

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Harry Frazier Jr. Roofing and Sheet Metal LLC

LOCATION: Old and Historic Alexandria District
104 Queen Street

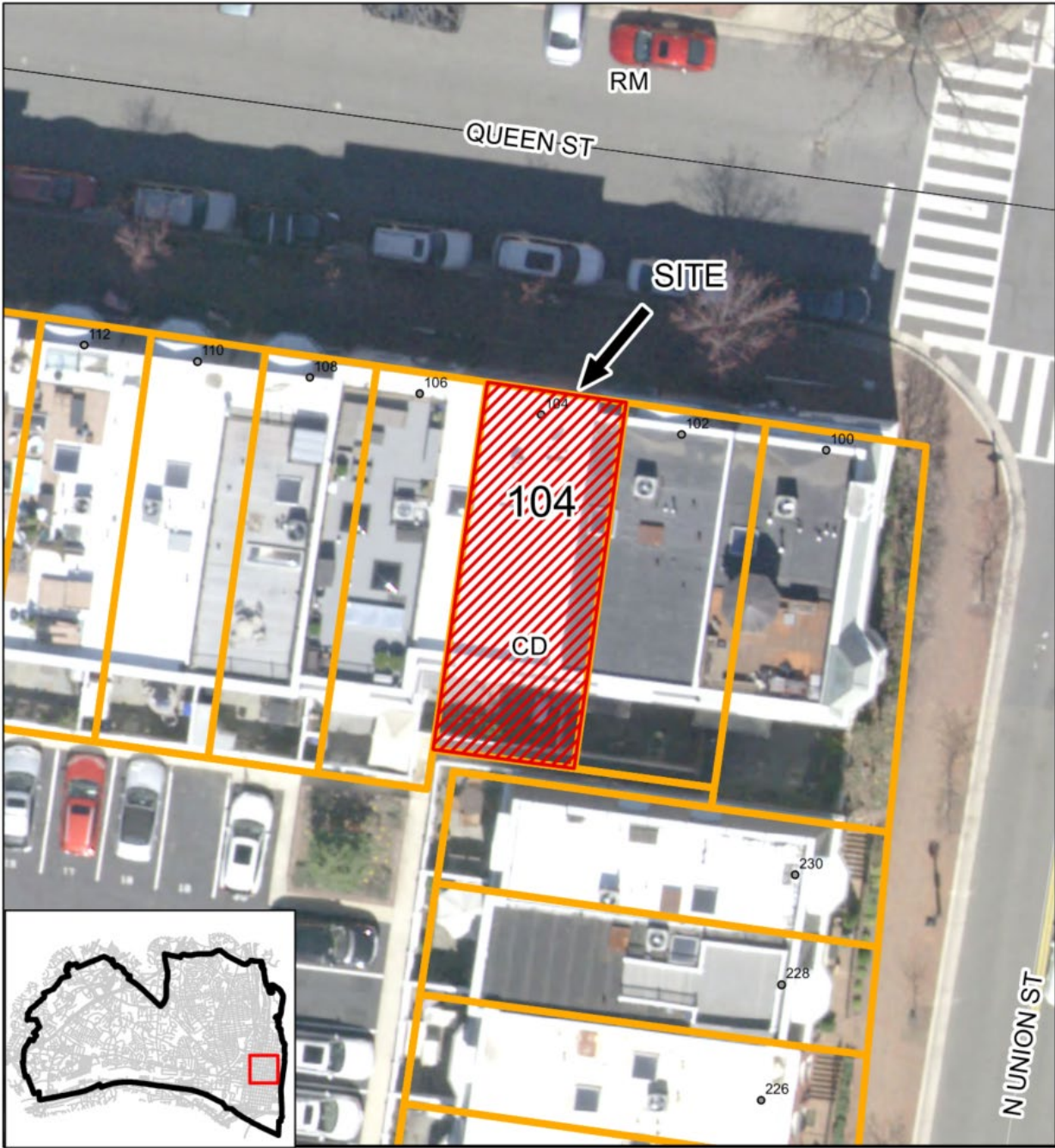
ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

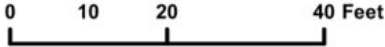
Staff recommends approval of the Certificate of Appropriateness for alterations as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00196
104 Queen Street



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to add a roof deck, at 104 Queen Street. The applicant proposes to install a 42" tall aluminum railing along the interior side of the existing building parapet in order to use the roof as an occupiable roof deck. Access to the roof will be through the existing roof hatch and no additional modifications will be made to the existing roof.

II. HISTORY

The Queen's Row townhouse project was approved by the Board on May 7, 1997 (BAR Case #97-0092). Queen's Row is a cluster of 25 townhouses of varying style and material with a parking garage bounded by North Union Street, Thompson's Alley, North Lee Street, and Queen Street. The site is surrounded by a combination of office, retail, and residential uses.

Previous BAR Approvals

BLD 2017-0424 – Replace existing roof with new TPO roof. This work did not require BAR approval because it was not visible from the public right of way.

III. ANALYSIS

The *Design Guidelines* state that the decks should not hide, obscure, or cause the removal of historic architectural details. The proposed project complies with these guidelines; as noted above, this house does not have historic architectural details. Additionally, the height of the building and the existing parapet will make the proposed railing only minimally visible from the public right of way (Figure 1). The proposed railings will extend approximately 6" above the existing parapet.



Figure 1: View of proposed railing from Queen Street

The Board has generally preferred cable railings for roof decks because this type of railing has less of a visual impact on the existing building than other types of railings. The Board has also not typically approved the use of aluminum railings where they are clearly visible from the public right of way because the joinery and other details do not recall the metal railings found on buildings throughout the historic district. In this case, staff finds that due to the limited visibility of the proposed aluminum railings they will not detract from the architecture of the building,

It should be noted that the Board has approved a number of rooftop decks with associated railings in this area. Several of these roof decks include the addition of rooftop structures and other features that have more of an impact on the existing building design than the proposed railing. These previously approved roof decks include the following:

100 Queen Street – BAR 2009-00171
105 Queen Street – BAR 2021-00457
111 Queen Street – BAR 2000-00106

Given the limited visibility of the proposed railing and the presence of railings on nearby structures of a similar age and design, staff recommends approval of the Certificate of Appropriateness for alterations as submitted.

STAFF

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed new railing will comply with zoning

C-2 Proposed railings allowed to be up to 3’ in height as it is considered to match existing parapet walls. No additional height can be approved.

C-3 For the building permit zoning staff will need to see elevation drawings to show the proposed railings will meet the conditions in this comment sheet.

C-4 Applicant will need to provide documentation and plans to meet requirements of zoning and code.

F-1 2-154(E) (E) In the case of a flat roof with a parapert wall which is three feet in height or less, the highest point shall be the roof line.

Code Administration

C-1 Building permit is required for review.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No Archaeology oversight necessary for this undertaking.

V. ATTACHMENTS

I – Application Materials

- Completed application
- Plans (included in application)

- Material specifications (included in application)
- Photographs (included in application)

2 – Supplemental Materials

- Public comment if applicable
- Any other supporting documentation

ADDRESS OF PROJECT: 104 Queen St

DISTRICT: Old & Historic Alexandria Parker - Gray 100 Year Old Building

TAX MAP AND PARCEL: 065-03-08-46 ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: HARRY FRAZIER JR Roofing + Sheetmetal LLC

Address: PO BOX 3125

City: STAFFORD State: VA Zip: 22555

Phone: 703-519-3520 E-mail: HDFRooFing@AOL.com

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Heidi + ARUN SARNA

Address: 104 Queen St

City: ALEXANDRIA State: VA Zip: 22314

Phone: 717-454-6737 E-mail: Heidi@heidisARNA.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Instal ROOF Top RAILING AROUND INSIDE ROOF PARAMETER

SUBMITTAL REQUIREMENTS:

- Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Harry Frazier Jr*
 Printed Name: HARRY FRAZIER JR
 Date: 5/17/2024

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. HARRY FRAZIER	104 QUEEN ST	0
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Heidi + ARUN SARNA	104 QUEEN ST	OWNERS 100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

5/17/24 HARRY FRAZIER *Harry Frazier*
Date Printed Name Signature



Department of Planning and Zoning
 Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 104 Queen ST Street Address Zone _____
 A2. 800 Sq FT Total Lot Area x _____ Floor Area Ratio Allowed by Zone = 0.00
 _____ Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement		Basement**		B1. <u>0.00</u> <u>800 Sq FT</u> Existing Gross Floor Area* Sq. Ft.
First Floor		Stairways**		B2. <u>0.00</u> Allowable Floor Exclusions** Sq. Ft.
Second Floor		Mechanical**		B3. <u>0.00</u> Existing Floor Area Minus Exclusions (subtract B2 from B1) Sq. Ft.
Third Floor		Attic less than 7***		
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other**	<u>Roof top</u>	Other**		
B1. Total Gross	<u>0.00</u> <u>800 Sq FT</u>	B2. Total Exclusions	<u>0.00</u>	Comments for Existing Gross Floor Area <u>Roof Top</u> <u>20x40</u>

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. <u>0.00</u> Proposed Gross Floor Area* Sq. Ft.
First Floor		Stairways**		C2. <u>0.00</u> Allowable Floor Exclusions** Sq. Ft.
Second Floor		Mechanical**		C3. <u>0.00</u> Proposed Floor Area Minus Exclusions (subtract C2 from C1) Sq. Ft.
Third Floor		Attic less than 7***		
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other	<u>Roof Top</u>	Other**		
C1. Total Gross	<u>0.00</u> <u>800 Sq FT</u>	C2. Total Exclusions	<u>0.00</u>	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 0.00 800 Sq FT Sq. Ft.
 Total Floor Area (add B3 and C3)

D2. 0.00 Sq. Ft.
 Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 800 Sq FT Sq. Ft.
 Existing Open Space

E2. _____ Sq. Ft.
 Required Open Space

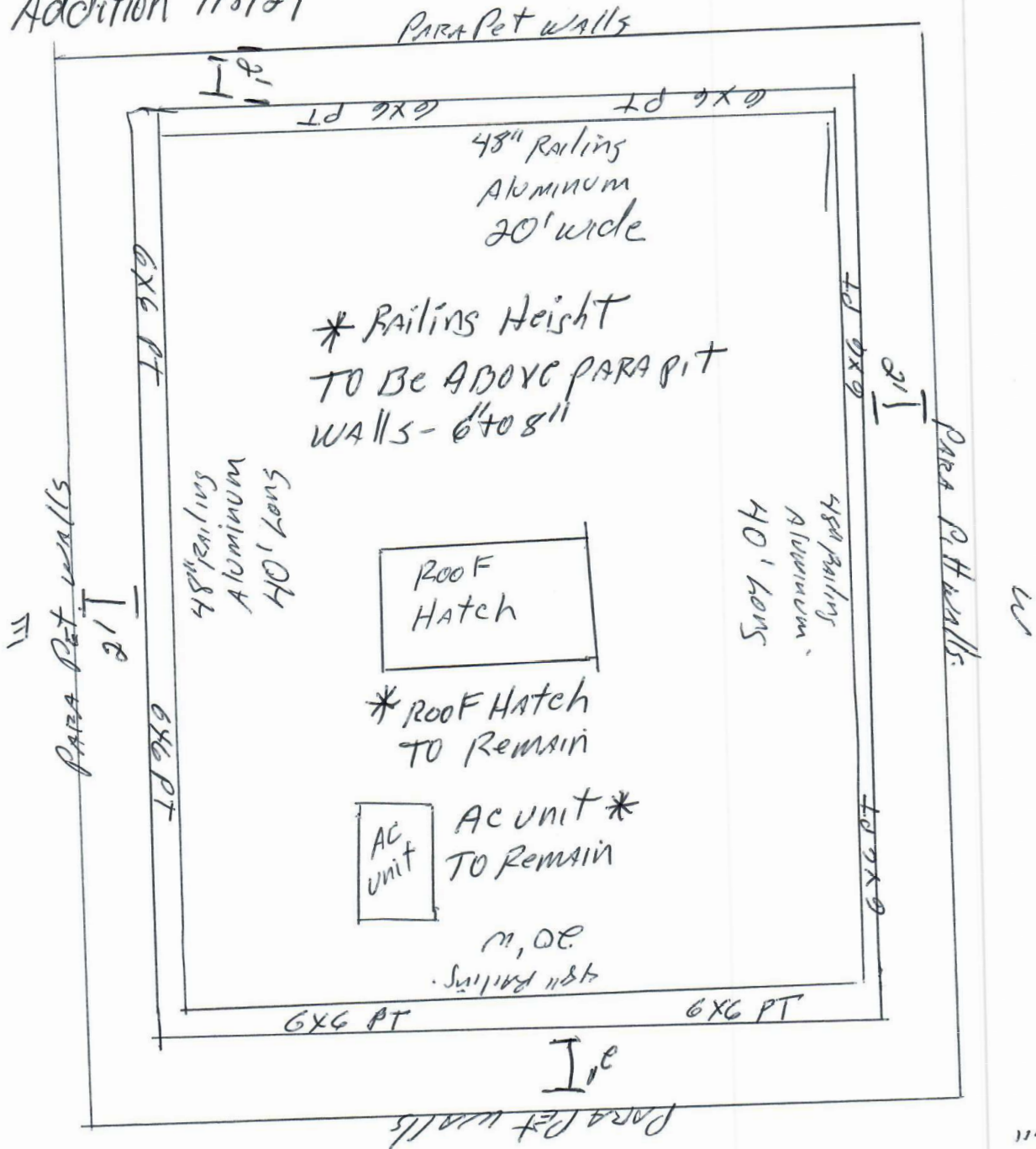
E3. _____ Sq. Ft.
 Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Hany Fergui J Date: 6/18/2024

Revised Addition 7/8/24

5



Heidi + Arun Sarna
104 Queen St Alexandria

N

1.6x6 pressure treated
railing fasteners to for support
bolted with lag bolts
3"



ALUMINUM PICKET RAILING PRODUCT DATA SHEET

GENERAL

ULTRALOX INTERLOCKING™ ALUMINUM RAILING is available in AAMA 2604-2605 Powder Coated Aluminum.

OVERALL DIMENSIONS

System height: 42" minimum from mounting surface to top of rail per IBC Code, 36" minimum from mounting surface to top of rail per IRC Code. Post heights subject to desired aesthetics.

Railing spans: Limiting span variables may be subject to specific project details.

Base footprint: Determined by desired aesthetics/condition specifics.

2" post base: 4" x 4"

3" post base: 5" x 5"

MATERIALS

Aluminum

Posts: Aluminum 6005A-T5

Rails: Aluminum 6063-T6

Fittings: 5052-H32

Base plate: A369 Cast Aluminum

Fasteners: Stainless Steel 300 series





CODE COMPLIANCE

U.S. International Building Code 2012/2015/2018
U.S. International Residential Code 2012/2015/2018

PERFORMANCE REQUIREMENTS

All railings shall be supplied to conform to applicable sections of the following codes:
International Building Code
International Residential Code

STRUCTURAL PERFORMANCE

Railings to be in accordance with AC273 and supporting documents as described:

Infill:

Horizontal concentrated load of 50 lbf. applied with 2.5X safety factor for rigid substrates, 3X safety factor for flexible substrates, to 1 sq. ft. at any point in system, including panels, intermediate rails, balusters, or other elements composing infill area. Load on infill area need not be assumed to act concurrently with loads on top rails.

Uniform load of 50 lb/ft. applied horizontally and vertically.
-2.5X safety factor for rigid substrates, 3X safety factor for flexible substrates.

Concentrated load of 200 lb/lf. applied horizontally and vertically at midspan, adjacent to post and at top of post.
-2.5X safety factor for rigid substrates, 3X safety factor for flexible substrates.

Uniform and concentrated loads need not be assumed to act concurrently.