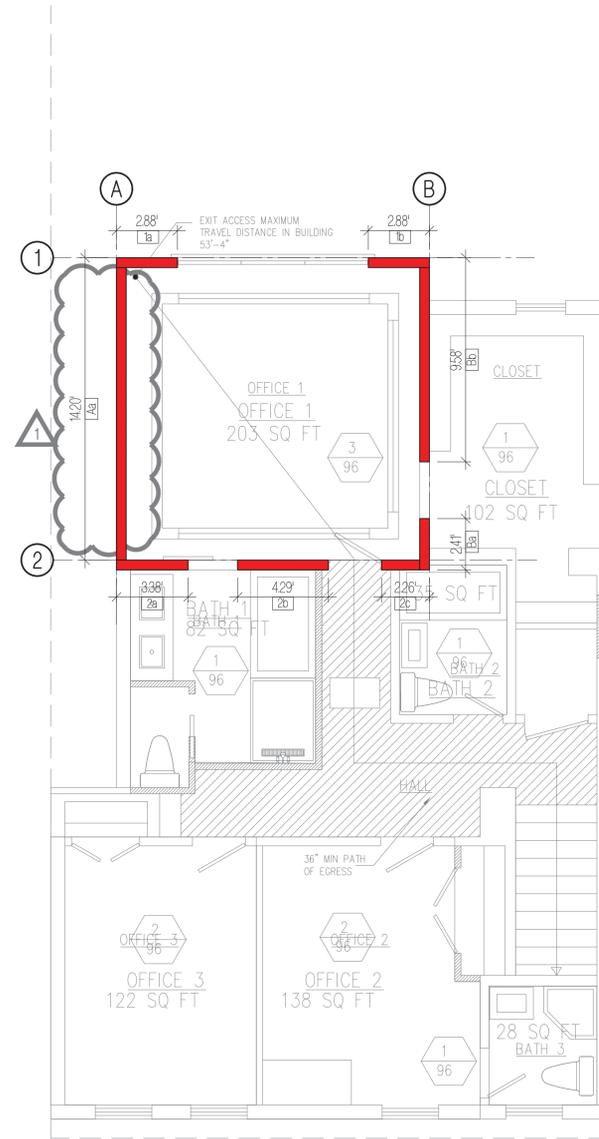
SHEET NO: S-102

SHEET: 1 OF 1



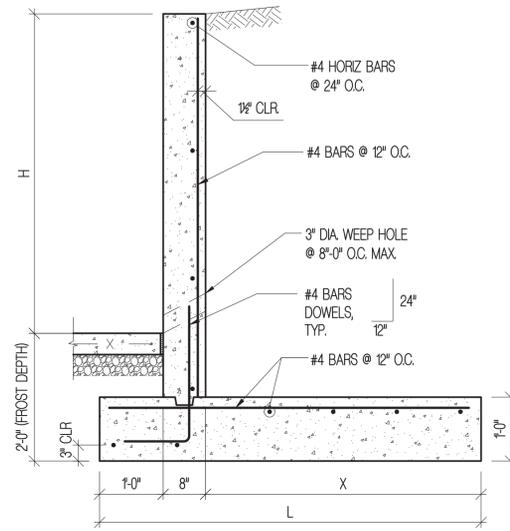
**1 1ST FLOOR BRACING PLAN**

S-102 SCALE: 1/4" = 1'-0"



**2 2ND FLOOR BRACING PLAN**

S-102 SCALE: 1/4" = 1'-0"



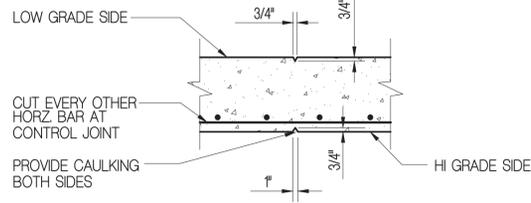
**14 DETAIL**  
S-103 SCALE: 0.75" = 1'-0"

**CONCRETE RETAINING WALL SCHEDULE**

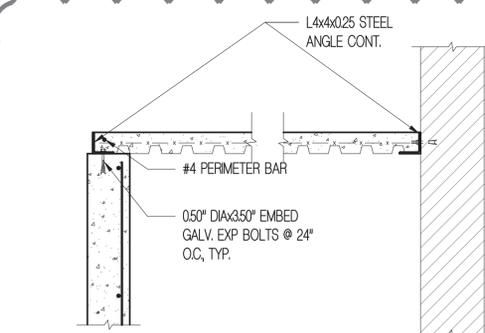
MARK TYPE	H	X	L
I	< 4'-0"	1'-0"	2'-8"
II	4'-1" - 5'-0"	2'-0"	3'-8"
III	5'-1" - 6'-8"	3'-0"	4'-8"

**RETAINING WALL SCHEDULE NOTES:**

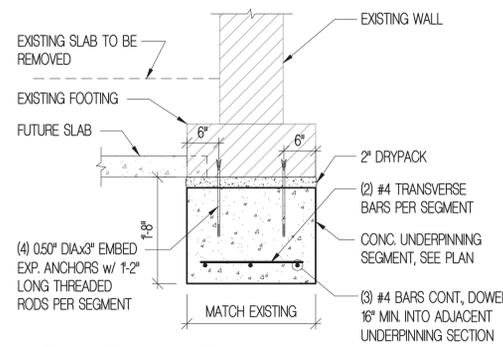
1. CONCRETE : 3500 PSI AT 28 DAYS.
2. REINFORCING STEEL :  $F_y = 60,000$  PSI
3. PROVIDE CONTROL AND CONSTRUCTION JOINT ON WALL PER DETAIL 2 & 3 AT THE SAME SHEET.
4. PROVIDE CONTROL JOINTS AT 20'-0" O.C. MAX.
5. REQUIRED SOIL BEARING CAPACITY : 1500 PSF MIN.
6. SOIL ANGLE OF FRICTION : 20°
7. THE SOIL BEARING VALUE AND FRICTION FACTOR OF SOIL TO BE VERIFIED BY A LICENSED GEOTECHNICAL ENGINEER.



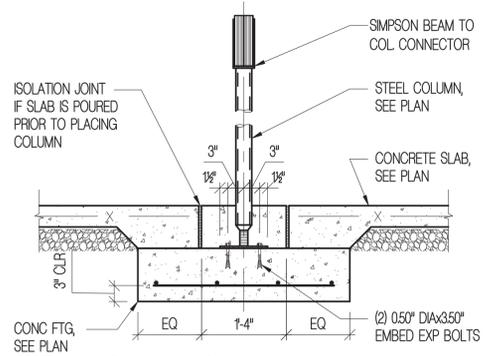
**TYPICAL CONTROL JOINT**



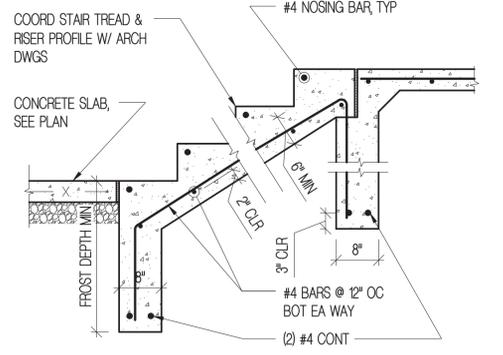
**16 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



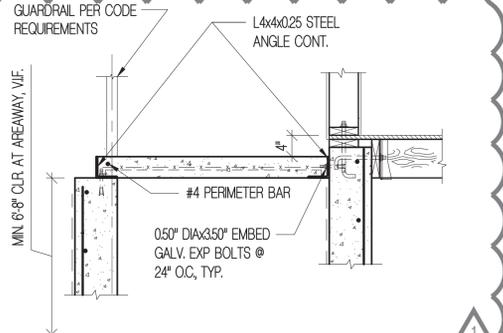
**11 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



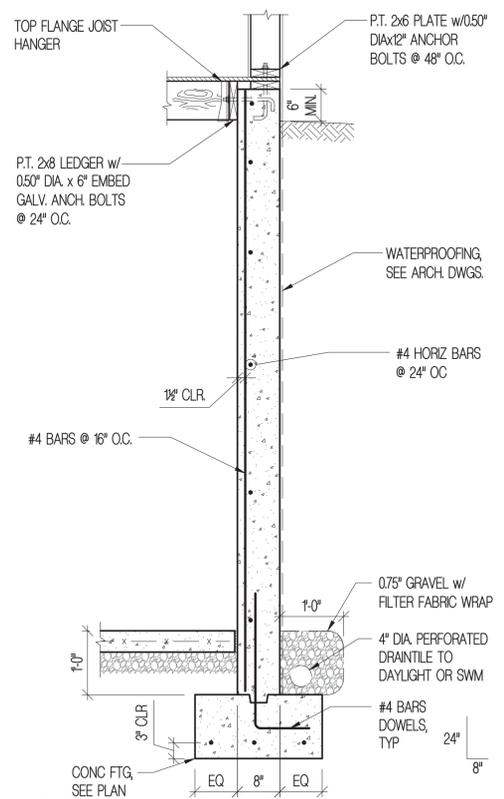
**12 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



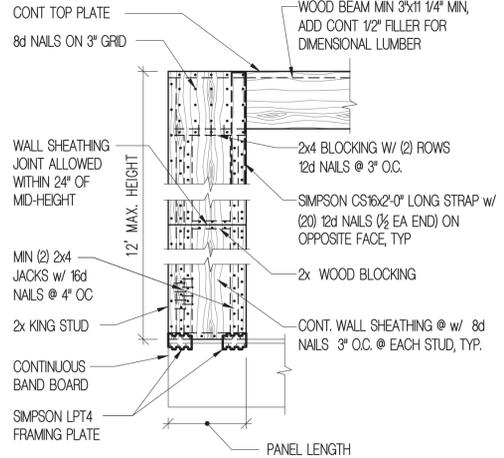
**13 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



**15 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"

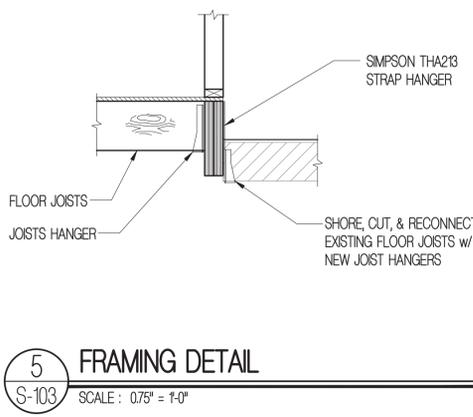


**9 FOUNDATION DETAIL**  
S-103 SCALE: 0.75" = 1'-0"

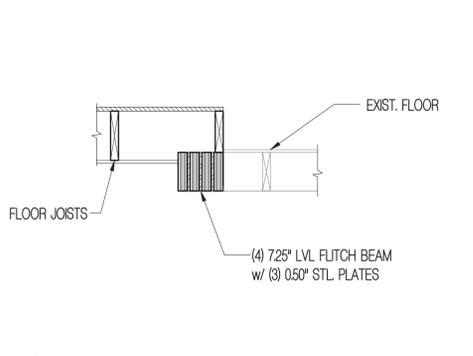


**END CONDITION ON UPPER FLOOR**

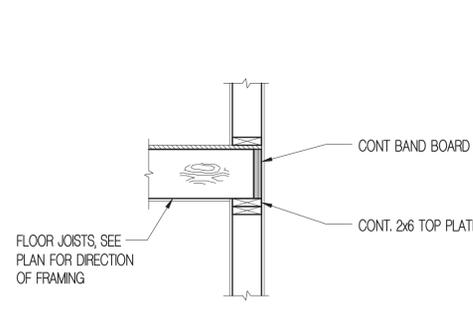
**10 PORTAL FRAME DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



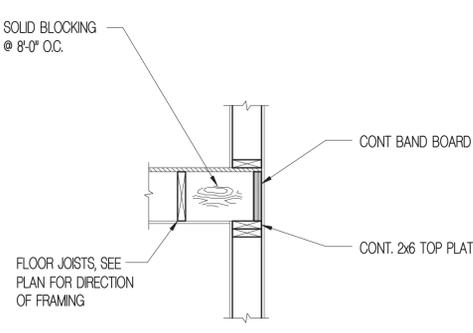
**5 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



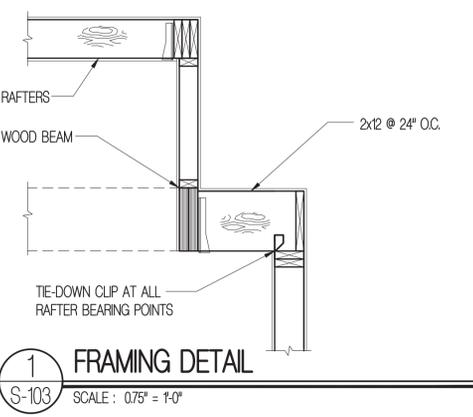
**6 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



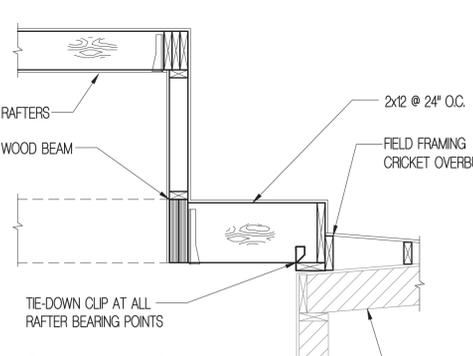
**7 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



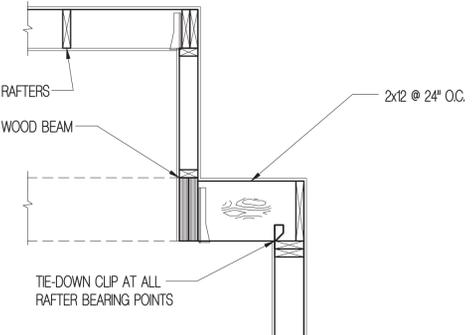
**8 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



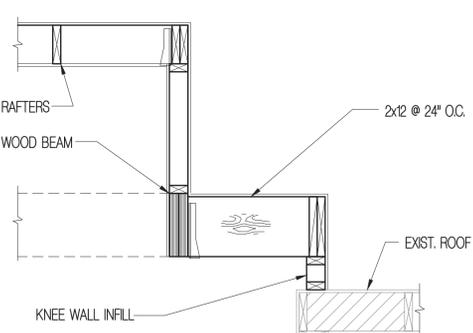
**1 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



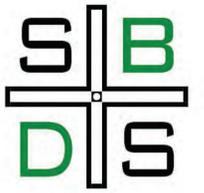
**2 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



**3 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



**4 FRAMING DETAIL**  
S-103 SCALE: 0.75" = 1'-0"



SB DESIGN STUDIOS LLC  
4201 S 31ST STREET #816  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF + THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



INTEGRAL ENGINEERING, LLC  
21351 GENTRY DR, STE 230  
STERLING, VIRGINIA 20166  
IE PROJ NO: DN19003  
STRUCTURAL ENGINEER

STRUCTURAL DETAILS

1015 DUKE STREET  
ALEXANDRIA, VA 22314



SBDS PROJ. NO: 2019-02

REVISIONS: 1 04-25-2019 PERMIT COMMENT RESPONSES

DATE: 03-15-2019  
DRWN. BY: IE CHKD. BY: KP

SCALE: AS NOTED

SHEET NO: S-103

ABBREVIATIONS			
(E)	EXISTING TO REMAIN	FT.	FEET
(N)	NEW	GPM	GALLONS PER MINUTE
(R)	EXISTING TO BE REMOVED	HP	HORSEPOWER
(RE)	NEW LOCATION OF EXISTING	IN.	INCHES
(RR)	EXISTING TO BE REMOVED AND RELOCATED	KW	KILOWATT
(xxx)	RETURN/EXHAUST AIR CFM	LAT	LEAVING AIR TEMPERATURE
ABV	ABOVE	LRA	LOCKED ROTOR AMPS
ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AHU	AIR HANDLING UNIT	MIN	MINIMUM
AP	ACCESS PANEL	NC	NOISE CRITERIA
BD	BACKDRAFT DAMPER	NTS	NOT TO SCALE
BFP	BACK FLOW PREVENTER	OA	OUTSIDE AIR
BJ	BETWEEN JOISTS	POC	POINT OF CONNECTION
BS	BRANCH SELECTOR BOX	RA	RETURN AIR
CFM	CUBIC FEET (AIR) PER MINUTE	RG	RETURN GRILLE
CLG	CEILING	RMA	RATED LOAD AMPS
CSR	CONSTANT SUPPLY REGISTER	RPL	REVOLUTIONS PER MINUTE
CU	CONDENSING UNIT	SA	SUPPLY AIR
D	CONDENSATE DRAIN	SG	SMOKE DAMPER
DN	DOWN	SD	SUPPLY GRILLE
DWG	DRAWING	SL	SOUNDLINING
EA	EXHAUST AIR	TD	TRANSFER AIR DUCT
EAT	ENTERING AIR TEMPERATURE	TAO	TRANSFER AIR OPENING
EF	EXHAUST FAN	TBD	TO BE DETERMINED
EG	EXHAUST GRILLE	TYP	TYPICAL
ESP	EXTERNAL STATIC PRESSURE	UNO	UNLESS NOTED OTHERWISE
FC	FAN COIL UNIT	VD	VOLUME DAMPER
FD	FIRE DAMPER	VRV	VARIABLE REFRIGERANT VOLUME
FLA	FULL LOAD AMPS	WMS	WIRE MESH SCREEN
		WPD	WATER PRESSURE DROP IN. W.G.

DRAWING LIST	
M001	GENERAL NOTES, SYMBOLS, SCHEDULES AND ABBREVIATIONS - MECHANICAL
M002	FLOOR PLANS - MECHANICAL
M003	SCHEDULES AND DETAILS - MECHANICAL

SEQUENCE OF OPERATION	
1.	SPLIT SYSTEM COOLING WITH GAS HEATING FURNACE:
A.	UNIT SHALL RUN BE ENERGIZED AS REQUIRED BY THE USER.
B.	UPON CALL FOR COOLING, UNIT SHALL CYCLE COMPRESSOR TO MAINTAIN COOLING SETPOINT.
C.	UPON CALL FOR HEAT, UNIT SHALL ENERGIZE THE BURNERS OF THE FURNACE TO MAINTAIN THE HEATING SETPOINT.

OUTSIDE AIR COMPLIANCE	
OUTSIDE AIR COMPLIANCE IS SATISFIED THROUGH NATURAL VENTILATION BY OPERABLE WINDOWS THROUGHOUT THE PROPERTY. ALL EXISTING WINDOW OPENINGS HAVE BEEN MAINTAINED THROUGHOUT THE PROPERTY WHICH EXHIBIT AN OPENING SIZE OF AT LEAST 4% OF THE FLOOR AREA.	

SYMBOL LIST AND ABBREVIATIONS	
	24x24 CEILING SUPPLY AIR DEVICE WITH DESIGN CFM QUANTITY
	24x24 CEILING SUPPLY AIR DEVICE WITH SHADED AREA INDICATING BLANK-OFF PORTION
	24x24 CEILING RETURN AIR DEVICE
	INDICATES SUPPLY, RETURN OR EXHAUST AIRFLOW, RESPECTIVELY
	LINEAR SUPPLY DIFFUSER WITH SOUND INSULATED PLENUM
	LINEAR RETURN DIFFUSER WITH SOUND INSULATED PLENUM
	EXISTING EQUIPMENT
	DUCT WITH 1" ACOUSTIC LINER. DIMENSIONS GIVEN ARE INSIDE FREE AREA
	DUCT WITH 1" ACOUSTIC LINER. DIMENSIONS GIVEN ARE INSIDE FREE AREA
	EXISTING EQUIPMENT TO BE REMOVED
	FLEXIBLE DUCT CONNECTION
	FLEXIBLE DUCT
	DUCT WITH SPIN-IN FITTING WITH INTEGRAL VOLUME DAMPER.
	DUCT WITH MANUAL VOLUME DAMPER.
	DUCT TRANSITION, RECTANGULAR TO ROUND
	SQUARE ELBOW WITH DOUBLE THICKNESS TURNING VANES
	RADIUS ELBOW. MIN RADIUS EQUALS 1.5 x DUCT WIDTH
	BALL VALVE SHUT-OFF
	GATE VALVE SHUT-OFF
	COMBINATION SHUT-OFF AND BALANCING VALVE
	Y - TYPE STRAINER
	PIPE UNION
	CHECK VALVE
	STRAINER WITH BLOWDOWN VALVE
	PIPE TURNING DOWN
	PIPE TURNING UP
	VALVE IN THE VERTICAL PIPE
	THERMOMETER
	PRESSURE GAUGE
	CONDENSATE DRAIN PIPING
	REFRIGERANT PIPING, INDICATES BOTH LIQUID AND SUCTION LINES
	RIGID DUCTWORK SHOWN AS SINGLE LINE
	RIGID DUCTWORK SIZE TRANSITION
	THERMOSTAT, MOUNT @ 48" AFF.
	SWITCH, MOUNT @ 48" AFF.
	DIGITAL DISPLAY AND CONTROL, MOUNT @ 48" AFF.
	POINT OF CONNECTION, NEW WORK TO EXISTING
	TERMINATION POINT OF DEMOLITION
	1/2" DOOR UNDERCUT, SIZE AS SHOWN
	RETURN/EXHAUST AIR FLOW ARROW
	DUCT DROP IN DIRECTION INDICATED
	DUCT RISE IN DIRECTION INDICATED

MECHANICAL NOTES	
1. GENERAL:	
A.	THE GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS AND APPLICABLE PROVISIONS OF OTHER DIVISIONS, FORM A PART OF THIS SPECIFICATION AND CONTRACT, AND SHALL BE CAREFULLY EXAMINED BY EACH BIDDER BEFORE SUBMITTING THEIR PROPOSAL.
B.	COMPLIANCE WITH LOCAL JURISDICTIONS: ALL WORK PERFORMED UNDER THIS SECTION SHALL CONFORM TO THE REQUIREMENTS OF DRAWINGS, SPECIFICATIONS AND TO THE CODES, ORDINANCES AND STANDARDS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
C.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES FOR INSPECTIONS RELATED TO HIS WORK.
D.	INSTALLATIONS SHALL BE GUARANTEED FOR WORKMANSHIP, MATERIALS AND EQUIPMENT AGAINST DEFECTS, LEAKS AND SYSTEM NON-OPERATION FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE OF WORK BY OWNER. WHERE MANUFACTURER'S STANDARD WARRANTY IS LONGER THAN ONE YEAR, THE LONGER WARRANTY PERIOD SHALL TAKE PRECEDENCE. FOR REFRIGERATION COMPONENTS, PROVIDE EXTENDED 100% PARTS AND LABOR WARRANTY FOR YEARS 2-5. CONTRACTOR SHALL PAY ALL COSTS INVOLVING THE GUARANTEE OF ALL SYSTEMS.
E.	THE WORD "PROVIDE", AS USED IN SPECIFICATIONS AND ON PLANS, SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE.
F.	ALL WORK SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
G.	IN GENERAL, THE DRAWINGS ARE DIAGNOMATIC, MAY VARY FROM ACTUAL FIELD CONDITIONS AND SHOW THE GENERAL LOCATION, TYPE AND SIZE OF PIPING, DUCTWORK, EQUIPMENT, CONTROLS, ACCESSORY EQUIPMENT, ETC. THE CONTRACTOR SHALL MODIFY, EXTEND, RELOCATE AND REROUTE ANY DUCTWORK, PIPING, EQUIPMENT, CONTROLS, ACCESSORY EQUIPMENT, ETC. AS REQUIRED TO ACCOMMODATE THE CEILING LAYOUT, OBSTRUCTIONS, STRUCTURE, PARTITIONS, ETC. AND TO SATISFY THE INTENT OF THE NEW WORK.
H.	THE CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY DIMENSIONS BEFORE INSTALLING ANY OF THE WORK, AND SHALL CHECK HIS LAYOUTS TO ALLOW CLEARANCE REQUIRED FOR OTHER WORK AS SHOWN ON THE DRAWINGS. IN THE EVENT OF A CONFLICT, THE CONTRACTOR SHALL ALERT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
I.	THE SCOPE OF WORK CONSISTS GENERALLY OF PROVIDING A COMPLETE SYSTEM FOR HEATING, VENTILATING AND AIR CONDITIONING AS INDICATED, AUTOMATIC TEMPERATURE CONTROLS AND FINAL TESTING, ADJUSTING, AND BALANCING OF ALL SYSTEMS AND EQUIPMENT. PROVIDE ALL MATERIALS, LABOR, TOOLS, AND INCIDENTALS NECESSARY TO ACCOMPLISH THE WORK.
J.	CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS AND ADDENDA, AND VISIT THE SITE PRIOR TO ISSUING BID. ANY QUESTIONS OR CLARIFICATIONS SHALL BE REFERRED TO THE ENGINEER AT LEAST 7 WORKING DAYS PRIOR TO BIDDING. ANY REQUEST BY THE CONTRACTOR FOR ADDITIONAL COSTS RELATED TO THE INSTALLATION, RELOCATION, MODIFICATION OR ADDITION OF EQUIPMENT REQUIRED TO SATISFY THE INTENT OF THIS PROJECT, DUE TO A LACK OF CLEAR UNDERSTANDING OF THE PROJECT REQUIREMENTS, WILL NOT BE ACCEPTED.
K.	TO ELIMINATE CONFLICTS, CONTRACTOR TO PREPARE COMPLETE AND DETAILED 1/4" SCALE PLAN COMPOSITE COORDINATION DRAWINGS FOR ALL DUCT AND PIPING WORK INSTALLED IN THIS PROJECT. SUBMIT DRAWINGS TO THE ENGINEER FOR REVIEW, PRIOR TO CONSTRUCTION.
L.	ALL WORK SHALL BE INSTALLED WITHIN CEILING AND SHALL BE DONE SO THAT ALL REQUIRED CLEARANCES ARE MAINTAINED. MAINTAIN MAXIMUM CEILING SPACE BY RUNING WORK CLOSE TO THE UNDERSIDE OF STRUCTURE.
M.	IN THE EVENT OF A CONFLICT BETWEEN CODES, DRAWINGS, AND/OR SPECIFICATIONS, THE MORE STRINGENT OR DEMANDING REQUIREMENT SHALL TAKE PRECEDENCE.
N.	SUBMIT 7 SETS OF EQUIPMENT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OF EQUIPMENT. SUBMIT DATA SHEETS TO ALLOW ADEQUATE TIME FOR REVIEW, INCLUDING RE-REVIEW OF ITEMS NOT APPROVED UPON FIRST SUBMISSION.
O.	CUT, PATCH AND REPAIR ALL DISTURBED SURFACES IN KIND.
P.	COORDINATE THE EXACT ROUTING OF ALL DUCTWORK AND PIPING IN THE FIELD WITH SITE CONDITIONS. MODIFY, EXTEND, REROUTE AND RELOCATE AS NECESSARY.
Q.	COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT IN THE FIELD WITH SITE CONDITIONS. RELOCATE ANY EQUIPMENT AS REQUIRED. MODIFY, EXTEND, REROUTE AND RELOCATE ANY ASSOCIATED DUCTWORK AND PIPING AS NECESSARY.
R.	ALL DUCTWORK SHALL BE SEALED WITH AN APPROPRIATE MATERIAL TO ELIMINATE ALL LEAKAGE EVIDENT TO THE SENSES.
S.	THE CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS FOR THE COMPLETE AND PROPER INSTALLATION OF ALL NEW EQUIPMENT. CONFIRM THAT ALL NEW EQUIPMENT IS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CLEARANCE REQUIREMENTS. MODIFY AND RELOCATE ANY EQUIPMENT AS NECESSARY TO ACCOMMODATE SITE CONDITIONS.
T.	UNDER NO CIRCUMSTANCE SHALL THE WORK PERFORMED UNDER THIS CONTRACT ADVERSELY AFFECT ADJACENT AREAS, NOT PART OF THIS WORK.
U.	IN THE EVENT THAT SUSPECTED ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED IN THE COURSE OF THE WORK, THE CONTRACTOR SHALL CEASE WORK WITH THE SUSPECT MATERIALS AND SHALL REQUEST DIRECTION FROM THE OWNER BEFORE PROCEEDING FURTHER.
V.	ANY OPERATIONS THAT WILL RESULT IN THE GENERATION OF NOISE OR VIBRATION, OR THAT MAY RESULT IN DUST EXTENDING BEYOND THE WORK AREA, SHALL BE PERFORMED AT TIMES AND IN ACCORDANCE WITH REQUIREMENTS STIPULATED BY BUILDING'S MANAGEMENT.
2. PRODUCTS AND INSTALLATION:	
A.	ALL PRODUCTS SHALL BE FIRST QUALITY, SUITABLE FOR THE INTENDED INSTALLATION, AND SHALL BE PROVIDED COMPLETE WITH ALL NECESSARY APPURTENANCES FOR A COMPLETE SYSTEM, READY FOR BENEFICIAL USE.
B.	ALL ELECTRICAL EQUIPMENT SHALL BE UL LABELED, OR EQUIVALENT BY COMPARABLE TESTING LAB.
C.	REGISTERS, GRILLES AND DIFFUSERS:
a.	DEVICES SHALL BE AS INDICATED ON SCHEDULES OR APPROVED EQUALS.
b.	INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
c.	COLORS/FINISHES SHALL BE AS DETERMINED BY ARCHITECT.
d.	PROVIDE FRAME/BORDER TO SUIT INTENDED INSTALLATION SURFACE.
D.	DUCTWORK:
a.	ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA METAL DUCT STANDARDS. METAL DUCTS TO BE CONSTRUCTED OF GALVANIZED STEEL UNLESS NOTED OTHERWISE. MINIMUM SHEET METAL THICKNESS SHALL BE 24 GAUGE FOR GALVANIZED DUCTS. FOLD FLAT ALL STANDING SEAMS ON TOP OF DUCT OF LOW PRESSURE DUCTS. HOLD ALL DUCTWORK TIGHT TO UNDERSIDE OF SLAB ABOVE.
b.	SUPPLY DUCTWORK, EXHAUST DUCTWORK, OUTSIDE AIR INTAKE, RETURN AND RELIEF DUCTWORK SHALL BE CONSTRUCTED FOR A SMACNA 2" PRESSURE CLASSIFICATION. MEDIUM PRESSURE DUCTWORK SHALL BE CONSTRUCTED TO A 3" PRESSURE CLASS, DUCTMATE OR OTHER TDC TYPE DUCT. EXHAUST DUCTS SHALL BE SEALED PER SMACNA SEAL CLASS 'A', ALL OTHER DUCTS PER SEAL CLASS 'B'.
c.	FLEXIBLE INSULATED DUCTS SHALL BE UL-181-LISTED, CLASS '1', WITH HELICAL WIRE REINFORCEMENT, SECURED WITH ADJUSTABLE STAINLESS STEEL HOSE CLAMP.
d.	PROVIDE FIRE DAMPERS AT ALL DUCT PENETRATIONS OF RATED ASSEMBLIES. DAMPERS TO BE UL LISTED, TYPE B, PREFCO OR APPROVED EQUAL.
e.	PROVIDE FLEXIBLE DUCT CONNECTORS FOR ALL CONNECTIONS TO MOTOR-OPERATED EQUIPMENT.
f.	SUPPORT: MAIN DUCT SUPPORTED BY 1-1/2" DEEP, 16 MSG COLD-ROLLED CHANNELS SPACED 48" O.C. SUSPENDED BY 12 SWG GALVANIZED STEEL WIRE. BRANCH DUCTS SUPPORTED BY 1-1/2" DEEP, 16 MSG COLD-ROLLED CHANNELS SPACED AT 36" O.C. SUSPENDED BY 12 SWG GALVANIZED STEEL WIRE. DIFFUSERS TO BE SUPPORTED INDEPENDENTLY OF CEILING SYSTEM.
E.	PIPING:
g.	CONDENSATE PIPING SHALL BE SEAMLESS COPPER TUBING, ASTM B88, WITH SOLDER-JOINED WROUGHT COPPER FITTINGS OR SCHEDULE 40 PVC PLASTIC PIPE AND FITTINGS AND SOLVENT WELDED FITTINGS.
h.	REFRIGERANT PIPING SHALL BE ACR TYPE COPPER, CLEANED AND CAPPED.
i.	PROVIDE FLEXIBLE COUPLING TO ALL CONNECTIONS TO MOTOR OPERATED EQUIPMENT.
j.	PIPES TO BE SUPPORTED INDEPENDENTLY SO NO WEIGHT IS SUPPORTED BY EQUIPMENT. SUPPORT SHALL BE SPACED IN ACCORDANCE WITH ANSI B31.1.0. OVERHEAD PIPING SHALL BE SUPPORTED FROM STRUCTURE WITH ADJUSTABLE CLEVIS HANGERS AND SUSPENSION RODS CONFORMING TO ANSI B31.1.0.
k.	INSULATION SHALL BE PROTECTED AT SUPPORTS WITH THE USE OF PROTECTION SADDLES OR SHIELDS THAT SUPPORT PIPE.
F.	VALVES:
a.	BALL VALVES SHALL BE TWO-PIECE COPPER ALLOY, BRONZE BODY WITH TEFLON SEAL AND STEM PACKING, 125 PSI WOG, APOLLO BRAND OR APPROVED EQUAL.
b.	GATE VALVES SHALL BE THREADED IRON, 150 PSI WOG, HAMMOND OR APPROVED EQUAL.
G.	PIPE FITTINGS:
a.	PROVIDE DIELECTRIC ISOLATOR BETWEEN ALL CONNECTIONS OF DISSIMILAR PIPING MATERIALS.
b.	PROVIDE FLEXIBLE COUPLING TO ALL CONNECTIONS OF MOTOR OPERATED DEVICES, OR WHEN CROSSING BUILDING EXPANSION JOINTS.
H.	EQUIPMENT AND DUCTWORK SHALL BE INSULATED AND SEALED AS FOLLOWS:
1)	ANY DUCTWORK THAT IS LOCATED WITHIN AN ATTIC SHALL BE INSULATED WITH 3 INCH THICK FIBERGLASS INSULATION WITH A FRK BARRIER AS MANUFACTURED BY OWENS CORNING, SOFTR DUCT WRAP FRK, TYPE 75 (0.75 PCF), TO A MINIMUM OF R-8.
2)	ANY DUCTWORK THAT IS LOCATED WITHIN AN UNCONDITIONED SPACE (AND NOT IN THE ATTIC) SHALL BE INSULATED WITH 2 INCH THICK FIBERGLASS INSULATION WITH A FRK BARRIER AS MANUFACTURED BY OWENS CORNING, SOFTR DUCT WRAP FRK, TYPE 100 (1.00 PCF), TO A MINIMUM OF R-6.
3)	ANY DUCTWORK THAT IS LOCATED WITHIN A CONDITIONED SPACE (COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE) SHALL BE INSULATED WITH A 1-1/2 INCH THICK FIBERGLASS INSULATION WITH A FRK BARRIER AS MANUFACTURED BY OWENS CORNING, SOFTR DUCT WRAP FRK, TYPE 75 (0.75 PCF), TO A MINIMUM OF R-4.
4)	OUTDOOR DUCTWORK SHALL BE INSULATED WITH MINERAL FIBER BLANKET, 3 INCHES THICK, AND 1.5 LB/CU. FT. NOMINAL DENSITY; OR, MINERAL FIBER BOARD, 3 INCHES THICK AND 3 LB/CU. FT. NOMINAL DENSITY. PROVIDE A FIELD APPLIED JACKET OVER THE INSULATION MATERIAL. FOR INSULATION WITH FACTORY APPLIED JACKET, INSTALL FIELD APPLIED JACKET OVER THE FACTORY APPLIED JACKET. FOR EXPOSED DUCTWORK UP TO 48 INCHES IN DIAMETER OR WITH FLAT SURFACES UP TO 72 INCHES PROVIDE EITHER OF THE FOLLOWING FIELD APPLIED JACKETS: ALUMINUM, SMOOTH, 0.020 INCHES THICK; OR, STAINLESS STEEL, TYPE 304, SMOOTH 2B FINISH, 0.016 INCHES THICK. FOR EXPOSED DUCTWORK LARGER THAN 48 INCHES IN DIAMETER OR WITH FLAT SURFACES LARGER THAN 72 INCHES PROVIDE EITHER OF THE FOLLOWING FIELD APPLIED JACKETS: ALUMINUM, SMOOTH WITH 1-1/4 INCH DEEP CORRUGATIONS, 0.032 INCHES THICK; OR, STAINLESS STEEL, TYPE 304, SMOOTH WITH 1-1/4 INCH DEEP CORRUGATIONS, 0.020 INCHES THICK.
5)	ACOUSTIC INTERNAL DUCTLINER (SOUNDLINER) SHALL BE PROVIDED AS REQUIRED BY THE DRAWINGS IN LIEU OF EXTERNAL DUCT INSULATION. THIS SHALL ONLY BE USED WHERE DIRECTED BY THE DRAWINGS FOR DUCTWORK THAT IS LOCATED WITHIN A CONDITIONED SPACE (COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE). THE DUCTLINER SHALL BE A SINGLE LAYER OF 1 INCH ACOUSTIC LINER WITH COATED SURFACE FACING AIRSTREAM AS MANUFACTURED BY OWENS CORNING, MODEL QUIET ROTARY DUCT LINER, OR APPROVED EQUAL, WITH A MINIMUM R-VALUE OF 4.0.
6)	INDOOR REFRIGERANT AND CONDENSATE PIPING SHALL BE INSULATED WITH 3/4 INCH ARMAFLEX PIPE INSULATION WITH MINIMUM R-VALUE OF 3.0. OUTDOOR REFRIGERANT PIPING SHALL BE INSULATED WITH 1.0 INCH ARMAFLEX PIPE INSULATION WITH MINIMUM R-VALUE OF 6.0. PROVIDE A SMOOTH ALUMINUM 0.016 INCH JACKET OR 30 MIL THICK PVC JACKET FOR ALL EXTERIOR PIPING.
7)	ALL EQUIPMENT, FILTER BOXES, DUCTWORK JOINTS, SEAMS AND CONNECTIONS SHALL BE CONSTRUCTED AS SPECIFIED IN SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE AND NAIMA FIBROUS GLASS DUCT CONSTRUCTION STANDARDS. ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS, LIQUID SEALANTS OR TAPES. ALL SEALING AND CONNECTIONS SHALL ALSO COMPLY WITH THE INTERNATIONAL MECHANICAL CODE.
8)	BUTT TRANSVERSE JOINTS WITHOUT GAPS AND COAT JOINTS LIBERALLY WITH ADHESIVE. LONGITUDINAL JOINTS SHALL OCCUR ONLY AT CORNERS OF DUCTS. PROVIDE FULL COVERAGE ADHESIVE FASTENING OF LINERS. FOR DUCTS WHICH EXCEED 12" IN ANY DIMENSION, PROVIDE MECHANICAL FASTENERS IN ADDITION TO CHEMICAL ADHESIVE. PROVIDE METAL NOSING ON LEADING EDGES OF LINER. INSTALLATION TO COMPLY WITH SMACNA REQUIREMENTS. ADHESIVE TO BE FOSTER'S FOSTEX OR APPROVED EQUAL.
I.	MANUAL DAMPERS: PROVIDE MANUAL BALANCING DAMPERS, AS MANUFACTURED BY RUSKIN OR APPROVED EQUAL, WITH LOCKING INDEXED QUADRANT ON DUCTS AT LOCATIONS SHOWN. PROVIDE STAND-OFF LINKAGE FOR INSULATED DUCTS.
J.	STARTERS FOR ALL MOTORS, INCLUDING VFD'S, SHALL BE FURNISHED BY MECHANICAL, INSTALLED BY ELECTRICAL.
K.	CONTROLS: CONTROLS SHALL BE ELECTRIC/ELECTRONIC, SIMILAR TO HONEYWELL OR APPROVED EQUAL. TIME CLOCKS SHALL BE MULTI-CHANNEL DIGITAL TYPE WITH MINIMUM 72 HOUR INTERNAL MEMORY BACKUP, SUITABLE FOR 7 DAY PROGRAMMING WITH 4 EVENT SCHEDULES PER DAY, MANUAL OVER-RIDE.
L.	ALL FLOOR PENETRATIONS SHALL BE CORE DRILLED OR SAW CUT. X-RAY SLAB PRIOR TO CUTTING. DO NOT CUT STRUCTURAL MEMBERS.
M.	ALL FLOOR AND WALL PENETRATIONS SHALL BE SLEEVED. PROVIDE 18 GAUGE GALVANIZED SHEET METAL SLEEVES FOR DUCTS, STEEL PIPE SLEEVES FOR PIPES. PACK VOID SPACE WITH FIRE SAFING. PIPE SLEEVES IN MECHANICAL ROOM SHALL STAND 1" PROUD OF FLOOR SURFACE. SEAL ALL FLOOR PENETRATIONS WATER TIGHT.
N.	PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES, DAMPERS, ETC.
O.	HANGERS AND SUPPORTS: DEVICES SHALL BE FACTORY PRE-FABRICATED.
a.	COMPLY WITH MSS-58 FOR ACCEPTABLE TYPES.
b.	INSTALL PER MSS-59 FOR SPACING AND MOUNTING.
c.	PROVIDE SPRING-TYPE VIBRATION ISOLATORS FOR ALL MOTOR-OPERATED EQUIPMENT.
Q.	ALL CABLING AND PIPING SHALL BE PLENUM RATED.
3. EXECUTION:	
A.	ALL WORK SHALL BE ACCOMPLISHED BY EXPERIENCED MECHANICS, SPECIALIZING IN THE PARTICULAR TRADE, UTILIZING APPROPRIATE TOOLS AND TECHNIQUES. ALL WORK SHALL BE FIRST QUALITY, CONSISTENT WITH INDUSTRY'S BEST STANDARDS. WORK DEEMED TO BE SUBSTANDARD SHALL BE REMOVED AND REMADE AT CONTRACTOR'S EXPENSE.
B.	PERFORM ALL OPERATIONS REQUIRED AND INSTALL ALL UNITS, DUCTWORK, EQUIPMENT, CONTROLS AND PIPING, WITH ALL REQUIRED ACCESSORIES, TO PRODUCE A COMPLETE INSTALLATION, READY FOR USE.
C.	TESTS: BEFORE ACCEPTANCE OF HVAC SYSTEM, THE SYSTEM SHALL BE TESTED, ADJUSTED AND BALANCED BY A NEBB OR ABC MEMBER BALANCING CONTRACTOR. SUBMIT FOR REVIEW 6 COPIES OF THE CERTIFIED FINAL REPORT. THE SYSTEM SHALL BE AIR BALANCED TO DELIVER MEASURED QUANTITIES WITHIN 10% OF SPECIFIED AMOUNT FOR EACH OUTLET, INLET OR DEVICE. EQUIPMENT AND CONTROLS ARE TO BE TESTED AND DETERMINED THAT ALL SYSTEMS AND OPERATIONS ARE SATISFACTORY AND PERFORMING AS INTENDED AND THAT CLEAN FILTERS ARE IN PLACE PRIOR TO BALANCING. ADJUST/REPLACE DRIVE SHEAVES AS REQUIRED TO ACHIEVE DESIRED AIRFLOW.
D.	ALL EQUIPMENT, DUCTWORK, CONTROLS AND PIPING SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION. ANY DAMAGED EQUIPMENT SHALL BE REPLACED AT NO EXTRA COST TO THE OWNER.
E.	LOCATE THERMOSTATS AS INDICATED. ALL CONTROL WIRING SHALL BE PLENUM RATED AND INSTALLED CONCEALED IN OCCUPIED AREAS.
F.	SUBMIT ONE COMPLETE SET OF PLANS AND RELATED DOCUMENTS, APPROVED BY THE CITY, TO THE OWNER.
G.	PROVIDE TO OWNER 3 SETS OF MAINTENANCE AND OPERATING MANUALS AND MANUFACTURER'S WARRANTY DOCUMENTS FOR ALL EQUIPMENT IN INDEXED 3 RING BINDER.
H.	PROVIDE AS-BUILT DRAWINGS TO OWNER UPON COMPLETION OF THE PROJECT. SUBMIT ONE ELECTRONIC COPY (CD) AND TWO SETS OF HARD COPIES (BLUE PRINTS) OF THE AS-BUILT DRAWINGS, CORRECTED TO SHOW ALL FIELD MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS.
I.	PROTECT AGAINST INJURY TO PERSONS AND DAMAGE TO PROPERTY AT ALL TIMES.
J.	CONTRACTOR SHALL CLEAN THE WORK SITE AFTER EACH DAY'S WORK.
K.	FOLLOWING COMPLETION OF CONSTRUCTION AND PRIOR TO AIR BALANCING, PROVIDE NEW FILTERS IN ALL FAN COIL AND AIR HANDLING UNITS.
L.	CLEAN ALL AIR DEVICES UPON PROJECT COMPLETION.
M.	DEMONSTRATE OPERATION OF SYSTEM TO OWNER.
N.	PROVIDE INSTRUCTION TO OWNER DESIGNATED PERSONNEL, DEMONSTRATING NORMAL MAINTENANCE AND TROUBLESHOOTING PROCEDURES.



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

© 2019

GENERAL NOTES, SYMBOLS AND ABBREVIATIONS - MECHANICAL

1015 DUKE STREET

PROJECT:

SBDS PROJ. NO. 2018-24

REVISIONS NO.	DATE	DESCRIPTION

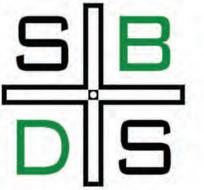
DATE: 03-01-19

DRWN. BY: SBDS CHKD. BY: SB

SCALE: AS NOTED

SHEET NO. M001

SHEET: 01



SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

TITLE: FLOOR PLANS - MECHANICAL

PROJECT: 1015 DUKE STREET

SBDS PROJ. NO.: 2018-24

REVISIONS: NO. DATE DESCRIPTION

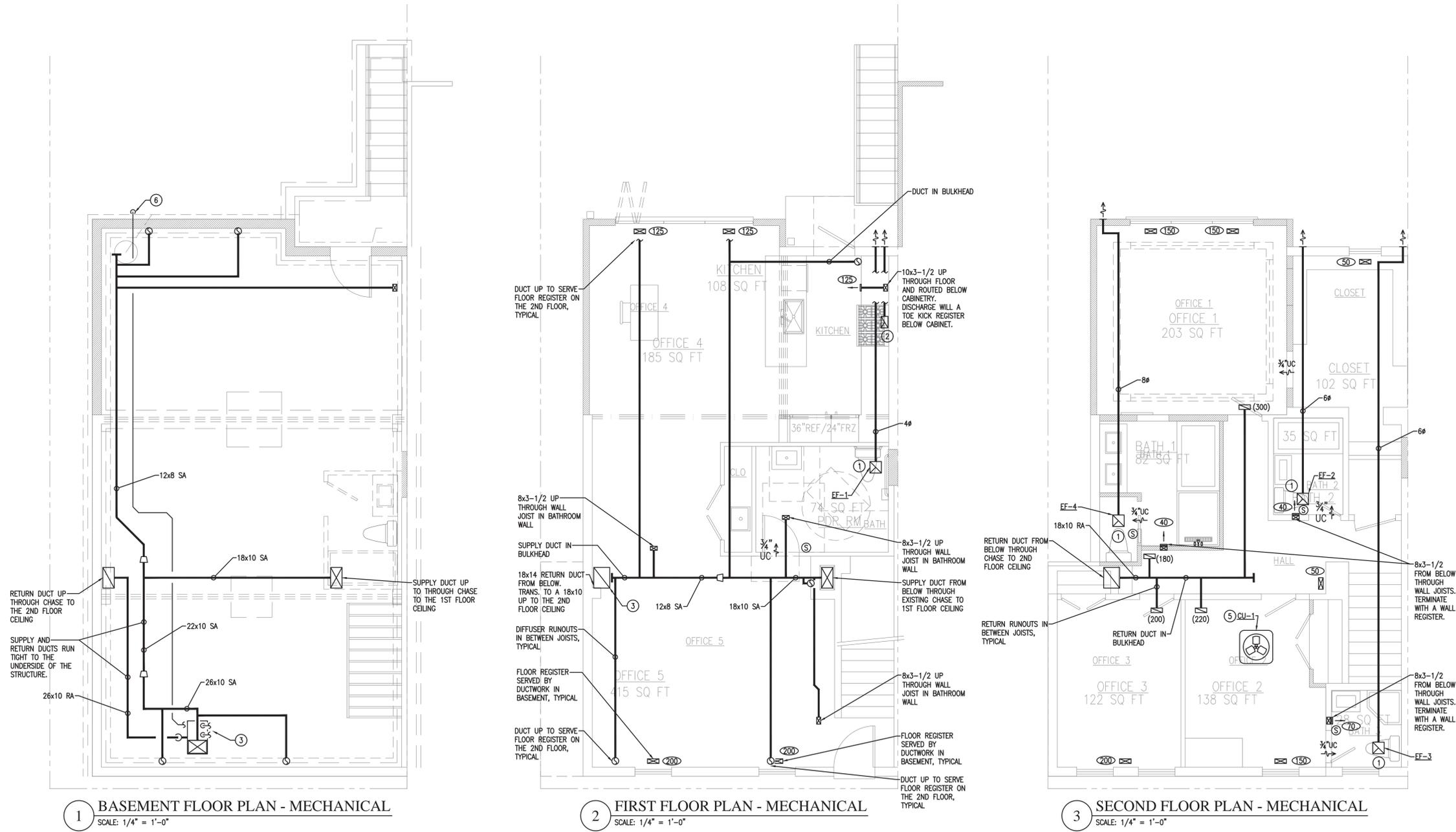
DATE: 03-01-19

DRWN. BY: SBDS CHKD. BY: SB

SCALE: AS NOTED

SHEET NO. M002

SHEET: OF:



1 BASEMENT FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

3 SECOND FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

KEY NOTES

- EXHAUST FAN INSTALLED IN THE CEILING OF THE BATHROOM. COORDINATE EXACT LOCATION WITH THE ARCHITECT. EXTEND THE EXHAUST DUCT AND TERMINATE AT THE EXTERIOR WALL WITH A HOODED ALUMINUM WALL CAP (OR BRICK VENT) WITH INSECT/BIRD SCREEN AND BACKDRAFT DAMPER, COLOR TO MATCH ADJACENT SIDING (OR BRICK). CONFIRM THAT EXHAUST OUTLET IS AT LEAST 3 FEET FROM ANY OPERABLE OPENING TO THE BUILDING. RELOCATE THE EXACT WALL PENETRATION AS REQUIRED. COORDINATE FINAL TYPE, FINISH, COLOR AND LOCATION OF EXTERIOR WALL TERMINATION WITH THE ARCHITECT.
- KITCHEN HOOD EXHAUST CONNECTION. CONNECT A 6" DUCT TO THE KITCHEN HOOD OUTLET CONNECTION. EXTEND THE FULL SIZE RECTANGULAR DUCT FROM THE HOOD TO THE CEILING SPACE AND CONNECT THE 6" IN THE CEILING AS REQUIRED. EXTEND THE 6" DUCT TO THE EXTERIOR WALL AND TERMINATE WITH A HOODED ALUMINUM WALL CAP (OR BRICK VENT) WITH INSECT/BIRD SCREEN AND BACKDRAFT DAMPER, COLOR TO MATCH ADJACENT SIDING (OR BRICK). CONFIRM THAT EXHAUST OUTLET IS AT LEAST 3 FEET FROM ANY OPERABLE OPENING TO THE BUILDING. RELOCATE THE EXACT WALL PENETRATION AS REQUIRED. COORDINATE FINAL FINISH, COLOR AND LOCATION OF THE EXTERIOR WALL CAP WITH THE ARCHITECT.
- PROVIDE A WALL RETURN GRILLE HIGH ON WALL ON CHASE WALL CONNECTED TO THE RETURN AIR DUCT FOR THE RETURN AIR FOR THE 1ST FLOOR. SIZE OF RETURN GRILLE AS INDICATED.
- CONCENTRIC COMBUSTION/VENTILATION PIPING EXTENDED TO THE EXTERIOR ROOF FROM THE FURNACE. PROVIDE AS PER MANUFACTURER'S DIRECTIONS AND INSTRUCTIONS. PROVIDE A VENT TERMINATION KIT PER MANUFACTURER. CONFIRM THAT EXIT LOCATION COMPLIES WITH ALL CODE REQUIREMENTS.
- OUTDOOR UNIT ON ROOF. INSTALL UNIT ADHERING TO MANUFACTURER INSTRUCTIONS AND MAINTAIN CLEARANCE REQUIREMENTS. RUN REFRIGERANT PIPING TO THE INDOOR UNIT AS REQUIRED. COORDINATE THE EXACT ROUTING OF THE REFRIGERANT PIPING AND THE EXACT LOCATION OF THE UNIT WITH THE ARCHITECT PRIOR TO INSTALLATION FOR APPROVAL.
- EXTEND 3/4" PUMPED CONDENSATE DRAIN LINE FROM THE INDOOR UNIT TO THE EXTERIOR. DISCHARGE ONTO A SPLASH BLOCK ON GRADE. CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF THE CONDENSATE DISCHARGE IS NOT INTO A STREET, ALLEY OR OTHER AREA SO AS TO CAUSE A NUISANCE. RELOCATE THE EXACT DISCHARGE LOCATION IN THE FIELD AS REQUIRED.

GENERAL NOTES

- ALL REFRIGERANT PIPING ROUTING SHALL BE COORDINATED IN THE FIELD. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS REGARDING THE LENGTH OF RUN, PIPING REQUIREMENTS, VALVES, ACCESSORIES, ETC. THE CONTRACTOR SHALL NOT INSTALL THE REFRIGERANT PIPING EXPOSED. IF UNABLE TO CONCEAL PIPING, COORDINATE WITH THE ARCHITECT.
- REFER TO THE AIR DEVICE UNIT SCHEDULE FOR SIZE OF DUCT RUN-OUTS TO SUPPLY REGISTERS.

**SPLIT SYSTEM AC UNIT GAS FURNACE SCHEDULE**

DESIGNATION	NOMINAL CAPACITY TONS	NOMINAL SUPPLY CFM	OA CFM	ESP INCHES W.G.	COOLING						HEATING						ELECTRICAL						SEER	APPR. WEIGHT LBS. INDOOR	APPR. WEIGHT LBS. OUTDOOR	BASIS OF DESIGN	REMARKS					
					ENTERING AIR			STAGES			GAS INPUT		GAS OUTPUT		EFF. %		INDOOR UNIT		OUTDOOR UNIT													
					TOTAL MBH	SENS. MBH	STAGES	DB °F	WB °F	STAGES	MBH	MBH	MBH	MBH	MBH	MBH	MCA	MFS	VOLTAGE	QTY.	FLA	STAGES						RLA	LRA	MCA	MFS	VOLTAGE
AC-1 CU-1	4.0	1675	-	0.5	49.2	34.9	2	75	63	2	100.0	96.0	70.0	67.2	96	13.3	15	115V/1Ø/60	1	1.2	1	2	20.4	122.1	26.7	45	230V/1Ø/60	16.0	200	250	GOODMAN MFG MODEL: INDOOR # GME9601004CNA OUTDOOR # GSXC16048	SEE NOTES

**NOTES:**

- PROVIDE ALL UNITS WITH DISCONNECT SWITCH FOR EACH UNIT, VIBRATION ISOLATION, SIDE WALL VENT KIT OR THROUGH THE ROOF VENTING (CONFIRM WITH OWNER), DRAIN KIT, EXTERNAL FILTER RACK, CONCRETE PAD FOR OUTDOOR UNIT, ANCHOR BRACKET, ANTI-SHORT CYCLE KIT, HARD START KIT, FREEZE PROTECTION KIT, OUTDOOR THERMOSTAT WITH LOCKOUT STAT, TXV KIT, VIBRATION ISOLATION, PRIMARY CONDENSATE PAN WATER LEVEL OVERFLOW SAFETY SWITCH LOCATED IN THE PRIMARY DRAIN PAN, AUXILIARY DRAIN PAN WITH A WATER LEVEL DETECTION DEVICE, FULLY INSULATED UNIT ENCLOSURE, FILTERS, PROGRAMMABLE THERMOSTAT
- FOLLOW MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR COMPLETE INSTALLATION, CLEARANCE REQUIREMENTS, VENT KIT INSTALLATION AND REFRIGERANT PIPING INSTALLATION.
- PROVIDE ALL INTERLOCKS FOR SAFETY SWITCHES, SENSORS, DETECTORS, ETC. TO SHUT DOWN UNIT AS REQUIRED. PROVIDE ADDITIONAL INTERLOCKING AS NECESSARY.
- PROVIDE COOLING COIL ON THE INDOOR UNIT. BASIS OF DESIGN: GOODMAN MODEL CHPF4860D60 WITH TXV. COORDINATE CABINET WIDTHS AS REQUIRED FOR THE FURNACE AND COOLING COIL.

**EXHAUST FAN SCHEDULE**

UNIT TAG	SERVING	TYPE	CFM	ESP	RPM	WATTS (HP)	VOLTS/HZ/PHASE	BASIS OF DESIGN
EF-1	TOILET EXHAUST	CEILING	80	0.1	-	7.6	120/1/60	BROAN MODEL XB80
EF-2,3	TOILET EXHAUST	CEILING	110	0.1	-	7.7	120/1/60	BROAN MODEL XB110
EF-4	TOILET EXHAUST	CEILING	214	0.1	740	127	120/1/60	BROAN MODEL L200

**NOTES:**

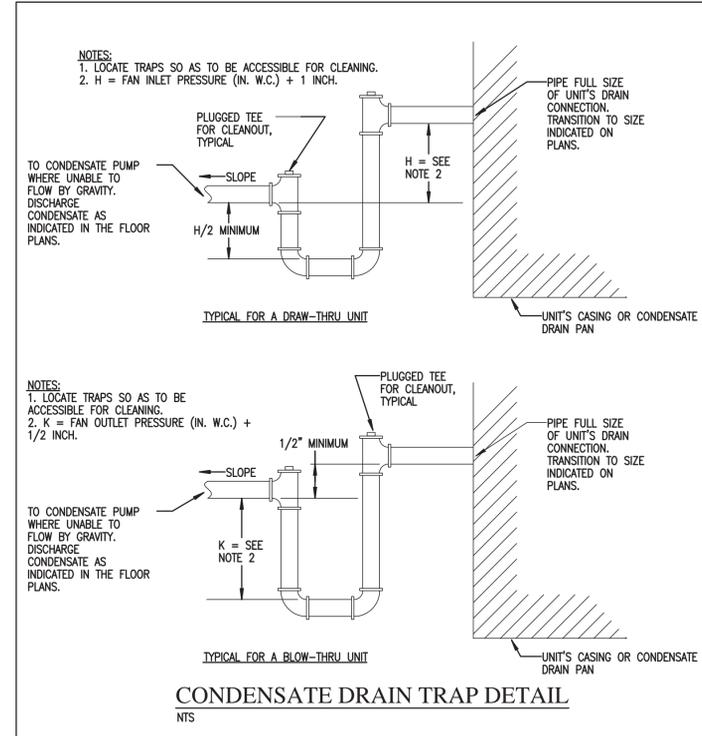
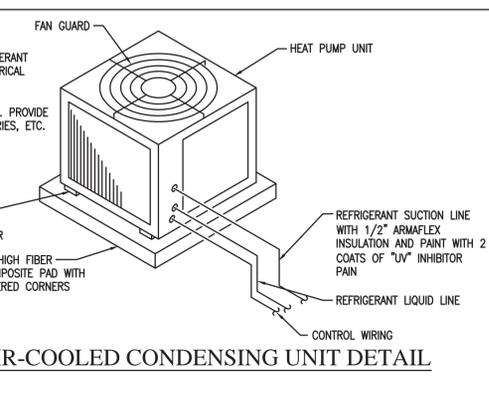
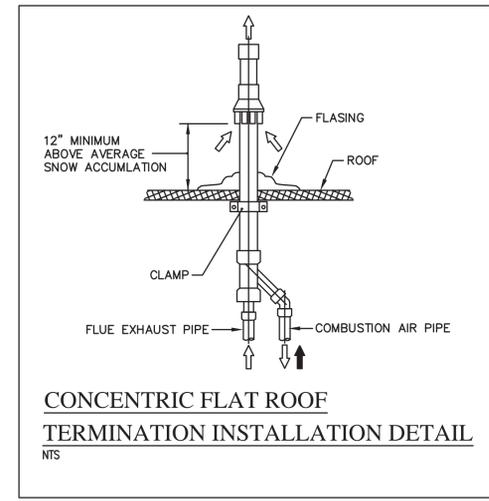
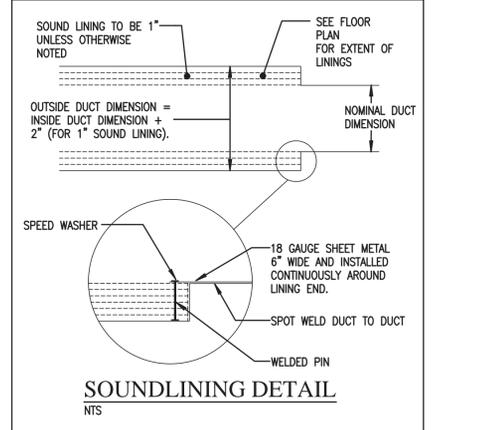
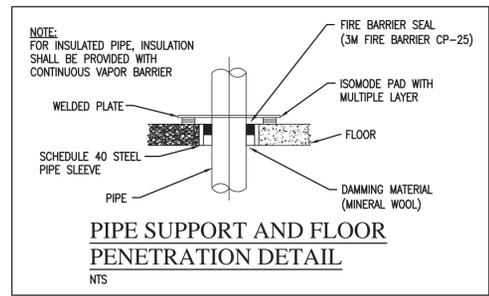
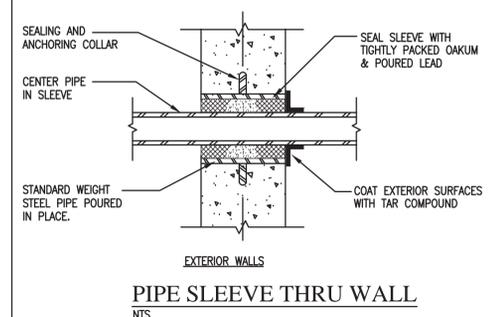
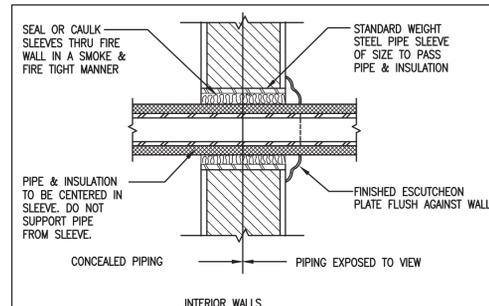
- PROVIDE ALL FANS WITH DISCONNECT SWITCH, BACKDRAFT DAMPERS, BRICK VENTS, WALL OR ROOF CAPS (AS DIRECTED BY THE DRAWINGS AND THE ARCHITECT)
- FANS SHALL BE EQUIPPED WITH A WALL TIMER SWITCH. REFER TO ARCHITECTURAL DRAWINGS FOR THE LOCATION OF THE WALL SWITCH. CONFIRM COMPATIBILITY WITH EXHAUST FAN PRIOR TO PURCHASING.
- PROVIDE FANS WITH A CEILING RADIATION DAMPER BROAN MODEL RD, COMPATIBLE WITH FAN MODEL, IF INSTALLED IN A FIRE RATED CEILING.
- ALL EQUIPMENT SHALL BE INSTALLED ADHERING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.

**AIR DEVICE UNIT SCHEDULE**

UNIT TAG OR SYMBOL	CFM RANGE	DESCRIPTION	INLET SIZE FOR OUTLET BOX	SIZE	BASIS OF DESIGN	REMARKS
☒	0 - 100	STEEL FLOOR REGISTER	6"	10x4	HART & COOLEY MODEL 420	
☒	101 -210	STEEL FLOOR REGISTER	8"	14x6	HART & COOLEY MODEL 420	
☒	0 - 100	STEEL RETURN AIR GRILLE	6"	8x8	HART & COOLEY MODEL 650	
☒	101 -210	STEEL RETURN AIR GRILLE	8"	12x8	HART & COOLEY MODEL 650	
☒	101 -340	STEEL RETURN AIR GRILLE	10"	12x12	HART & COOLEY MODEL 650	

**NOTES:**

- FOR DUCT SIZE CONNECTED TO THE DIFFUSER OR REGISTER REFER TO THE DIFFUSER AND REGISTER INLET SIZE UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE INLET SIZE SHOWN ON THE SCHEDULE IS MEANT FOR A DIFFUSER BRANCH RUNOUT. THIS SIZE IS NOT APPLICABLE WHEN THE DIFFUSER IS INSTALLED AS A SIDE DISCHARGE TO A DUCT THAT IS IN A BULKHEAD.
- ALL REGISTERS AND GRILLES SHALL BE EQUIPPED WITH AN INTEGRAL MANUAL OPPOSED BLADE DAMPER ACCESSIBLE FROM THE FACE OF THE DIFFUSER.
- ALL DIFFUSERS, REGISTERS AND GRILLES SHALL BE COMPATIBLE WITH THE SPECIFIED CEILING, WALL OR FLOOR TYPE. REFER TO THE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION. PROVIDE MOUNTING FRAME COMPATIBLE WITH CEILING/WALL MATERIALS.
- COLOR AND FINISH SHALL BE COORDINATED WITH THE ARCHITECT AND OWNER.
- SEE PLANS FOR MISCELLANEOUS AIR DEVICES.
- PROVIDE A CEILING RADIATION DAMPER, PLENUM BOX EQUAL TO RUSKIN MODEL CFDT7, FOR ALL AIR DEVICES INSTALLED IN A RATED CEILING. THE INLET SIZE SHOWN IS CONNECTION SIZE TO THE BOX. CONFIRM THE RATING OF ALL CEILINGS WITH THE ARCHITECT AND ARCHITECTURAL DRAWINGS.
- DIFFUSERS MAY BE INSTALLED IN A SIDEWALL OR CEILING APPLICATION. REFER TO DRAWINGS FOR MORE INFORMATION.
- FOR RESTROOM INSTALLATION PROVIDE ALUMINUM VERSIONS OF THE GRILLES LISTED IN THE SCHEDULE.



SB DESIGN STUDIOS LLC  
4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

**SCHEDULES AND DETAILS -  
MECHANICAL**

1015 DUKE STREET

SBDS PROJ. NO. **2018-24**

REVISIONS NO.	DATE	DESCRIPTION

DATE: **03-01-19**

DRWN. BY: **SBDS** CHKD. BY: **SB**

SCALE: **AS NOTED**

SHEET NO. **M003**

SHEET: **01**

**ABBREVIATIONS**

(E)	EXISTING TO REMAIN
(N)	NEW
(R)	EXISTING TO BE REMOVED
(RE)	NEW LOCATION OF EXISTING
(RR)	EXISTING TO BE RELOCATED
ABV	ABOVE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
BFP	BACKFLOW PREVENTER
CLG	CEILING
CO	CLEANOUT
CW	DOMESTIC COLD WATER PIPING
DF	DRINKING FOUNTAIN
DFU	DRAINAGE FIXTURE UNITS
DN	DOWN
DWG	DRAWING
EA	EACH
EW	ELECTRIC WATER HEATER
F	FIRE OR SPRINKLER LINE
FD	FLOOR DRAIN
FHV	FIRE HOSE VALVE
FL	FLOOR
FLA	FULL LOAD AMPS
FT	FEET
FS	FLOOR SINK
G	NATURAL GAS
GAL	GALLONS
GF	GALLONS PER FLUSH
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GWH	GAS WATER HEATER
HB	HOSE BIBB
HP	HORSEPOWER
HW	DOMESTIC HOT WATER
HWR	DOMESTIC HOT WATER RETURN
IN	INCHES
KL	KILOWATT
KS	KITCHEN SINK
LPG	PROPANE GAS
LV	LAVATORY
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
NTS	NOT TO SCALE
OHD	OPEN HUB DRAIN
OSD	OPEN SITE DRAIN
POC	POINT OF CONNECTION
PRV	PRESSURE REDUCING VALVE
PSI	POUNDS PER SQUARE INCH
RPM	REVOLUTIONS PER MINUTE
S	SANITARY OR WASTE PIPING
SA	SHOCK ABSORBER
SH	SHOWER
T	TEMPERED WATER
TBD	TO BE DETERMINED
TEWH	TANKLESS ELECTRIC WTR. HTR.
TW	TANKLESS GAS WTR. HTR.
TPV	TRAP PRIMER VALVE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
V	VENT PIPING
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WSFU	WATER SUPPLY FIXTURE UNITS
WH	WALL HYDRANT

**DRAWING LIST**

P001	GENERAL NOTES, SYMBOLS, ABBREVIATIONS - PLUMBING
P002	FLOOR PLANS - SANITARY - PLUMBING
P003	FLOOR PLANS - DOMESTIC WATER - PLUMBING
P004	RISERS AND DETAILS - PLUMBING

**SYMBOL LIST**

	DEMOLITION
	SANITARY OR WASTE PIPE
	VENT PIPE
	COLD WATER PIPE
	HOT WATER PIPE
	TEMPERED WATER PIPE
	HOT WATER RETURN PIPE
	NATURAL GAS PIPING
	STORM PIPING
	FIRE OR SPRINKLER PIPING
	BALL VALVE
	GATE VALVE
	BALANCING VALVE
	BUTTERFLY VALVE
	GLOBE VALVE
	2-WAY CONTROL VALVE
	3-WAY CONTROL VALVE
	PRESSURE REDUCING VALVE
	TEMPERATURE/PRESSURE RELIEF VALVE
	PUMP
	PIPE UNION
	CHECK VALVE
	STRAINER
	STRAINER WITH BLOWDOWN VALVE
	PIPE TURNING DOWN
	PIPE TURNING UP
	PIPE TAKEOFF FROM BOTTOM OF MAIN
	CAPPED PIPE
	VALVE IN THE VERTICAL PIPE
	THERMOMETER
	PRESSURE GAUGE
	OPEN HUB DRAIN
	FLOOR DRAIN
	BACKFLOW PREVENTER
	SHOCK ABSORBER
	VACUUM RELIEF VALVE
	SANITARY OR WASTE CLEANOUT
	DIRECTION OF FLOW IN PIPE
	GAS COCK
	GAS PRESSURE REGULATOR
	CONCENTRIC REDUCER
	ECCENTRIC REDUCER
	GATE ANGLE VALVE
	FLOW SWITCH
	CW, HW AND HWR RISER DESIGNATION
	SANITARY RISER DESIGNATION
	STORM RISER DESIGNATION
	NATURAL GAS RISER DESIGNATION
	STANDPIPE RISER DESIGNATION
	SWITCH
	NEW WORK KEY NOTE
	DEMOLITION KEY NOTE
	POC, NEW TO EXISTING
	TERMINATION POINT OF DEMOLITION

NOTE: ALL SYMBOLS ARE NOT USED IN THIS PROJECT.

**PLUMBING NOTES**

1. GENERAL:  
 A. THE GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS AND APPLICABLE PROVISIONS OF OTHER DIVISIONS, FORM A PART OF THIS SPECIFICATION AND CONTRACT, AND SHALL BE CAREFULLY EXAMINED BY EACH BIDDER BEFORE SUBMITTING HIS PROPOSAL.  
 B. COMPLIANCE WITH LOCAL JURISDICTIONS: ALL WORK PERFORMED UNDER THIS SECTION SHALL CONFORM TO THE REQUIREMENTS OF DRAWINGS, SPECIFICATIONS AND TO THE CODES, ORDINANCES AND STANDARDS OF THE LOCAL AUTHORITY HAVING JURISDICTION.  
 C. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES FOR INSPECTIONS RELATED TO THEIR WORK.  
 D. INSTALLATIONS SHALL BE GUARANTEED FOR WORKMANSHIP, MATERIALS AND EQUIPMENT AGAINST DEFECTS, LEAKS AND SYSTEM NON-OPERATION FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE OF WORK BY OWNER. WHERE MANUFACTURER'S STANDARD WARRANTY IS LONGER THAN ONE YEAR, THE LONGER WARRANTY PERIOD SHALL TAKE PRECEDENCE. CONTRACTOR SHALL PAY ALL COSTS INVOLVING THE GUARANTEE OF ALL SYSTEMS. ALL DEFECTS THAT DEVELOP OR ARE DISCOVERED WITHIN THIS PERIOD WILL BE REPAIRED BY THE CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT/OWNER AND AT NO ADDITIONAL COST TO THE OWNER.  
 E. THE WORD "PROVIDE", AS USED IN SPECIFICATIONS AND ON PLANS, SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE. PROVIDE ALL TRAPS, NIPPLES, CARRIERS, BOLT CAPS, ETC. AS REQUIRED TO COMPLETE THE WORK.  
 F. ALL WORK SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.  
 G. IN GENERAL, THE DRAWINGS ARE DIAGRAMMATIC, AND MAY VARY FROM ACTUAL FIELD CONDITIONS AND SHOW THE GENERAL LOCATION, TYPE AND SIZE OF PIPING, EQUIPMENT, CONTROLS, ACCESSORY EQUIPMENT, ETC. THE CONTRACTOR SHALL MODIFY, EXTEND, RELOCATE AND REROUTE ANY PIPING, EQUIPMENT, ACCESSORIES, ETC. AS REQUIRED TO ACCOMMODATE THE CEILING LAYOUT, OBSTRUCTIONS, STRUCTURE, PARTITIONS, ETC. AND TO SATISFY THE INTENT OF THE NEW WORK INDICATED ON THESE DRAWINGS SHOULD NOT BE SCALED TO ESTABLISH LOCATION OF WORK. THE DRAWINGS ARE INTENDED TO COMPLY WITH THE SCOPE OF WORK AND INDICATE GENERAL ARRANGEMENTS OF ENGINEERED SYSTEMS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND MAKE ADJUSTMENTS AS NECESSARY TO COMPLETE THE WORK.  
 H. THE DRAWINGS DO NOT INDICATE ALL MISCELLANEOUS ITEMS, ACCESSORIES, FASTENERS, OFFSETS, ETC. NECESSARY TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE ADDITIONAL VALVES, ACCESSORIES, MISCELLANEOUS ITEMS, ETC. AS REQUIRED TO SATISFY THE INTENT OF THE PROJECT.  
 I. THE CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY DIMENSIONS BEFORE INSTALLING ANY OF THE WORK, AND SHALL CHECK THEIR LAYOUTS TO ALLOW CLEARANCE REQUIRED FOR OTHER WORK AS SHOWN ON THE DRAWINGS. IN THE EVENT OF A CONFLICT, THE CONTRACTOR SHALL ALERT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO SHALL HOLD THE CONTRACTOR RESPONSIBLE FOR THE CHANGES WITHOUT ANY ADDITIONAL COSTS TO THE OWNER.  
 J. THE SCOPE OF WORK CONSISTS GENERALLY OF PROVIDING A COMPLETE PLUMBING SYSTEM AND FINAL TESTING, ADJUSTING, AND BALANCING OF ALL SYSTEMS AND EQUIPMENT. PROVIDE ALL MATERIALS, LABOR, TOOLS, AND INCIDENTALS NECESSARY TO ACCOMPLISH THE WORK.  
 K. CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS AND ADDENDA, AND VISIT THE SITE PRIOR TO ISSUING BID. ANY QUESTIONS OR CLARIFICATIONS SHALL BE REFERRED TO THE ENGINEER AT LEAST 7 WORKING DAYS PRIOR TO BIDDING. ANY REQUEST BY THE CONTRACTOR FOR ADDITIONAL COSTS RELATED TO THE INSTALLATION, RELOCATION, MODIFICATION OR ADDITION OF EQUIPMENT REQUIRED TO SATISFY THE INTENT OF THIS PROJECT, DUE TO A LACK OF CLEAR UNDERSTANDING OF THE PROJECT REQUIREMENTS, WILL NOT BE ACCEPTED.  
 L. TO ELIMINATE CONFLICTS, CONTRACTOR TO PREPARE COMPLETE AND DETAILED 1/4" SCALE PLAN COMPOSITE COORDINATION DRAWINGS FOR ALL PIPING WORK INSTALLED IN THIS PROJECT. SUBMIT DRAWINGS TO THE ENGINEER FOR REVIEW, PRIOR TO CONSTRUCTION.  
 M. ALL WORK SHALL BE INSTALLED WITHIN CEILING AND SHALL BE DONE SO THAT ALL REQUIRED CLEARANCES ARE MAINTAINED. MAINTAIN MAXIMUM CEILING SPACE BY RUNNING WORK CLOSE TO THE UNDERSIDE OF STRUCTURE. RUN PIPING PARALLEL OR PERPENDICULAR TO MAJOR WALLS.  
 N. THE CONTRACTOR SHALL FURNISH ALL ITEMS NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. ALL INSTALLATIONS SHALL ADHERE TO THE ASSOCIATED MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND INSTRUCTIONS. PROVIDE ALL REQUIRED ACCESSORIES, CONTROLS, VALVES, MISCELLANEOUS ITEMS, ETC. AS REQUIRED AND AS RECOMMENDED BY THE MANUFACTURER OF THE ASSOCIATED EQUIPMENT EVEN IF NOT SHOWN ON THE DRAWINGS.  
 O. IN THE EVENT OF A CONFLICT BETWEEN CODES, DRAWINGS, AND/OR SPECIFICATIONS, THE MORE STRINGENT OR DEMANDING REQUIREMENT SHALL TAKE PRECEDENCE.  
 P. EVERY FIXTURE, DEVICE, APPARATUS OR EQUIPMENT WHICH CONVEYS, USES, CONTROLS, SUPPLIES OR IS ACTIVATED BY POTABLE WATER, SHALL BE OF SUCH DESIGN AND BE INSTALLED IN SUCH A MANNER THAT THE MAIN WATER SUPPLY IS PROTECTED AGAINST CONTAMINATION. PROVIDE BACKFLOW PREVENTERS, AS REQUIRED, IN COMPLIANCE WITH LOCAL CODES AND REGULATIONS. DEVICES WHICH HAVE RELIEF OUTLETS SHALL HAVE DISCHARGE PIPING ROUTED TO THE NEAREST FLOOR DRAIN OR SERVICE SINK.

2. PRODUCTS AND INSTALLATION:  
 A. ALL PRODUCTS SHALL BE FIRST QUALITY, SUITABLE FOR THE INTENDED INSTALLATION, AND SHALL BE PROVIDED COMPLETE WITH ALL NECESSARY APPURTENANCES FOR A COMPLETE SYSTEM, READY FOR BENEFICIAL USE.  
 B. ALL ELECTRICAL EQUIPMENT SHALL BE UL LABELED, OR EQUIVALENT BY COMPARABLE TESTING LAB. C. PIPING:  
 a. ABOVE GROUND DOMESTIC HOT WATER, COLD WATER AND HOT WATER RECIRCULATION PIPING SHALL BE SEAMLESS COPPER TUBING, TYPE L, ASTM B 88, WITH SOLDER-JOINED WROUGHT COPPER FITTINGS UP TO 3". PIPING LARGER THAN 3" SHALL BE DUCTILE IRON, ANSI C151, WITH DUCTILE IRON THREADED FITTINGS.  
 b. BELOW GROUND WATER PIPING SHALL BE TYPE K SEAMLESS COPPER TUBING, ASTM B 88, WITH WROUGHT COPPER SOLDER JOINED FITTINGS FOR PIPING 3" AND SMALLER. FOR PIPING LARGER THAN 3", PROVIDE DUCTILE IRON PIPING, ANSI/AWWA C151/A2.1 51, WITH DUCTILE IRON THREADED FITTINGS.  
 c. WASTE AND VENT PIPING SHALL BE DWV COPPER WITH WROUGHT COPPER SOLDER JOINED FITTINGS, OR SERVICE WEIGHT CAST IRON WITH NO-HUB FITTINGS IN ACCORDANCE WITH CISPI 301 AND ASME B16.4. SCHEDULE 40 DWV PVC SHALL BE ACCEPTABLE ONLY FOR BELOW SLAB (UNDERGROUND) APPLICATIONS. HORIZONTAL SANITARY PIPING SHALL SLOPE NOT LESS THAN 1/4" (2%) PER FOOT FOR PIPING 2-1/2" AND SMALLER, 1/8" (1%) FOR PIPING BETWEEN 3" AND 6", 1/16" (0.5%) FOR PIPING 8" AND LARGER.  
 d. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL, ASTM A-53, TYPE E OR S, GRADE B WITH MALLEABLE-IRON THREADED FITTINGS; ASME B16.3, CLASS 150, STANDARD PATTERN. UNIONS: ASME B16.39, CLASS 150, MALLEABLE IRON WITH BRASS-TO-IRON SEAT, GROUND JOINT, AND THREADED ENDS ACCORDING TO ASME B1.20.1. PAINT ALL EXPOSED METAL PIPING, FITTINGS, VALVES AND SUPPORTS FOR CORROSION PROTECTION. ALL PIPING SHALL BE IN COMPLIANCE WITH AGA AND LOCAL REQUIREMENTS.  
 e. STORM WATER PIPING SHALL BE SERVICE WEIGHT CAST IRON. BELL AND SPOUT, PIPE AND FITTINGS ANSI A.1125.1 AS MANUFACTURED BY TYLER PIPE AND FOUNDRY CO., US PIPE AND FOUNDRY CO. AND CENTRAL FOUNDRY OR APPROVED EQUAL. TYLER "TY-SEAL" NEOPRENE SEAL COMPRESSION TYPE GASKETS OR CAULKED JOINTS, JUTE YARNED AND CAULKED WITH LEAD OR APPROVED EQUAL. STORM WATER PIPING SHALL BE SLOPED IN COMPLIANCE WITH THE CURRENT INTERNATIONAL PLUMBING CODE REQUIREMENTS.  
 f. PROVIDE FLEXIBLE COUPLING TO ALL CONNECTIONS TO MOTOR OPERATED EQUIPMENT.  
 G. VALVES:  
 a. BALL VALVES SHALL BE TWO-PIECE COPPER ALLOY, BRONZE BODY WITH TEFLON SEAL AND STEM PACKING, 125 PSI WOG, APOLLO BRAND OR APPROVED EQUAL.  
 b. GATE VALVES SHALL BE THREADED IRON FOR DUCTILE IRON PIPING AND SOLDERED END BRONZE FOR COPPER PIPING, 150 PSI WOG, HAMMOND OR APPROVED EQUAL.  
 F. PIPE FITTINGS:  
 a. PROVIDE DIELECTRIC ISOLATORS BETWEEN ALL CONNECTIONS OF DISSIMILAR PIPING MATERIALS.  
 b. PROVIDE FLEXIBLE COUPLING TO ALL CONNECTIONS OF MOTOR OPERATED DEVICES, OR WHEN CROSSING BUILDING EXPANSION JOINTS.  
 c. AIR VENTS SHALL BE MANUAL TYPE, INSTALLED AT HIGH POINT OF PIPING, AND INSTALLED TO BE READILY ACCESSIBLE. EXTEND DISCHARGE PIPE TO NEAREST FLOOR DRAIN OR ACCEPTABLE RECEPTACLE.  
 d. STRAINERS SHALL BE "Y" TYPE, CAST BRASS OR CAST IRON TO MATCH PIPING, WITH 0.045 INCH PERFORATIONS STRAINER. PROVIDE BLOW-DOWN VALVE AND HOSE END CONNECTION.  
 e. CHECK VALVES SHALL BE SWING TYPE, CLASS 125 AND SUITABLE FOR INTENDED SERVICE.  
 f. PROVIDE SHOCK ABSORBERS EQUAL TO JOSAM SERIES 75000 ON ALL QUICK CLOSING VALVES SUCH AS FLUSH VALVES, DISHWASHERS, CLOTHES WASHERS, ETC. AIR CHAMBERS ARE NOT ACCEPTABLE. SHOCK ABSORBERS SHALL BE INSTALLED IN ACCORDANCE WITH PDI STANDARD WH-201.  
 G. EQUIPMENT SHALL BE INSULATED AS FOLLOWS:  
 a. NEW DOMESTIC WATER PIPING SHALL BE INSULATED WITH 1" THICK HEAVY-DUTY GLASS FIBER MATERIAL WITH ALL PURPOSE NON-COMBUSTIBLE SERVICE JACKET (VAPOR BARRIER AS MANUFACTURED BY JOHNS-MANVILLE (MICRO-LOK), ARMSTRONG (ACCUTHERM), OWENS-CORNING (ASJ) OR APPROVED EQUAL WITH THERMAL CONDUCTIVITY FACTOR OF 0.23 BTU-IN./HR.-F AT 75°, A FLAME SPREAD NOT TO EXCEED 25 AND SMOKE DEVELOPED RATING NOT TO EXCEED 50 AS TESTED PER ASTM E-84, NFPA 255 AND UL 723. ADHESIVE SYSTEMS WHICH EMPLOY RELEASE PAPER WILL NOT BE ACCEPTED. INSULATION SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS. PROVIDE PROTECTIVE GALVANIZED SHEET METAL SHIELDS AT ALL PIPING SUPPORTS. SEAL JOINTS WITH APPROVED MASTIC. PROVIDE PREMOULDED FITTING, FIBERGLASS INSULATION WITH ZESTON COVER, FOR ALL VALVES AND FITTINGS. THE MINIMUM R VALUE OF THE INSULATION AT ALL PIPE SIZES SHALL BE AT MINIMUM 3.0.

b. INSULATE HORIZONTAL ABOVE GRADE STORM WATER PIPING, SAME AS DOMESTIC WATER.  
 c. INSULATE EXPOSED PIPING AT HANDICAP ACCESSIBLE LAVATORIES IN ACCORDANCE WITH ADA REQUIREMENTS.  
 d. INSULATE EQUIPMENT (HOT WATER STORAGE TANKS, HEAT EXCHANGERS, ETC.) WITH 2" FIBERGLASS MAT WITH ASJ.  
 e. VENT PIPING WITHIN 4 FEET OF THE ROOF SHALL BE WRAPPED WITH 1-1/2" FIBERGLASS BLANKET.  
 H. PROVIDE OFFSET TAILPIECE FOR ADA COMPLIANT FIXTURES TO COMPLY WITH CURRENT ADA STANDARDS.  
 I. FLOOR DRAINS SHALL BE JOSAM SERIES 30000-A WITH SATIN FINISHED BRONZE TOP. PROVIDE SQUARE TOP DRAIN FOR CERAMIC TILE FLOORS.  
 J. ROOF DRAINS SHALL BE JOSAM SERIES 21000 WITH GALVANIZED CAST-IRON DOME, ADJUSTABLE COLLAR. OVERFLOW DRAIN SHALL BE SCUPPER TYPE, JOSAM SERVES 25000.  
 K. STARTERS FOR ALL MOTORS, INCLUDING VFD'S, SHALL BE FURNISHED BY MECHANICAL, INSTALLED BY ELECTRICAL.  
 L. PROVIDE ONE TRAP PRIMER VALVE FOR EACH FLOOR DRAIN, FLOOR SINK, OPEN HUB DRAIN, ETC. WITHOUT A CONSTANT SOURCE OF WATER SUPPLY TO MAINTAIN THE TRAP SEAL. LOCATE THE PRIMER VALVE IN AN ACCESSIBLE LOCATION AND CONNECT TO THE NEAREST 3/4" COLD WATER LINE SERVING A PLUMBING FIXTURE.  
 M. CONTROLS: CONTROLS SHALL BE ELECTRIC/ELECTRONIC, SIMILAR TO HONEYWELL OR APPROVED EQUAL. TIME CLOCKS SHALL BE MULTI-CHANNEL DIGITAL TYPE WITH MINIMUM 72 HOUR INTERNAL MEMORY BACKUP, SUITABLE FOR 7 DAY PROGRAMMING WITH 4 EVENT SCHEDULES PER DAY, MANUAL OVER-RIDE.  
 N. ALL FLOOR PENETRATIONS SHALL BE CORE DRILLED OR SAW CUT. X-RAY SLAB PRIOR TO CUTTING. DO NOT CUT STRUCTURAL MEMBERS.  
 O. ALL FLOOR AND WALL PENETRATIONS SHALL BE SLEEVED. PROVIDE STEEL PIPE SLEEVES FOR PIPES. PACK VOID SPACE WITH FIRE SAFING. PIPE SLEEVES IN MECHANICAL ROOM SHALL STAND 1" PROUD OF FLOOR SURFACE. SEAL ALL FLOOR PENETRATIONS WATER TIGHT.  
 P. PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES, ETC. ALL WORK SHALL BE INSTALLED IN SUCH A MANNER SO THAT ALL COMPONENTS REQUIRING ACCESS ARE LOCATED SO THAT THEY MAY BE SERVICED, REPLACED, RESET OR RE-CALIBRATED WITH NORMAL SERVICE TOOLS AND TECHNIQUES.  
 Q. DOMESTIC WATER PIPING SHALL BE SLOPED TO DRAIN VALVES TO ALLOW FOR PROPER DRAINAGE OF THE SYSTEM.  
 R. EXPANSION JOINTS AND ANCHORS SHALL BE PROVIDED ON ALL PIPING SYSTEMS WHICH CROSS BUILDING EXPANSION JOINTS AND ALL HORIZONTAL PIPING RUNS GREATER THAN 100 FEET.  
 S. HANGERS AND SUPPORTS: DEVICES SHALL BE FACTORY PRE-FABRICATED, SUPPORT FROM THE EXISTING OR NEW STRUCTURE WITH UL LISTED HANGERS AND SUPPORTS SUITABLE FOR THE INTENDED INSTALLATION.  
 g. COMPLY WITH MSS-58 FOR ACCEPTABLE TYPES.  
 b. INSTALL PER MSS-69 FOR SPACING AND MOUNTING.  
 c. PROVIDE SPRING-TYPE VIBRATION ISOLATORS FOR ALL MOTOR-OPERATED EQUIPMENT.

3. DEMOLITION:  
 A. UNDER NO CIRCUMSTANCE SHALL THE WORK PERFORMED UNDER THIS CONTRACT AFFECT ADJACENT AREAS, NOT PART OF THIS WORK.  
 B. IN THE EVENT THAT SUSPECTED ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED IN THE COURSE OF THE WORK, THE CONTRACTOR SHALL CEASE WORK WITH THE SUSPECT MATERIALS AND SHALL REQUEST DIRECTION FROM THE OWNER BEFORE PROCEEDING FURTHER.  
 C. ANY OPERATIONS THAT WILL RESULT IN THE GENERATION OF NOISE OR VIBRATION, OR THAT MAY RESULT IN DUST EXTENDING BEYOND THE WORK AREA, SHALL BE PERFORMED AT TIMES AND IN ACCORDANCE WITH REQUIREMENTS STIPULATED BY BUILDING'S MANAGEMENT.  
 D. ALL EQUIPMENT, MATERIAL AND DEVICES SHOWN AS EXISTING TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ALL APPURTENANCES.  
 E. ALL DEMOLISHED EQUIPMENT AND MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR. ITEMS TO BE SALVAGED FOR REUSE OR DELIVERY TO THE OWNER SHALL BE PROTECTED AND STORED, BY THE CONTRACTOR, UNTIL REUSE OR TRANSFERRED TO THE OWNER. CONTRACTOR SHALL VERIFY WITH THE OWNER TO DETERMINE THE ITEMS TO BE SALVAGED.  
 F. ALL PIPES SHOULD BE CAPPED IMMEDIATELY UPON DEMOLITION WORK TO PREVENT ODORS AND EXPOSURE TO RODENTS AND PESTS.

4. CUTTING, PATCHING AND REPAIR:  
 A. THE CONTRACTOR SHALL NOT PENETRATE CONCRETE SLABS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE OWNER. SUBMIT DETAILS OF PROPOSED PENETRATION LOCATIONS TO OWNER FOR REVIEW.  
 B. PATCH AND REPAIR ALL DISTURBED SURFACES IN KIND TO MATCH EXISTING AND SURROUNDING AREAS. EXTREME CARE SHALL BE EXERCISED WITH REGARD TO PROTECTION OF ALL EXISTING WORK. CORRECT ALL DAMAGE TO EXISTING WORK TO THE SATISFACTION OF THE ARCHITECT/OWNER AT NO ADDITIONAL COST TO THE OWNER.  
 C. IF ANY EXISTING EQUIPMENT, DUCTS, PIPES, UTILITIES, ETC. ARE DAMAGED DURING CONSTRUCTION, WHETHER OR NOT DUE TO CONTRACTORS NEGLIGENCE, DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AND LEFT IN A CONDITION SATISFACTORY TO THE ARCHITECT/OWNER AT NO ADDITIONAL COST TO THE OWNER.

3. SUBMITTALS, RECORD AS-BUILT DRAWINGS AND O&M MANUALS:  
 A. SUBMIT ONE COMPLETE SET OF PLANS AND RELATED DOCUMENTS, APPROVED BY THE CITY, TO THE OWNER.  
 B. PROVIDE TO OWNER 3 SETS OF MAINTENANCE AND OPERATING MANUALS AND MANUFACTURER'S WARRANTY DOCUMENTS FOR ALL EQUIPMENT IN INDEXED, 3-RING BINDER.  
 C. PROVIDE "AS-BUILT" DRAWINGS TO OWNER UPON COMPLETION OF THE PROJECT. SUBMIT ONE ELECTRONIC COPY (CD) AND TWO SETS OF HARD COPIES (BLUE PRINTS) OF THE AS-BUILT DRAWINGS, CORRECTED TO SHOW ALL FIELD MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS.  
 D. SUBMIT 7 SETS OF EQUIPMENT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OF EQUIPMENT. SUBMIT DATA SHEETS TO ALLOW ADEQUATE TIME FOR REVIEW, INCLUDING RE-REVIEW OF ITEMS NOT APPROVED UPON FIRST SUBMISSION.

4. EXECUTION:  
 A. ALL WORK SHALL BE ACCOMPLISHED BY EXPERIENCED MECHANICS, SPECIALIZING IN THE PARTICULAR TRADE, UTILIZING APPROPRIATE TOOLS AND TECHNIQUES. ALL WORK SHALL BE FIRST QUALITY, CONSISTENT WITH INDUSTRY'S BEST STANDARDS. WORK DEEMED TO BE SUBSTANDARD SHALL BE REMOVED AND REWAKE AT CONTRACTOR'S EXPENSE.  
 B. PERFORM ALL OPERATIONS REQUIRED AND INSTALL ALL UNITS, EQUIPMENT, CONTROLS AND PIPING, WITH ALL REQUIRED ACCESSORIES, TO PRODUCE A COMPLETE INSTALLATION, READY FOR USE.  
 C. INSTALL FIXTURES LEVEL, PLUMB AND PARALLEL TO THE WALL.  
 D. CONTRACTOR SHALL CONFIRM ALL ROUGH-INS WITH ARCHITECTURAL PLANS PRIOR TO INSTALLATION.  
 E. PIPING SHALL HAVE ITS INTERIOR SLOPES AND INVERTS ESTABLISHED PRIOR TO INSTALLATION OF ANY PIPING. PROPER SLOPES MUST BE MAINTAINED COMPLYING WITH CODE REQUIREMENTS. LOCATE PIPING SUCH THAT THERE ARE NO CONFLICTS WITH OTHER TRADES. COORDINATE CLOSELY WITH THE BUILDING MANAGEMENT/ENGINEER.  
 F. IDENTIFY ALL PIPING FOR USE AND DIRECTION OF FLOW. PROVIDE VALVE TAG AND WALL-MOUNTED VALVE CHART FOR ALL VALVES. IDENTIFICATION SHALL BE PER ASME REQUIREMENTS.  
 G. PROTECT AGAINST INJURY TO PERSONS AND DAMAGE TO PROPERTY AT ALL TIMES.  
 H. CONTRACTOR SHALL CLEAN THE WORK SITE AFTER EACH DAY'S WORK. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL CLEAN THE ENTIRE JOB SITE, INCLUDING ALL NEW AND EXISTING SURFACES OF THE BUILDING, EQUIPMENT AND SYSTEMS, LEAVING THE AREA THOROUGHLY CLEAN, CLEAR AND READY FOR OCCUPANCY TO THE SATISFACTION OF THE OWNER.  
 I. MAKE PROPER HOT, COLD, WASTE AND VENT PIPE CONNECTIONS TO ALL FIXTURES AND EQUIPMENT AS REQUIRED. ALL TIE-INS TO EXISTING SERVICES SHALL BE COORDINATED WITH THE BUILDING AND BE DONE AFTER HOURS IF REQUIRED.  
 J. SITE VERIFY EXACT LOCATION OF ALL EXISTING PIPING, POINT OF DISCONNECTION TO EXISTING, SIZES, DEMOLITION WORK, ETC. BEFORE THE START OF ANY WORK.  
 K. REFER TO RISER DIAGRAMS FOR PIPE SIZES.  
 L. PROPERLY SUPPORT ALL PIPING FROM FLOOR OR SLAB ABOVE THAT HAS BEEN TEMPORARILY DISCONNECTED AND WILL BE RECONNECTED IN NEW INSTALLATION. PROPERLY LABEL PIPING PRIOR TO DISCONNECTION AS TO AVOID RECONNECTION TO AN IMPROPER SERVICE.  
 M. PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES, FITTINGS, ETC. AS REQUIRED FOR PROPER MAINTENANCE AND ACCESS.  
 N. FOLLOWING COMPLETION OF CONSTRUCTION AND PRIOR TO INSULATION, TEST PIPING IN ACCORDANCE WITH LOCAL REQUIREMENTS. REPAIR ALL LEAKS, RE-TEST SYSTEM. FLUSH AND STERILIZE PIPING AND ASSOCIATED EQUIPMENT PRIOR TO BENEFICIAL USE. BEFORE PLACING THE SYSTEM IN SERVICE, THE CONTRACTOR SHALL ENGAGE A QUALIFIED SERVICE ORGANIZATION TO STERILIZE THE NEW WATER LINES IN ACCORDANCE WITH APPLICABLE REGULATIONS. A CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED TO THE OWNER.  
 O. DEMONSTRATE OPERATION OF SYSTEM TO OWNER. PROVIDE INSTRUCTION TO OWNER DESIGNATED PERSONNEL, DEMONSTRATING NORMAL MAINTENANCE AND TROUBLESHOOTING PROCEDURES.

**PLUMBING FIXTURE CONNECTION SCHEDULE**

ITEM IDENT	DESCRIPTION	SANITARY OR WASTE	VENT	WATER		DESCRIPTION/REMARKS
				COLD	HOT	
WC	WATER CLOSET, TANK TYPE	3"	2"	1/2"	-	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER.
LV	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER.
BT	BATHTUB WITH SHOWERHEAD	1 1/2"	1 1/2"	1/2"	1/2"	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER.
SH	SHOWER HEAD	1 1/2"	1 1/2"	1/2"	1/2"	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER.
KS	KITCHEN SINK	1 1/2"	1 1/2"	1/2"	1/2"	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER. PROVIDE GARBAGE DISPOSAL INSINKERATOR BADGER, 1/3-HP
DW	DISHWASHER	5/8"	-	-	1/2"	CONFIRM FINAL SPECIFICATION WITH THE ARCHITECT AND OWNER.
HB	HOSE BIBB	-	-	3/4"	-	FREEZE-PROOF, CONFIRM FINAL SPEC WITH ARCHITECT.
RF	REFRIGERATOR	-	-	1/2"	-	TERMINATE WATER SUPPLY IN RECESSED WALL BOX, OATEY ICE MAKER OUTLET BOX WITH 6" x 6" RECESS OPENING AND QUARTER TURN BRASS BALL VALVE. PROVIDE A BACKFLOW PREVENTER CONFORMING TO ASSE 1024.

NOTES:  
 1. PROVIDE INDIVIDUAL DEDICATED FULL SIZE SHUT-OFF VALVES ON ALL HOT AND COLD WATER PIPING TO ALL PLUMBING FIXTURES FOR SERVICING AND/OR REPLACEMENT. ALL VALVES ARE TO BE ACCESSIBLE.  
 2. OBTAIN APPROVAL AND COORDINATE THE FINAL SELECTIONS AND FINISHES OF ALL PLUMBING FIXTURES WITH THE ARCHITECT.

**MISCELLANEOUS FIXTURE SCHEDULE**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
SA	SHOCK ARRESTOR	PRECISION PLUMBING INC	PRIME RITE	SIZED IN ACCORDANCE WITH PDI METHODS
AV	AIR ADMITTANCE VALVE	STUDOR INC	MINVENT	ANSI/ASSE-1051 APPROVED

**MISCELLANEOUS EQUIPMENT**

ACCESS PANELS  
 ACUDOR, MODEL NO. UF 5000, STAINLESS STEEL  
 PROVIDE DOOR SIZES AS FOLLOWS:  
 - CW SHUT-OFF VALVE AT WATER CLOSETS: 16" SQ.  
 - CW SHUT-OFF VALVE AT WATER CLOSETS WITH PRESSURE REDUCING VALVE: 16" x 24"  
 - SHOCK ABSORBERS: 12" SQ.  
 - HW/CW SHUT-OFF VALVES AT LAVATORIES: 16" SQ. HW/CW  
 - SHUT-OFF VALVES AT LAV'S WITH PRESSURE REDUCING VALVE: 16" x 24"

COORDINATE WITH WALL CONSTRUCTION AND LOCATE VALVES WITHIN CENTER AREA OF ACCESS PANEL. COORDINATE ACCESS PANEL LOCATION PRIOR TO VALVE INSTALLATION TO ALLOW PROPER ACCESS TO VALVES FOR SERVICE AND REPLACEMENT. LOCATE VALVES WITHIN 8" OF ACCESS PANEL FACE.

**SUMP PUMP SCHEDULE**

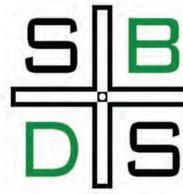
ITEM	DESCRIPTION	FLOW GPM	TDH FT.	MOTOR RPM	MOTOR HP	VOLTAGE	PHASE	HZ	MANUFACTURER	MODEL NO.	LOCATION
SP-1	DUPLEX SUBMERSIBLE SUMP PUMP	30	15	3450	4/10	120	1	60	STANCOR	SE-40	BASEMENT

NOTES:  
 1. A DUPLEX SUMP PUMP HAS BEEN SPECIFIED.  
 2. SUMP PUMP SHALL BE INSTALLED ADHERING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.  
 4. PROVIDE WITH DUPLEX CONTROL PANEL WITH STARTERS AND DISCONNECT SWITCHES, NEMA 4X FIBERGLASS, PUMP ALTERNATION, TETHERED ENCAPSULATED UL LISTED MECHANICAL FAN SWITCHES ON 20 FOOT CABLES.  
 5. EACH PUMP SHALL INCLUDE THE ACCESSORIES. THE SYSTEM IS A DUPLEX SYSTEM WITH TWO PUMPS.

**GAS WATER HEATER SCHEDULE**

UNIT NO.	LOCATION	HW HEATER RECOVERY RATED 90°F RISE (GPH)	TYPE	INPUT (MBH)	STORAGE CAPACITY (GAL)	UEF	BASIS OF DESIGN
WH-1	BASEMENT	73	NATURAL GAS	62	50	0.68	A.O. SMITH GFDL 50L, SEE "NOTES" ON THIS SHEET TO VERIFY EXISTING CAPACITY

NOTES:  
 1. PROVIDE WITH EXPANSION TANK, WATERGUARD ETC-5X.  
 2. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.  
 3. PROVIDE WITH A NEW DRAIN PAN, DIRECT VENTILATION TERMINATION KIT.  
 6. THE WATER HEATER STORAGE TEMPERATURE SHALL BE SET AT 140°F. THE NEW MIXING VALVE PROVIDED SHALL BE SET AT 120°F.



4201 S 31ST STREET #950  
 ARLINGTON VIRGINIA 22206  
 571.317.1932  
 salvatore@sbdesignstudios.com

2019  
 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.

TITLE: GENERAL NOTES, SYMBOLS AND ABBREVIATIONS - PLUMBING  
 PROJECT: 1015 DUKE STREET

SBDS PROJ. NO.: 2018-24

REVISIONS NO.	DATE	DESCRIPTION
---------------	------	-------------

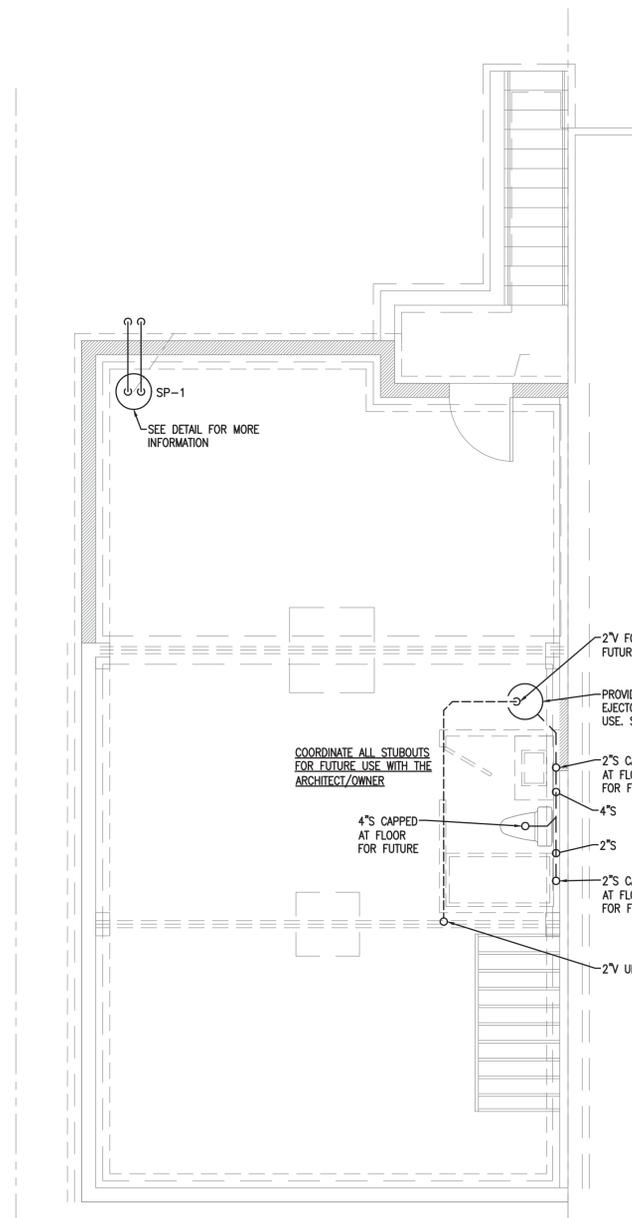
DATE: 03-01-19

DRWN. BY: SBDS CHKD. BY: SB

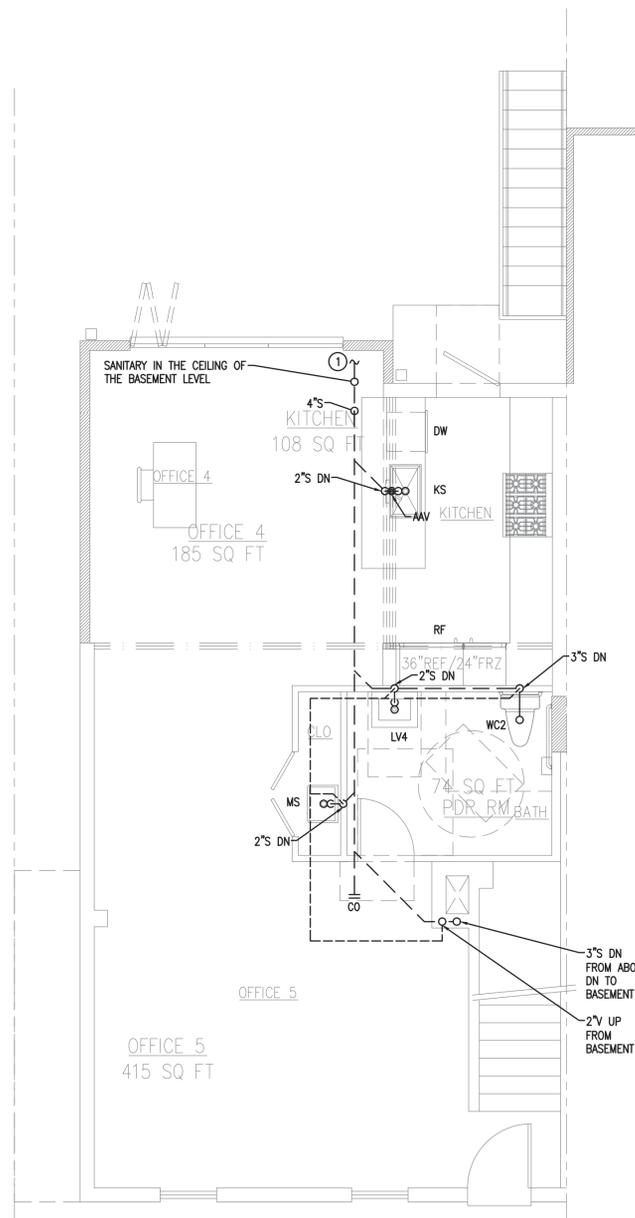
SCALE: AS NOTED

SHEET NO.: P001

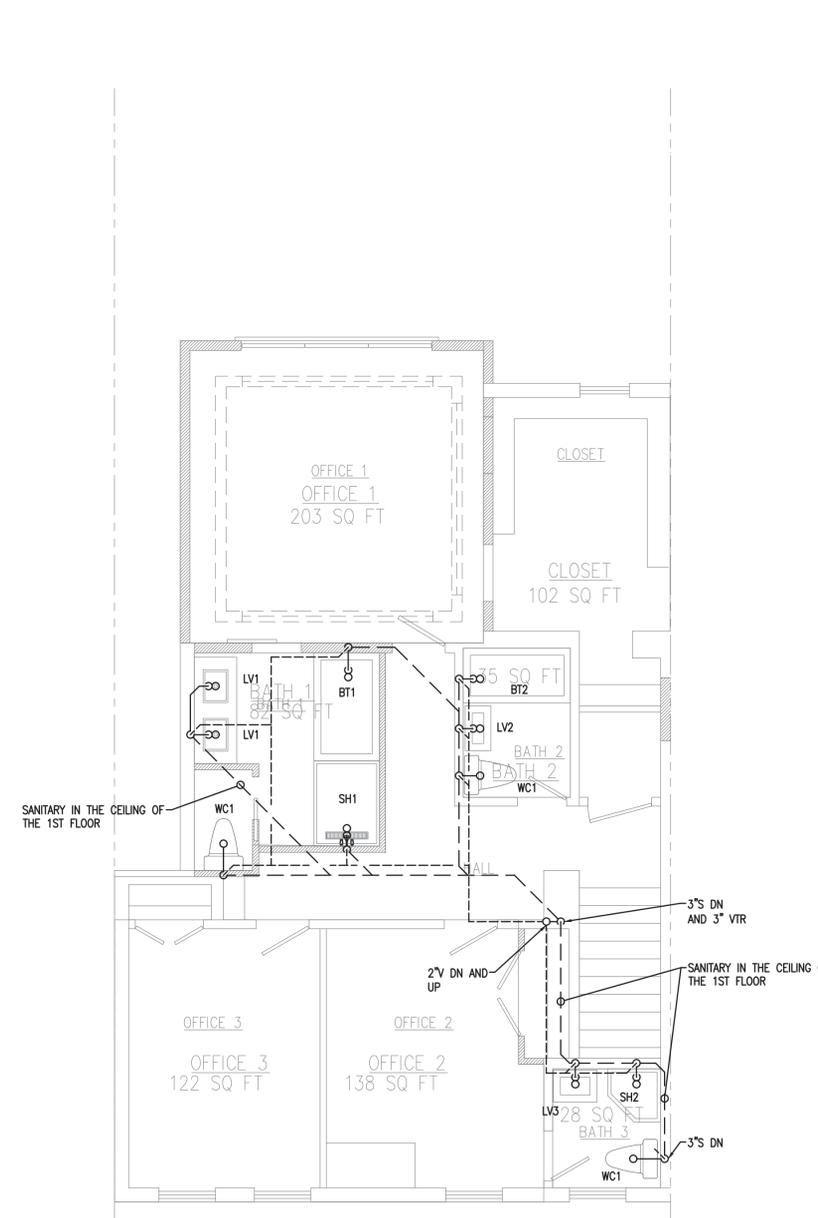
SHEET: OF



1 BASEMENT FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

NEW WORK KEY NOTES

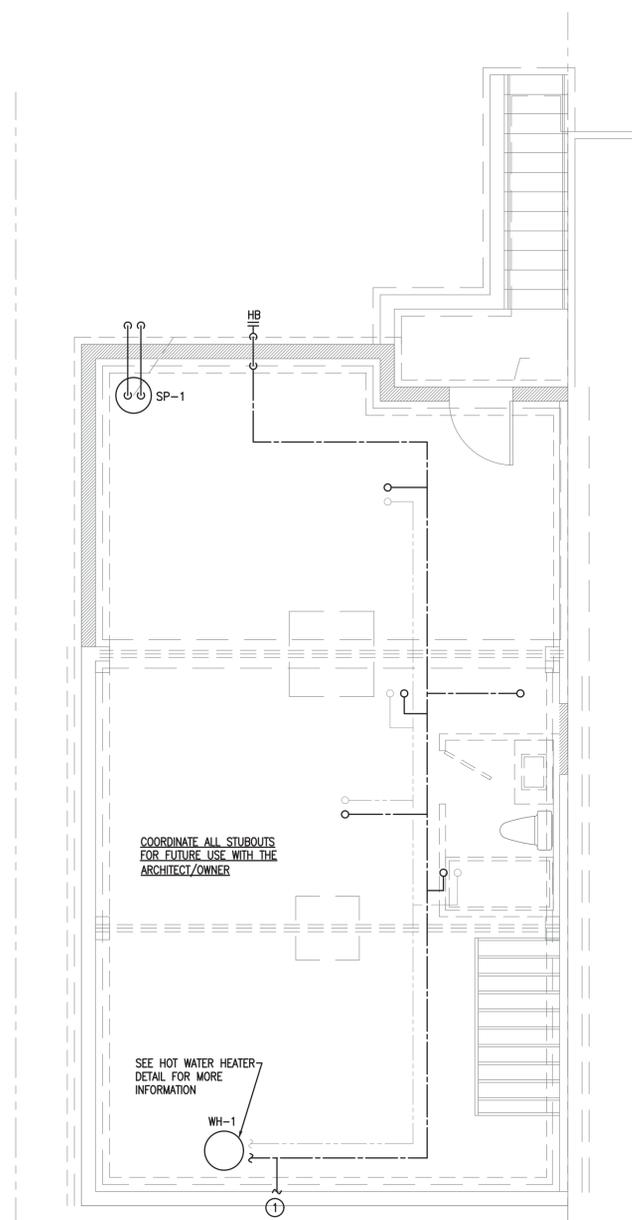
- 1 CONNECT NEW SANITARY PIPE TO EXIST. SAN PIPE. CONTRACTOR SHALL VERIFY IN FIELD EXACT LOCATION, SIZES & CONFIGURATION OF PIPING.



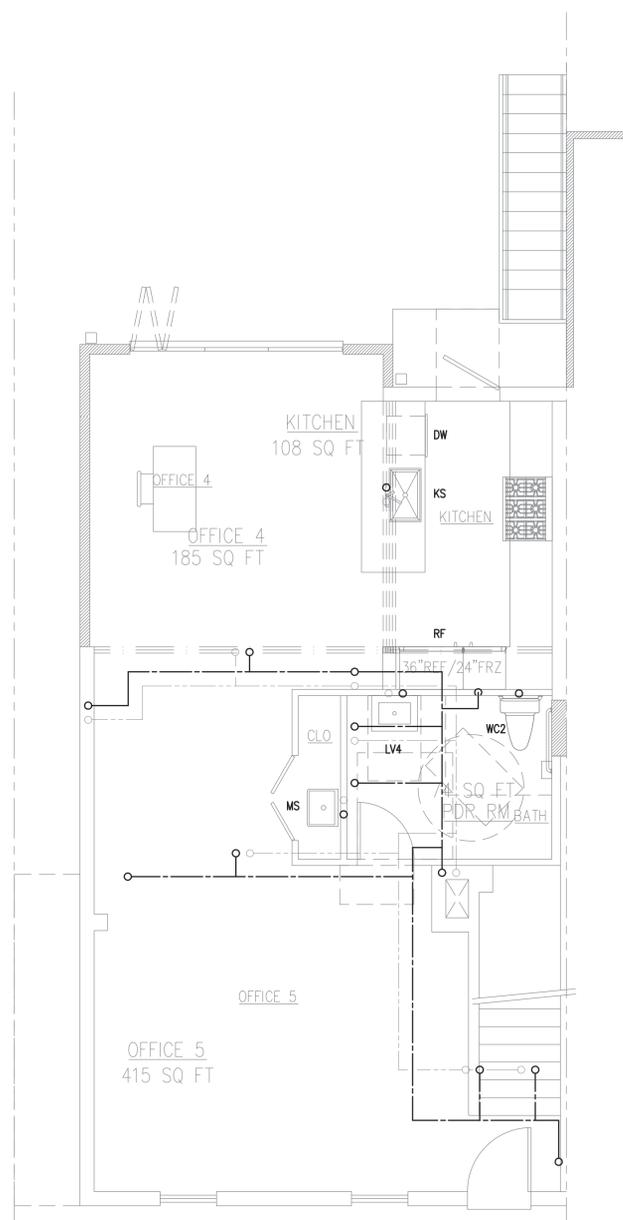
SB DESIGN STUDIOS LLC

4201 S 31ST STREET #950  
ARLINGTON VIRGINIA 22206  
571.317.1932  
salvatore@sbdesignstudios.com

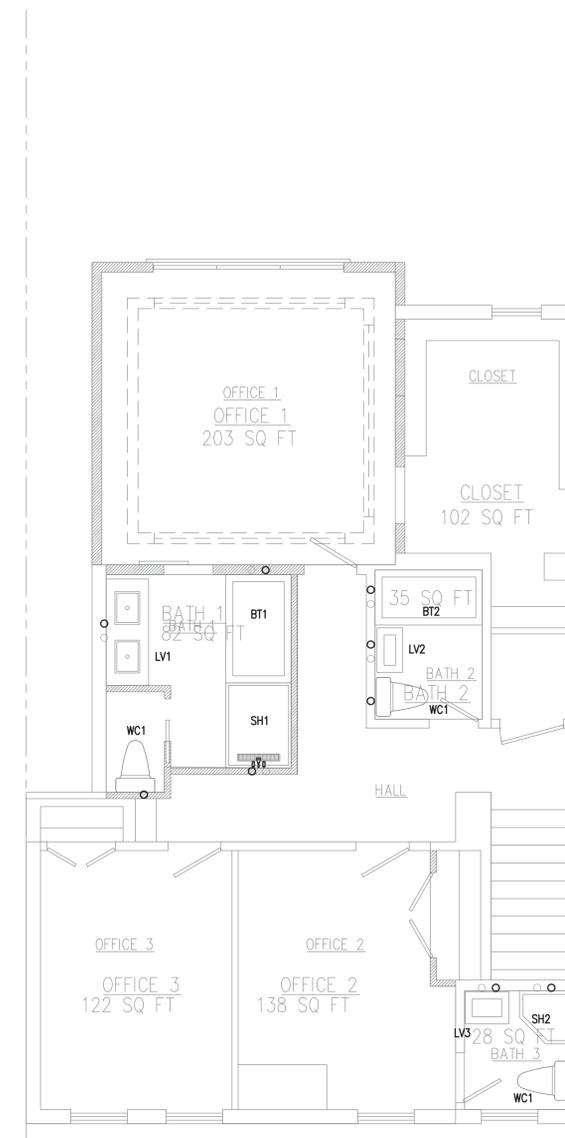
© 2019 ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF & THEIR CONTENTS ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF SB DESIGN STUDIOS LLC. ANY USE OR DUPLICATION OF THESE DOCUMENTS FOR ANY OTHER PROJECT OR PURPOSES OTHER THAN THOSE PREVIOUSLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY SB DESIGN STUDIOS LLC.



1 BASEMENT FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

**NEW WORK KEY NOTES**

1 CONNECT NEW CW PIPE TO EXIST. CW PIPE. CONTRACTOR SHALL VERIFY IN FIELD EXACT LOCATION, SIZES & CONFIGURATION OF PIPING.

TITLE: FLOOR PLANS - DOMESTIC WATER - PLUMBING

PROJECT: 1015 DUKE STREET

SBDS PROJ. NO.: 2018-24

REVISIONS NO.	DATE	DESCRIPTION

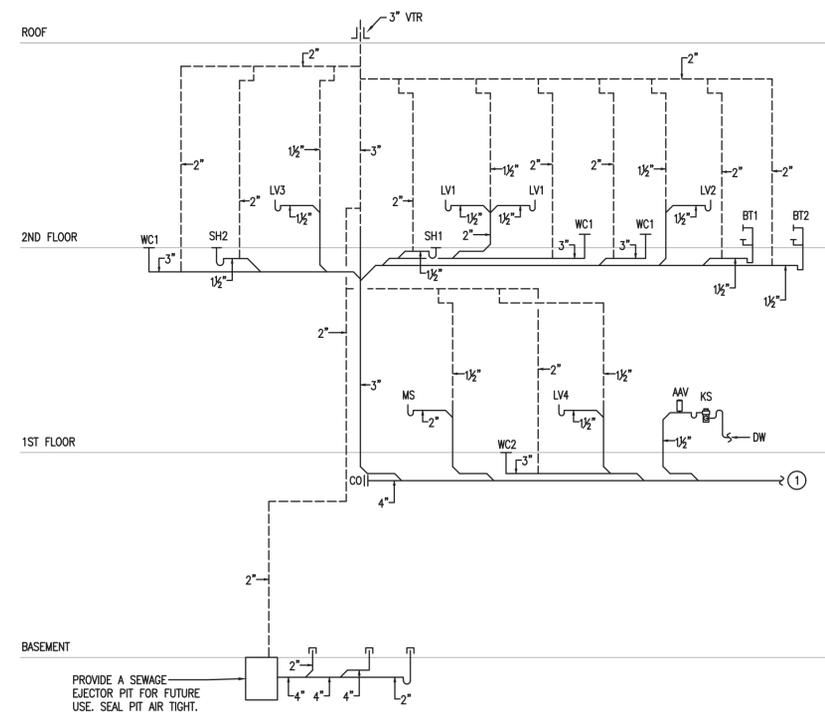
DATE: 03-01-19

DRWN. BY: SBDS CHKD. BY: SB

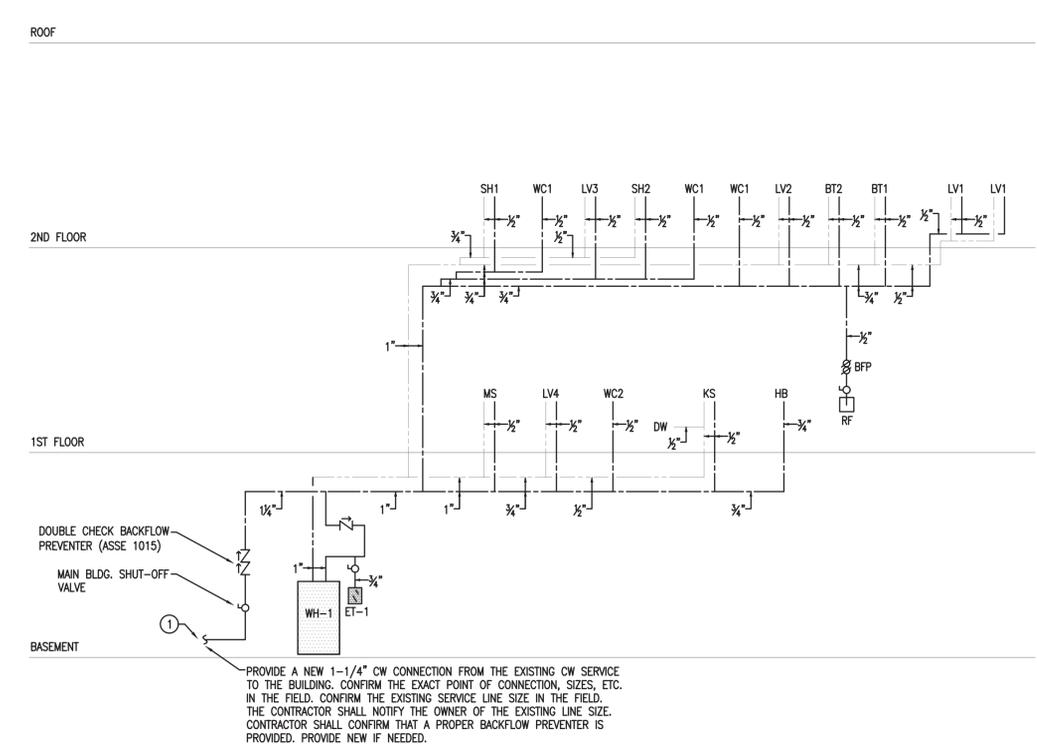
SCALE: AS NOTED

SHEET NO. P003

SHEET: OF:



1 SANITARY RISER DIAGRAM - PLUMBING  
NTS



2 DOMESTIC WATER RISER DIAGRAM - PLUMBING  
NTS

**GAS RISER NOTES**

TOTAL GAS LOAD FOR THE BUILDING: 214 MBH

GAS PIPING SIZING CRITERIA: 2012 IFGC TABLE 402.4(2)

TOTAL DEVELOPED PIPE LENGTH: 80 FT

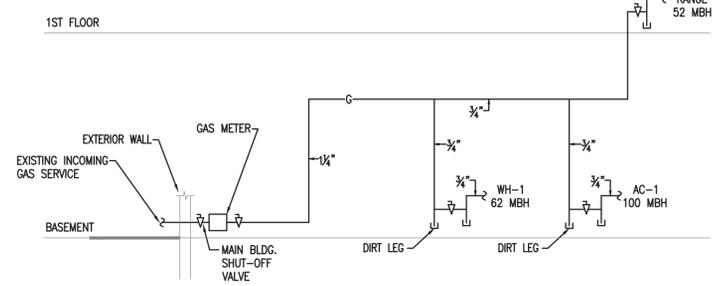
INLET PRESSURE: LESS THAN 2.0 PSI

PRESSURE DROP: 0.5 PSI

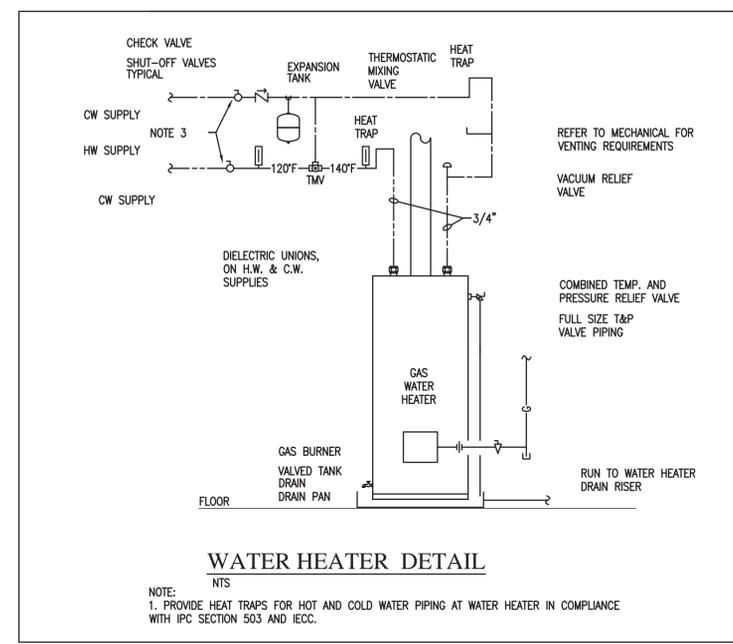
SPECIFIC GRAVITY: 0.60

**NOTES:**

1. PROVIDE VENT LIMITING TYPE PRESSURE REGULATOR ON GAS SUPPLY TO EACH PIECE OF EQUIPMENT THAT DOES NOT HAVE AN INTEGRAL LIMITING TYPE REGULATOR THAT COMES WITH THE EQUIPMENT. THE REGULATOR SHALL BE SET TO MATCH THE EQUIPMENT OPERATING GAS PRESSURE AS PER THE MANUFACTURER'S INSTRUCTIONS.
2. THE CONTRACTOR SHALL COORDINATE WITH THE GAS UTILITY COMPANY THAT THE MAIN METER AND REGULATOR SHALL BE SET OR RESET TO ACCOMMODATE THE NEW PRESSURE AND GAS REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE GAS COMPANY THE PROVISION OF EACH INDIVIDUAL UNIT NEW GAS SERVICE AS REQUIRED. THE CONTRACTOR SHALL SUBMIT A SERVICE WORK ORDER AS REQUIRED AND COORDINATE ALL NECESSARY ADJUSTMENTS NEEDED WITH THE GAS UTILITY COMPANY TO SATISFY THE INTENT OF THE DESIGN AND THE OWNER'S REQUIREMENTS.
3. SEE EQUIPMENT MANUFACTURER INSTALLATION REQUIREMENTS FOR HOOK-UP SIZE AND ACCESSORIES.

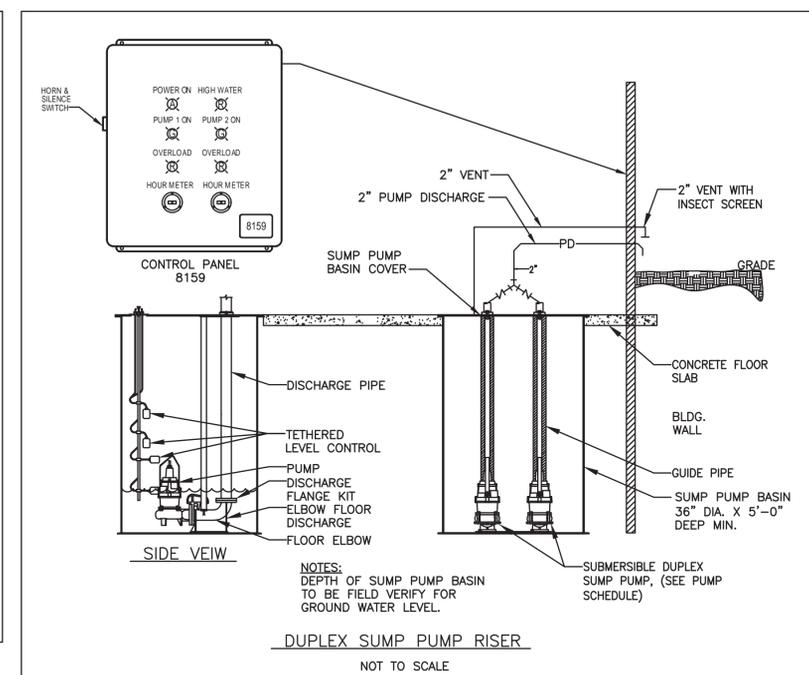


3 NATURAL GAS RISER DIAGRAM - PLUMBING  
NTS



WATER HEATER DETAIL  
NTS

NOTE:  
1. PROVIDE HEAT TRAPS FOR HOT AND COLD WATER PIPING AT WATER HEATER IN COMPLIANCE WITH IPC SECTION 503 AND IECC.



DUPLEX SUMP PUMP RISER  
NOT TO SCALE



April 28, 2021

Mr. Nathan Macek, Chair  
Ms. Melissa McMahon, Vice Chair  
Mr. David Brown, Ms. Melinda Lyle, Mr. Stephen Koenig, Ms. Vivian Ramirez, and Mr. John Goebel, Commissioners  
Alexandria Planning Commission  
301 King Street  
Alexandria, Virginia 22314

**PlanComm@alexandriava.gov**

Re: Application SUP 2020-00106: 1015 Duke Street  
variances and conversion from commercial to residential use

Dear Planning Commission:

In this application, we see the culmination of a long skein of tremendously duplicitous behavior on the part of the owners of No. 1015 Duke Street, who have been playing a shell game with their neighbors and various City agencies at least since 2018. The applicant, Patrick Jansen, seeks a reduction in parking requirements and other concessions in connection with a proposed change in the use of this building from commercial to residential. He pretends that he was unaware of the restrictions when he bought the property, but this is simply not true: he knew of them and embarked on this course of action anyway.

No. 1015 and its adjoining neighbor, 1011 Duke Street, were owned by the same owners, Steven and Maureen Saunders, for many years, and were zoned commercial; the buildings were connected internally and used as a place of business. In 2018, the Saunders listed these buildings for sale and the listing agent applied to the City to convert No. 1011 back to residential use (BZA 2018-0018). Then, in December of the same year, Patrick Jansen (identifying himself as agent and contract buyer) applied to the City's Board of Architectural Review to build an addition to No. 1015, based on its (and 1011's) remaining zoned commercial; he also applied for building permits for commercial use. Somehow, notice of these applications did not get to the neighbors.

In January of 2019, the BAR held a hearing on the proposed addition to No. 1015 (BAR 2018-00571 & 2018-00579), as it is in the Old and Historic District. The BAR staff report on these applications noted that the proposed addition was only permissible if the building remained in a commercial use, and that "construction of the proposed addition will preclude future residential use" of the building (p. 4). The zoning department comments on the application noted that No. 1015 "will continue to be used commercially" and warned that the proposed addition would "negate the recent variance which approved" a setback reduction "if the building was to be used residentially" and further warned that the addition "would reduce the required open space" too much "for a residential use" (p. 8). Zoning also noted that there was an SUP application pending to convert No. 1011 to residential use, which included "a condition that open

space may not be reduced from the existing amount of the property if the property is to be used residentially” (p. 8).

At the BAR hearing, Christina Kelley, the BAR chair, questioned Mr. Jansen on the preclusion issue: “you’re aware ... that once you put the addition on, the building has to remain a commercial building—it can’t be used for residential?” Mr. Jansen stated on the record that he knew of this restriction against future residential use (this exchange appears at 9:57–10:11 on the video recording of the hearing). Thereafter, the BAR approved the addition, but disapproved a proposed enlargement of the nearby windows, which was done anyway.

The next week, the Saunders sold Nos. 1011 and 1015 to Impressive Home Solutions Group, LLC (controlled by the Jansens), not Mr. Jansen, although he was happy to call himself the owner of the building when it suited him to do so. Despite the representations made to the BAR, No. 1011 was indeed separated from No. 1015, converted to residential use, and sold a few months later. The Residential Sales Contract for Impressive Home Solutions’ sale of No. 1011 was dated January 23, 2019, just one week after the BAR hearing and one day after Impressive took title to the buildings.

Construction of the addition proved disastrous for the neighbors, whose foundation was damaged by the excavation for the addition and by the flooding that now occurs whenever it rains, as the drainage of the back yard of No. 1015 has been altered. No water mitigation plan appears in the records, and rainwater pools on the patio after a storm.

The year after the construction was undertaken, Impressive sold No. 1015 to Mr. and Mrs. Jansen, its own owners, for a stated price of \$0. That same year (October 30, 2020), Mr. Jansen filed for a change of the zoning from commercial to residential, and also for a variance to the open space requirement (BZA 2020-0024). After certifying under penalty of law that everything in the application was true, he suggested that he had made a mistake in calculating the FAR and that he had “just recently” noticed the error. A few days later (November 4), he applied again (BZA 2020-0025), suggesting that he wanted to live in the building, and claimed that he had “unknowingly” made a mistake in calculating the FAR (p. 8, ¶ 3) and that he had “just recently” (p. 11) noticed the error. The next month (December 1), he filed again, still attesting to the truth of the application, claiming he bought the house without knowing of the zoning restriction (see p. 9, ¶ 3B) and adding a request for relief from the front setback to his application (BZA 2020-0031). These applications included old, out-of-date survey plats that did not show the addition or any other structure built recently, and staff told the applicant that he needed a new survey. As of this writing, APEX reports that this application is only 6% completed.

A few days later (December 9, 2020), the Jansens filed for a special use permit (SUP 2020-00106) as well. In this application, they attest that all of the information provided is true (p. 1) and request relief from the front setback requirement, permission to replace the two standard parking spaces with compact spaces, and a change of the use of the building to

residential. This application has been pursued, through multiple amendments, to the point of a hearing. Although the building is still zoned commercial, the owners have been living there, and the City code inspectors have had to warn them that they may not live there under the current zoning. At least three warnings have been issued, and there is no final inspection and no certificate of occupancy.

The staff report states that “the applicant decided to use the property for residential use” “[a]fter the additions were made” (p. 4). However, the applicant has admitted to a neighbor that he always intended to live in the building, and asserted that he had the City “in [his] pocket” and was not worried about the effect of the commercial addition. Thus, the representations made in years past were knowingly false and misleading. The staff report notes that even with the requested parking reduction, the minimum 40% open space will not be achieved, and includes recommended conditions that will supposedly ensure that there is no further degradation of the zoning requirements, but in so doing, it seeks to bless this shell game.

Despite the application’s attestation, just above his signature, that all of the information provided in the application is true, correct, and accurate, there are serious shortcomings in it. The photograph is an old one: it was taken before the new wall was built. The survey plat provided is from 2018 and does not depict the 2019 addition (except as a theoretical construct added in later, and not by the surveyor) or other recent construction. Similarly, the calculations are inaccurate as they do not account for the other constructed areas, which would be shown by an up-to-date survey plat. The application puts blinders on the Planning Commission, while hoping nobody will notice.

As part of the current application, the Jansens include their plans for the 2019 addition, which was allowed to be built only after Mr. Jansen stated that he was aware that building the addition would “preclude future residential use” and “negate” certain variances. Although the three BZA applications have not been completed, they have not been withdrawn, either. The applicant claims he unknowingly and erroneously made the calculations at issue, but he omits that he assured the BAR that he knew he could never change the building to a residential use and knew the consequences of the construction he was proposing. In short, he is trying to use the Planning Commission (and BZA) to make an end run around restrictions he acknowledged to the BAR and accepted, hoping that the Planning Commission doesn’t know (or doesn’t care about) the history of this building. He is claiming that he made a mistake about restrictions and consequences he earlier admitted he knew about, in a bold effort to grab the advantages of both commercial and residential uses. He got the addition by assuring the City that the building would remain commercial. Now that he has the addition, he wants to convert the use to residential, which he knew very well he could not do once the addition was built. He claims he did not know of this restriction, despite assuring the BAR that he did. The Planning Commission should not put up with these games.

If the City were to allow landowners to shift the use of their buildings to build additions that would not be allowed for other uses, and then shift the use back once the additions are built,

Alexandria Planning Commission  
April 28, 2021  
Page 4

it would make a mockery of the distinctions on which use-based zoning is predicated. The Planning Commission should summarily deny this application.

Thank you.

Very truly yours,



Minturn Wright

enc.: staff report, BAR 2018-00571 & 2018-00579  
video record, BAR meeting 1/16/19  
application, BZA 2020-00025

Docket Item #7 & 8  
BAR #2018-00571 & 2018-00579

BAR Meeting  
January 16, 2019

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriates for Addition and Alterations

**APPLICANT:** Stephen & Maureen Sanders, by Patrick Jansen, contract purchaser

**LOCATION:** 1015 Duke Street

**ZONE:** CL / Commercial Low Zone

---

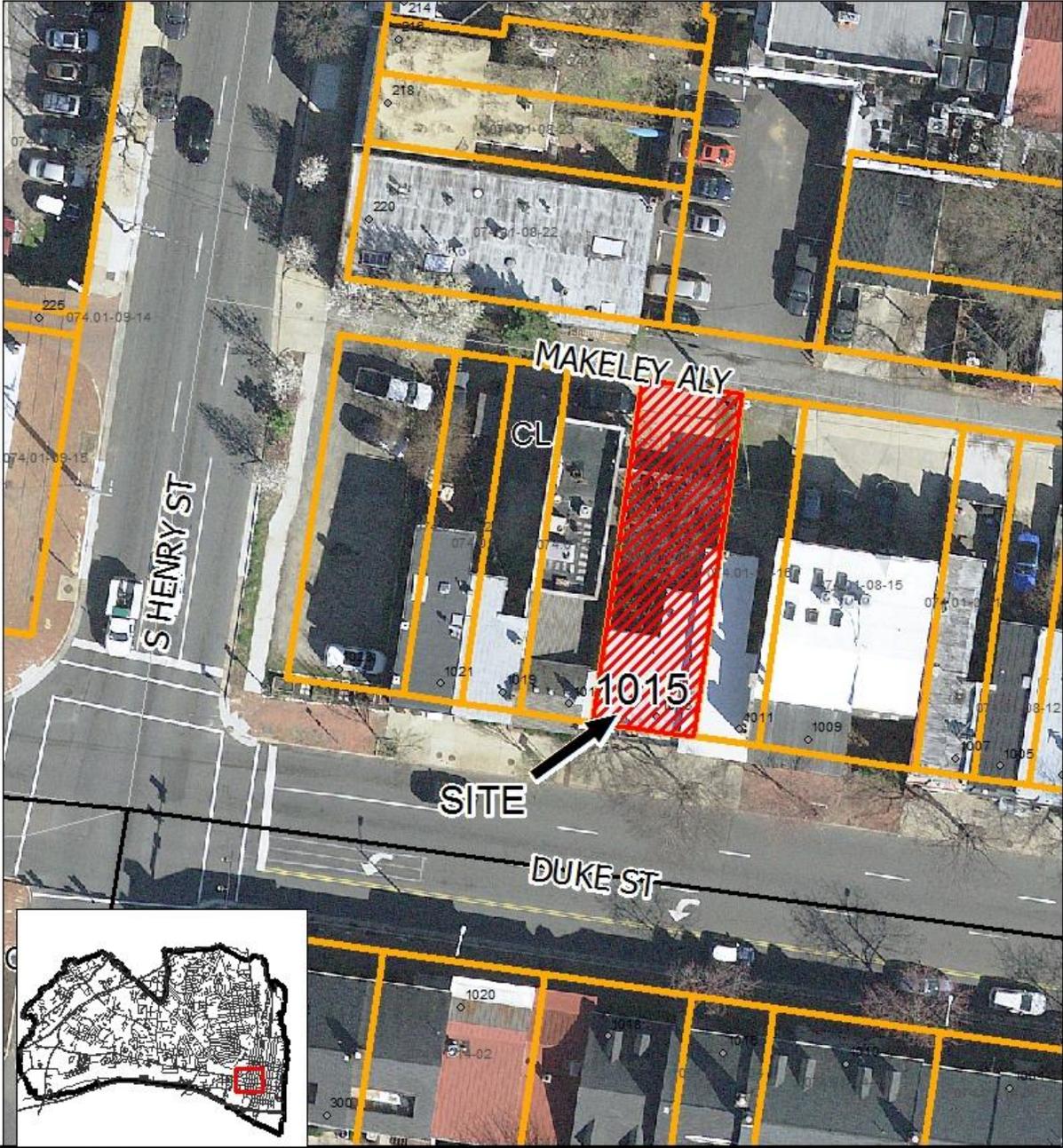
**STAFF RECOMMENDATION**

Staff recommends the following:

1. *Approval* of the Permit to Demolish/Capsulate and Certificate of Appropriateness for the two-story addition.
2. *Denial* of the request to enlarge the existing window and door openings on the north elevation of the rear ell with a larger, full-light window and door.
3. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.
4. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

**GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2018-00571 & BAR #2018-00579** <sup>N</sup>  
**1015 Duke Street**



0 15 30 60 Feet

**Note:** *Staff coupled the applications for a Permit to Demolish (BAR #2018-00571) and Certificate of Appropriateness (BAR #2018-00578) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

## **I. ISSUE**

The applicant is requesting a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a two-story rear addition at 1015 Duke Street.

### Demolition/Capsulation

The new addition will occupy the open space adjacent to the rear ell and will fully capsulate the two-story rear wall of the main block as well as the two-story west elevation of the historic rear ell. Demolition is limited to enlarging the existing window openings to function as doors into the new addition.

On the rear elevation of the original ell, facing the yard, the single window and door will be removed and the openings will be enlarged to accommodate a larger window and door.

### Addition

The proposed two-story addition will measure 14'-2.5" deep by 15' wide and will project two feet beyond the existing rear ell. The roof of the addition will have a 2.5' roof monitor with clerestory windows. The west elevation is largely devoid of openings, except for narrow horizontal windows on the second floor. The rear (north elevation) will have triple full-light windows on each floor. The addition will be clad with white stucco and have aluminum clad casement windows.

### Alterations

Alterations to the existing rear ell consist of the installation of a single full-light window on the second floor matching the windows on the addition and full-light sliding glass doors on the first floor.

The property at 1015 Duke is presently connected on the interior to the adjacent structure at 1011 Duke (there is no 1013 Duke Street), though nothing on the exterior of that townhouse is proposed to be changed as part of this application.

## **II. HISTORY**

The two-story, four-bay brick attached townhouse was likely constructed before **1877**, as a building with a similar footprint appears on the Hopkins Atlas of Alexandria. However, it is apparent that the front façade was reconstructed using modern, machine cut brick sometime in the early 20<sup>th</sup> century.

On December 10, 2018 the Board of Zoning Appeals approved BZA#2018-0018 to waive the required front yard setback at 1015 Duke in order to convert the commercially-used townhouse back to its original residential use. While the BAR does not review use, staff brings the zoning comments in this report to the applicant's attention, as construction of the proposed addition will preclude future residential use of the property.

Staff could not locate any BAR approvals for the subject property, but the BAR has approved additions at the flanking townhouses at 1017 and 1009 Duke Street, as well as the 7' brick wall behind 1015, 1011 and 1009 Duke Street the early 1990s.

**III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed exterior demolition/capsulation regardless of visibility from a public way.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

While the small rear ell is likely original to the first period of construction, it is not a character defining feature of the building, as early 19<sup>th</sup> century shed roofed ells are. The windows have been replaced and there are ghost marks in the masonry suggesting other fenestration changes have occurred over the years. While a significant portion of masonry will be capsulated, there is a minimal amount of demolition to convert window openings to doors, and there remains a possibly in the future of reversing the proposed addition and re-exposing the historic brick walls, if desired. The features that will be demolished and capsulated are not of unusual or uncommon design and they could be reproduced easily. Staff recommends approval of the Permit to Demolish/Capsulate.

Addition & Alterations

The design of the proposed addition is consistent with the recommendations contained in the *Design Guideline for Residential Additions*: "...a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original elements." Over the years the Board has seen a wide stylistic variety of additions to historic buildings, ranging from those that are subtly differentiated to more starkly contrasting designs. The form, fenestration and materials of the proposed addition are clearly distinct from the main building. However, given that the addition is in the rear, is only visible from a portion of the rear alley over a tall brick wall, and is located on a block with a wide variety of modern rear additions, staff has no objection to the proposed design. As the aerial map below shows, the size of the proposed addition will be among the more modest in this block. (Figure 1).



Figure 1: Aerial image showing proposed addition in red

However, staff does not recommend approval of the new fenestration on the historic west wall of the ell. While the proposed fenestration relates the new construction to the existing house, staff finds the form and size of the openings to be historically inappropriate and architecturally incompatible with the original ell wall. Staff has no objection to the replacing the existing non-historic door with a single light French door and installing a 1/1 sash window within the existing openings, provided that they meet the BAR's *New and Replacement Window Performance Specifications*.

While not a part of the proposed scope of work, it is unfortunate that the inappropriate Colonial Revival style 6/6 windows on the Duke Street façade are not proposed to be replaced with 1/1 or 2/2 sash windows more historically appropriate to this late Victorian period structure. Staff can administratively approve this alteration separately, should the owner wish to do so in the future.



**Figure 2: Rear (north) elevation from alley showing the proposed addition in red**

While the BAR does not review paint color, material colors are reviewed. The applicant has proposed white stucco. While a tan stucco would be more historically appropriate, in this case the walls of the existing and adjacent masonry ells are already painted white and the white stucco will blend in with these structures.

With the condition noted above, staff recommends approval of the application.

**STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

#### IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### Zoning

- F-1 The building will continue to be used commercially. The proposed addition will negate the recent variance which approved a reduction to the required front yard setback if the building was to be used residentially. While open space is not required for commercial uses, the proposed addition would reduce the required open space for a residential use beyond what is required.
- F-2 Submitted floor plans show the buildings at 1015 and 1011 are connected and both will be used commercially. There is a current SUP application to be reviewed by the Planning Commission and the City Council in February 2019 for 1011 Duke Street for a parking reduction and lot modifications of the residential requirements in the CL zone to convert the property from commercial to residential use. The SUP includes a condition that open space may not be reduced from the existing amount if the property is to be used residentially. Applicant should clarify the intended use of both properties.
- C-2 Proposed addition and alterations comply with zoning as long as the use at 1011 Duke Street remains commercial.

##### Code Administration

- C-1 A building permit, plan review and inspections are required prior to the start of construction.

##### Transportation and Environmental Services

- C-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- C-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- C-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-5 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-6 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant

must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

### **Alexandria Archaeology**

- F-1 Tax records and census records from 1810 suggest that a soap manufacturer may have been operating on this block, but the exact location is not known. Later records from 1830 and 1850 indicate the presence of free African American households on the street face, but again, exact addresses are unknown. The U.S. Military Railroad map prepared by the Union in 1865 and the G.M. Hopkins fire insurance atlas of 1877 show structures on or adjacent to the site.
- C-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- C-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

## **V. ATTACHMENTS**

- 1 – Application for BAR 2018-00571 & 2018-00578: 1015 Duke Street*
- 2 – Supplemental Materials*

BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 1015 Duke St.

TAX MAP AND PARCEL: 1 1 ZONING: CL

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant:  Property Owner  Business (Please provide business name & contact person)

Name: Steven & Marleen Sanders.

Address: 1015 Duke St.

City: Alexandria State: Va Zip: 22314

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Authorized Agent (if applicable):  Attorney  Architect  Purchaser

Name: Patrick Janse Phone: \_\_\_\_\_

E-mail: PATRICK@JANSENPAULBA.COM

Legal Property Owner:

Name: Steven & Marleen Sanders

Address: 1015 Duke St.

City: Alexandria State: Va Zip: 22314

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - fence, gate or garden wall
  - HVAC equipment
  - shutters
  - doors
  - windows
  - siding
  - shed
  - lighting
  - pergola/trellis
  - painting unpainted masonry
  - other \_\_\_\_\_
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Create a Two story addition on the back of the property. Meeting FAR Requirements  
 The Demolition consists of opening two walls. This is where the addition will attach to the house.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup>  Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- Square feet of existing signs to remain: \_\_\_\_\_
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # \_\_\_\_\_

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

---

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Petrik Jansen

Date: 12/17/18

**OWNERSHIP AND DISCLOSURE STATEMENT**  
Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Steven Saunders	1015 Duke St	50%
2. Naureen Saunders	1015 Duke St	50%
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1015 Duke St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Steven Saunders	1015 Duke St	50%
2. Naureen Saunders	1015 Duke St	50%
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2. N/A	N/A	N/A
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/17/18  
Date
Patrick Jensen  
Printed Name
[Signature]  
Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

B

### A. Property Information

A1.  Street Address  Zone

A2.  Total Lot Area x  Floor Area Ratio Allowed by Zone =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	<b>Comments for Existing Gross Floor Area</b> <div style="border: 1px solid black; height: 60px; margin-top: 5px;"></div>
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other** <input type="text"/>	Other** <input type="text"/>	
<b>B1. <u>Total Gross</u></b> <input type="text"/>	<b>B2. <u>Total Exclusions</u></b> <input type="text"/>	

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other <input type="text"/>	Other** <input type="text"/>	
<b>C1. <u>Total Gross</u></b> <input type="text"/>	<b>C2. <u>Total Exclusions</u></b> <input type="text"/>	

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space (RA & RB Zones)

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

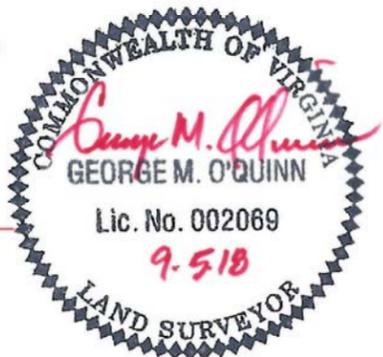
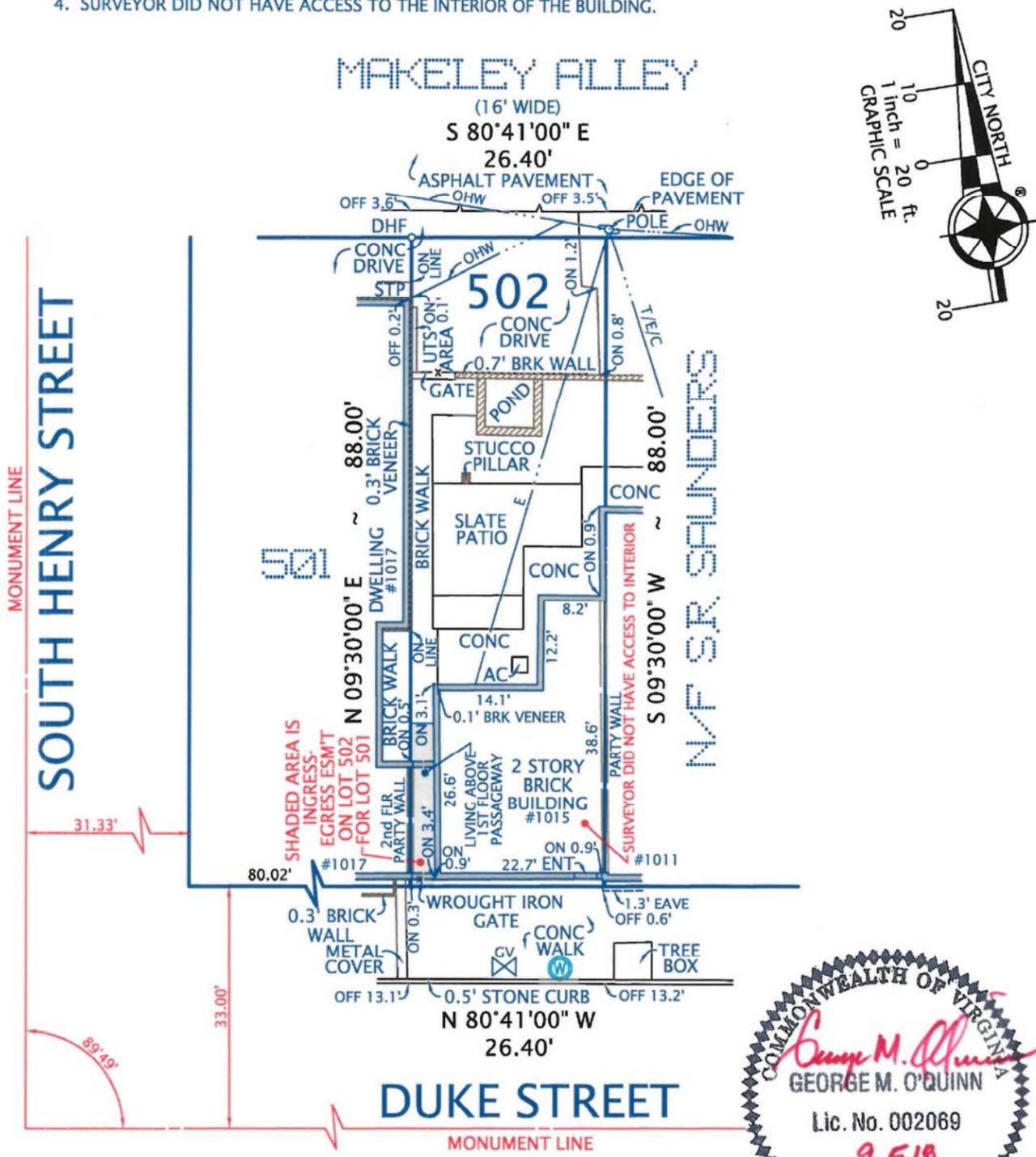
\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: **SALVATORE BENVENGA** Digitally signed by SALVATORE BENVENGA  
DN: cn=SALVATORE BENVENGA, o=SB DESIGN STUDIOS, ou=SB DESIGN STUDIOS, email=SALVATORE@SBDESIGNSTUDIOS.COM, c=US  
Date: 2018.12.07 16:46:28 -0500

Date: \_\_\_\_\_

- NOTES: 1. LOT AREA = 2,323 SF.  
 2. WALLS ARE 1.1' CONC & BRICK UNLESS NOTED.  
 3. RESIDENCE IS USED IN CONJUNCTION WITH #1011 DUKE STREET.  
 4. SURVEYOR DID NOT HAVE ACCESS TO THE INTERIOR OF THE BUILDING.



PLAT  
 SHOWING BUILDING LOCATION ON  
 LOT 502  
 OF A RESUBDIVISION OF  
**#1015-1017 DUKE STREET**  
 (DEED BOOK 1142, PAGE 637)  
 CITY OF ALEXANDRIA, VIRGINIA  
 SCALE: 1" = 20'      SEPTEMBER 05, 2018

COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.  
 A TITLE REPORT WAS NOT FURNISHED.  
 NO CORNER MARKERS SET.



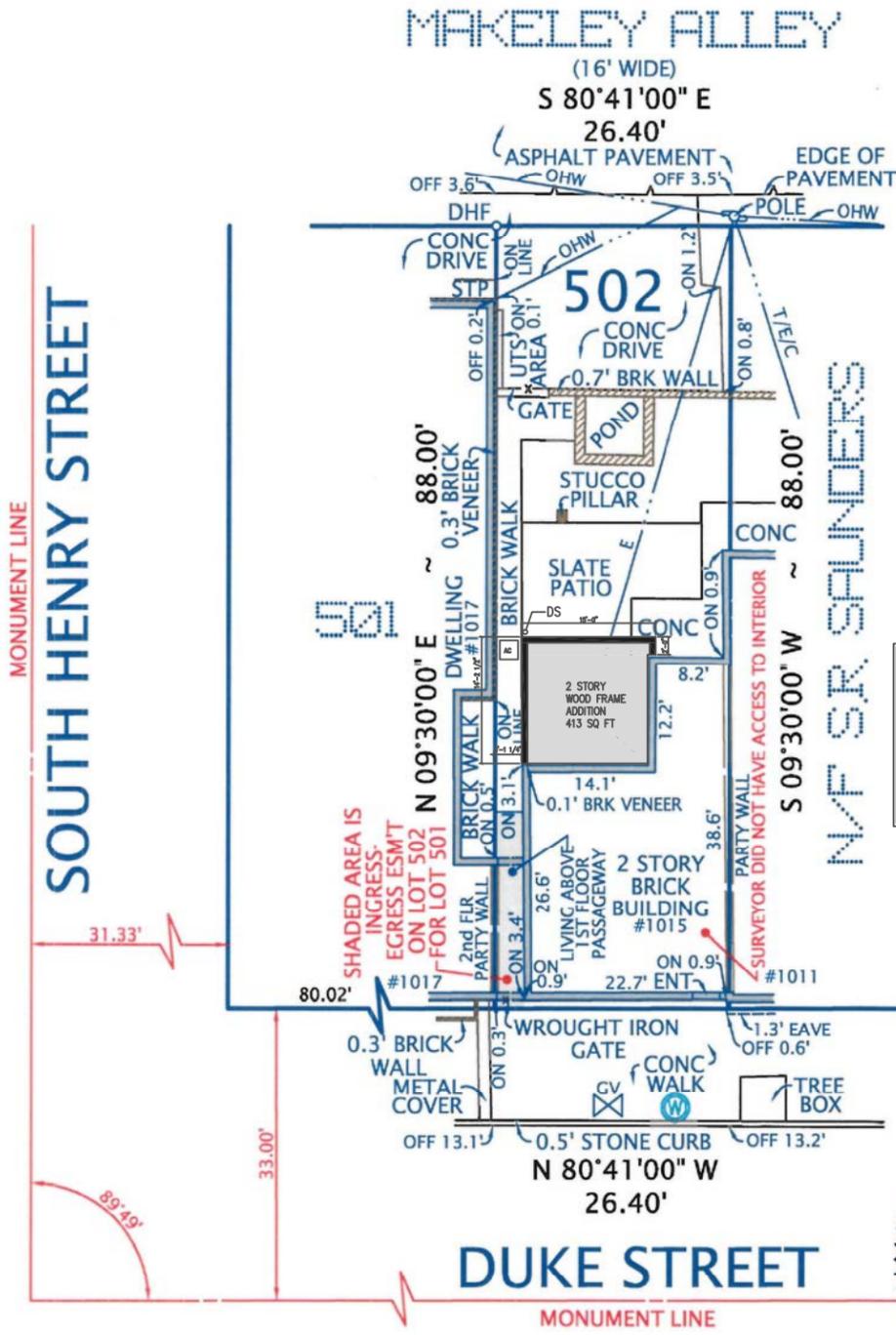
CASE NAME:  
 STEVE SAUNDERS

**DOMINION** Surveyors Inc.  
 8808-H PEAR TREE VILLAGE COURT  
 ALEXANDRIA, VIRGINIA 22309  
 703-619-6555  
 FAX: 703-799-6412

CASE NAME: SAUNDERS

#180827015

- NOTES: 1. LOT AREA = 2,323 SF.  
 2. WALLS ARE 1.1' CONC & BRICK UNLESS NOTED.  
 3. RESIDENCE IS USED IN CONJUNCTION WITH #1011 DUKE STREET.  
 4. SURVEYOR DID NOT HAVE ACCESS TO THE INTERIOR OF THE BUILDING.



- NOTES:  
 1. DS= DOWNSPOUT TO SPLASHBLOCK  
 2. REAR YARD TO BE USED AS:  
 - CONTROLLED CONSTRUCTION ENTRANCE  
 - CONSTRUCTION STAGING AREA  
 3. MAX AREA OF DISTURBANCE: 872 SQ FT



**PLAT**  
 SHOWING BUILDING LOCATION ON  
 LOT 502  
 OF A RESUBDIVISION OF  
**#1015-1017 DUKE STREET**  
 (DEED BOOK 1142, PAGE 637)  
 CITY OF ALEXANDRIA, VIRGINIA  
 SCALE: 1" = 20'      SEPTEMBER 05, 2018

COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



CASE NAME:  
 STEVE SAUNDERS

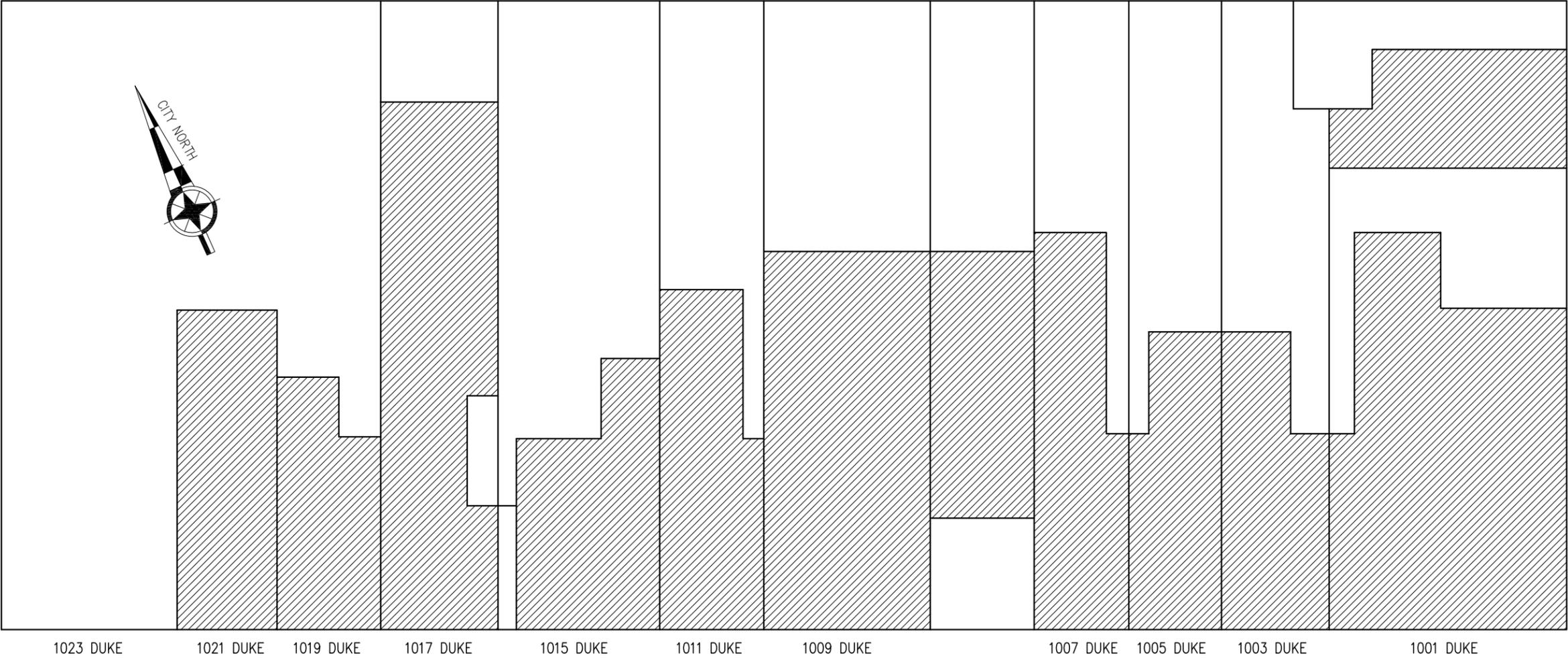
**DOMINION** Surveyors Inc.  
 8808-H PEAR TREE VILLAGE COURT  
 ALEXANDRIA, VIRGINIA 22309  
 703-619-6555  
 FAX: 703-799-6412

CASE NAME: SAUNDERS

#180827015

MAKELEY ALLEY

S HENRY STREET



213 PATRICK

217 PATRICK

S PATRICK STREET

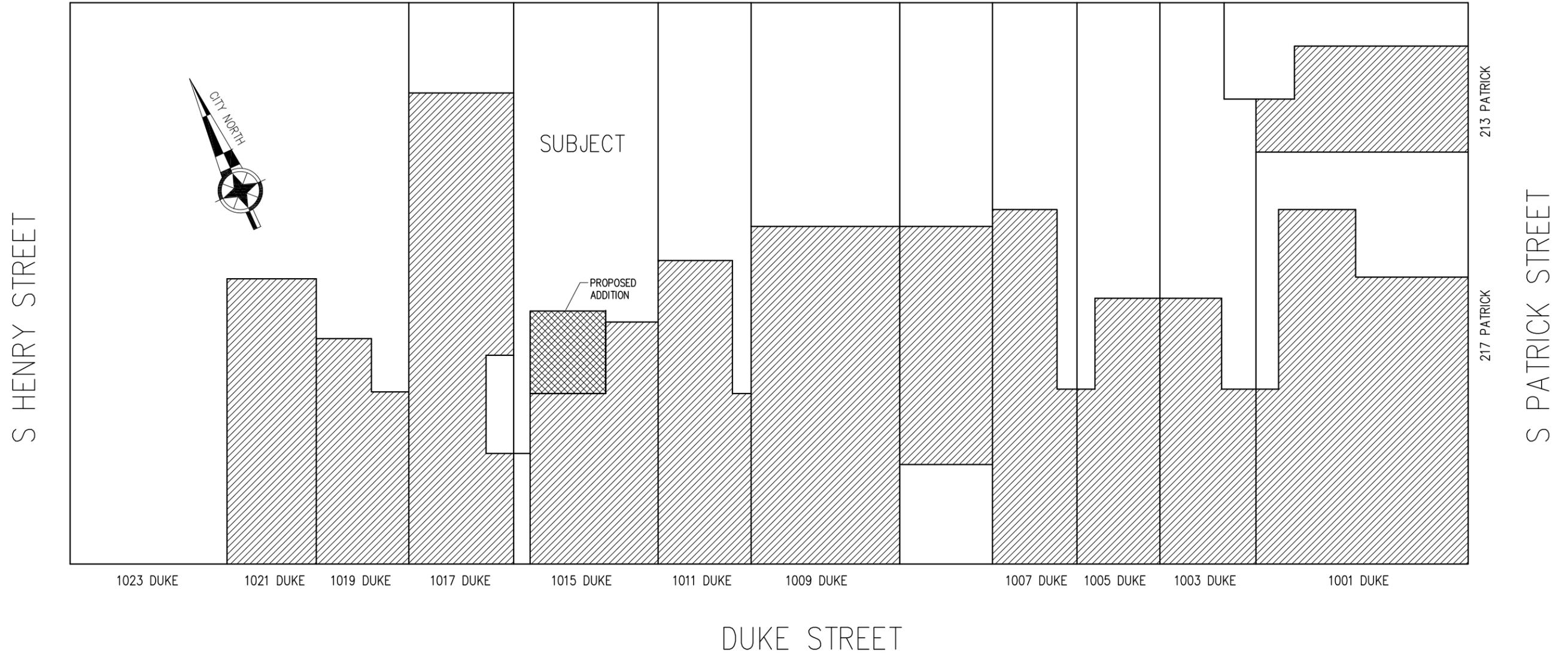
DUKE STREET

**A** EXISTING BLOCK PLAN

SCALE: 1" = 20'



MAKELEY ALLEY

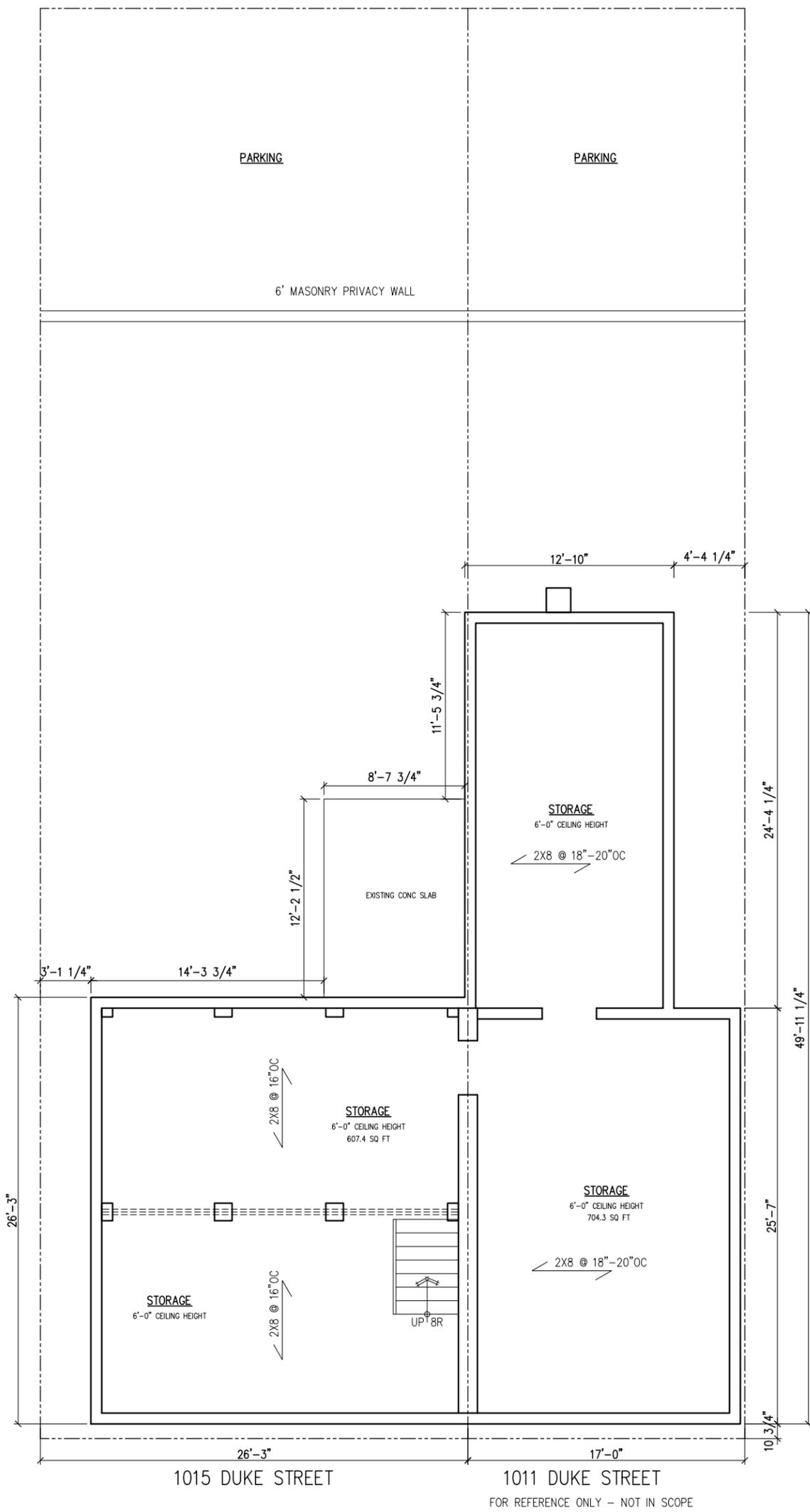


A

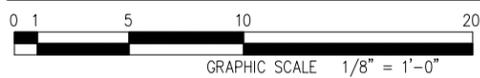
PROPOSED BLOCK PLAN

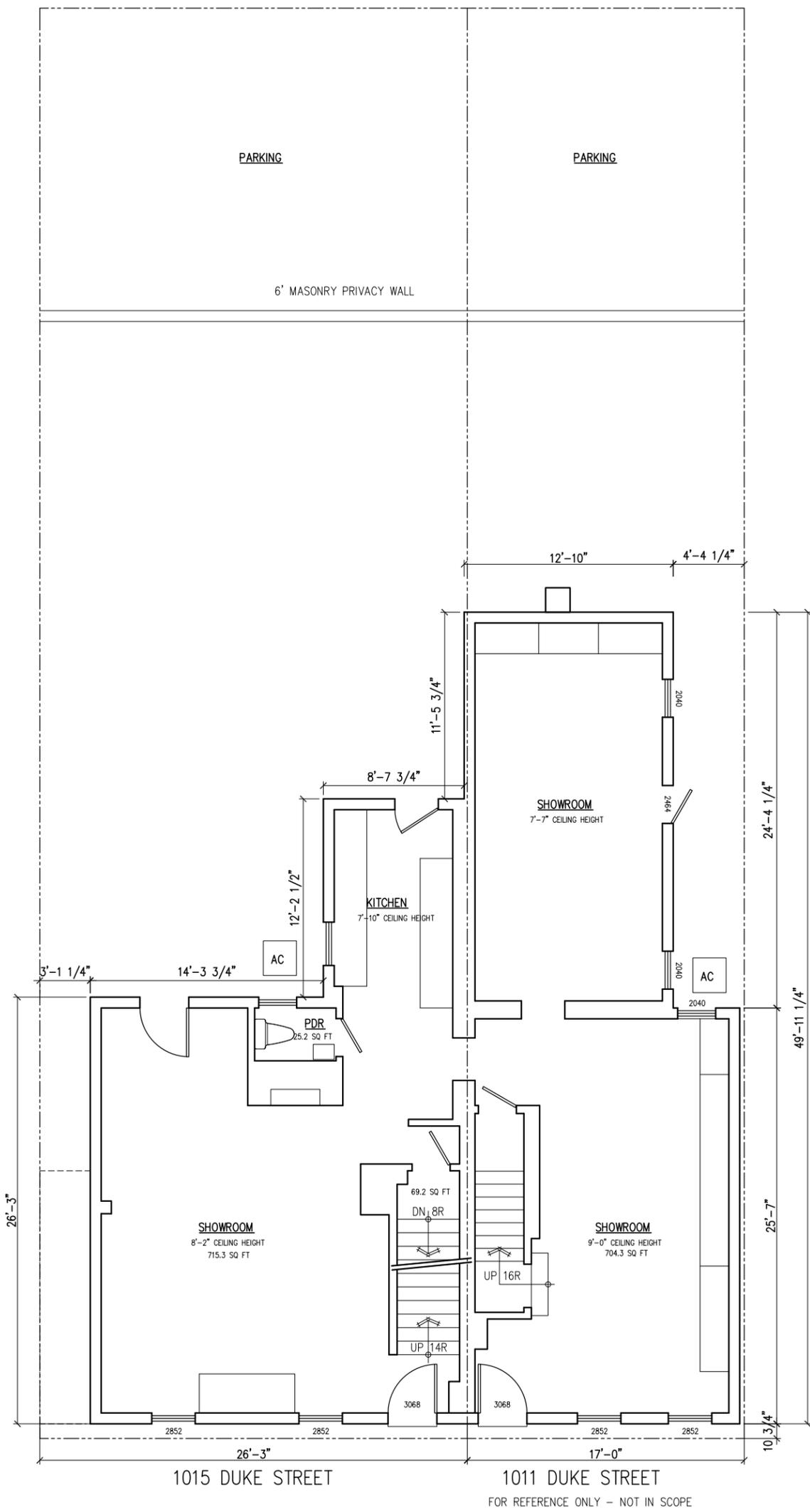
SCALE: 1" = 20'



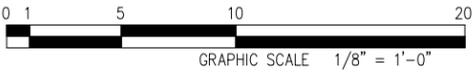


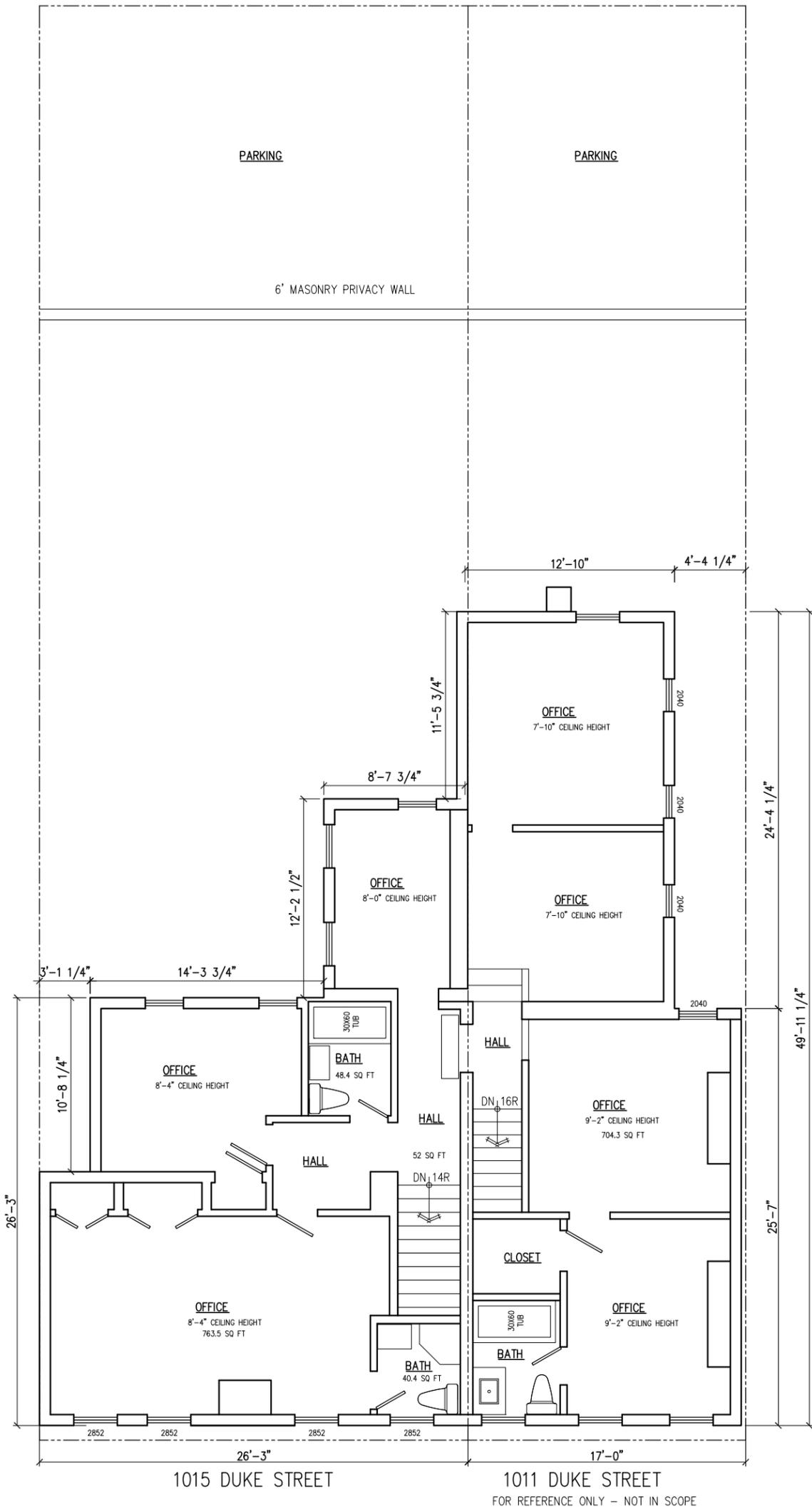
**A** EXISTING BASEMENT FLOOR PLAN





**B** EXISTING 1ST FLOOR PLAN





**C** EXISTING 2ND FLOOR PLAN

0 1 5 10 20

GRAPHIC SCALE 1/8" = 1'-0"

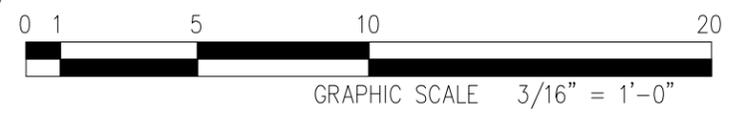


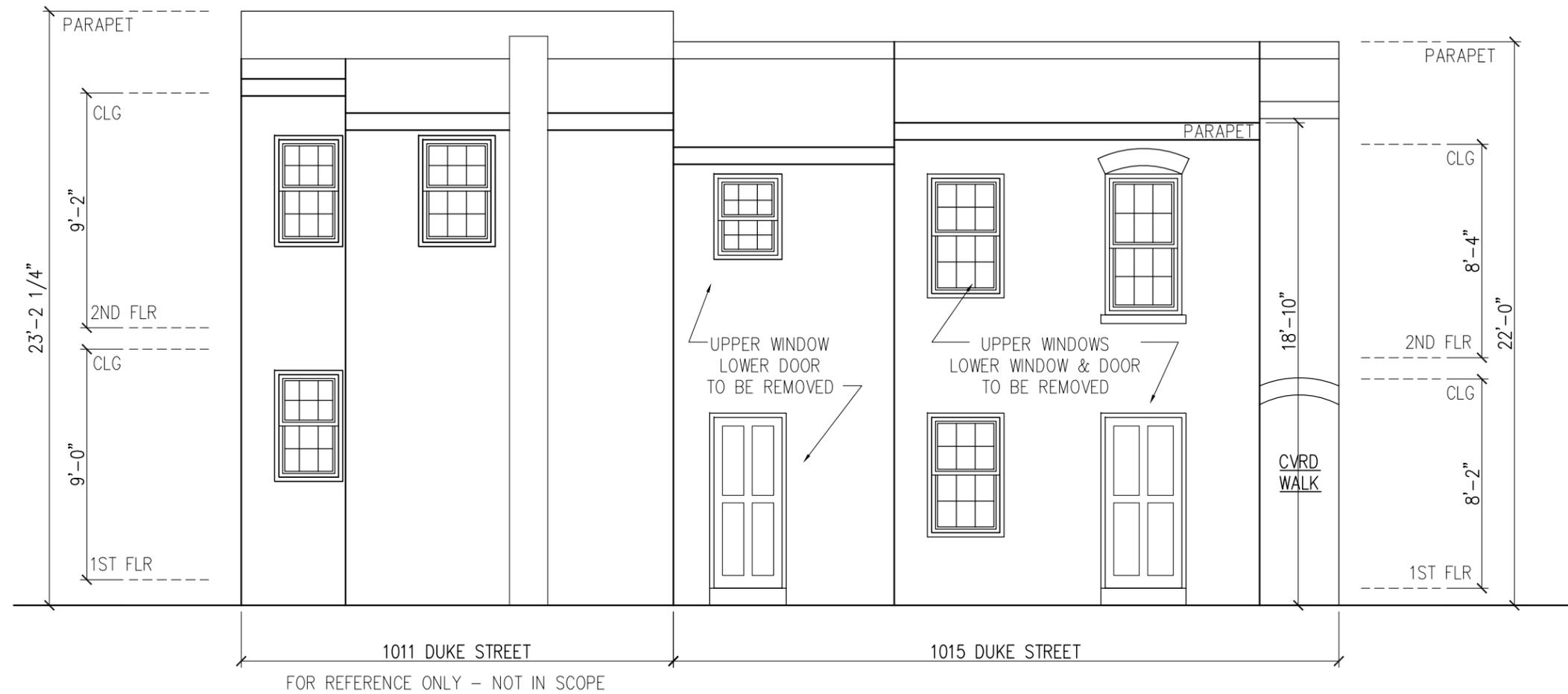


1015 DUKE STREET

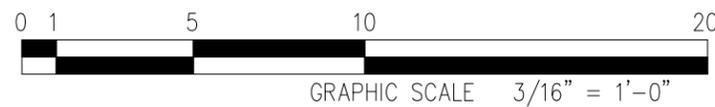
1011 DUKE STREET  
FOR REFERENCE ONLY - NOT IN SCOPE

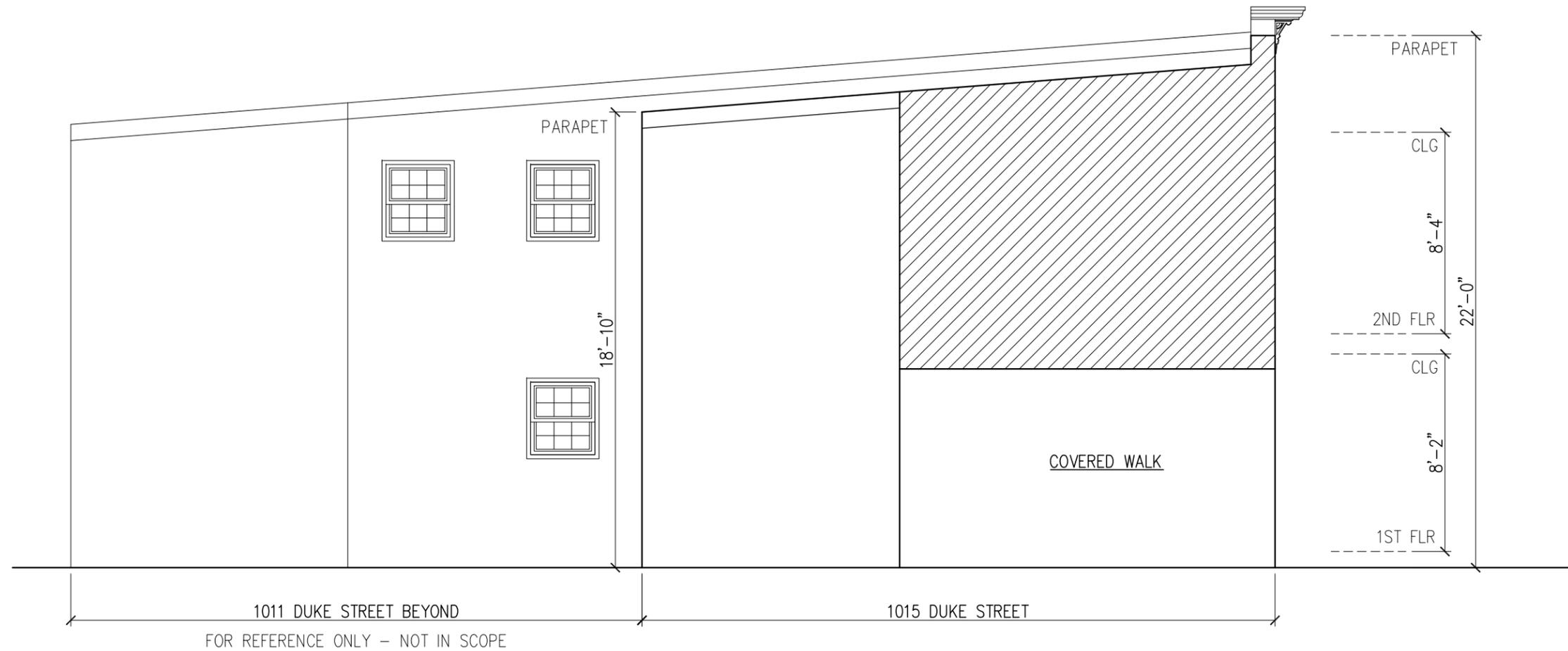
**A** EXISTING SOUTH ELEVATION (FRONT)



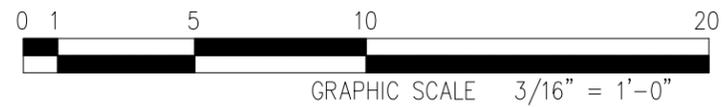


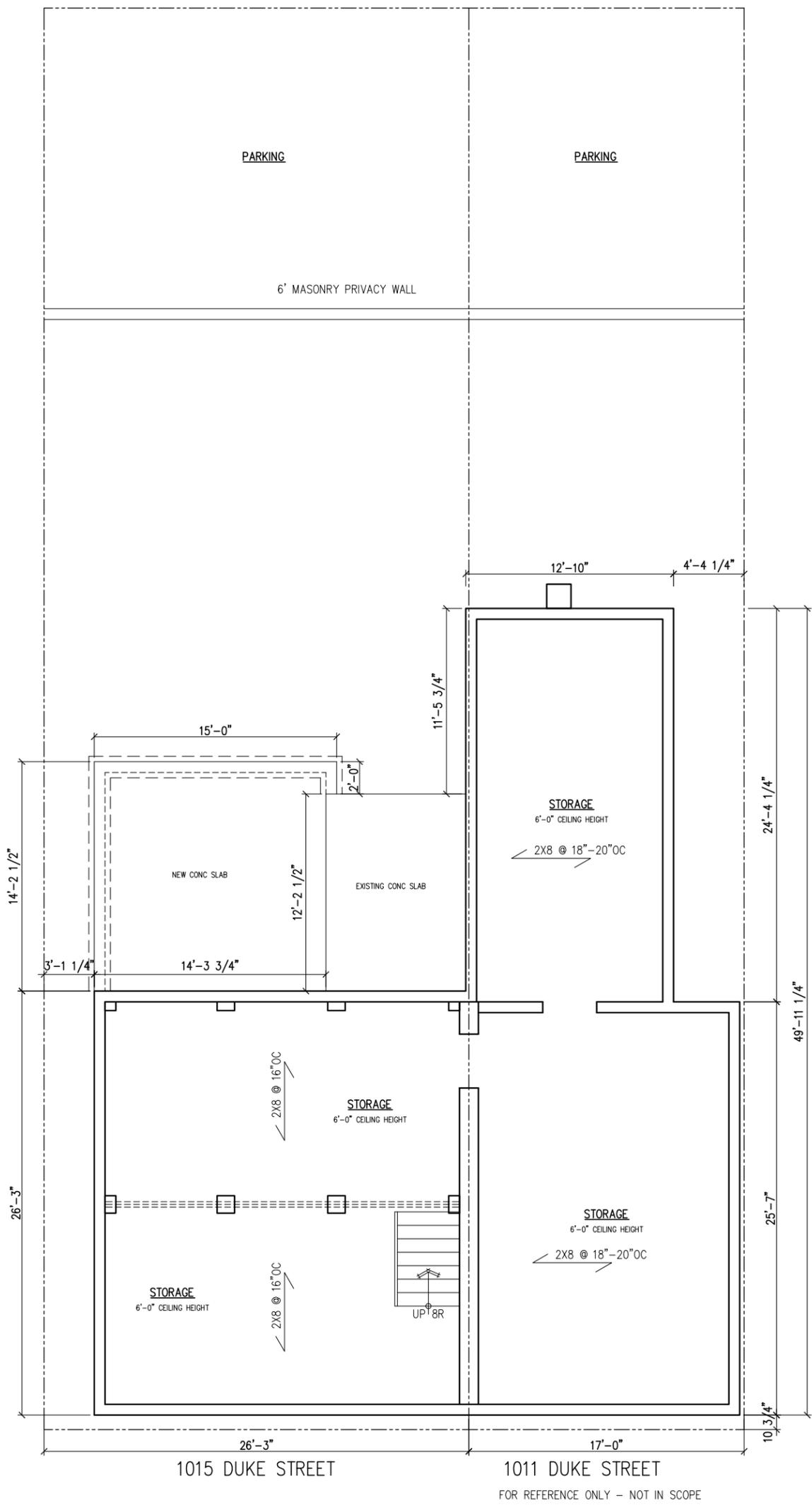
**C** EXISTING NORTH ELEVATION (REAR)



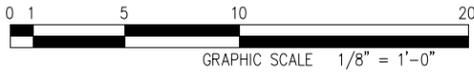


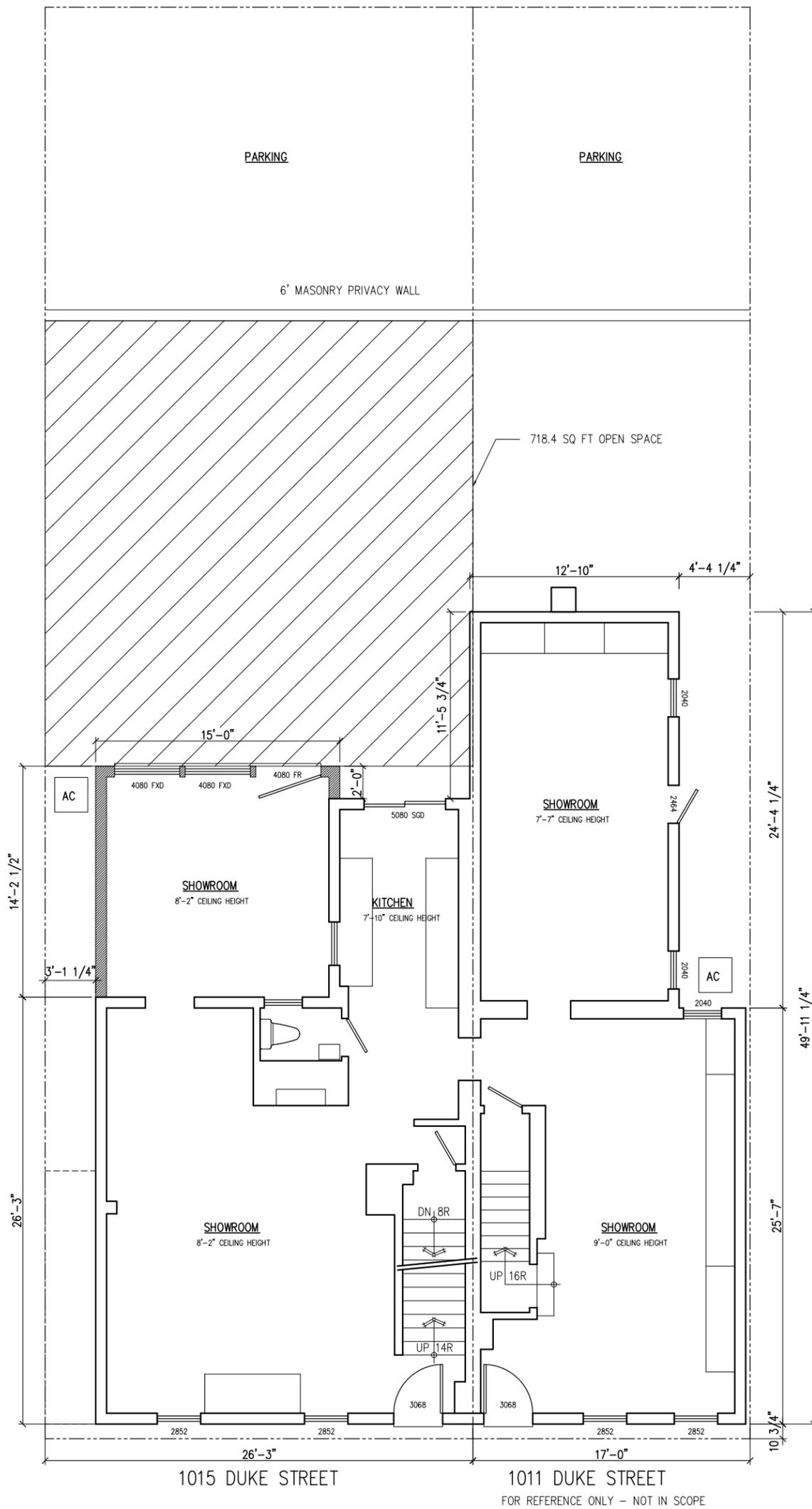
**B** EXISTING WEST ELEVATION (LEFT) 1011 DUKE





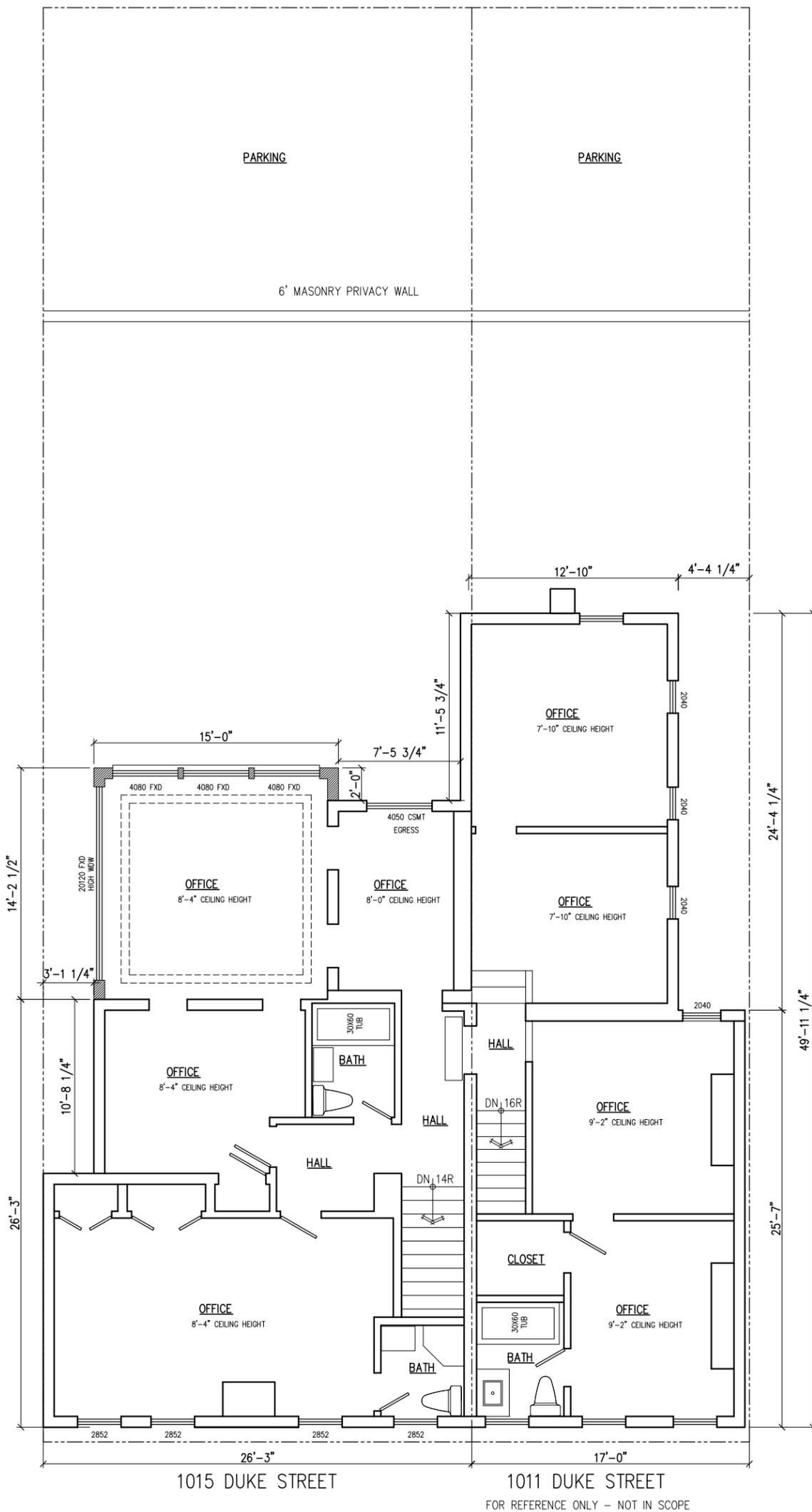
**A PROPOSED BASEMENT FLOOR PLAN**





**B PROPOSED 1ST FLOOR PLAN**





**PROPOSED 2ND FLOOR PLAN**





1015 DUKE STREET

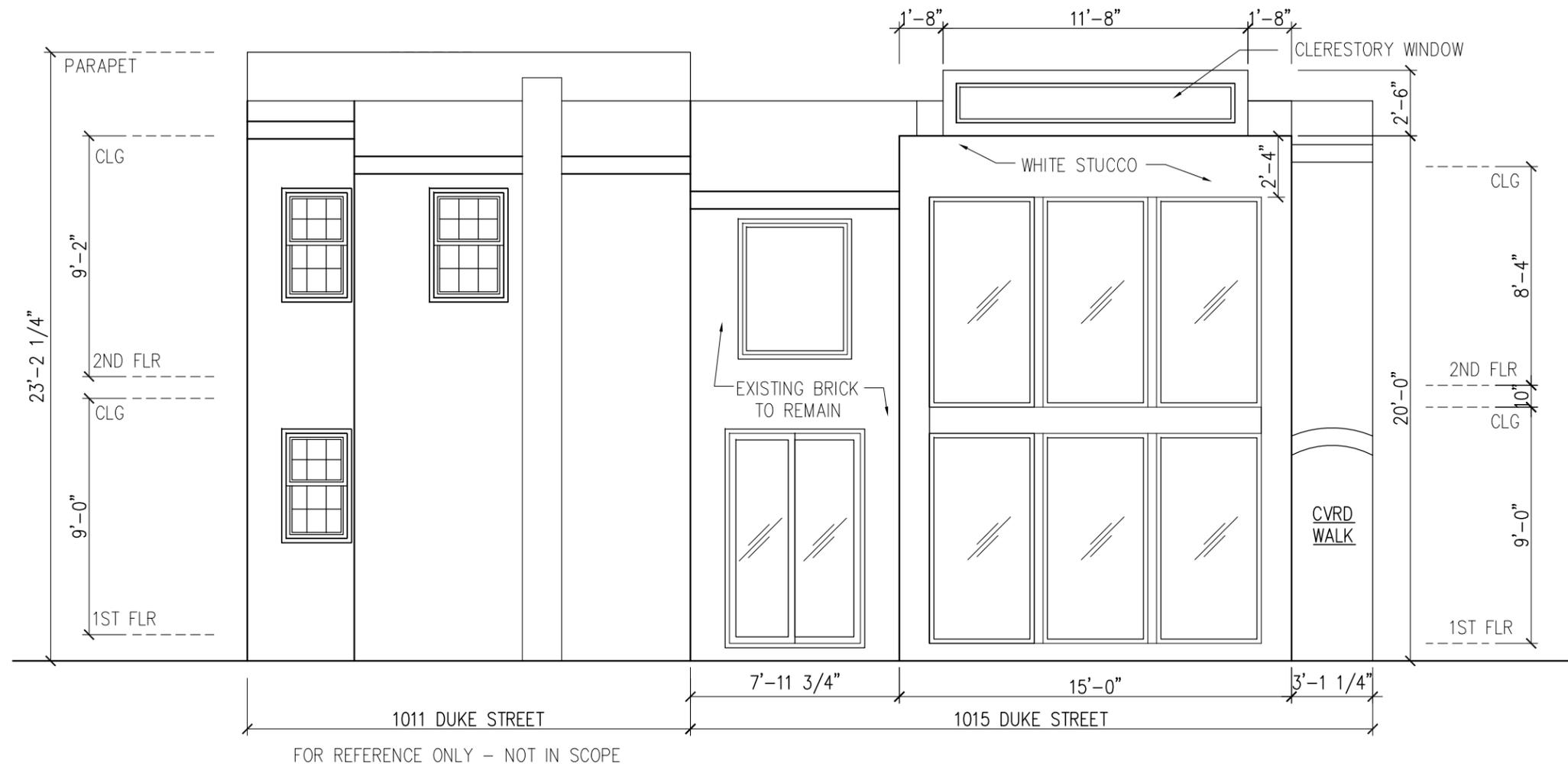
1011 DUKE STREET

FOR REFERENCE ONLY - NOT IN SCOPE

**A**

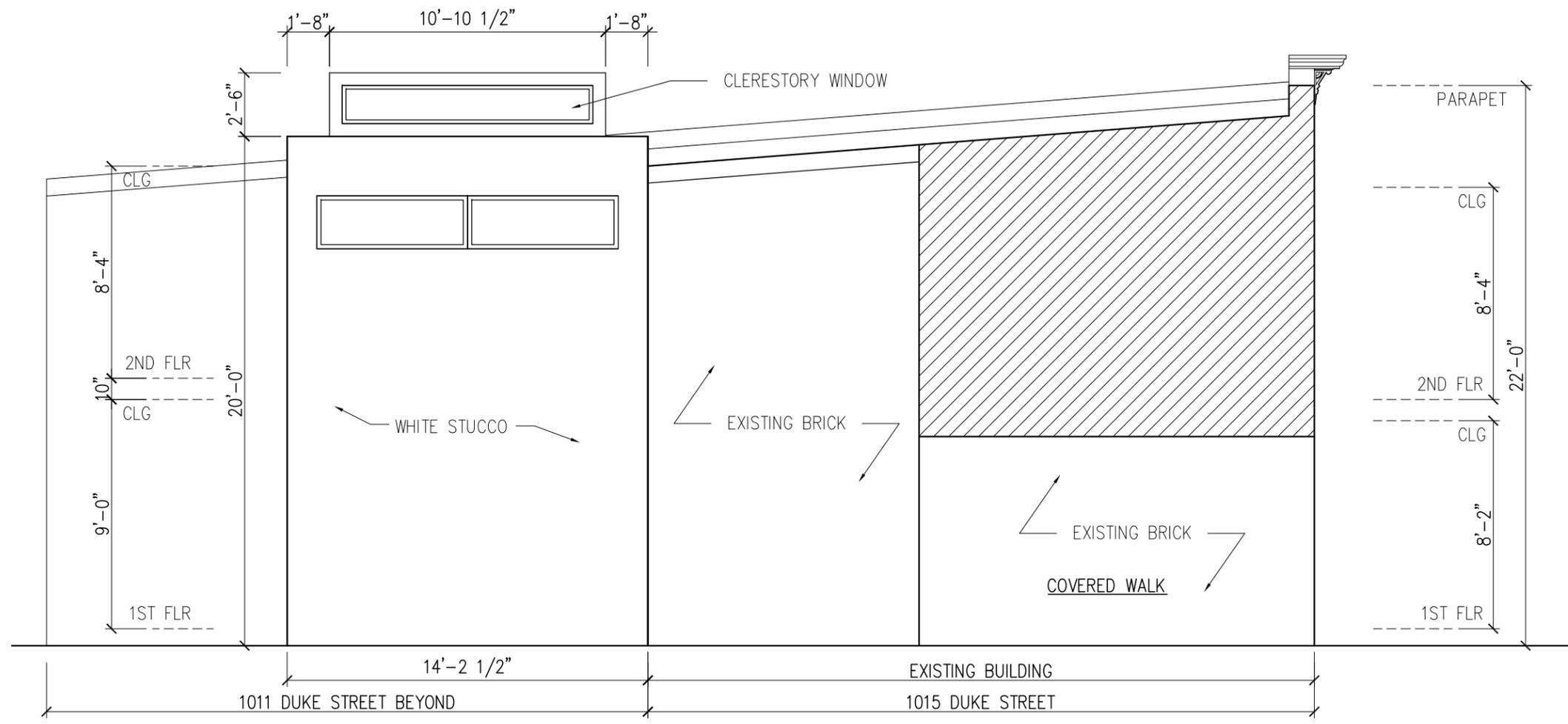
**PROPOSED SOUTH ELEVATION (FRONT)**





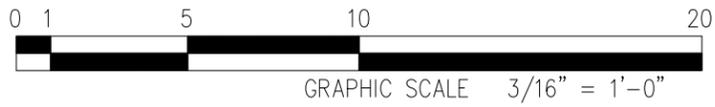
**C** PROPOSED NORTH ELEVATION (REAR)





FOR REFERENCE ONLY - NOT IN SCOPE

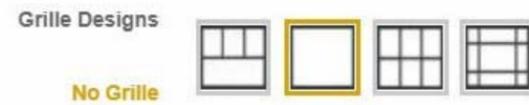
**B** PROPOSED WEST ELEVATION (LEFT) 1011 DUKE



## SITELINE WOOD CASEMENT WINDOW



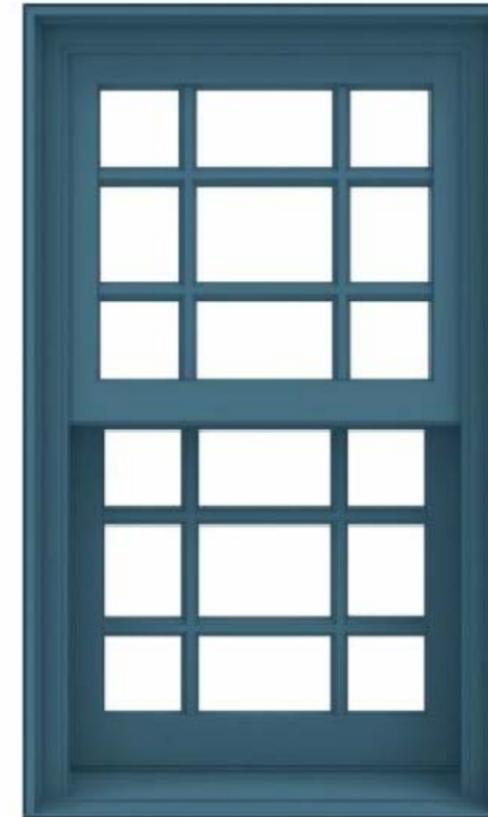
Options [View product details for more options](#)



## DOUBLE-HUNG WINDOWS

JELD-WEN double-hung windows offer a traditional style. They feature an upper and lower sash that can slide vertically past each other in a single frame and have a concealed jamb liner, providing a clean and architecturally focused look. Both sash tilt in for convenient cleaning.

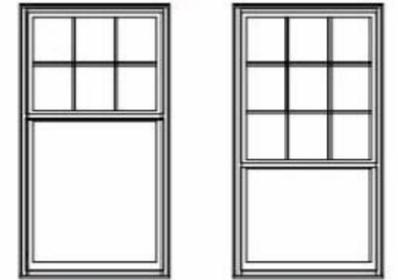
These windows feature an optional 3-1/2" bottom rail with optional finger plow and a top rail with optional finger routes.



Beneath the low-profile exterior are several engineering and design cues that will keep these windows operating smoothly for years to come. See dealer for additional product details and ordering information.

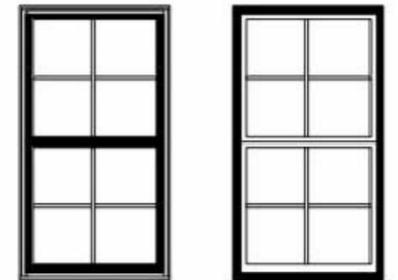
JELD-WEN.COM

### OPTIONAL DESIGNS



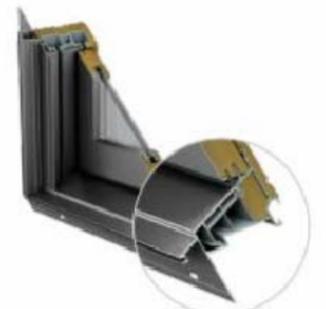
COTTAGE

REVERSE COTTAGE



HYBRID  
WOOD FRAME/  
CLAD SASH

HYBRID  
CLAD FRAME/  
WOOD SASH



### CHAMBERED COMPOSITE INTERIOR SILL

- Added strength
- Space in chambers acts as thermal break

# WINDOW SELECTION

[CLICK HERE TO VIEW THIS MEETING:](#)

**Board of Architectural Review Public Hearing Video - 1/16/19**



**APPLICATION  
BOARD OF ZONING APPEALS**

**VARIANCE**

\_\_\_\_\_ Filing Fee

\_\_\_\_\_ Filing Deadline

\_\_\_\_\_ Board of Zoning Appeals Hearing

*Applicants must send written notice of public hearings by certified or registered mail to all adjoining and facing property owners at least 10 days prior to the Board of Zoning Appeals hearing, and not more than 30 days prior to the hearing.*

*Send notices by certified or registered mail between the dates of*

*1* \_\_\_\_\_ and *Dec 04<sup>TH</sup>* \_\_\_\_\_.

## INSTRUCTIONS

All materials are required to be uploaded to the Customer Service (CSS) Portal for a complete submission.

1. **FILING DEADLINE INSTRUCTIONS:** Board of Zoning Appeals applications, with required plans, must be submitted to the Department of Planning and Zoning at least 30 working days prior to the hearing date. Failure to submit all required information and plans by the filing deadline will result in the application being deferred to a later hearing date.
2. **FORMS:** Please complete the following forms below:
  - **APPLICATION:** Complete the form titled "Application for Variance: Board of Zoning Appeals."
  - **FLOOR AREA RATIO FORMS:** Complete form **A** for single and two-family residences outside the historic districts. Complete form **B** for all other properties.
3. **PDF PLANS:** Supporting materials are to be submitted with each application. Plans, drawings, photos, or other materials should not exceed 11" x 17" and should not be smaller than 8.5" x 11". All plan sets must be to scale. Applications without the required supporting materials will be deemed incomplete and will not be scheduled for hearing by the BZA.
4. **PHOTOGRAPHS:** Applicants must submit photographs of the property in the location where the variance is requested.
5. **FILING FEE:** Application fees are to be paid online through the CSS Portal. Once an application is submitted, staff will invoice the applicant with payment instructions. The application will not be processed until payment is received.
6. **PROPERTY OWNER NOTIFICATION:** Applicants must send written notice to all adjoining and facing property owners; notices must be sent by certified or registered mail **at least ten days** prior to the Board of Zoning Appeals public hearing (not counting the date of the hearing) and **not more than 30 days** prior to the hearing. Applicants may use the notice form supplied with the application forms. See page 16-20 for property owner notification instructions and. In the event the application is deferred, notification shall be given again. The following must be submitted to the Department of Planning and Zoning no later than **five calendar days** prior to the public hearing:
  - a copy of the notice letter sent
  - a list of the names and addresses of those persons to whom notice was sent
  - a copy of the post office receipts for the certified or registered mail
  - "Certification of Notice" form found at the back of this application.

**Failure to send accurate or correct notices will result in deferral of the application to a later hearing date.** Property ownership information is to be obtained from the City Real Estate Assessment Office, Room 2600, City Hall, 301 King Street or online at [www.alexandriava.gov/city/realestate](http://www.alexandriava.gov/city/realestate).

## **BOARD OF ZONING APPEALS PROCESS**

### **PUBLIC HEARINGS – BOARD OF ZONING APPEALS**

The Board of Zoning Appeals meets on the second Monday of each month in the City Council Chambers, City Hall, at 7:00 P.M. Meeting dates should be verified by the applicant prior to the hearing as they are subject to change. **The applicant or a representative must attend the meeting.**

### **DEFINITION OF VARIANCE, Code of Virginia § 15.2-2201**

"Variance" means, in the application of a zoning ordinance, a reasonable deviation from those provisions regulating the shape, size, or area of a lot or parcel of land or the size, height, area, bulk, or location of a building or structure when the strict application of the ordinance would unreasonably restrict the utilization of the property, and such need for a variance would not be shared generally by other properties, and provided such variance is not contrary to the purpose of the ordinance. It shall not include a change in use, which change shall be accomplished by a rezoning or by a conditional zoning.

### **STANDARDS FOR VARIANCE, Code of Virginia § 15.2-2309**

The Board of Zoning Appeals may grant a variance if the evidence shows that the strict application of the City's Zoning Ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance, and the following criteria are met:

- i. The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance;
- ii. The granting of the variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area;
- iii. The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance;
- iv. The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property;
- v. The relief or remedy sought by the variance application is not available through a special exception process that is authorized in the ordinance pursuant to subdivision 6 of § [15.2-2309](#) or the process for modification of a zoning ordinance pursuant to subdivision A 4 of § [15.2-2286](#) at the time of the filing of the variance application

### **EFFECTIVE PERIOD OF VARIANCE**

Any variance granted by the Board of Zoning Appeals is valid for a period of one year from the date the variance is approved. If no construction or operation has commenced within one year from the date of approval, the variance becomes null and void.

**APPEAL OF THE BOARD OF ZONING APPEALS DECISION**

Any person jointly or severally aggrieved or affected by a decision of the Board of Zoning Appeals may appeal such decision by filing a petition in the Circuit Court of the City. The petition shall set forth the alleged illegality of the Board's action, and shall be filed within 30 days from the date of the decision of the Board.

**RECONSIDERATION OF AN APPLICATION**

If an application for a variance is denied, the Board of Zoning Appeals shall not consider an application for the same variance on the same site again for one year unless the new application differs in a substantial and material way from the old one, in which case it may be reconsidered after six months.

**For assistance with any of these procedures or processes, please call the  
Department of Planning and Zoning at 703-746-4333.**



APPLICATION  
BOARD OF ZONING APPEALS

VARIANCE

Section of zoning ordinance from which request for variance is made:

PART A

1. Applicant:  Owner  Contract Purchaser  Agent

Name Patrick & Maryam Jansen

Address 1015 Duke St.

Daytime Phone 571-225-7947

Email Address PATRICK@JANSENPAULBA.COM, MARYAMSOROUSH1@gmail.com

2. Property Location 1015 Duke St.

3. Assessment Map # \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_

4. Legal Property Owner Name Impassive Home Solutions Group LLC

Address 6631 Old Dominion Dr.  
Norfolk, Va 22101

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Patrick Jansen	1015 Duke St.	50%
2.	Margan Jansen	1015 Duke St	50%
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Patrick Jansen	1015 Duke St	50%
2.	Margan Jansen	1015 Duke St	50%
3.			

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review (OHAD and Parker-Gray). **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity below and "NONE" in the corresponding fields.)**

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	N/A		
2.			
3.			

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

5. Describe request briefly:

Asking for a variance for Open Space.  
Request of Commercial zoning to change to C2 Residential.

6. If property owner or applicant is being represented by an authorized agent,

such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- Yes — Provide proof of current City business license.
- No — Said agent shall be required to obtain a business prior to filing application.

**THE UNDERSIGNED HEREBY ATTESTS** that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

I, as the applicant or authorized agent, note that there is a fee associated with the submittal of this application. Planning & Zoning Department staff will be in contact with the applicant regarding payment methods. Please recognize that applications will not be processed until all fees are paid.

Yes  No I affirm that I, the applicant or authorized agent, am responsible for the processing of this application and agree to adhere to all the requirements and information herein.

Printed Name: *Patrick Jansen*

Date: *11/4/20*

Signature: *[Handwritten Signature]*

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

**2300Part B**

**Applicant must explain the following.**

**1 A**

**Explain how enforcement of the zoning ordinance would prevent reasonable use of the property.**

1015 Duke st was originally constructed for residential use and had been for over 85 years. The vast majority of the homes, 9 out of 12 homes are residential. Granting the variance would promote conformity and achieve parity on the block. To enforce the zoning ordinance would unfairly and unreasonably prevent 1015 Duke st to be used in the same manner as its similar situated neighbors. This would not allow us to live in the home.

**1B.**

**Explain how the variance, if granted would alleviate a hardship, as defined above.**

If the variance was granted, this would allow us to move into the home.

**2 Is this reasonable restriction or hardship unique to the property?**

No, other homes have the same issue and have been issued variances. Examples: 1017 Duke st. Has no Open space at all. Please see picture attached. The house is residential and was allowed not to have any open space. 1011 Duke st, does not meet the 40% requirement and was issued a variance. Other homes are similar. Our footprint has one of the best Open Space ratios on the street.

**2a Explain if the restriction or hardship is shared by other properties in the neighborhood.**

Yes, most neighbors on this street have this hardship, they do not meet the 40% Open Space rule, but have been granted a variance.

**2B Does this situation or condition of the property (on which this application is based) generally apply to other properties in the same zone?**

Yes, this applies to the entire street.

**3 Was the unreasonable restriction or hardship caused by the applicant?**

Unknowingly Yes. When the FAR was calculated, the FAR's implanted calculations are incorrect. If the calculations where correct, we would of changed the design to accommodate for the Open Space variance and zoned it CL residential.

**3 A Did the condition exist when the property was purchased?**

No.

**3 B Did the applicant purchase the property without knowing of this restriction or hardship?**

Yes.

**3 C How and when did the condition which created the unreasonable restriction or hardship first occur?**

When the FAR incorrectly calculated the FAR and Open Space.

**3 D Did the applicant create the unreasonable restriction or hardship and if so, how was it created?**

When the FAR incorrectly calculated the FAR and Open Space.

**4 Will the variance, if granted be harmful to others?**

No, most of the homes in the block are residential. 8 out of the 11 houses are residential. One is an apartment building and the other two are commercial spaces (including property in question).

**4 A Explain if the proposed variance will be detrimental to the adjacent properties or the neighborhood in general.**

No, both properties on either side are residential.

**4B has the applicant shown the proposed plans to the most affected property owners? Have these property owners written statement of support or opposition of the proposed variance? If so, please attach statements or submit at the time of the hearing.**

Yes, The addition has been built. I am in the process of obtaining letters from the neighbors.

**5 is there any other administration or procedural remedy to relieve the hardship or unreasonable restrictions?**

There is enough Open Space if you just calculate the square footage on the raw/existing land but because of the city restrictions, these area are not counted. I don't understand why.

The restrictions are as follows:

1. you cannot count the side yard (less than 8x8 sq ft) 9 out of the 11 homes on this block have small side yards
2. Cannot convert the unusable portion of the driveway into open space.

**Part C**

1. **Have alternative plans or solutions been considered so that a variance would not be needed? Please explain each alternative and why it is unsatisfactory?**

Yes, the alternative plan is to consider the raw or true open space. This will provide over 110 sq ft of additional open space. Please see the survey attached. This is unsatisfactory because any space below 8'X8' is not considered open space and I am understanding that an open space cannot be created in a parking space, even if that space is unusable.

2. **Please provide any other information you believe demonstrates that the requested variance meets the required standards.**

The open space does not meet the requirements.

Dear members of the Board of Zoning Review,

Back in January of 2019, we applied for an addition on 1015 Duke St and it was approved. Before applying, we worked with our Architect, Salvatore Bendenga, and the city staff members from the architectural as well as zoning departments to see how we would utilize this property as it was zoned commercial CL. After reviewing all of the FAR and Open Space requirements, it was clear that we could not build what we originally would have liked, a residential property. Per the FAR sheet, the calculations determined that we could only build around 10 additional sq ft. Since most of our work is in the City of Alexandria, we decided to purchase the property with the intent to use it as a showroom/office space and we kept the commercial zoning.

Our decision was based on the FAR and Open Space requirements. Our Architect, Salvatore worked with staff members to calculate the FAR and Open Space requirements. After we reviewed the requirements and calculations, we could not extend the house because the FAR and Open Space calculations fell short of the required 40% of Open Space and 75% of FAR. Just recently, I noticed that the FAR and Open Space calculations are incorrect. The FAR and Open Space calculation sheet erroneously adds FAR space to the calculation if "Proposed Open Space" is added. Yes, these are two totally separate calculations and are calculated incorrectly on the city provided document. If the FAR document was filled out without errors, it shows that we would have had plenty of Floor space available to build a house and would have worked with the city staff to correctly have enough Open Space or would have applied for a variance for minimal open space. Because of this error, we did not have the ability to make the correct decision. Due to this error, we are requesting a variance on the open space requirements and to convert the property to residential. As you can see in the attached pictures, 1015 has the most open space on the block. All of the other homes except one have more than exceeded the open space requirements. The house next to us, 1017, which is residential has "0" open space. We built a modest addition and tried to put as much green space as we could. See attached pictures.

I also understand that for Open space purposes, spaces that are less than 8 ft by 8 ft are not counted but this excludes a large portion of the open space especially since the City of Alexandria is full of row houses which are long and thin and have legitimate alley ways in between them. 9 out of the 12 houses on our block have these small side yards. Is there a reason that this law exists? or is it obsolete? If we were to consider the side yard, deck area, and part of the unused driveway (121.5+40+227), we would have more than enough space. We would have a total of 1,067 sq ft of open space and 40% of our total lot sq footage is 929.2. Our driveway is designated for 2 parking spaces but has enough room for a third space or an additional 227 sq ft. This space is not used because it's in front of the gate and the 1017 neighbors' meters are on the side of the house. There should be some law that takes these legitimate items into

consideration. From the beginning we anticipated repaving the driveway because it was cracked and crumbling. We could of added open space when we removed the old cracked cement and repaved the driveway.



# PROPERTY OWNER LIST BOARD OF ARCHITECTURAL REVIEW

1015 Duke St.  
SUBJECT ADDRESS

074.01 - 08 - 17  
TAX ASSESSMENT MAP NUMBER

Adjoining property owner names and addresses can be obtained by visiting the City website at [www.alexandriava.gov](http://www.alexandriava.gov) and following the link to Real Estate Assessments, or by visiting the Office of Real Estate Assessments at City Hall, 301 King Street, Room 2600.

ADJOINING PROPERTY OWNER  
NAME & MAILING ADDRESS

TAX ASSESSMENT  
MAP NUMBER

Property Address	1011 Duke St.	<u>074.01-08-16</u>
Owner Name	Steven Saunders	
Mailing Address	1015 Duke St.	
City, State, Zip	Alexandria, Va	

Property Address	1017 Duke St.	<u>074.01-08-18</u>
Owner Name	Helena Choi	
Mailing Address	1017 Duke St.	
City, State, Zip	Alexandria, Va	

Property Address	220 S Henry St.	<u>074.01 - 08 - 22</u>
Owner Name	Coal Yard LLC	
Mailing Address	315 Vassar Rd.	
City, State, Zip	Alexandria, Va.	

Property Address	211 S Patrick St.	<u>074.01 - 08 - 08</u>
Owner Name	Thomas Fannon Jensen	
Mailing Address	PO Box 509	
City, State, Zip	Alexandria, Va 22313	

<b>Property Address</b>	207 S Patrick St.	
<b>Owner Name</b>	Virginia Tech Foundation	074.01-08-06
<b>Mailing Address</b>	<del>Centerville</del> 3914 Centerville Rd. #906	
<b>City, State, Zip</b>	Chandlily, Va 20151	

<b>Property Address</b>	1020 Duke St.	
<b>Owner Name</b>	1020 Duke St.	074.01-14-02
<b>Mailing Address</b>	6201 Hillvale Pl.	
<b>City, State, Zip</b>	Alexandria, Va 22307	

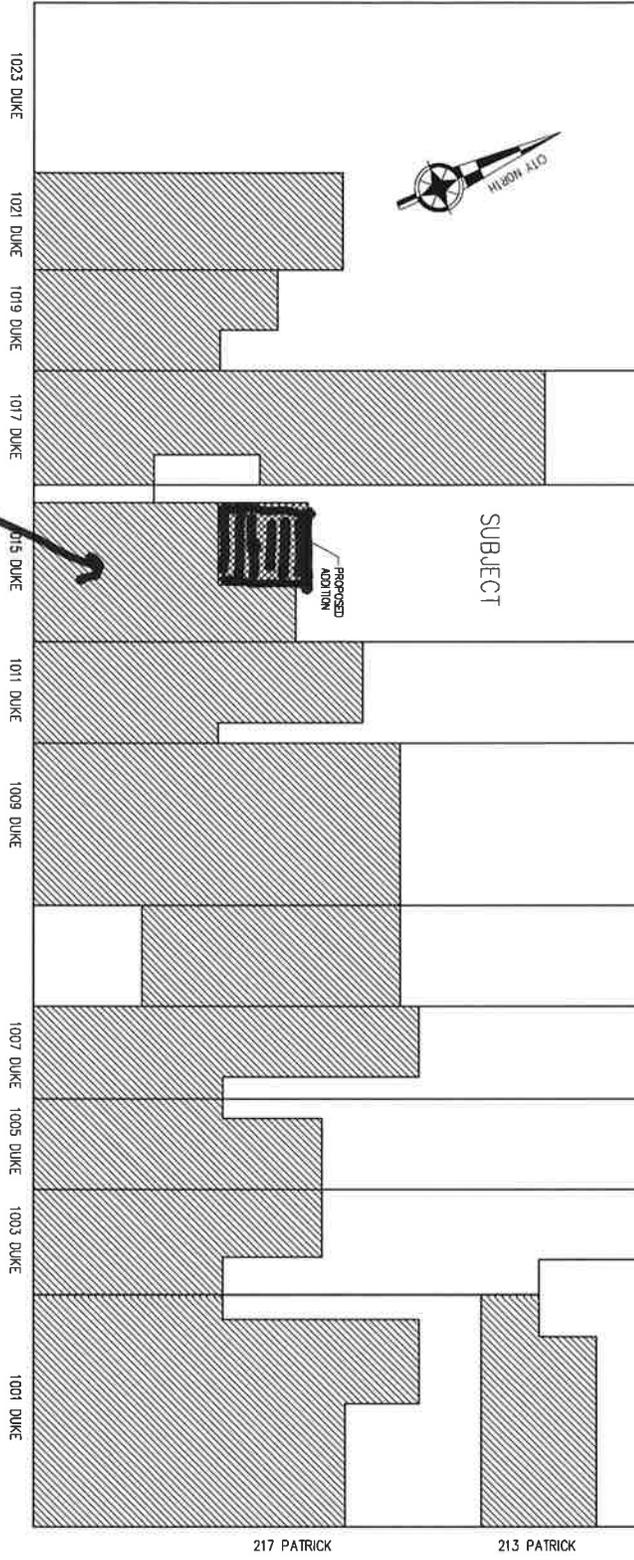
<b>Property Address</b>	1018 Duke St.	
<b>Owner Name</b>	American Society for Horticultural Science	074.01-14-03
<b>Mailing Address</b>	1018 Duke St.	
<b>City, State, Zip</b>	Alexandria, Va 22313	

<b>Property Address</b>	1016 Duke St.	
<b>Owner Name</b>	American Assoc. of Port Authorities	074.01-14-04
<b>Mailing Address</b>	1010 Duke St.	
<b>City, State, Zip</b>	Alexandria, Va 22314	

<b>Property Address</b>		
<b>Owner Name</b>		-----
<b>Mailing Address</b>		
<b>City, State, Zip</b>		

**NOTE:** Applicant to return this copy at least 5 days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.

S HENRY STREET



MAKELEY ALLEY

S PATRICK STREET

1015

**A** PROPOSED BLOCK PLAN  
 SCALE: 1" = 20'

1015



1011

1017 (0% open space)

Most homes Do not meet the 40%  
Open space Rule.



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

## A. Property Information

A1. 1015 Duke St. Street Address R-20 Zone

A2. 2,323 Total Lot Area x .75 Floor Area Ratio Allowed by Zone = 0.00 1,742.25 Maximum Allowable Floor Area

## B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		B1. <input type="text" value="0.00"/> Sq. Ft.
First Floor		Stairways**		Existing Gross Floor Area*
Second Floor		Mechanical**		B2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. <input type="text" value="0.00"/> Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck		Lavatory***		<b>Comments for Existing Gross Floor Area</b> <div style="border: 1px solid gray; height: 40px; width: 100%;"></div>
Lavatory***		Other**		
Other**		Other**		
<b>B1. Total Gross</b>	<input type="text" value="0.00"/>	<b>B2. Total Exclusions</b>	<input type="text" value="0.00"/>	

## C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		C1. <input type="text" value="0.00"/> Sq. Ft.
First Floor		Stairways**		Proposed Gross Floor Area*
Second Floor		Mechanical**		C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. <input type="text" value="0.00"/> Sq. Ft.
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck		Lavatory***		<b>Notes</b> *Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.  ** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.  ***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.
Lavatory***		Other**		
Other		Other**		
<b>C1. Total Gross</b>	<input type="text" value="0.00"/>	<b>C2. Total Exclusions</b>	<input type="text" value="0.00"/>	

## D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

## E. Open Space (RA & RB Zones)

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

13

Date: 11/6/20

**\*\*\*ATTENTION APPLICANTS\*\*\***

**At the time of application for a Special Use Permit, Rezoning, Vacation, Encroachment, Variance, Special Exception or Subdivision, you must provide a draft of the description of your request you intend to use in the property owner's notice. You must be thorough in your description. Staff will review the draft wording to confirm its completeness.**

**The example illustrates a detailed description:**

**"Variance to construct a two-story addition in the required side yards on \_\_\_\_\_ Street."**

**If you fail to submit draft language at the time of the application filing deadline, the application will be determined to be incomplete and may be deferred by staff.**

**PROPERTY OWNER NOTIFICATION**

**PROPERTY OWNER NOTIFICATION:** Applicants must send written notice to all adjoining and facing property owners; notices must be sent by certified or registered mail **at least ten days** prior to the Board of Zoning Appeals public hearing (not counting the date of the hearing) and **not more than 30 days** prior to the hearing. Applicants may use the notice form supplied with the application forms. In the event the application is deferred, notification shall be given again.

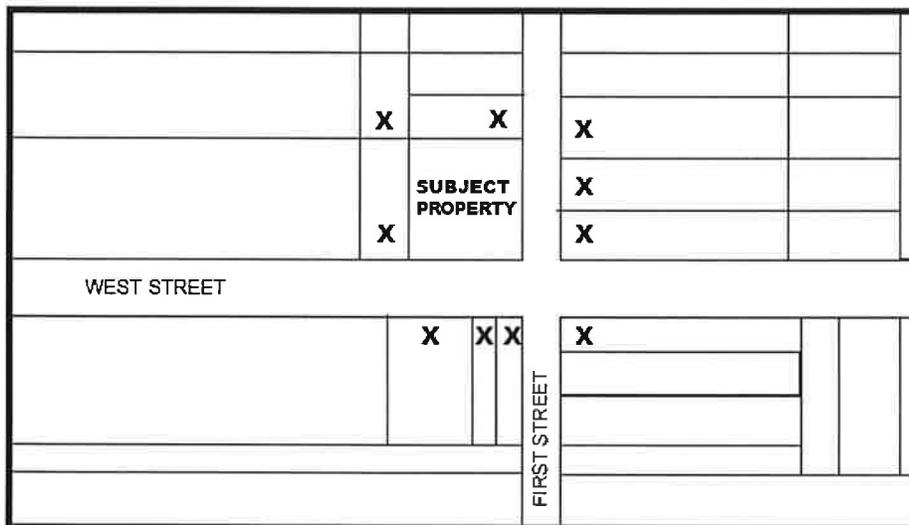
The following notice documents must be submitted to the Department of Planning and Zoning no later than **five calendar days** prior to the public hearing:

1. a copy of the notice letter sent
2. a list of the names and addresses of those persons to whom notice was sent
3. a copy of the post office receipts for the certified or registered mail
4. "Certification of Notice" form found at the back of this application.

**Failure to send accurate or correct notices will result in deferral of the application to a later hearing date.** Property ownership information is to be obtained from the City Real Estate Assessment Office, Room 2600, City Hall, 301 King Street or online at [www.alexandriava.gov/city/realestate](http://www.alexandriava.gov/city/realestate).

**Example diagram of adjoining property owners**

**X = Property owners to be notified**



Sketch showing subject site and property owners to be notified pursuant to Article XI, Section 11-300 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia. This is a sample sketch only and is not to be used as a final authority when sending notice if in doubt, it is advisable to provide notice to additional properties. Contact staff at 703-746-4333 for assistance regarding notice.

**NOTE: If inadequate notice is given, the request cannot be heard and will be deferred.**

**ZONING ORDINANCE ARTICLE XI,  
SECTION 11-300  
NOTICE OF PUBLIC HEARINGS**

**SECTION 11-301**

**Required Notice:** Except as provided by Section 11-302, written notice, placard notice and newspaper notice shall be given before each public hearing by Planning Commission, City Council, Board of Zoning Appeals, Subdivision Committee or Board of Architectural Review.

**A) Written Notice:** The applicant shall send by certified or registered mail written notice at least ten and no more than 30 days prior to the hearing. Restricted delivery or return receipt is not required.

**1) Recipients of Written Notice:** Written notice shall be sent to the property owner, if different from the applicant, and to the owners of all abutting properties. In the case of a condominium, written notice may be mailed or delivered to the president of the board of the condo owner's association instead of to each individual unit owner.

**2) Contents of Written Notice:** Written notice shall contain the following information:

(a) the time, date and place of all hearings scheduled; and

(b) a description of the matter being heard, including the tax map number of the property and the complete street address of the property.

**B) Placard and Newspaper Notice:** The City staff will provide placard notice and newspaper advertisement. After the public hearing, the applicant may remove and discard the placard(s), or staff will remove the placard within seven days after the hearing.

**\*\*\*Applicant to mail this notice by certified or registered mail to adjoining and abutting property owners between 30 and 10 days prior to the hearing.\*\*\***



**NOTICE OF PUBLIC HEARINGS**

**BOARD OF ZONING APPEALS**

Dear Property Owner:

You are hereby notified of the following public hearing to be held by the Board of Zoning Appeals on the issues described below.

**BOARD OF ZONING APPEALS PUBLIC MEETING DATE:** \_\_\_\_\_

**AT  
7:00 PM, CITY HALL  
301 KING STREET  
COUNCIL CHAMBERS, SECOND FLOOR  
ALEXANDRIA, VIRGINIA 22314**

**ISSUE DESCRIPTION:**

*Provide Open Space Variance & Rezone to  
C1 Residential.*

**PROPERTY ADDRESS:** 1015 Duke St.

**TAX ASSESSMENT MAP NUMBER:** Map \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

As a citizen and party of interest, you are invited to attend the meetings and express your views concerning the above issue. If you have any questions regarding the request, you can reach me at 571-225-7947.

Sincerely,

*[Handwritten Signature]*  
Applicant Signature

Patrick Jansen  
Applicant Printed Name

**NOTE:** Applicant to return all notice documents at least 5 days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.



**CERTIFICATION OF NOTICE**

**BOARD OF ZONING APPEALS**

- SPECIAL EXCEPTION
- VARIANCE
- APPEAL

**TO: DIRECTOR OF PLANNING AND ZONING  
301 KING STREET, ROOM 2100  
ALEXANDRIA, VIRGINIA 22314**

Article XI, Section 11-301(A)(3), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia states:

At least five days prior to the hearing, the applicant shall supply the director with the following notice documents:

1. a copy of the notice sent
2. a list of the names of those persons to whom notice has been given
3. copies of the post office receipts for registered or certified mail
4. a certification statement that notice has been sent by certified or registered mail to those to whom notice is required to be given.

The applicant shall use the records and maps maintained by the city's office of real estate assessments to determine the proper recipients of notice and reliance upon such records shall constitute compliance with the requirements of this section 11-301(A).

The undersigned hereby certifies that the notice to adjoining property owners (copy attached), as required pursuant to Article XI, Section 11-301(A)(3) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia, was sent to the attached list of property owners concerning the following issue on (DATE) \_\_\_\_\_.

**PROPERTY ADDRESS:** 1015 Duke St.

**ISSUE DESCRIPTION:**  
Variance on Open Space.

[Signature]  
Signature

Patrick Jansen  
Print Name

571-225-7947  
Telephone

11/6/20  
Date

**NOTE:** Applicant to return all notice documents at least 5 days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.



Gregg Fields  
Director

DEPARTMENT OF CODE ADMINISTRATION  
301 King Street  
Room 4200  
Alexandria, Virginia 22314

Phone (703) 746-4200  
Fax (703) 549-4589  
alexandriava.gov

April 13, 2021

Colonel William Carle USAF, Ret.  
1017 Duke Street  
Alexandria Virginia 22314

RE: 1015 Duke Street Addition

Mr. Carle,

First, I want to say thank you sincerely for your service to our country. I have great respect for fellow Veterans, and enjoyed our conversation regarding your service history. Our team has investigated your concerns related to the construction project at 1015 Duke Street and thank you for bringing them to our attention. We appreciate and understand your position. We apologize for the delay in responding as we conducted an in-depth review of all information available for compliance with the Uniform Statewide Building Code. We provide the following response to the issues raised in your communications to Mayor Wilson and to our office.

No Excavation Permit- No separate excavation permit is required to excavate, as the work was part of an active construction site under a valid permit. Notification should have been provided by the owner to the adjacent owners and we find no evidence that it was provided.

Underpinning was not fully inspected - All inspections of the basement underpinning were performed by staff and or approved by a registered design professional engineer licensed in Virginia as required.

Wall Check Survey vs. Physical Measurement of Exterior Wall - A wall check survey (as required by Planning and Zoning) was performed by a registered professional surveyor/engineer. Planning and Zoning received the wall check and it has been accepted. The wall check indicates that the wall is at 3.1 feet from the property line. No other survey has been provided to refute this information.

Damage to 1017 Duke Foundation - In reference to comments related to your foundation, we reviewed the photographs that were graciously provided, and they do not support the position that your foundation was undermined or damaged. While excavation did occur adjacent to your foundation wall, there is no indication that excavation occurred at or below the level of your footing. There is no specific evidence of foundation damages presented that would be in violation and our inspection team never witnessed any damages to your foundation while on site. We also reviewed the engineering report provided by Deska Services. Most of the information contained in this document was answered in the site visit and response from Transportation and Environmental Services, as it relates to how site water is handled. Regarding the foundation comments, the engineer qualified his recommendations to add waterproofing to the existing foundation by including that the recommendations: *are limited to the condition of the structure at the time of the evaluation and are opinions based on visual evidence of*

*readily accessible areas.* However, the foundation was not visible at the time of his site visit as the backfill was already in place. Further, no complete waterproofing nor dampproofing method appears to have existed.

Water in 1017 Duke Crawlspace -During our conversations you stated that your unfinished crawlspace did have water in April 2020 and again in August of 2020. The incident in April appears to coordinate with the timeframe in which the contractor continuously discharged the sump water directly against your foundation wall. We believe this was the reason for the water intrusion into your crawlspace. We understand that when the sump discharge location was corrected, the water intrusion was abated. While we don't know the nature or extent of the water found in August, you stated that there have been no leaks since that time (August 2020). On March 2, 2021 you confirmed the above again during our site visit and the area was dry during our visit. Therefore, given the information provided, we find no violations of the Virginia Uniform Statewide Building Code at this time. Please notify us if the leak were to return.

The Department of Transportation and Environmental Services (TES) responded to your concerns related to the sump discharge and roof and rear yard surface water. They approved the solution provided.

All matters dealing with contractors licensing is regulated by the Virginia Department of Occupational Regulation (DPOR) in cooperation with the City. We are looking into the issues of contractor licensing and will forward any findings to DPOR for disposition.

Let me assure you that we objectively reviewed this case in preparing this response.

Respectfully,

A handwritten signature in black ink, appearing to read 'Gregg Fields', with a stylized, somewhat abstract flourish at the end.

Gregg Fields  
Director

cc: Chris Evans, Deputy Director, Code Administration

# City of Alexandria, Virginia

---

## MEMORANDUM

DATE: MAY 4, 2021

TO: PLANNING COMMISSIONERS

FROM: KARL W. MORITZ, DIRECTOR  
DEPARTMENT OF PLANNING & ZONING

SUBJECT: 1015 DUKE STREET SUP2020-00106 BACKGROUND CLARIFICATIONS

---

A letter was submitted to the Planning Commission on Wednesday, April 28 by Minturn Wright, an attorney representing William Carle and Helena Choi (residents at 1017 Duke Street) and Kumar Patel (resident at 1011 Duke Street). The letter focused on the fact that Patrick Jansen, the applicant for SUP2020-00106 and property owner of 1015 Duke Street, was aware that the addition done to his building in 2019 would result in the property being restricted to commercial use.

Staff would like to provide some additional history on the property and clarify a few points made in the letter.

The CL zone allows both residential and commercial uses, but in order to use a property residentially the property must comply with the area and bulk requirements. On December 10, 2018, the then-property owners Maureen and Steven Saunders requested and were approved for a variance at 1015 Duke Street from the required front yard setback to revert the building from commercial to residential. The lot and building at 1015 Duke Street complied with all other CL zone and parking requirements for a dwelling.

On December 17, 2018, Patrick Jansen, as a contract purchaser for 1015 Duke Street, submitted an application to the Board of Architectural Review (BAR) requesting approval for a rear addition. The case was heard on January 16, 2019 and the BAR approved the rear addition, which complied with the CL area and bulk requirements for a commercial use. The staff report included a zoning comment that stated “the building will continue to be used commercially. The proposed addition will negate the recent variance [from December 10, 2018] which approved a reduction to the required front yard setback if the building was to be used residentially. While open space is not required for commercial uses, the proposed addition would reduce the required open space for a residential use beyond what is required.” Patrick Jansen said on record during

the meeting that he understood the zoning comments to mean the building would have to remain commercial.

It is important to clarify that the zoning comments did not mean that the BAR's approval had a condition stating that the property could never again be used residentially, just that the addition would result in the property being deficient in the open space required for residential use. Because the addition decreased the open space below the require 929.28 square feet, the applicant lost his by-right ability (per Section 12-101(B)) to revert to residential, which is why he now needs the SUP to revert to residential. Therefore, the 2019 addition did negate the December 2018 BZA variance approval, but the 2019 addition did not remove the applicant's ability to apply for future SUPs, variances, or special exceptions for the residential reversion of the property.

Despite this property's complex case background, staff still recommends approval of this SUP as the request is straight-forward and consistent with similar residential reversions the City has approved in recent years. For example, in 2019, SUP2018-00104 was approved for 1011 Duke Street, next door to the subject property. That SUP allowed for a one-space parking reduction, a front setback modification to allow for 0.70-foot setback, lot size and frontage modifications, and a modification to allow for 16.3% open space instead of 40% open space.

In response to other points introduced in Mr. Wright's letter, a building permit for the rear addition was issued on June 24, 2019. BAR staff has confirmed the rear addition matches what was approved by the BAR, including the windows mentioned in Mr. Wright's letter.

Extensive communication has happened between William Carle and City staff; a letter dated April 13, 2021 from Greg Fields, Code Administration Director, to Mr. Carle outlining some of this communication was submitted to the Planning Commission on Thursday, April 29, 2021. Code Administration and Transportation and Environmental Services staff have investigated the complaints that Mr. Carle has filed against Mr. Jansen and have found there was no proof of damage to the foundation at 1017 Duke Street, a separate excavation permit was not required, a wall check was submitted, the underpinning was inspected, the sump pump is discharging to the correct location and they found no violations of the Virginia Uniform Statewide Building Code.

Lastly, staff confirmed that the applicant met the BAR notification requirements of BAR2019-00571/00579, as a United States Postal Service Certified Mail receipt was submitted showing notification was sent to the neighbor at 1017 Duke Street.

As a follow-up to a commissioner's question during last week's briefings, staff has reviewed the Floor Area Plans again and found the property is below the maximum net 0.75 FAR allowed for the property.