

ISSUE: Permit to Demolish/Capsulate (partial and Certificate of Appropriateness for addition and alterations

APPLICANT: Erin Murphy

LOCATION: Old and Historic Alexandria District
809 South Columbus Street

ZONE: RM/Residential Townhouse Zone

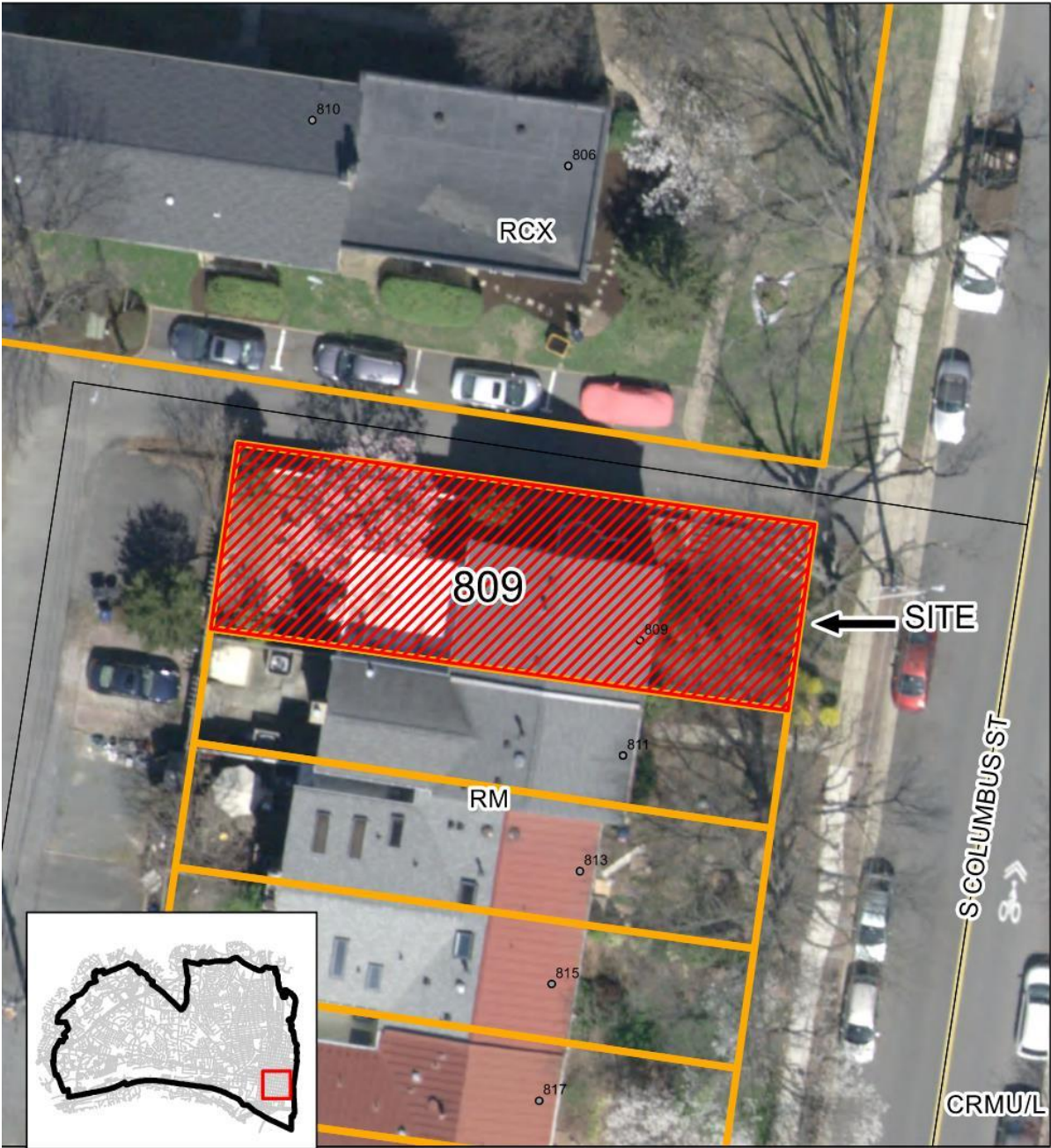
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations with the following conditions:

1. The ceiling height of the addition is reduced to 8' to reduce the overall height of the roof;
2. Work with staff to simplify the trim work and to identify an appropriate siding material for the dormers;
3. Remove proposed arches above windows on ell and work with staff on the design and trim for all windows;
4. Simplify the design and reduce the size of the proposed portico;
5. The front door should be replaced in-kind;
6. Only one downspout should be installed on the east elevation, and,
7. The replacement fiber cement siding should have a smooth finish.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2023-00480 & BAR#2023-00481
809 S Columbus Street



0 10 20 40 Feet

Note: Staff coupled the applications for a Permit to Demolish (BAR2023-00481) and Certificate of Appropriateness (BAR2023-00480) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a third-story addition, as well as alterations, at 809 South Columbus Street.

Permit to Demolish/Capsulate

- Demolition of existing roof framing.
- Removal of existing gutters and downspouts at lower roof.
- Demolition of existing attic window on north elevation.
- Removal of exterior roof trim.

Addition and Alterations

- Construct a 575 square feet third-story addition with dormers.
- New shingle roof, metal gutter and downspouts.
- Install painted trim and federal headers around existing windows.
- Replace existing German lap siding with painted fiber cement siding.
- Replacement of window on second-story of west elevation.

The proposed operable shutters comply with the Board's administrative approval policy. All proposed materials, except the PVC roof siding, comply with the Board's guidelines and policies.

Site context

The alley to the north of the subject property is public. The proposed addition and alterations will be visible from the right-of-way.

II. HISTORY

The two-bay, two-story Federal style house consists of a frame main block and a one-story frame ell is a late-building, constructed in **1979**. In 1986, the Board approved the extension of the porch landing on the north elevation.

Previous BAR Approvals

9/15/1982 – The Board approved a new fence.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the roof area and wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Addition

The *Design Guidelines* encourage “respectful additions” which “make use of the design vocabulary of the existing...structure” and supports additions that “reflect the building massing along the blockface.” It is also recommended that the form of the additions “express the prevailing shape of the residential building.” The proposed third-story addition will extend the roof height by 5’-6” to provide adequate floor area and a 9’ ceiling height for the new living space. While staff has no objection to the proposed addition and appreciates the retention of the existing roof type, the roof height is taller than the first and second story combined. By shortening the ridge and reducing the ceiling height to 8’, the overall building height will be reduced, and the building will be more proportional. Also, the height reduction will improve the dormer to roof ratio.

The *Design Guidelines* states that dormers provide light and ventilation to the top floor of a building and can increase the usable floor area. Staff has no objection to the use of dormers in the proposed pop-up addition. Dormers are architecturally appropriate for this colonial revival townhouse. The trim around the dormer windows on the east elevation is very wide and feels too heavy for the windows. The applicant should work with staff on a trim design that is similar in size to the existing window trim. While the *Design Guidelines* finds shed dormers generally inappropriate, the proposed shed dormer will be located on the rear (west) elevation, centered on the existing windows, and small in scale. The majority of the shed dormer will only be visible from the adjacent alley. Lastly, the use of PVC siding is not recommended by the Board's guidelines and policies, the applicant should work with staff to identify an appropriate siding material for the dormers.

Alterations

The applicant is proposing to replace the trim about the existing windows on the east and north elevations of the main block. While the style of trim is architecturally appropriate, it is very wide and feels too heavy for the windows. The applicant should work with staff on the window trim height. Staff does not support adding arched panels on top of the existing window openings on the one-story ell. The arches are not architecturally appropriate for the colonial-revival townhouse. Staff recommends that the replacement trim be similar in style to the trim proposed for the six-over-six windows.

A new portico, third-story window, and five-panel door are proposed on the north elevation. Staff has no objection to inclusion of architectural features; however, the proposed portico is too large and ornate for the structure. Simplifying the design and reducing the size of the portico will make it more appropriate for the north elevation. The proposed door is not appropriate. The existing door should be replaced in-kind.

The proposed two downspouts on the east elevation detract from the architectural character of the building. Staff recommends that the existing downspout is replaced in its current location and the proposed second downspout is not installed. The new fiber cement siding on the east and north elevations should be a smooth finish.

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness, with the conditions noted above.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed vertical addition will comply with zoning.

Code Administration

C-1 Building permit is required for addition.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No Comments Received.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2023-00481 & BAR2023-00480: 809 South Columbus Street

BAR CASE# _____

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 809 S COLUMBUS STREET, ALEXANDRIA VA 22314

DISTRICT: ☒ **Old & Historic Alexandria** ☐ **Parker – Gray** ☐ **100 Year Old Building**

TAX MAP AND PARCEL: MAP# 080.03 , LOT 520, SECTION 1 **ZONING:** RM

APPLICATION FOR: *(Please check all that apply)*

☒ **CERTIFICATE OF APPROPRIATENESS**

☒ **PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH**
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ **WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA** (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ **WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT**
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ **Property Owner** ☐ **Business** *(Please provide business name & contact person)*

Name: ERIN MURPHY

Address: 809 S COLUMBUS STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: 202-641-4695 E-mail: eem421@gmail.com

Authorized Agent *(if applicable)*: ☐ **Attorney** ☒ **Architect** ☐ _____

Name: ALEXANDER SMITH Phone: 202-695-5586

E-mail: alexander@mortarandthatch.com

Legal Property Owner:

Name: ERIN MURPHY

Address: 809 S COLUMBUS STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: 202-641-4695 E-mail: eem421@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|---|--|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input checked="" type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input checked="" type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other <u>changing trim, new portico, replacing existing front door</u> | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

THIRD FLOOR ADDITION AND RENOVATION TO EXISTING TWO-STORY SINGLE FAMILY HOME. EXISTING ROOF STRUCTURE WAS DETERMINED TO BE TRUSS FRAMING. IT WAS DETERMINED EXISTING ROOF WOULD NEED TO BE REFRAMED TO MAKE ROOM FOR DORMERS NEEDED TO MEET NECESSARY EGRESS REQUIREMENTS. ARCHITECT RAISED THE RIDGE OF THE NEW STICK-BUILT ROOF TO PROVIDE ADEQUATE FLOOR AREA FOR NEW STAIR, PRIMARY BEDROOM, BATH AND SPARE OFFICE SPACE. EXTERIOR WORK TO INCLUDE REMOVING EXISTING PAINTED GERMAN SIDING AND TRIM WORK; TO BE REPLACED WITH NEW PAINTED HARDI LAP SIDING, PAINTED BORAL TRIM WORK, SYNTHETIC SLATE ROOF, FLAT SEAM COPPER ROOFS, AND COPPER HALF-ROUND GUTTERS AND DOWNSPOUTS. NEW WINDOWS BY WINDSOR AND EXTERIOR DOORS BY LOEWEN TO MATCH EXISTING WINDOWS & DOORS STYLES AND DETAILS. ORIGINAL STRUCTURE WAS BUILT IN 1979 AND UNDERWENT A RENOVATION IN 1997.

SUBMITTAL REQUIREMENTS:

☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: ALEXANDER SMITH

Date: 11-06-2023

BOARD OF ARCHITECTURAL REVIEW APPLICATION

PROJECT INFO :

THIRD FLOOR ADDITION AND RENOVATION TO EXISTING TWO-STORY
SINGLE FAMILY HOME

ADDRESS: 809 S Columbus Street
Alexandria VA 22314

LOCATION: LOT 520, SECTION 1
HISTORIC: Old & Historic Alexandria

ZONING: Zone RM

ALLOWED: EXISTING: PROPOSED:

SETBACKS: SIDE: 5', REAR: ratio1:2 or1 6'min

FRONT : 25' 25.4' 25.4'

SIDE : 5' 7.94' 7.94'

REAR : 16' 19.21' 19.21'

LOT AREA: - 2802 SF 2802 SF

BUILDING HEIGHT: 45' 27.43' 30.69'

LOT COVERAGE: 35% (980.7 SF) 36.1% (1011 SF) 36.1% (1011 SF)

F.A.R. : 1.5 (4203 SF) 0.69 (1925 SF) 0.89 (2500 SF)

BUILDING AREA:

	EXISTING:	PROPOSED:
BASEMENT FLOOR AREA:	276 SF	276 SF (NO CHANGE)
FIRST FLOOR AREA:	1011 SF	1011 SF (NO CHANGE)
SECOND FLOOR AREA:	638 SF	638 SF (NO CHANGE)
ATTIC AREA:	0	575 SF

TOTAL FLOOR AREA: 1925 SF 2500 SF

PLANS PREPARED BASED ON THE FOLLOWING CODES:

VIRGINIA

2015 INTERNATIONAL RESIDENTIAL CODE
2015 VIRGINIA UNIFORM STATEMENT BUILDING CODE (VUSBC)
2015 VIRGINIA ENERGY CONSERVATION CODE (VECC)
AND ALL LOCAL CODES.



Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Cover

Sheet Number

T1

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



TYPICAL SIDING
James Hardie painted fiber cement lap siding with 3" exposure. Biscuit siding edges for mitered corners, no corner board trim.



DORMER & GABLE ROOF SIDING
Painted V-groove PVC panels as shown on elevations. At dormers, siding is oriented, so it runs parallel to main roof slope.



EXTERIOR TRIM
Ptd Boral at all ptd. trim locations - includes window/door casing; bandboards; roof eave, fascia and rake moulding



SHINGLE ROOF
Synthetic slate shingle roof by Ecostar on new roof framing.



METAL ROOF
Flat seam copper roof at new entry portico



METAL GUTTERS & DOWNSPOUTS
6" copper half round and 4" full round downspouts. Run all downspouts to cast iron sleeves connected to underground drain pipes.



NEW EXTERIOR WINDOWS
New windows to be Windsor painted wood SDL w/ muntins to match existing profiles, insulated glass, white jamb liners and screens with oil rubbed bronze hardware.



NEW EXTERIOR DOORS
New french doors to be Loewen painted wood SDL w/ muntins to match existing profiles, solid raised lower panel insulated glass, white jamb liners & oil rubbed bronze hdwr



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Material Specifications

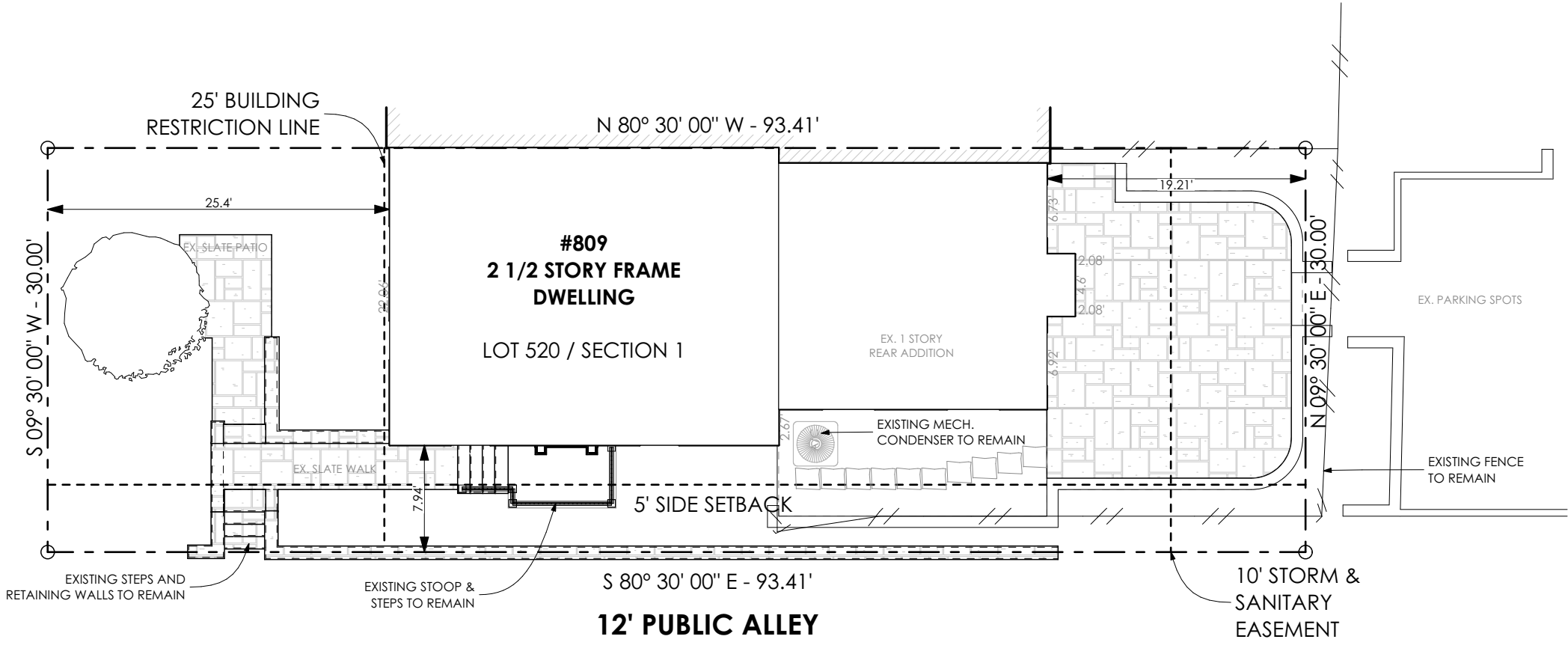
Sheet Number

T2

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

SOUTH COLUMBUS STREET

4' CONCRETE WALK



Existing Site Plan

3/32" = 1'-0"

MORTAR & THATCH

ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy
Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

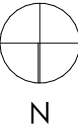
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing Site Plan

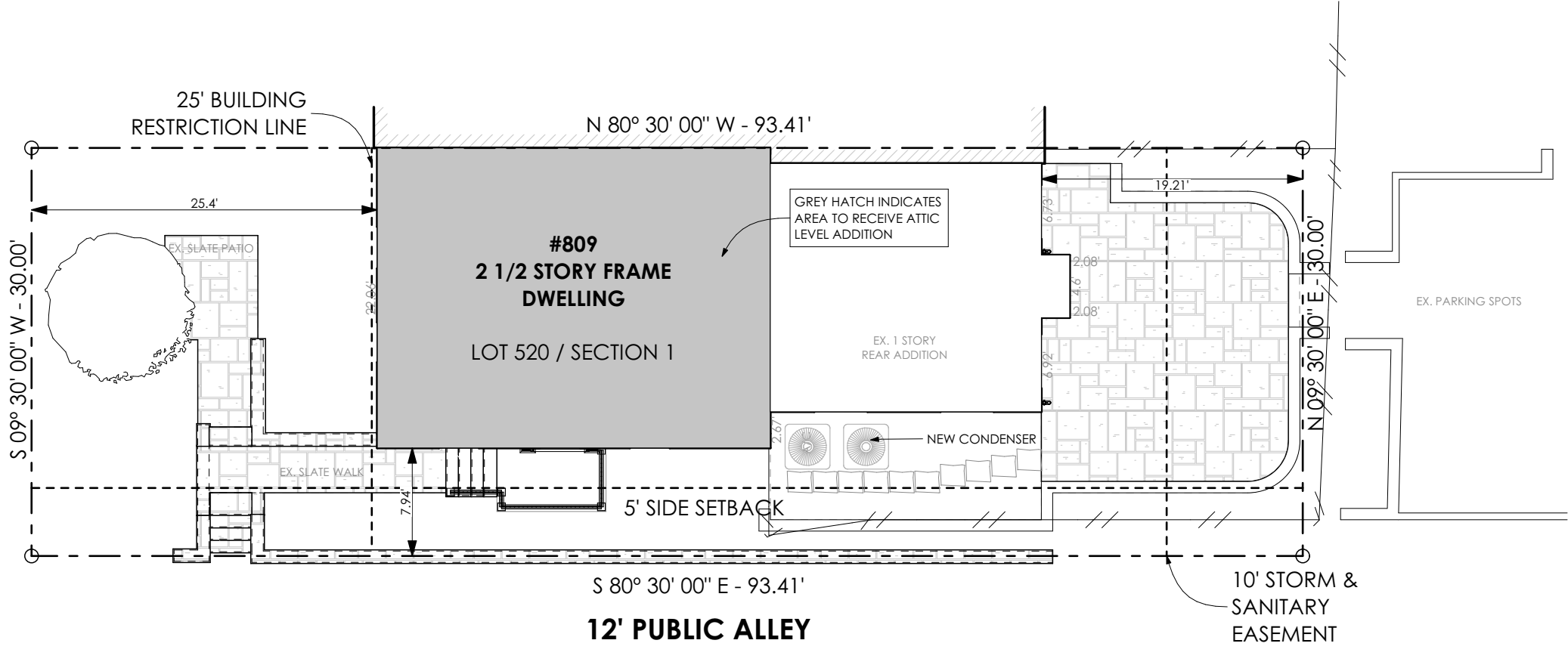
Sheet Number

T3

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

SOUTH COLUMBUS STREET

4' CONCRETE WALK



1 Proposed Site Plan

3/32" = 1'-0"

MORTAR & THATCH
ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy
Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

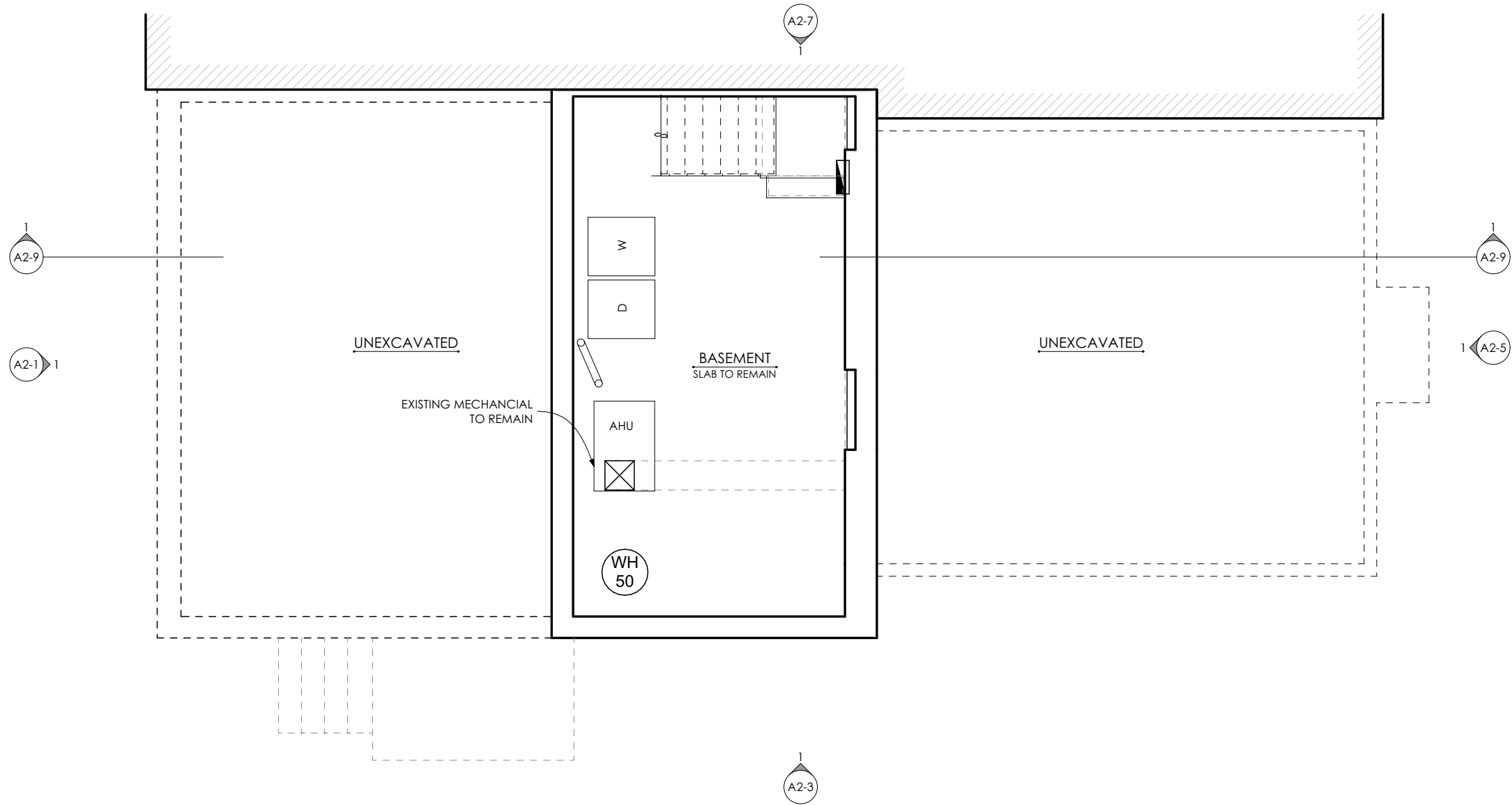
Sheet Title

Proposed Site Plan

Sheet Number

T4

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Existing Basement Plan

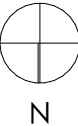
3/16" = 1'-0"



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing Basement Plan

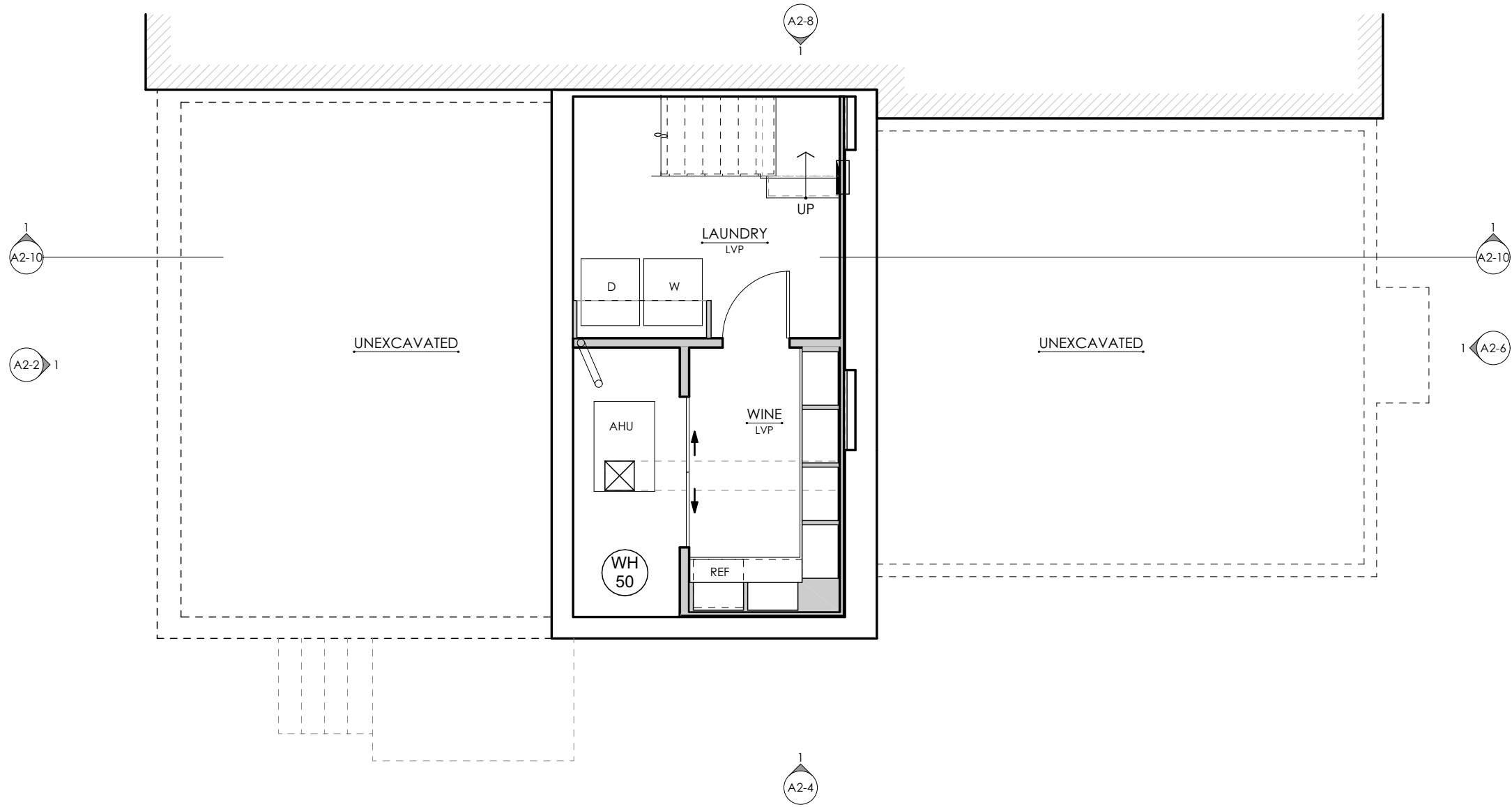
Sheet Number



A1-0

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

1 Basement Plan

3/16" = 1'-0"



-  DENOTES EXISTING WALLS
-  DENOTES PROPOSED WALLS

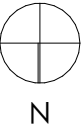
Murphy
Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

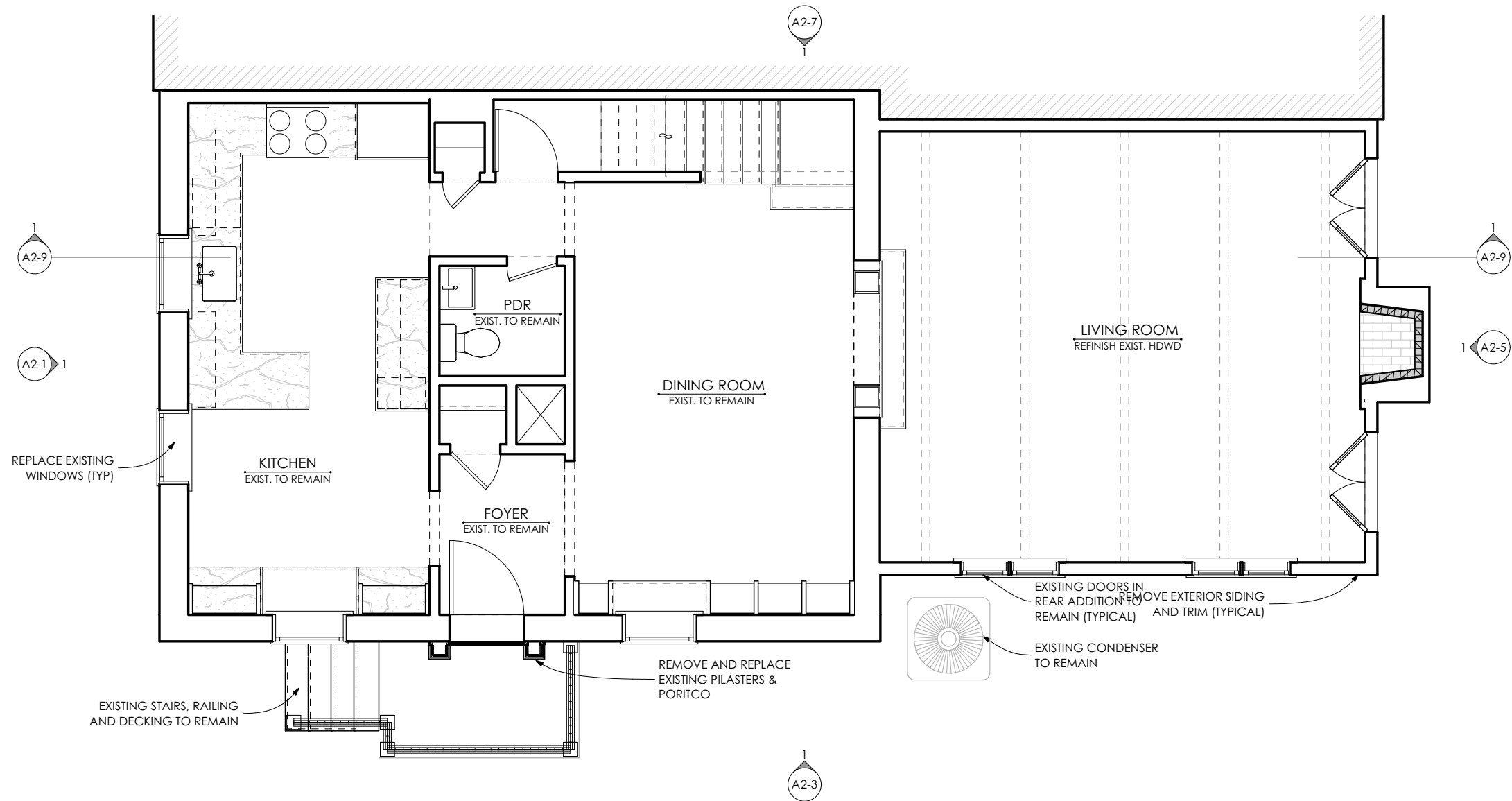
Sheet Title

Proposed Basement Plan

Sheet Number

A1-1

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Existing First Floor Plan

3/16" = 1'-0"

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing First Floor Plan

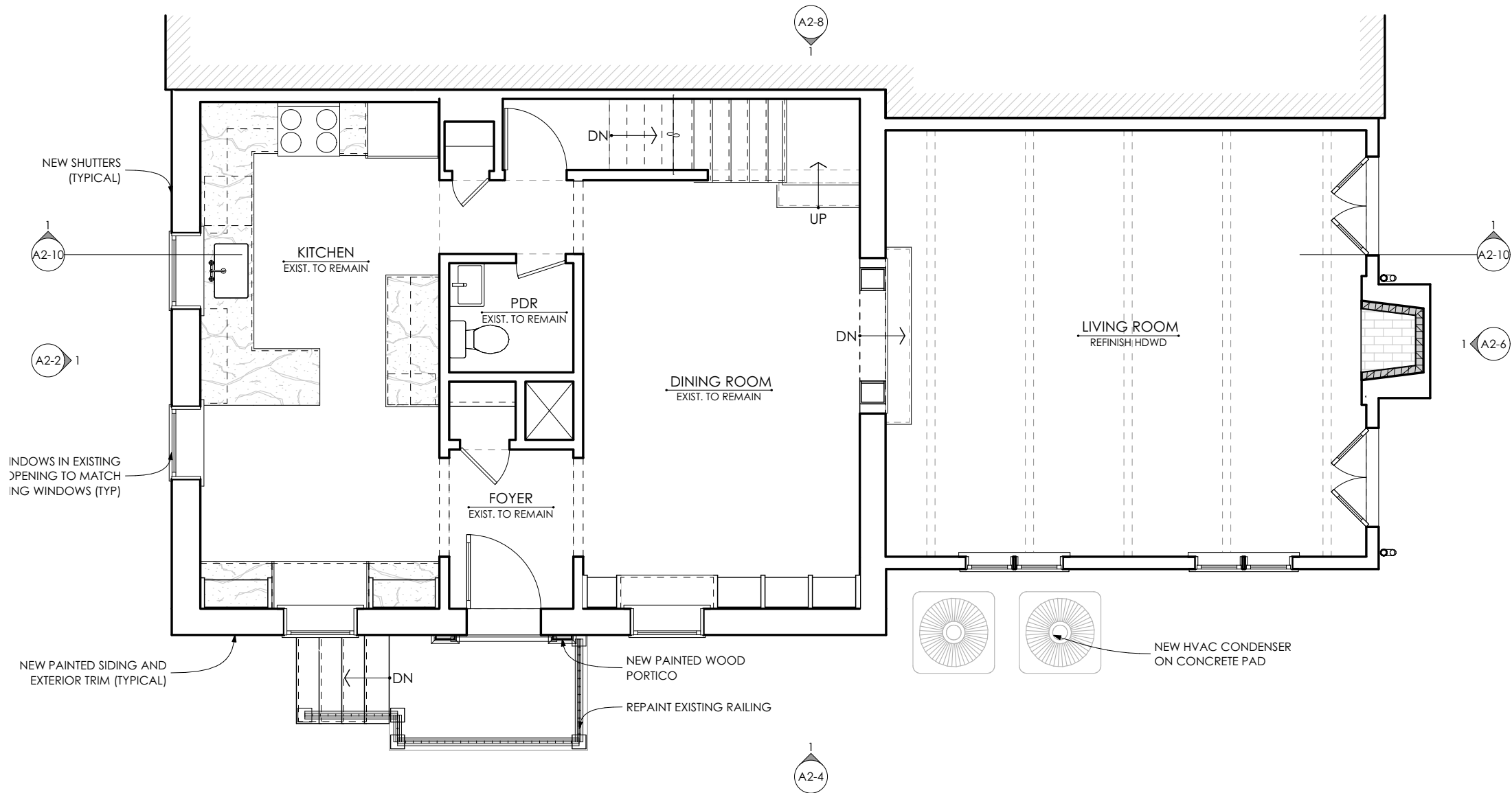
Sheet Number

A1-2

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

1 First Floor Plan

3/16" = 1'-0"



- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS

Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

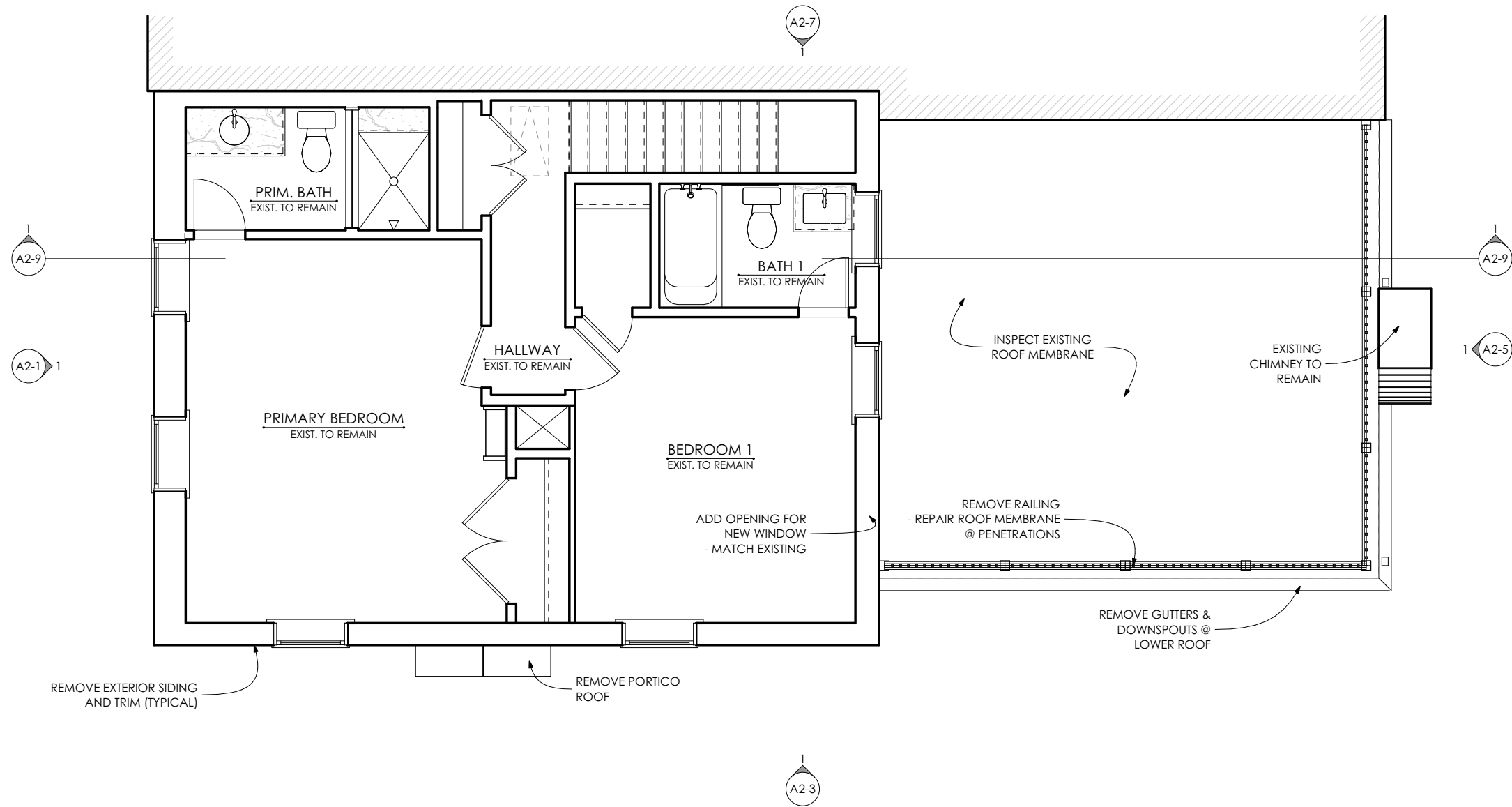
Sheet Title

Proposed First Floor Plan

Sheet Number

A1-3

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Existing Second Floor Plan

3/16" = 1'-0"



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

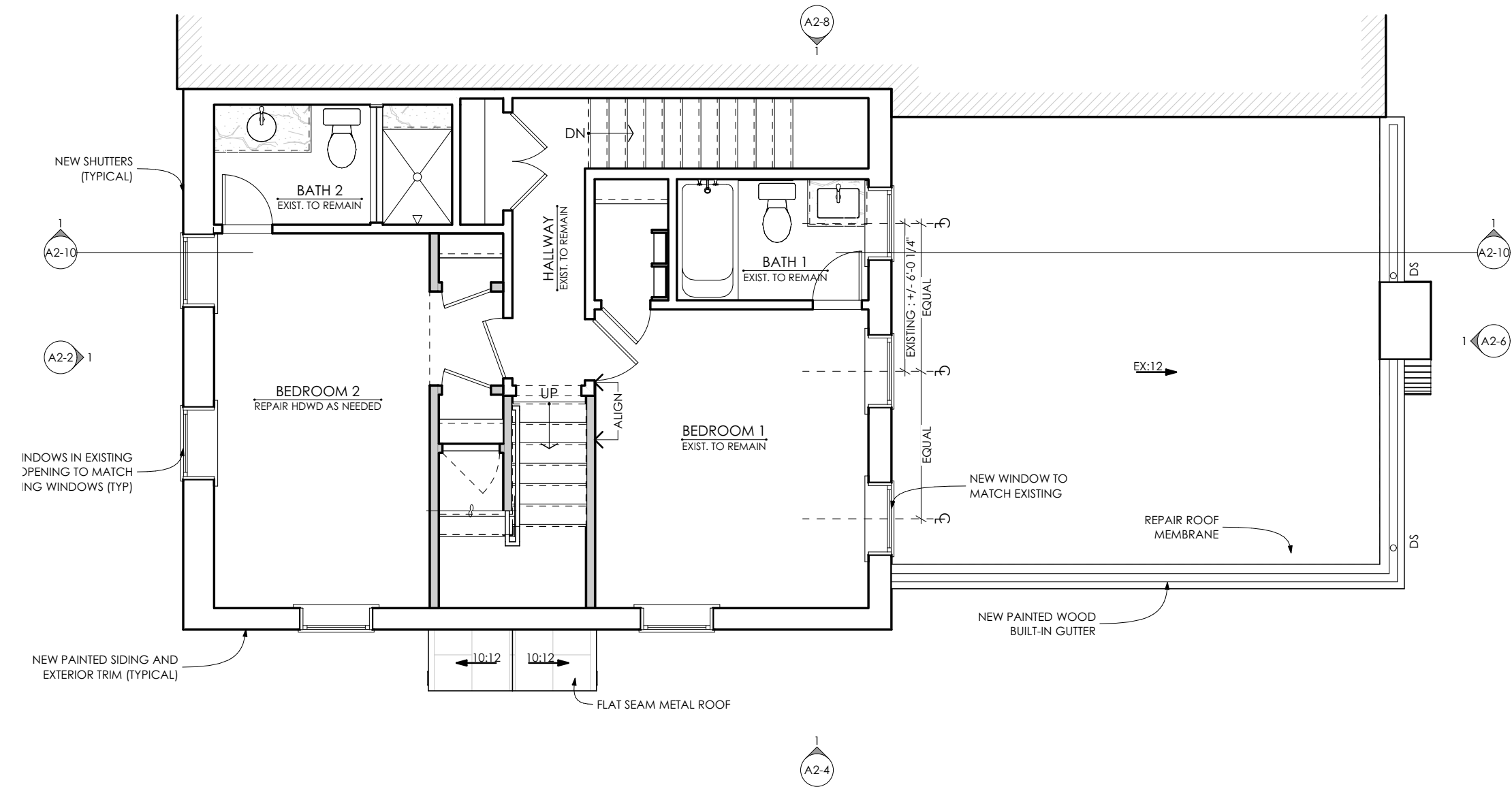
Sheet Title

Existing Second Floor Plan

Sheet Number

A1-4

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Second Floor Plan

3/16" = 1'-0"

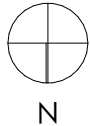
===== DENOTES EXISTING WALLS
===== DENOTES PROPOSED WALLS



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

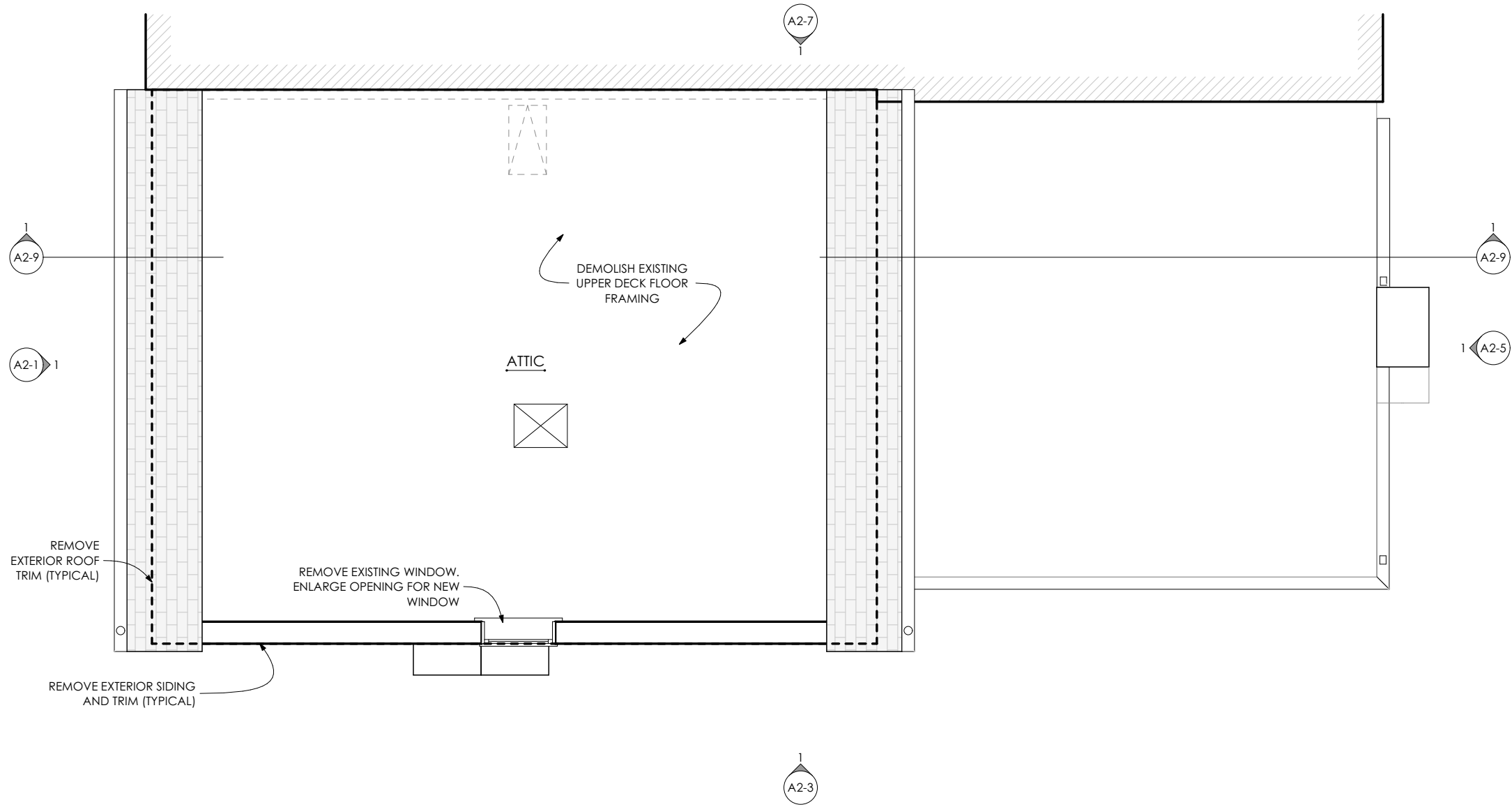
Proposed Second Floor Plan

Sheet Number

A1-5

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

DEMOLITION / ENCAPSULATION NOTES:
EXISTING ROOF STRUCTURE WAS DETERMINED TO BE TRUSS FRAMING. IT WAS DETERMINED EXISTING ROOF WOULD NEED TO BE REFRAMED TO MAKE ROOM FOR DORMERS NEEDED TO MEET NECESSARY EGRESS REQUIREMENTS. ARCHITECT RAISED THE RIDGE OF THE NEW STICK-BUILT ROOF TO PROVIDE ADEQUATE FLOOR AREA FOR NEW STAIR, PRIMARY BEDROOM, BATH AND SPARE OFFICE SPACE.



1 Existing Attic Plan

3/16" = 1'-0"

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

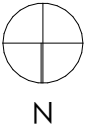
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME & THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

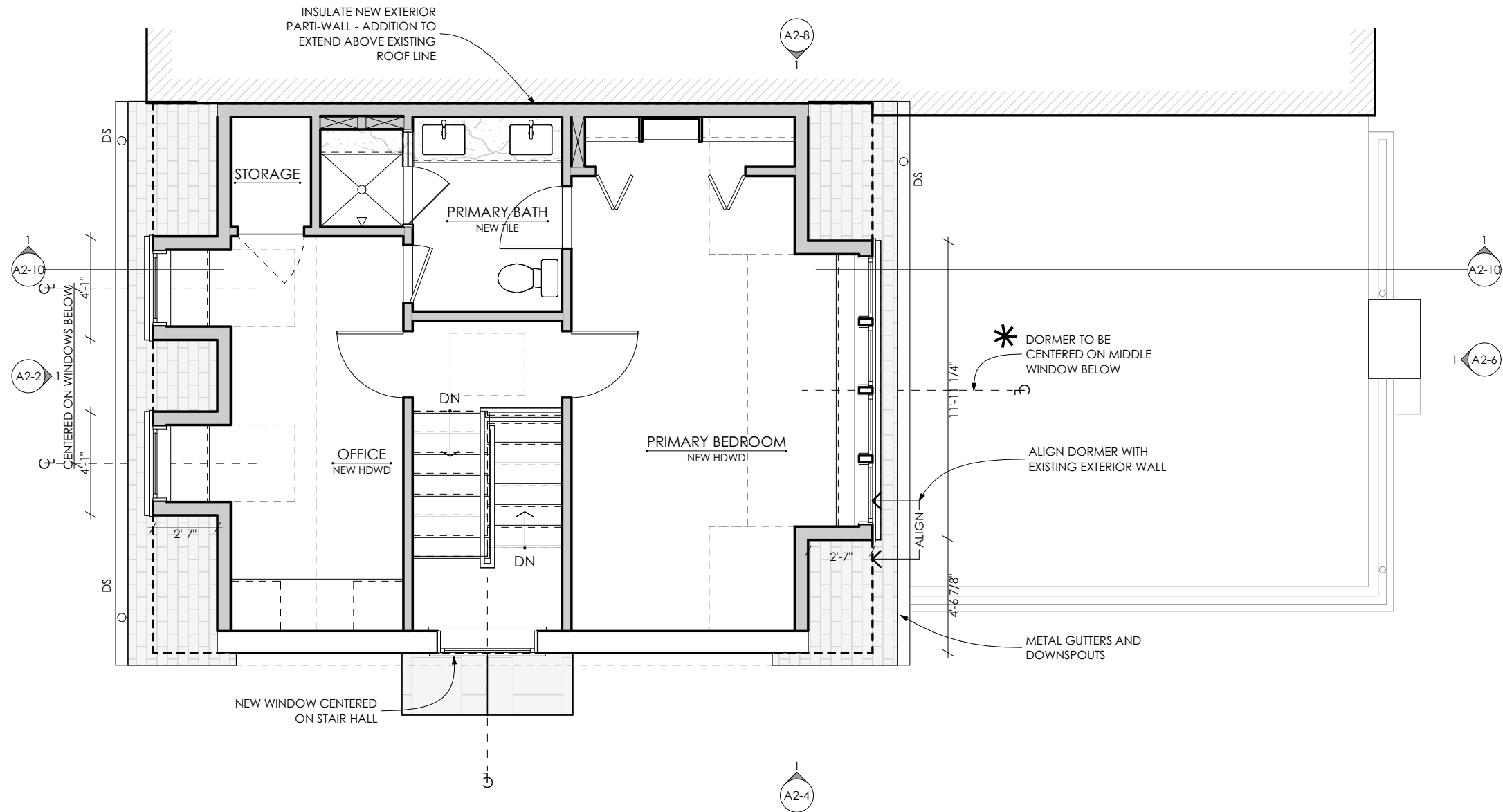
Existing Attic Floor Plan

Sheet Number

A1-6

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

DEMOLITION / ENCAPSULATION NOTES:
EXISTING ROOF STRUCTURE WAS DETERMINED TO BE TRUSS FRAMING. IT WAS DETERMINED EXISTING ROOF WOULD NEED TO BE REFRAMED TO MAKE ROOM FOR DORMERS NEEDED TO MEET NECESSARY EGRESS REQUIREMENTS. ARCHITECT RAISED THE RIDGE OF THE NEW STICK-BUILT ROOF TO PROVIDE ADEQUATE FLOOR AREA FOR NEW STAIR, PRIMARY BEDROOM, BATH AND SPARE OFFICE SPACE.



1 Attic Plan

3/16" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS

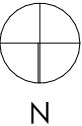
Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME & THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

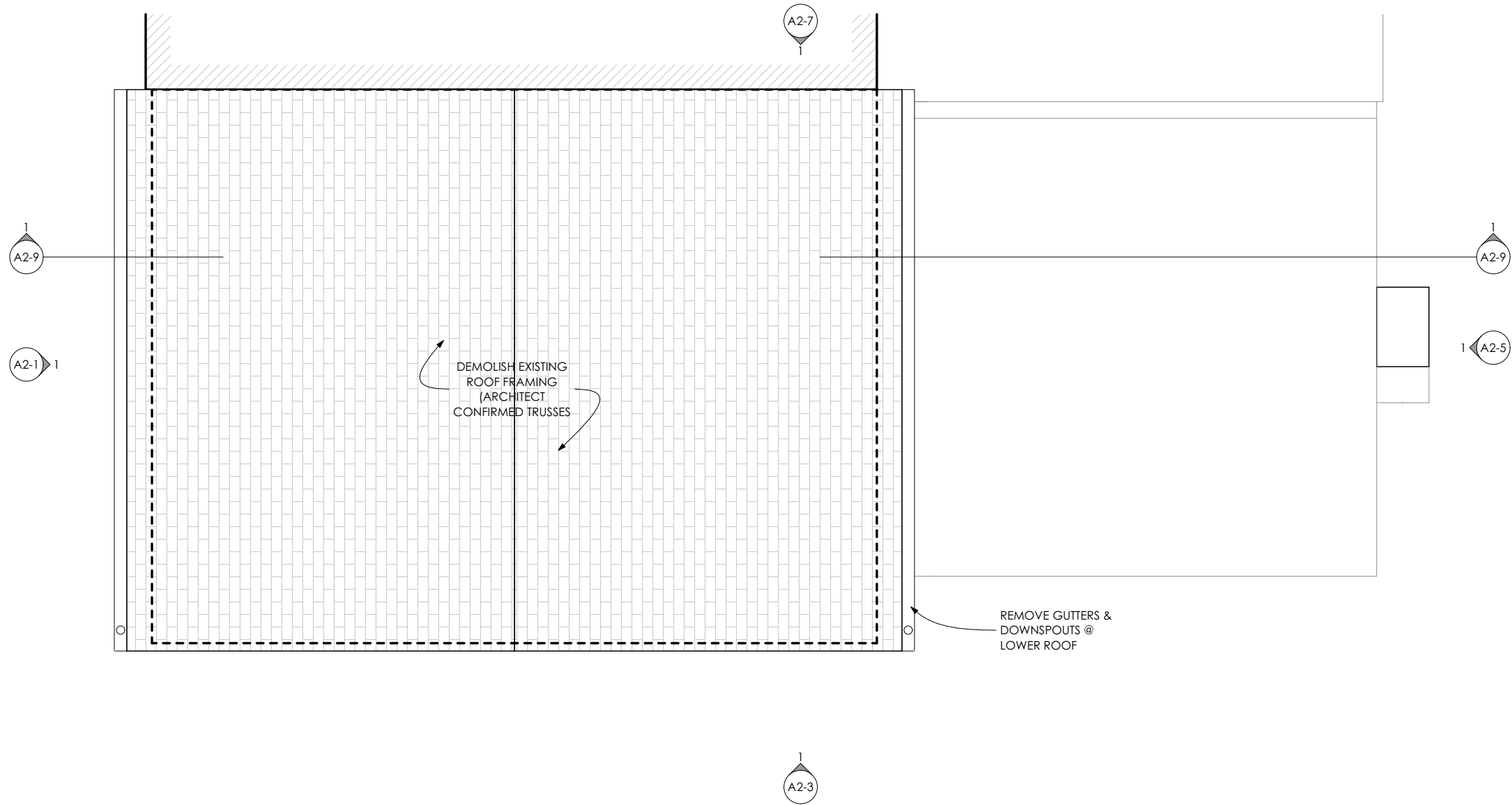
Proposed Attic Floor Plan

Sheet Number

A1-7

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

DEMOLITION / ENCAPSULATION NOTES:
EXISTING ROOF STRUCTURE WAS DETERMINED TO BE TRUSS FRAMING. IT WAS DETERMINED EXISTING ROOF WOULD NEED TO BE REFRAMED TO MAKE ROOM FOR DORMERS NEEDED TO MEET NECESSARY EGRESS REQUIREMENTS. ARCHITECT RAISED THE RIDGE OF THE NEW STICK-BUILT ROOF TO PROVIDE ADEQUATE FLOOR AREA FOR NEW STAIR, PRIMARY BEDROOM, BATH AND SPARE OFFICE SPACE.



1 Existing Roof Plan

3/16" = 1'-0"

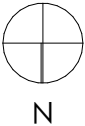
Murphy
Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

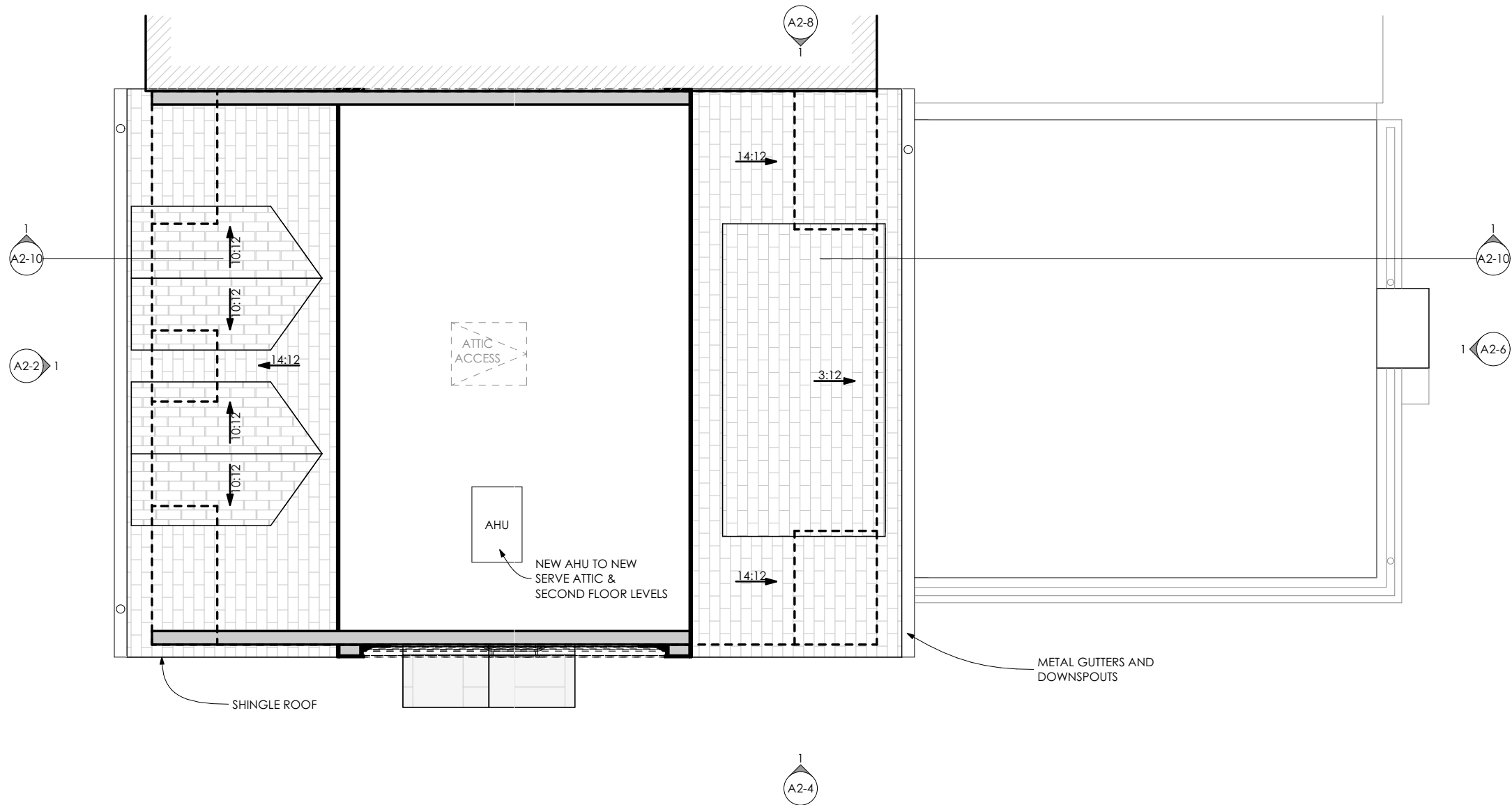
Existing Roof Plan

Sheet Number

A1-8

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

DEMOLITION / ENCAPSULATION NOTES:
EXISTING ROOF STRUCTURE WAS DETERMINED TO BE TRUSS FRAMING. IT WAS DETERMINED EXISTING ROOF WOULD NEED TO BE REFRAMED TO MAKE ROOM FOR DORMERS NEEDED TO MEET NECESSARY EGRESS REQUIREMENTS. ARCHITECT RAISED THE RIDGE OF THE NEW STICK-BUILT ROOF TO PROVIDE ADEQUATE FLOOR AREA FOR NEW STAIR, PRIMARY BEDROOM, BATH AND SPARE OFFICE SPACE.



1 Roof Plan

3/16" = 1'-0"

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Project North



Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

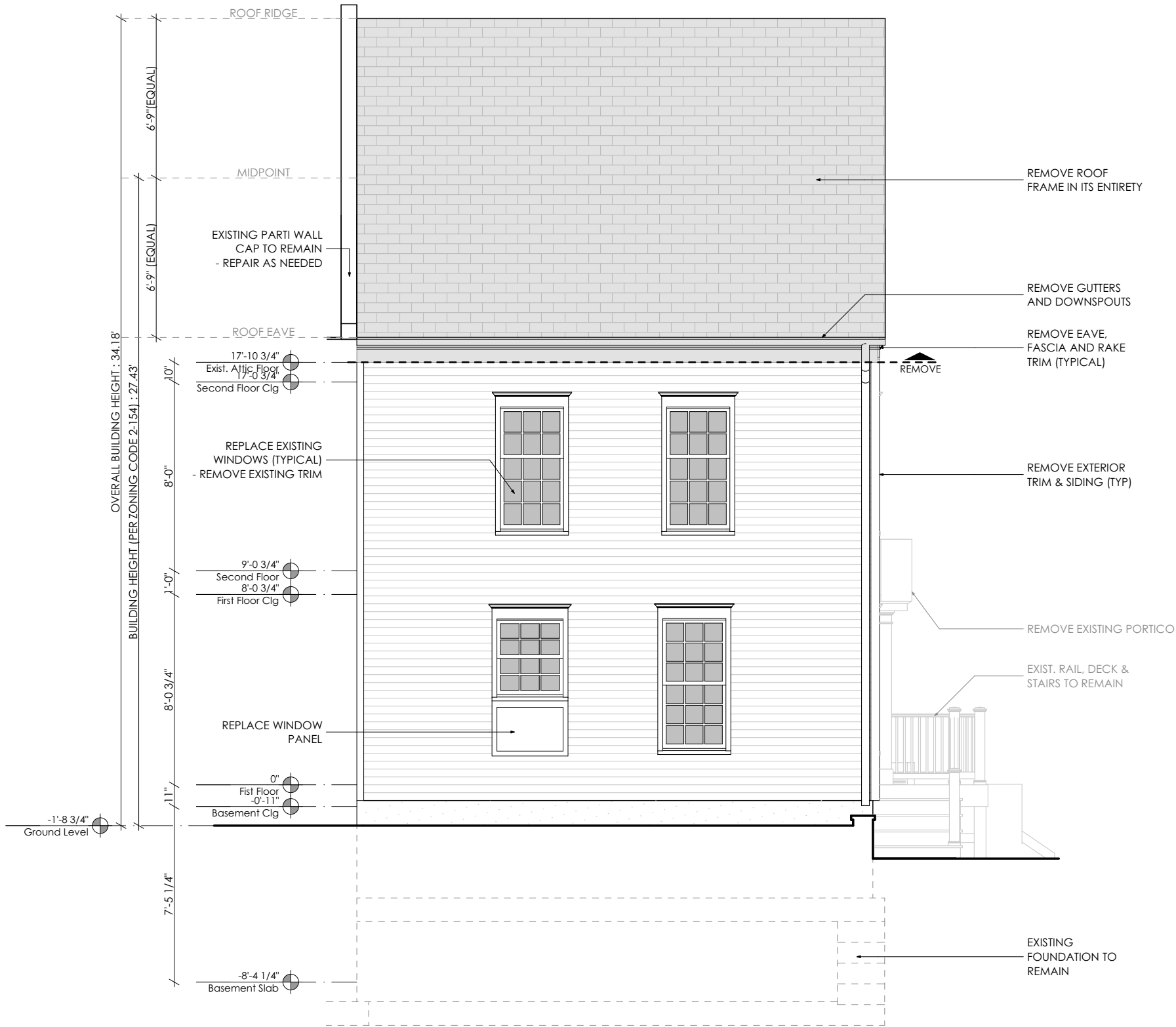
Sheet Title

Proposed Roof Plan

Sheet Number

A1-9

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



AREA TO BE DEMOLISH
(AREA HIGHLIGHTED IN GREY)

WALL AREA : 242 SF
ROOF AREA : 918 SF
TOTAL AREA : 1160 SF

MORTAR & THATCH
ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy
Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

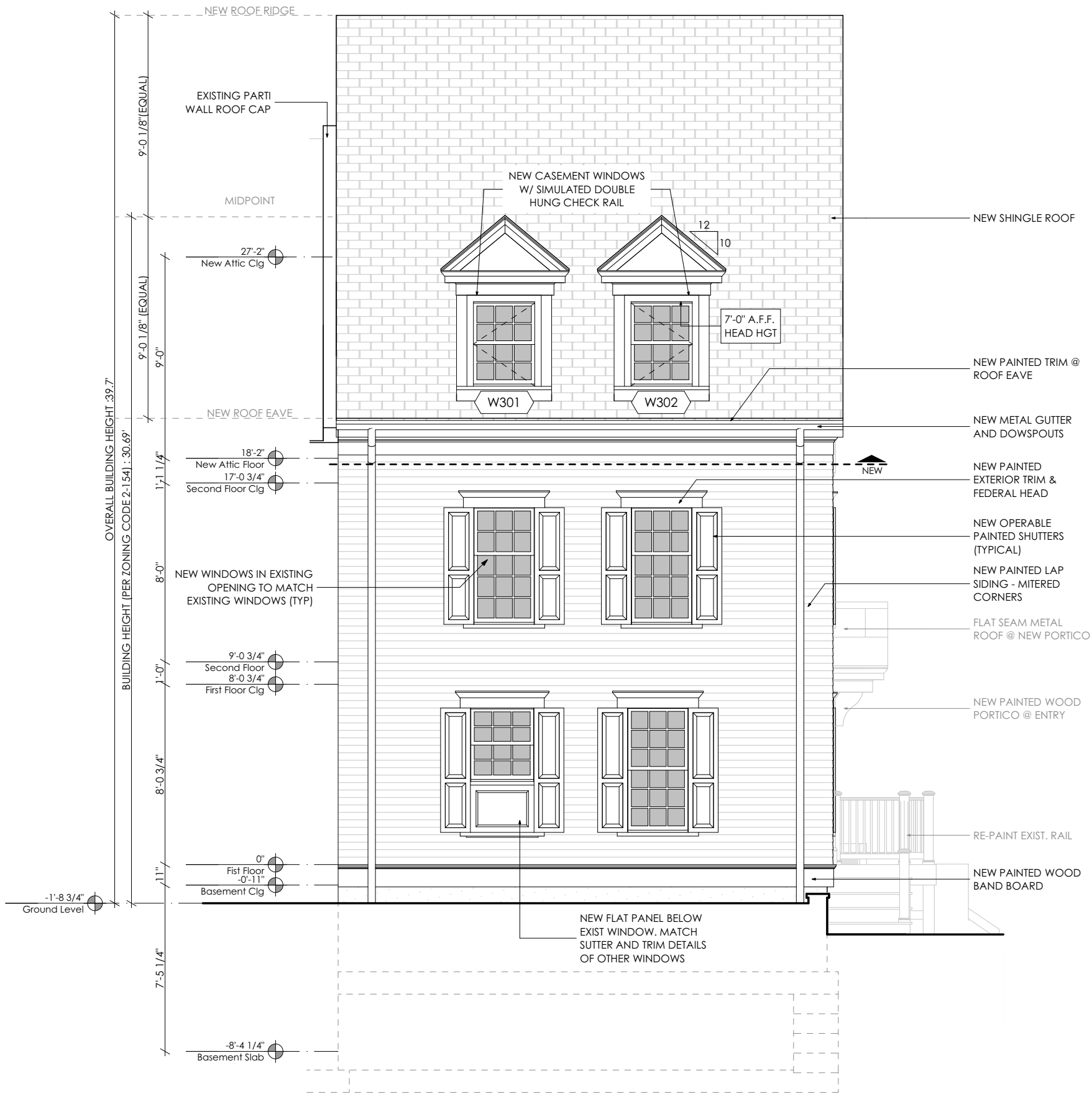
Sheet Title

Existing East Elevation

Sheet Number

A2-1

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Proposed East Elevation

3/16" = 1'-0"



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Proposed East Elevation

Sheet Number

A2-2

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

AREA TO BE DEMOLISH (AREA HIGHLIGHTED IN GREY)	
WALL AREA :	242 SF
ROOF AREA :	918 SF
TOTAL AREA :	1160 SF

MORTAR & THATCH

ARCHITECTS

300 Morse Street NE
Washington DC 20002

www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

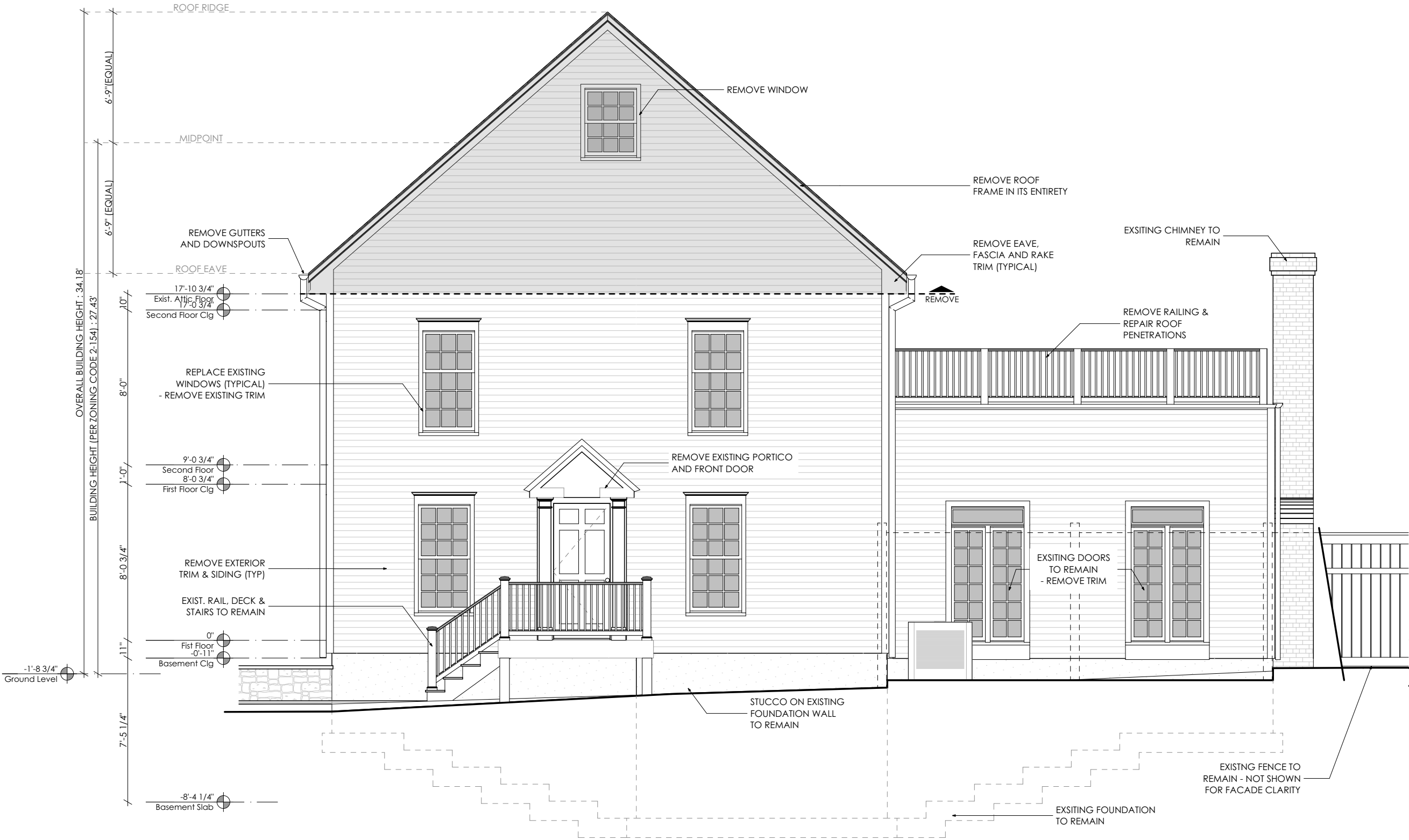
Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing North Elevation

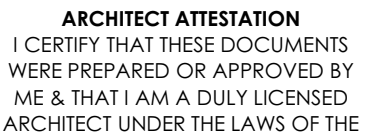
Sheet Number

A2-3



1 Existing North Elevation
3/16" = 1'-0"

809 S Columbus Street
Alexandria VA 22314



I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
 LICENSE NUMBER 0401019644
 EXPIRATION DATE 04-30-2024

Sheet Title

Sheet Number

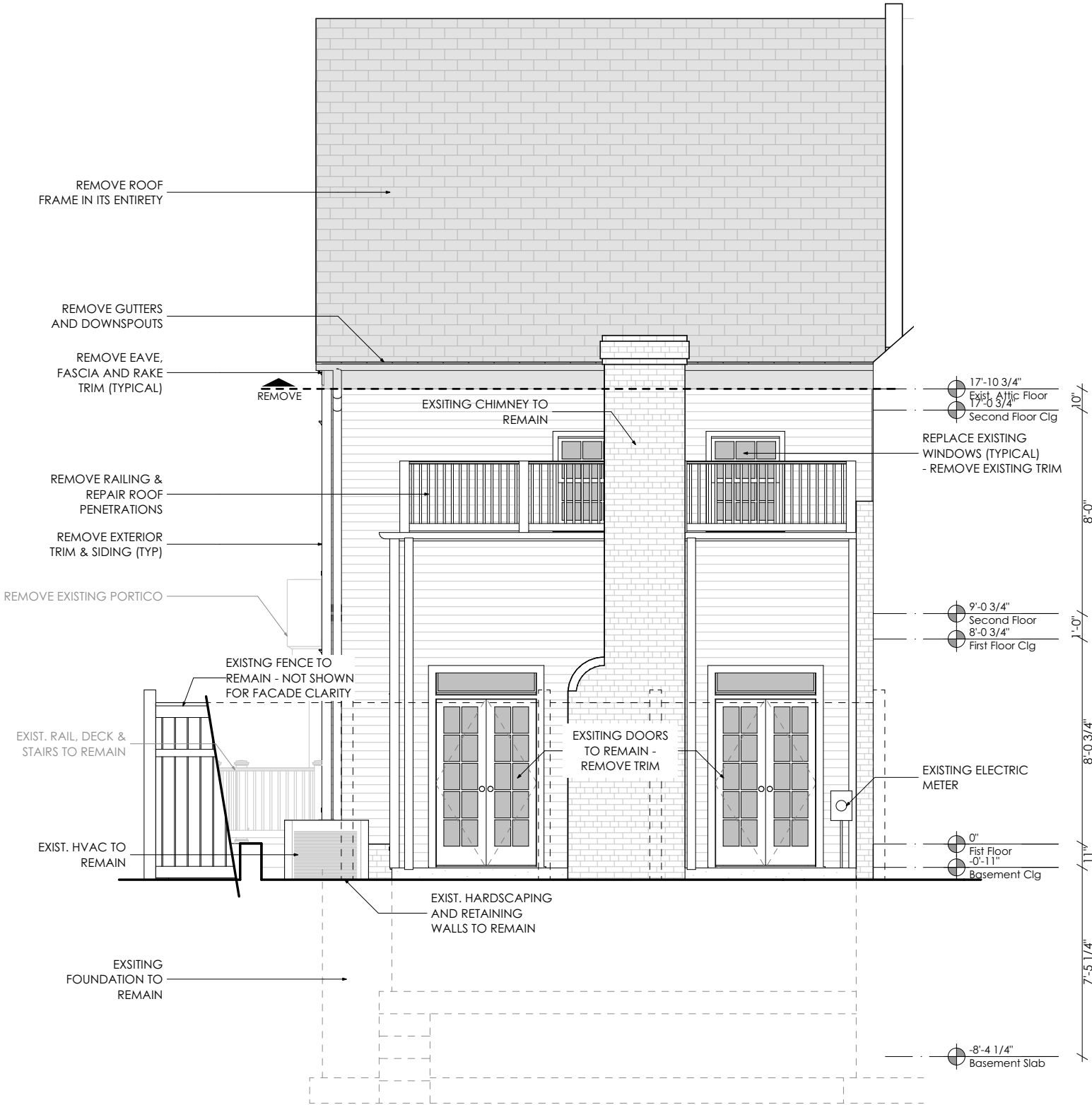
Printed: 12/8/2023
© Mortar & Thatch LLC



File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

AREA TO BE DEMOLISH
(AREA HIGHLIGHTED IN GREY)

WALL AREA : 242 SF
ROOF AREA : 918 SF
TOTAL AREA : 1160 SF



1 Existing West Elevation
3/16" = 1'-0"

Project No. 2309

Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing West Elevation

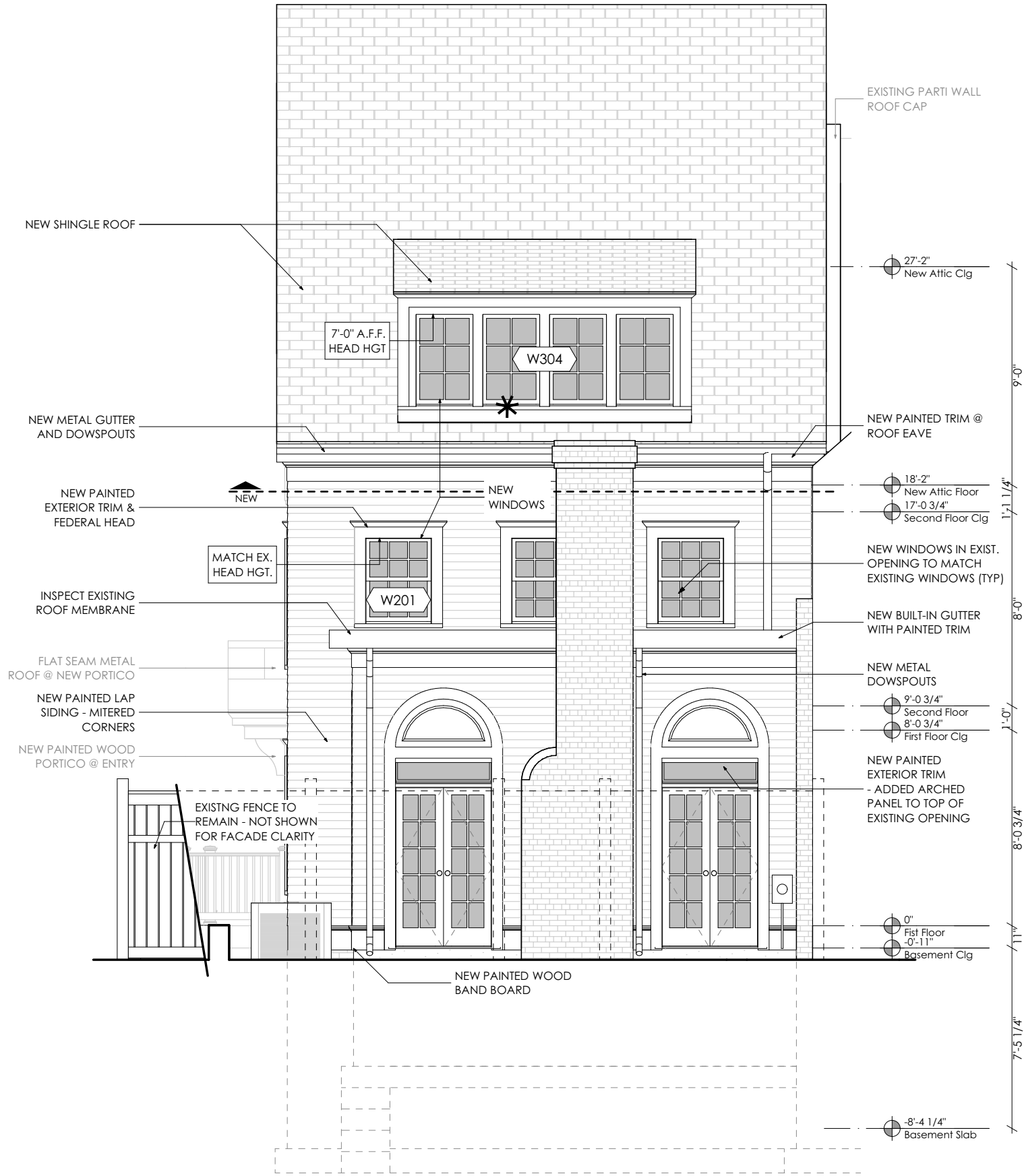
Sheet Number

A2-5

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln

1 Proposed West Elevation

3/16" = 1'-0"



MORTAR & THATCH ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME & THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

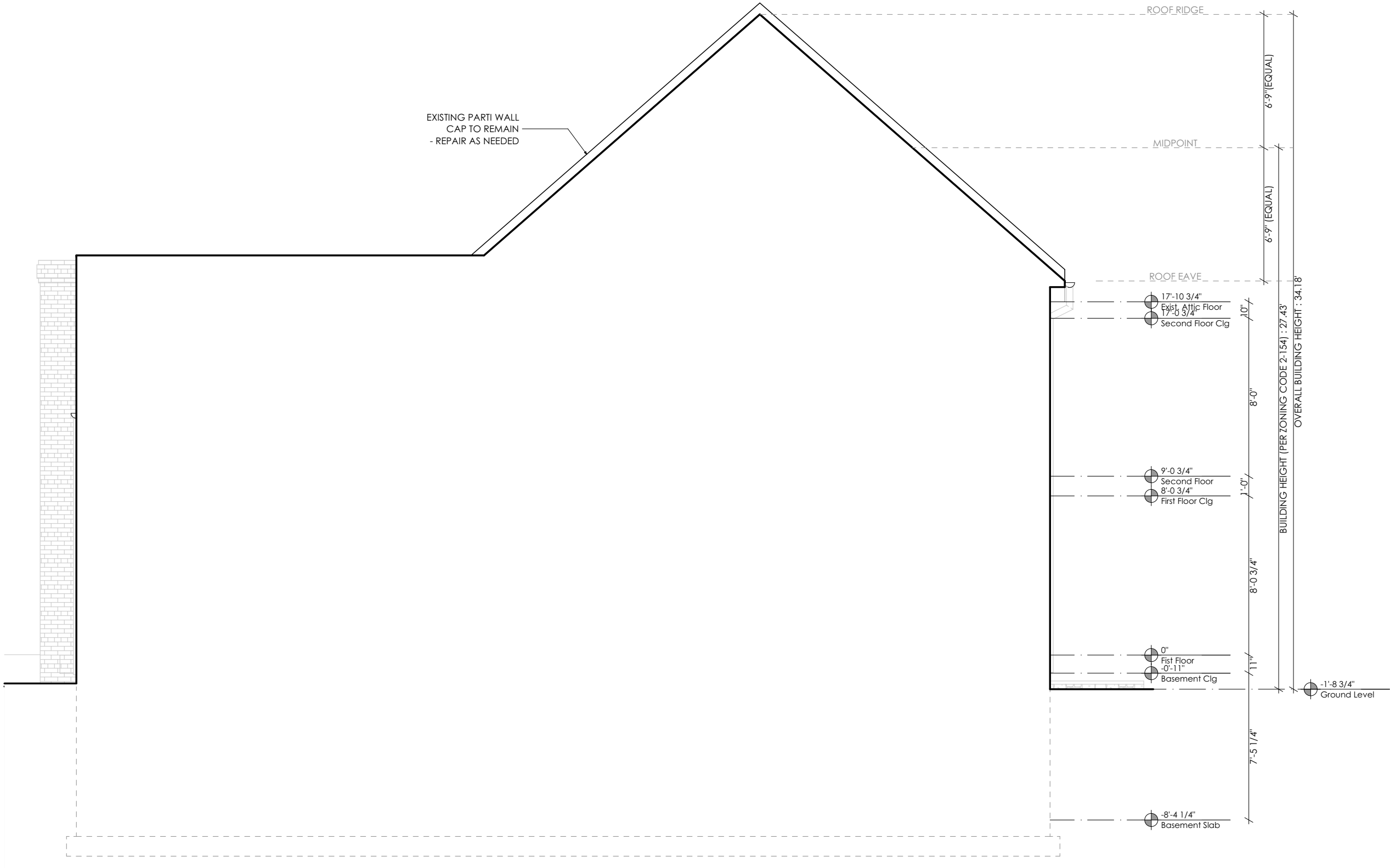
Sheet Title

Proposed West Elevation

Sheet Number

A2-6

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



Existing South Elevation

3/16" = 1'-0"

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

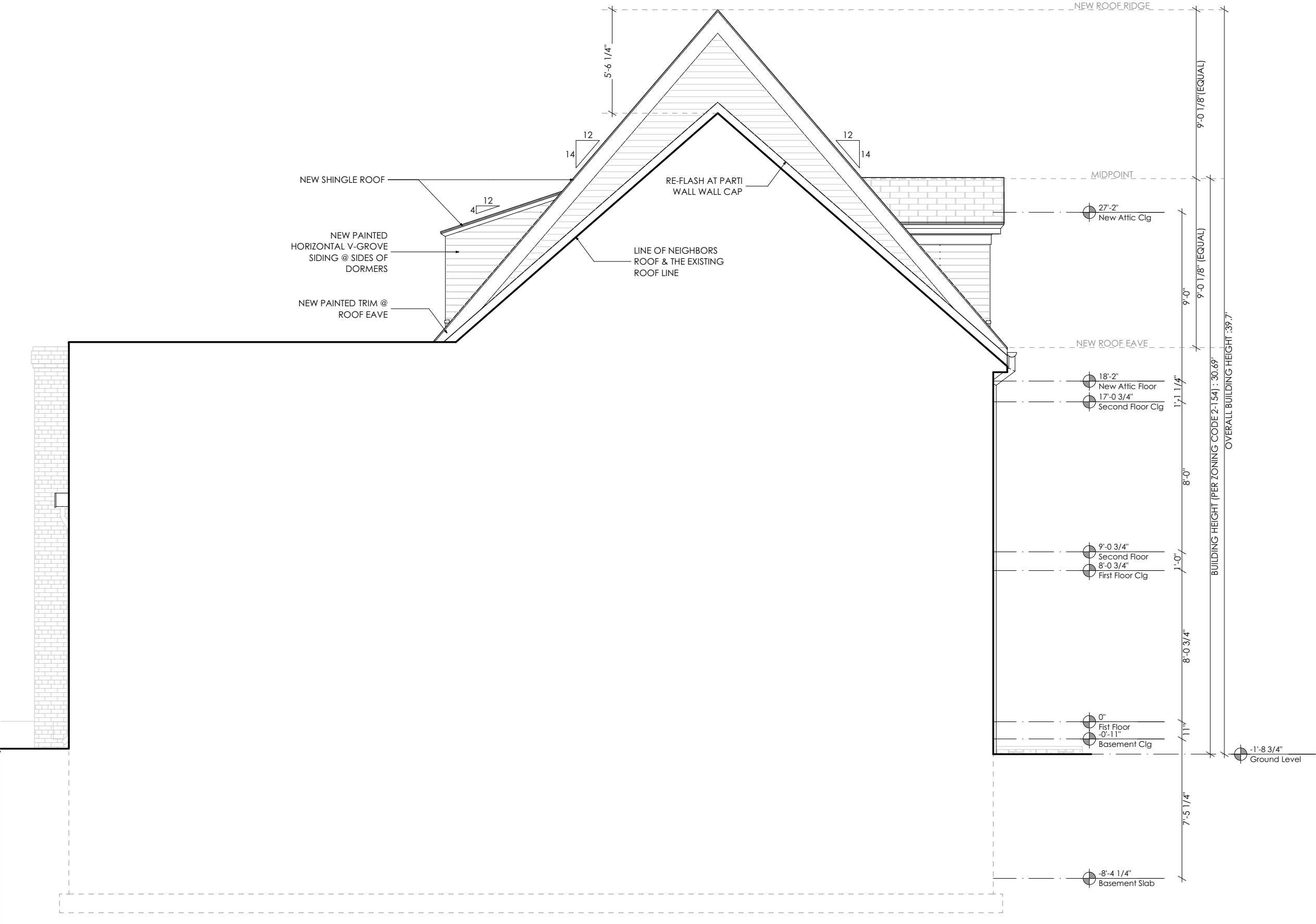
Sheet Title

Existing South Elevation

Sheet Number

A2-7

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Proposed South Elevation

3/16" = 1'-0"

Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

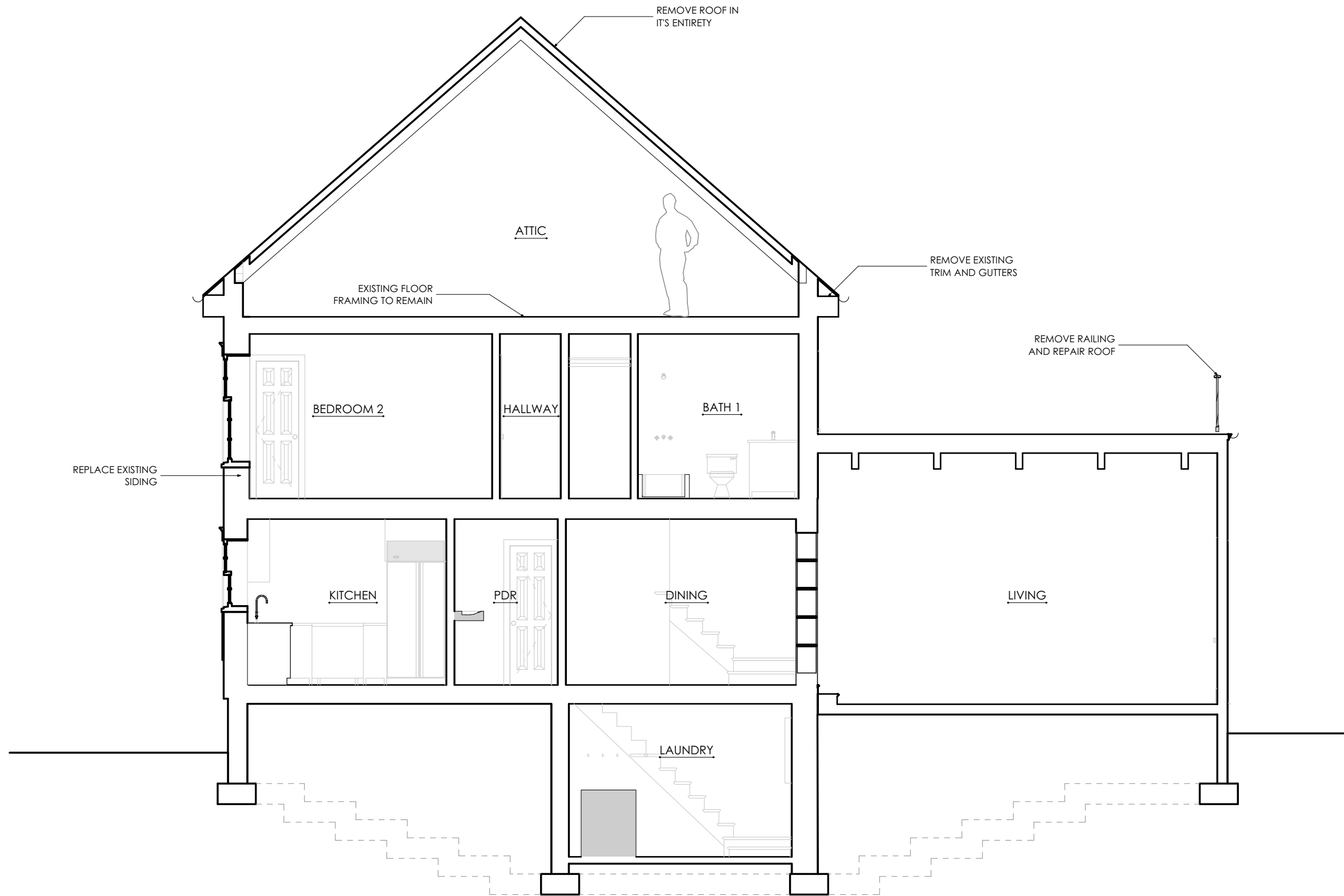
Sheet Title

Proposed South Elevation

Sheet Number

A2-8

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Longitudinal Building Section 1 - Existing

3/16" = 1'-0"

**Murphy
Residence**
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

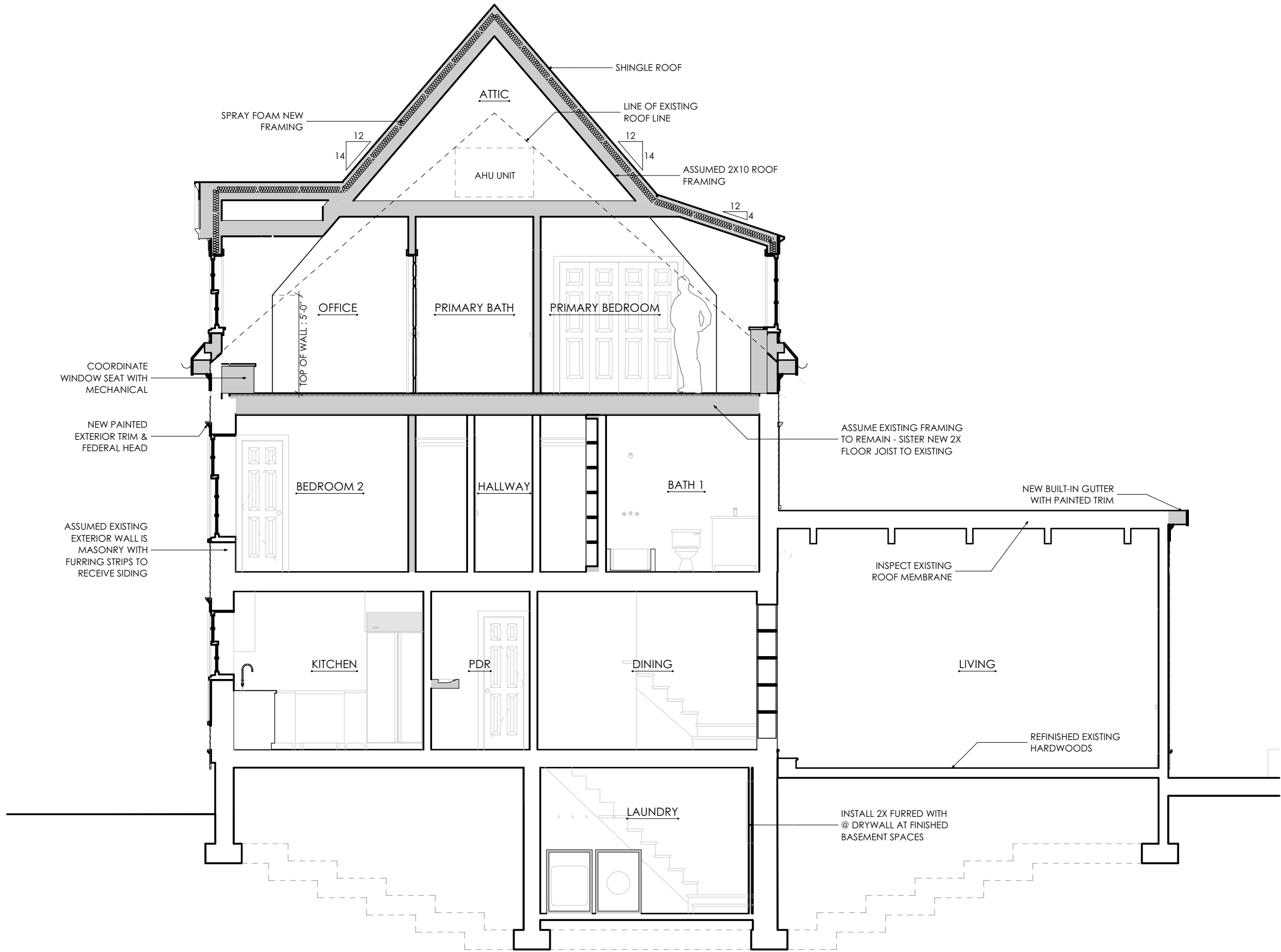
Sheet Title

Existing Longitudinal Section

Sheet Number

A2-9

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



Longitudinal Building Section 1

3/16" = 1'-0"



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Proposed Longitudinal
Section

Sheet Number

A2-10

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Existing NE (Side) View



2 Exist. East (Front) View



3 Existing West (Rear) View



36 4 Existing North (Entry) View

MORTAR & THATCH

ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Existing Photos

Sheet Number

A2-11

Printed: 12/8/2023

© Mortar & Thatch LLC

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 Existing Front Block Elevation
1/16" = 1'-0"



2 Proposed Front Block Elevation
1/16" = 1'-0"



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Block Facade Survey

Sheet Number

A2-12

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



Existing Block Photos

Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Block Photos

Sheet Number

A2-13

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



1 East View



2 North East View



3 North View



4 Northwest View

Murphy Residence

809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION

I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia

LICENSE NUMBER 0401019644

EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

3D Views

Sheet Number

A2-14

File Name: "C:\Users\HOW\Dropbox (Personal)\Mortar&Thatch\PROJECTS\2309 Murphy Residence - 809 S Columbus St Alexandria VA 22314\01_CAD\04_PERMIT\Murphy BAR addendum.pln



Overall Aesthetic



Gable Details



Portico



Roof Trim



Dormer



Typical Details

MORTAR & THATCH
ARCHITECTS

300 Morse Street NE
Washington DC 20002
www.mortarandthatch.com
202.695.5586

Project No. 2309
Murphy Residence
809 S Columbus Street
Alexandria VA 22314



ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE

Commonwealth of Virginia
LICENSE NUMBER 0401019644
EXPIRATION DATE 04-30-2024

Date	Issue Description
11-07-2023	BAR Draft Set
11-13-2023	BAR Final Set
12-08-2023	BAR Addendum

Sheet Title

Inspiration Images

Sheet Number

A2-15