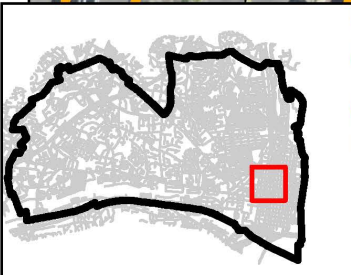
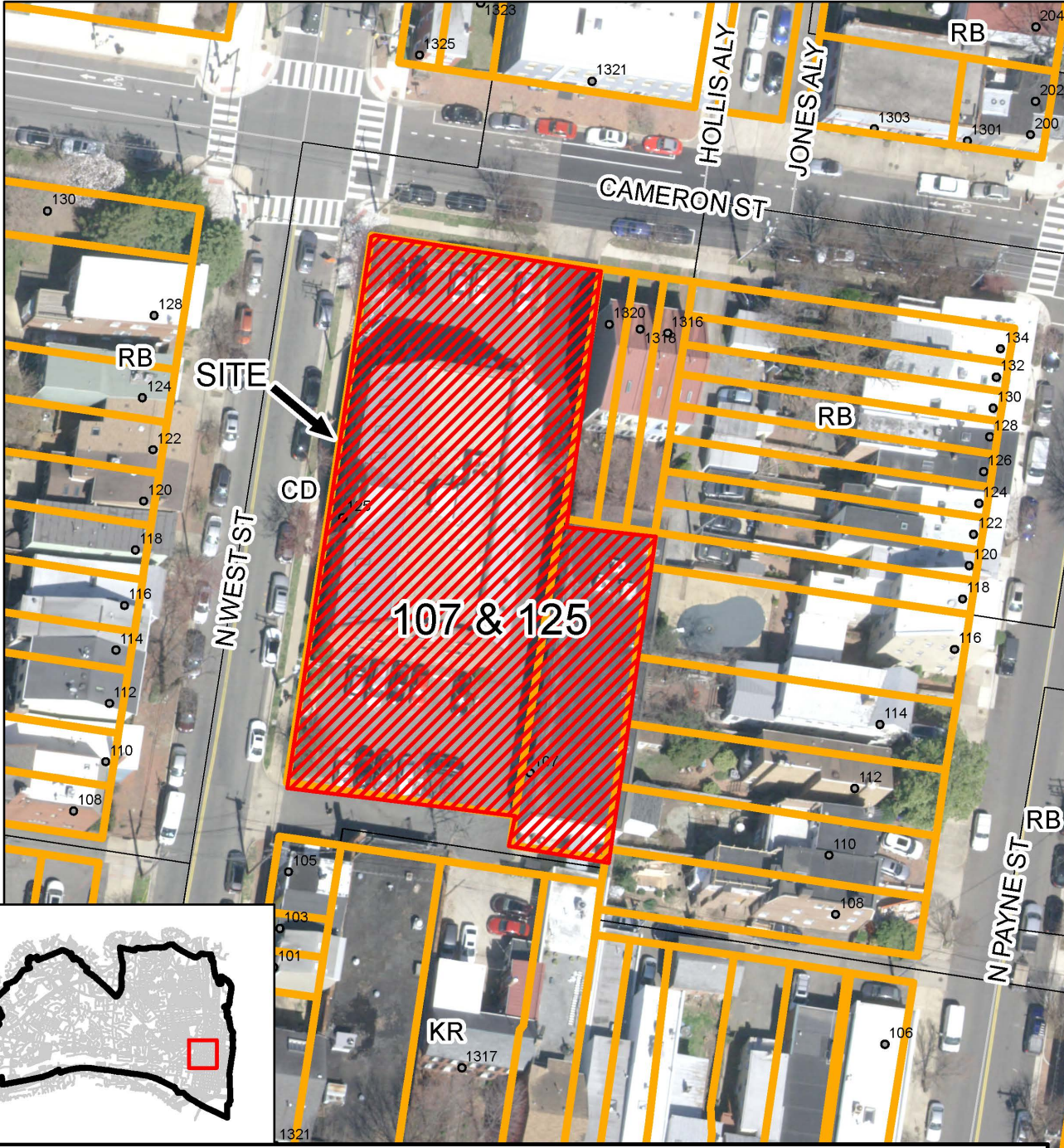


Docket Item #9
Development Special Use Permit #2024-10004
107 & 125 N. West Street
N. West Street Townhomes

Application	General Data	
Project Name: N. West Street Townhomes	PC Hearing:	June 24, 2024
	CC Hearing:	July 2, 2024
	If approved, DSUP Expiration:	July 2, 2027 (3 years)
	Plan Acreage:	0.53 acres (23,174 SF)
Location: 107 & 125 N. West Street	Existing Zone:	CD / Commercial Downtown
	Existing Use:	Office
	Proposed Use:	Residential
	Dwelling Units:	13
Applicant: 125 N. West Street LLC represented by Duncan Blair, attorney	Gross Floor Area:	39,320 SF
	Net Floor Area:	30,887 SF
	Small Area Plan:	Braddock Road Metro Station/Braddock Metro Neighborhood Plan
	Historic District:	N / A
	Green Building:	LEED Silver (or equivalent) and additional performance points per 2019 Green Building Policy
	Schools:	Jefferson-Houston PreK-8 George Washington Middle School Alexandria City High School

Purpose of Application
Consideration of a request for a Development Special Use Permit with Site Plan to construct 13 dwelling units on existing commercial property.
Special Use Permits and Modifications Requested:
<ol style="list-style-type: none"> 1. Development Special Use Permit and Site Plan with modifications to construct 13 dwelling units (nine townhouses and four semi-detached houses) in the CD zone; 2. Special Use Permit for land without frontage for lots 10-13; 3. Modifications to open space, rear and side yard setbacks, and parking in required yards.
Staff Recommendation: APPROVAL WITH CONDITIONS
Staff Reviewers: Robert M. Kerns, AICP, Chief of Development robert.kerns@alexandriava.gov Catherine Miliaras, AICP, Principal Planner catherine.miliaras@alexandriava.gov Stephanie Sample, Urban Planner stephanie.sample@alexandriava.gov

PROJECT LOCATION MAP



DSUP#2024-10004
107 and 125 N West Street



I. SUMMARY

A. Recommendation

Staff recommends approval of the request for the construction of nine townhouses and four semi-detached dwellings on the commercial properties at 107 and 125 N. West Street with a development special use permit with site plan (DSUP), a special use permit for land without frontage and associated modifications, subject to compliance with staff recommendations. The proposed redevelopment provides several community benefits, including:

- High-quality building design that replaces two surface parking lots and two office buildings with urban townhouses in a dense mixed-use area;
- Streetscape and pedestrian improvements, including widened, six-foot City-standard concrete sidewalks and a five-foot planting strip;
- A small open space at the corner of Cameron and N. West streets with a bench and shade trees;
- Dedication of 101 SF of site area to facilitate the enlargement of the adjacent public alley to City standard width of 22 feet;
- A Capital Bikeshare contribution of \$2,500;
- On-site public art or contribution to the public art fund (approximately \$11,800); and,
- An affordable housing contribution (approximately \$104,000)

B. General Project Description & Summary of Issues

The applicant, 125 N. West Street LLC, requests approval for 13 dwelling units at the corner of N. West and Cameron streets. A publicly accessible open space will be located at the corner of the project and a private alley will provide access to the garage parking for each unit. The site is located within the Braddock Road Metro Station/Braddock Neighborhood Plan Area and the King Street retail overlay. The project is not located in a historic district but is immediately adjacent to both locally-regulated districts, the Old and Historic Alexandria District to the south and the Parker-Gray District to the north.

The applicant is requesting the following approvals with this project:

- A development special use permit (DSUP) with site plan for:
 - The construction of nine townhouses and four semi-detached units, including a request for a Special Use Permit (SUP) for lots without frontage; and,
 - Site plan modifications to the open space requirement for Lots 1-9; side yard setbacks for Lots 1, 3, 4, 9; rear yard setbacks for Lots 10-13; and, parking in a required yard (front setbacks Lots 10-13 and rear setbacks for Lots 1-9).

II. BACKGROUND

A. Site Context and History

The nearly half-acre site is located at the corner of N. West Street and Cameron Street, which is a one-way, westbound street. A public alley borders the site on the south and a north-south drive aisle accessible from Cameron Street provides ingress/egress for the office building at 107 N. West Street. The location is a half block from the retail and commercial uses along King Street, and diagonal from Jefferson-Houston Prek-8 school. There are also residential uses across N. West Street and behind the site along Cameron and N. Payne Street.

The site consists of two parcels. An existing office building at 107 N. West Street in the middle of the block was constructed ca. 1955 as a warehouse and a two-story office building with surface parking lots on either side at 125 N. West Street (1985). The site has 213 feet of frontage along N. West Street and 80 feet along Cameron Street.

This property remained largely undeveloped in the eighteenth and nineteenth centuries. In the post-Civil War years, a small structure was built in the southwest corner of the property and assigned the street address 115 N. West Street. In the early decades of the twentieth century several different blacksmiths rented the property and used a forge, possibly adjacent to the house at 115 N. West St.

B. Detailed Project Description

The applicant is proposing nine three-and-a-half-story townhouses fronting N. West and Cameron streets and four semi-detached dwellings units facing the internal private alley. The existing curb cut along Cameron Street will be closed and a new curb cut will be created along N. West Street. The four units fronting the private alley require approval of a SUP for lots without frontage, as described in greater detail under the Staff Analysis section below. The private alley will have several easements to accommodate both access and utilities. The slightly enlarged 22-foot public alley to the south will allow for access to the private alley, especially as the new curb cut on N. West Street will be right-in and right-out only for safety reasons due to the proximity to the intersection.



Figure 1: Illustrative site plan (townhouses face N. West and Cameron streets; semi-detached face private alley)

There are two shared open spaces within the project identified as “Outlot A” and “Outlot B”. Outlot A will have a public access easement and include a bench and trees and Outlot B will include landscaping and lawn. The applicant is also proposing streetscape improvements including new six-foot wide sidewalks, a consistent five-foot planting strip, nine new street trees and five historic Alexandria street lights.

Each fee-simple dwelling will be clad primarily in brick on the front and sides, with rear elevations using a combination of brick and synthetic channel siding. The top floor of each dwelling will include a private rooftop open space and each of the nine townhouses will have a projecting deck at the rear off the kitchen. The four semi-detached units fronting the public alley will also have at-grade open space in the form of rear yards. Each dwelling will have a two-car garage accessed from the private alley, each with a standard and compact space.

III. ZONING

According to the Zoning Ordinance, “the CD zone is intended to provide for an urban mix of retail, office, service, hotel, residential and civic functions for the city's downtown business core. The location of the zone in and near the Old and Historic Alexandria District requires that such uses be compatible with nearby residential housing and with that area generally.” The proposal to construct townhouses on this site is consistent with the current CD zoning and the Zoning Tabulations below outline the zone’s requirements and how this project complies, including identifying where modifications are requested.

Table 1 – Zoning Tabulations

Address	107 & 125 N. West St.												
Site Area	23,174 SF (.532 acre)												
Zone	CD / Commercial Downtown												
Current/ Proposed Use	Office / Nine townhouses (Lots 1-9) and four semi-detached dwelling units (Lots 10-13)												
Permitted --- Required	Proposed/Provided												
	1	2	3	4	5	6	7	8	9	10	11	12	13
Lot Area --- 1,425 SF (min)	1,684	1,647	1,684	1,582	1,500	1,500	1,500	1,500	1,649	1,695	1,586	1,586	2,077
FAR --- Up to 1.5	1.40	1.37	1.46	1.49	1.50	1.50	1.50	1.50	1.43	1.41	1.50	1.50	1.34
Height¹ --- Up to 45 FT	45	45	45	45	45	45	45	45	45	45	45	45	45
Setbacks² --- F: 0 FT S: 5 FT R: 1:2 (min. 16 FT)	See yard modification section below												
Open Space³ --- 35% (min)	29.7	29.8	24.9	13.9	20	20	20	20	12.6	54.6	58.3	58.3	53
	Overall site open space: 36.1%												
Parking --- 2 PER LOT	2 spaces (1 standard & 1 compact)												
Loading --- 0	0												
Crown Coverage⁴ --- 25% (min)	26.8% site												

IV. STAFF ANALYSIS

¹ Height increase from 35’ to 45’ permitted per Section 4-506.
² Yard modifications requested for side lots 1, 3, 4 and 9 and rear lots 10-13.
³ Open space modifications requested for lots 1-9.
⁴ Crown coverage calculated by site, not individual lot, per the City’s Landscape Guidelines.

A. Master Plan and City Policy Conformance

Conformance with the Master Plan

The site is included within the Braddock Road Metro Station Small Area Plan (BRMSSAP) and Braddock Metro Neighborhood Plan (BMNP) overlay boundaries, though it is not identified as a development site in either document. Staff finds the proposed new development consistent with several identified Plan goals, including:

The goals of this plan are to preserve and strengthen the residential areas within the Braddock Road area, to protect residential areas from high density commercial office development abutting existing residential uses, and to encourage mixed use development, to include residential uses, near the metro station (BRMSSAP, 1992).

Provide walkable neighborhoods that are secure and feel safe (BMNP, 2008).

Create a sense of place/neighborhood identity, vitality and diversity (BMNP, 2008).

Establish a series of community-serving usable open spaces (BMNP, 2008)

Because the project is not an identified development site and does not include a rezoning or an increase in FAR above what is permitted, no Braddock Development Contribution is required.

Affordable Housing Policy

Consistent with the City's Procedures Regarding Affordable Housing Contributions, the residential floor area permitted under the existing CD zoning (1.5 FAR) is subject to the 2023 Residential Tier 1 voluntary contribution rate of \$3.37/square foot. The applicant will provide a voluntary monetary contribution of \$104,089 to the Housing Trust Fund. Since the project is being built within the density permitted by right under the CD zone, no committed affordable units are required to be provided. The voluntary contribution will advance the implementation of the City's Housing Master Plan recommendations which include supporting down payment assistance programs for first-time homebuyers and leveraging public-private affordable housing partnerships.

Public Art Policy

Pursuant to the City's Public Art Policy adopted on December 13, 2014, the applicant will either provide public art on site or provide a contribution. The value of the on-site art or contribution should be a minimum of \$11,797, based on the \$0.30 per square foot outlined in the Public Art Policy. The applicant will coordinate with staff during Final Site Plan review on the feasibility of commissioning and installing public art on the site, most likely within the corner open space.

Green Building Policy

The project will meet the City's 2019 Green Building Policy, likely by meeting the National Green Building Standard (NGBS) Silver level. The project will be fully electric, and the roofs of each dwelling

unit will be constructed to be solar-ready for the future installation of solar should the homeowners desire. Each unit will also include at least one EV-charger ready parking space.

B. Building and Site Design

Staff supports the applicant's request for this residential development because it removes surface parking lots and creates additional housing options in this transit-rich, walkable neighborhood, consistent with Council's goals of creating more housing in the city.

The proposed dwelling units, particularly those fronting the public streets, are designed in a traditional style utilizing high-quality materials, while the four semi-detached units fronting the private alley are less traditional. The street-facing elevations read as three stories with a gable roof and dormers, with projecting bays to give depth and articulation to the facade. The windows throughout the project will be aluminum clad and the trim will be solid synthetic trim, which can be painted, and poly-ash channel siding. The most visible side elevations of the townhouse units, next to the private alley and public alley, are fully clad with brick.

The existing curb cut on Cameron Street will be closed and a new curb cut on N. West Street will allow for safer vehicular and bike traffic on Cameron, which is a one-way street with a dedicated bike lane. The open space at the corner will provide a minor respite and additional shade for people waiting to cross the adjacent intersection. The site frontages will be enhanced with new 6-foot-wide concrete sidewalk (replacing an existing 4-foot sidewalk) and 5-foot-wide landscape strips adjacent to the curb with nine street trees (replacing the existing narrow landscape strip with three street trees in fair condition).

The public alley to the south of the site abuts two commercial uses facing King Street, Rock It Grill at 1317 King Street and offices at 1319 King Street. Rocket It Grill is a long-standing restaurant and bar. Staff discussed the presence of the business with the applicant and noted the hours of operation permitted by an existing Special Use Permit and lively crowd the business can attract. To help address the possibility of future noise complaints, staff is recommending a condition requiring windows with noise attenuating properties, such as triple glazed, on the two dwellings immediately adjacent to the alley to provide additional sound dampening and minimize potential conflicts. Staff also recommend that the Homeowners' Association documents disclose the presence of the business.

To prevent someone trying to park a vehicle between the new corner bump out and West Street curb cut, staff has added a condition that the striped area shown in Figure 2 below be replaced with a curb extension which can accommodate additional landscaping. Staff will work with the applicant during the final site plan process to design a viable solution.



Figure 2: Area of pavement to be converted to curb extension with landscaping

C. Special Use Permit Requests

Section 11-500 of the Zoning Ordinance gives authority to the City Council to approve Special Use Permits (SUPs). The Zoning Ordinance requires that the approval of the SUPs associated with the development application:

1. Will not adversely affect the health or safety of persons residing or working in the neighborhood of the proposed use;
2. Will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood; and
3. Will substantially conform to the master plan of the city.

The proposed project includes a request for one SUP.

Land Without Frontage

The four semi-detached units on Lots 10-13 front the private alley and not a public street so Section 7-1007 of the Zoning Ordinance applies: “whenever a unit of land otherwise usable as a building site does not have frontage on a public street, it shall be deemed to meet the street frontage requirements if a special use permit is granted.”

Staff supports the request for these four units accessed from the private alley. There is already an existing office building in the middle of the block (107 N. West St.) roughly where these new units will be located. While the existing building fills 100% of the lot, the new units will be set back from the rear lot line which will allow for open space and areas for landscaping to provide a green buffer between the new units and the rear yards of the residences facing N. Payne Street.

The occurrence of residential properties without direct street frontage is not uncommon, especially in the historic parts of Old Town. These types of developments have been constructed historically and continue today. Recent examples include many of the mews-style developments, such as the Venue in North Old Town and Slade Court Townhomes in Parker-Gray, as well as the townhouse project at 820 Gibbon Street that was approved in January of this year. Closer to this site, two blocks to the south, is Baggett Place, an interior block street providing access to nine townhouses constructed in 1940.

Based on the three criteria City Council considers in their approval of SUPs, staff supports the approval of this SUP:

1. The fee-simple alley dwelling units will not affect the health and safety of the neighborhood. The alley units will be served by the private alley and there will be a greater setback from the residential properties to the east;
2. The SUP request will not create any adverse effects to any adjacent properties, as the project includes the demolition of the underutilized office building with surface parking at 125 N. West Street and the replacement of a former warehouse and now office building (107 N. West) which fills 100% of the lot and provides no pervious surface.
3. The proposed use is consistent with the Braddock Plans which encourage residential uses and the site layout is compatible with other mixed-use blocks in this area of Old Town.

D. Site Plan Modifications

As part of this DSUP, the applicant is requesting four modifications to the Zoning Ordinance. Pursuant to Section 11-416 of the Zoning Ordinance, the Planning Commission may approve these modifications if they determine that such modifications:

1. Are necessary or desirable to good site development.
2. That specific and identified features of the site design compensate for the impacts otherwise protected by the regulations for which the modification is sought.
3. That such modification will not be detrimental to neighboring property or to the public health, safety and welfare.

Open Space Modification

The proposed development scheme includes both ground-level and above-grade open spaces, and private and publicly accessible (by easement) open space. Nine of the thirteen lots require modifications as noted in the chart below.

Table 2 – Open Space Modification

Lot #	1	2	3	4	5	6	7	8	9	10	11	12	13
Required	35% per lot per CD Zone												
Provided	29.7%	29.8%	24.9%	13.9%	20%	29%	20%	20%	12.6%	54.6%	58.3%	58.3%	53%

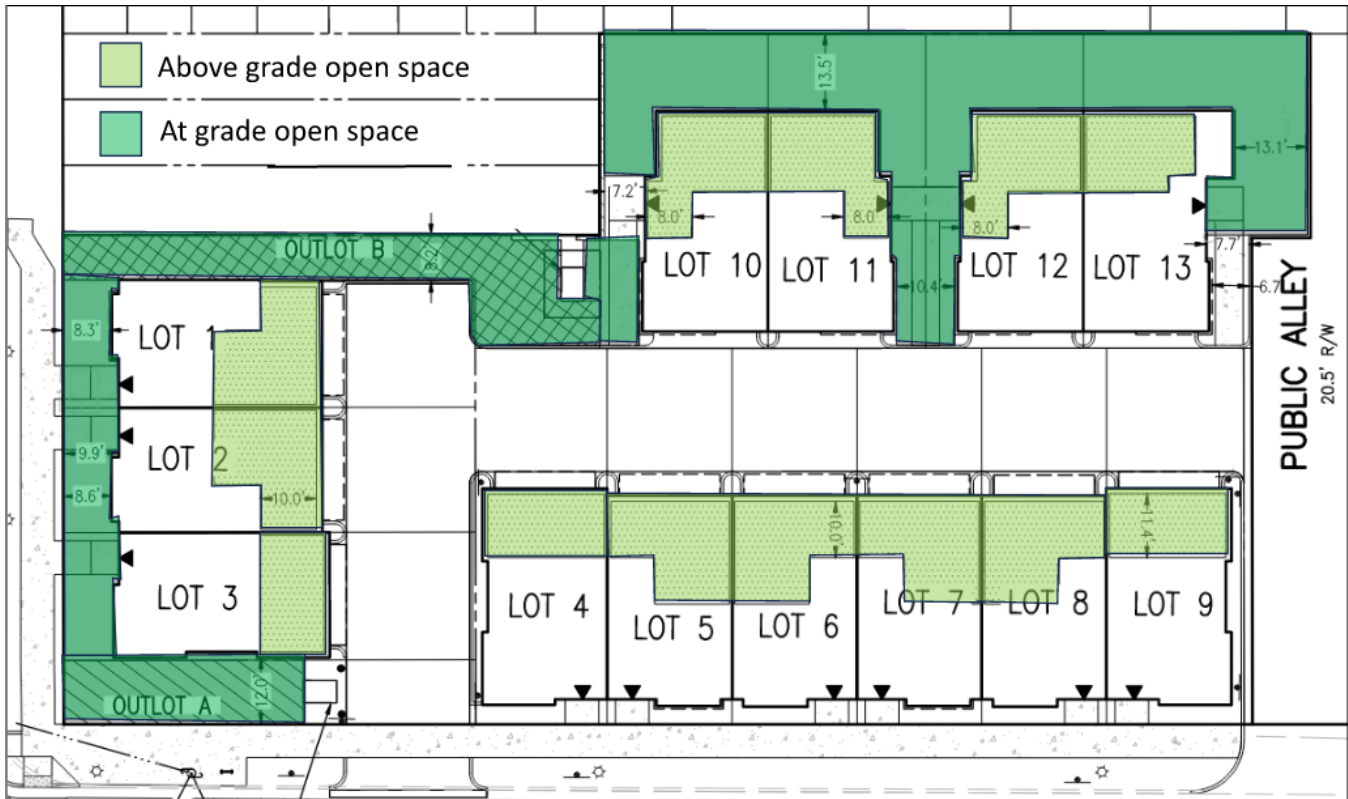


Figure 3: Open Space

While townhouses are permitted in nearly every zone, the open space requirements vary considerably by zone (25%-40%) and some zones allow for “comparable amenities and/or facilities in lieu of” ground-level space. The CD zone requires that open space be calculated per lot and although certain lots require an open space modification, the overall project site exceeds the 35% open space requirement at 36.1%. Several lots will exceed the required open space significantly. Staff supports the modification request for nine of the thirteen lots as the project will include the publically accessible 480 square feet at Outlot A, ground-level open space for all residents (Outlot B), at-grade private open space for seven units and private roof decks on all units.

Based on the criteria listed above that Planning Commission uses to approve modifications, staff supports these modifications for the following reasons:

1. This infill project in a mixed-use part of Old Town provides opportunities for shared and private open space on the site and is also within close proximity to nearby public open spaces at Jefferson-Houston school and the Durant Center to the northwest and a tot lot and basketball court to the northeast, approximately two blocks away.
2. Outlots A and B provide 6.2% of the site area as open space accessible to all residents.
3. The open space amounts provided with this project are typical for this dense part of the City and the project will provide more permeable open space than currently exists, allowing for additional landscaping helping to mitigate the impact of the project on nearby properties.

Modification for Parking in a Required Yard

The applicant seeks approval of a modification to Section 7-1005 in the Zoning Ordinance, which states the following with respect to parking in required yards:

Front, side and rear yards shall be deemed to be in compliance with this ordinance provided that not more than 50 percent of such front, side or rear yard is used for parking of automobiles, including driveways whether paved or unpaved.

The modification request applies to the rear yards of Lots 1-9 and the front yards of Lots 10-13. Given the project layout which includes a private alley, land without frontage and rear load garages, staff supports the modifications for the following reasons:

1. The modification request is triggered by other approvals associated with this project, which allows for the most appropriate site layout.
2. The rear private alley allows for parking garage access off the private alley versus the public street, allowing for greenspace in front of each street-fronting unit.
3. All parking for the project is accommodated on-site. Because the residents of this development are not eligible for Residential Parking Permits, parking is essential and will provide public benefit to nearby properties who must depend upon on-street parking.

Side and Rear Yard Modifications

The project includes requests the following setback modifications:

Table 3 – Yard Modifications

Lot 1	Side yard setback from 5’ to 0’
Lot 2	--
Lot 3	Side yard setback from 5’ to 0’
Lot 4	Side yard setback from 5’ to 1’
Lot 5	--
Lot 6	--
Lot 7	--
Lot 8	--
Lot 9	Side yard setback from 5’ to 3.5’
Lot 10	Rear yard setback from 16’ to 13.5’
Lot 11	Rear yard setback from 16’ to 13.5’
Lot 12	Rear yard setback from 16’ to 13.5’
Lot 13	Rear yard setback from 16’ to 13.5’

As the image below demonstrates, the yard modifications impact the sides of the units fronting the public streets and the rear of the lots without frontage. Staff supports the yard modifications as the yard relief provides adequate setback from nearby properties.

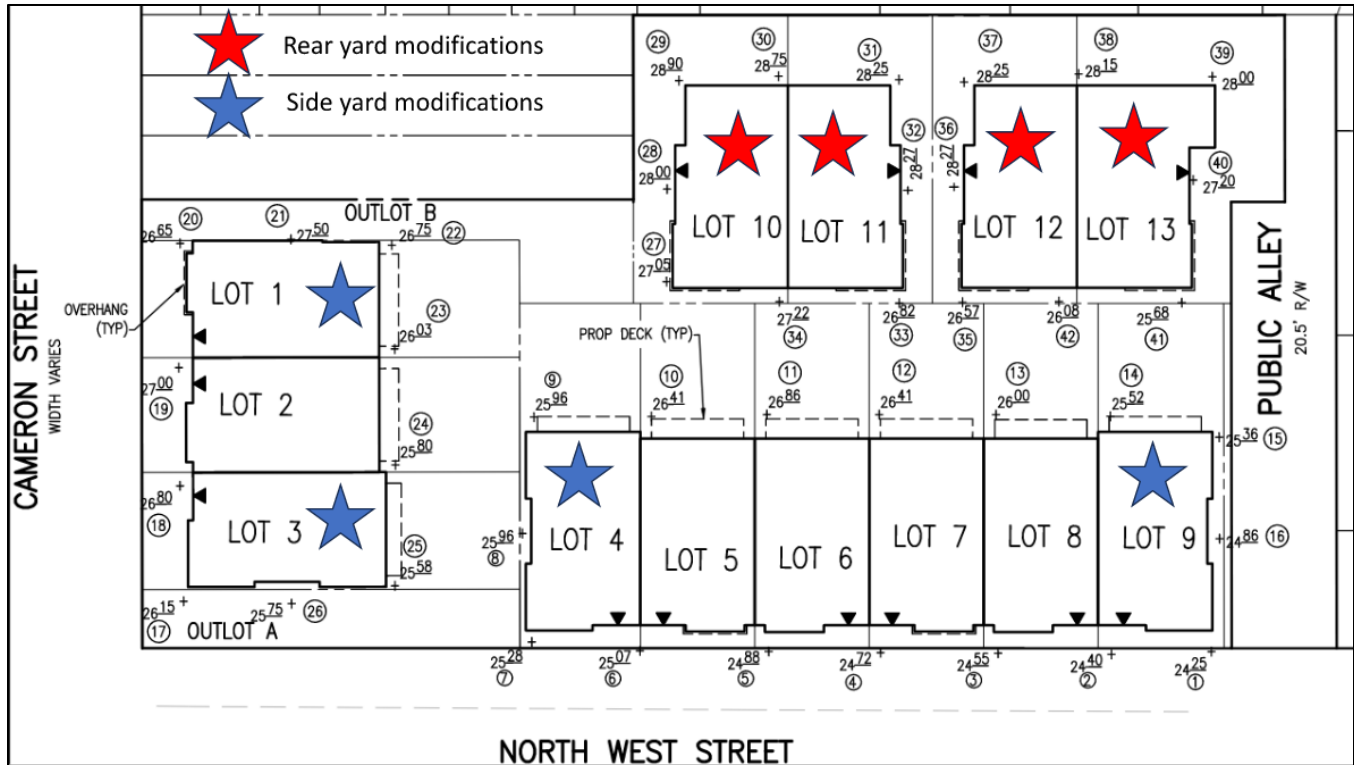


Figure 4: Setback modifications by lot.

Based on the criteria listed above that Planning Commission uses to approve modifications, staff supports these modifications for the following reasons:

1. The modifications to side and rear yards facilitate a site design that is compatible with the mixed-use nature of the immediate neighborhood;
2. The side yard setbacks allow for the creation of two small open space outlots and the rear yard setbacks still allow for sufficient setback from existing residential properties and will incorporate open space and landscaping; and,
3. The modifications are for townhouses in a dense part of Old Town where setbacks between adjacent properties are minimal, therefore the setback modifications will not be detrimental to neighboring properties.

K. Open Space, Streetscape and Stormwater

Open Space

As discussed above in the open space modification section, the project’s overall open space is 36.1% of the site area. The open space is provided in different forms including private at-grade open space, private rooftop open space, an outlot accessible to all the residents and a publicly accessible open space at the corner. Noting the dense urban setting of this site, staff finds that the proposal offers a successful mix and quantity of open space. In particular, the publicly accessible open space at the corner will complement the open space diagonally across the intersection at the Jefferson-Houston K-8 School.

Streetscape

The applicant's streetscape improvements include new six-foot wide sidewalks, a consistent five-foot planting strip, nine new street trees and five historic Alexandria street lights. These elements will all enhance this popular pedestrian route near the commercial spine of King Street and in proximity to the Jefferson-Houston K-8 School, Durant Center and Old Town Pool.

Stormwater

The project proposes compliance with City and State stormwater quality and quantity requirements through a reduction of impervious surfaces in the post development condition and a manufactured treatment device BMP. The proposed BMPs result in a 30% improvement in the reduction of phosphorus when comparing the post-development and existing conditions. The site proposes a reduction of imperviousness in the post-development condition to such a degree that there is no state level requirement to reduce phosphorus loads further. However, to comply with the City's Water Quality Volume Default requirement, the applicant is treating nearly 100% of the post-development impervious surfaces through the manufactured treatment BMP and committing the remaining untreated portions of the site into the Water Quality Improvement Fund. By complying with the City's more stringent local stormwater requirements, the proposed BMP exceeds the required phosphorus removal by more than 100%. Green infrastructure feasibility within the right of way was explored but deemed infeasible due to existing inlet and proposed underdrain elevation constraints.

L. Transportation

Residential Parking Permits

The residents of this project will be ineligible for residential parking permits because the development is not within a residential parking permit district. City Code section 5-8-77 allows for residential parking permits for *"persons who both reside in a residential property located on a block adjacent to an existing permit parking district where parking on said block is controlled by time limits set by official signs or metered parking and lack adequate alternative nearby parking facilities available to them, as determined by the city manager or the manager's designee."* This does not apply because adequate parking is being provided on this site.

Traffic

The proposal does not trigger a traffic study based on the City's guidelines for the trip generation. According to the trip generation analysis submitted by the applicant, the proposal generates eight fewer (from 13 to 5) AM peak hour motor vehicle trips and six fewer (12 to 6) PM peak hour motor vehicle trips from the current office/commercial uses.

Transit and Bicycle Facilities

This site is well served by a variety of transit, including bus and Metrorail, as well as bicycle facilities. The King Street Metro station is a roughly eight-minute walk from the site and the Braddock Road Metro

station is an 11-minute walk. Several bus lines run along King Street, including the King Street Trolley and the Old Town Circulator line 30 and 31. There are two Capital Bikeshare stations within two blocks of the site and a dedicated bike lane along Cameron Street.

M. School Impacts

Based on the 2023 Student Generation Rates jointly developed by ACPS and the City, the development is projected to generate approximately 2 students (1.43) distributed across all grade levels. This project is located within Jefferson-Houston PreK-8, George Washington Middle School, and Alexandria City High School attendance areas. The City and ACPS staff continue to monitor and integrate projected student generation numbers in forthcoming school enrollment projections and ACPS will continue to coordinate with the City to review, plan, and allocate resources for necessary additional capacity to ensure all ACPS students are provided with safe and equitable learning environments.

N. Tax Impacts

The two properties are currently assessed for a total of \$5,437,790. Based on the 2024 tax rate of \$1.135 per \$100, the total property tax owned is \$61,719. The Office of Real Estate Assessments has reviewed the Site Plan and estimates that the total value upon completion of the project as proposed would range between \$13,000,000 to \$15,000,000. The estimated property tax (based on the 2024 rate) would be between \$147,550 to \$170,250. This is an increase of \$85,831 to \$108,531 over current ad valorem revenue as improved.

V. COMMUNITY

The applicant reached out to nearby neighbors by knocking on doors and leaving postcards when no one was home introducing the project, providing both his email and phone number if neighbors wanted to discuss the development details. An open house in the building at 125 N. West St. was also held on April 25, 2024 and was well attended. In addition to neighbors, the following civic associations were notified and attended: Upper King Street Neighborhood Association, Old Town Civic Association and West End Civic Association. Neighbors had questions and concerns regarding the proposed density of the project, changes to the scale of the neighborhood, parking and access, construction logistics and project schedule.

VI. CONCLUSION

Staff recommends approval of the project subject to compliance with all applicable codes and the following staff recommendations.

Staff: Robert M. Kerns, AICP, Chief, Development Division
Catherine Miliaras, AICP, Principal Planner, Development Division
Stephanie Sample, Urban Planner, Development Division

VII. ADDITIONAL GRAPHICS

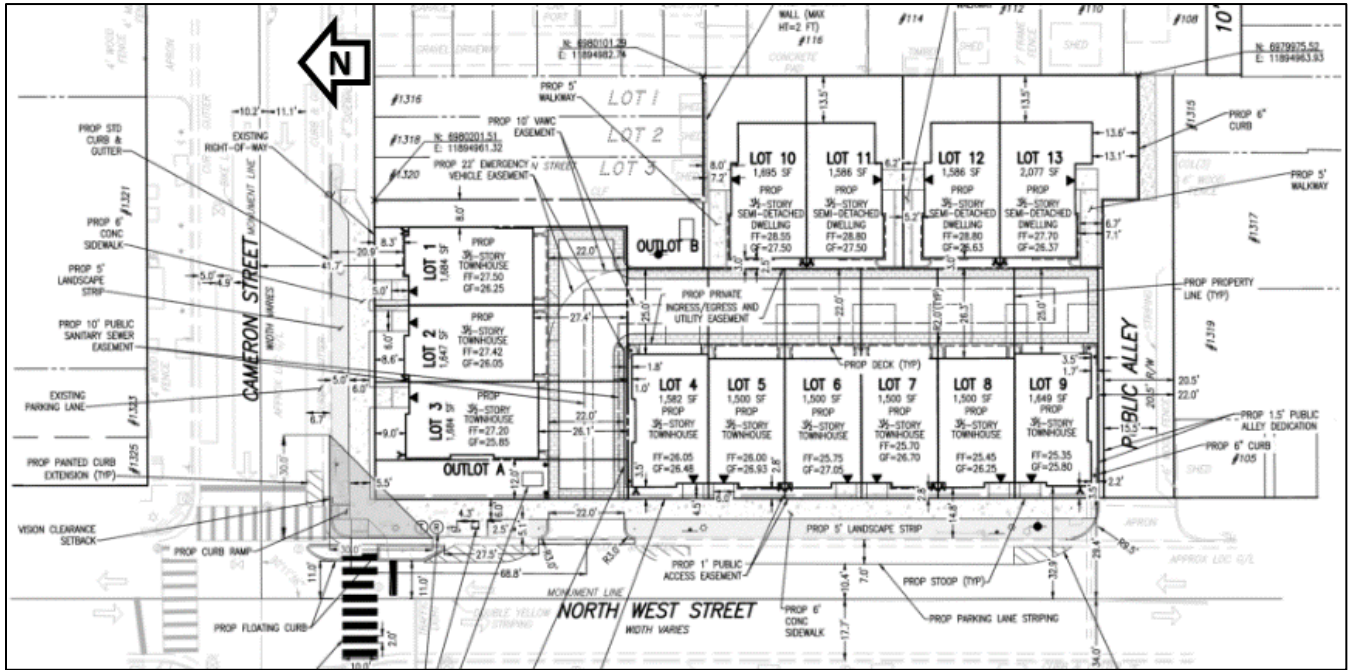


Figure 5: Site plan.



Figure 6: Illustrative rendering of N. West Street.



Figure 7: Illustrative rendering of Cameron Street townhouses.



Figure 8: Illustrative rendering of the corner of Cameron and N. West streets.



Figure 9: Private alley semi-detached units

VIII. STAFF RECOMMENDATIONS

1. The Final Site Plan shall conform substantially with the preliminary plan dated April 10, 2024, and comply with the following conditions of approval.

I. SITE PLAN

2. Per § 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless the applicant commences substantial construction of the project within 36 months after initial approval and the applicant thereafter pursues such construction with due diligence. The applicant shall provide a written status report to Staff 18 months after initial approval to update the City Council on the project status if they have not yet commenced substantial construction. The applicant may petition to extend the validity period after adequate notice and a public hearing. (P&Z)
3. Submit the plats and associated deeds for all applicable dedications, easements, and easement vacations identified in the Preliminary Plan dated April 10, 2024, with the first Final Site Plan. The applicant must obtain approval of the plat(s) and associated deeds prior to or concurrent with Final Site Plan release. Provide proof of recordation prior to the release of a building permit. (P&Z) (T&ES) (RP&CA) *,**
 - a. Provide public easements to the satisfaction of the Directors of P&Z and T&ES. Easements shall be:
 - i. Public access in the open space at the corner of N. West and Cameron streets identified as Outlot A, not including the area dedicated to the above ground transformer.

- ii. Utility access throughout the private alley ways identified as Private Ingress/Egress.
 - iii. Emergency Vehicle along the Private Ingress/Egress alley ways not including portions of Lot 1 and Lot 2 alley way accesses.
 - b. Emergency Vehicle Easement(s) (EVE) shall not be painted. When an EVE is shared with a pedestrian walkway or consists of grasscrete or a similar surface treatment, the EVE shall be defined in a manner that is compatible with the surrounding ground plane.
4. Make all fee simple conveyances to the City with General Warranty of title (unless not available) or provide current ALTA survey and Title Report that includes the areas to be dedicated to City. Include the City as an authorized user of the ALTA survey for any purposes that the City deems necessary, including obtaining title insurance. Submit the ALTA survey and Title Report for review prior to approval of subdivision plat and deed by City. (T&ES) *
5. Record the plat and submit a copy of the recorded plat, dedications, and deeds with the first application for a building permit. (P&Z) (T&ES) **
6. Property rights to be conveyed by easement to the City may instead be conveyed by dedication (fee simple) to the City subject to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES)
7. Show site utilities compatibly with other conditions on the site plan to the satisfaction of the Directors of P&Z, T&ES prior to Final Site Plan release, specifically: (P&Z) (T&ES) *
- a. Locating above grade service openings and required clearances for items such as transformers, telephone, HVAC units, and cable boxes.
 - b. Minimizing conflicts with plantings, pedestrian areas, and major view sheds.
 - c. Excluding above grade utilities from dedicated open space areas and tree wells.
 - d. Screening all utilities from the public right-of-way.
8. Provide a lighting plan with the Final Site Plan, unless otherwise identified below, to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of P&Z, T&ES, Code, and the Climate Action Officer of OCA and shall include: (P&Z) (T&ES) (OCA) (Code) *
- a. The location of all existing and proposed streetlights and site lights, shading back less relevant information.
 - b. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
 - c. A photometric plan with lighting calculations encompassing all existing and proposed streetlights and site light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to

- the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way.
- d. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s), and security lighting.
 - e. The numeric summary for various areas (i.e., roadway, walkway/sidewalk, alley, and parking lot, etc.) in the proposed development.
 - f. Full cut-off lighting as applicable to prevent light spilling onto adjacent properties. Provide a plan distinguishing between the site with all streetlights and other pertinent off-site lighting and the site without streetlights and off-site lighting to demonstrate how the plan complies with § 13-1-3 light spill regulations.
 - g. Additional lighting to achieve City standards if existing lighting within the City right-of-way adjacent to the site does not meet the minimum standards.
 - h. Basic, approved Dominion LED light fixtures for all proposed light fixtures in the City right-of-way.
 - i. Historic Alexandria Street light fixtures shall be installed in City right-of-way. All site lights designed to meet City of Alexandria photometric standards shall have photovoltaic switches.
 - j. The location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
 - k. Details indicating proposed light pole and footings relative to the adjacent grade and pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
9. Provide a georeferenced CAD file in AutoCAD 2018.dwg or greater format that adheres to the National CAD Standards prior to Final Site Plan release. The file shall have the dimension plan including existing conditions, proposed conditions, and grading elements. (P&Z) (DPI) (GIS) *
 10. Sheeting and shoring, support of excavation shall not extend beyond the property line, except when the applicant has obtained a written release or encroachment from adjacent property owners which has been reviewed prior to Final Site Plan release and recorded in the Land Records. (P&Z) (Code) *

A. BUILDING

11. Provide a building code analysis with these building code data prior to Final Site Plan release: (1) use group, (2) number of stories, (3) type of construction, (4) total floor area per floor, (5) height of structure, (6) non-separated or separated mixed use, (7) fire protection system requirements, and (8) accessible routes. (P&Z) (Code) *
12. The building design, including the appearance, color, and quality of materials; final detailing; three-dimensional expression; and depth of all plane changes, shall be consistent with the elevations dated April 10, 2024, and the following conditions. Provide this information regarding materials and design to the satisfaction of the Director of P&Z prior to Final Site Plan release: (P&Z) (Code) (OCA) *

- a. Samples of actual window glazing, frame, and sash components proposed for each area of the building in the color and material that will be provided (may reduce sample sizes for ease in handling).
 - i. Window sizes and types.
 - ii. Window mullion dimensions and projection in front of face of glass.
 - iii. Window frame, sash, and mullion materials.
 - b. The synthetic trim on the projecting window bays fronting Cameron and N. West streets shall be solid to the core and paintable.
 - c. The townhouses fronting the public alley to the south should include triple glazed windows or a window with similar noise attenuating properties to mitigate the noise associated with the commercial uses fronting King Street, to the satisfaction of the Director of P&Z.
 - d. Where fiber cement façade panels are permitted, they shall not use a wrap-around trim for mounting to the substructure but may use either a batten system to conceal the joints or a rainscreen type installation. If exposed fasteners are proposed, they may be either concealed or if exposed, shall be finished to match the adjacent panels and their location integrated into the overall design.
 - e. The underside of all balconies shall be finished and present a visually cohesive appearance.
 - f. Coordinate the design, color, and materials of all penthouses, rooftop mechanical areas, and rooftop screening with the overall architecture of the building, as regards massing, materials, and detailing/expression. Roof surfaces must be light-colored with green roofs encouraged as an alternative.
 - g. The recessed or projecting depth of brick rustication must be a minimum of 3/4 inches.
 - h. Bay projections and plane setbacks shall be no less than shown on the preliminary plan.
 - i. Where dissimilar materials meet, they must typically meet at an interior corner; where that is not possible, such transitions shall occur at a significant plane change or reveal.
13. Provide detailed drawings in realistic colors to permit evaluation of key building elements such as the building base, entrances, entry canopy, stoops, windows, balconies, railings, cornices, and other ornamental elements, and material details including the final detailing, finish, and color of these elements prior to Final Site Plan release. (P&Z) *
- a. The drawings shall be enlarged and coordinated plan-section-elevation studies, typically at 1/4" = 1'-0" scale, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections.
 - b. Separate design drawings shall be submitted for each primary building typology, different wall, or bay type.
 - c. When warranted by the three-dimensional complexity of the design, the applicant shall provide isometric vignettes of special conditions or building areas to the satisfaction of the Director of P&Z.
 - d. All structures must remain within the property (e.g., balconies, railings, and canopies), unless permitted under the City of Alexandria Code or an encroachment has been obtained.

14. Provide the items listed below to allow Staff to review the materials, finishes, and architectural details. These materials shall conform substantially to the preliminary plan and the current *Guidelines for Preparation of Mock-Up Panels*, Memo to Industry effective at application submission. (P&Z) (Code)
 - a. Prior to ordering final building materials, provide a materials board that includes all proposed materials and finishes at first Final Site Plan. The materials board shall remain with P&Z until the issuance of the final Certificate of Occupancy, when Staff will return all samples to the applicant. (P&Z) *, ***
 - b. Staff may request more detailed/extensive materials relating to the proposed fenestration, such as samples of the glazing, frame, and sash components, and including whether the windows will be double-or-triple glazed and have simulated divided lights.
 - c. Materials may be modified or substituted only if in substantial conformance with the Preliminary Site Plan approval and to the satisfaction of the Director of P&Z. *
 - d. Drawings of mock-up panel(s) that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. *
 - e. An on-site mock-up panel using the approved materials, finishes, and relationships shall be constructed for Staff review and approval. Per VCC108.2 concrete or masonry mock-up panels exceeding 6-ft. require a building permit. The panel(s) shall be constructed and approved prior to vertical (above-grade) construction and before ordering building materials. Locate the panel so that it receives sunlight from the same predominant direction as will the finished structure. **
 - f. The mock-up panel shall remain on-site, in the same location, and visible from the right-of-way without entering the site throughout construction until the issuance of the first Certificate of Occupancy. To the extent that the mock-up panel is located on site and needs to be relocated during construction due to site constraints, the applicant shall obtain approval for any new location from P&Z and Code prior to relocation. (P&Z)(Code)***

B. OPEN SPACE/LANDSCAPING

15. Develop a palette of site furnishings for review and approval by Staff prior to Final Site Plan release. (P&Z) (T&ES) *
 - a. Site furnishings shall include at a minimum a bench in Outlot A but may also include bicycle racks, trash bins, recycling receptacles, and other associated features. City standard materials are mandatory in all public right-of-way.
16. Provide material, finishes, and architectural details for all retaining, seat, decorative, and screen walls prior to Final Site Plan release. Indicate methods for grade transitions, handrails, directional changes, and above and below-grade conditions. Coordinate with adjacent site and building conditions. The design and construction of all walls shall be to the satisfaction of the Directors of P&Z, T&ES, and Code. (P&Z) (T&ES) (Code) *
17. Post a sign stating that open space public access easement on the corner of Cameron and N. West streets is open to the public, noting any operating hours or other restrictions. Show

the sign location and design on the Final Site Plan and install the sign prior to the issuance of the first Certificate of Occupancy. (P&Z) (RP&CA) *, ***

18. All publicly accessible open spaces shall be maintained and managed by the applicant/owner or its successors. The applicant is responsible for providing a maintenance plan that includes maintenance practices, standards and frequency for all hardscape, landscaping, furniture, and related infrastructures for all publicly accessible open spaces to the satisfaction of the Director of Recreation, Parks & Cultural Activities (RP&CA).
 - a. The owner or designee shall be responsible for all costs to operate and maintain all publicly accessible open spaces. Costs shall include the life cycle replacement of materials and components depicted in the landscape design. (RP&CA) *

C. TREE PROTECTION AND PRESERVATION

19. Provide a Tree and Vegetation Protection Plan per the City of Alexandria's Landscape Guidelines for approval prior to Final Site Plan release and implement the plan for the duration of construction. (P&Z) (RP&CA) *

D. ARCHAEOLOGY

20. Call Alexandria Archaeology immediately at 703.746.4399 if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts during development. Cease work in the discovery area until a City archaeologist inspects the site and records the finds. *The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.* (Archaeology) *
21. The applicant/developer shall not allow any metal detention to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. *The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.* (Archaeology) *

E. PEDESTRIAN/STREETSCAPE

22. Provide the pedestrian improvements listed below to the satisfaction of the Directors of P&Z and T&ES. Complete all pedestrian improvements prior to the issuance of the final Certificate of Occupancy. (P&Z) (T&ES) ***
 - a. Install ADA accessible pedestrian improvements serving the site.
 - b. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be six feet on both N. West Street and Cameron Street.
 - c. Sidewalks shall be flush across all driveway crossings.
 - d. All newly constructed curb ramps shall be concrete with detectable warning and shall conform to current VDOT standards.
 - e. Provide one floating curb extension and ramp on N. West Street at the intersection of Cameron Street, and one painted curb extension and ramp on Cameron Street at

the intersection of N. West Street within the no parking zone located behind the stop sign. Curb ramps shall be perpendicular to the street. The final design and treatment of the curb geometry will be determined during review of the final site plan, to the satisfaction of the Director of T&ES. *

- i. Explore ways to provide vertical elements within the painted curb extension to prevent and discourage illegal parking. *
 - f. Provide thermoplastic pedestrian crosswalks at all crossings at the proposed development.
 - g. All crosswalks shall be high-visibility white, thermoplastic ladder crosswalks as shown in the Manual on Uniform Traffic Control Devices (MUTCD)]
 - h. All below grade utilities placed within a City sidewalk shall be integrated with the adjacent paving materials and to minimize any visible impacts.
 - i. The new curb cut along N. West Street shall be right-in and right-out only.
23. Work with Staff during review of the Final Site Plan to refine the design of the curb in front of Outlot A by extending it closer towards the new driveway apron and explore the feasibility of additional landscaping and plantings, to the satisfaction of the Directors of T&ES and P&Z.

F. PARKING

24. Design and allocate parking to conform with these requirements, to the satisfaction of the Directors of P&Z, T&ES, and Code Administration: (P&Z) (T&ES) (Code)
- a. All parked vehicles shall not encroach on the proposed streets, drive aisles, pedestrian walkways, and emergency vehicle easements.
 - b. Each townhouse unit shall provide a sufficient area within each unit, garage, or in an enclosed area for a standard City-issued trash and recycling container exclusive of the area required for parking.
 - c. Individual townhouse garages shall only be used for parking and cannot be converted to living space. Storage that interferes with using the garages for parking is prohibited.
25. Show all existing and proposed on-street parking controls and restrictions on the Final Site Plan. The Traffic and Parking Board must approve any on-street parking changes after Signature Set approval. (P&Z) (T&ES) *.
26. Provide bicycle parking per current Bicycle Parking Standards, available at: www.alexandriava.gov/bicycleparking. (T&ES) *, ***
- a. Include details on the locations and types of bicycle parking prior to Final Site Plan release. Install the bicycle parking space prior to the issuance of the first Certificate of Occupancy.

27. Provide signage and/or other means to prevent parking in emergency vehicle easement(s) and in the public alley, prior to Final Site Plan release, to the satisfaction of the Director of T&ES. (T&ES) *
28. Each townhouse shall be electric vehicle charger ready per these requirements: (OCA) ***
 - a. For each townhouse, provide at least one parking space with electrical conduit (240 volt, 40 amps) ready to accept a Level 2 electric vehicle charger. Install and label the conduit in each garage prior to receiving the Certificate of Occupancy.
 - b. Label parking space location junction box for the future electric vehicle charger.
 - c. Additional conduit does not need to account for transformer sizing.
 - d. Parking space(s) can include the dimensions charger.
29. Update parking counts on the cover sheet to state the number of electric vehicle charger and electric vehicle charger ready parking spaces prior to Final Site Plan release. (OCA) *

G. SUSTAINABILITY

30. The project shall comply with the requirements of the City of Alexandria Green Building Policy that is in effect at the time of DSUP approval. (OCA) *, **, ***, ****
31. The applicant may propose additional sustainability strategies to the satisfaction of the Directors of P&Z and the Climate Action Officer of OCA. (P&Z) (OCA) *, **, ***, ****
32. The applicant shall provide these items to comply with the Green Building Policy at first Final Site Plan: (OCA) *
 - a. Evidence of the project's registration with LEED, Green Globes, EarthCraft, NGBS, or equivalent.
 - b. A copy of the draft certification scorecard which indicates the project will meet the required performance points as outlined in the Green Building Policy for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
33. The applicant shall provide these items to comply with the Green Building Policy with the Building Permit: (OCA) **
 - a. An updated copy of the draft certification scorecard/checklist prior to building permit release for above-grade construction for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
 - b. Water efficiency and indoor environmental quality documentation for the priority performance points in the Green Building Policy prior to building permit release for above-grade construction for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
34. The applicant shall provide these items to comply with the Green Building Policy at First and Final Certificates of Occupancy: (OCA) ***

- a. Evidence that design phase credits (for the certifying party) have been submitted by Temporary Certificate of Occupancy for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
 - b. Evidence showing that the project meets the priority performance points for Energy Use Reduction, Water Efficiency, and Indoor Environmental Quality for Design Phase credits for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
 - c. If the project fails to achieve the required certification level and priority performance points, then demonstrate a good faith, reasonable, and documented effort to achieve the certification level to the satisfaction of the Climate Action Officer.
35. The applicant shall provide the following to comply with the Green Building Policy at Release of Performance Bond: (OCA) *****
- a. Documentation of applicable green building certification showing that the project meets the priority performance points for Energy Use Reduction, Water Efficiency, and Indoor Environmental Quality for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
36. Demonstrate that the roof(s) are solar ready, with the necessary conduit and available electrical panel area to enable future solar panel installation, on the Final Site Plan. (OCA)
*
37. At the first Final Site Plan, demonstrate that the building will be fully electric including all mechanical systems. (OCA) *

II. TRANSPORTATION

A. STREETS/TRAFFIC

38. The individual driveways for the townhouses shall allow adequate space for the intended design vehicle to park without encroaching into the crossing street/alley. (T&ES)
39. Create an enhanced shared drive aisle condition for rear loaded townhouses to the satisfaction of the Directors of P&Z and T&ES, by using materials such as: (P&Z) (T&ES)
 - a. Decorative concrete, pavers, or other quality materials and/or enhanced landscaping (excluding asphalt).
 - b. Integrate all service pedestals and transformers for the dry utilities into the building design and/or screen these utilities.
40. Repair any of the City's existing public infrastructure that construction damages per the most recent version of the T&ES Design and Construction Standards Memo to Industry 23-01, or to the satisfaction of Director of T&ES, prior to Performance Bond release. (T&ES) *****

41. Conduct a pre-construction walk/survey of the site prior to any land disturbing activities with T&ES Construction & Inspection and Code Administration Staff to document existing conditions prior to Final Site Plan release. (T&ES) (Code) *
42. If the private alley has a designated name/sign, then mark all private street signs that intersect a public street with a fluorescent green strip to notify the plowing crews, both City and contractor, that they are not to plow those streets, prior to the issuance of the first Certificate of Occupancy. (T&ES) ***
43. Provide full curb to curb restoration for any asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street prior to Performance Bond release. (T&ES) ****
44. Provide bicycle facilities on the site frontage and through the site per the City's Alexandria Mobility Plan, Pedestrian and Bicycle Mobility Plan, and applicable Small Area Plans and Design Guidelines to the satisfaction of the Director of T&ES. (T&ES)
 - a. Install a bike box on Cameron Street at the intersection of N. West Street consistent with the City's Complete Streets Design Guidelines, AASHTO and/or NACTO guidelines. The ultimate design and treatment(s) to be determined during review of the final site plan, to the satisfaction of the Director of T&ES.*
45. Finalize addresses for mail delivery (addressed per the front door) and for emergency services (addressed per street access) prior to Final Site Plan release. (P&Z) (T&ES) (GIS)
*

B. BUS STOPS AND BUS SHELTERS

46. Show all existing bus stops, shelters, or benches on the Final Site Plan. (T&ES)*

III. PUBLIC WORKS

A. WASTEWATER/SANITARY SEWERS

47. Pay the sewer connection fee per the City Code. (T&ES)
48. Comply with the Combined Sewer System Management Policy per Memo to Industry 23-02, City of Alexandria's Water Quality Volume Default, and state stormwater quality and quantity requirements. The applicant is proposing to discharge both stormwater runoff and sanitary flow to the combined sewer system (CSS) by meeting Option B requirements of Memo to Industry 23-02. (T&ES)
 - a. With respect to the sanitary requirement, the applicant shall contribute \$27,300.00 based on a formula of \$1.5 per gallon of peak sanitary flow (\$1.5 per gallon x 18,200 gallons).

- b. With respect to the stormwater requirement, the applicant shall reduce the amount of stormwater runoff into the CSS by 10 percent at minimum (Option B) for the 10-year, 24-hour design storm (i.e., post-development peak runoff equal to or less than 90 percent of the peak runoff for the pre-development condition). The applicant shall explore the feasibility of discharging runoff from the proposed development site into the separate storm sewer system (Option A) as part of the final 1 site plan. If Option A is determined feasible, the applicant shall connect the storm sewer from the project site to separate storm sewers in lieu of connecting them to the CSS.
49. Design calculations for the proposed sanitary sewers onsite shall be provided with the submission of the Final 1 site plan.

B. UTILITIES

50. If the applicant does not have a franchise agreement with the City, locate all private utilities outside of the public right-of-way and public utility easements. (T&ES)
51. Underground overhead power and communication lines fronting the development as shown on the Preliminary Site Plan dated 4/10/2024 prior to the Performance Bond release. (T&ES) ****
52. Do not locate transformers and switch gears in the public right-of-way. (T&ES)
53. The City shall own and maintain all new fire hydrants on public streets. The applicant or their representative shall own, inspect, test, and maintain all hydrants on private property. Install hydrants prior to issuance of the first Certificate of Occupancy. (T&ES) ***

C. INFORMATION TECHNOLOGY

54. Construct a conduit grid per the specifications listed in the conditions within this section to minimize the need for post-development excavation and/or right-of-way impacts when installing fiber/cables for high-speed internet access, to the satisfaction of the Director of P&Z. (P&Z) (ITS)
55. Construct all conduits using schedule 80 PVC or HDPE and install them to a depth of 3-feet. Install a pull line and tracer within each conduit. (ITS)
56. [Street connection] Two 2-inch schedule 80 PVC or HPDE conduits at a depth of 3 FT, with a minimum bend radius of 3 FT shall be installed around the development property along N. West Street. A junction box (JBS-3), meeting VDOT standards and with a tier 22 or higher lid labelled “COA”, shall be installed at both ends of the conduit runs. A pull line and tracer wire shall be installed with each conduit.
 - a. Provide a fiber optic installation plan that includes the required specifications prior to Final Site Plan release. *

- b. Submit a digital as-built plan in CAD or GIS which includes information on the fiber conduit installation prior to the issuance of the first Certificate of Occupancy.

D. SOLID WASTE

- 57. Meet all the minimum street standards for the City to provide solid waste collection service per City Code Title 5, Chapter 1 (Solid Waste Control). Collection vehicles must be able to pick up solid waste without backing up. Store containers inside the units or within an enclosure that completely screens them from view. (T&ES)
- 58. Obtain approval from the Director of T&ES to opt-out of the City approved trash and recycling collection to allow for privately contracted collection. The point of collection shall not be in a public right-of-way and shall not hinder or interfere with parking, traffic, or pedestrians. All trash collectors for the project site must take their trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
- 59. Place all trash and recycling with lids closed at the official set-out location(s) as approved by the Director of T&ES. (T&ES)
- 60. Purchase and install 1 public space trash receptacle(s) and 1 public space recycling receptacle(s) to the satisfaction of the Director of T&ES prior to Performance Bond. (T&ES) ****
 - a. Trash receptacles shall be Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid
 - b. Recycling receptacles shall be Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band dedicated to recycling collection.

IV. ENVIRONMENTAL

A. STORMWATER MANAGEMENT

- 61. The City of Alexandria’s stormwater management regulations for water quality are: (1) state phosphorus removal requirement and (2) Alexandria Water Quality Volume Default. Complying with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. Treat the Alexandria Water Quality Volume Default, as determined by the site’s post-development impervious area, in a Best Management Practice (BMP) facility. (T&ES) *
- 62. Provide a BMP narrative and complete pre- and post-development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance prior to Final Site Plan release. The project must use hydrologic soil group “D” in the spreadsheet

- unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES) *
63. Design all stormwater (BMPs) to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs, including site specific plan views, cross sections, planting plans, and complete design calculations for each BMP prior to Final Site Plan release. (T&ES) *
 64. Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (percentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees, prior to Final Site Plan release. (T&ES) *
 65. All BMP's must be accessible for regular maintenance and inspections.
 66. Complete construction inspection checklists and associated photographic documentation for each stormwater BMP and detention facility. Submit all documents required by the City of Alexandria As-Built Stormwater Requirements including as-built plans, CAD data, BMP certifications, and completed construction inspection checklists prior to Performance Bond release. (T&ES) ****
 67. Construct and install the stormwater BMPs required for this project under the direct supervision of the design professional or their designated representative. Submit a written certification from the design professional to the Director of T&ES prior to Performance Bond release certifying that the BMPs are: (T&ES) ****
 - a. Constructed and installed as designed and in accordance with the released Final Site Plan.
 - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized.
 68. Submit the stormwater quality BMP and/or Stormwater Detention Facilities Maintenance Agreement to include the BMP Schedule and Guidelines Addendum with the Final Site Plan #2. Execute and record the agreement with the Land Records Division of Alexandria Circuit Court prior to Final Site Plan release. (T&ES) *
 69. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the homeowner's association (HOA), and/or master association, if applicable, or until sale to a private owner. Prior to transferring maintenance responsibility for the BMPs to the HOA, master association, and/or owner, the applicant shall: (T&ES) ****
 - a. Execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA, master association, and/or owner.
 - b. Include a copy of the contract in the BMP Operation and Maintenance Manual.

- c. Submit a copy of the maintenance contract to T&ES prior to Performance Bond release.
70. Provide the Homeowner's Association (HOA), and/or master association, with an Owner's Operation and Maintenance Manual for all on site BMPs. The manual shall include at a minimum: (T&ES)
 - a. An explanation of the functions and operations of the BMP(s),
 - b. Drawings and diagrams of the BMP(s) and any supporting utilities,
 - c. Catalog cuts on maintenance requirements including any mechanical or electrical equipment,
 - d. Manufacturer contact names and phone numbers,
 - e. A copy of the executed maintenance service contract, and
 - f. A copy of the maintenance agreement with the City.
71. Provide each home purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the homeowners and the Homeowners Association (HOA), and/or master association, with respect to maintenance requirements. Upon activation of the HOA, the applicant shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners. (T&ES)
72. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division prior to Performance Bond release. (T&ES) ****
73. Submit a certification by a qualified professional that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not affected adversely by construction operations prior to Performance Bond release to the satisfaction of the Director of T&ES. If maintenance of the facilities or systems were required to make this certification, describe the maintenance measures performed. (T&ES) ****

B. WATERSHED, WETLANDS, & RPAs

74. Use standard city markers to mark all on-site stormwater curb inlets and public curb inlets within 50 feet of the property line to the satisfaction of the Director of T&ES. (T&ES)
75. For sites that contain marine clays, account for marine clay or highly erodible soils in the construction methodology and erosion and sediment control measures. (T&ES)
76. Provide Environmental Site Assessment Notes that delineate, map, describe, and/or explain these environmental features (if located on site): (T&ES)
 - a. Individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams, and associated buffers,
 - b. Highly erodible and highly permeable soils,
 - c. Steep slopes greater than 15 percent in grade,
 - d. Known areas of contamination; springs, seeps, or related features, and
 - e. A listing of all wetlands permits required by law.

C. CONTAMINATED LAND

77. Indicate on the site plan whether any soil and groundwater contamination are present. Submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES) *
78. If environmental site assessments or investigations discover the presence of contamination on site, the Final Site Plan shall not be released, and no construction activity shall occur until these items have been submitted and approved by the Director of T&ES: (T&ES) *
 - a. A Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
 - b. A Risk Assessment indicating any risks associated with the contamination.
 - c. A Remediation Plan detailing any contaminated soil and/or groundwater, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by two feet and backfilled with “clean” soil. Describe the environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
 - d. A Health and Safety Plan with measures to take during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. Justify the air monitoring determination in the Health and Safety Plan submitted for review.
 - e. Screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes these SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221 and 1222 (Bituminous Coal).
79. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the applicant must notify T&ES, Office of Environmental Quality immediately. Should unanticipated conditions warrant, stop construction within the affected area until the appropriate environmental reports identified in “a” through “e” above are submitted and approved at the discretion of the Director of T&ES. Include the preceding text as a note on the Final Site Plan. (T&ES) (Code) *
80. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas to prevent the migration or accumulation of methane or other gases or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. If a vapor barrier and ventilation system is required, the schematic shall be signed by a professional engineer and included in the Final Site Plan. (T&ES) (Code) *

81. If a Soils Management Plan is required by the Site Characterization report, then the plan shall be included in the Final Site Plan. (T&ES) *

D. NOISE

82. No trucks or other vehicles, including construction equipment, associated with this project shall be permitted to idle for more than 10 minutes when parked, including vehicles in the loading dock. Post at least two no idling for greater than 10 minutes signs in the loading dock area in plain view prior to the issuance of the Certificate of Occupancy. (T&ES) ***

E. AIR POLLUTION

83. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of T&ES. (T&ES)

V. CONSTRUCTION MANAGEMENT

84. Submit a separate construction management plan to the Directors of P&Z, T&ES, and Code Administration prior to Final Site Plan release. The plan shall satisfy these requirements: (P&Z) (T&ES) (Code)
 - a. Do not remove streetlights without authorization from the City of Alexandria,
 - b. If streetlights are to be removed from the public right-of-way, then provide temporary lights until the installation and commissioning of new lights, *
 - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed, *
 - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction, *
 - e. Include an overall proposed schedule for construction, *
 - f. Include a plan for temporary pedestrian circulation, *
 - g. Include the location and size of proposed construction trailers, if any, *
 - h. Include a preliminary Maintenance of Traffic Plan as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials, and *
 - i. Post copies of the plan in the construction trailer and give it to each subcontractor before they start work. ***
85. Provide off-street parking for all construction workers without charge and ensure that all workers use this parking. For workers who use Metro, DASH, or another form of mass transit, subsidize a minimum of 50 percent of the fees. Complying with this condition shall be a component of the construction management plan, which shall be submitted prior to Final Site Plan release and approved by the Departments of P&Z and T&ES prior to commencing any construction activities. This plan shall: (P&Z) (T&ES) *

- a. Establish and provide verifiable details and/or agreements on the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit, *
 - b. Post information on transit schedules and routes, *
 - c. The community liaison must manage parking actively for all construction workers and ensure compliance with the off-street parking requirement, and
 - d. If the off-street construction worker parking plan is found to be violated during construction, a correction notice will be issued to the applicant. If the violation is not corrected within five days, a "stop work order" will be issued, with construction halted until the violation has been corrected.
86. Include a chapter on maintaining pedestrian access within the Construction Management Plan. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry 04-18 throughout the construction of the project. (T&ES) *
87. Include a chapter on maintaining bicycle access within the Construction Management Plan. Bicycle facilities adjacent to the site shall remain open during construction. If a bicycle facility must be closed, bicycle access shall be maintained adjacent to the site per Memo to Industry 04-18 throughout the construction of the project. (T&ES) **
88. Include a chapter on the waste control program in the Construction Management Plan. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. Dispose of all waste offsite per all applicable federal, state, and local laws. Provide documentation as required per the City's Green Building Policy and conditions therein. (T&ES) (Code) *
89. Discuss construction staging activities with T&ES prior to the release of any permits for ground disturbing activities. No major construction staging shall be allowed within the public right-of-way. (T&ES) *
90. Obtain additional City approvals for any structural elements that extend into the public right-of-way, including but not limited to footings, foundations, and tiebacks, from the Director of T&ES as a part of the Sheeting and Shoring permit. (T&ES) **
91. Identify a Certified Land Disturber (CLD) in a letter to the Division Chief of Permits & Inspections prior to any land disturbing activities and include the name on the Phase I Erosion and Sediment Control sheets prior to Final Site Plan release. If the CLD changes during the project, then note that change in a letter to the Division Chief. (T&ES) *
92. Conduct an in-person or virtual meeting to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction prior to commencing demolition, clearing, and grading of the

- site. Notice all adjoining property owners, civic associations, and the Departments of P&Z and T&ES at least 14 calendar days before the meeting. Hold the meeting before any permits are issued. (P&Z) (T&ES) **
93. Hold an in-person or virtual pre-installation/construction meeting to review the scope of landscaping installation procedures and processes with the P&Z project planner prior to starting work. (P&Z)
 94. Identify a community liaison throughout the construction. Provide their name and telephone number, including an emergency contact number, to residents, property managers, and business owners whose property abuts the site, to the satisfaction of the Directors of P&Z and T&ES. Install a temporary informational sign prior to Final Site Plan release with the community liaison's name and contact information. Display the sign until construction finishes. (P&Z) (T&ES) *, ***
 95. Temporary construction and/or on-site sales trailer(s) are permitted and subject to the approval of the Directors of P&Z and Code Administration. Remove the trailer(s) prior to the issuance of the final Certificate of Occupancy. (P&Z) (Code) ***
 96. Submit a stamped electronic copy of a wall check survey completed by a licensed, certified public land surveyor or professional engineer when below grade construction reaches the proposed finished grade. Ensure the wall check shows: (P&Z)**
 - a. Key dimensions of the building shown on the approval Final Site Plan,
 - b. Key dimensions from future face of finished wall above to the property line and any adjacent structures on the property,
 - c. Extension of any below-grade structures,
 - d. Foundation wall in place, and
 - e. Future face of finished wall above.
 97. Submit a stamped electronic copy of an as-built development site plan survey, per the As-Built Development Site Plan Survey Checklist prior to applying for a Certificate of Occupancy permit. A registered architect, engineer, or surveyor shall prepare the as-built plan. Include a note stating that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) ***
 98. If outstanding performance, completion, or other bonds for the benefit of the City are in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES) *****

VI. CONTRIBUTIONS

99. Contribute \$2,500 to the City prior to Final Site Plan release for a Capital Bikeshare station, bicycles and/or system operations. (T&ES) *
100. Contribute \$104,089 to the City's Housing Trust Fund. Make all payments to the City of Alexandria and submit them to the Office of Housing with a cover letter to include the project name, case number, and explanation of the contribution amount, if phased. (Housing) ***

VII. PUBLIC ART

101. Work with City Staff to incorporate on-site public art elements or provide an equivalent monetary contribution for public art within the Small Area Plan per the City's Public Art Policy, adopted December 13, 2014, to the satisfaction of the Directors of P&Z and RP&CA. (P&Z) (RP&CA)
102. Identify the location, type, and goals for public art in the Final Site Plan. Select the artist, finalize locations and medium, and provide a schedule for the art installation prior to Final Site Plan release. (P&Z) (RP&CA) *
103. Install the art prior to issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (P&Z) (RP&CA) ***
104. The in-lieu contribution shall be \$0.30 per gross square foot, with a maximum contribution of \$75,000 per building prior to issuance of the first Certificate of Occupancy. On-site public art shall be of an equivalent value to the contribution. (P&Z) (RP&CA) ***

VIII. DISCLOSURE REQUIREMENTS

105. Submit all Condominium/Homeowners' Association covenants for review and approval by the Director of P&Z and the City Attorney prior to applying for the first Certificate of Occupancy. Include the conditions listed below in a dedicated section of the association covenants. The language shall establish and state that these conditions cannot be changed except by an amendment to this DSUP approved by the City Council. (P&Z) (T&ES) (City Attorney) ***
 - a. The principal use of the parking spaces shall be for passenger vehicles garaged at the address; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
 - b. All landscaping and open space areas within the development shall be maintained by the Condominium/Homeowner's Association per condition #18.
 - c. Obtain approval for any exterior building improvements or changes from the City, as determined by the Director of P&Z.
 - d. Develop a noise control by-law to control noise levels in the development and resolve noise issues between neighboring occupants and disclose this by-law to all involved at the time of sale or lease agreement.
 - e. Inspect and maintain stormwater facility BMPs to ensure proper functioning.

- f. This property contains easements (ingress/egress, emergency vehicle, public access and utilities) over the private alley whose maintenance is the responsibility of the Association.
- 106. Furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclose this information to the satisfaction of the Director of T&ES. (T&ES)
- 107. Disclose to potential buyers the items listed below to the satisfaction of the Director of P&Z and the City Attorney: (P&Z) (T&ES) (City Attorney)
 - a. The private alley maintenance shall be performed by the Condominium/Homeowner’s Association including maintenance for the sanitary and storm sewers located within the site.
 - b. That the residents of the site are ineligible for Residential Parking Permits (“RPP”).
 - c. The development is located near the King Street commercial corridor and adjacent to an established restaurant/karaoke bar which operates from 11:00am-1:30am daily.

IX. SUBDIVISIONS

- 108. The final subdivision plat shall comply with Zoning Ordinance § 11-1709 requirements. (P&Z) *
- 109. Depict the location of all easements and reservations, including those required in this approval, on the Final Subdivision Plat. Do not construct any permanent building or retaining wall over any existing private and/or public utility easements. (T&ES) *
- 110. Provide a georeferenced CAD file in AutoCAD 2018.dwg or greater format that adheres to the National CAD Standards with the Signature Set submission. The file shall include the subdivision plat including existing and new parcels and neighboring parcels. Identify legal lot numbers for each lot and document the square footage. Show adjacent lots and their Tax Map numbers on the subdivision plat. (GIS) *

CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R – Recommendation F - Finding

A. Planning and Zoning (P&Z)

- F-1 Demonstrate continued compliance with open space, floor area ratio, and setback requirements if a property owner requests future approval to construct a deck on their property.
- C-1 Submit as-built documents for all landscape and irrigation installations with the as-built plan and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines. ****

- C-2 Identify all trees to remove and protect/preserve in the tree conservation and protection plans prior to Final Site Plan release. Detail the construction methods to reduce disturbance within driplines. Schedule an on-site inspection of existing conditions with the City Arborist and Natural Resources Division Staff prior to preparing the Tree Conservation and Protection Plan. *
- C-3 The landscape elements of this development are subject to Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Performance and Maintenance Bond release are subject to inspections by City Staff per City Code requirements. A final inspection for landscaping must occur three years after completion. ****

B. Code Administration (Building Code)

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. Contact the Code Administration Office, Plan Review Supervisor: 703.746.4200 with any questions.
- C - 1 New construction or alterations to existing structures must comply with the current Uniform Statewide Building Code in effect when applying for building permit(s).
- C-2 Facilities shall be accessible for persons with disabilities per the current Virginia Uniform Statewide Building Code in effect when applying for building permit(s).
- C-3 Submit a soils report with the building permit application for all new and existing building structures. **
- C-4 Submit an abatement plan from a licensed Pest Control Company to prevent rodents from spreading from the construction site to the surrounding community and sewers to the Department of Code Administration prior to receiving a demolition or land disturbance permit. Code Administration Staff will conduct a pre-demolition site survey to verify that the abatement plan is consistent with the field installation. **
- C-5 Submit a wall location plat prepared by a land surveyor to the Department of Code Administration prior to any building framing inspection. **

C. Federal Environmental Reviews:

- F - 1. Any project that is defined as a federal undertaking, in accordance with the National Historic Preservation Act of 1966 requires a § 106 review and/or other National Environmental Policy Act (NEPA) review. Projects that require federal review, approval or permitting, or projects that include federal funding are generally considered a federal undertaking. Consult with the appropriate federal or state agency to determine the requirements and process relevant to the project and coordinate with the appropriate City Staff and, if necessary, the Virginia Department of Historic Resources.
 - a. Information on the § 106 process is at www.achp.gov or www.dhr.virginia.gov/environmental-review/
 - b. Information on the NEPA process is at www.epa.gov

- c. Information on the U.S. Department of Housing and Urban Development environmental review process is at <https://www.hudexchange.info/programs/environmental-review/>

D. Archaeology

C - 1 All archaeological preservation measures shall comply with Zoning Ordinance § 11-411.

E. Transportation & Environmental Services (T&ES)

- F-1 Prepare the Final Site Plan per Memo to Industry 02-09, Design Guidelines for Site Plan Preparation, which is available at: <http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf> *
- F-2 Show and label the sanitary and storm sewer and water line in plan and profile in the first Final Site Plan, cross referencing sheets if plan and profile cannot be on the same sheet. Provide existing and proposed grade elevations plus the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. *
- F-3 Provide a dimension plan with all proposed features, the final property lines, and associated property line annotation. When possible, show all annotations pertaining to the final property line configuration on the site layout sheet (also referred to as the site plan sheet). *
- F-4 Construct all storm sewers to the City of Alexandria standards and specifications. The minimum diameter for storm sewers is 18-inches in the public right-of-way and the minimum size storm sewer catch basin lead is 15-inches Acceptable pipe materials are Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, the Director of T&ES may approve AWWA C-151 (ANSI A21.51) Class 52. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes are acceptable. The minimum and maximum velocities are 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public right-of-way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public right-of-way shall be owned and maintained privately). *, ****
- F-5 Construct all sanitary sewers to the City of Alexandria standards and specifications. The minimum diameter of sanitary sewers is 10-inches in the public right-of-way and sanitary lateral 6-inches for all commercial and institutional developments; however, a 4-inch sanitary lateral is acceptable for single unit residences. Acceptable pipe materials are Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 or reinforced concrete pipe ASTM C-76 Class IV (For 12-inches or larger diameters); Class III may be acceptable on private properties. Minimum and maximum velocities are 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured “Y” or “T” or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured “Y” or “T,” or else install a manhole. *, ****
- F-6 Provide a horizontal separation of 10-feet (edge to edge) between a storm or sanitary sewer and a water line. However, if this horizontal separation cannot be achieved, then install the sewer and

water main in separate trenches and set the bottom of the water main at least 18-inches above the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then use Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for the sewer pipe material and pressure test it in place without leakage prior to install. *, ****

- F-7 Provide at least 18-inches of vertical separation for sanitary sewers and 12-inches for storm sewers when a water main over crosses or under crosses a sanitary/storm sewer. However, if this cannot be achieved, then construct both the water main and the sanitary/storm sewer using Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for 10-feet on each side of the point of crossing. Center a section of water main pipe at the point of crossing and pressure test the pipes in place without leakage prior to installation. Provide adequate structural support for sewers crossing over the water main (i.e., concrete pier support and/or concrete encasement) to prevent damage to the water main. Encase in concrete sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance. *, ****
- F-8 No water main pipe shall pass through or touch any part of sanitary/storm sewer manhole. Place manholes at least 10-feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, ensure that the manhole is watertight and tested in place. *, ****
- F-9 Maintain at least 12-inches of separation or clearance from water main, sanitary, or storm sewers when crossing underground telephone, cable TV, gas, and electrical duct banks. If this separation cannot be achieved, then use Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 material for the sewer pipe for 10-feet on each side of the point of crossing and pressure test it in place without leakage prior to installation. Provide adequate structural support for sanitary/storm sewers and water main crossing over the utilities (i.e., pier support and/or concrete encasement) to prevent damage to the utilities. *, ****
- F-10 Design any rip rap per the requirements of Virginia Erosion and Sediment Control Handbook, Latest Edition. *, ****
- F-11 Provide the dimensions of parking spaces, aisle widths, etc. within the parking garage on the Final Site Plan. Exclude column widths from the dimensions. *, ****
- F-12 Show the drainage divide areas on the grading plan or on a sheet that includes topography and structures where each sub-area drains. *
- F-13 Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. *
- F-14 Show all existing and proposed public and private utilities and easements on the Final Site Plan with a narrative. *
- F-15 Provide a Maintenance of Traffic Plan with the Construction Management Plan prior to Final Site Plan release that replicates the existing vehicular, pedestrian, and bicycle routes as closely as practical. Maintain pedestrian and bike access adjacent to the site per Memo to Industry 04-18. *

- F-16 Include these notes on all Maintenance of Traffic Plan Sheets (MOT): *
- a. FOR INFORMATION ONLY.
 - b. No sidewalks can remain closed for the duration of the project. Temporary sidewalk closures are subject to separate approval from T&ES at the time of permit application.
 - c. The contractor shall apply for all necessary permits for use of the City right-of-way and shall submit MOT Plans with the T&ES Application for final approval at that time.
- F-17 Add complete streets tabulation to the cover sheet with the Final Site Plan submission. *
- F-18 Parking for the residential and commercial uses shall match the Zoning Ordinance requirements in effect at approval by the City Council and/or Planning Commission. *
- F-19 Maintain a separation of 150 feet between the beginning of street corner radius and any driveway apron radius on arterial and collector roadways, with a minimum of 100 feet permitted, subject to the approval of the Director of T&ES. *
- F-20 Maintain a minimum separation of 30 feet on residential streets between the beginning of the street corner radius and any driveway apron radius. *
- C - 1 Complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site, per Article XI of the Zoning Ordinance. If the existing storm system is inadequate, design and build on-site or off-site improvements to discharge to an adequate outfall, even if post development stormwater flow from the site is less than pre-development flow. Demonstrate that a non-erosive stormwater outfall is present to the satisfaction of the Director of T&ES. *
- C-2 Comply with the stormwater quality requirements and provide channel and flood protection per Article XIII of the Zoning Ordinance. Meet the peak flow requirements of the Zoning Ordinance if the development proposes combined uncontrolled and controlled stormwater outfall. If the project site is within the Braddock West watershed or a known flooding area, provide an additional 10 percent storage of the pre-development flows in the watershed to meet detention requirements. *
- C-3 Design stormwater facilities that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems according to Article XIII of the Zoning Ordinance, § 13-114(F), as signed and sealed by a professional engineer registered in Virginia. Include the adequate outfall, inlet, and hydraulic grade line analyses to the satisfaction of the Director of T&ES. Provide the references and/or sources used to complete these analyses. *
- C-4 Provide additional improvements to adjust lighting levels if the site does not comply with § 13-1-3 of the City Code, to the satisfaction of the Director of T&ES to comply with the Code. *
- C-5 The location of customer utility services and installing transmission, distribution, and main lines in the public rights-of-way by any public service company shall be governed by franchise agreement with the City per Title 5, Ch. 3, § 5-3-2 and § 5-3-3, respectively. The transformers, switch gears, and boxes shall be outside of the public right-of-way.

- a. All new customer utility services, extensions of existing customer utility services, and existing overhead customer utility services supplied by any existing overhead facilities must be installed underground below the surface of the ground unless exempted by City Code § 5-3-2, to the satisfaction of the Director of T&ES. *, ****
 - b. Install all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to transmit or distribute any service (electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam, or petroleum) whether or not on streets, alleys, or other public places of the City must be installed underground or below the surface of bridges and elevated highways unless exempted by City Code § 5-3-3, to the satisfaction of the Director of T&ES. *, ****
- C-6 Discharge flow from downspouts, foundation drains, and sump pumps to the storm sewer per the requirements of Memorandum to Industry 05-14. Pipe discharges from downspouts and sump pump to the storm sewer outfall, where applicable after treating for water quality per Article XIII of the Zoning Ordinance. *, ****
- C-7 Place refuse/recycling receptables in the City right-of-way for condominium townhomes for solid waste collection services provided by the City per Title 5: T&ES, § 5-1-41 of the City Charter and Code. *
- C-8 Provide a total turning radius of 25-feet and show turning movements of standard vehicles in the parking lot per the latest AASHTO vehicular guidance per the requirements of Title 4, Ch. 2, Article B, § 4-2-21, Appendix A, § A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access to the satisfaction of the Directors of T&ES, Office of Building, and Fire Code Administration. *
- C-9 Provide storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines" to the satisfaction of the Director of Transportation & Environmental Services. Show the turning movements of the collection trucks, minimizing the need to reverse to perform trash or recycling collection. The City's storage space guidelines are at: <https://www.alexandriava.gov/ResourceRecovery> or by contacting the City's Resource Recovery Division at 703.746.4410 or commercialrecycling@alexandriava.gov. *
- C-10 Include a note on the Final Site Plan that mandates delivering all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. Stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. *
- C-11 Submit a Recycling Implementation Plan to the Solid Waste Division, as outlined in Article H of Title 5 prior to Final Site Plan release. The form is available at: <https://www.alexandriava.gov/resourcerecovery> or contact the Resource Recovery Division at 703.746.4410 or commercialrecycling@alexandriava.gov. *
- C-12 Satisfy the City's Minimum Standards for Private Streets and Alleys prior to Final Site Plan Release. *

- C-13 Post the bond for the public improvements before Final Site Plan release. *
- C-14 Provide plans and profiles of utilities and roads in public easements and/or public right-of-way for review and approval prior to Final Site Plan release. *
- C-15 Provide a phased erosion and sediment control plan consistent with the grading and construction plan prior to Final Site Plan release. *
- C-16 Provide as-built sewer data with the final as-built process per the Memorandum to Industry, dated July 20, 2005, prior to release of the Performance Bond. Prepare initial site survey work and plans using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Reference the control points/benchmarks used to establish these coordinates. *****
- C-17 Design the thickness of sub-base, base, and wearing course using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Determine the values of California Bearing Ratios used in the design by field and/or laboratory tests. Using an alternate pavement section for Emergency Vehicle Easements to support H-20 loading designed using California Bearing Ratio determined through geotechnical investigation and using VDOT method (Vaswani Method) and standard material specifications is acceptable to the satisfaction of the Director of T&ES. *, *****
- C-18 Provide all pedestrian, traffic, and wayfinding signage per the Manual of Uniform Traffic Control Devices, latest edition to the satisfaction of the Director of T&ES. *
- C-19 No overhangs (decks, bays, columns, post, or other obstructions) shall protrude into public rights-of-ways, public easements, and the pedestrian or vehicular travel ways unless otherwise permitted by the City Code or additional City approvals are obtained. *
- C-20 Design all driveway entrances, curbing, etc. in or abutting public right-of-way per City standards.
*
- C-21 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately.
- C-22 Comply with the City’s Noise Control Code, Title 11, Ch. 5, which sets the maximum permissible noise level as measured at the property line.
- C-23 Comply with the City’s Noise Control Code Title 11, Ch. 5, § 11-5-4(b)(15), which permits construction activities to occur during these hours:
 - ii. Monday Through Friday from 7 AM to 6 PM
 - iii. Saturdays from 9 AM to 6 PM
 - iv. No construction activities allowed on Sundays and holidays
 - a. § 11-5-4(b)(19) further restricts pile driving to these hours:
 - v. Monday through Friday from 9 AM to 6 PM
 - vi. Saturdays from 10 AM to 4 PM
 - vii. No pile driving is allowed Sundays and holidays

- b. § 11-5-109 restricts excavating work in the right-of-way to:
 - viii. Monday through Saturday 7 AM to 5 PM
 - ix. No excavation in the right-of-way allowed on Sundays, New Year's Day, Independence Day, Thanksgiving, and Christmas.

- C-24 Comply with the stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default, and stormwater quantity management per Zoning Ordinance Article XIII. *
- C-25 Comply with the City's Erosion and Sediment Control Code, Title 5, Ch. 4. *
- C-26 Obtain all necessary permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine Resources for all project construction and mitigation work prior to Final Site Plan release. This condition includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan for land disturbing activities equal to or greater than one acre. Refer to the Memo to Industry 08-14: <http://alexandriava.gov/tes/info/default.aspx?id=3522>. *
- C-27 Provide a Stormwater Pollution Prevention Plan (SWPPP) Book with the Final Site Plan. The project's stormwater management (SWM) plan and the erosion and sediment control (E&SC) plan must be approved prior to the SWPPP being deemed approved and processed to receive coverage under the VPDES Construction General Permit. Upon approval, provide an electronic copy of the SWPPP Book with the Signature Set submission and a copy of the coverage letter must be added to the plan sheet containing the stormwater management calculations. Include an electronic copy of the SWPPP Binder Book in the released site plans and include a hardcopy of the SWPPP Binder Book with the on-site construction drawings. Separate parcel owners must seek separate VPDES Construction General Permit Coverage unless a blanket entity incorporated in Virginia has control of the entire project. *

F. Information Technology

- F-1 Provide the locations of all common Fire Closets and Utility Closets in the Final Site Plan. These closets will be assigned individual addresses to comply with Fire Department requirements. *

G. Fire Department

- C - 1 Show the location of Fire Department Connections prior to Final Site Plan release. *
- R - 1. Consider letting the Alexandria Fire Department use buildings that will be razed for training exercises. The Fire Department will formulate conditions of use between the parties and provide a hold harmless agreement to the owner or their representative.

H. Police Department

- R-1 Plant shrubbery that achieves a natural growth height of no more than 2.5 to 3 feet with a maximum height of 3 feet when it matures to avoid obstructing the view of patrolling law enforcement officers.

- R-2 Use addresses numbers with contrasting colors to the background, at least three inches high, reflective, and visible from the street, and placed on the front and back of each home. Avoid using brass or gold numbers. This design aids emergency responders.
- R-3 Equip all ground floor windows with a device or hardware that enables securing them in a partially open position. This design prevents breaking and entering when the windows are open for air.
- R-4 Install “door-viewers” (commonly known as peepholes) in all doors on the ground level that lead directly into an apartment to increase security for the occupant.

Asterisks denote:

- * Condition must be fulfilled prior to release of the Final Site Plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to issuance of the Certificate of Occupancy
- **** Condition must be fulfilled prior to release of the bond



APPLICATION

DEVELOPMENT SPECIAL USE PERMIT
with SITE PLAN

TBD

Filing Fee

6 27 24

Planning Commission Hearing

7 2 24

Council

REQUIREMENTS FOR MAILING NOTICES:

Applicants must send written notice to all abutting property owners. See detailed instructions on "Notice Requirements."

Mail certified or registered notice of hearings between 6 3 24 and 6 17 24

Return notice materials to Department of Planning and Zoning by 6 20 24



APPLICATION

DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN

DSUP # 24-10004

Project Name:

N West Street Townhomes

PROPERTY LOCATION:

125 and 107 North West Street, Alexandria, Virginia 22314

TAX MAP REFERENCE:

Map 64.03 Block 10 Lots 01 & 28

ZONE:

CD/Commercial Downtown

APPLICANT:

Name:

125 N West Street LLC, a Virginia limited liability company

Address:

125 N. West Street, Alexandria, Virginia 22314

PROPERTY OWNER:

* See attached for additional owner

Name:

125 N West Street LLC, a Virginia limited liability company

Address:

125 N. West Street, Alexandria, Virginia 22314

SUMMARY OF PROPOSAL

DSUP to construction Nine (9) Townhouses and Two (2) Semi-detached
Dwellings and associated site improvements.

MODIFICATIONS REQUESTED

Open Space Modification Lots 1-9, Rear Yard Set Back Modification lots 10-13
and side yard setback Modifications lots 1, 3, 4 & 9. Note height increase permitted Sec. 4-506 AZO
Modification for parking in required yards for lots 1-9 (Rear yards) and lots 10-13 (front yards) (section 7-1005 of the AZO)

SUP's REQUESTED

DSUP w/Site Plan, SUP for lots without frontage (lots 10-13) Sec. 7-1007 of the AZO.

THE UNDERSIGNED hereby applies for Development Site Plan with Special Use Permit approval in accordance with the provisions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information provided and specifically including a surveys, drawings, etc., required of the applicant are true, correct and to the best of his/her knowledge and belief.

Duncan W. Blair, Attorney

Print Name of Applicant or Agent
524 King St.

Signature
703 836 1000 703 549 3335

Mailing/Street Address
Alexandria, Virginia 22314

Telephone # Fax #
dblair@landcarroll.co,

City and State Zip Code

Email address
3 17 24 Revised 4 5 2024 Revised 4 24 24

Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

Application Received:
Fee Paid and Date:

Received Plans for Completeness:
Received Plans for Preliminary:

ACTION - PLANNING COMMISSION:

ACTION - CITY COUNCIL:

**DEVELOPMENT SPECIAL USE PERMIT
125 N. WEST STREET, ALEXANDRIA, VA.
SUPPLEMENTAL INFORMATION – ADDITIONAL OWNER**

OWNER:

**Michael Winstanley
107 N. West Street, LLC
107 N. West Street
Alexandria, Virginia 22314**

Development SUP # _____

ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is: (check one)

The Owner Contract Purchaser Lessee or Other: _____ of
the subject property. The Applicant is the Contract Purchaser of 107 N. West Street, Alex. Va.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

The Applicant is 125 N West Street LLC, a Virginia limited liability company. The sole member of the limited liability company is Victor Bonomi, 125 N. West Street, Alexandria, Virginia 22314

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes.** Provide proof of current City business license.
 No. The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 125 N West LLC ("125 LLC")	125 N. West Street, Alexandria, Va. 22314	100%
2. Victor Bonomi	125 N. West Street, Alexandria, Va. 22314	100% of 125 LLC
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 125 N. West Street, Alexandria, Va 221314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 125 N West LLC ("125 LLC")	125 N. West Street, Alexandria, Va. 22314	100%
2. Victor Bonomi	125 N. West Street, Alexandria, Va. 22314	100% of 125 LLC
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. 125 N West LLC	None	
2. Victor Bonomi	None	
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/17/24

Duncan W. Blair, Attorney



Date

Printed Name

Signature

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 107 N. West Street, Alexandria, Va 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 107 North West Street, LLC ("107 LLC")	107 N. West St., Alexandria, VA. 22314	100%
2. Michael Winstanley	107 N. West St., Alexandria, VA. 22314	50% of 107 LLC
3. Jessica Marcotte	107 N. West St., Alexandria, VA. 22314	50% of 107 LLC

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. 107 North West Street, LLC	None	
2. Michael Winstanley	None	
3. Jessica Marcotte	None	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/17/24	Michael Winstanley	
Date	Printed Name	Signature

Development SUP # _____

- 2. Narrative description.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

The Applicant is requesting a Development Special Use Permit with Modification and associated special uses permits to redevelop the property with Nine (9) townhomes and Two (2) Two Unit dwellings. The existing site commercial office improvements constructed in 1984 and the industrial warehouse building constructed in the 1950's will be demolished .

The proposed redevelopment of the property will replace an obsolete office building with surface parking and an interior industrial property with a new residential community compatible with the adjoining neighborhoods.

The Applicant design of the Project is utilizing the provisions of Section 4-506 (C) of the AZO to allow the maximum permitted height to be 45 feet and the provisions of Section 7-1600 (F) of the AZO for townhouse units with shared private alleys.

Development SUP # _____

3. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

Not Applicable

4. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

Not Applicable

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
Not Applicable			

6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Noise levels are governed by the Alexandria Noise Ordinance

B. How will the noise from patrons be controlled?

Not Applicable

7. Describe any potential odors emanating from the proposed use and plans to control them:

Not Applicable

Development SUP # _____

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

Trash and Recycables associated with the residential use of the Property.

B. How much trash and garbage will be generated by the use?

the amount of Trash and Recycables generated by the residential use of the Property will be similar .
to that of other residential properties.

C. How often will trash be collected?

It is anticipated that trash and recycables will be picked up weekly by the City of Alexandria.

D. How will you prevent littering on the property, streets and nearby properties?

Not Applicable

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Small quantities of Materials designated as hazardous that are generally recognized as appropriate for residential use may be used.

10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Small quantities organic compounds that are generally recognized as appropriate for residential use may be used.

Development SUP # _____

11. What methods are proposed to ensure the safety of residents, employees and patrons?

Not Applicable

ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine or mixed drinks?

Yes. No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance? 26 Parking Spaces

B. How many parking spaces of each type are provided for the proposed use:

- 13 Standard spaces
- 13 Compact spaces
- _____ Handicapped accessible spaces
- _____ Other

Development SUP # _____

- C. Where is required parking located? (check one) on-site off-site

If the required parking will be located off-site, where will it be located?

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the **Parking Reduction Supplemental Application**.

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? *None*
- B. How many loading spaces are available for the use? *Not Applicable*
- C. Where are off-street loading facilities located? *Not Applicable*
- D. During what hours of the day do you expect loading/unloading operations to occur?
- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
Not applicable

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street Access is adequate.

N West Street Townhomes
107 & 125 N West St
Alexandria, VA

GREEN BUILDING SITE PLAN CHECK LIST NARRATIVE

A. GENERAL APPROACH

- a. Developer has selected to use the National Green Building Standard pathway, Silver Level to comply with Green Energy compliance standards. A draft of the NGBS scoresheet is included with this application. The developer is targeting a point level that will exceed NGBS Gold certification requirements by including several non-mandatory credit items not mentioned below; including construction waste separation, construction waste minimization, enhanced air and moisture barriers, 0% fossil fuel usage, and EV charging availability, among others.

B. ENERGY

- a. Load Reduction Strategies
 - i. Massing and Orientation: Massing and orientation is determined by the shape and size of the property, and in compliance with the Concept Submission review comments. The plan includes one row of 3 townhomes facing North on Cameron Ave., 6 townhomes facing West on N West St., and two duplex units on the east side of the property facing West on the private drive lane. Sizes and placement of the townhomes have been designed to maximize open space, and provide for safe access and egress.
 - ii. Basic Envelope Attributes: The envelopes will include exterior wood-framed walls and roofs with requisite insulation and air-stop sealants at all penetrations. The majority area of exterior walls will be faced with brick, with the balance of the areas receiving cementitious fiberboard siding. Roofs will be a combination of standing seam metal, architectural asphalt shingle and membrane. Windows will be high efficiency meeting or exceeding proscribed NGBS Silver requirements.
 - iii. Lighting: The project will maximize the use of high-efficiency LED fixtures, with strategic planning and fixture selection to minimize the quantity.
 - iv. Plug and Process Loads: The forthcoming Building Energy Model will incorporate plug process loads for analysis. High priority will be given to incorporating Energy Star appliances. Developer will educate home buyers on recommendations to reduce energy usage.
- b. Preliminary Energy Savings Estimates: The project will meet or exceed energy reduction requirements as provided in the NGBS Silver certification.
- c. Renewable Energy Production: The project will meet requirements for Photovoltaic (PV) ready, including conduit pathways for wiring to rooftop areas ready to receive PV panels at the homebuyer's discretion. Developer will offer PV for interested buyers, or buyers may elect to install PV at their discretion. Developer will provide an average output estimate for each rooftop PV system.
- d. For Net Zero: Developer will provide energy analysis report to demonstrate PV potential to offset energy usage, and will register the project for an approved Net Zero Energy Certification.
- e. Commissioning: Developer will contract a qualified Commissioning Agent.

N West Street Townhomes
107 & 125 N West St
Alexandria, VA

GREEN BUILDING SITE PLAN CHECK LIST NARRATIVE

- f. Metering Strategy: Each townhome will have separate water and electric meters. Natural gas is not included in the plan.
- C. WATER
 - a. Outdoor Water Reduction Strategies: The project does not include landscape irrigation. Drought resistant plants and trees will be selected from the approved list of plantings provided by the City.
 - b. Indoor Water Use Savings and Strategies: The project will incorporate WaterSense fixtures, including low flow toilets, faucets and showers.
- D. INDOOR ENVIRONMENTAL QUALITY
 - a. Daylighting Plan: The plan maximizes fenestration to provide ample daylight throughout the townhomes. Developer will prioritize U-values for windows.
 - b. Interior Air Quality: Developer will maximize use of zero VOC and low VOC materials. Operable windows will provide natural cross ventilation. Air filter MERV rating will be maximized based on HVAC equipment specifications. Educational information will be provided to home buyers for proper use and servicing of HVAC equipment, including recommended air filter replacement schedule.
 - c. Construction IAQ: Staged materials will be protected and priority is given to expending enclosure of homes to reduce exposure of materials to moisture and the risk of mold. The developer has inspection and testing protocols in place to ensure that mold is not present prior to closing in interior walls and ceilings. Air ducts will be sealed during construction to prevent contamination.
 - d. Occupant Thermal Comfort: Inspection of interior of framed exterior walls will ensure that air gaps are properly sealed prior to insulating the walls to minimize outside air transference to living areas. Each townhome will have two HVAC zones to maximize comfort on all floor levels. HVAC air balance will be included to ensure proper cfm is delivered to all living areas.



H. CARTER LAND, III
F. ANDREW CARROLL, III
DUNCAN WARDMAN BLAIR
MARTIN J.A. YEAGER (VA, DC & MD)

524 KING STREET
ALEXANDRIA, VA 22314-3104
T: 703-836-1000
F: 703-549-3335
WWW.LANDCARROLL.COM

April 5, 2024

BY ELECTRONIC MAIL

Mr. Karl Moritz, Director
Department of Planning & Zoning
City of Alexandria
301 King Street
Alexandria, Virginia 22314
Karl.Moritz@alexandriava.gov

**Re: 107 North West Street
DSUP 2024-10004 - 125 & 107 North West Street Townhouses**

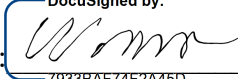
Dear Karl:

I am writing in respond to Planning And Zoning's Completeness Comment #1 (Completeness Comment Letter dated April 3, 2024) requesting verification that 107 North West Street, LLC has authorized the filing of the above referenced Development Special Use Permit Application by 125 North West Street, LLC and to confirm that 125 North West Street, LLC is the contract purchaser of the property at 107 N. West Street, Alexandria, Virginia.

If you need additional information concerning this, please do not hesitate to call.

Very truly yours,

107 North West Street, LLC

DocuSigned by:
By: 
7933BAE74F2A45D...
Michael Winstanley, Manager

cc: Client

N West Street Townhomes
107 & 125 N West St
Alexandria, VA

GREEN BUILDING SITE PLAN CHECKLIST NARRATIVE

A. GENERAL APPROACH

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B. ENERGY

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iii. Lighting: The project will maximize the use of high-efficiency LED fixtures, with strategic planning and fixture selection to minimize the quantity.

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- d. For Net Zero: Developer will provide energy analysis report to demonstrate PV potential to offset energy usage, and will register the project for an approved Net Zero Energy Certification.
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- f. Metering Strategy: Each townhome will have separate water and electric meters. Natural gas is not included in the plan.

C. WATER

- a. Outdoor Water Reduction Strategies: The project does not include landscape irrigation. Drought resistant plants and trees will be selected from the approved list of plantings provided by the City.
- b. Indoor Water Use Savings and Strategies: The project will incorporate Water Sense fixtures, including low flow toilets, faucets and showers.

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- a. Daylighting Plan: The plan maximizes fenestration to provide ample daylight throughout the townhomes. Developer will prioritize U-values for windows.
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NGBS Scoring for New Construction ICC 700-2020 National Green Building Standard®

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Version 5.2.20 Revision Date: 2/28/2024

This workbook will be updated periodically. Before scoring a project, check if you have the latest version.
[Go to <http://www.homeinnovation.com/greenscoring> to download the latest version of the NGBS Scoring for New Construction spreadsheet.](http://www.homeinnovation.com/greenscoring)

Introduction

This workbook allows you to score a new single-family home to the ICC 700-2020 National Green Building Standard®. Use of the NGBS Green Scoring Tool is the required entry point for Home Innovation's NGBS Green Certification. This workbook is intended to be used in conjunction with the publication ICC 700-2020 National Green Building Standard®. Please read the instructions below. **Excel 2013 or 2016 is required.**

Caveats

DO NOT PASTE ANYTHING INTO THE WORKSHEET. CELL PROTECTION, VALIDATION, AND CONDITIONAL FORMATTING CAN BE ALTERED BY PASTING. THIS WILL BREAK YOUR SHEET.

This scoring tool was developed using Microsoft Excel for PC. Features of this spreadsheet may not work in older Excel versions, in spreadsheet software other than Excel, or platforms other than Windows.

Instructions

This tool follows 3 distinct phases: the Design phase, Rough Verification, and Final Verification. While the Design Phase is not required to earn certification, it is helpful in the overall process. Two Verification phases ARE required, with one occurring following rough-in and the second occurring after construction is complete.

DESIGN PHASE:

Begin on the **Overview (Design)** page. Complete all mandatory information and as much non-mandatory information as possible before moving on to the rest of the workbook.

Chapters 5 through 10 are for the design phase. Claim practices using checkboxes, dropdowns, and number entry. Practices are colored based on their availability (see Key below).

Use the notes column to add explanation or extra information regarding a practice. Some practices require a note of explanation and will indicate as such.

Information in the header will track your points progress for that Chapter in real time. The header will also display warnings if you are missing any mandatory information or there is an error on that page. The Chapter Level may not display while there are still errors on the page.

The **Required Documentation** page shows the paperwork necessary if claiming certain practices. These can be filtered to only show those that were claimed in the Design phase.

The **Design Summary** page shows a summary of the points claimed in the Design phase. It will also indicate if there is anything missing or incorrect in each Chapter.

When you have finished scoring the design phase, send this file as an attachment to your verifier. They will complete the remainder. Accredited verifiers can be found at: www.homeinnovation.com/FindNGBSverifier

VERIFICATION PHASE:

Verifiers should begin with the **Overview (Verification)** page. Verifiers must confirm the information on the **Overview (Design)** page. If any information is incorrect, uncheck the corresponding checkbox and enter the correct information here.

The **Verification Report** page is used for both parts of the Verification phase. At the top of the page, select the goal level and the phase (Rough or Final).

Some practices should only be claimed during one phase of Verification. If the practice is not available during your current phase, it will be greyed out.

Points claimed in the Design phase are displayed for easy comparison. On practices where the choices are not obvious based on point values, chosen portions of the practice will be highlighted in green.

When the rough portion of the Verification phase is complete, move on to the **Rough Summary** page. Fill out the necessary information before submitting the file to Home Innovation.

When the final portion of the Verification phase is complete, move to the **Final Summary** page. Fill out necessary information before submitting the file to Home Innovation.

COMMERCIAL SPACE:

If the project is pursuing Commercial Space certification, either Core & Shell or Full Fit-Out, complete verification using the **Ver. Rpt. (Commercial)** page. At the top of the page, select the pathway pursued.

If Core & Shell is selected, the project will undergo a Rough inspection. If Full Fit-Out is selected, the project will undergo both Rough and Final inspections. This page can be used for both parts of the Verification phase.

When the verification is complete, move to the **Comm. Summary** page. Fill out the necessary information before submitting to Home Innovation.

Advanced (filtering)

The "Required Documentation" and "Verification Report" sheets have filters built in. You can use these filters to hide rows that are irrelevant to you.


On the far left of the "Required Documentation" sheet, there are three dynamic columns which change based on what you did in the design portion. If you click on the arrow in the top left, you will see options for filtering out certain values. If you uncheck values other than "P", practices not chosen will be hidden.


The "Verification Report" sheet has three columns on the left: Chapter, Points, and Rough/Final. You can use each filter to hide practices that are not relevant to you.


The points filtering is based on the current state of the design portion when the filter is applied. If the selected practices are changed, you will have to undo and redo the filtering. The filtering is easily undone and redone. Just click the arrow again and recheck each value you want to display.


DO NOT SELECT "SORT". SORTING WILL NOT DO ANYTHING POSITIVE. IF YOU ACCIDENTALLY SORT SOMETHING, UNDO (CTRL + Z) AND IT SHOULD GO BACK TO NORMAL BUT MAY CRASH.


Key


 **Normal Entry (optional)** - Use the checkbox or dropdown to indicate the status of the adjacent practice.

 **Mandatory Entry or Mandatory Note** - This field is required in order for the worksheet to be considered complete and submitable

 **Answered** - You have affirmed that this practice was chosen/not chosen or met/not met.

 **Error** - Something is wrong. Review practice text for explanation.

 **Note Entry** - A place for you to elaborate. If a note is mandatory it will turn yellow. Notes required due to selecting a practice out of phase (rough or final) will not turn yellow

 **Off Limits** - Some other answer or lack of answer disqualifies you from this practice or the practice is not available during the current phase (rough or final)

[CLICK HERE TO GET STARTED!](#)



Overview (Design Phase)

Batch Submission:

Builder Name: Tech 24 Construction LLC
 Physical Address of Home: N. West St, 107 N West St
 Community/Lot #: To be Determined
 City: Alexandria
 State: Virginia
 County: Alexandria City
 Zip: 22314

Climate Zone:
 4 Moist

Radon
 3

Single-Family or Multifamily: Single-Family

Above grade plane finished floor area: 2595 s.f./unit Calculate per ANSI Z765. For a multifamily building, use a weighted average of the individual unit sizes.
 Total conditioned floor area: 2595 s.f.
 Stories above grade: 4
 Project Elevation (ft. above sea level): 26 ft.

Project Description (optional): New Construction of 13 Townhomes
 Foundation Type: Slab on grade

Type of Heating System (main system): Heat Pump
 Type of Heating System (system 2): None
 Type of Heating System (system 3): None
 Primary Heating Fuel: Electricity
 Heating Ducts: Ducted
 Type of Cooling System (main system): Electric Air Conditioner
 Type of Cooling System (system 2): None
 Type of Cooling System (system 3): None
 Cooling Ducts: Ducted

Maximum window and door SHGC: 0.3 Exclude south-facing
 Maximum skylight SHGC: 0.3 glass if part of "Sun-tempered" design
 Maximum window and door U-value: 0.3
 Maximum skylight U-value: 0.55 (703.7.1).
 Renewable Energy: None
 Thermal Envelope Insulation: Fiberglass
 Attic Type: Vented
 Attached Garage: Yes
 Recessed Lighting: Yes

[Table 703.2.5.2\(a\).](#)
[703.2.5.2\(b\).](#)
[703.2.5.2\(c\)](#)

Special Design Features:
 Passive Solar: No
 Mass Walls: No
 Radiant/Hydronic: No
 Tankless Water Heater: No
 Composting Toilet: No

Local Energy Code: 2018 IECC
 Local Building Code: 2018 IRC

Who completed this information? Builder

[CLICK TO PROCEED TO CHAPTER 5 >>](#)



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ICC 700-2020 National Green Building Standard®

Summary of Results of the Design Phase

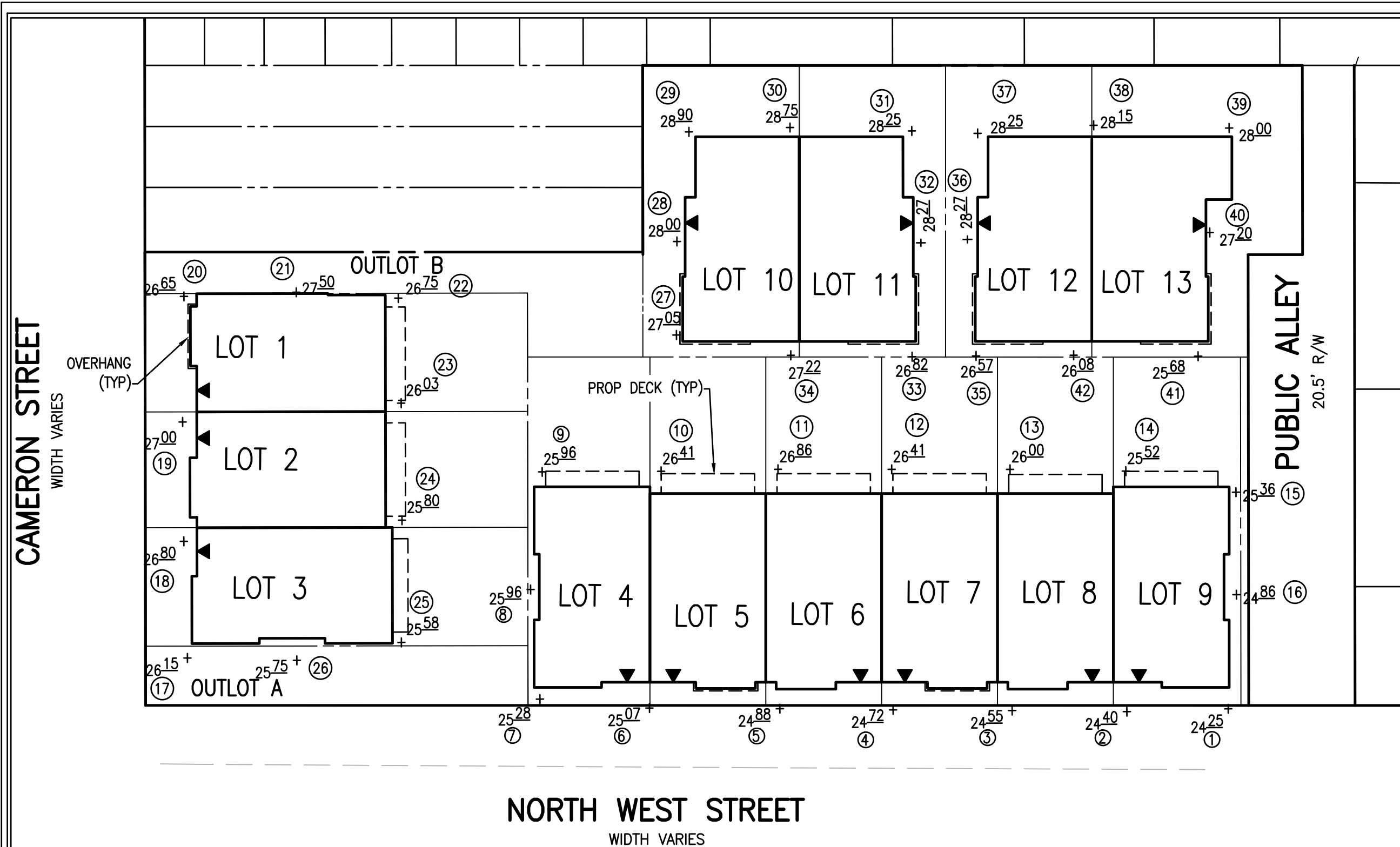
Scoring Tool Version: 5.2.20

Revision Date: 2/28/2024

✓ No Mandatory items missing on the "Overview (Design)" page

Location: N. West St, 107 N West St, Alexandria, Virginia 22314

	Points Required				Points Claimed	Mandatory Practices	No Errors
	Bronze	Silver	Gold	Emerald			
Chapter 5: Lot Design, Preparation, and Development	50	64	93	121	77	✓	✓
Chapter 6: Resource Efficiency	43	59	89	119	73	✓	✓
Chapter 7: Energy Efficiency	30	45	60	70	111	✓	✓
Chapter 8: Water Efficiency	25	39	67	92	59	✓	✓
Chapter 9: Indoor Environmental Quality	25	42	69	97	101	✓	✓
Chapter 10: Operation, Maintenance, and Building Owner Education	8	10	11	12	18	✓	✓
Additional Points required	50	75	100	100			
Additional points required due to SF over 4000 (601.1)	0	0	0	0			
Total points required	231	334	489	611	439		
Additional Points Claimed	258	180	50	(72)			
Overall Level Achieved for Design	Silver						

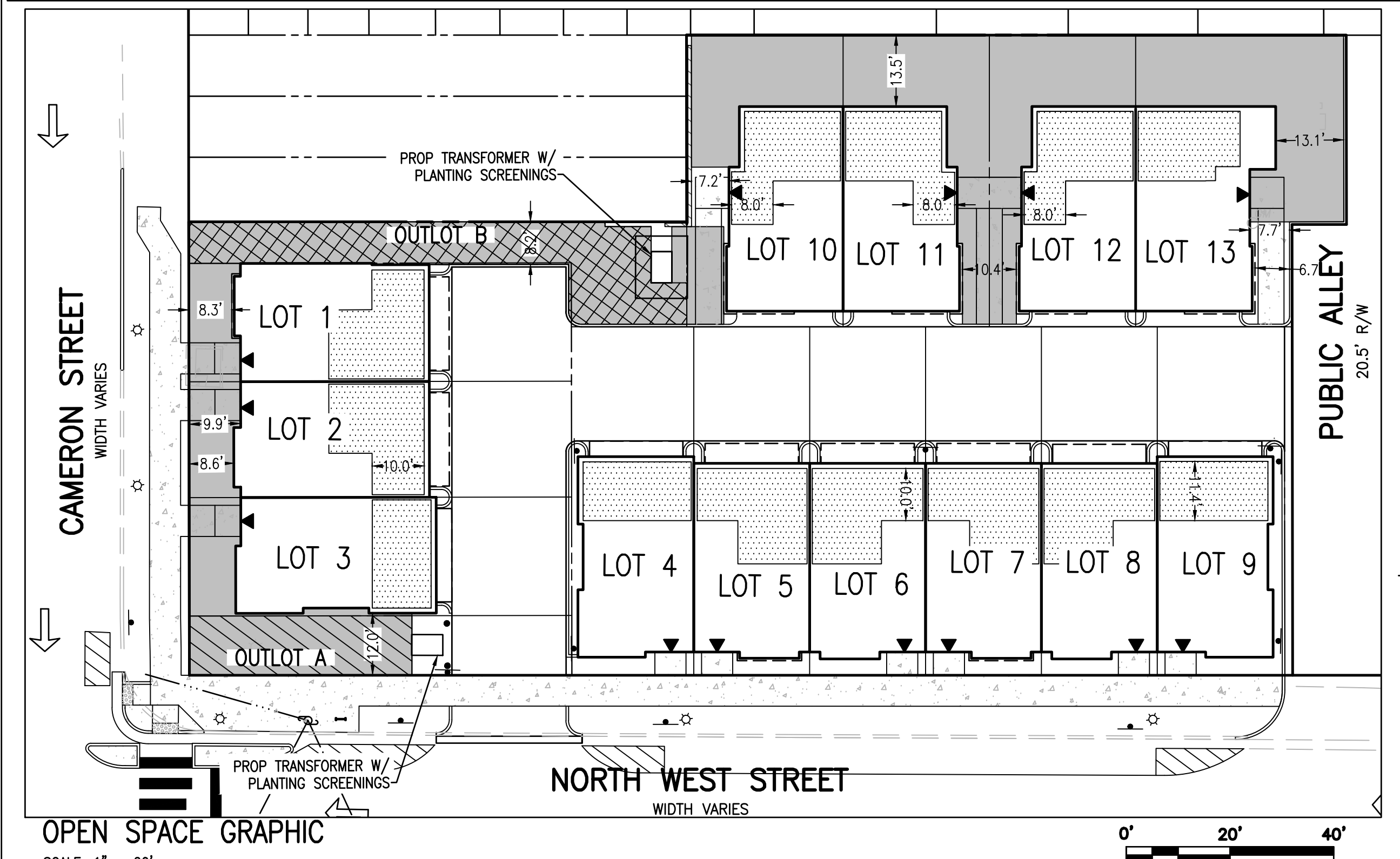


AVERAGE FINISHED GRADE AND BUILDING DETAIL GRAPHIC

SCALE: 1" = 20'



Lot 1 Average Finished Grade		Lot 2 Average Finished Grade		Lot 3 Average Finished Grade		Lot 4 Average Finished Grade		Lot 5 Average Finished Grade	
Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation
19	27.00	18	26.80	17	26.15	6	25.07	5	24.88
20	26.65	19	27.00	18	26.80	7	25.28	6	25.07
21	27.50	23	26.03	24	25.80	8	25.96	10	26.41
22	26.75	24	25.80	25	25.58	9	25.96	11	26.86
23	26.03	AFG:	26.41	26	25.75	10	26.41	AFG:	25.81
AFG:	26.79			AFG:	26.02				
Lot 6 Average Finished Grade		Lot 7 Average Finished Grade		Lot 8 Average Finished Grade		Lot 9 Average Finished Grade		Lot 10 Average Finished Grade	
Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation
4	24.72	3	24.55	2	24.40	1	24.25	27	27.05
5	24.88	4	24.72	3	24.55	2	24.40	28	28.00
11	26.86	12	26.41	13	26.00	14	25.52	29	28.90
12	26.41	AFG:	25.42	14	25.52	15	25.36	30	28.75
AFG:	25.72			AFG:	25.12	16	24.86	34	27.22
Lot 11 Average Finished Grade		Lot 12 Average Finished Grade		Lot 13 Average Finished Grade					
Spot	Proposed Elevation	Spot	Proposed Elevation	Spot	Proposed Elevation				
30	28.75	35	26.57	38	28.15				
31	28.25	36	28.27	39	28.00				
32	28.27	37	28.25	40	27.20				
33	26.82	38	28.15	41	25.68				
34	27.22	42	26.08	42	26.08				
AFG:	27.86	AFG:	27.46	AFG:	27.02				



OPEN SPACE GRAPHIC

SCALE: 1" = 20'

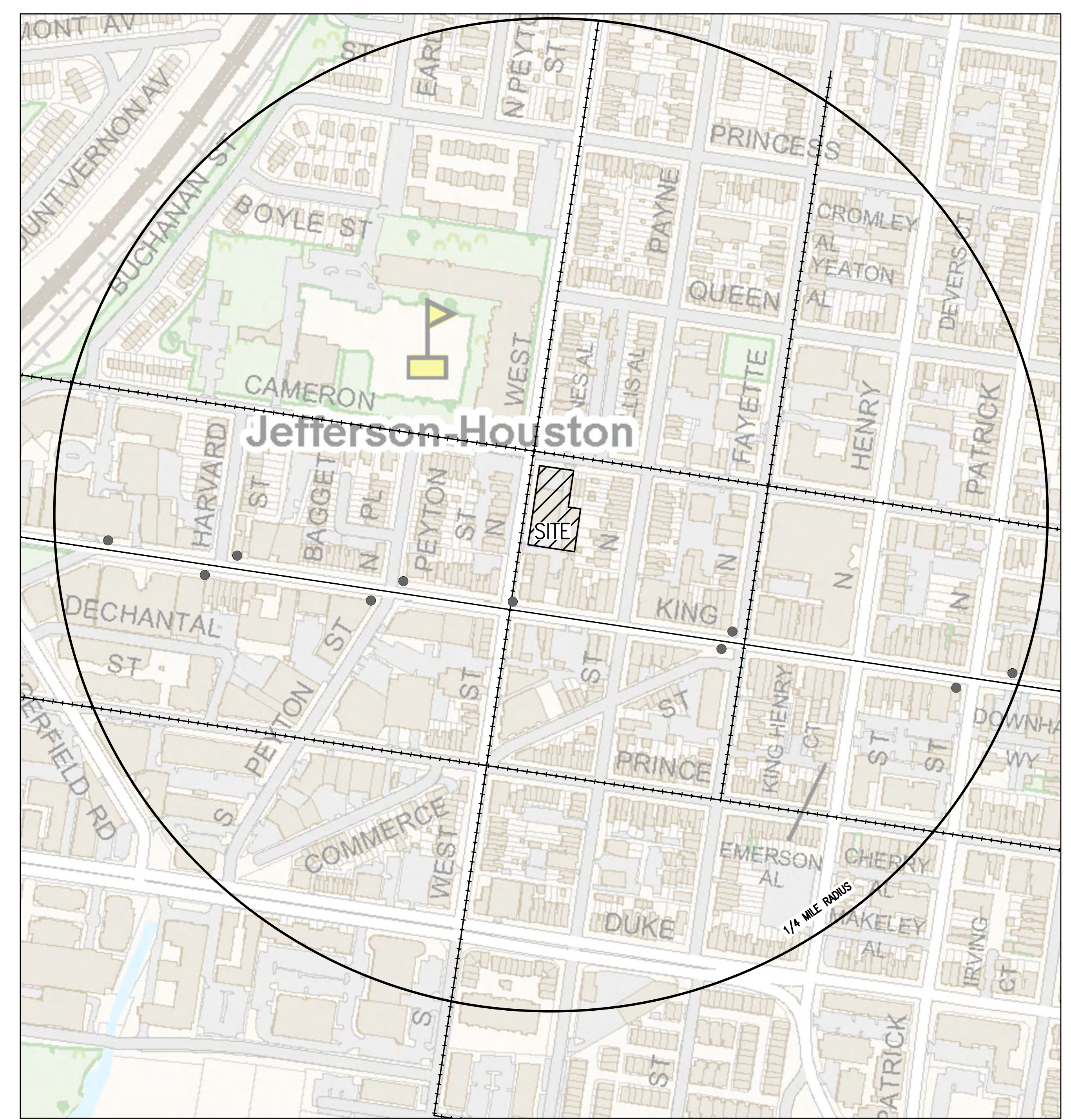


OPEN SPACE PER LOT

LOT 1: 500 SF (29.7%)	LOT 2: 490 SF (29.8%)	LOT 3: 420 SF (24.9%)
LOT 4: 220 SF (13.9%)	LOT 5: 300 SF (20.0%)	LOT 6: 300 SF (20.0%)
LOT 7: 300 SF (20.0%)	LOT 8: 300 SF (20.0%)	LOT 9: 220 SF (12.6%)
LOT 10: 925 SF (54.6%)	LOT 11: 925 SF (58.3%)	LOT 12: 925 SF (58.3%)
LOT 13: 1100 SF (53.0%)	OUTLOT A: 490 SF	OUTLOT B: 950 SF

OPEN FOR SITE

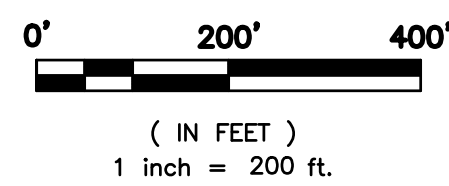
- [Solid Grey] = GROUND LEVEL OPEN SPACE (4,785 SF)
- [Dotted Grey] = ROOF TOP OPEN SPACE (3,580 SF)
- [Total] = 8,365 SF (36.1%)
- [Hatched] = PUBLIC OPEN SPACE WITHIN PUBLIC ACCESS EASEMENT (480SF) (OUTLOT A)
- [Cross-hatched] = PRIVATE OPEN SPACE ACCESSIBLE BY TOWNHOUSE RESIDENTS ONLY (950 SF) (OUTLOT B)



CONTEXTUAL MAP

SCALE: 1" = 200'

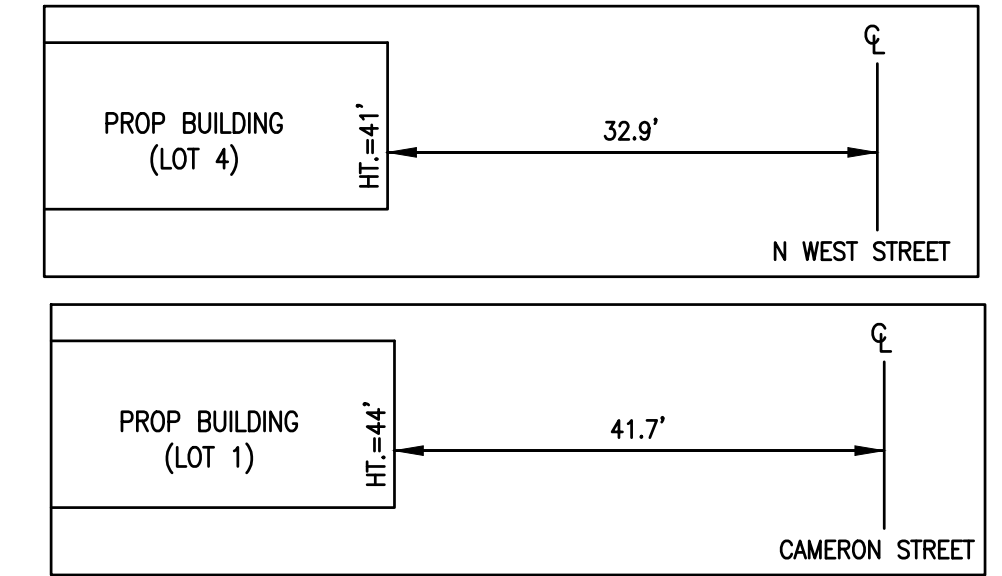
GRAPHIC SCALE



LEGEND:

- BUS STOP
- DASH KST, OTC 30,31
- BIKE ROUTES

SECTION 6-403 DETAILS:



SECTION 6-403 COMPLIANCE NOTE:

SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTERLINE OF THE STREET FACING SUCH BUILDING." SEE DETAILS BELOW FOR SECTION SHOWING COMPLIANCE.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

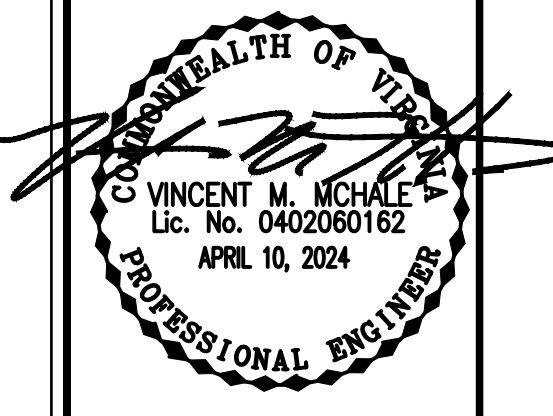
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
N WEST STREET TOWNHOMES
#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: DJM
CHECKED: VMM
SCALE: AS NOTED
DATE: APR 10, 2024

CONTEXTUAL PLAN

A:\2023\3121\DWG\REV\02-CONTEXTUAL_PLAN.dwg
Tue, Apr 09, 2024 - 14:03:28

GENERAL NOTES:

- 1. TAX MAP: #064.03-10-01; (#125 N WEST ST) #064.03-10-26; (#107 N WEST ST)
2. ZONE: CD
3. OWNERS: FLEET RESERVE ASSOC INC, 107 NORTH WEST STREET LLC, 125 N WEST STREET ALEXANDRIA, VA 22314 ALEXANDRIA, VA 22314 DEED BOOK: 1313, PAGE: 483 INSTR #080008156
CLIENT: VICTOR BONOMI
4. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA, SMARTNET.
5. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO A RAPID STATIC GPS SURVEY USING THE LEICA, SMARTNET NETWORK.
6. THE BOUNDARY SURVEY OF THE LANDS DELINEATED HEREON MEETS THE MINIMUM ERROR OF CLOSURE OF 1 IN 20,000.
7. TITLE REPORTS FURNISHED BY DAVIS TITLE SERVICES COMPANY, COMMITMENT #23-06-014, DATED 06/02/2023, AND ROUND TABLE TITLE, INC, FILE #2023-6192, DATED SEPTEMBER 11, 2023, AND ARE RELIED UPON BY THE SURVEYOR AS ACCURATE.
8. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
9. TOTAL SITE AREA = 4,642 S.F. OR 0.1066 AC. (#107 N WEST ST) 18,532 S.F. OR 0.4255 AC. (#125 N WEST ST) 23,174 S.F. OR 0.5320 AC. (TOTAL)
10. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
11. THERE ARE CURRENTLY NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
12. THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
13. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
14. THIS PROJECT IS WITHIN A COMBINED SEWER SHED.

ARCHAEOLOGY NOTES:

CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

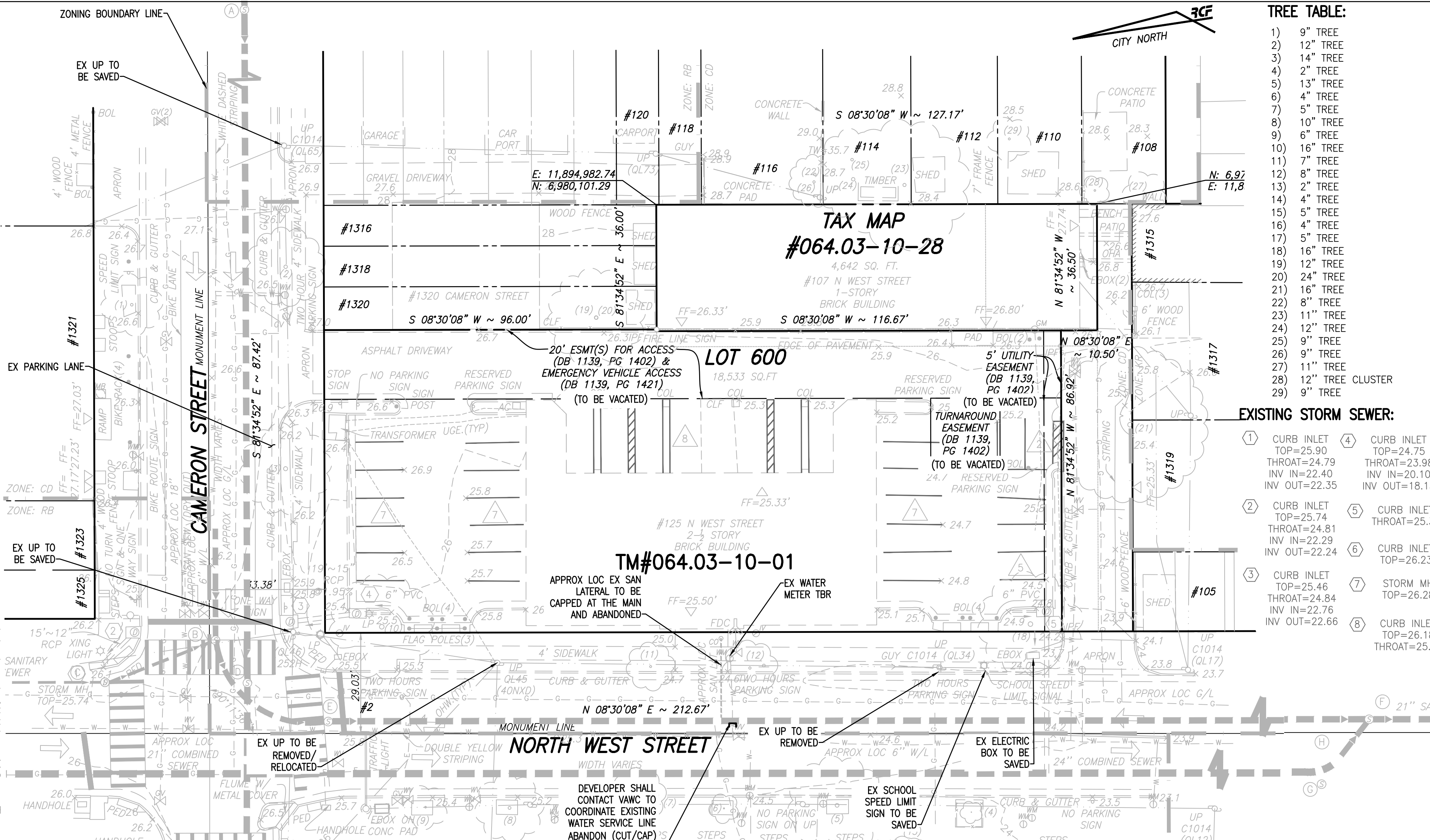
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ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE.

UTILITY OWNERSHIP NOTE:

- GAS: ALL GAS LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY WASHINGTON GAS COMPANY. CONTACT: KEN MCCONKEY 703-750-4756; ADDRESS: WASHINGTON GAS, 6801 INDUSTRIAL ROAD, SPRINGFIELD, VA 22151.
- ELECTRIC: ALL ELECTRIC UTILITIES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER. ANY RELOCATION OF EXISTING POLES AND LINES WILL BE COORDINATED WITH DOMINION VIRGINIA POWER. CONTACT: 1-866-366-4357; ADDRESS: DOMINION POWER, P.O. BOX 26666, RICHMOND, VA 23261.
- WATER: ALL EXISTING WATER LINES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY VIRGINIA AMERICAN WATER COMPANY (V.A.W.C.). EXISTING WATER SERVICES FROM METERS TO THE EXISTING BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. PROPOSED WATER SERVICES FROM METERS TO THE PROPOSED BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: NETWORK SUPERVISOR FOR THE SOUTHEAST REGIONAL ALXALUMINIS 703-706-3663; ADDRESS: VIRGINIA AMERICAN WATER COMPANY, 2223 DUKE STREET, ALEXANDRIA, VA 22314.
- SANITARY SEWER: ALL EXISTING SANITARY SEWER LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. THE PROPOSED AND EXISTING SANITARY LATERALS WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: YON LAMBERT, DEPUTY DIRECTOR 703-746-4488; ADDRESS: ALEXANDRIA SANITATION AUTHORITY, 1500 EISENHOWER AVENUE, ALEXANDRIA, VA 22314.
- STORM SEWER: ALL EXISTING STORM SEWER SHOWN ON THIS PLAN IS OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. ANY PROPOSED ON-SITE STORM SEWER WILL BE MAINTAINED BY THE PROPERTY OWNER. CONTACT THE OFFICE OF ENVIRONMENTAL QUALITY AT 703-746-4065.
- TELEPHONE: ALL TELEPHONE LINES ARE OWNED BY VERIZON. CONTACT: SECTION MANAGER MIKE TYSINGER 804-772-6625; ADDRESS: VERIZON VIRGINIA, INC., 3011 HUNGRY SPRING ROAD, 2ND FLOOR, RICHMOND, VA 23228.

Table with columns for lot number, owner name, address, and utility information. Includes lots #1501, #1320, #1325, #1318, #1323, #1316, #1321, #114, #105, #108, #110, #112, #118, #116, #120, #112, #118, #116, #120, #112, #118, #116, #120.



TREE TABLE:

Table with columns for tree size and quantity. Lists trees from 9 inch to 29 inch diameter.

SYMBOLS LEGEND

Table mapping symbols to utility and structural items. Includes categories like Fire Hydrant, Air Conditioning Unit, Utility Pole, Fire Department Connection, Storm Structure Identifier, Storm Manhole, Storm Sewer Layout, Sanitary Structure Identifier, Sanitary Manhole, Sanitary Sewer Layout, Sidewalk, Sign, Sign (Double Post), Gas Valve, Gas Line, Gas Meter, Irrigation Valve, Bollard, Cleanout, Well, Waterline, Water Valve, Water Meter, Transformer, Electric Manhole, Electric Meter, Elec. Box/Structure, Electric Line, Telecommunication Line, Cable Line, Cable/Electric/Telecommunication Line, Telecommunication Manhole, Telecommunication Structure, Overhead Street Light, Light Pole, Landscape Light, Fences, Grading Spot, Grading Contour, Building Entrance, Paving, Guardrail, Curbs and Gutter, Proposed Spill Curb, Proposed Transition/Noise Down Curbs, Limits of Disturbance.

EXISTING STORM SEWER:

Table listing existing storm sewer inlets with details like curb inlet, top, throat, and invert elevations.

TEXT LEGEND:

- = DEGREES
* = MINUTES (OR FEET)
" = SECONDS (OR INCHES)
% = PERCENT
= NUMBER
@ = AT
AC = ACRE
ADA = AMERICANS W/ DISABILITIES ACT
APPROX = APPROXIMATE
BC = BOTTOM OF CURB
BF = BASEMENT FLOOR
BFE = BASE FLOOR ELEVATION
BLDO = BUILDING
BM = BENCHMARK
BSMT = BASEMENT
BOL = BOLLARD
BW = BOTTOM OF WALL
CATV = CABLE UTILITY
CL = CLASS
C/L = CENTERLINE
CLF = CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
CI = CURB INLET
CO = CLEAN OUT
CONC = CONCRETE
C&G = CURB & GUTTER
DB = DEED BOOK
DHF = DRILL HOLE FOUND
DIP = DUCTILE IRON PIPE
DOM = DOMESTIC
DU = DWELLING UNIT
E = EAST
EBOX = ELECTRICAL BOX
ESMT = EASEMENT

TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WIM DE SUTTER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 03, 2023; AND THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

EXISTING SANITARY SEWER:

Table listing existing sanitary sewer manholes with details like bench mark, top, invert, and out elevations.

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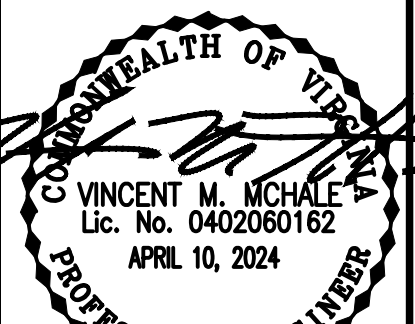
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APPROVED SPECIAL USE PERMIT NO.

Approval stamp form with fields for Department of Planning & Zoning, Department of Transportation & Environmental Services, Site Plan No., Director, Date, Chairman, Planning Commission, Date, Instrument No., Deed Book No., Date.

R.C. FIELDS & ASSOCIATES, INC. ENGINEERING • LAND SURVEYING • PLANNING 700 S. Washington Street, Suite 220 Alexandria, Virginia 22314 www.rcfields.com (703) 549-6422



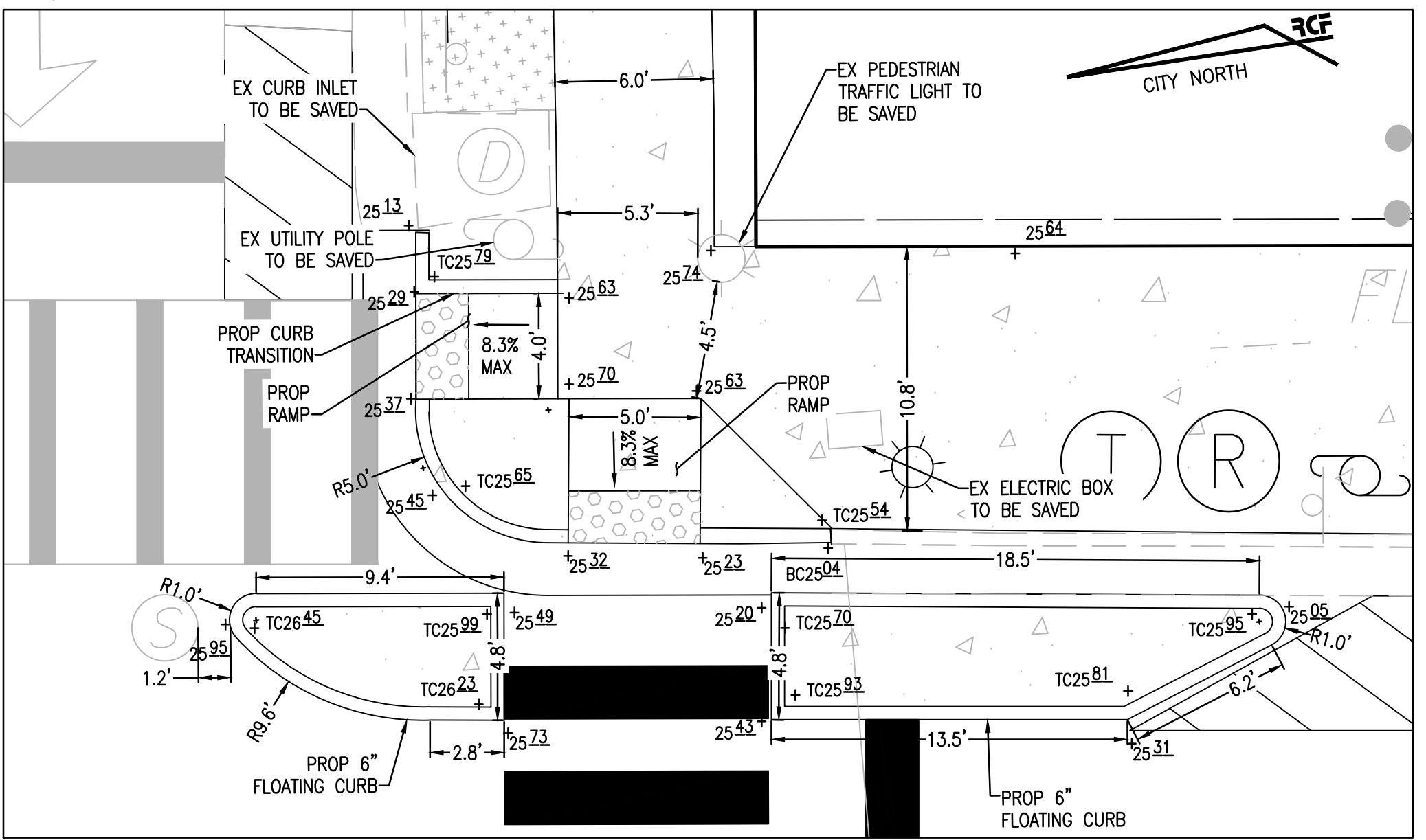
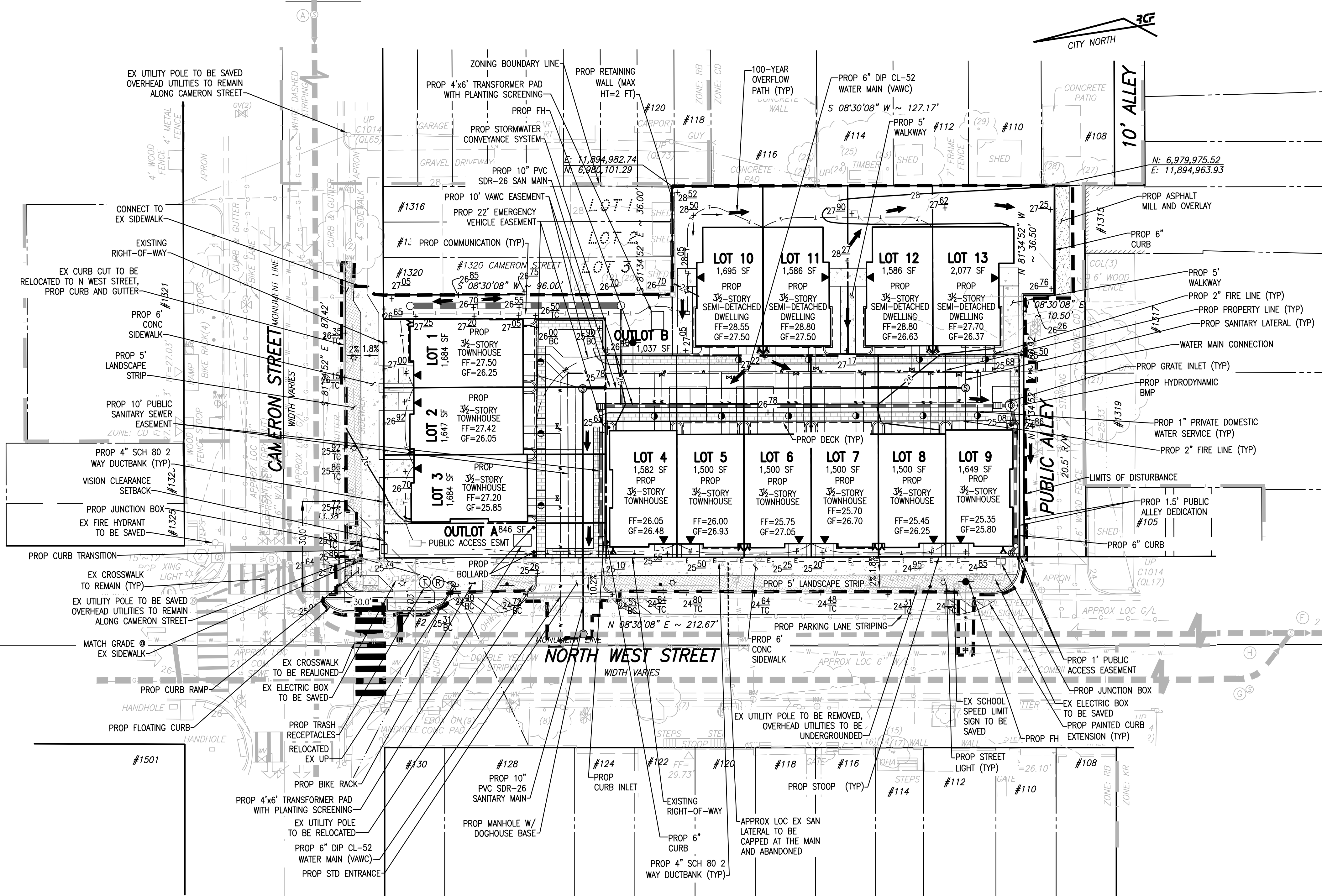
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT N WEST STREET TOWNHOMES #107 & #125 NORTH WEST STREET CITY OF ALEXANDRIA, VIRGINIA

Table with columns for Date and Revision.

DESIGN: DJM CHECKED:VMM SCALE: 1" = 20' DATE: APR 10, 2024

EXISTING CONDITIONS

SHEET 03 OF 17 FILE: 23-123



PROP FLOATING CURB AND CURB RAMP GRADING AND DIMENSION DETAIL
SCALE: 1" = 5'

GENERAL PLAN INFORMATION NOTE:
SEE PROJECT LEGEND AND GENERAL NOTES ON SHEET 03.

ARCHAEOLOGY NOTES:

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ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE.

SANITARY SEWER OUTFALL NARRATIVE:

THE EXISTING USES (COMMERCIAL OFFICE) PRODUCES AN AVERAGE DAILY FLOW OF APPROXIMATELY 19,270 GALLONS PER DAY [(200 GPD/1,000 SF) X 19,695 SF X 4.0 PEAK FLOW FACTOR] (#125 N WEST STREET) + [(200 GPD/1,000 SF) X 4,392 SF X 4.0 PEAK FLOW FACTOR] (107 N WEST STREET). THE PROPOSED IMPROVEMENTS PRODUCE AN AVERAGE DAILY FLOW OF APPROXIMATELY 18,200 GALLONS PER DAY (350 GPD/UNIT X 13 UNITS X 4.0 PEAK FLOW FACTOR). THEREFORE, THERE IS A REDUCTION ON THE TOTAL AVERAGE DAILY FLOW PROPOSED WITH THIS PROJECT AND A DETAILED SANITARY SEWER OUTFALL ANALYSIS IS NOT REQUIRED.

FIRE SERVICE NOTE:

FIRE TRUCK ACCESS WILL BE PROVIDED VIA THE SITE FRONTAGE ALONG THE NORTH WEST STREET RIGHT-OF-WAY FOR LOTS 4 THROUGH 9, THE CAMERON STREET RIGHT-OF-WAY FOR LOTS 1 THROUGH 3, AND THE 20' PUBLIC ALLEY AND 22' EMERGENCY VEHICLE EASEMENT WITHIN THE PRIVATE AISLE FOR LOTS 10 THROUGH 13. EXISTING FIRE HYDRANTS SHALL REMAIN IN-SERVICE AND UNOBSTRUCTED DURING CONSTRUCTION.

ALEXRENEW NOTES:

- CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
- DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.

REFUSE TRUCK NOTE:

TRASH CANS WILL BE STORED ON PRIVATE PROPERTY AND ROLLED TO THE PROPOSED PRIVATE SHARED DRIVE AISLE FOR TRASH PICK UP ON A WEEKLY BASIS.

UTILITIES NOTE:

THE PROPOSED BUILDINGS WILL UTILIZE A NEW SANITARY LATERAL, A NEW FIRE LINE, AND A NEW DOMESTIC SERVICE LINE. THE NEW SANITARY LATERALS ARE TO CONNECT TO THE PROPOSED SANITARY MAIN IN THE PRIVATE SHARED DRIVE AISLE. THE PROPOSED SANITARY MAIN IS TO CONNECT TO THE EXISTING SANITARY SEWER WITHIN THE NORTH WEST STREET RIGHT-OF-WAY. THE FIRE LINE AND DOMESTIC WATER SERVICE LINES ARE TO CONNECT THE PROPOSED WATER MAIN EXTENSION LOCATED IN THE PRIVATE SHARED DRIVE AISLE, WHICH CONNECTS TO THE EXISTING WATER MAIN WITHIN THE NORTH WEST STREET RIGHT-OF-WAY AND THE EXISTING WATER MAIN WITHIN THE 22' PUBLIC ALLEY, CREATING A CLOSED LOOP SYSTEM.

GREEN BUILDING NARRATIVE:

THIS BUILDING WILL COMPLY WITH THE CITY'S 2019 GREEN BUILDING POLICY AND WILL INCORPORATE SUSTAINABLE STRATEGIES CONSISTENT WITH THE CITY'S ENVIRONMENTAL GOALS. LEED STRATEGIES ARE DETAILED WITHIN THE NARRATIVE, SCORECARD, AND ASSESSMENT PROVIDED UNDER SEPARATE COVER WITH THIS APPLICATION.

STORMWATER MITIGATION NOTE:

IN THE EVENT THE PROPOSED ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTIES THEN THE APPLICANT SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR GRADING TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.

UTILITY UNDERGROUNDING NOTE:

EXISTING OVERHEAD UTILITIES LOCATED ALONG THE NORTH WEST STREET FRONTAGE SHALL BE UNDERGROUND. OVERHEAD UTILITIES LOCATED ALONG CAMERON STREET ARE PROPOSED TO BE SAVED. DESIGN TO BE PROVIDED BY OTHERS.

HVAC NOTE:

HVAC UNITS ARE TO BE LOCATED ON THE UPPER ROOF AND ARE TO BE SCREENED, SEE THE ARCHITECTURAL SHEETS FOR MORE INFORMATION.

COMBINED SEWER NOTE:

THE SITE DISCHARGES TO THE COMBINED SEWER SYSTEM. PER MEMO TO INDUSTRY 23-02, THE APPLICANT WILL PROVIDE A CONTRIBUTION FOR STORMWATER AND SANITARY RUNOFF GENERATED ONSITE IN LIEU OF SEPARATION AS THERE IS NO OPPORTUNITY FOR SEPARATION WITHIN THE VICINITY OF THE SITE.

- THE SANITARY FLOW FROM THE SITE WILL BE DISCHARGED TO THE COMBINED SEWER SYSTEM. THE PROJECT IS TO MEET CSS MANAGEMENT POLICY REQUIREMENTS BY MAKING A SANITARY CONTRIBUTION (OPTION B).
- THE STORMWATER FROM THE SITE WILL BE DISCHARGED TO THE COMBINED SEWER SYSTEM. THE PROJECT IS TO MEET CSS MANAGEMENT POLICY REQUIREMENTS BY INSTALLING A BIORETENTION AND UNDERGROUND DETENTION PIPE, REDUCING THE AMOUNT OF STORMWATER INTO THE CSS BY AT LEAST 10 PERCENT FOR THE 10-YEAR, 24-HOUR DESIGN STORM FROM THE PRE-DEVELOPMENT CONDITION (OPTION B).

SYMBOL/HATCH LEGEND:

- 100-YEAR OVERLAND RELIEF
- PROPOSED DECORATIVE SIDEWALK OR DRIVE AISLE PAVERS
- PROPOSED CONCRETE WALK
- PROPOSED 5' LANDSCAPE STRIP
- PROPOSED ASPHALT MILL AND OVERLAY

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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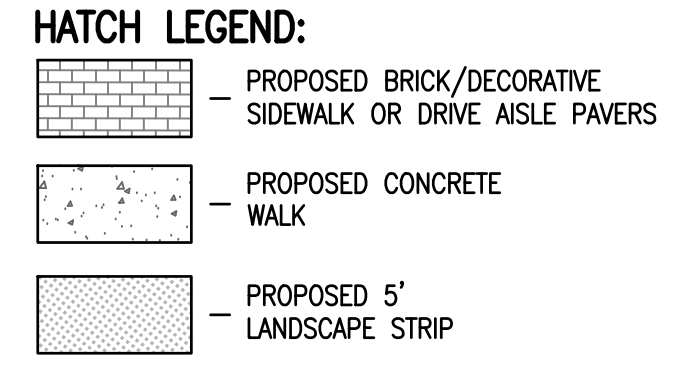
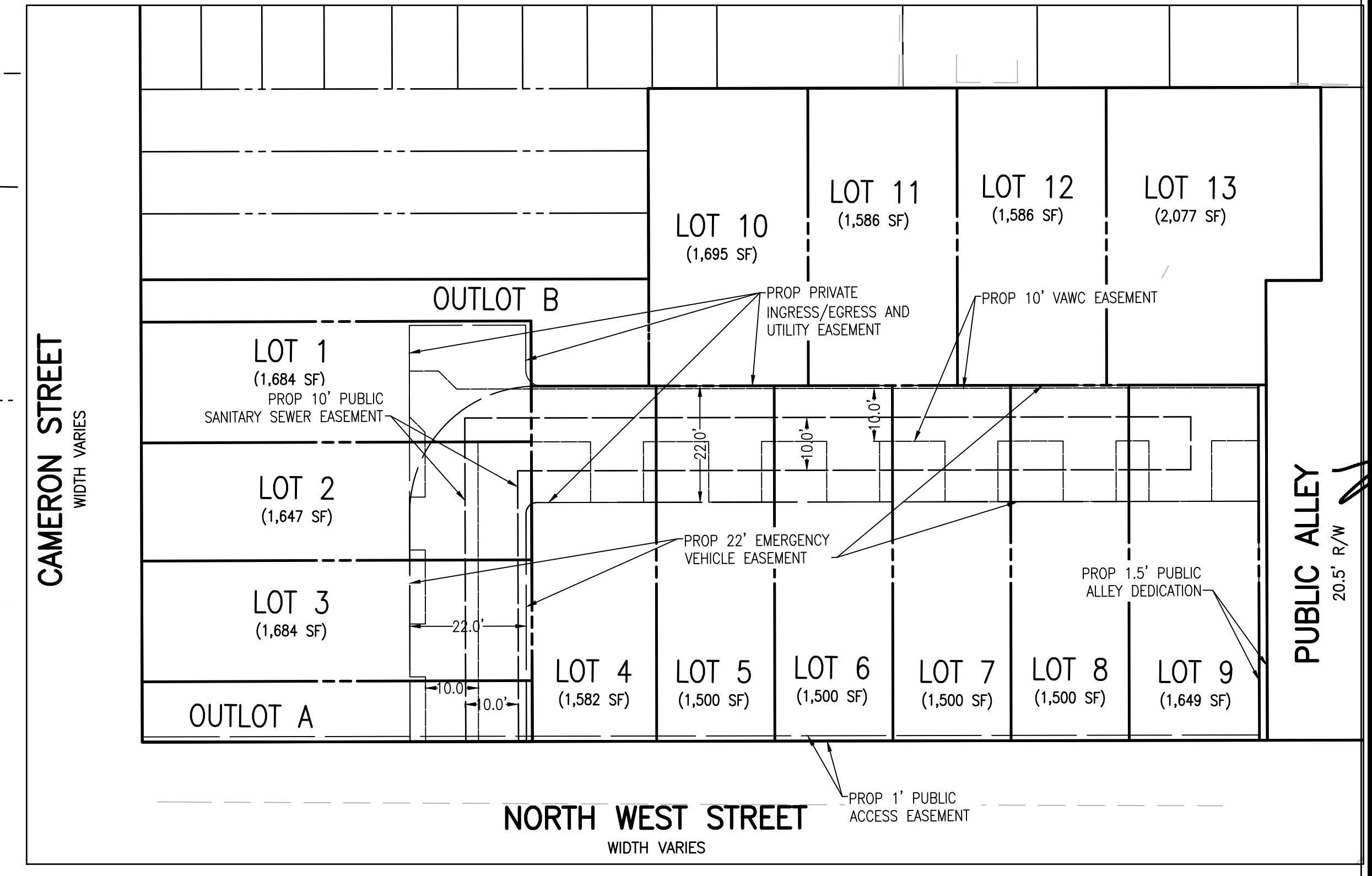
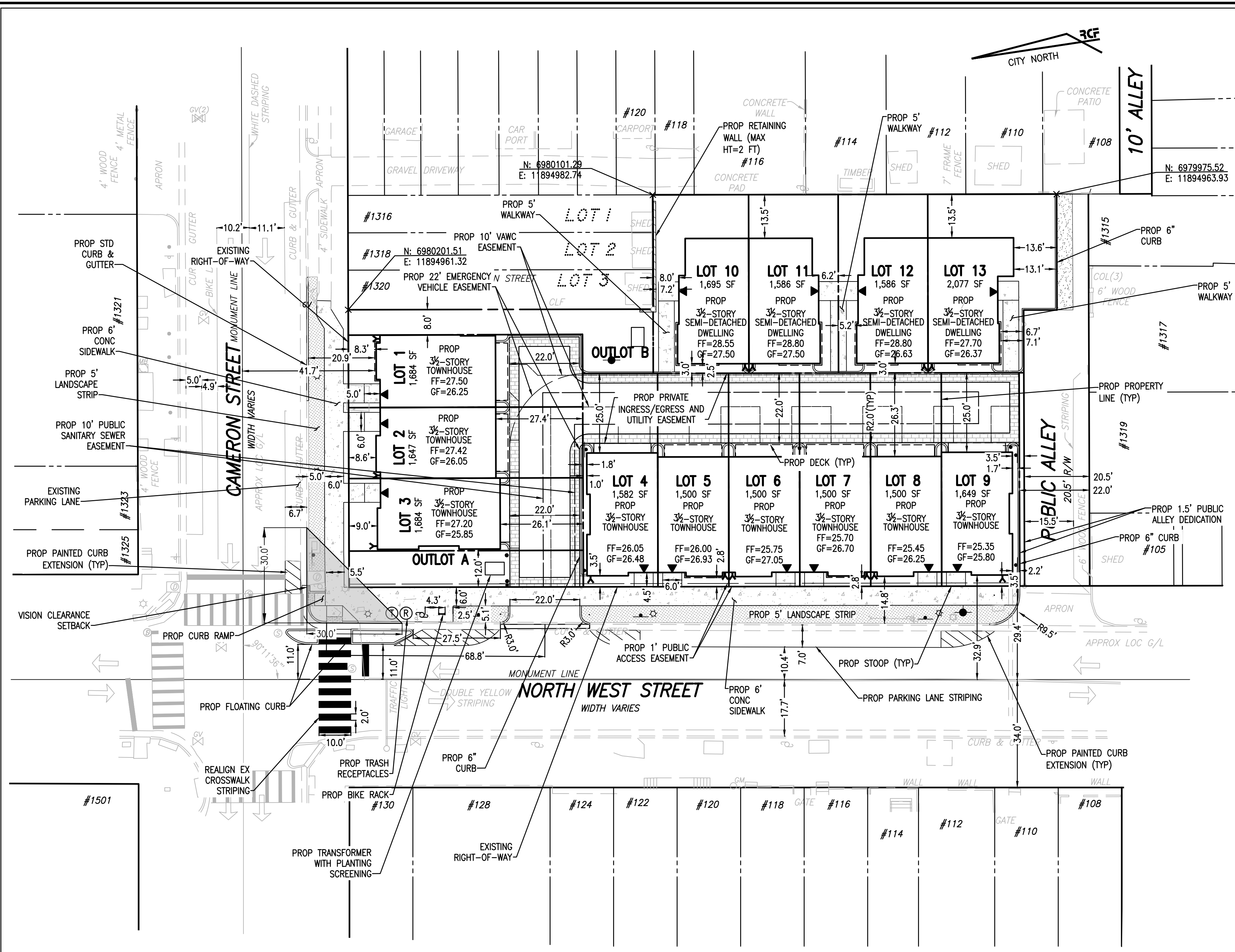
STATE OF VIRGINIA
VINCENT M. MCMALE
Lic. No. 0402060162
APRIL 10, 2024
PROFESSIONAL ENGINEER

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
N WEST STREET TOWNHOMES
#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

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SCALE: AS NOTED
DATE: APR 10, 2024
PRELIMINARY PLAN
SHEET **04** OF **17**
FILE: **23-123**



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DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

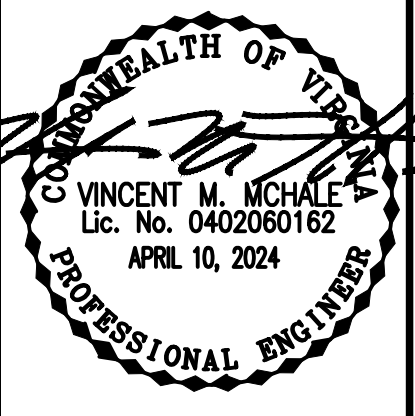
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CHAIRMAN, PLANNING COMMISSION _____ DATE _____

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#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

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DATE: APR 10, 2024

SITE DIMENSIONS PLAN

SHEET **05** OF **17**
FILE: **23-123**

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 Tue, Apr 09, 2024 - 1:45:00pm

DATE	REVISION

DESIGN: DJM
 CHECKED: VMM
 SCALE: 1" = 20'
 DATE: APR 10, 2024

SIGNING AND STRIPING PLAN

SHEET **06** OF **17**
 FILE: **23-123**

PAVEMENT MARKING NOTE:
 THE PROPOSED CROSSWALK STRIPING RE ALIGNMENT ALONG N WEST STREET SHALL BE A STANDARD HIGH VISIBILITY LADDER CROSSWALK. IT SHALL CONSIST OF 2' WIDE, 10' LONG WHITE THERMOPLASTIC LINES WITH REFLECTIVE MATERIAL, ORIENTED PERPENDICULAR TO THE CROSSING, WITH 2' WIDTH IN BETWEEN EACH LINE.

PARKING LANE STRIPING SHALL BE A STANDARD 4 INCH WIDE, WHITE THERMOPLASTIC LINES WITH REFLECTIVE MATERIAL. PAINTED CURB EXTENSION TO BE COORDINATED WITH THE CITY DURING THE FINAL SITE PLAN PHASE.

- GENERAL SIGNING NOTES**
- SIGNS AND PAVEMENT MARKINGS ARE TO BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE FOLLOWING AND ANY REVISIONS THERETO:
 - THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - THE VDOT ROAD AND BRIDGE STANDARDS
 - THE VDOT ROAD AND BRIDGE SPECIFICATIONS
 - PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS AND TO COMPLY WITH THE REFERENCES IN NOTE 1 ABOVE.
 - NEW SIGN FACINGS SHALL BE OF HIGH INTENSITY REFLECTIVE SHEETING (ENCAPSULATED LENS TYPE).
 - EXISTING SIGNS ARE TO BE RETAINED UNLESS OTHERWISE NOTED.

EVE SIGN NOTE
 NO PARKING SIGNS SHALL BE INSTALLED ALONG THE EMERGENCY VEHICLE EASEMENT.



FIGURE 107.3 FIGURE 107.1 FIGURE 107.2



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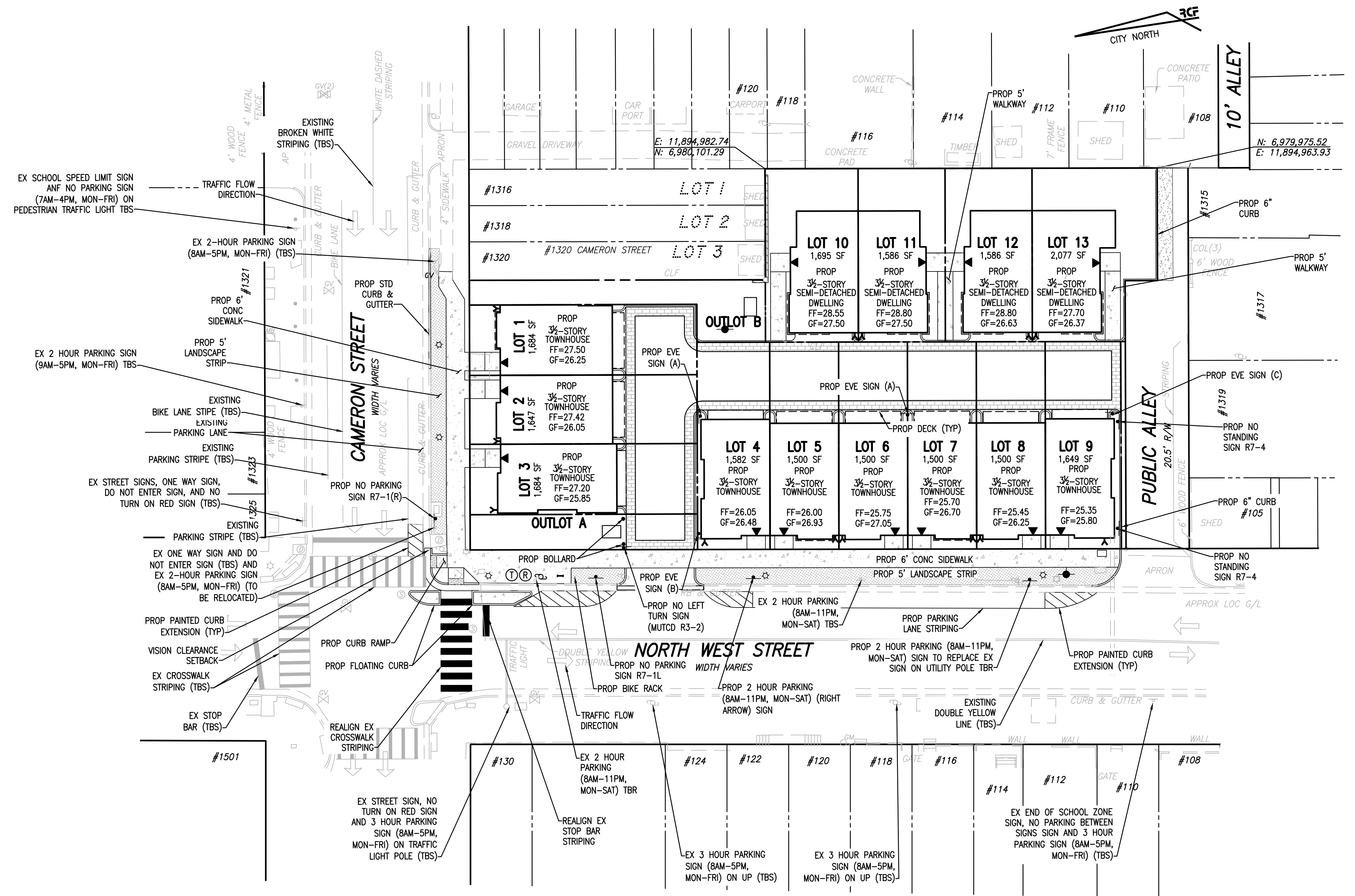
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 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
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SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
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GENERAL PLAN INFORMATION NOTE:
 SEE PROJECT GENERAL NOTES ON SHEET 03.

ARCHAEOLOGY NOTES:
 CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.

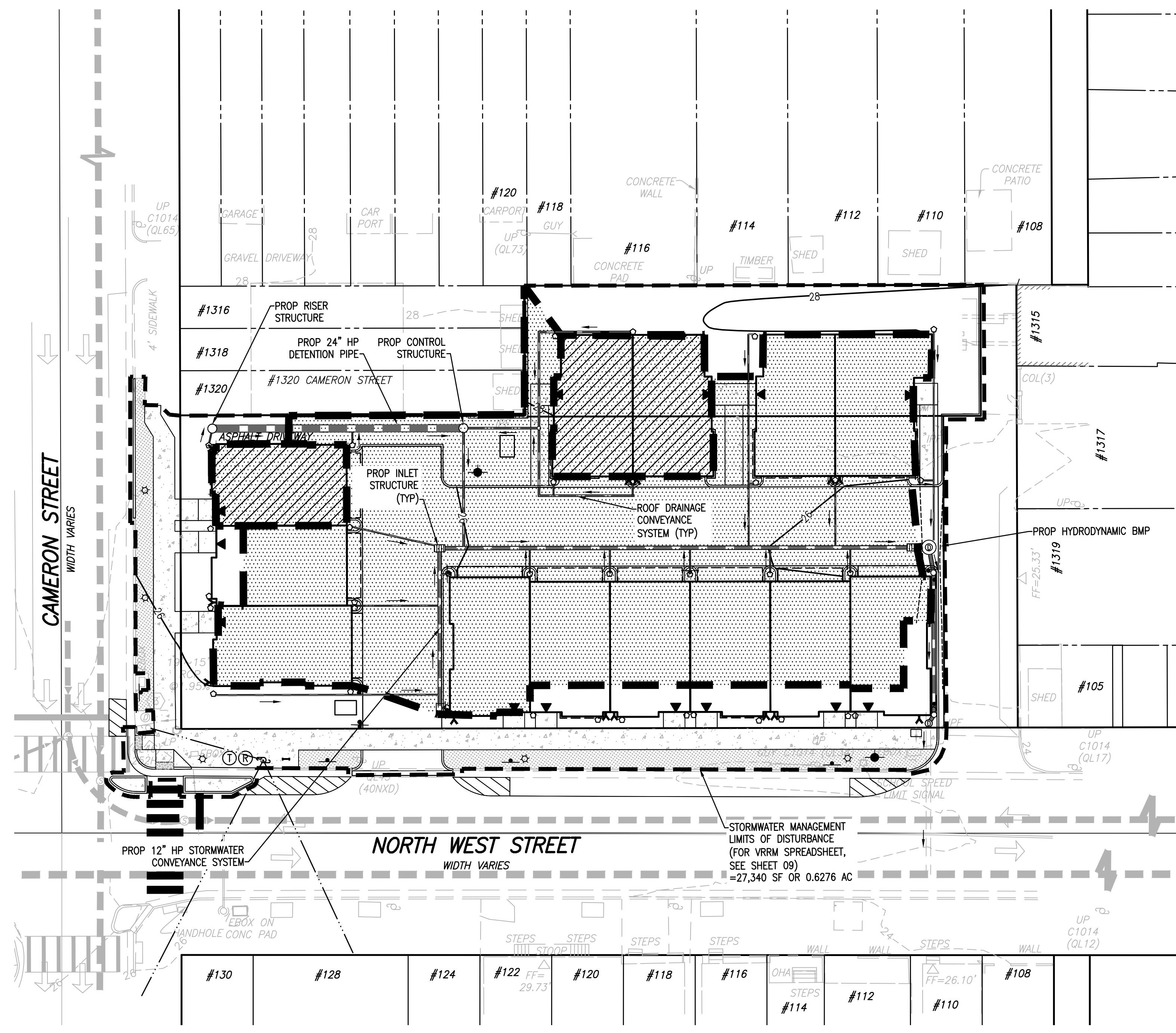
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE.

HATCH LEGEND:

	PROPOSED BRICK/DECORATIVE SIDEWALK OR DRIVE AISLE PAVERS
	PROPOSED CONCRETE WALK
	PROPOSED 5' LANDSCAPE STRIP



STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

PRE-DEVELOPMENT CONDITIONS:
 THIS 0.53 ACRE PARCEL IS LOCATED IN THE COMBINED SEWER SYSTEM WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF AN EXISTING BUILDING, AN ASPHALT PARKING LOT, AND WALKWAYS. THERE ARE TWO EXISTING CURB INLETS LOCATED ALONG THE PROPERTY THAT COLLECT AND CONVEY ALL RUNOFF FROM THE SITE. ONE IS LOCATED AT THE INTERSECTION OF NORTH WEST STREET AND CAMERON STREET, AND THE OTHER IS LOCATED WITHIN THE PUBLIC ALLEY TO THE SOUTH. RUNOFF IS CONVEYED IN AN SOUTHERN DIRECTION, WHERE IT EVENTUALLY OUTFALLS TO HOOPS RUN.

POST-DEVELOPMENT CONDITIONS:
 THIS PROJECT PROPOSES THE CONSTRUCTION OF MULTIPLE TOWNHOUSE DWELLINGS AND ASSOCIATED SITE IMPROVEMENTS. A MAJORITY OF THE RUNOFF GENERATED ON-SITE IS DIRECTED TO A PROPOSED CONVEYANCE PIPE ON-SITE BEFORE ENTERING THE EXISTING CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM LOCATED WITHIN THE NORTH WEST STREET RIGHTS-OF-WAY. THE RUNOFF IS DIRECTED IN A SOUTHERLY DIRECTION WHERE IT EVENTUALLY OUTFALLS TO THE HOOPS RUN.

CONCLUSION
 DUE TO AN OVERALL DECREASE OF SITE IMPERVIOUS AREA, THE SITE RELEASES NO INCREASE IN THE POST-DEVELOPMENT PEAK RATE OF RUNOFF FOR THE 2 AND 10-YEAR, 24-HOUR STORM COMPARED WITH THE PRE-DEVELOPMENT CONDITIONS (SEE COMPUTATIONS PROVIDED ON THIS SHEET); HOWEVER, DUE TO THE PROJECT AREA BEING WITHIN THE COMBINED SEWER WATERSHED, AND THERE IS NO FEASIBLE CONNECTION TO A SEPARATED SYSTEM, A 10% DECREASE IN THE PEAK RUNOFF RATE FOR THE STORMWATER RUNOFF GENERATED FROM THIS SITE IS REQUIRED. THIS DETENTION REQUIREMENT WILL BE MET VIA THE PROPOSED DETENTION STRUCTURE. ADDITIONALLY, A MAJORITY OF THE STORMWATER GENERATED ON-SITE IS PIPED DIRECTLY TO THE PROPOSED STORM SEWER SYSTEM AND THE SMALL PORTION OF RUNOFF THAT EXISTS THE SITE VIA SHEET FLOW WILL HAVE NO ADVERSE IMPACT ON DOWN GRADIENT PROPERTIES OR RESOURCES.

BASED ON THE ABOVE MENTIONED JUSTIFICATIONS AND COMPUTATIONS, THE STORMWATER MANAGEMENT CRITERIA FOR THE PROPOSED DEVELOPMENT COMPLIES WITH THE CHANNEL PROTECTION AND FLOOD PROTECTION REQUIREMENTS PER CITY CODE SECTION 13-109F AND MEMO TO INDUSTRY 23-02.

STORMWATER RUNOFF COMPUTATIONS

- I. WATER QUALITY VOLUME DEFAULT LAND DISTURBANCE = PARCEL AREA = 23,175 SQ.FT. OR 0.53 ACRES
 EXISTING ON-SITE IMPERVIOUS AREA = 21,871 SQ.FT. OR 0.50 ACRES (ON-SITE)
 PROPOSED ON-SITE IMPERVIOUS AREA = 17,980 SQ.FT. OR 0.41 ACRES (ON-SITE)
 - II. VIRGINIA RUNOFF REDUCTION METHOD (PER TR-20, TYPE II, 24-HOUR STORM, USING CLASS D SOILS):
 WEIGHTED CURVE NUMBER (CN) CALCULATIONS:
 CN PRE-DEVELOPMENT = $(0.50 \times 98 + 0.03 \times 80) \div 0.53 = 97$
 CN POST-DEVELOPMENT = $(0.41 \times 98 + 0.12 \times 80) \div 0.53 = 94$
 - III. PRE-DEVELOPMENT PEAK DISCHARGES: ($T_c = 5$ MINS.)
 PEAK Q_2 PRE-DEVELOPMENT = 2.22 CFS
 PEAK Q_0 PRE-DEVELOPMENT = 3.67 CFS
 - IV. POST-DEVELOPMENT PEAK DISCHARGES ($T_c = 5$ MINS.)
 PEAK Q_2 POST-DEVELOPMENT = 2.08 CFS
 PEAK Q_0 POST-DEVELOPMENT = 3.56 CFS
 - Q_2 DECREASE = 0.14 CFS
 Q_0 DECREASE = 0.11 CFS
 - DUE BEING IN THE COMBINED WATER SHED, A 10% DECREASE IN THE PEAK DISCHARGE FOR THE 2 AND 10-YEAR STORM IS REQUIRED. ADDITIONAL DETENTION IS REQUIRED AND SHALL BE PROVIDED THROUGH THE PROPOSED ON-SITE DETENTION STRUCTURE.
 - V. POST-DEVELOPMENT PEAK DISCHARGES W/ DETENTION ($T_c = 5$ MINS.)
 PEAK Q_2 POST-DEVELOPMENT W/ DETENTION = 1.90 CFS
 PEAK Q_0 POST-DEVELOPMENT W/ DETENTION = 3.30 CFS
 - Q_2 DECREASE = 0.32 CFS (14% DECREASE)
 Q_0 DECREASE = 0.37 CFS (10% DECREASE)
- NOTE: SINCE THE LIMITS OF ANALYSIS DO NOT INCLUDE A NATURAL STORMWATER CONVEYANCE CHANNEL, 1-YEAR STORMWATER COMPUTATIONS ARE NOT REQUIRED/PROVIDED.

STORMWATER BMP NOTE:
 THE PROPOSED STORMWATER MANAGEMENT BMP'S PROPOSED WITH THIS PLAN ARE TO BE PRIVATELY OWNED AND MAINTAINED. A STORMWATER QUALITY BMP MAINTENANCE AGREEMENT, INCLUDING BMP SCHEDULE AND GUIDELINES ARE TO BE PROVIDED WITH FINAL SITE PLAN SUBMISSION.

STORMWATER MANAGEMENT NOTE:
 THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMP'S ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN, AND ARE CLEAN AND FREE OF DEBRIS, SOIL, AND LITTER BY HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER THE SITE WAS STABILIZED. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

THE APPLICANT SHALL ENTER A BMP MAINTENANCE AGREEMENT WITH THE CITY THAT SHALL BE RECORDED BEFORE RELEASE OF THE FINAL SITE PLAN. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMP'S ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMP'S AND SUPPORTING EQUIPMENT.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORM WATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION, PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING STORMWATER BEST MANAGEMENT PRACTICES (BMP'S). THE APPLICANT/OWNER SHALL EXECUTE A MAINTENANCE SERVICE CONTRACT WITH A QUALIFIED PRIVATE CONTRACTOR FOR A MINIMUM OF THREE YEARS AND DEVELOP AN OWNER'S OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMP'S) ON THE PROJECT. THE MANUAL SHALL INCLUDE AT A MINIMUM: AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF THE BMP(S); DRAWINGS AND DIAGRAMS OF THE BMP(S) AND ANY SUPPORTING UTILITIES; CATALOG CUTS ON MAINTENANCE REQUIREMENTS INCLUDING MECHANICAL OR ELECTRICAL EQUIPMENT; MANUFACTURER CONTACT NAMES AND PHONE NUMBERS; A COPY OF THE EXECUTED MAINTENANCE SERVICE CONTRACT; AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY. A COPY OF THE CONTRACT SHALL ALSO BE PLACED IN THE BMP OPERATION AND MAINTENANCE MANUAL. A COPY OF THE MAINTENANCE CONTRACT SHALL BE SUBMITTED TO THE CITY PRIOR TO RELEASE OF THE PERFORMANCE BOND.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORMWATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION, PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

LEGEND

- DRAINAGE DIVIDE
- CONTRIBUTING AREA TO HYDRODYNAMIC BMP
- CONTRIBUTING AREA TO DETENTION PIPE
- STORMWATER MANAGEMENT LIMITS OF DISTURBANCE

PROJECT DESCRIPTION:

REDEVELOPMENT	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA	0.41 AC	0.12 AC	0.53 AC
ON-SITE TREATED	0.36 AC	0.03 AC	0.39 AC
OFF-SITE TREATED	0.00 AC	0.00 AC	0.00 AC
TOTAL TREATED	0.36 AC	0.03 AC	0.39 AC
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			0.36 AC

WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 0.41 AC
 TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.41 = 749 CU. FT. WQV REQUIRED

WATER TREATMENT ON-SITE

BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
HYDRODYNAMIC BMP	0.39	0.36	20%

TOTAL WQV TREATED: NO
 WATER QUALITY VOLUME REQUIRED = 749 CU. FT.
 WATER QUALITY VOLUME TREATED = 1,815 X 0.36 = 653 CU. FT.
 PERCENT OF WATER QUALITY VOLUME TREATED = 87.2%
 DETENTION ON SITE: YES
 PROJECT IS WITHIN WHICH WATERSHED? HOOPS RUN
 PROJECT DISCHARGES TO WHICH BODY OF WATER? CAMERON RUN

WATER QUALITY IMPROVEMENT FUND FEE:

ON-SITE IMPERVIOUS AREA UNTREATED: 2,297 AC
 WATER QUALITY IMPROVEMENT FUND FEE: 2,297 SF X \$2.00/SF = \$4,594

BMP FACILITY	AREA TREATED (ACRES)	IMPERVIOUS AREA TREATED (ACRES)	PERVIOUS AREA TREATED (ACRES)	TP REMOVAL EFFICIENCY	PHOSPHORUS REMOVED (LBS)	GEOGRAPHIC COORDINATES	MAINTENANCE
HYDRODYNAMIC BMP	0.39	0.36	0.03	20%	0.16	38.8065040 -77.0541810	PRIVATELY MAINTAINED

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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CHAIRMAN, PLANNING COMMISSION

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 VINCENT M. MCMALE
 Lic. No. 0402060162
 APRIL 10, 2024
 PROFESSIONAL ENGINEER

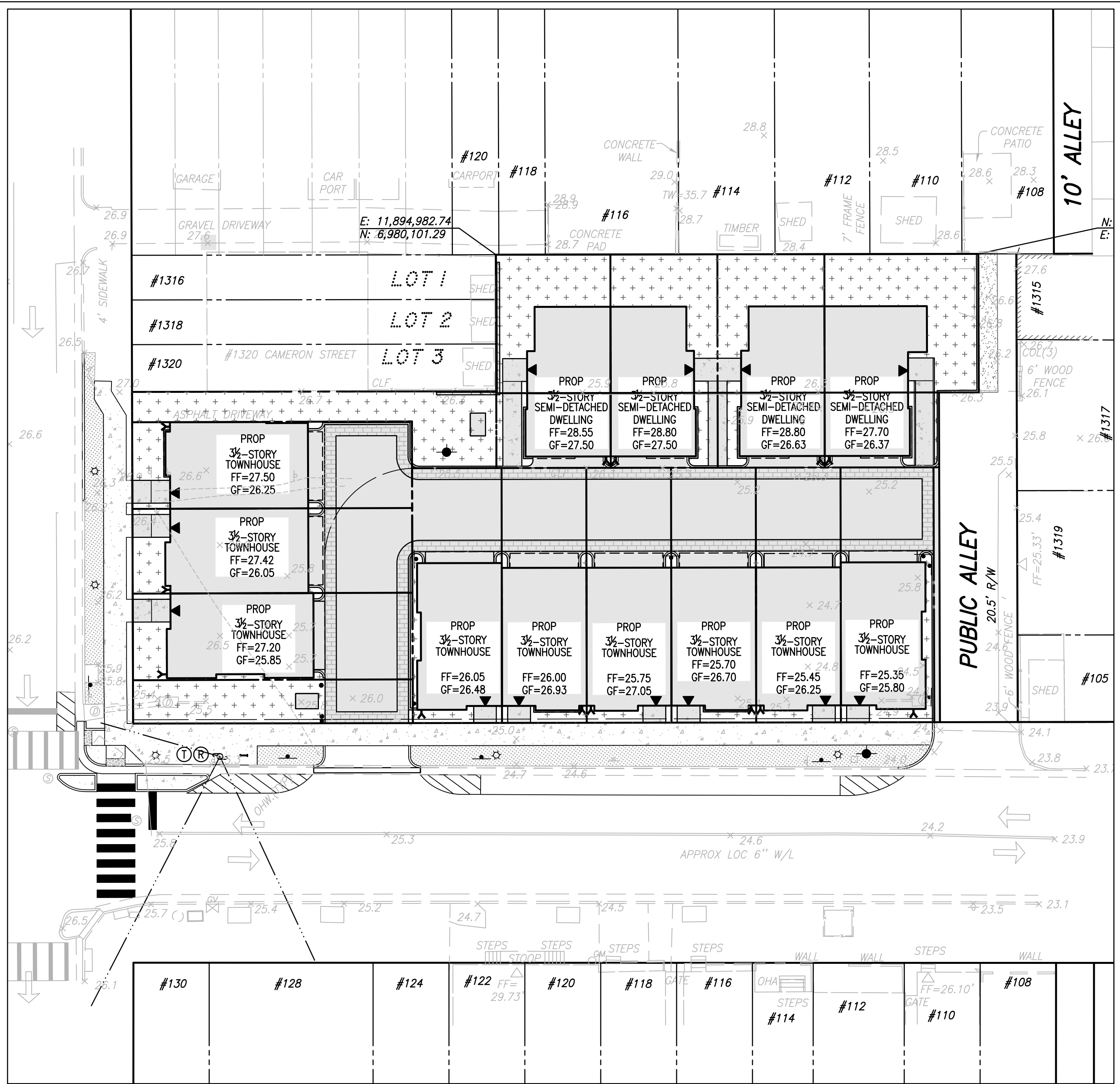
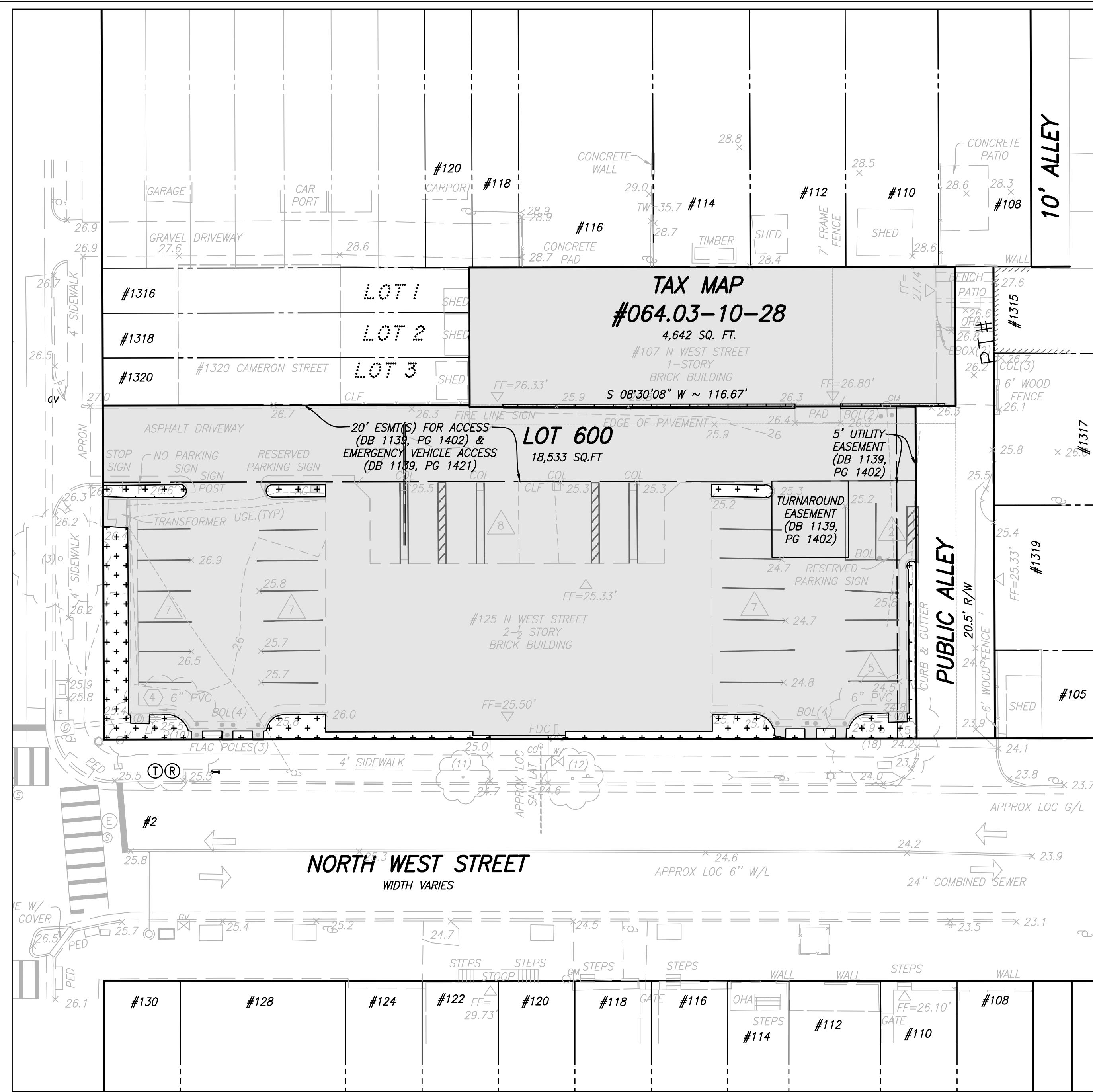
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 DATE: APR 10, 2024

STORMWATER MANAGEMENT PLAN

SHEET 07 OF 17
 FILE: 23-123



EXISTING IMPERVIOUS AREA MAP
SCALE: 1" = 20'

PROPOSED IMPERVIOUS AREA MAP
SCALE: 1" = 20'

- LEGEND:**
- EXISTING ONSITE IMPERVIOUS AREA = 21,871 SF = 0.5021 AC
 - EXISTING ONSITE PERVIOUS AREA = 1,303 SF = 0.0299 AC

- LEGEND:**
- PROPOSED ONSITE IMPERVIOUS AREA = 17,980 SF = 0.4128 AC
 - PROPOSED ONSITE PERVIOUS AREA = 5,194 SF = 0.1199 AC

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

DATE	REVISION

DESIGN: DJM
CHECKED: VMM
SCALE: 1" = 20'
DATE: APR 10, 2024

IMPERVIOUS AREA PLAN

R.C. FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220
Alexandria, Virginia 22314
(703) 549-6422
www.rcfields.com

STATE OF VIRGINIA
VINCENT M. MCMALE
Lic. No. 0402060162
APRIL 10, 2024
PROFESSIONAL ENGINEER

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
N WEST STREET TOWNHOMES
#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

I:\2023\3123\DWG\DELVA\07-IMPERVIOUS AREA PLAN.dwg
Tue, Apr 09, 2024 - 14:10pm

Project Name: **N West Street Townhomes**
 Date: **3/12/2024**
 Linear Development Project? **No**

CLEAR ALL (Ctrl+Shift+N)
data input cells
constant values
calculation cells
final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **0.63**

Maximum reduction required:	10%
The site's net increase in impervious cover (acres) is:	0
Post-Development TP Load Reduction for Site (lb/yr):	0.00

Check:
 BMP Design Specifications List: 2013 Draft Stds & Specs
 Linear project? **No**
 Land cover areas entered correctly? **✓**
 Total disturbed area entered? **✓**
TP LOAD REDUCTION NOT REQUIRED

Pre-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.07	0.07
Impervious Cover (acres)				0.56	0.56
Totals					0.63

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.15	0.15
Impervious Cover (acres)				0.48	0.48
Area Check	OK.	OK.	OK.	OK.	0.63

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Pre-Development	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.07	0.07
Weighted Rv(turf)	0.25	0.25
% Managed Turf	11%	11%
Impervious Cover (acres)	0.56	0.56
Rv(impervious)	0.95	0.95
% Impervious	89%	89%
Total Site Area (acres)	0.63	0.63
Site Rv	0.87	0.87

LAND COVER SUMMARY -- POST DEVELOPMENT

Final Post-Development	Post-Development	Post-Development
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.15	0.15
Weighted Rv(turf)	0.25	0.25
% Managed Turf	24%	24%
Impervious Cover (acres)	0.48	0.48
Rv(impervious)	0.95	0.95
% Impervious	76%	76%
Final Site Area (acres)	0.63	0.63
Final Post Dev Site Rv	0.78	0.78

Treatment Volume and Nutrient Load

Pre-Development	Final Post-Development
Pre-Development Treatment Volume (acre-ft)	0.0455
Pre-Development Treatment Volume (cubic feet)	1,982
Pre-Development TP Load (lb/yr)	1.25
Pre-Development TP Load per acre (lb/acre/yr)	1.98
Baseline TP Load (lb/yr) (0.41 lb/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)	0.26

Treatment Volume and Nutrient Load

Final Post-Development	Post-Development	Post-Development
Final Post-Development Treatment Volume (acre-ft)	0.0408	0.0408
Final Post-Development Treatment Volume (cubic feet)	1,778	1,778
Final Post-Development TP Load (lb/yr)	1.12	1.12
Final Post-Development TP Load per acre (lb/acre/yr)	1.78	1.78
Max. Reduction Required (Below Pre-Development Load)	10%	10%

¹Adjusted Land Cover Summary:
 Pre-Development land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-Development acreage (minus acreage of new impervious cover).

Column I shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lb/acre/year).

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr) **0.00** ** TP LOAD REDUCTION NOT REQUIRED

Nitrogen Loads (Informational Purposes Only)

Pre-Development TN Load (lb/yr)	8.91	Final Post-Development TN Load (Post-Development & New Impervious) (lb/yr)	7.99
---------------------------------	------	--	------

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)				0.00	0.00	0.00
Managed Turf (acres)				0.15	0.15	0.25
Impervious Cover (acres)				0.47	0.47	0.95
Total				0.62		

CLEAR BMP AREAS

Total Phosphorus Available for Removal in D.A. A (lb/yr) **1.10**
 Post Development Treatment Volume in D.A. A (ft³) **1,748**

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.03	0.36	0	0	1,269	1,269	20	0.00	0.80	0.16	0.64	

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.48	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.36	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.15	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.03	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) **1,778**

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	0	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	1.12	0.00	0.00	0.00	0.00	1.12
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.16	0.00	0.00	0.00	0.00	0.16
TP LOAD REMAINING (lb/yr)	0.96	0.00	0.00	0.00	0.00	0.96
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	1.12
TP LOAD REDUCTION REQUIRED (lb/yr)	0.00
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.16
TP LOAD REMAINING (lb/yr)	0.96
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.00 **

**** TARGET TP REDUCTION EXCEEDED BY 0.16 LB/YEAR ****

Total Nitrogen (For Informational Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	7.99
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	7.99

STORMWATER QUALITY NARRATIVE (CITY CODE SECTION 13-109E COMPLIANCE):

THE PROPOSED REDEVELOPMENT (0.63 ACRES OF DISTURBANCE) GENERATES A NET DECREASE IN IMPERVIOUS AREA FROM PRE-DEVELOPMENT CONDITIONS. PER CITY ZONING ORDINANCE SECTION 13-109E-(5)(b), DEVELOPMENT OF PRIOR DEVELOPED LANDS RESULTING IN NO NET INCREASE IN IMPERVIOUS AREA AND DISTURBING LESS THAN 1 ACRE, MUST RESULT IN A 10% DECREASE IN PHOSPHORUS LOADING FROM THE PRE-DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORM WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. A HYDRODYNAMIC BMP IS PROPOSED TO PROVIDE WATER QUALITY TREATMENT. THIS WILL RESULT IN EXCEEDING THE PHOSPHORUS LOAD REDUCTION BY 0.16 LB/YEAR. THUS, THROUGH THE COMBINATION OF PROPOSED BMPs, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER CITY CODE SECTION 13-109E-(5)(b) HAVE BEEN MET.

IN ADDITION, APPROXIMATELY 87.2% OF ON-SITE IMPERVIOUS AREA IS PROPOSED TO BE TREATED WITH THIS DEVELOPMENT, WHICH MEETS THE MAJORITY OF THE WATER QUALITY DEFAULT VOLUME TREATMENT STANDARDS IN SECTION 13-110 OF THE ZONING ORDINANCE. A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT TREATED IN COMPLIANCE WITH CITY CODE SECTION 13-109E-(5) AND SECTION 13-110.



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 N WEST STREET TOWNHOMES
 #107 & #125 NORTH WEST STREET
 CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: DJM
 CHECKED: VMM
 SCALE: NO SCALE
 DATE: APR 10, 2024

STORMWATER QUALITY COMPUTATIONS

SHEET **09** OF **17**
 FILE: **23-123**

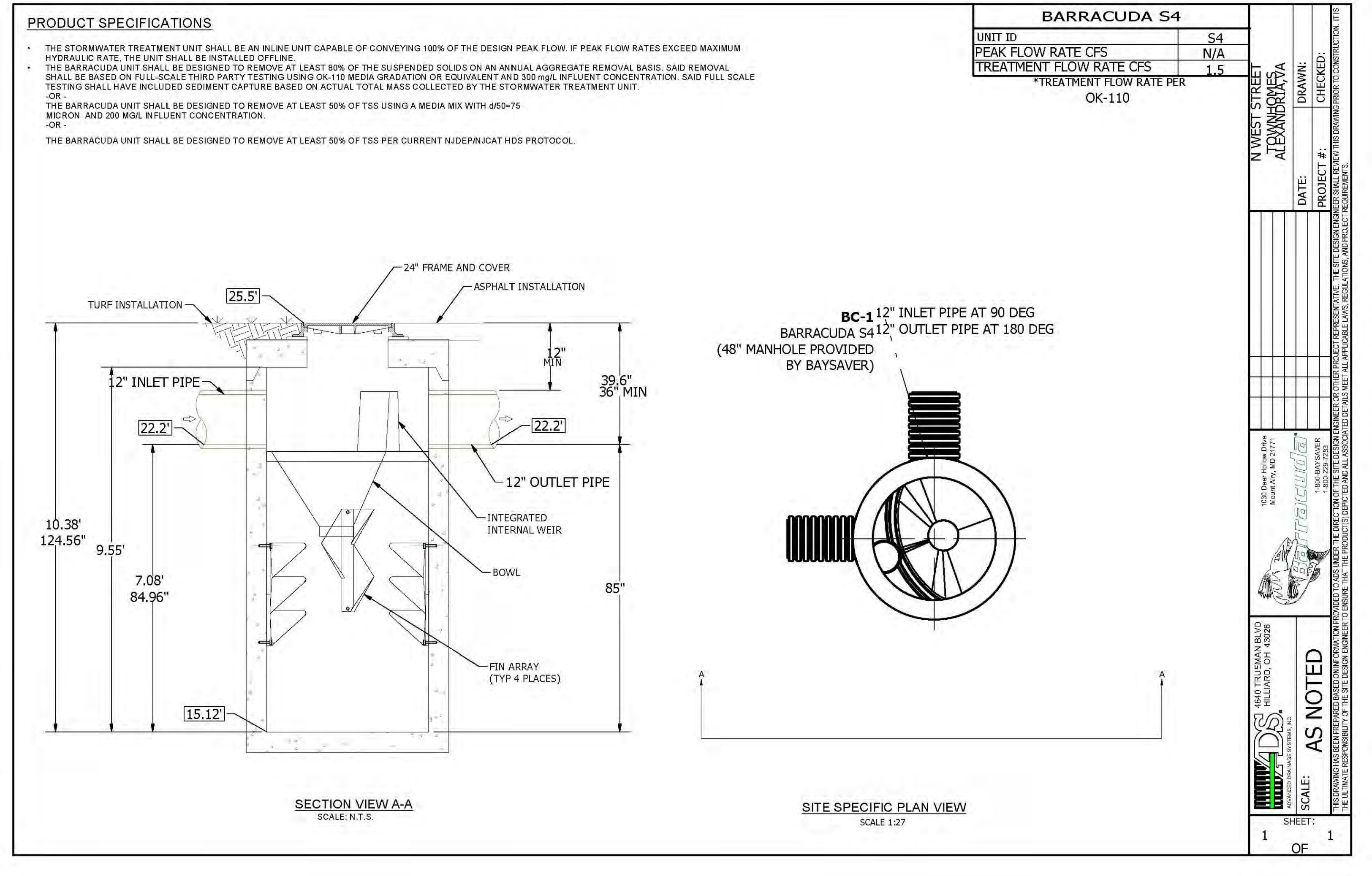
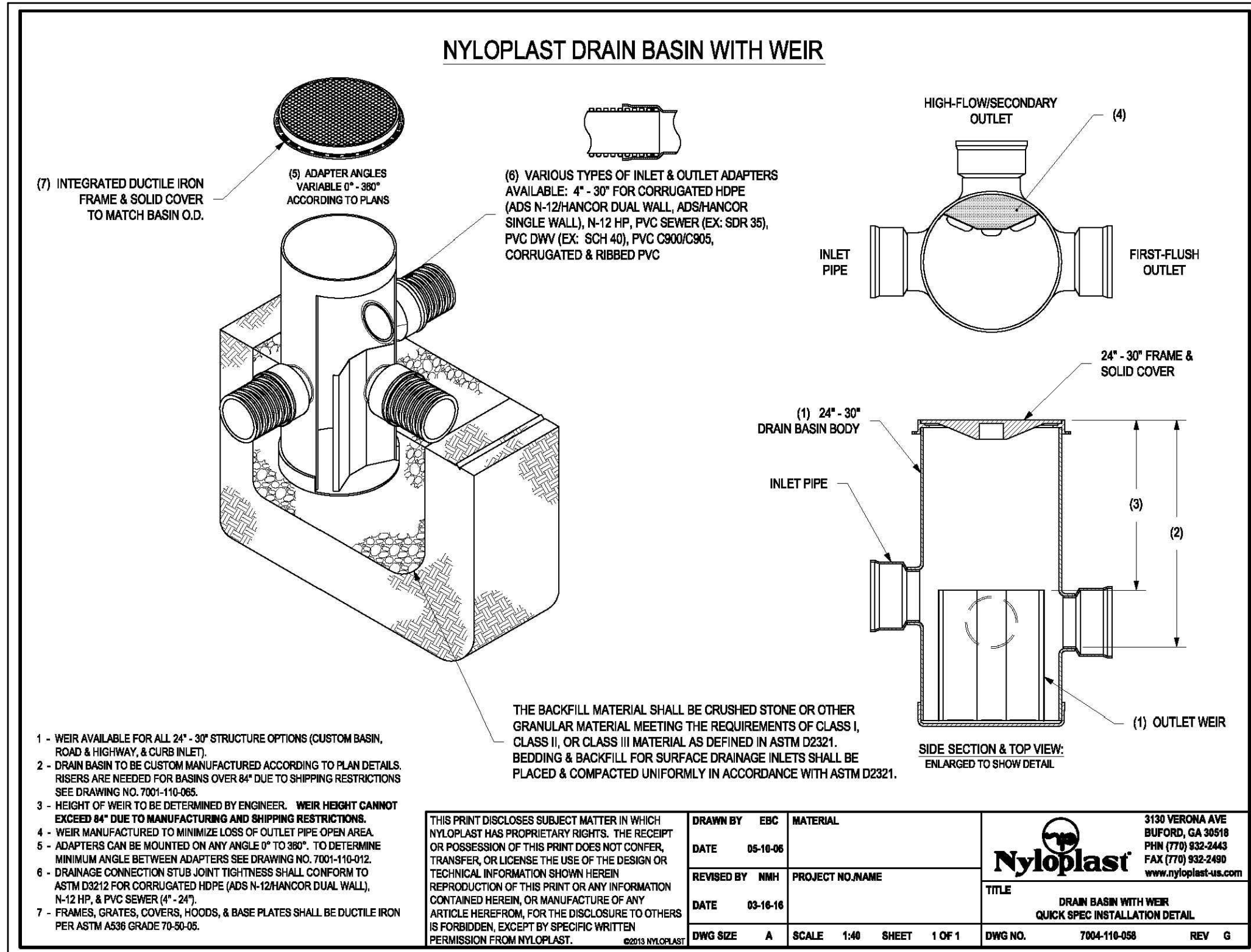
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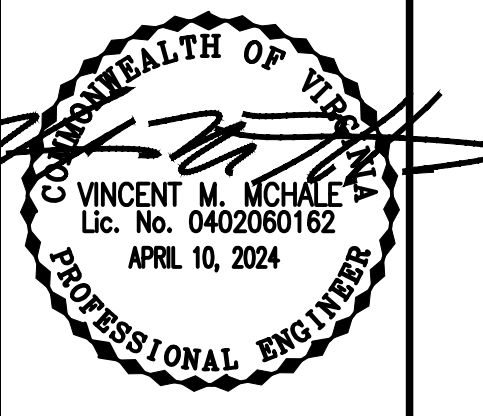
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 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
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 CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
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DATE: _____	DRAWN: _____	CHECKED: _____	PROJECT #:
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4840 TRUMAN BLVD HELLAND, OH 43026			
SCALE: AS NOTED			
SHEET: 1 OF 1			



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
N WEST STREET TOWNHOMES
#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

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SCALE: 1" = 20'
DATE: APR 10, 2024

BMP DETAILS

SHEET 10 OF 17
FILE: 23-123

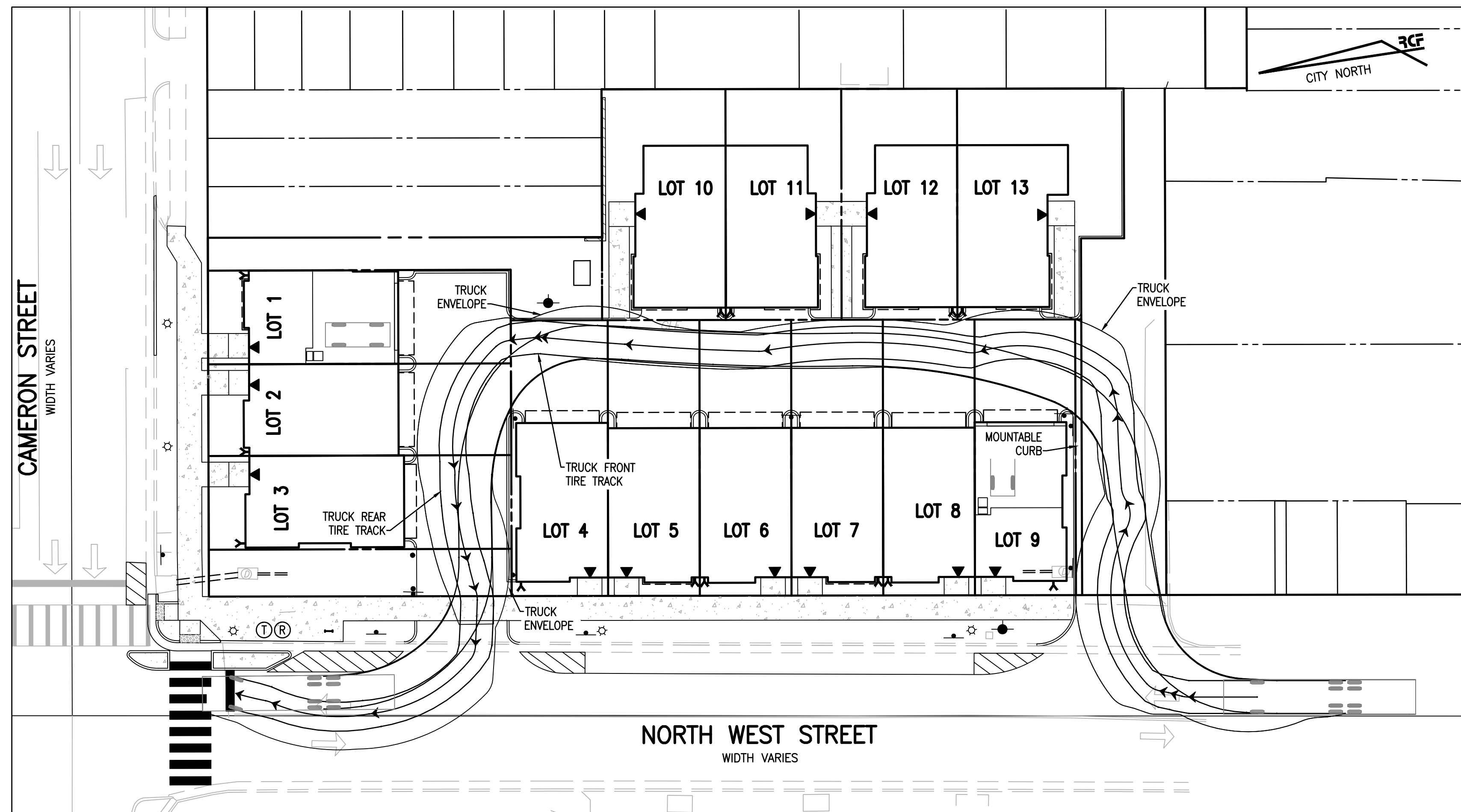
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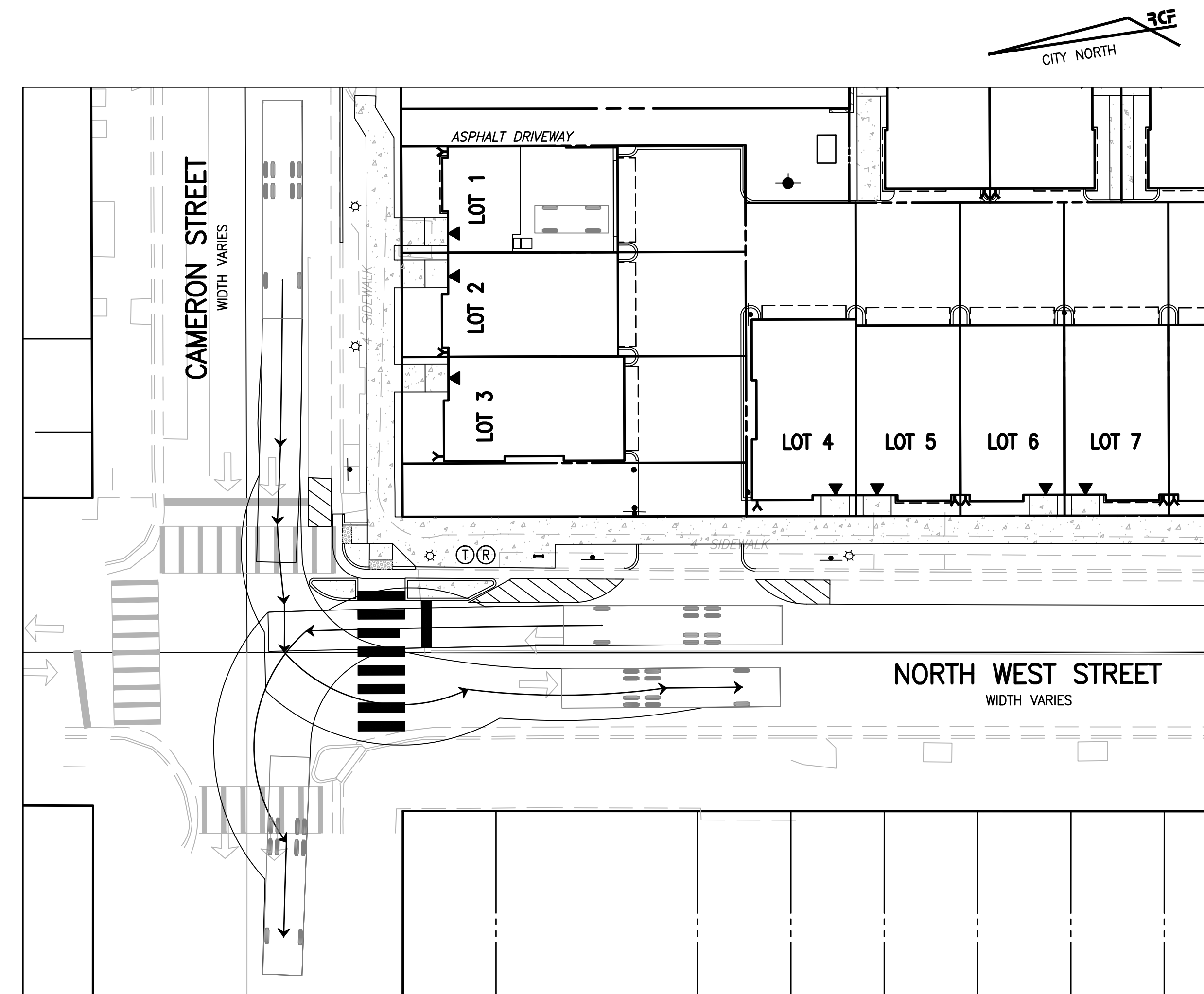
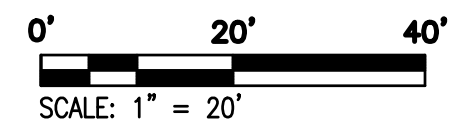
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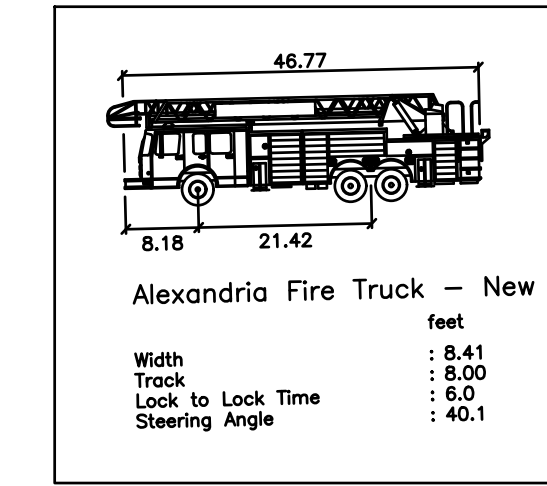
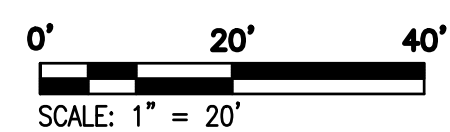
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DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
DATE _____	



FIRE TRUCK PRIVATE AISLE TURNING MOVEMENTS
SCALE: 1" = 20'

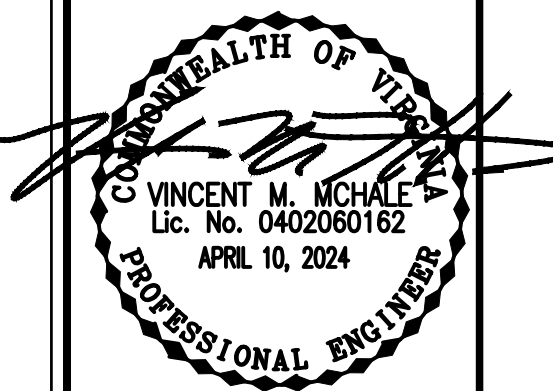


FIRE TRUCK TURNING MOVEMENTS (INTERSECTION)
SCALE: 1" = 20'



FIRE TRUCK DETAIL (NTS)

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(703) 549-6422



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
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TURNING MOVEMENTS

SHEET 11 OF 17
FILE: 23-123

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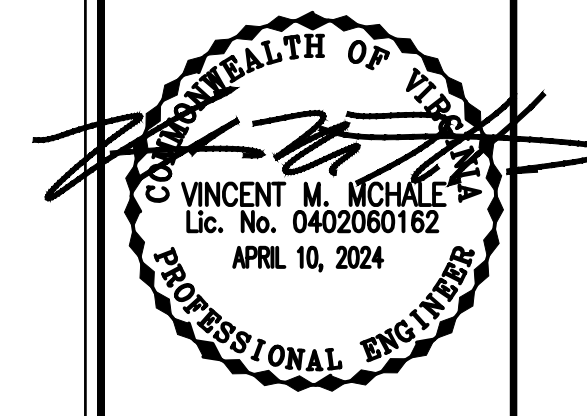
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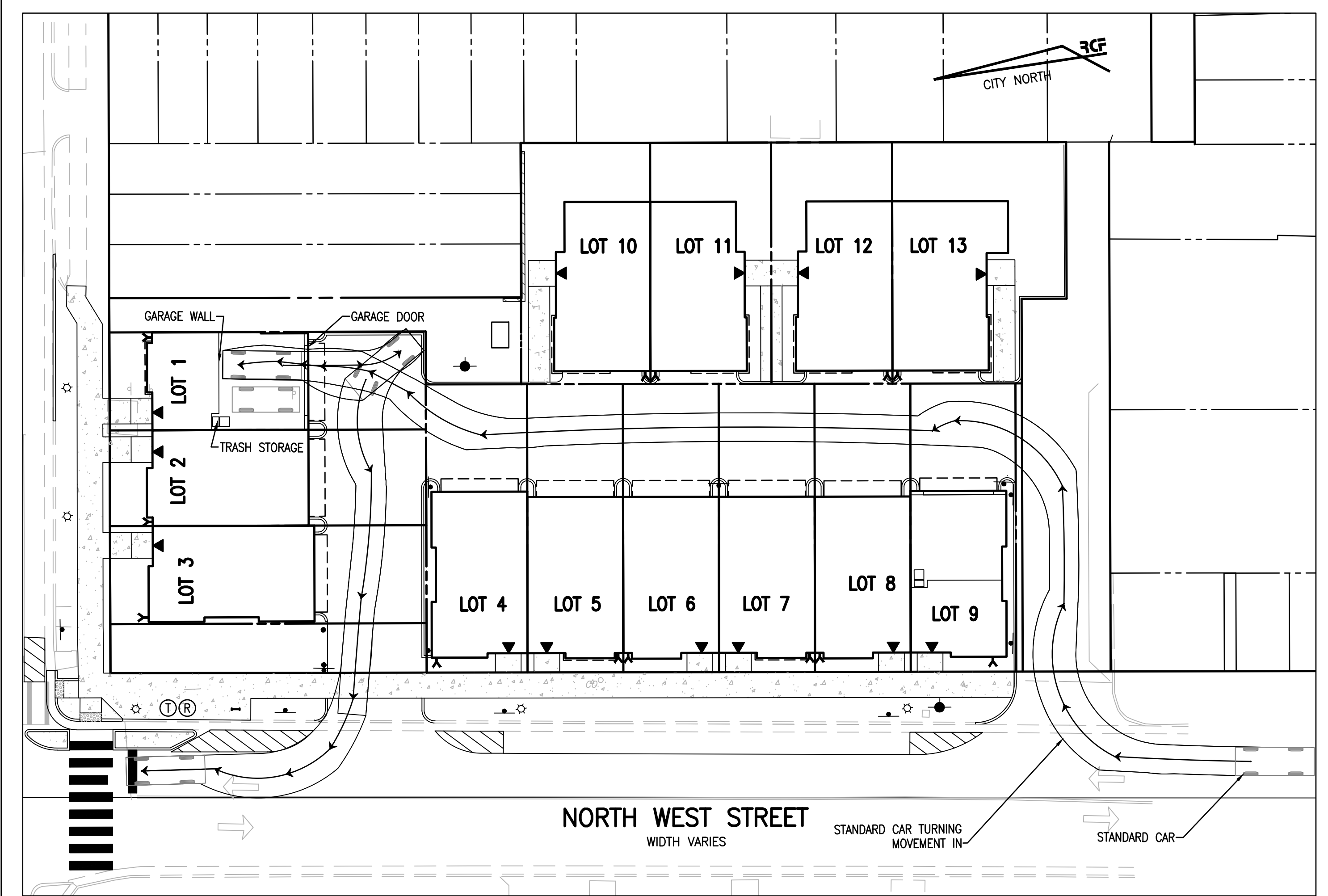
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 #107 & #125 NORTH WEST STREET
 CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

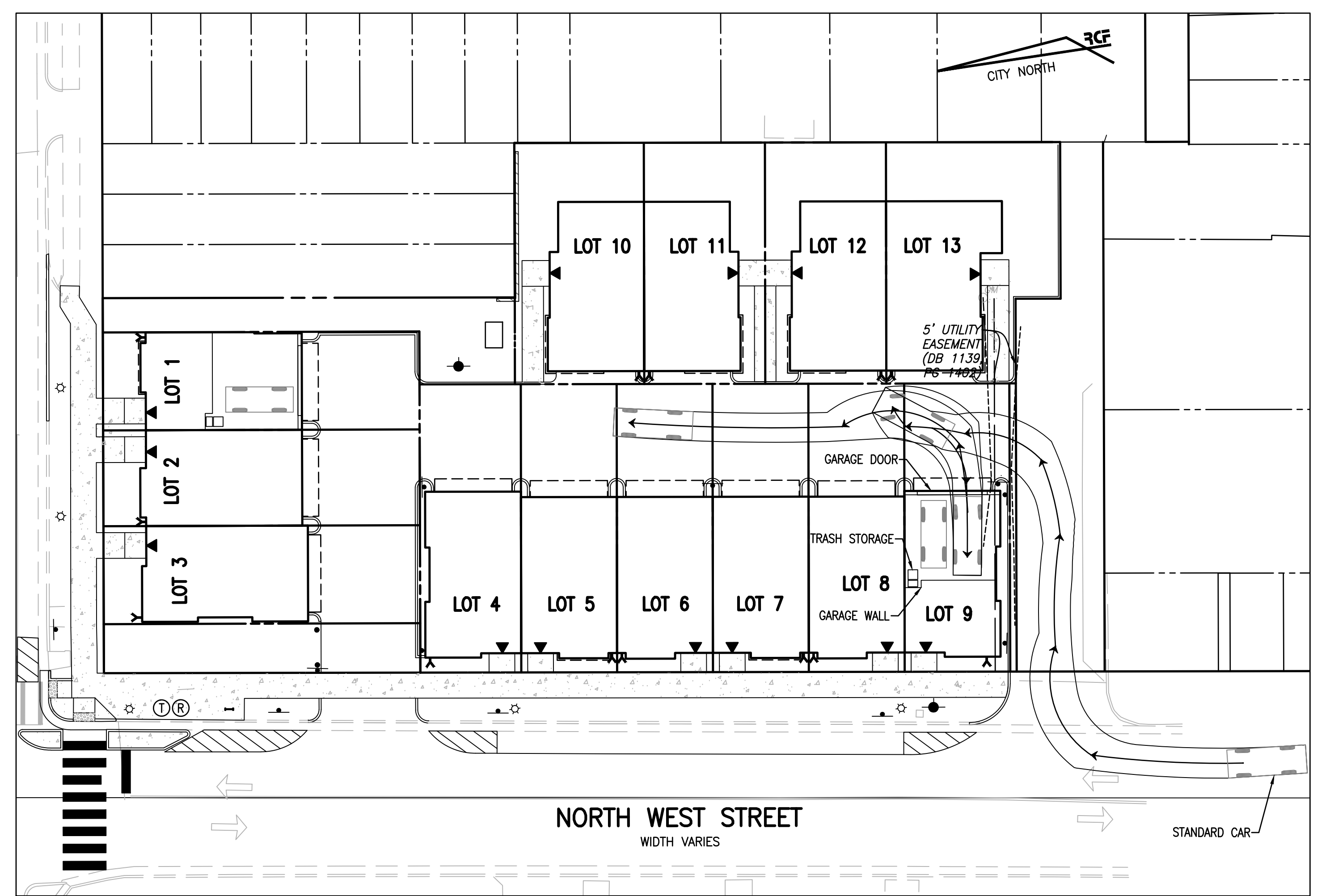
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 DATE: APR 10, 2024

TURNING MOVEMENTS

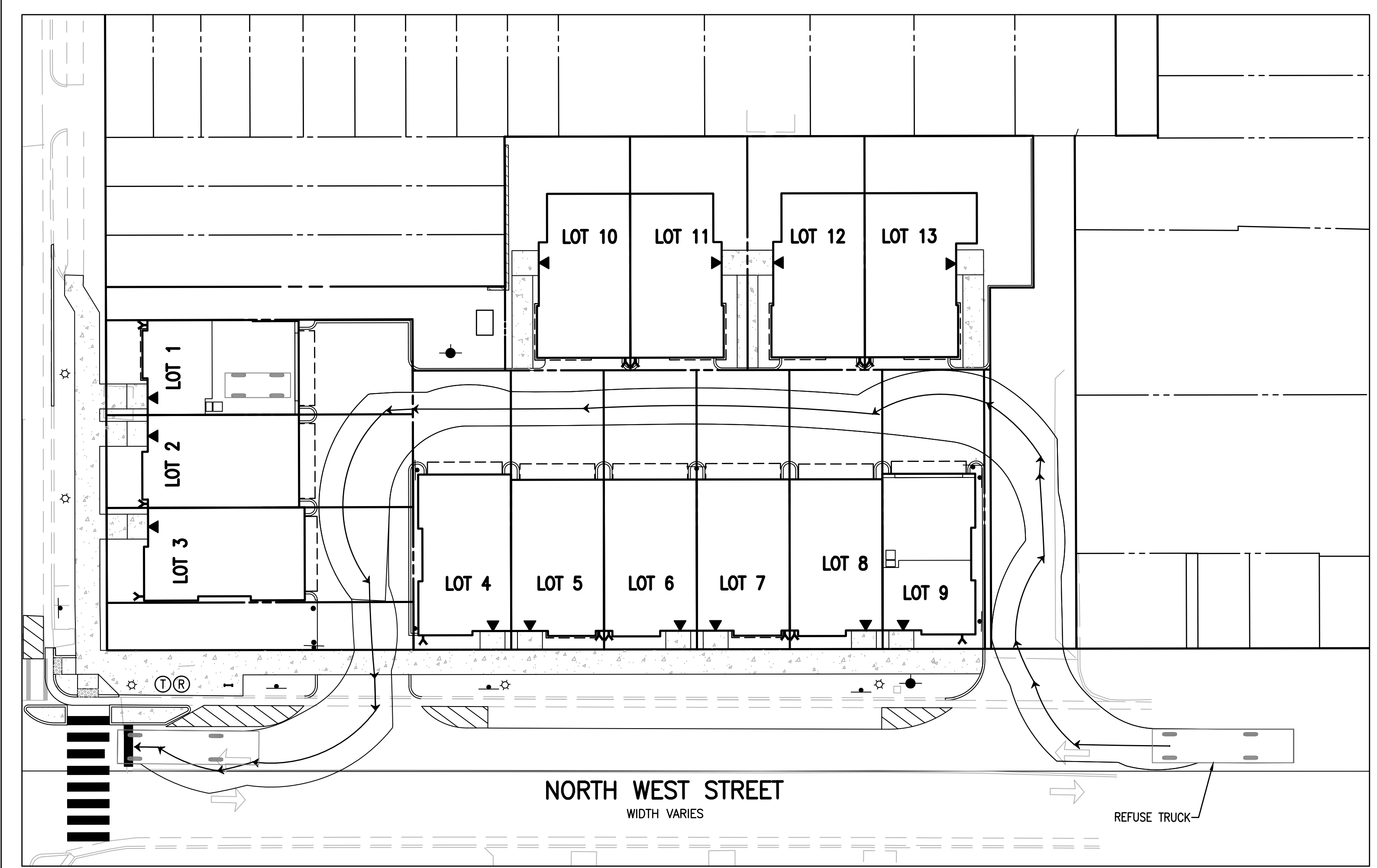
SHEET 12 OF 17
 FILE: 23-123



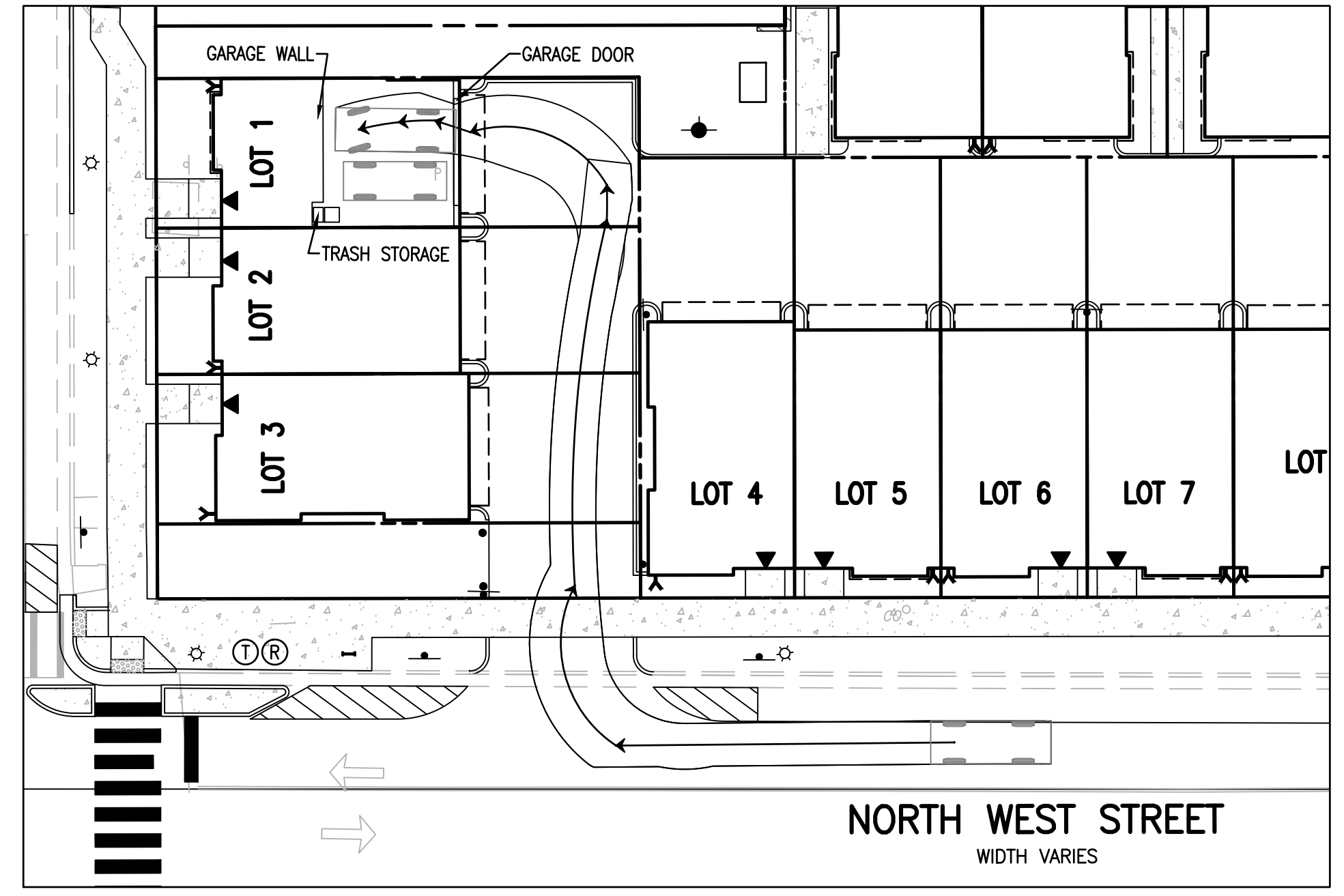
STANDARD CAR TURNING MOVEMENTS LOT 1
 (IN THROUGH ALLEY AND OUT THROUGH SITE ENTRANCE)
 SCALE: 1" = 20'



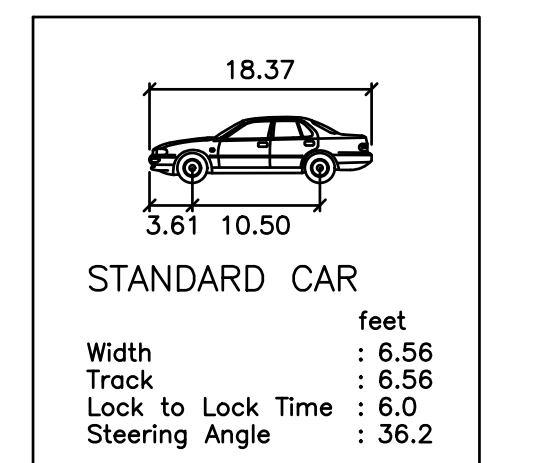
STANDARD CAR TURNING MOVEMENTS LOT 9
 SCALE: 1" = 20'



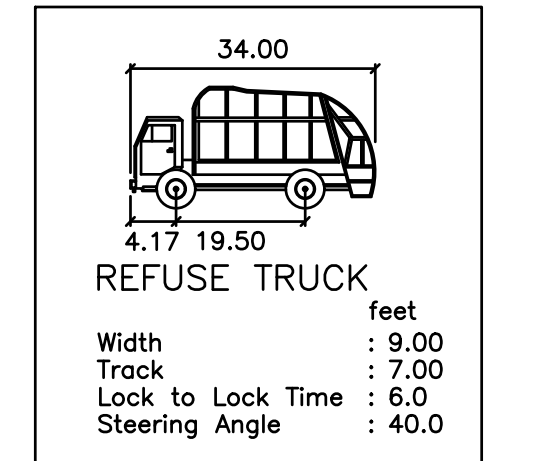
REFUSE TRUCK TURNING MOVEMENTS
 SCALE: 1" = 20'



STANDARD CAR TURNING MOVEMENTS LOT 1
 (IN THROUGH SITE ENTRANCE)
 SCALE: 1" = 20'



STANDARD CAR
 (NTS)



REFUSE TRUCK
 (NTS)

feet
 Width : 6.56
 Track : 6.56
 Lock to Lock Time : 6.0
 Steering Angle : 36.2

feet
 Width : 9.00
 Track : 7.00
 Lock to Lock Time : 6.0
 Steering Angle : 40.0

REFUSE TRUCK NOTE:
 TRASH CANS WILL BE STORED ON PRIVATE PROPERTY AND ROLLED TO THE PRIVATE SHARED DRIVE AISLE FOR TRASH PICK UP ON A WEEKLY BASIS.

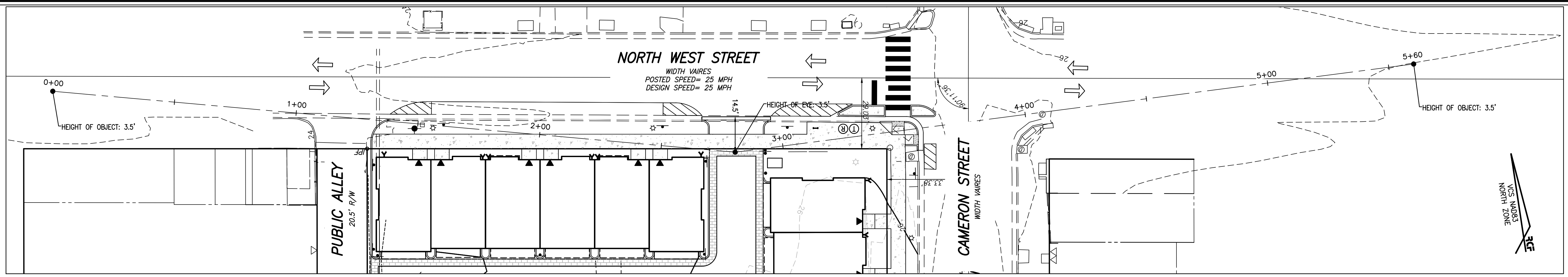
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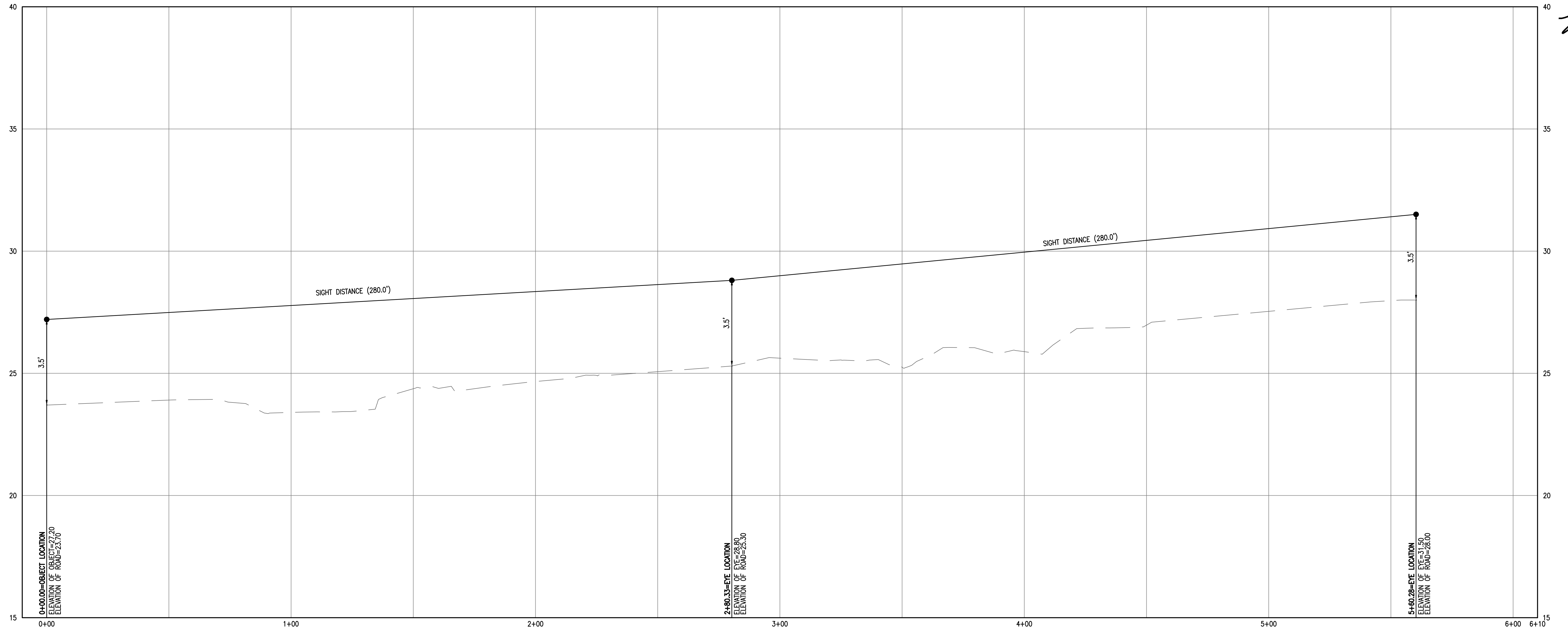
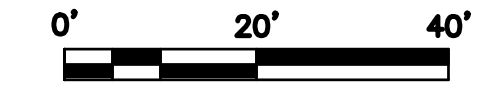
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 SITE PLAN NO. _____

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 Tue, Apr 09, 2024 - 14:12:30



SIGHT DISTANCE PLAN VIEW
SCALE: 1" = 30'



SIGHT DISTANCE PROFILE
SCALE - HORIZ: 1" = 20', VERT. 1" = 2'



SIGHT DISTANCE NOTE:
THE ONLY SITE ACCESS TO THE RIGHT-OF-WAY IS VIA THE INTERSECTION OF THE EXISTING 20.5 FOOT WIDE ALLEY AND THE NORTH WEST STREET RIGHT-OF-WAY. SINCE THE PROPOSED DRIVE ISLE IS ONLY ONE-WAY, SIGHT DISTANCE IS ONLY PROVIDED AT THE EXIT. SEE THE SIGHT DISTANCE PLAN AND PROFILE PROVIDED ON THIS SHEET.

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SITE PLAN NO. _____

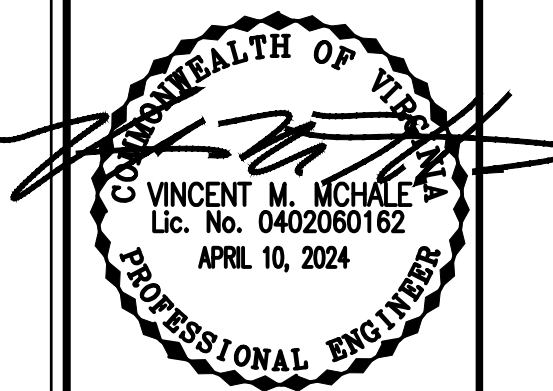
DIRECTOR

DATE
CHAIRMAN, PLANNING COMMISSION

DATE
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

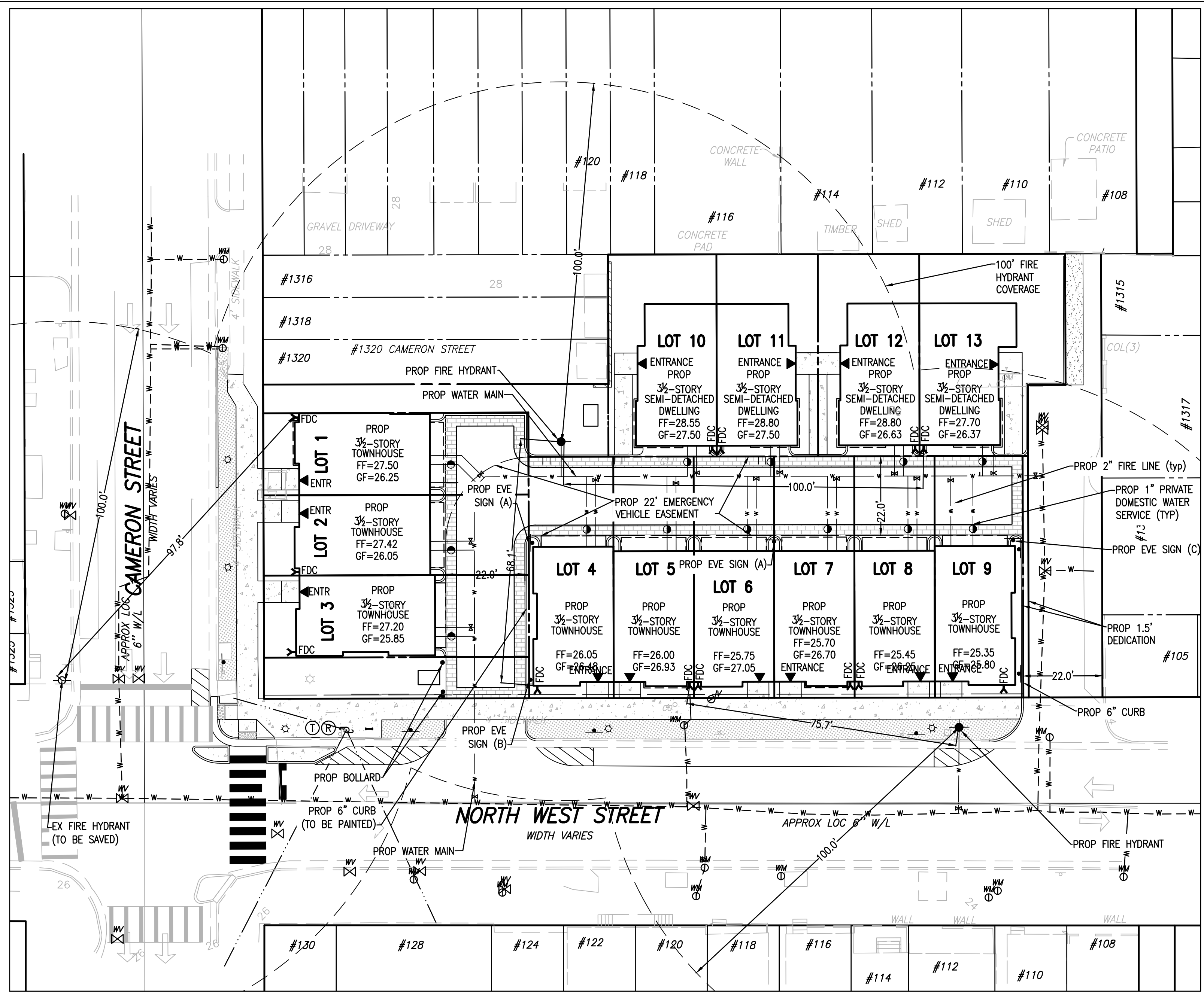
DATE	REVISION

DESIGN: DJM
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SCALE: AS NOTED
DATE: APR 10, 2024
SIGHT DISTANCE PLAN AND PROFILE
SHEET **13** OF **17**
FILE: **23-123**



PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
N WEST STREET TOWNHOMES
#107 & #125 NORTH WEST STREET
CITY OF ALEXANDRIA, VIRGINIA

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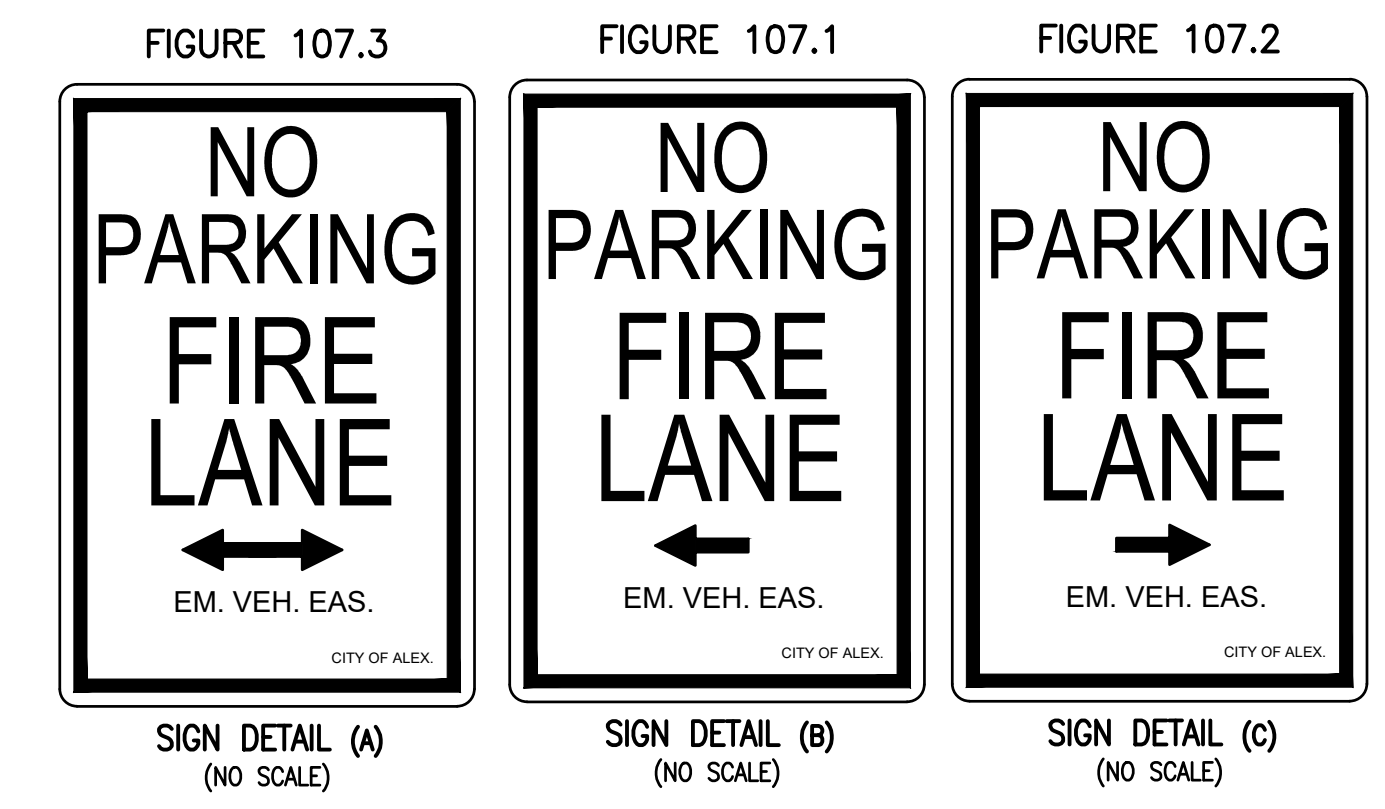


FIRE PROTECTION INFORMATION:
 ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
 1. A FIRE PREVENTION CODE PERMIT IS REQUIRED FOR THE PROPOSED OPERATION.
 2. THE PROPOSED BUILDINGS ARE TO BE FULLY SPRINKLERED.
 3. A FINAL FIRE FLOW ANALYSIS REPORT, IN ACCORDANCE WITH CITY STANDARDS AND PREPARED BY A LICENSED ENGINEER, HAS BEEN SUBMITTED TO THE CITY OF ALEXANDRIA FIRE/EMS DEPARTMENT. VERIFICATION THAT THE PROPOSED INFRASTRUCTURE IS CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW IS PROVIDED IN THE REPORT.

FIRE HYDRANT NOTE:
 THE NEAREST EXISTING FIRE HYDRANT IS SHOWN ON THIS SHEET, WITHIN THE INTERSECTION OF THE NORTH WEST STREET AND CAMERON STREET RIGHTS-OF-WAY. THERE ARE TWO PROPOSED FIRE HYDRANT WITH THIS DEVELOPMENT. ALL FIRE HYDRANTS WILL BE WITHIN 100' OF THE FDC FOR ALL UNITS AND DISTANCE MEASURED FROM EXISTING OR PROPOSED HYDRANTS TO THE MOST REMOTE PART OF VEHICULAR ACCESS TO EACH UNIT WILL BE WITHIN 300 FEET.

FIRE SERVICE NOTE:
 FIRE TRUCK ACCESS WILL BE PROVIDED VIA THE SITE FRONTAGE ALONG THE NORTH WEST STREET RIGHT-OF-WAY FOR LOTS 4 THROUGH 9, THE CAMERON STREET RIGHT-OF-WAY FOR LOTS 1 THROUGH 3, AND THE 20' PUBLIC ALLEY AND 22' EMERGENCY VEHICLE EASEMENT WITHIN THE PRIVATE AISLE FOR LOTS 10 THROUGH 13. EXISTING FIRE HYDRANTS SHALL REMAIN IN-SERVICE AND UNOBSTRUCTED DURING CONSTRUCTION.

FIRE DEPARTMENT CONNECTION NOTE:
 ALL FIRE DEPARTMENT CONNECTIONS SHALL BE KNOX STORZGUARD WITH LOCKING CAP AND 30-DEGREE ELBOW KNOX PART NUMBER 5022.



THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.
 EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
 LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.
 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.
 © 2024 R.C. FIELDS & ASSOCIATES, INC.

APPROVED
 SPECIAL USE PERMIT NO. _____
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

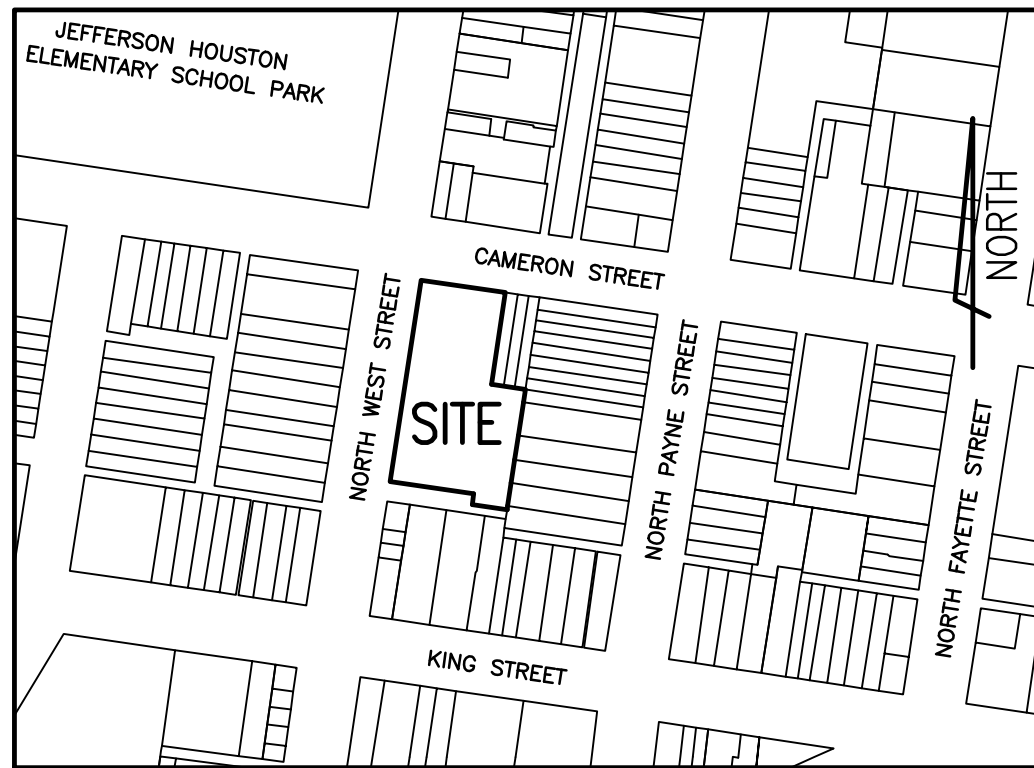
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DATE	REVISION

DESIGN: DJM
 CHECKED: VMM
 SCALE: 1" = 20'
 DATE: APR 10, 2024

FIRE SAFETY PLAN

SHEET 14 OF 17
 FILE: 23-123



VICINITY MAP
SCALE 1" = 200'

LOT TABULATION: CD

DEVELOPMENT SPECIAL USE PERMIT (DSUP) WITH SITE PLAN FOR SUBDIVISION TO CONSTRUCT 9 TOWNHOUSES AND 4 SEMI-DETACHED DWELLINGS IN THE CD ZONE.

TOTAL SITE AREA = 4,642 S.F. OR 0.1066 AC. (#107 N WEST ST)
18,532 S.F. OR 0.4254 AC. (#125 N WEST ST)
23,174 S.F. OR 0.5320 AC. (TOTAL)

EXISTING NUMBER OF LOTS _____ 2
PROPOSED NUMBER OF LOTS _____ 15
MIN. LOT AREA REQUIRED _____ N/A
LOT AREA PROVIDED _____

LOT 1	1,684 SQ. FT. OR 0.0387 AC.
LOT 2	1,647 SQ. FT. OR 0.0379 AC.
LOT 3	1,684 SQ. FT. OR 0.0387 AC.
LOT 4	1,582 SQ. FT. OR 0.0363 AC.
LOT 5	1,500 SQ. FT. OR 0.0344 AC.
LOT 6	1,500 SQ. FT. OR 0.0344 AC.
LOT 7	1,500 SQ. FT. OR 0.0344 AC.
LOT 8	1,500 SQ. FT. OR 0.0344 AC.
LOT 9	1,649 SQ. FT. OR 0.0379 AC.
LOT 10	1,695 SQ. FT. OR 0.0389 AC.
LOT 11	1,586 SQ. FT. OR 0.0364 AC.
LOT 12	1,586 SQ. FT. OR 0.0364 AC.
LOT 13	2,077 SQ. FT. OR 0.0477 AC.
OUTLOT A	846 SQ. FT. OR 0.0194 AC.
OUTLOT B	1,037 SQ. FT. OR 0.0238 AC.
PUBLIC STREET DEDICATION	101 SQ. FT. OR 0.0023 AC.

* SPECIAL USE PERMIT (SUP) REQUESTED FOR LAND WITHOUT FRONTAGE FOR THE PROPOSED LOTS WITH UNITS 10-13, PURSUANT TO SECTION 7-1007

SHEET INDEX

- 1 NOTES, TABULATIONS
- 2 SUBDIVISION: LOT LAYOUT
- 3 SUBDIVISION: EASEMENTS

EXISTING STORM SEWER:

- ① CURB INLET
TOP=25.90
THROAT=24.79
INV IN=22.40
INV OUT=22.35
- ② CURB INLET
TOP=25.74
THROAT=24.81
INV IN=22.29
INV OUT=22.24
- ③ CURB INLET
TOP=25.46
THROAT=24.84
INV IN=22.76
INV OUT=22.66
- ④ CURB INLET
TOP=24.75
THROAT=23.98
INV IN=20.10
INV OUT=18.13
- ⑤ CURB INLET
THROAT=25.30
- ⑥ CURB INLET
TOP=26.23
- ⑦ STORM MH
TOP=26.28
- ⑧ CURB INLET
TOP=26.18
THROAT=25.22

TEXT LEGEND:

- ' = DEGREES
- " = MINUTES (OR FEET)
- ''' = SECONDS (OR INCHES)
- % = PERCENT
- # = NUMBER
- ⊙ = AT
- A = ARC
- ADA = AMERICANS W/ DISABILITIES ACT
- APPROX = APPROXIMATE
- BM = BENCHMARK
- BSMT = BASEMENT
- BOL = BOLLARD
- CL = CLASS
- C/L = CENTERLINE
- CMP = CORRUGATED METAL PIPE
- CONC = CONCRETE
- E = EAST
- EB = ELECTRICAL BOX
- ESMT = EASEMENT
- EP = EDGE OF PAVEMENT
- FDC = FIRE DEPTMENT CONNECTION
- FF = FINISH FLOOR
- FT = FEET
- G/L = GAS LINE
- G/S = GAS SERVICE
- GV = GAS VALVE
- IPF = IRON PIPE FOUND
- INV = INVERT
- LOC = LOCATION
- LP = LIGHT POLE
- MH = MANHOLE
- N = NORTH
- N/F = NOW OR FORMERLY
- OHW = OVERHEAD WIRE
- PN = PANEL
- PG = PAGE
- PVC = POLYVINYL CHLORIDE
- RET = RETAINING
- R/W = RIGHT-OF-WAY
- S = SOUTH
- SAN = SANITARY
- SEW = SEWER
- SQ. FT. = SQUARE FEET
- STM = STORM
- STR = STRUCTURE
- TM = TAX MAP
- TW = TOP OF WALL
- TYP = TYPICAL
- UP = UTILITY POLE
- UGT = UNDERGROUND
- TELECOMMUNICATION LINE
- UGE = UNDERGROUND ELECTRIC LINE
- VCS = VIRGINIA COORDINATE SYSTEM
- W = WEST
- W/L = WATER LINE
- WM = WATER METER
- W/S = WATER SERVICE
- WV = WATER VALVE

EXISTING ADJOINING OWNERS TABLE:

KING STREET	
#1315	N/F CAMPESTRAL & PELAGIC LAND LLC 1313 KING STREET ALEXANDRIA, VA 22314 TM #064.03-10-21 ZONE: KR USE: COMMERCIAL INSTR #070019815
#1317	N/F BLU SKY INVESTMENTS LLC 8760 FLOWERING DOGWOOD LANE LORTON, VA 22079 TM #064.03-10-22 ZONE: KR USE: COMMERCIAL INSTR #190001345
#1319	N/F ANDREW W ROSIN TRUSTEE OF THE DORIS M CARTER FOUNDATION 1966 HILLVIEW STREET SARASOTA, FL 34239 TM #064.03-10-23 ZONE: KR USE: COMMERCIAL INSTR #100002410
CAMERON STREET	
#1320	N/F ANDREW T & KATHERINE A NIELSEN 1320 CAMERON STREET ALEXANDRIA, VA 22314 TM #064.03-10-29 ZONE: CD USE: RESIDENTIAL INSTR #030033330
#1318	N/F TRACY A DAHL & KEITH E KNIPLING 1318 CAMERON STREET ALEXANDRIA, VA 22314 TM #064.03-10-30 ZONE: CD USE: RESIDENTIAL INSTR #120017635
#1316	N/F PANTH AVISHEK 1316 CAMERON STREET ALEXANDRIA, VA 22314 TM #064.03-10-31 ZONE: CD USE: RESIDENTIAL INSTR #160004903

EXISTING SANITARY SEWER:

- Ⓐ BENCHMARK #1
SAN MH
TOP=28.67
INV IN=18.32
INV OUT=18.27
- Ⓑ SAN MH
TOP=26.07
INV IN=14.39(18")
INV IN=14.99(10")
INV OUT=13.73
- Ⓒ SAN MH
TOP=25.74
INV IN=15.69
INV OUT=15.64
- Ⓓ SAN MH
TOP=26.06
INV IN=15.96
INV OUT=15.91
- Ⓔ SAN MH
TOP=23.10
INV IN=9.10(21")
INV IN=11.89(18")
INV OUT=9.00
- Ⓕ BENCHMARK #2
SAN MH
TOP=25.70
INV IN=13.42
INV OUT=12.85
- Ⓖ SAN MH
TOP=22.50
INV IN=12.62
INV OUT=12.62
- Ⓗ SANITARY VAULT
TOP=23.03
INV IN=12.28
INV OUT=12.08

SURVEYOR'S CERTIFICATE

I, WIM DE SUTTER, HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT IT IS A SUBDIVISION OF THE LANDS CONVEYED TO 125 N WEST LLC, DATED DECEMBER 22ND, 2024 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA AT INSTR #230011795, AND CONVEYED TO 107 N WEST STREET, LLC, DATED MAY 5TH, 2008 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA AT INSTR #080008156, AND IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED EXCEPT THOSE THAT WILL BE INSTALLED AT A LATER DATE BUT BEFORE THE COMPLETION OF THE PROJECT. IRON PIPES MARKED THUS —○— WILL BE SET AS INDICATED. GIVEN UNDER MY HAND THIS 5TH DAY OF MARCH, 2024.

NORTH PAYNE STREET

#120
N/F AUSTIN B PACE
120 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-10
ZONE: RB
USE: RESIDENTIAL
INSTR #220004555

#118
N/F DIANNA KERNS
118 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-11
ZONE: RB
USE: RESIDENTIAL
INSTR #130025150

#116
N/F LARUE JR & MARJORIE
G VANMETER
116 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-12
ZONE: CD
USE: RESIDENTIAL
DB 867, PG 69

#114
N/F SUSAN L & LARRY BARKELL
114 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-33
ZONE: CD
USE: RESIDENTIAL
INSTR #220009546

#112
N/F EMILY M KELLEY &
KENDALL E WANGSGARD
112 N PAYNE STREET
ALEXANDRIA, VA 22314
A: TM #064.03-10-32
ZONE: CD
USE: RESIDENTIAL
INSTR #150003725

#110
N/F NEIL P BYRNE, TR
110 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-14
ZONE: CD
USE: RESIDENTIAL
INSTR #140013194

#108
N/F N PAYNE LLC
108 N PAYNE STREET
ALEXANDRIA, VA 22314
TM #064.03-10-34
ZONE: CD
USE: RESIDENTIAL
INSTR #220014982

GENERAL NOTES:

1. TAX MAP: #064.03-10-01; (#125 N WEST ST)
#064.03-10-28; (#107 N WEST ST)
2. ZONE: CD
3. OWNERS: 125 N WEST LLC 107 NORTH WEST STREET LLC,
125 N WEST STREET 107 N WEST STREET
ALEXANDRIA, VA 22314 ALEXANDRIA, VA 22314
INSTR #230011795 INSTR #080008156
- CLIENT: VICTOR BONOMI
4. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA, SMARTNET.
5. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 1983), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO THE RTK NETWORK OF LEICA SMARTNET.
6. TITLE REPORTS FURNISHED BY DAVIS TITLE SERVICES COMPANY, COMMITMENT #:23-06-014, DATED 06/02/2023, AND ROUND TABLE TITLE, INC, FILE #:2023-6192, DATED SEPTEMBER 11, 2023, AND ARE RELIED UPON BY THE SURVEYOR AS ACCURATE.
7. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
8. TOTAL SITE AREA = 4,642 S.F. OR 0.1066 AC. (#107 N WEST ST)
18,532 S.F. OR 0.4254 AC. (#125 N WEST ST)
23,174 S.F. OR 0.5320 AC. (TOTAL)
7. THESE LOTS SHALL UTILIZE THE PUBLIC SANITARY SEWER AND WATER ADJACENT TO THE PROPERTY.
8. THIS LOT IS IN OTHER AREAS ZONE X (AREAS DETERMINED TO HAVE MINIMAL FLOOD HAZARD) OF THE FIRM FLOOD INSURANCE RATE MAP #5155190041F.
9. THERE ARE NO KNOWN GRAVE SITES OR OBJECTS MARKING A PLACE OF BURIAL ON THIS SITE.
10. THIS SITE CONTAINS NO KNOWN CONTAMINATED SOILS, TOXIC OR HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS OR AREAS WITH THE POTENTIAL TO GENERATE COMBUSTIBLE GASES AND IS NOT KNOWN TO BE WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP OR DISPOSAL AREA.
11. STORMWATER MANAGEMENT AND RUNOFF FROM THIS PROPOSED LOT WILL BE PROVIDED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. THERE ARE NO CHANGES IN DRAINAGE PATTERNS PROPOSED WITH THIS PLAT.
12. THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS (RPA) LOCATED ON THIS PROPERTY.

EXISTING SANITARY SEWER CONECTIONS:

SANITARY SEWER	LENGTH	UPSTREAM INVERT ELEVATION (FT)	DOWNSTREAM INVERT ELEVATION (FT)	SLOPE	SIZE & MATERIAL
Ⓐ TO Ⓓ	294'	18.27	15.96	0.79%	21" RCP
Ⓒ TO Ⓑ	34'	15.64	14.99	1.91%	10" PVC
Ⓑ TO Ⓔ	40'	13.73	13.42	0.78%	18" RCP
Ⓔ TO Ⓕ	329'	12.85	9.10	1.14%	21" RCP
Ⓖ TO Ⓗ	6'	12.62	12.28	5.67%	24" RCP
Ⓗ TO Ⓕ	15'	12.08	11.89	1.27%	18" STEEL

APPROVED
SUBDIVISION CASE NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DIRECTOR DATE

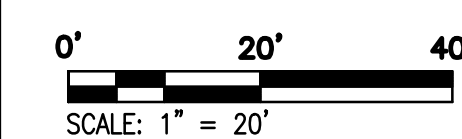
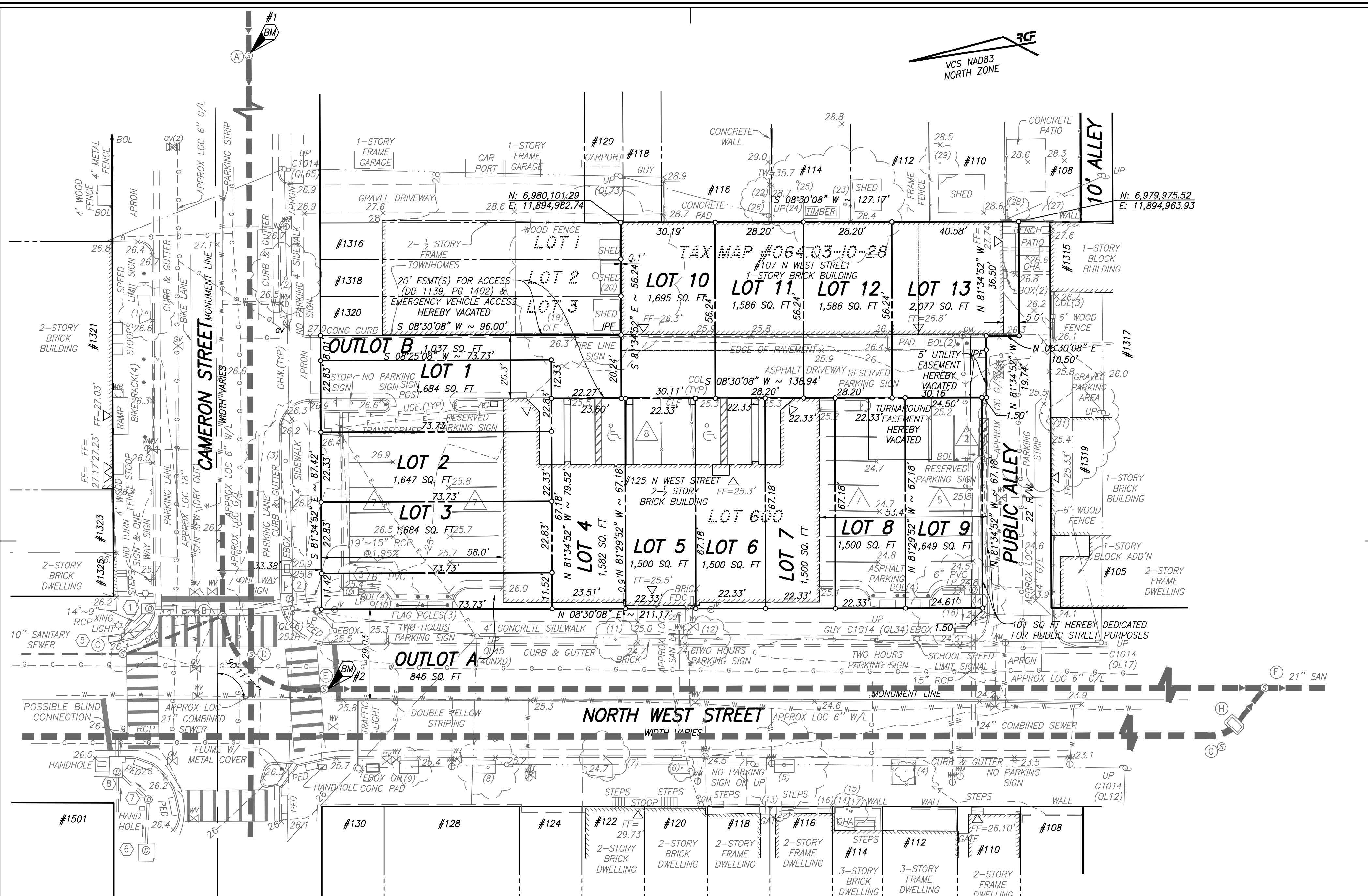
CHAIRMAN, PLANNING COMMISSION _____
DATE

PRELIMINARY SUBDIVISION PLAT
SHOWING LOTS 1 THROUGH 13, OUTLOT A & OUTLOT B
N WEST STREET TOWNHOMES
A RESUBDIVISION OF
THE PROPERTY LOCATED AT #107 N WEST STREET
INSTR #080008156 (METES & BOUNDS)
& LOT 600, WEST STREET STATION ASSOCIATES
DEED BOOK 1139, PAGE 1421
CITY OF ALEXANDRIA, VIRGINIA
DATE: MARCH 05, 2024 SCALE: 1" = 20'

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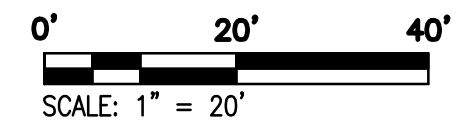
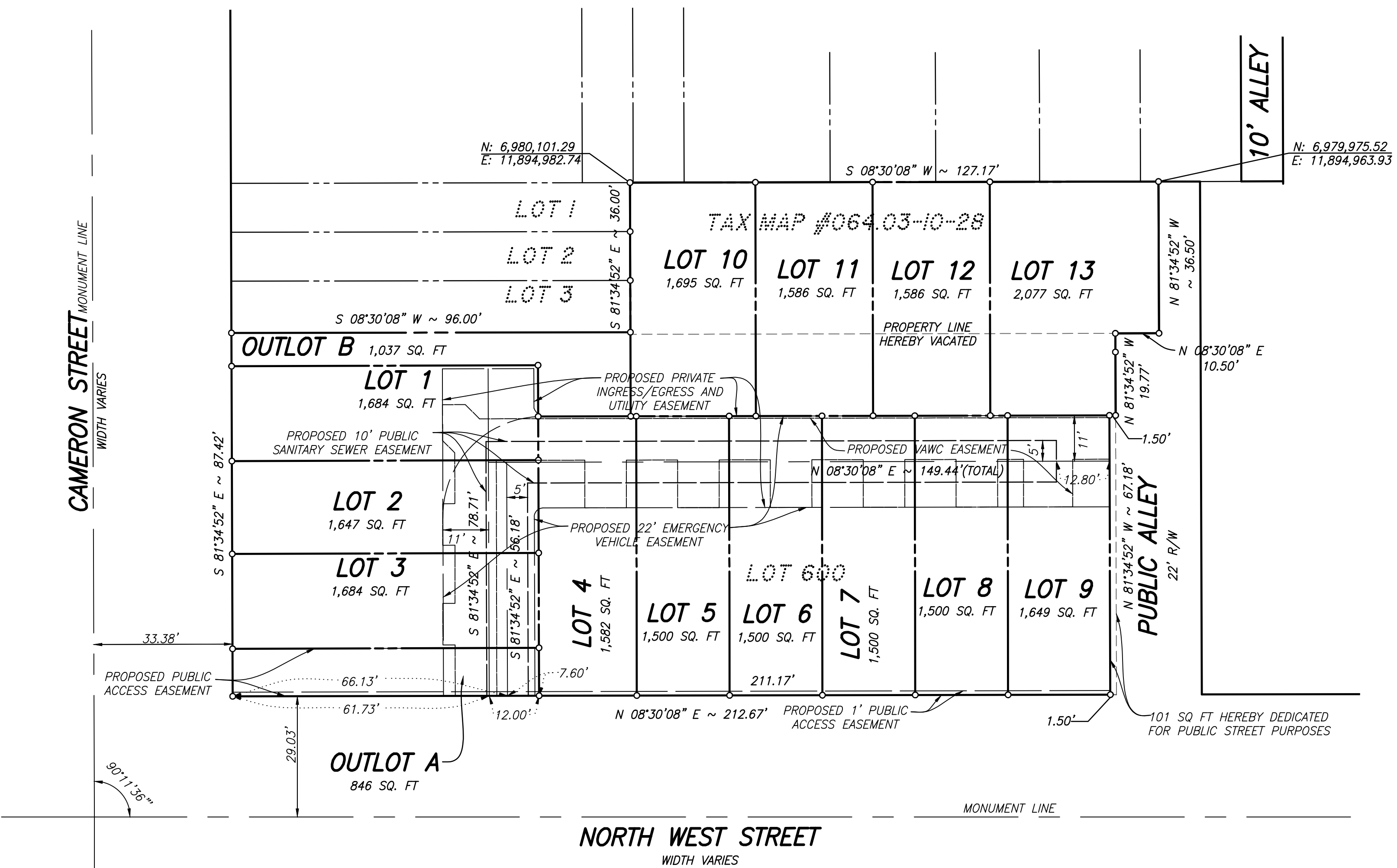
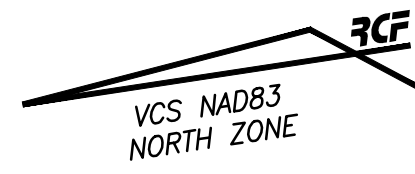
RC FIELDS & ASSOCIATES, INC.

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DATE: 3/05/24
FILE: 23-125
SHEET 1 OF 3



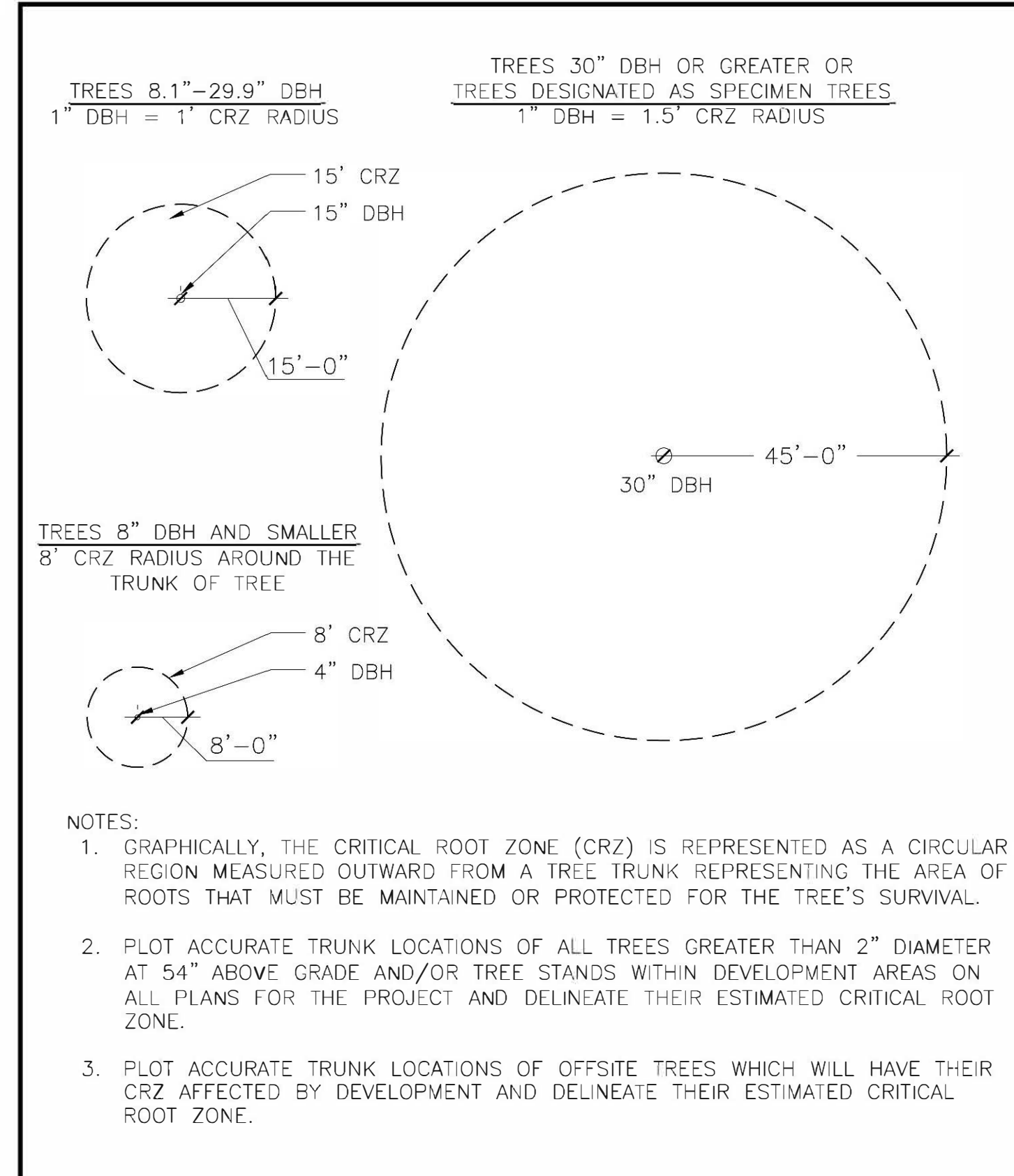
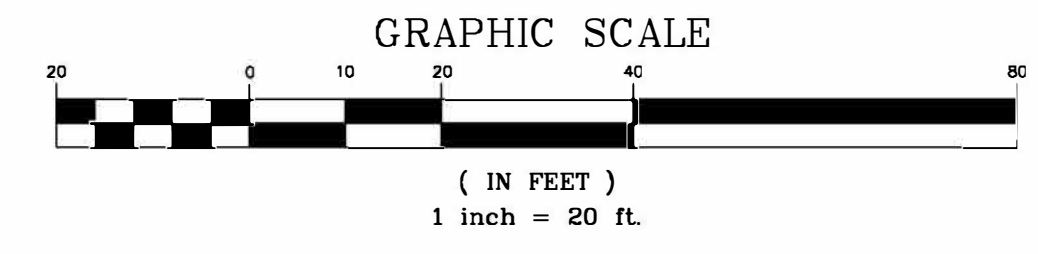
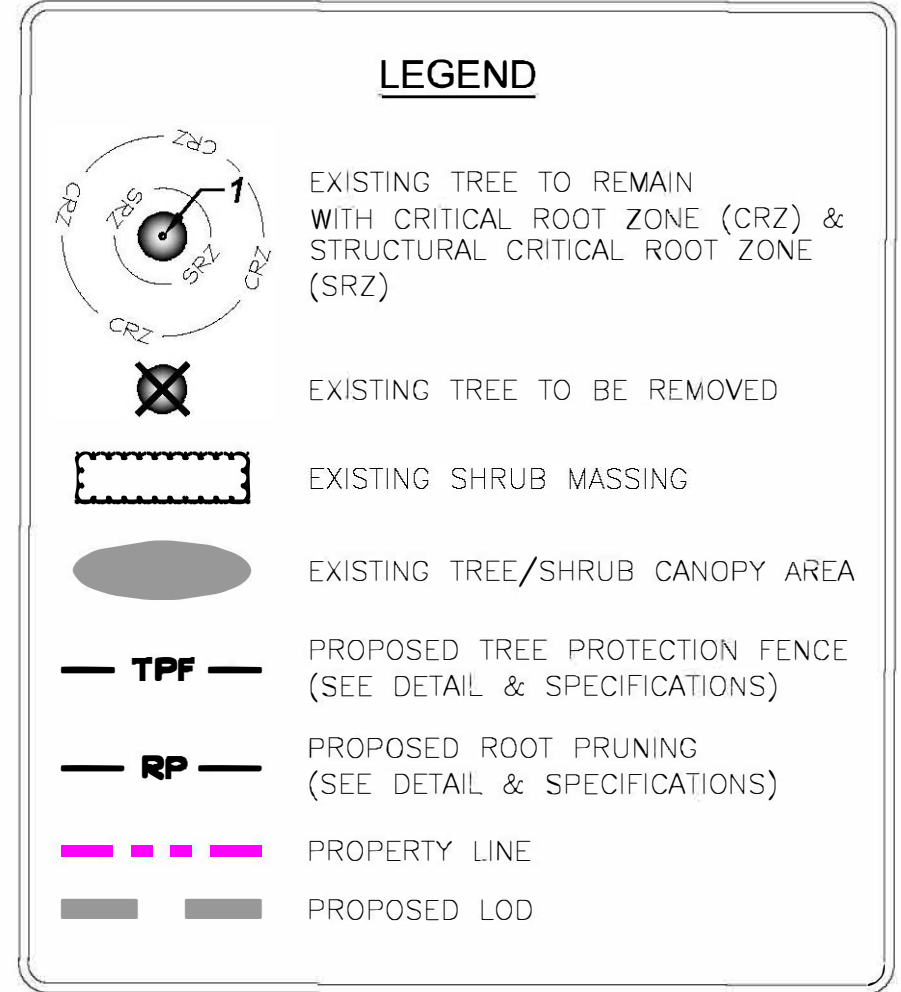
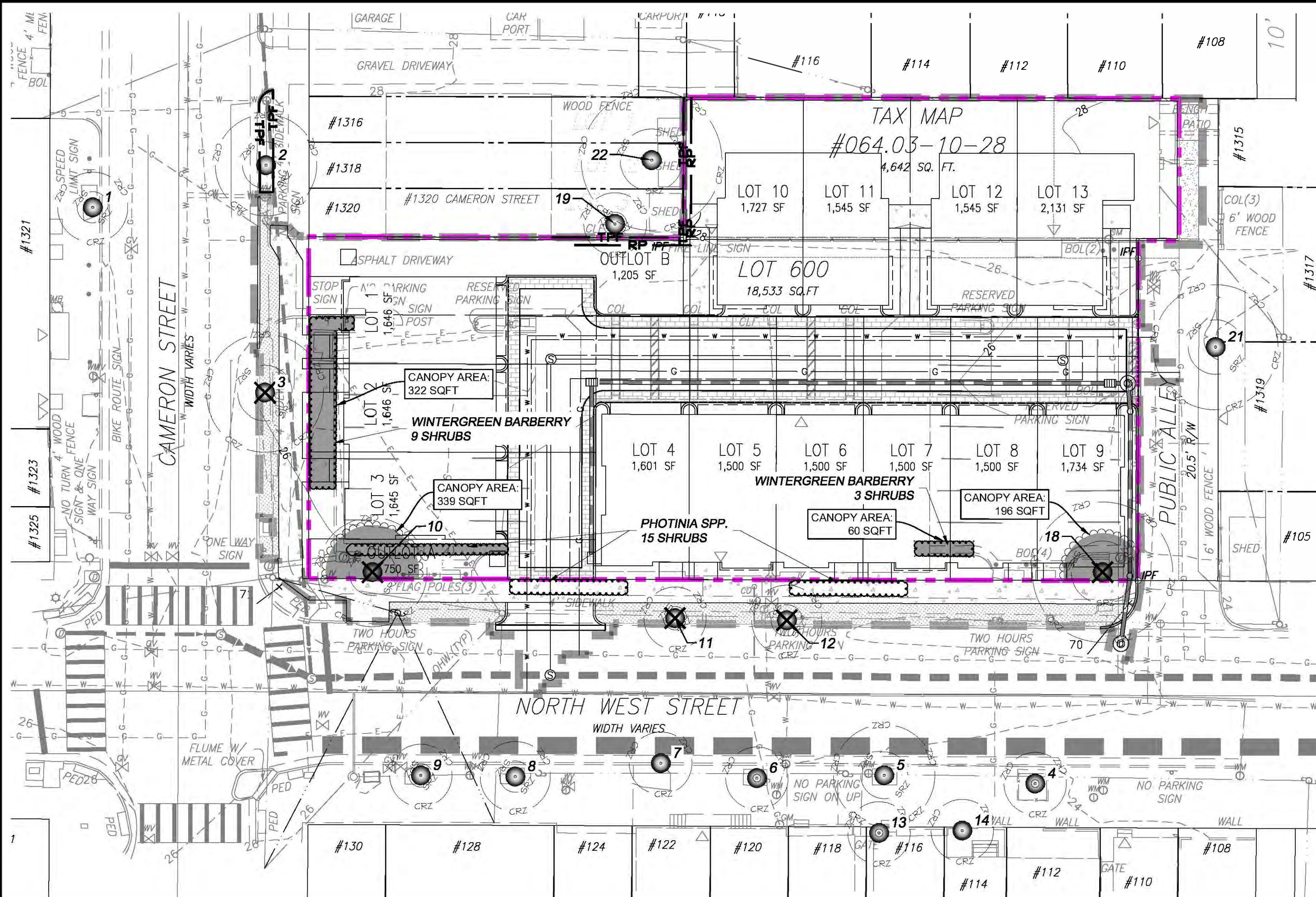
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 DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DIRECTOR _____ DATE _____
 CHAIRMAN, PLANNING COMMISSION _____ DATE _____

PRELIMINARY SUBDIVISION PLAT
 SHOWING LOTS 1 THROUGH 13, OUTLOT A & OUTLOT B
N WEST STREET TOWNHOMES
 A RESUBDIVISION OF
 THE PROPERTY LOCATED AT #107 N WEST STREET
 INSTR #080008156 (METES & BOUNDS)
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 DEED BOOK 1139, PAGE 1421
CITY OF ALEXANDRIA, VIRGINIA
 DATE: MARCH 05, 2024 SCALE: 1" = 20'



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 DEED BOOK 1139, PAGE 1421
 CITY OF ALEXANDRIA, VIRGINIA
 DATE: MARCH 05, 2024 SCALE: 1" = 20'



STANDARD TREE PRESERVATION NOTES FOR ALL PLANS REQUIRING APPROVAL:
 THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSION FOR ALL PROJECTS WITH PRESERVATION AREAS:

- VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL CONTINUOUSLY RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
 - MAINTENANCE SHALL BE PRO-ACTIVE
 - MAINTENANCE OPERATIONS SHALL AGGRESSIVELY MONITOR THE HEALTH, GROWTH, AND VIGOR OF VEGETATION AND PRESCRIBE SELECTIVE PRUNING, REMOVAL OF VOLUNTEER AND/OR INVASIVE SPECIES, WATERING, FERTILIZATION, AND INSTALLATION OF MULCH/TOPDRESSING
 - WHEN PRESERVED VEGETATION IS LOCATED ON CITY PROPERTY, MAINTENANCE SHALL BE PERFORMED TO THE SATISFACTION OF THE CITY
- AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:
 - MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES
 - FELLING AND STORING VEGETATION III. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY
 - OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/EQUIPMENT PARKING OR STORAGE
 - TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING, OR IMPERVIOUS SURFACE INSTALLATION
 - DISPOSAL OF DEBRIS OR CHEMICALS VII. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE
 - STORAGE OF CONSTRUCTION MATERIALS OR WASTE.

TREE PROTECTION ACTION KEY (TPAK)

Tree #	DBH (Diameter at 4.5 feet above ground)	Common Name	Botanical Name	Condition Rating %	Condition Rating	Approx Canopy Radius (FT)	Approx Tree Height (FT)	Number of Stems	SRZ/CRZ		Preservation Measures				Additional Notes	Condition Notes		
									Structural Critical Root Zone (radius) in Feet	Critical Root Zone Radius in Feet (Per City of Alexandria)	Removal	Root Prune	Tree Protection Fence	Mulch			Tree Condition Inspection	Construction Observation/Documentation
1	9	linden, American	Tilia americana	65%	Good	6	20	1	4	9	X	X	X	X	X	touching utility	Compacted Soils, Small DW (1-2'), Broken Limbs, Hardware, Overhead Utilities	
2	13	cherry, sweet	Prunus avium	60%	Fair	10	18	1	6	13	X	X	X	X	X	touching utility, girdling roots	Compacted Soils, Surface Roots, Overhead Utilities	
3	15	linden, littleleaf	Tilia cordata	55%	Fair	15	20	1	7	15	X					id with Solocator pics	Surface Roots, Girdling Roots, Trunk Decay, Included Bark/Weak Union, Small DW (1-2'), Overhead Utilities	
4	1	zelkova, Japanese	Zelkova serrata	75%	Good	2	8	1	0	8							Hardware	
5	13	maple, red	Acer rubrum	60%	Fair	12	25	1	6	13							touching utility	Compacted Soils, Surface Roots, Co-Dominant Stems, Broken Limbs, Overhead Utilities
6	3	maple, red	Acer rubrum	70%	Good	4	18	1	1	8							touching utility	Compacted Soils, Buried Root Collar, Overhead Utilities
7	4	crabapple, flowering	Malus spp.	65%	Good	10	16	1	2	8							crab apple	Buried Root Collar, Small DW (1-2'), Vines, Overhead Utilities
8	9	crabapple, flowering	Malus spp.	55%	Fair	8	16	1	4	9							crab apple	Compacted Soils, Small DW (1-2'), Overhead Utilities
9	6	crabapple, flowering	Malus spp.	65%	Good	8	16	1	3	8							crab apple	Compacted Soils, Buried Root Collar, Small DW (1-2'), Broken Limbs, Overhead Utilities
10	14	maple, red	Acer rubrum	50%	Fair	12	16	1	6	14	X						topped leader	Surface Roots, Large DW (3+'), Small DW (1-2'), Broken Limbs, Branch Decay, Overhead Utilities
11	7	maple, red	Acer rubrum	35%	Poor	5	20	1	3	8	X						girdling roots one inch by one foot, extensive trunk decay	Root Damage/Decay, Basal Decay, Trunk Decay, Overhead Utilities
12	9	maple, red	Acer rubrum	55%	Fair	10	20	1	4	9	X						bad, small spot for this tree, 18in cubed soil vol	Compacted Soils, Root Damage/Decay, Basal Decay, Small DW (1-2'), Overhead Utilities
13	2	cedar, deodar	Cedrus deodara	65%	Good	2	14	1	1	8							growing into brick wall	Compacted Soils, Buried Root Collar
14	4.3.2	dogwood, flowering	Cornus florida	60%	Fair	8	20	3	2	8							growing into brick wall	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2'), Hardware
18	18	crabapple, flowering	Malus spp.	30%	Poor	10	20	1	8	18	X						crab apple, significant trunk decay	Trunk Decay, Included Bark/Weak Union, Co-Dominant Stems, Large DW (3+'), Small DW (1-2'), Stressed, Serious Decline, Broken Limbs, Branch Decay, Overhead Utilities
19	5.4	redbud, eastern	Cercis canadensis	60%	Fair	5	25	2	3	8	X	X	X	X	X		behind fence, limited visual	Narrow Crown, Co-Dominant Stems
21	16	walnut, black	Juglans nigra	65%	Good	20	50	1	7	16							growing into brick wall	Compacted Soils, Surface Roots, Root Damage/Decay, Small DW (1-2'), Hardware, Overhead Utilities
22	18	cherry, sweet	Prunus avium	65%	Good	25	60	1	8	18	X	X	X	X	X		behind fence, limited visual, estimated dbh	Co-Dominant Stems, Small DW (1-2'), Branch Decay, Hardware

TREE CANOPY NOTES

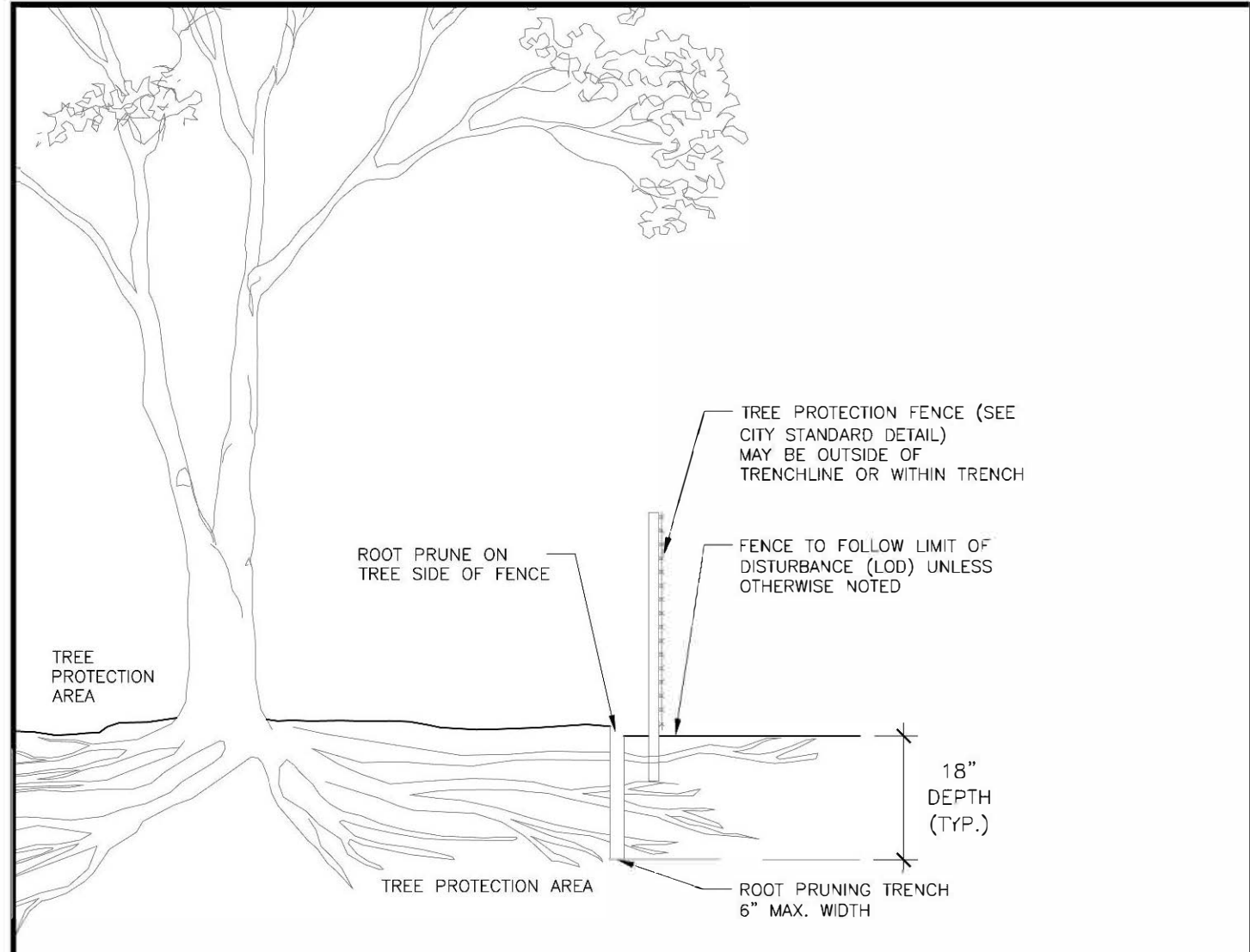
- TOTAL EXISTING CANOPY COVER: 917 SF
- TOTAL SITE AREA: 23,175 SF
- PERCENT OF SITE COVERED: 4%
- PERCENT COVER REQUIRED BY ZONING: 25%
- CANOPY TO BE PRESERVED: 0 SF
- MINIMUM CANOPY AREA TO BE PLANTED: 5,794 SF (25%)

TREE PRESERVATION NOTES

- TREE LOCATIONS MAY BE APPROXIMATE. OWNER AND CONTRACT ARBORIST SHALL VERIFY ALL TREE LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND/OR TREATMENT OR REMOVAL.
- PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION ACTIVITY. CITY ARBORIST, OWNER, DESIGN TEAM MEMBERS (PROJECT ARBORIST, LANDSCAPE ARCHITECT, ENGINEER AND ARCHITECT), CONTRACT ARBORIST, SITE AND LANDSCAPE CONTRACTORS SHALL ATTEND.
- REMOVAL OR TREATMENT OF ANY SHARED, OFFSITE, OR ROW TREES REQUIRES WRITTEN PERMISSION FROM ALL OWNERS PRIOR TO ANY WORK.
- TREES RATED "POOR", "CRITICAL", OR "DEAD" THAT ARE NOT CURRENTLY RECOMMENDED FOR REMOVAL DUE TO CONSTRUCTION IMPACTS FROM THIS PROJECT MAY WARRANT FURTHER EVALUATION AND/OR TREATMENT OR REMOVAL BY OTHERS DUE TO THEIR EXISTING CONDITION.

TREE ASSESSMENT NOTES

- TREE CONDITION ASSESSMENT CONDUCTED BY ALEX BAILEY, ISA# MA-6574A ON OCTOBER 30, 2023.
- THE INSPECTION OF THESE TREES CONSISTED SOLELY OF A VISUAL INSPECTION FROM THE GROUND. WHILE MORE THOROUGH TECHNIQUES ARE AVAILABLE FOR INSPECTION AND EVALUATION, THEY WERE NEITHER REQUESTED NOR CONSIDERED NECESSARY OR APPROPRIATE AT THIS TIME.
- OFFSITE TREES WERE VISUALLY ASSESSED FROM WITHIN THE SUBJECT PROPERTIES AND/OR PUBLIC SPACE AND ARE LIMITED TO ESTIMATIONS ONLY.



NOTES

- ROOT PRUNING SHALL BE DONE WITH TRENCHER OR VIBRATORY PLOW TO DEPTH OF 18". ROOTS OVER 1.5" IN DIAMETER SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT, WHICH IS STILL ATTACHED TO THE TREE. DO NOT BREAK OR CHOP. DO NOT PAINT THE CUT ROOT END. IF EXCAVATION IS FOR INSTALLATION OF UNDERGROUND UTILITIES, LEAVE THE ROOT INTACT AND THREAD THE LINES UNDERNEATH.
- ROOT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING AND SHALL BE APPROVED BY CITY STAFF.
- ROOT PRUNING SHALL BE CONDUCTED WITH THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. CERTIFICATION SHALL BE PROVIDED TO THE CITY UPON COMPLETION.
- BACKFILL THE ROOT-PRUNING TRENCH WITH APPROVED LOOSE TOPSOIL MIX AND TOP WITH 3-4" BARK MULCH AND MARK LOCATION FOR FUTURE REFERENCE. SILT FENCE MAY BE INSTALLED IN TRENCH PRIOR TO BACKFILLING AS LONG AS THE TRENCH IS NOT OPEN FOR LONGER THAN 48 HOURS WITHOUT WATERING.
- ROOT PRUNING WORK SHALL NOT BE DONE WHEN MORE THAN THE TOP 1 INCH OF SOIL IS FROZEN. ROOT PRUNING SHALL NOT BE UNDERTAKEN WHEN THE SOIL IS WET AND CONDITIONS ARE MUDDY.
- CITY OF ALEXANDRIA STAFF SHALL BE NOTIFIED 72 HOURS PRIOR TO TRENCHING AND WHEN ALL ROOT PRUNING AND TREE PROTECTION FENCE INSTALLATION IS COMPLETE.

ROOT PRUNING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source: City of Alexandria, Virginia
Approved by: COA
Date drawn: 01/01/19
LD 015

PROFESSIONAL ENGINEER
VINCENT M. INCHALE
Lic. No. 0402060182
APR 10, 2024

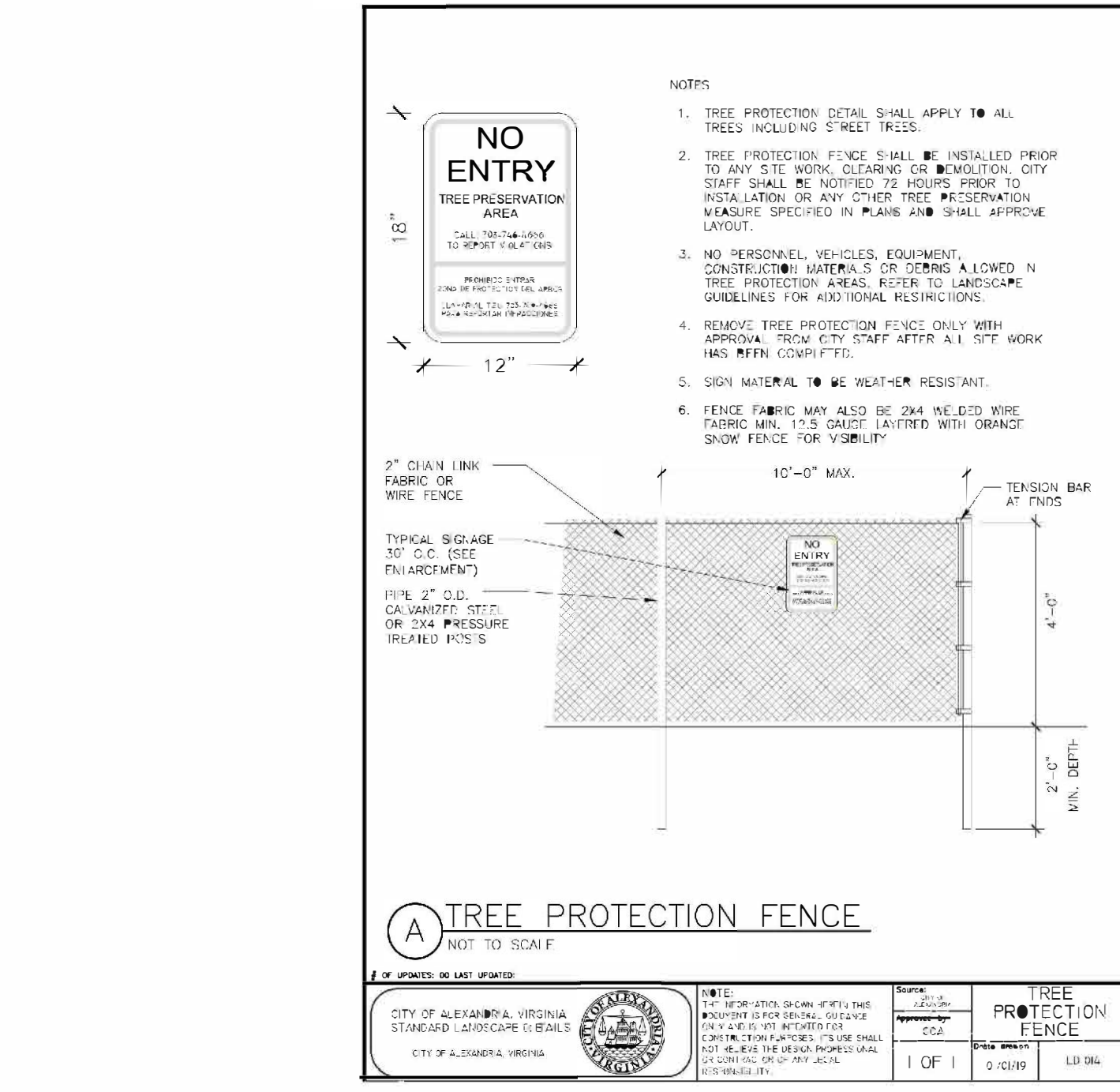
CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

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Source: City of Alexandria, Virginia
Approved by: COA
Date drawn: 01/01/19
LD 015

CRITICAL ROOT ZONE

OF UPDATES: 00 LAST UPDATED:



APPROVED SPECIAL USE PERMIT NO. 2024-10004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

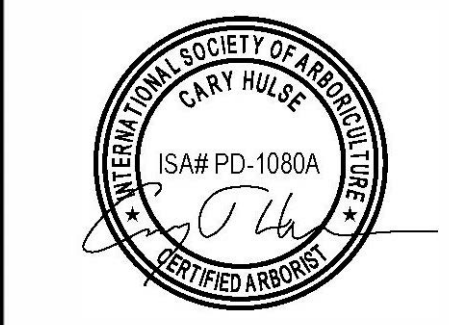
SITE PLAN NO. DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

TREE PRESERVATION PLAN



REVISIONS

No.	Date	Description	Rev. By	App. By

Horizontal Datum: VCS NAD 83
Vertical Datum: -
Boundary and Topo Source: RC Fields

Design	Draft	Approved
RJW	RJW	CH

TP-01

WSSI Project Number: P.WSIO000283

Wetland
Soil Remediation & Construction Company

5300 Wellington Branch Drive • Suite 100
Gainesville, Virginia 20155
Phone: 703-679-5600 • Fax: 703-679-5601
www.wetlands.com

125 North West Street
City of Alexandria, VA

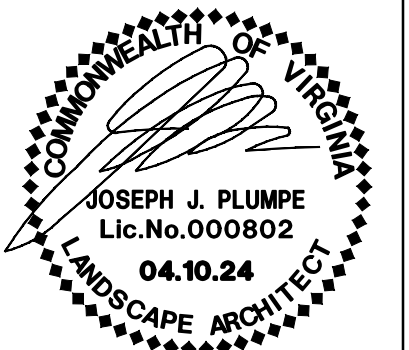
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125 N. WEST ST.
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 ALEXANDRIA, VA
 CITY OF ALEXANDRIA

CLIENT
 TECH 24 CONSTRUCTION

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 LANDSCAPE
 ARCHITECTURE, P.C.
 6416 GROVEDALE DR., SUITE 100-A
 ALEXANDRIA, VIRGINIA 22310
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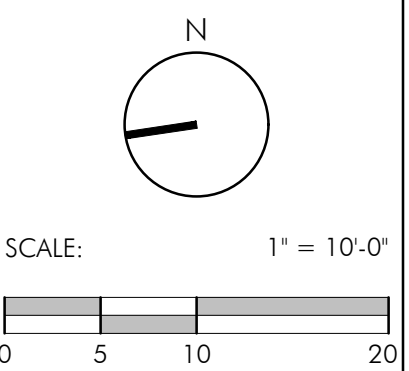


ISSUE DATE
 PRELIMINARY PLAN 04.10.24

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PROJECT NUMBER: 23045
 CONTACT: D. DOVE
 DRAWN: EF
 APPROVED/CHECKED: DD

ORIENTATION AND SCALE



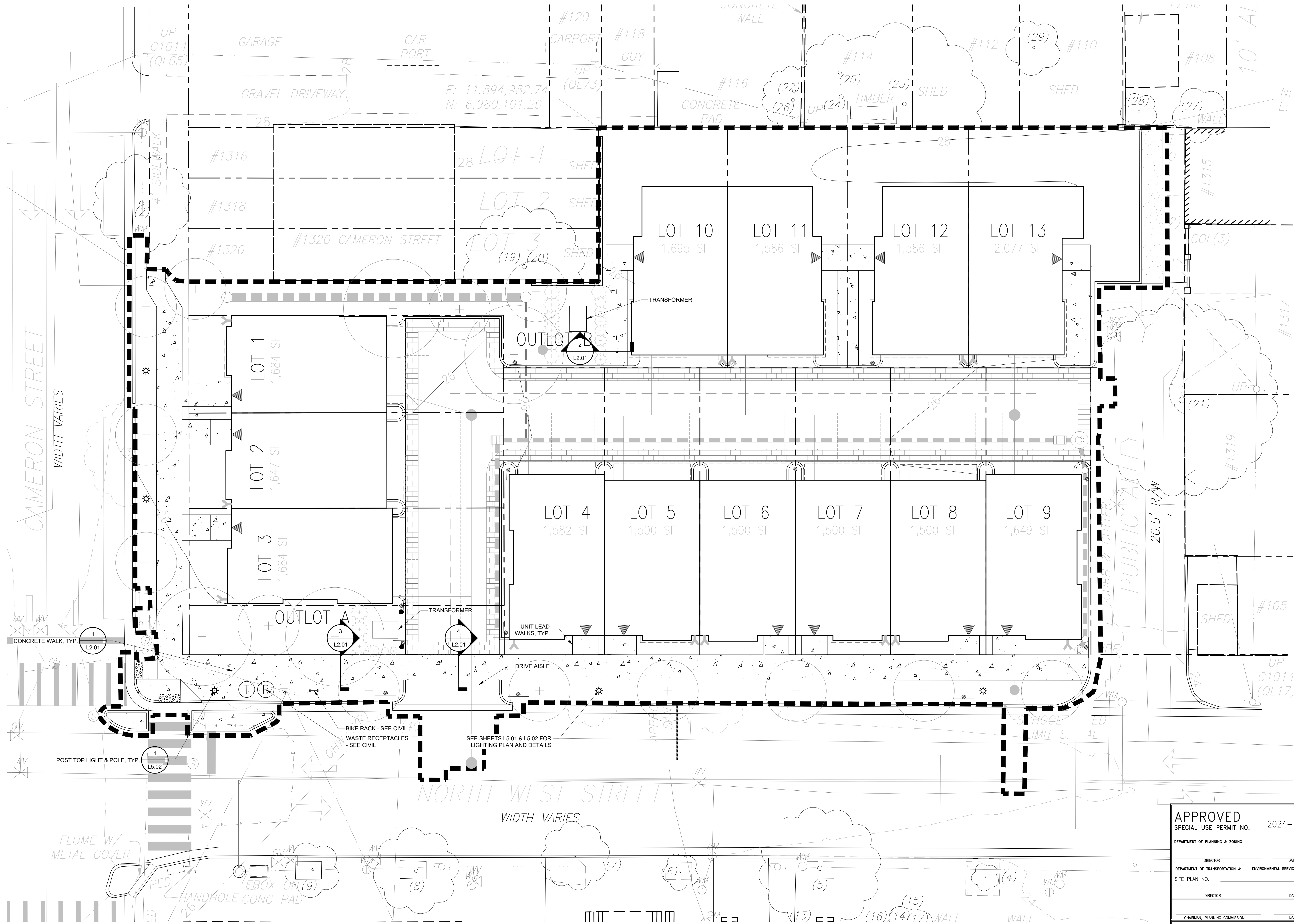
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HARDSCAPE PLAN

SHEET NUMBER

L1.01

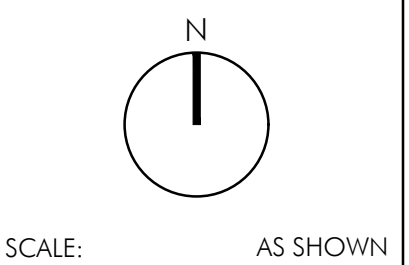
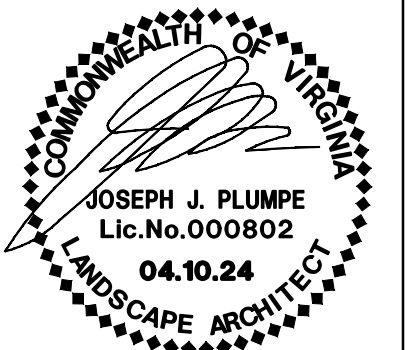
PRELIMINARY PLAN

NOT RELEASED FOR CONSTRUCTION

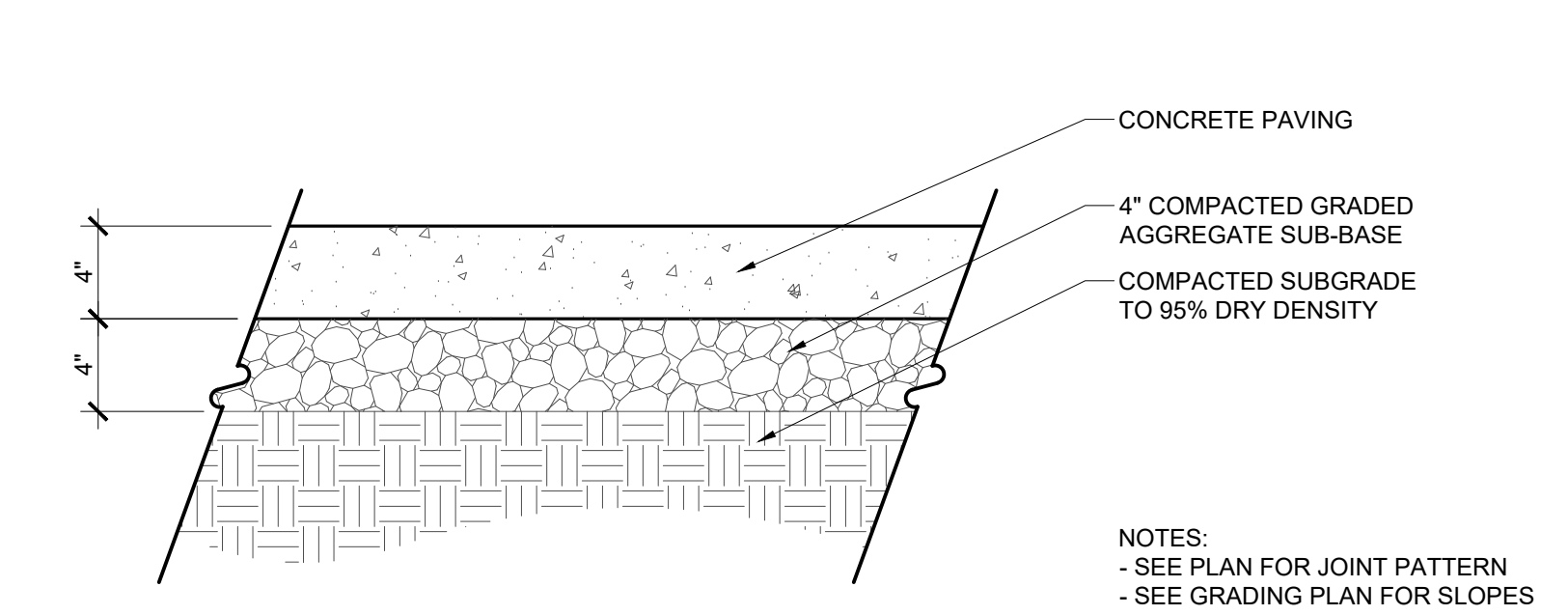


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SPECIAL USE PERMIT NO. 2024-10004	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO. _____	SEED BOOK NO. _____
DATE _____	

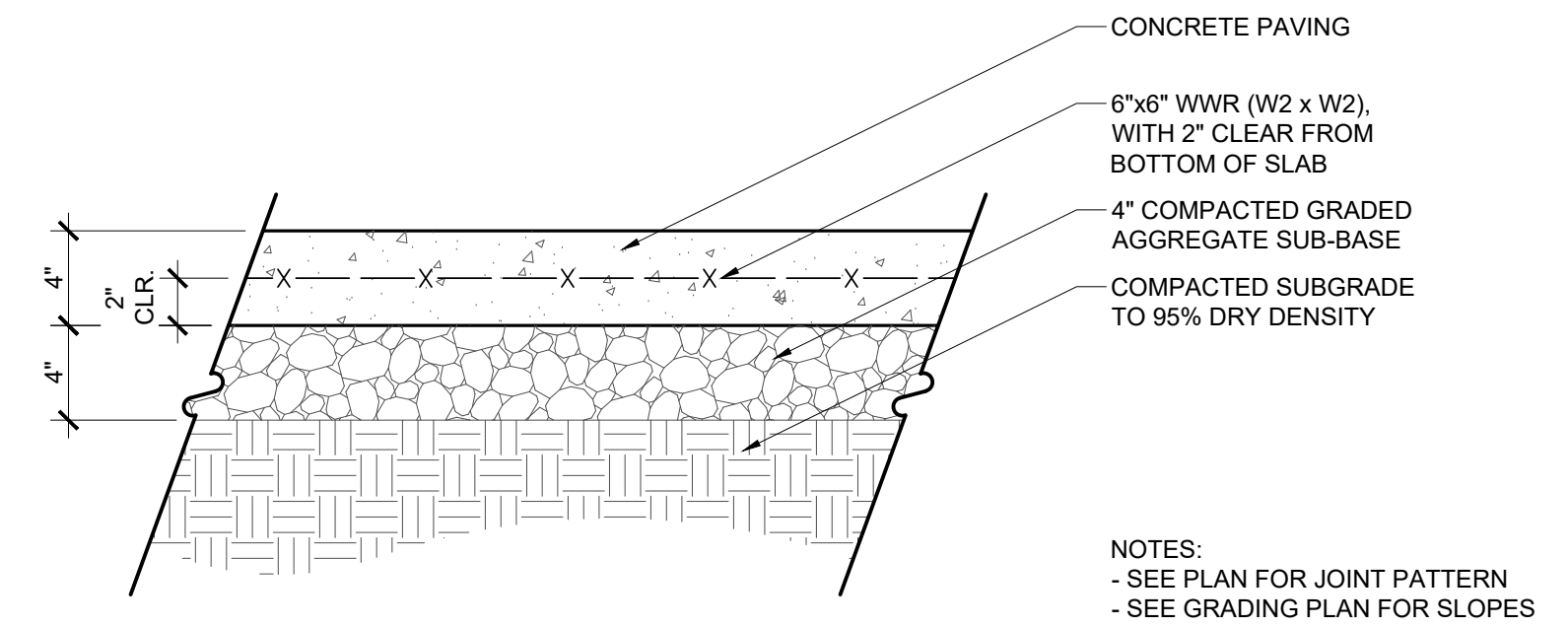
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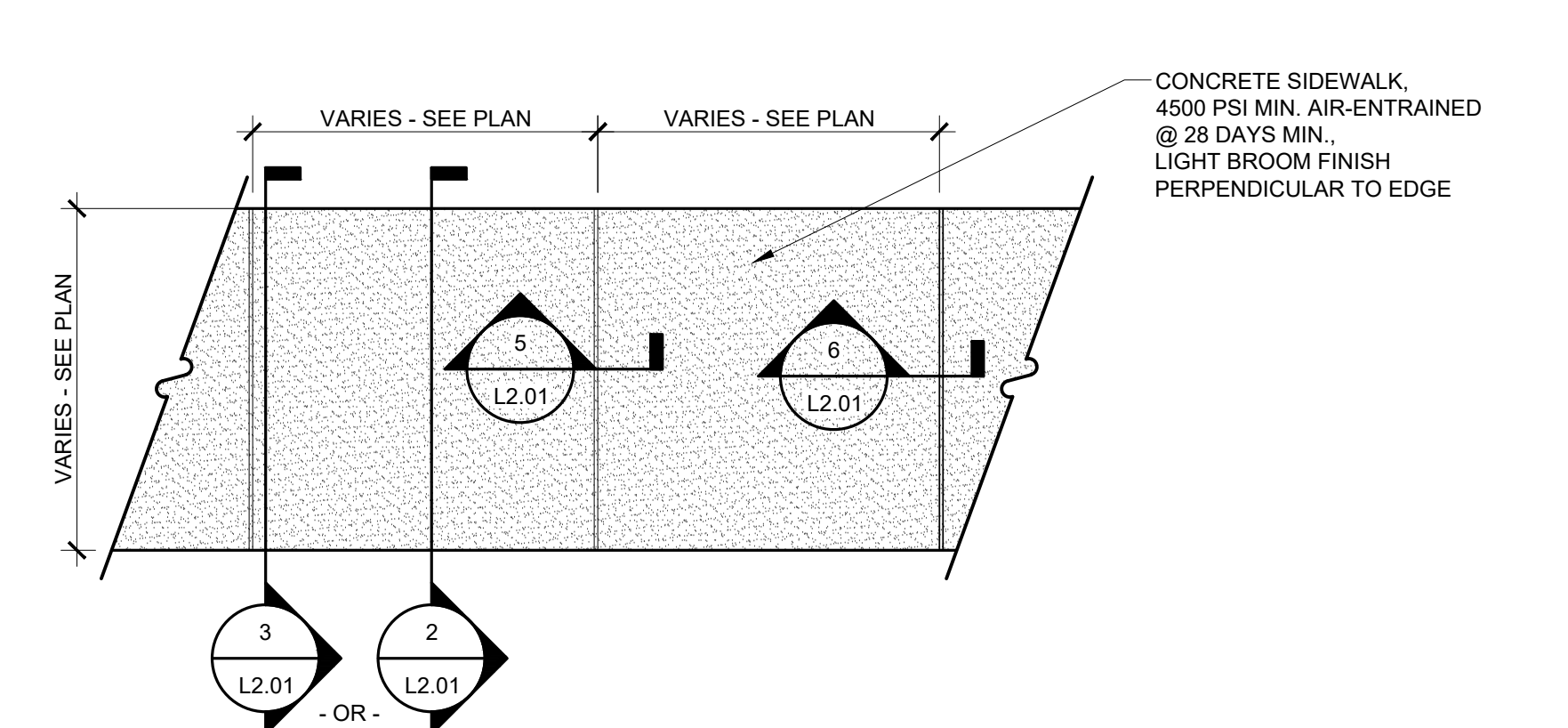
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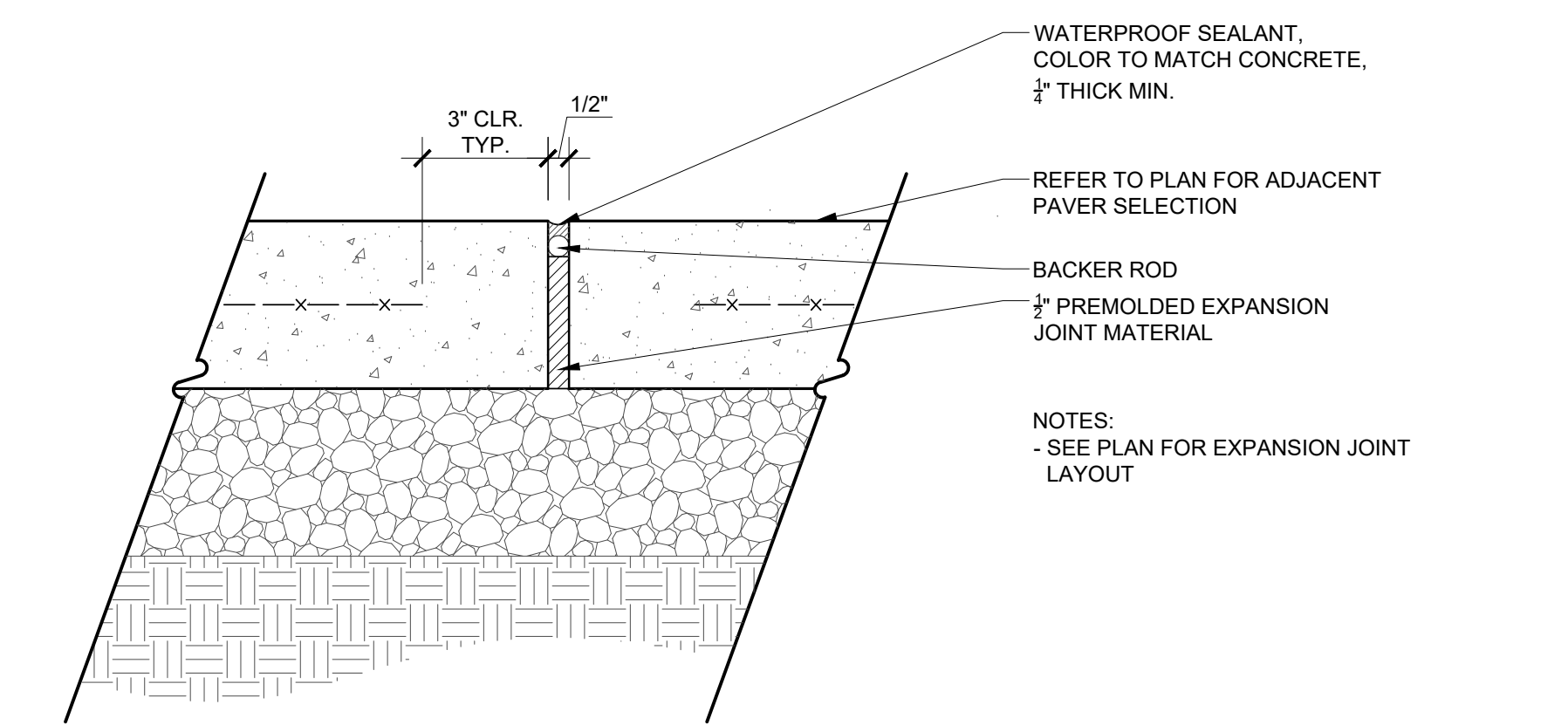
3 CONCRETE PAVING - R.O.W. SECTION
L2.01 Scale: 1 1/2" = 1'-0"



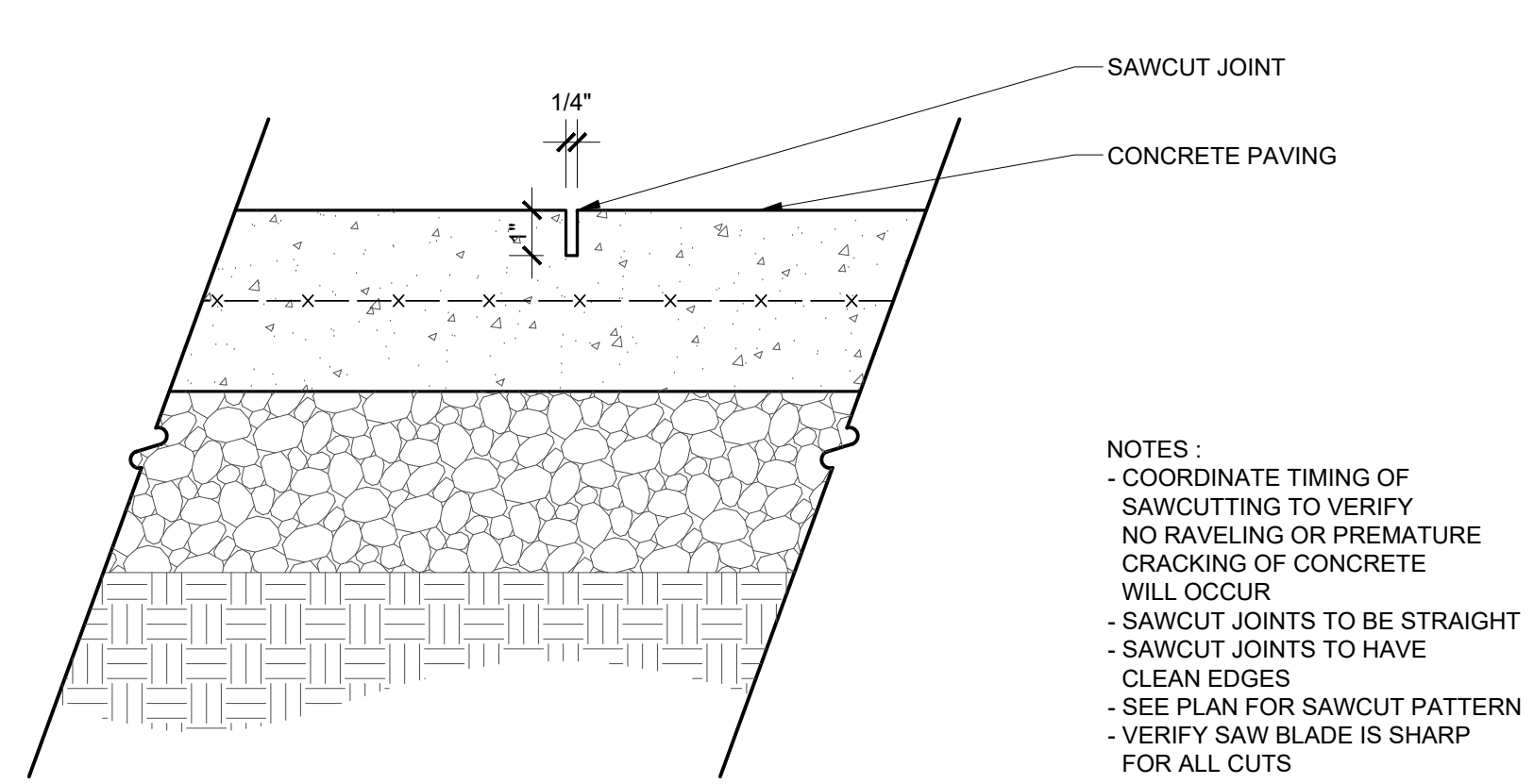
2 CONCRETE PAVING SECTION
L2.01 Scale: 1 1/2" = 1'-0"



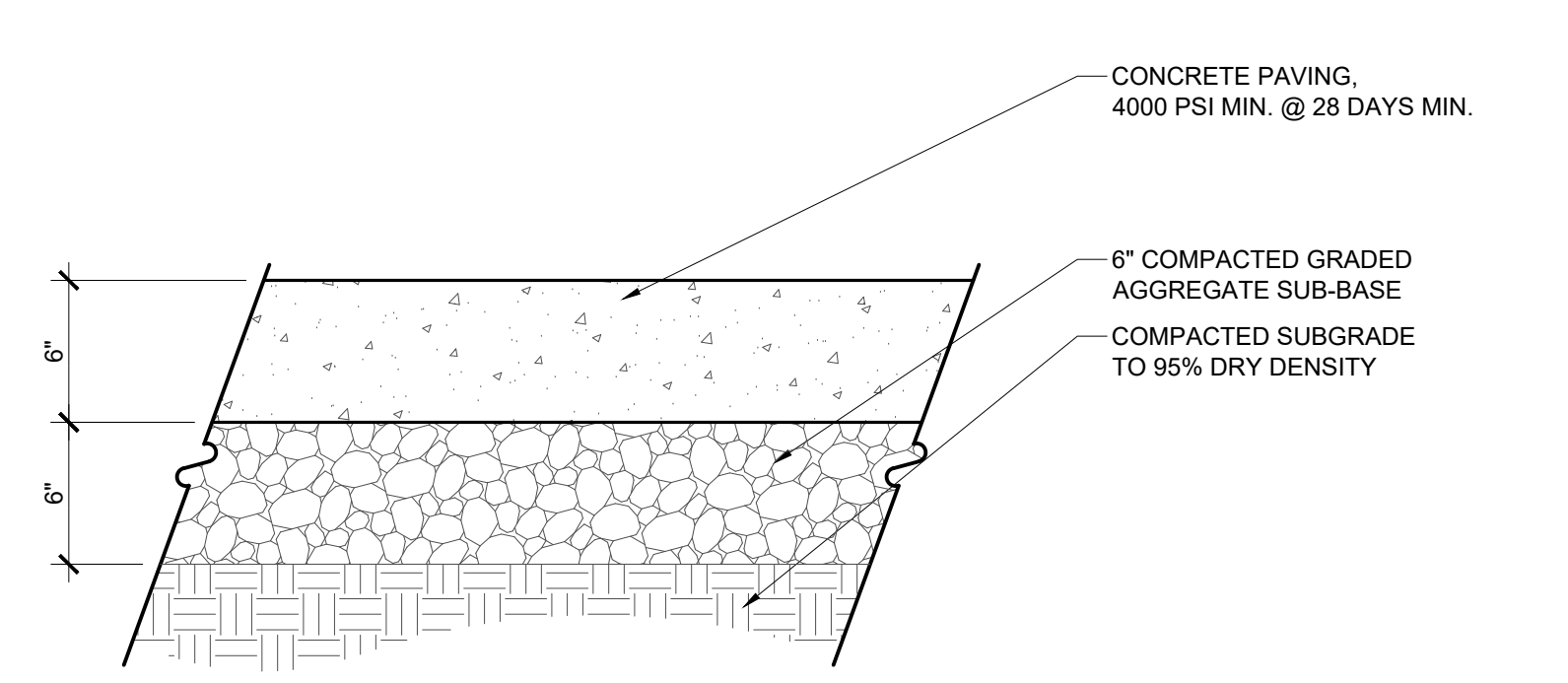
1 CONCRETE WALK PLAN
L2.01 Scale: 1/2" = 1'-0"



6 CONCRETE PAVING EXPANSION JOINT SECTION
L2.01 Scale: 3" = 1'-0"



5 SAWCUT CONTROL JOINT SECTION
L2.01 Scale: 3" = 1'-0"



4 CONCRETE PAVING - VEHICULAR IN R.O.W. SECTION
L2.01 Scale: 1 1/2" = 1'-0"

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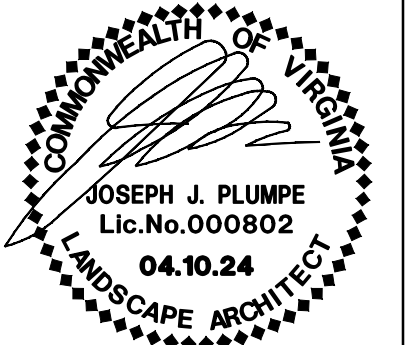
APPROVED	
SPECIAL USE PERMIT NO. 2024-10004	
<small>DEPARTMENT OF PLANNING & ZONING</small>	
<small>DIRECTOR</small>	<small>DATE</small>
<small>DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES</small>	
<small>SITE PLAN NO.</small>	
<small>DIRECTOR</small>	<small>DATE</small>
<small>CHAIRMAN, PLANNING COMMISSION</small>	
<small>DATE RECORDED</small>	
<small>INSTRUMENT NO.</small>	<small>SEED BOOK NO. DATE</small>

125 N. WEST ST.
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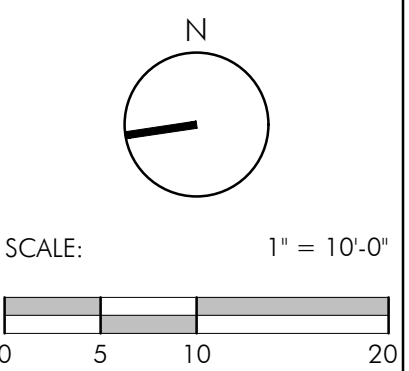


ISSUE DATE
PRELIMINARY PLAN 04.10.24

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PROJECT NUMBER: 23045
CONTACT: D. DOVE
DRAWN: EF
APPROVED/CHECKED: DD

ORIENTATION AND SCALE



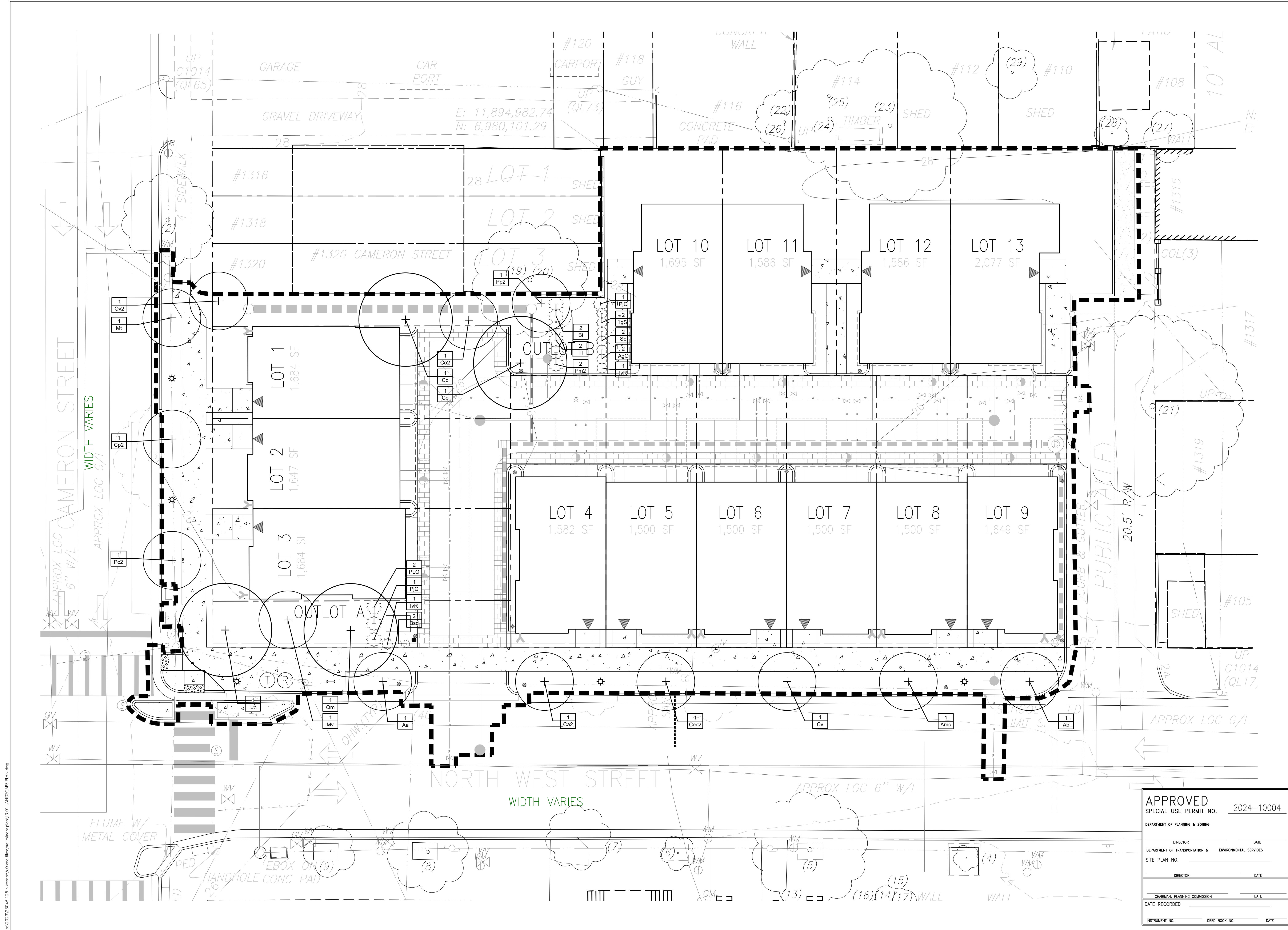
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

L3.01

PRELIMINARY PLAN

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SPECIAL USE PERMIT NO. 2024-10004
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ SEED BOOK NO. _____ DATE _____

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PLANT SCHEDULE LANDSCAPE PLAN

CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	REMARKS
SHADE TREES							
Cc	1	Carpinus caroliniana	American Hornbeam	10'-12'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen
Co	1	Celtis occidentalis	Common Hackberry	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen
Lt	1	Liriodendron tulipifera	Tulip Tree	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen
Qm	1	Quercus muehlenbergii	Chinkapin Oak	14'-16'	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen
STREET TREES							
Ab	1	Acer buergerianum	Trident Maple	8'-10'	1 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen
Aa	1	Amelanchier arborea	Downy Serviceberry	8'-10'	1 1/2" min.		B&B, multi-trunk, 3 trunk minimum, full symmetrical branching
Amc	1	Amelanchier canadensis	Canadian Serviceberry	8'-10'	1 1/2" min.		B&B, multi-trunk, 3 trunk minimum, full symmetrical branching
Cec2	1	Cercis canadensis	Eastern Redbud	8'-10'	1 1/2" min.		B&B, multi-trunk, 3 trunk minimum, full symmetrical branching
Cv	1	Chionanthus virginicus	White Fringetree	8'-10'	2 1/2" min.		B&B, uniform branching, full specimen
Ca2	1	Cornus alternifolia	Pagoda Dogwood	8'-10'	1 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen
Cp2	1	Crataegus phaenopyrum	Washington Hawthorn	8'-10'	1 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen
Mt	1	Magnolia tripetala	Umbrella Magnolia	8'-10'	2 1/2" min.		B&B, uniform branching, full specimen
Pc2	1	Prunus virginiana	Chokecherry	8'-10'	2 1/2" min.		B&B, uniform branching, full specimen
ORNAMENTAL TREES							
Co2	1	Carya ovata	Shagbark Hickory	8'-10'	1 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen
Mv	1	Magnolia virginiana	Sweet Bay	8'-10'	1 1/2" min.		B&B, multi-trunk, 3 trunk minimum, full symmetrical branching
Ov2	1	Ostrya virginiana	American Hophornbeam	8'-10'	1 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen
Pp2	1	Prunus pensylvanica	Pin Cherry	8'-10'	2 1/2" min.		B&B, uniform branching, full specimen
CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	REMARKS
EVERGREEN SHRUBS							
AgO	2	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	12"-15"	18"-24"	#2 cont.	healthy vigorous, well-rooted & established in container
Bsd	2	Buxus sempervirens 'Dee Runk'	Dee Runk Boxwood	24"-30"	15"-18"	#3 cont.	healthy vigorous, well-rooted & established in container
Bi	2	Buxus sinica insularis	Korean Boxwood	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container
IgS	2	Ilex glabra 'Shamrock'	Inkberry	24"-30"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container
IvR	2	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container
Pm2	2	Pieris floribunda	Mountain Pieris	24"-30"	18"-24"		healthy vigorous, well-rooted & established
PjC	2	Pieris japonica 'Compacta'	Compact Pieris	24"-30"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container
PLO	2	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container
Sc	2	Sarcococca confusa	Sweetbox	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container
Ti	2	Thuja occidentalis 'Little Giant'	Little Giant Arborvitae	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container

CROWN COVER ALLOWANCE(CCA)	
CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
500	500
1250	1250
1250	1250
1250	1250
CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
0	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
500	N/A - IN R.O.W.
CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
500	500
250	250
500	500
500	500
500	500
TOTAL TREE CCA:	6000
CCA PER SHRUB (SF)	TOTAL CROWN COVER (SF)
10	20
0	0
10	20
25	50
25	50
10	20
25	50
0	0
0	0
0	0
TOTAL SHRUB CCA:	210
TOTAL SITE CCA:	6210

BIODIVERSITY TABULATIONS							
TREES (URBAN AND STANDARD)							
TOTAL NUMBER OF TREES PROPOSED: 17							
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Acer	1	5.9%	33%	buergerianum	1	5.9%	10%
Amelanchier	2	11.8%	33%	arborea	1	5.9%	10%
				canadensis	1	5.9%	10%
Carpinus	1	5.9%	33%	caroliniana	1	5.9%	10%
Carya	1	5.9%	33%	ovata	1	5.9%	10%
Celtis	1	5.9%	33%	occidentalis	1	5.9%	10%
Cercis	1	5.9%	33%	canadensis	1	5.9%	10%
Chionanthus	1	5.9%	33%	virginicus	1	5.9%	10%
Cornus	1	5.9%	33%	alternifolia	1	5.9%	10%
Crataegus	1	5.9%	33%	phaenopyrum	1	5.9%	10%
Liriodendron	1	5.9%	33%	tulipifera	1	5.9%	10%
Magnolia	2	11.8%	33%	tripetala	1	5.9%	10%
				virginiana	1	5.9%	10%
Ostrya	1	5.9%	33%	virginiana	1	5.9%	10%
Prunus	2	11.8%	33%	pensylvanica	1	5.9%	10%
				virginiana	1	5.9%	10%
Quercus	1	5.9%	33%	muehlenbergii	1	5.9%	10%
SHRUBS							
TOTAL NUMBER OF SHRUBS PROPOSED: 20							
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Abelia	2	10.0%	33%	grandiflora	2	10.0%	10%
Buxus	4	20.0%	33%	sempervirens	2	10.0%	10%
				sinica	2	10.0%	10%
Ilex	4	20.0%	33%	glabra	2	10.0%	10%
				verticillata	2	10.0%	10%
Pieris	4	20.0%	33%	floribunda	2	10.0%	10%
				japonica	2	10.0%	10%
Prunus	2	10.0%	33%	laurocerasus	2	10.0%	10%
Sarcococca	2	10.0%	33%	confusa	2	10.0%	10%
Thuja	2	10.0%	33%	occidentalis	2	10.0%	10%

NATIVE PLANT TABULATIONS						
PLANT TYPE	QUANTITY	NATIVE TYPE	BEGINNING JANUARY 2, 2024			
			REQUIRED		PROVIDED	
			%	QTY.	%	
Urban Trees	9	Regional/Local	20%	8	88.9%	
		Total Natives	50%	8	88.9%	
Standard Trees	8	Regional/Local	40%	8	100.0%	
		Total Natives	80%	8	100.0%	
Evergreen Shrubs	20	Regional/Local	10%	8	40.0%	
		Total Natives	40%	8	40.0%	

TOTALS		
TOTAL PLANTS SPECIFIED	TOTAL SUM OF REGIONAL/LOCAL NATIVE PLANTS	TOTAL SUM OF NATIVE PLANTS
37	24	24
	64.9%	64.9%

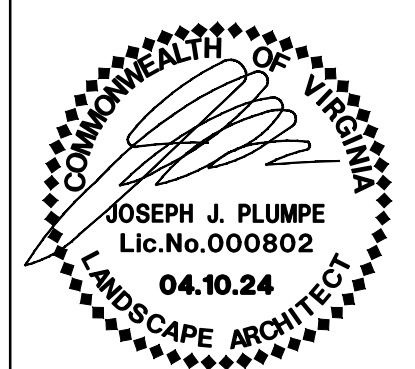
CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	23,175
25% CROWN COVER REQUIRED (SF)	5,794
EXISTING CROWN COVER (SF)	917
REMOVED CROWN COVER (SF)	917
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	0
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	
Crown Cover from Proposed Trees	6,000
Crown Cover from Proposed Shrubs	210
TOTAL CROWN COVER PROVIDED (SF)	6,210
TOTAL CROWN COVER PROVIDED (%)	26.8%
TOTAL CROWN COVER PROVIDED (SF)	6,210

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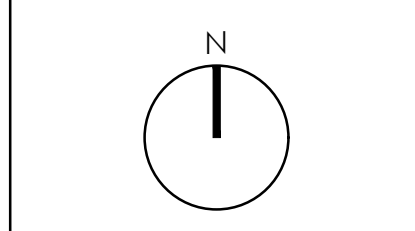


ISSUE DATE
PRELIMINARY PLAN 04.10.24

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PROJECT NUMBER: 23045
CONTACT: D. DOVE
DRAWN: EF
APPROVED/CHECKED: DD

ORIENTATION AND SCALE



SCALE: N/A

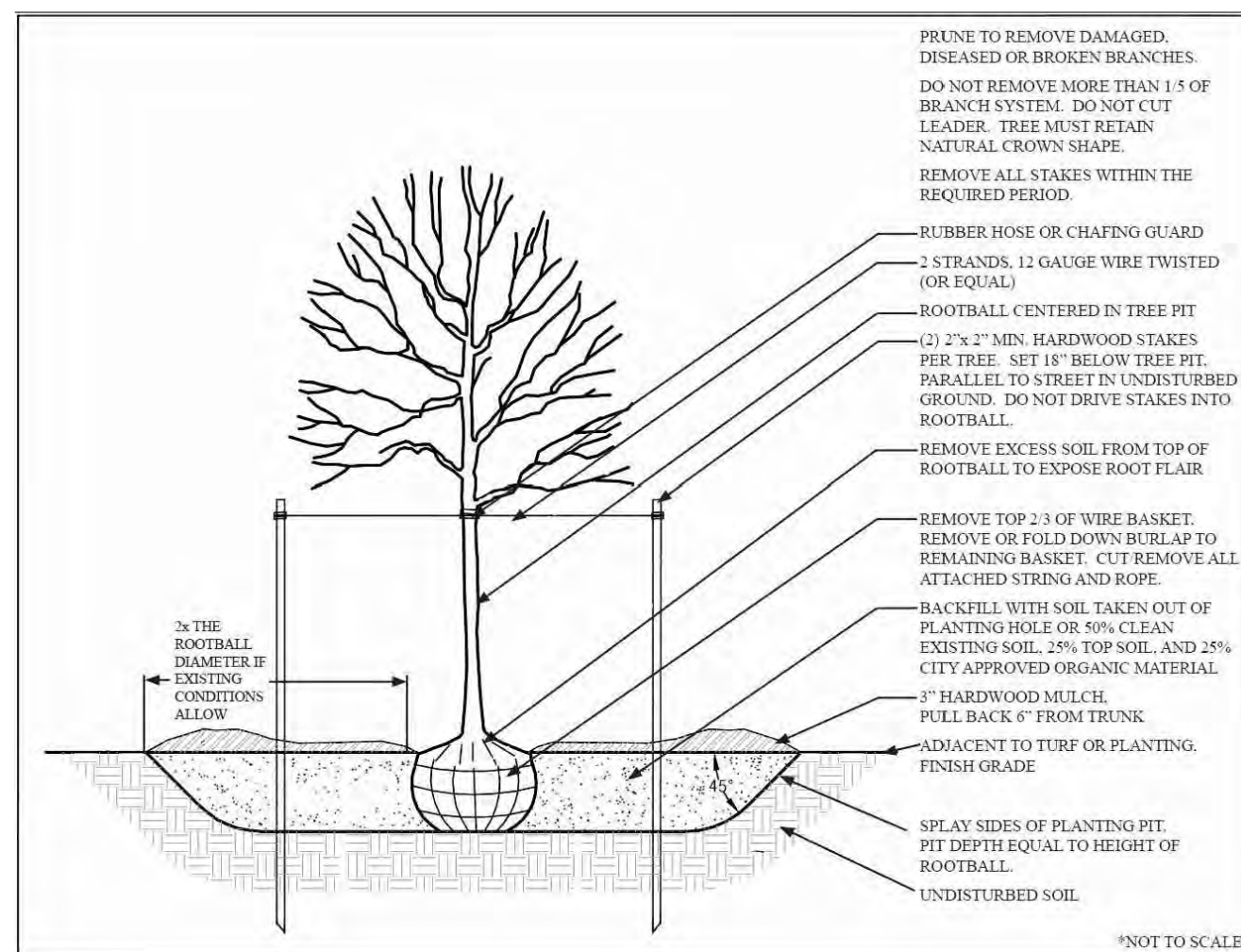
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PLANT SCHEDULE & TABULATIONS

SHEET NUMBER

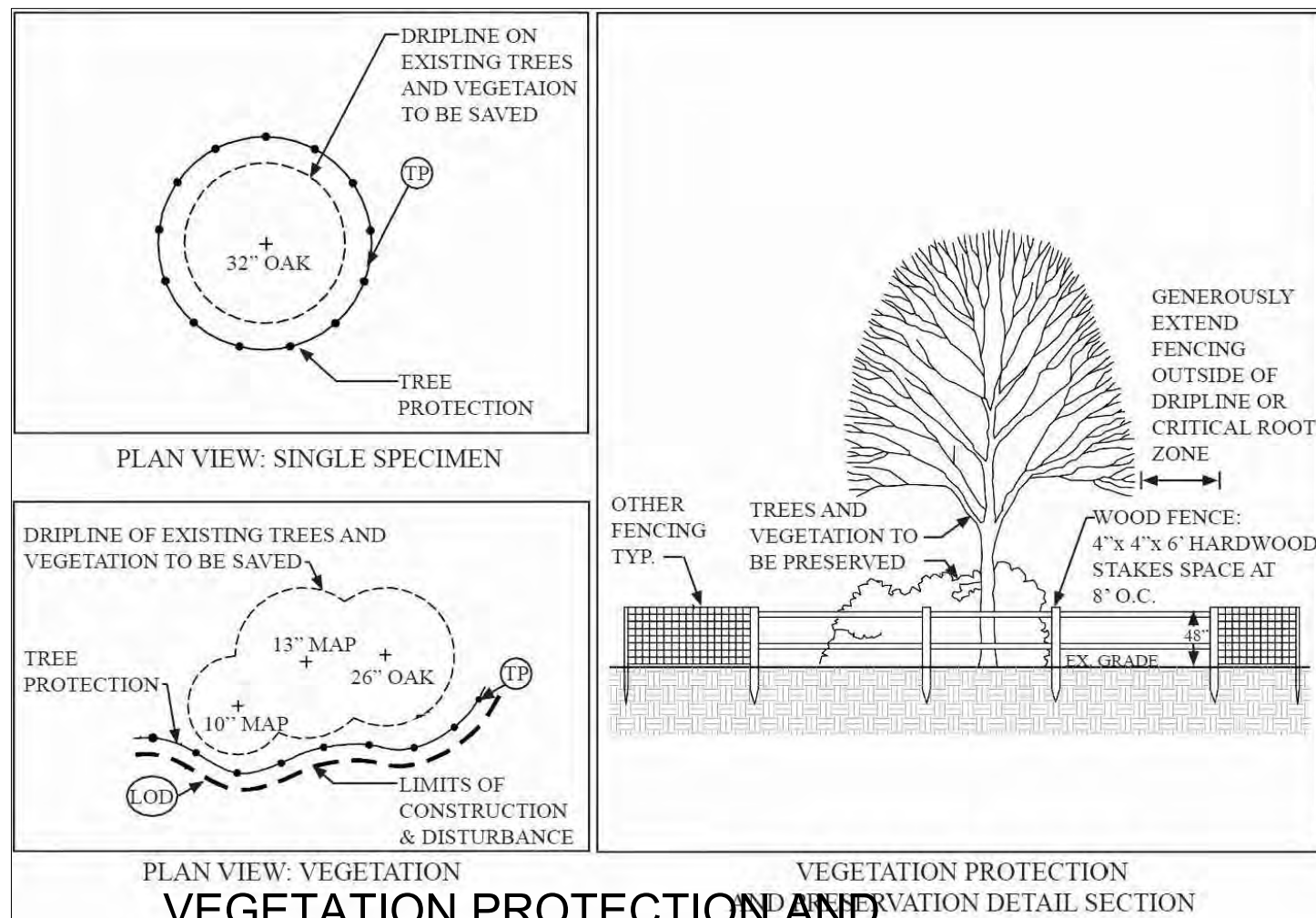
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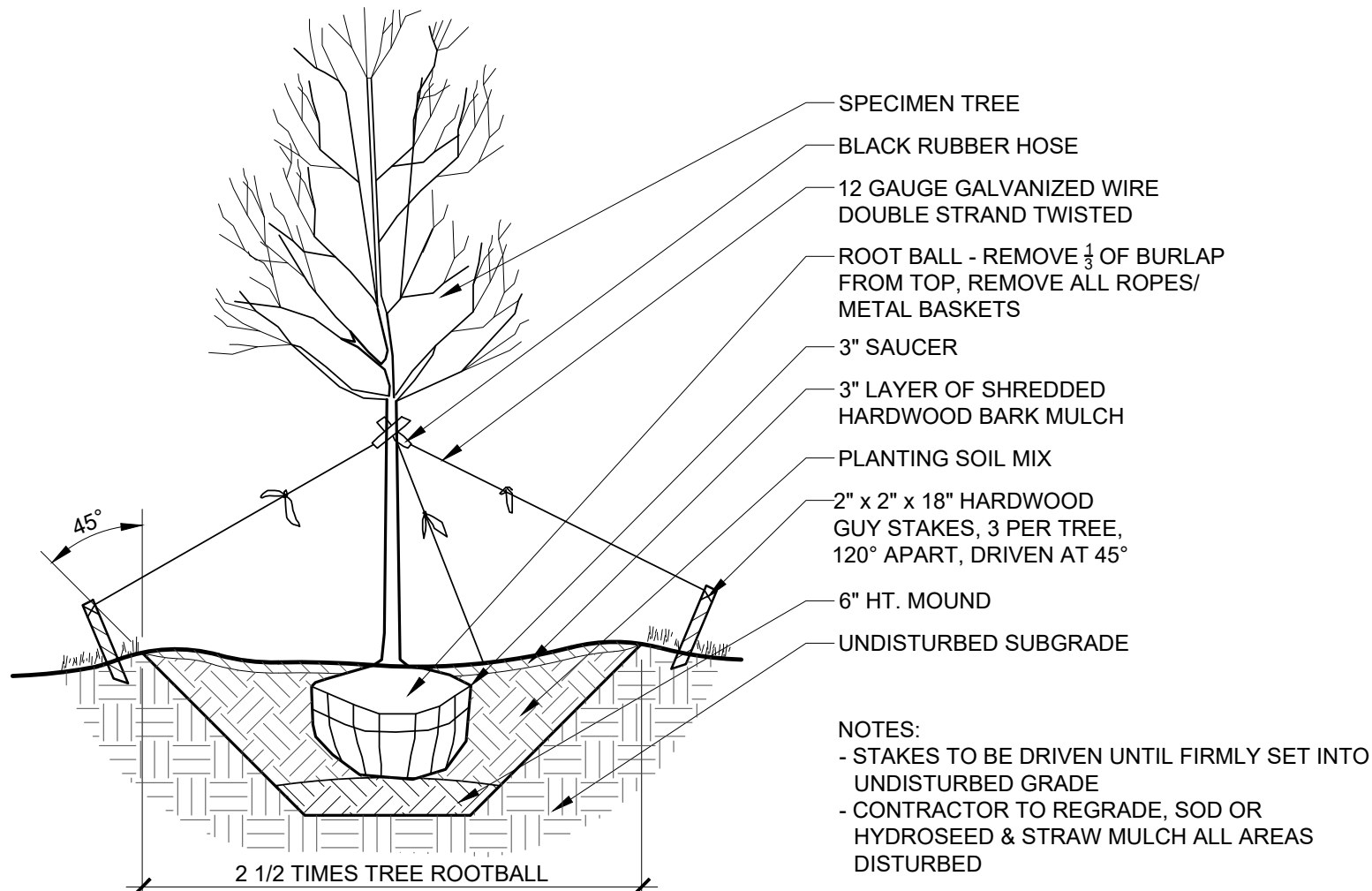
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DIRECTOR	DATE		
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN NO.			
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CHAIRMAN, PLANNING COMMISSION			
DATE RECORDED			
INSTRUMENT NO.	SEED BOOK NO.		DATE



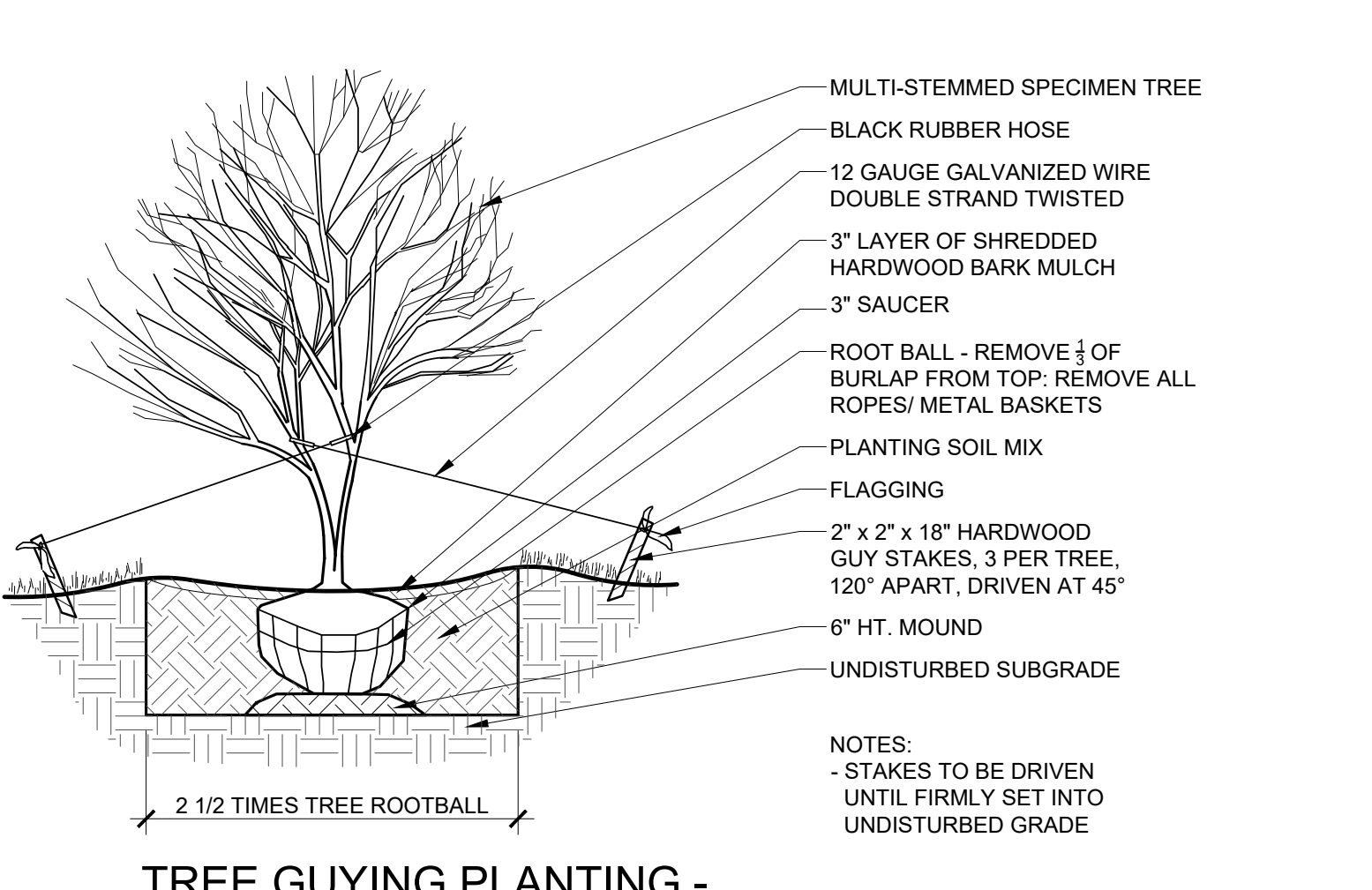
1 TREE PLANTING DETAIL SECTION
Scale: 1/2" = 1'-0"



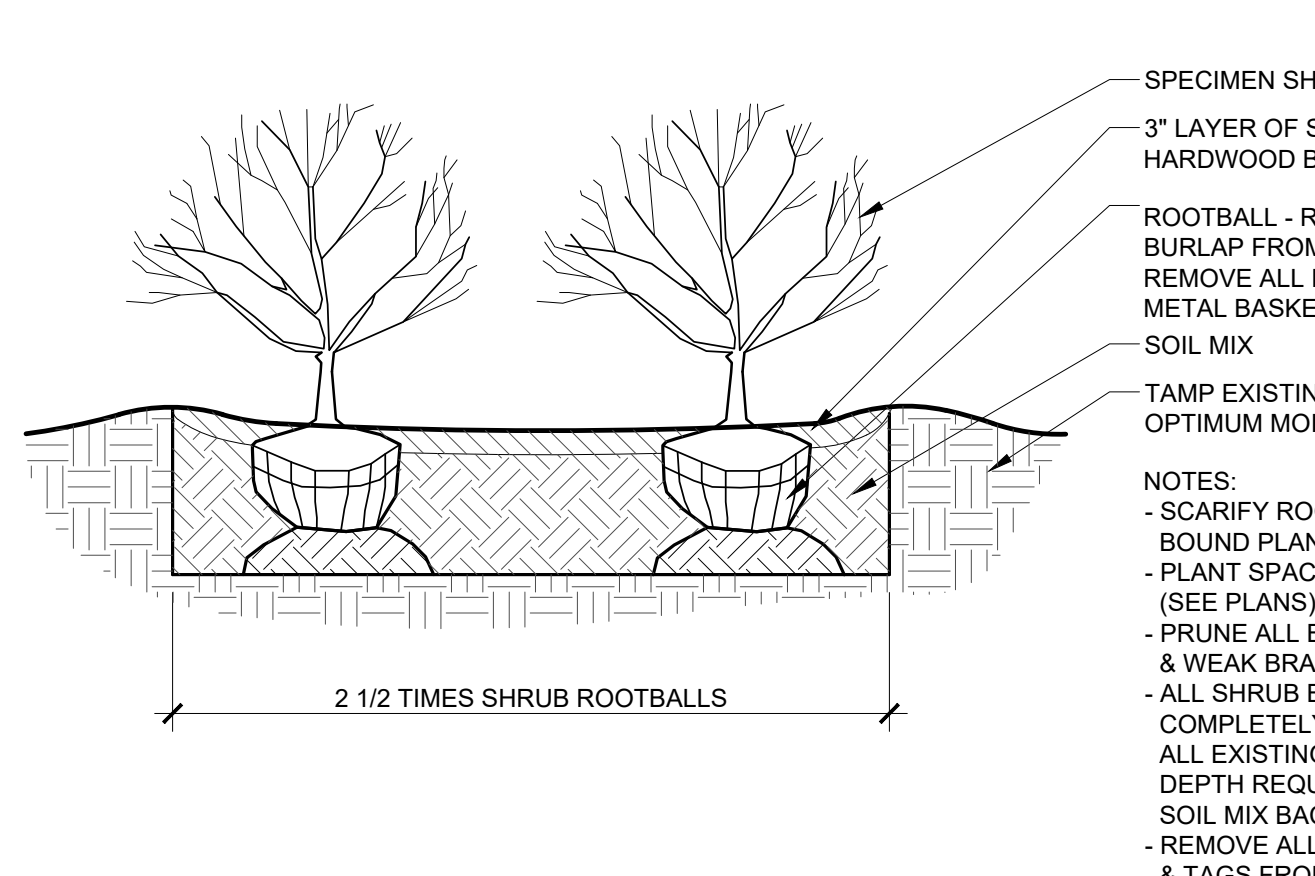
2 VEGETATION PROTECTION AND PRESERVATION DETAIL SECTION
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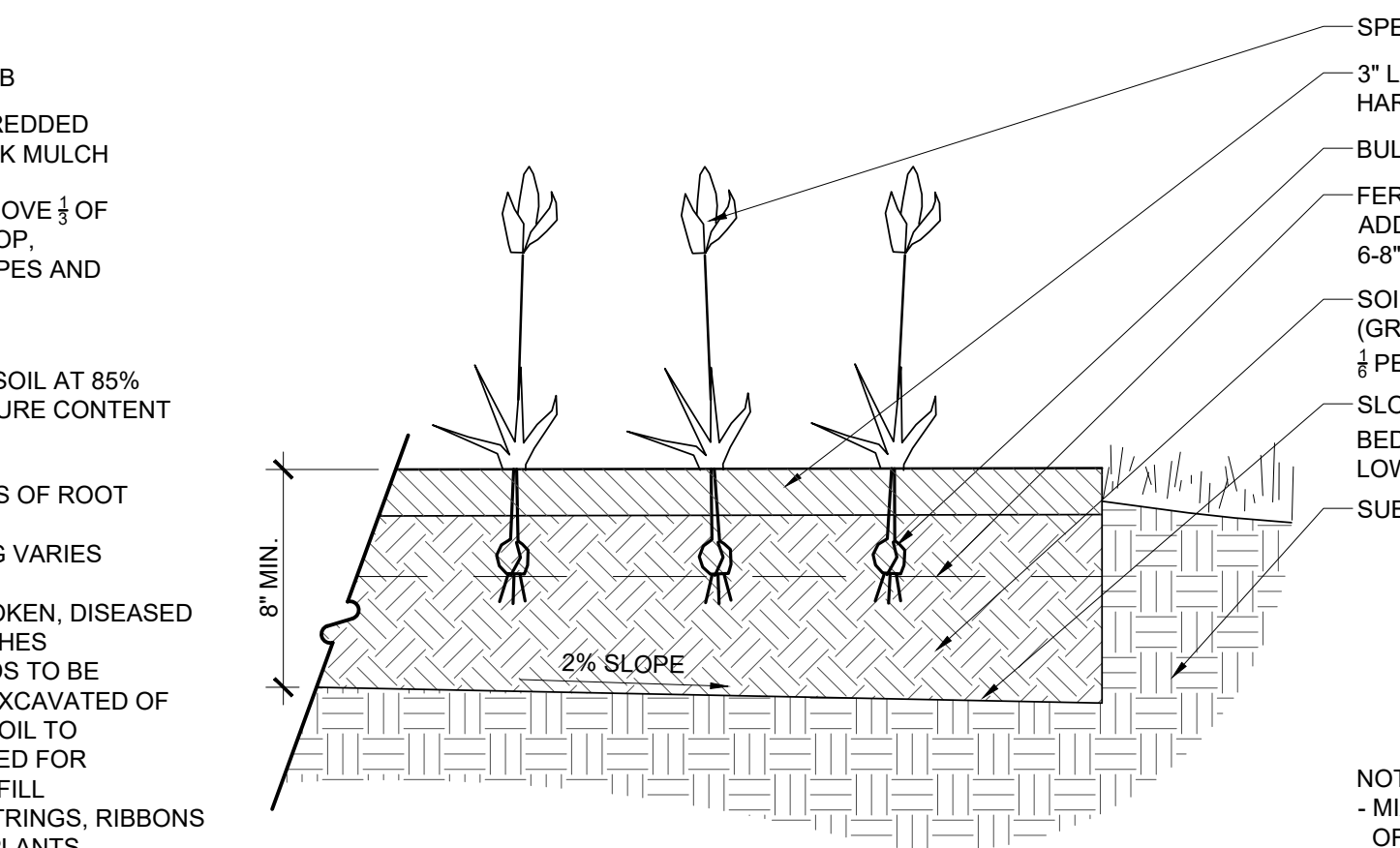
3 TREE GUYING PLANTING - SPECIMEN TREE SECTION
Scale: 1/4" = 1'-0"



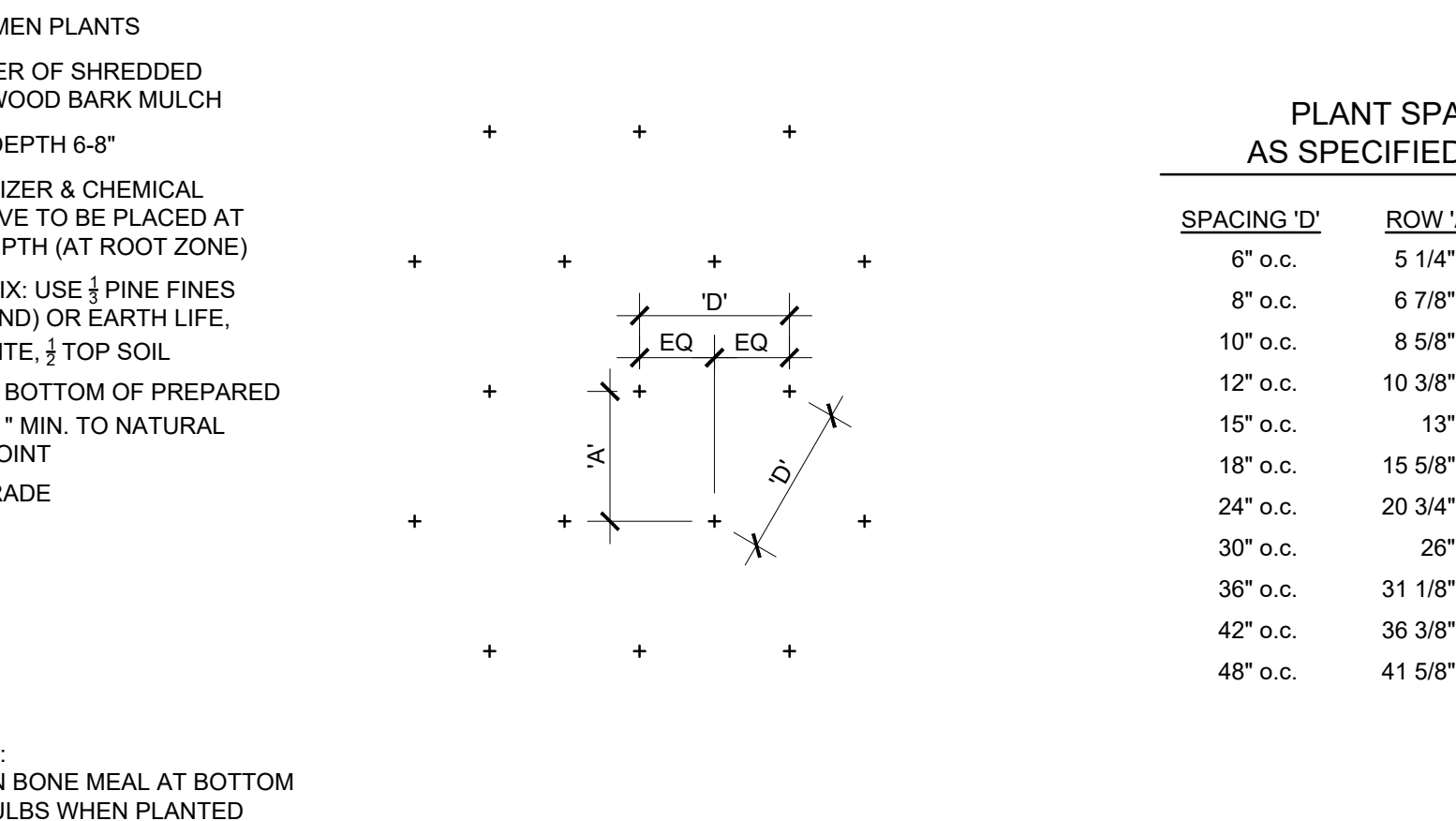
4 TREE GUYING PLANTING - MULTI-STEMMED SECTION
Scale: 1/4" = 1'-0"



5 SHRUB PLANTING SECTION
Scale: 1/2" = 1'-0"



6 ANNUAL & PERENNIAL PLANTING SECTION
Scale: 1" = 1'-0"



7 TRIANGULAR SPACING FOR SHRUBS - GROUND COVERS - BULBS AND PERENNIALS SECTION
Scale: 1" = 1'-0"

PLANTING MIX NOTES:

- THE RECOMMENDED PLANTING MEDIUM SHOULD CONTAIN GOOD TOP SOIL THAT WILL SUSTAIN PLANT GROWTH.
- THE TOP SOIL SHALL NOT BE LACKING IN POTASSIUM, PHOSPHORUS, MAGNESIUM OR CALCIUM. THE TOP SOIL SHALL NOT CONTAIN ANY MATERIALS TOXIC TO PLANT GROWTH.
- THE TOP SOIL SHALL BE A SANDY CLAY LOAM OR A SILTY CLAY LOAM WITH WELL AGGREGATED CLAYS AND A MINIMUM OF 4% (FOUR PERCENT) ORGANIC MATTER.
- THE SOILS PH RANGE SHOULD BE WITHIN 5.5 TO 7.0 AND ADJUSTED AS NECESSARY FOR INDIVIDUAL PLANT SPECIES REQUIREMENTS.
- A SOIL TEST SHALL BE PERFORMED BY A FULL-SERVICE TESTING COMPANY AND THE RESULTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANTING MEDIUM.
- IF A LOCAL REPUTABLE TESTING COMPANY CANNOT BE EMPLOYED, A&L LABS IS AVAILABLE TO CONDUCT THE TESTING. CONTACT THEM AT: A&L ANALYTICAL LABORATORIES, INC. 2790 WHITTEN ROAD MEMPHIS, TN 38133 1-800-264-4522
- THE LAB SHALL PERFORM AN S1A TEST AND SUBMIT THE RESULTS TO STUDIO 39 LANDSCAPE ARCHITECTURE, PC.

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS' REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS; AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL SORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES, SHRUBS, GROUND COVER AND PERENNIALS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI Z60 'AMERICAN STANDARD FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK-FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND IF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND GREATER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES SHALL NOT BE CUT BACK. LONG SIDES BRANCHES SHALL BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 6" AND GREATER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF MULCH.
- NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- ALL PLANTS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD. TREES, SHRUBS, VINES AND GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING AUTHORITIES SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS: LAWNS: 03/15 TO 05/15 AND 09/15 TO 12/01. THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON: ACER RUBRUM POPULUS SPP., BETULA SPP., PRUNUS SPP., CARPINUS SPP., PYRUS SPP., CRATEGEUS SPP., QUERCUS SPP., KOELREUTERIA PANICULATA SALIX SPP., LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA; LIRODENDRON TULIPIFERA ZELKOVA; PLATANUS ACERIFOLIA; ANY PLANTING INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. PLANTINGS ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
- ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL, SODDED OR SEEDED AS NOTED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING SHRUBS AND GROUND COVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL LAYOUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
- CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
- ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- SHRUBS AND GROUND COVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- TREES SHALL BE LOCATED A MINIMUM OF 3' - 4' FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS' LIABILITY TO RELOCATE MATERIALS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
- TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. REMOVE BURLAP IF IT IS NON-BIODEGRADABLE. FOR "STREET" TREES TAGS, TWINE, CORD, BURLAP AND WIRE BASKET TO BE CUT 12" DOWN SIDE OF ROOT BALL AND REMOVED FROM PROJECT SITE.
- SHRUBS AND GROUND COVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER. IF CONTRACTOR FAILS TO SUBMIT A WRITTEN REQUEST, IT WILL RESULT IN LIABILITY TO THE CONTRACTOR.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY, ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS DAILY DURING INSTALLATION.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS (ARTIFACTS) REMOVED FROM THE JOB SITE. A COPY OF THE LIST IS TO BE SUBMITTED TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES ARE REQUIRED.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATIONS GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

ARCHAEOLOGY NOTES

- THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT A MONITORING AND INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALLS WELL, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.
- ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

PLANTING NOTES (CONT.)

- ALL MATERIALS' SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

APPROVED
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

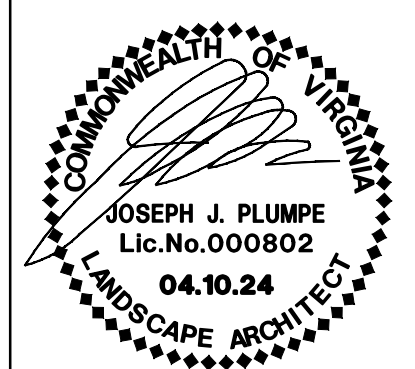
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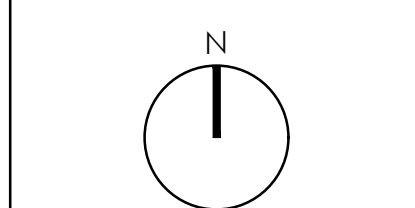


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PROJECT NUMBER: 23045
CONTACT: D. DOVE
DRAWN: EF
APPROVED/CHECKED: DD

ORIENTATION AND SCALE



SCALE: AS SHOWN

SHEET TITLE
LANDSCAPE NOTES & DETAILS

SHEET NUMBER

L4.02

PRELIMINARY PLAN

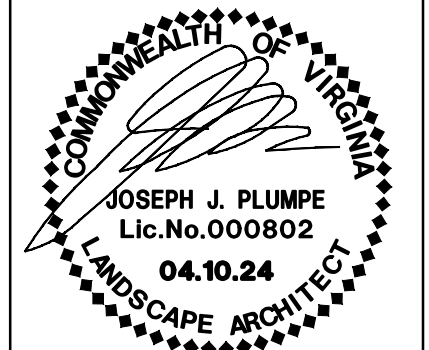
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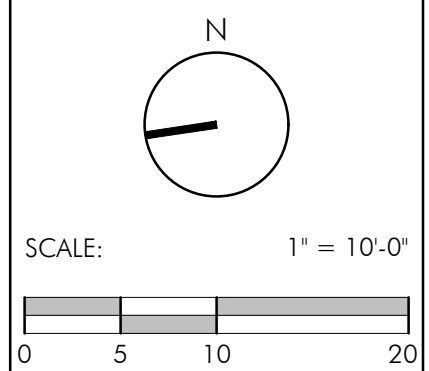
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DRAWN: EF
APPROVED/CHECKED: DD

ORIENTATION AND SCALE



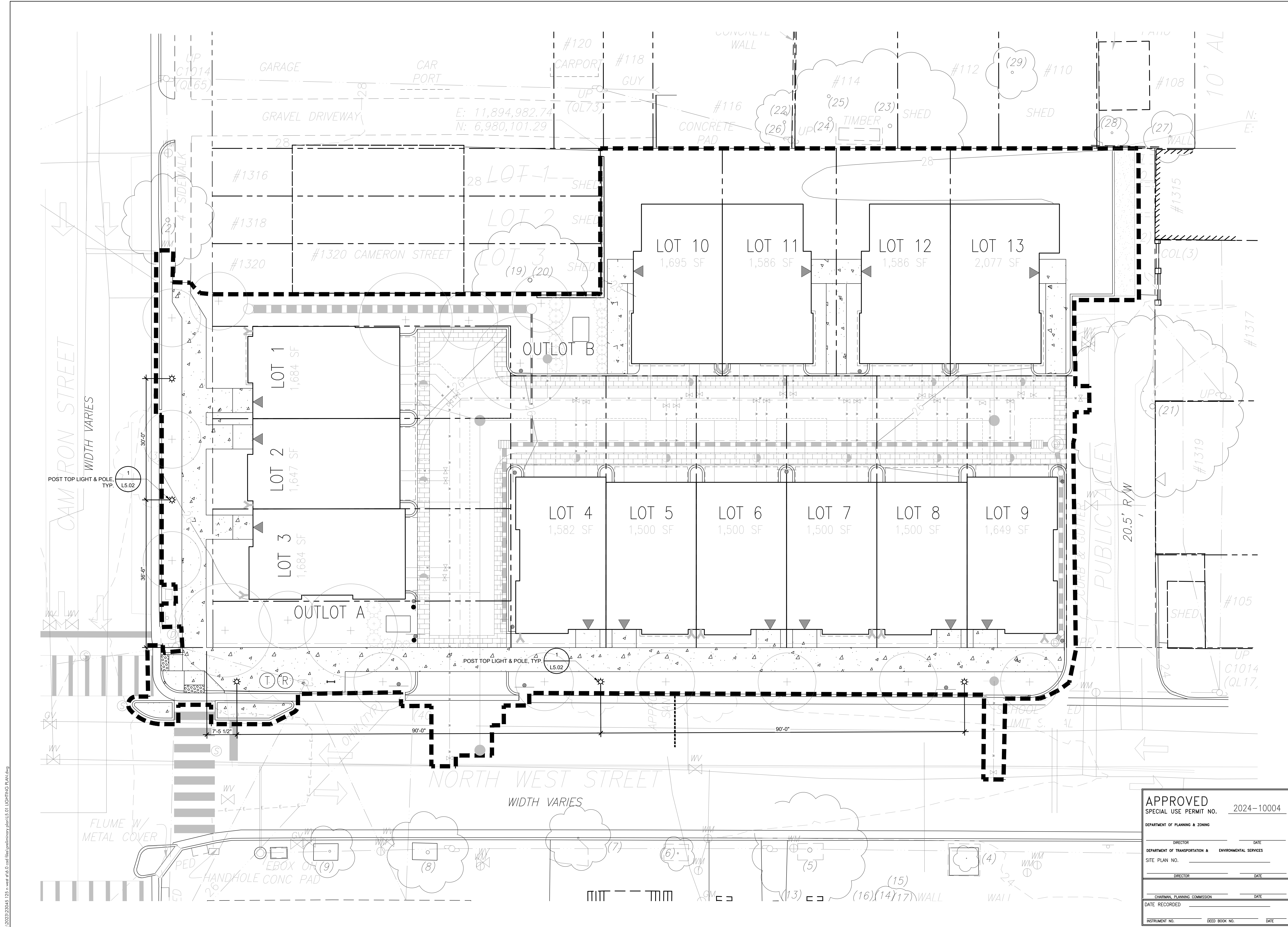
SHEET TITLE
LIGHTING PLAN

SHEET NUMBER

L5.01

PRELIMINARY PLAN

NOT RELEASED FOR CONSTRUCTION



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DEPARTMENT OF PLANNING & ZONING

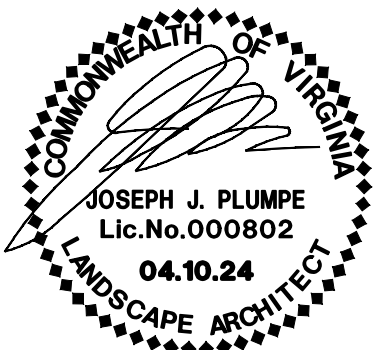
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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ SEED BOOK NO. _____ DATE _____

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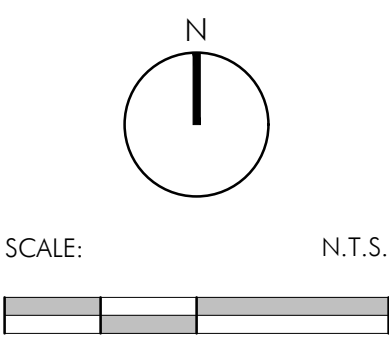


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ORIENTATION AND SCALE



SHEET TITLE
LIGHTING INFORMATION

SHEET NUMBER

L5.02

PRELIMINARY PLAN

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Color:
Black

Note: PO complete fixture & tested 120V only operation

Ordering Guide:
CS1292C LUMINAIRE
Modifications: FAWS switch, custom eagle finial, LED frosted material panes.
CS1292C3R TOP BANNER ARM
CS1292C3R BOTTOM BANNER ARM
Modifications: Color (black) not to fit around pole.
CS1292C3R POLE ASSEMBLY

TOP BANNER ARM:
18" L.S. ALUMINUM TUBING W/ CAST ALUMINUM BALL CAP ATTACHED TO 4" CLAMP COLLAR

BOTTOM BANNER ARM:
MODIFIED 18" L.S. ALUMINUM TUBING W/ CAST ALUMINUM BALL CAP ATTACHED TO 4" CLAMP COLLAR. COLLAR MILED OUT TO FIT AROUND POLE.

POLE ASSEMBLY:
MODIFIED, 5" - 4" ROUND TAPERED FLUTED ALUMINUM MODIFIED W/ 3" O.D. TENON, 0.188" WALL THICKNESS, 1/2" OUTLET W/ IN-USE COVER (see Pole Orientation detail for location), CAST ALUMINUM BASE W/ ACCESS DOOR

Pole Orientation

Note: Pole orientation for drawing purposes only, pour concrete per anchor rod template #T01000071

BASE TEMPLATE
#T01000071

Luminaire Details
Scale 1:16

PHILIPS LED Driver
Bottom View

Color: BLACK

Panel: LED FROSTED MATERIAL

Photo Control: PHOTO-LOCK HEADSPACE

Dimming Control: NONE

Philips LED Driver Specifications:
- 80, 3000h (mean) Philips Luminaire Luminaires T-LEDs, typical 75 Color Rendering Index (CRI), >100,000 hours of operational life (at 25°C ambient temperature & 70% Lumen maintenance), Injection molded type 3 optical plastic, frosted LED module.
- Integral Philips advance Xitanium LED driver (mounted in roof), class 1, IP65 rated, 300mA, 0-10V dimming, 100V/120 VAC, 50-60Hz, field replaceable 10kV/10kA surge suppression.
- Field Adjustable Heritage Switch (FAWS), (mounted in roof).

FINISH POSITION	LUMENS	SYSTEM WATTAGE
1	3527	38
2	2670	43
3	4282	49
4	5255	57
5	5461	66
6	3147	69
7	6524	74
8	6201	77
9	8208	83
10	6524	83

Factory set to position 10
Tolerance ±3%

UL Listing Certification:
- ETL & ETC listed to U.S. & Canadian safety standards for wet locations, manufactured to ISO 9001:2008 Standards, laminate photovoltaic testing performed in accordance with IEC61646-21 standards.

PHILIPS HANCO

100 Craftway Drive
Littleton, CO 80120
Phone: 800-331-4185
Fax: 717-359-9288
www.philips.com

JOB INFO:
City of Alexandria
- Historical District

DESIGNER:
H. Kuhn

DATE: 12/01/15

SCALE: 1:20

PROJECT NUMBER: C1292C3R-DW007

BY: DePorter, Dominick

REV. # **DATE:** 17-024

BY: SMK **DATE:** 11/13/17

HISTORIC LED FIXTURE & POLE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
ALEXANDRIA, VIRGINIA

REVISION	DATE
CSHL-1	
PAGE 72	

1
L5.02

POST TOP LIGHT & POLE

Scale: N.T.S.

SECTION

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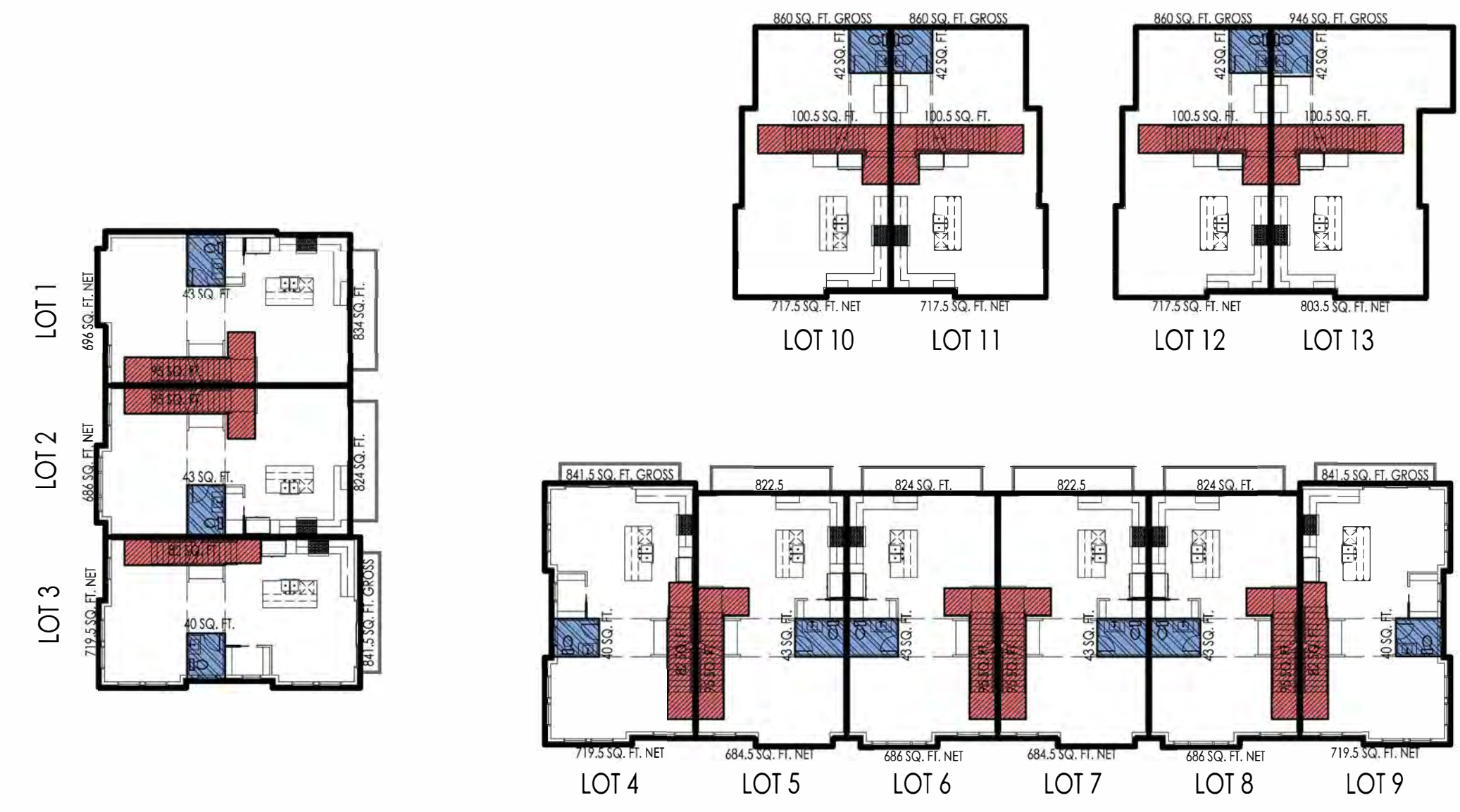
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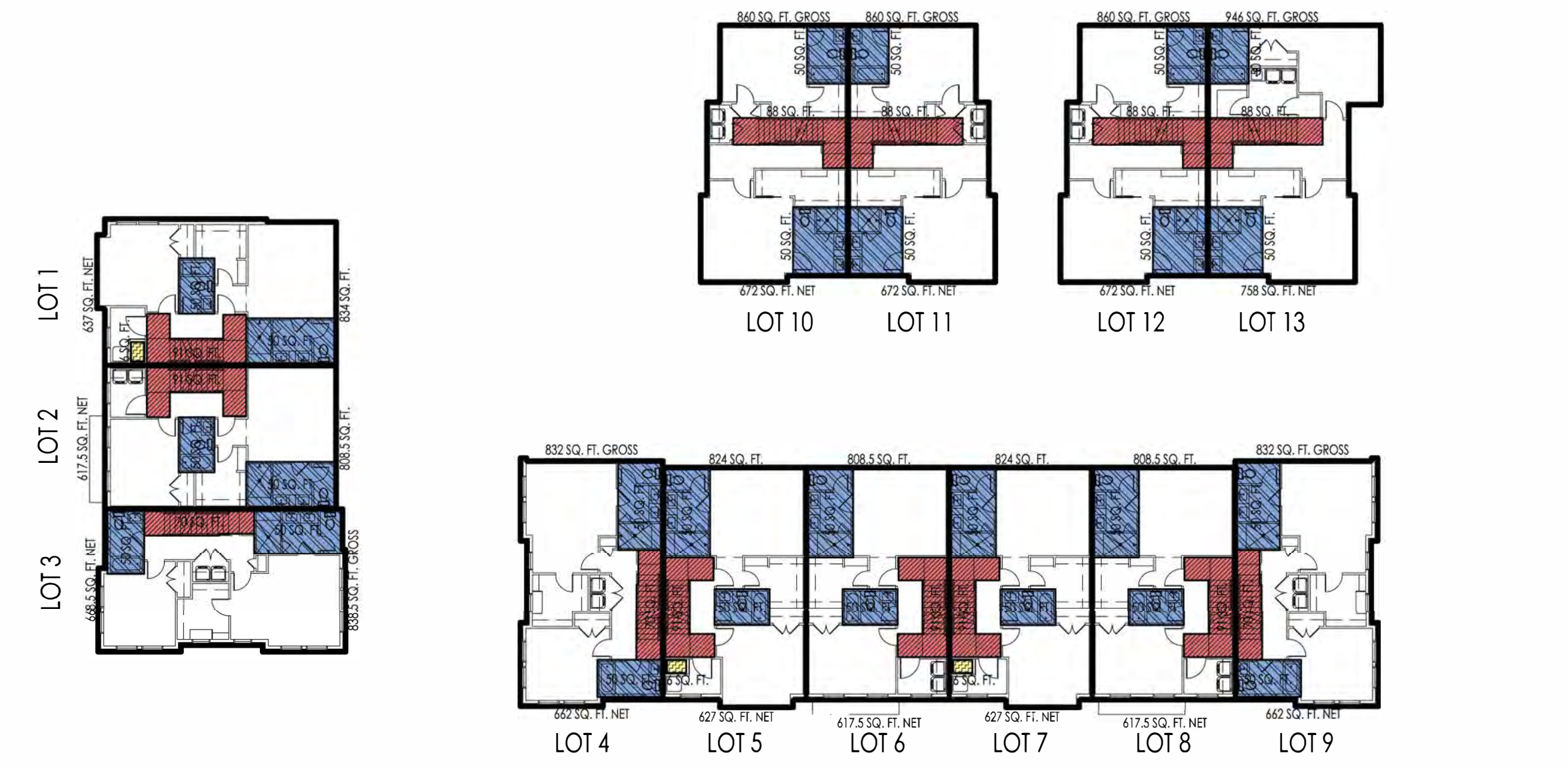
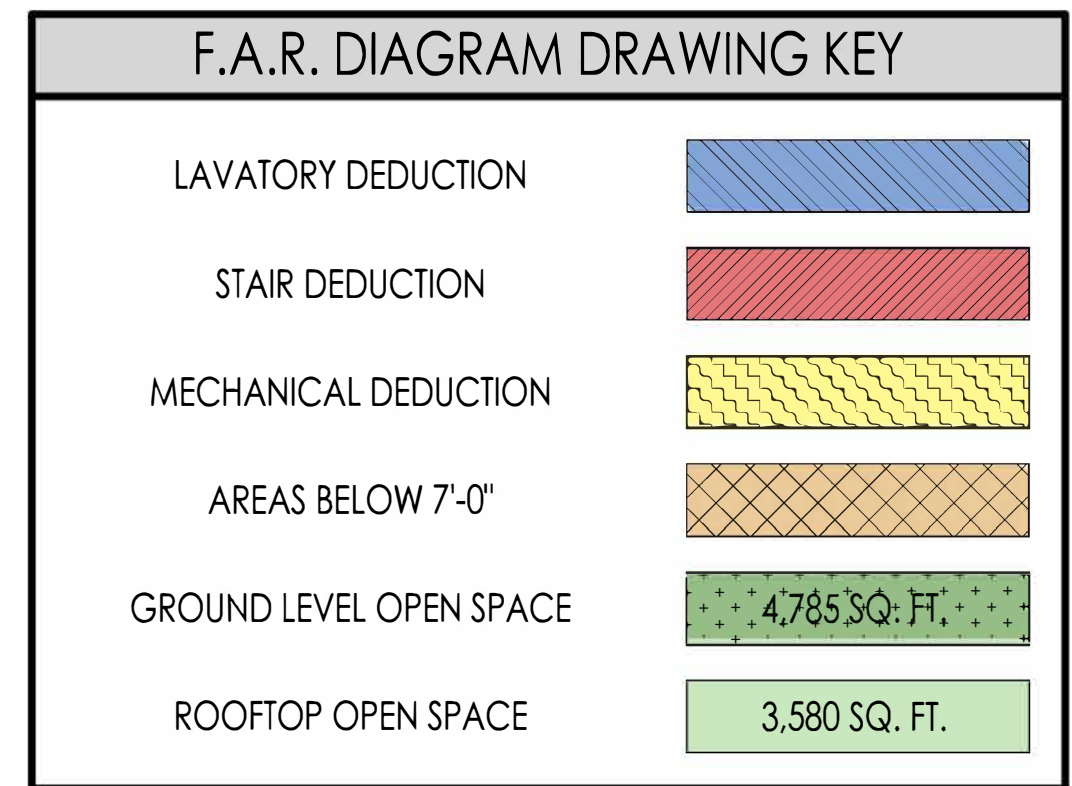


NORTH WEST STREET TOWNHOMES - FIRST FLOOR PLAN F.A.R. DIAGRAMS
SCALE: 1:20

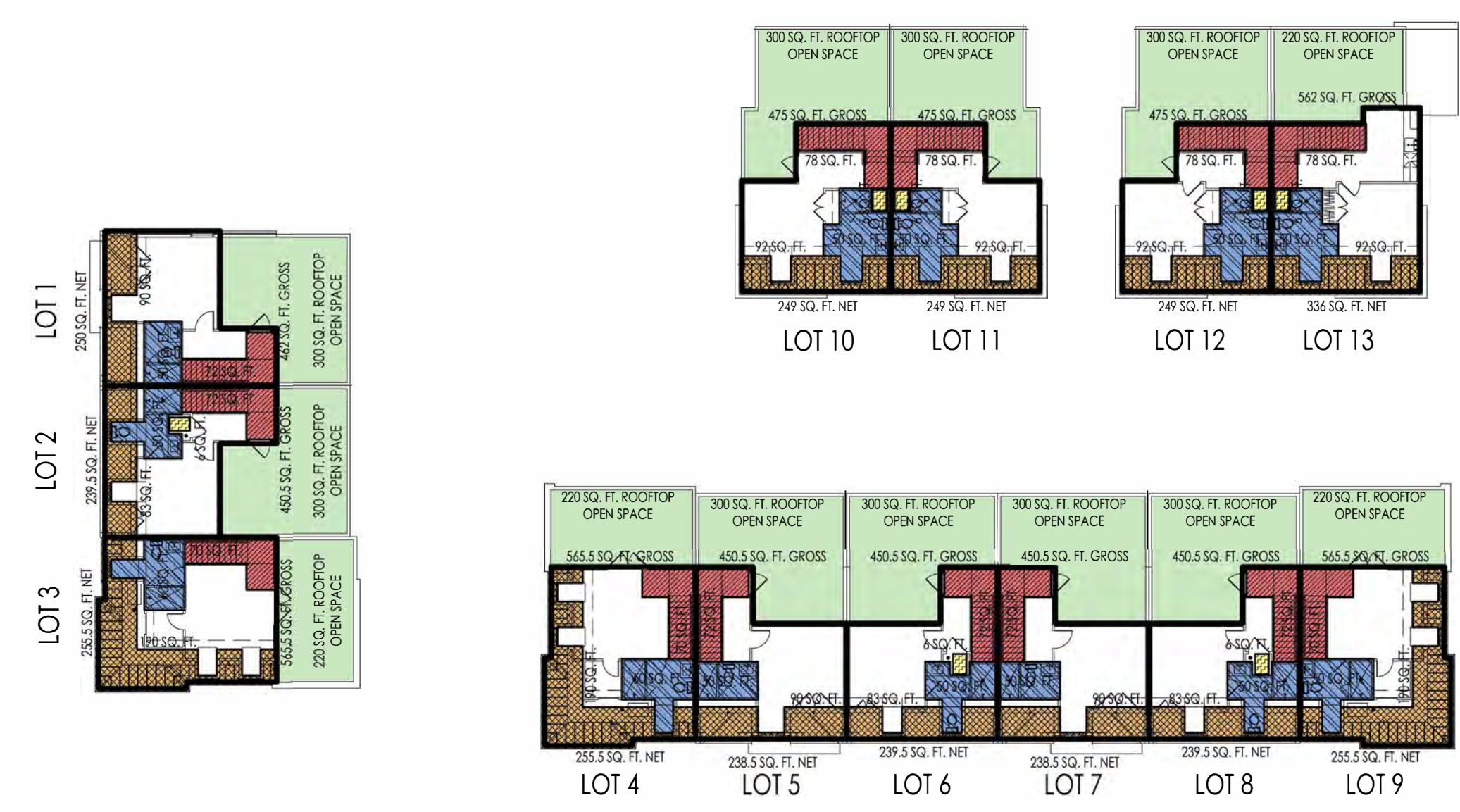


NORTH WEST STREET TOWNHOMES - SECOND FLOOR PLAN F.A.R. DIAGRAMS
SCALE: 1:20

N. WEST STREET TOWNHOMES - F.A.R. BREAKDOWN (PER LOT)				
LOT #	LOT AREA	GROSS AREA	NET AREA	ALLOWABLE AREA (NET)
LOT 1	1,684 SQ. FT.	2,970 SQ. FT.	2,350 SQ. FT.	1,684 SQ. FT. x 1.5 = 2,526 SQ. FT.
LOT 2	1,647 SQ. FT.	2,910.5 SQ. FT.	2,250 SQ. FT.	1,647 SQ. FT. x 1.5 = 2,470.5 SQ. FT.
LOT 3	1,684 SQ. FT.	3,087 SQ. FT.	2,450 SQ. FT.	1,684 SQ. FT. x 1.5 = 2,526 SQ. FT.
LOT 4	1,582 SQ. FT.	3,080.5 SQ. FT.	2,350 SQ. FT.	1,582 SQ. FT. x 1.5 = 2,373 SQ. FT.
LOT 5	1,500 SQ. FT.	2,923 SQ. FT.	2,250 SQ. FT.	1,500 SQ. FT. x 1.5 = 2,250 SQ. FT.
LOT 6	1,500 SQ. FT.	2,911 SQ. FT.	2,250 SQ. FT.	1,500 SQ. FT. x 1.5 = 2,250 SQ. FT.
LOT 7	1,500 SQ. FT.	2,923 SQ. FT.	2,250 SQ. FT.	1,500 SQ. FT. x 1.5 = 2,250 SQ. FT.
LOT 8	1,500 SQ. FT.	2,911 SQ. FT.	2,250 SQ. FT.	1,500 SQ. FT. x 1.5 = 2,250 SQ. FT.
LOT 9	1,649 SQ. FT.	3,080.5 SQ. FT.	2,350 SQ. FT.	1,649 SQ. FT. x 1.5 = 2,473.5 SQ. FT.
LOT 10	1,695 SQ. FT.	3,044.5 SQ. FT.	2,379 SQ. FT.	1,695 SQ. FT. x 1.5 = 2,542.5 SQ. FT.
LOT 11	1,586 SQ. FT.	3,044.5 SQ. FT.	2,379 SQ. FT.	1,586 SQ. FT. x 1.5 = 2,379 SQ. FT.
LOT 12	1,586 SQ. FT.	3,044.5 SQ. FT.	2,379 SQ. FT.	1,586 SQ. FT. x 1.5 = 2,379 SQ. FT.
LOT 13	2,077 SQ. FT.	3,390 SQ. FT.	3,000 SQ. FT.	2,077 SQ. FT. x 1.5 = 3,115.5 SQ. FT.



NORTH WEST STREET TOWNHOMES - THIRD FLOOR PLAN F.A.R. DIAGRAMS
SCALE: 1:20



NORTH WEST STREET TOWNHOMES - LOFT PLAN F.A.R. DIAGRAMS
SCALE: 1:20



NORTH WEST STREET TOWNHOMES
125 NORTH WEST STREET ALEXANDRIA, VA 22314

F.A.R. AND OPEN SPACE CALCULATIONS / DIAGRAMS



REVISIONS		

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DEPARTMENT OF PLANNING & ZONING

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DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

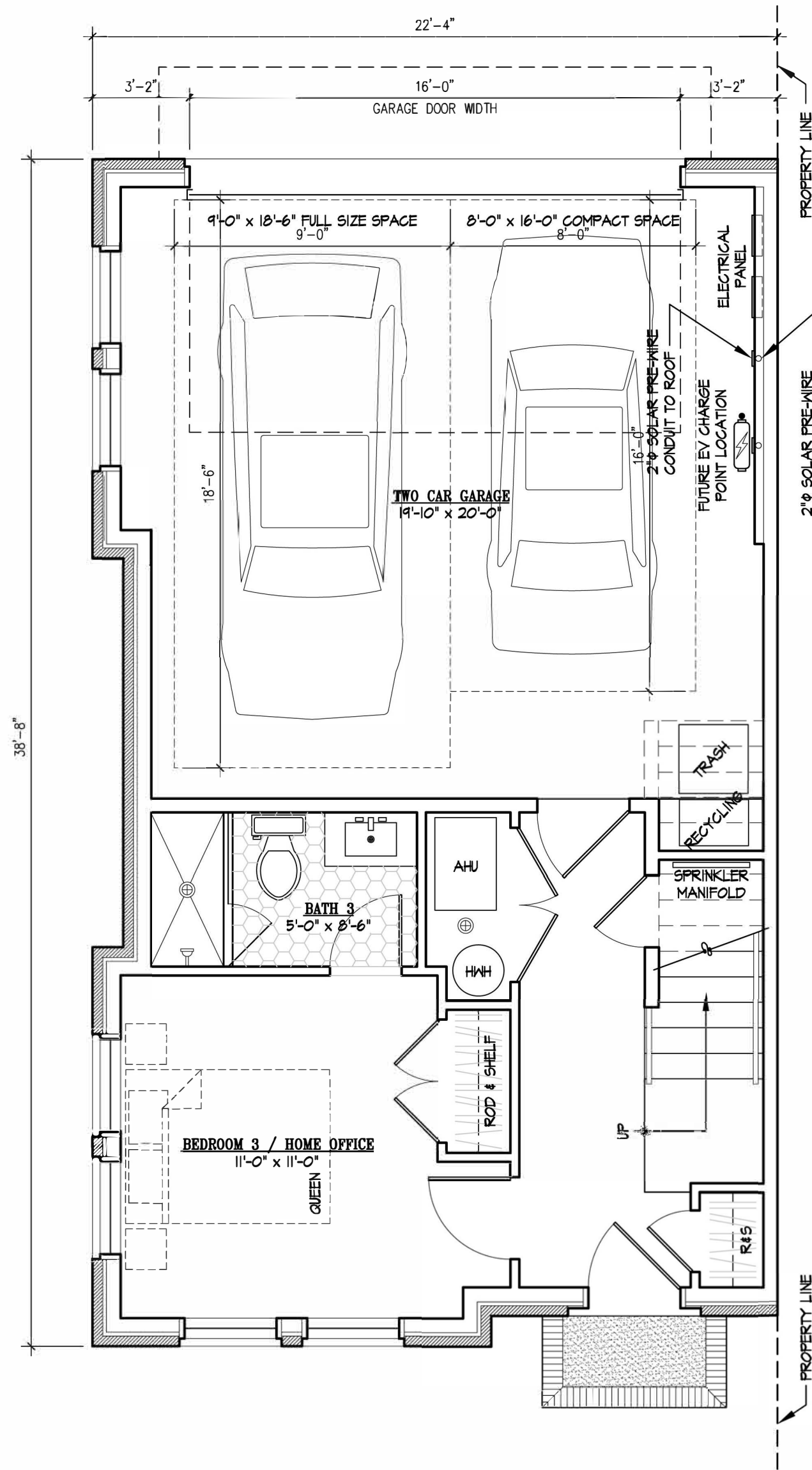
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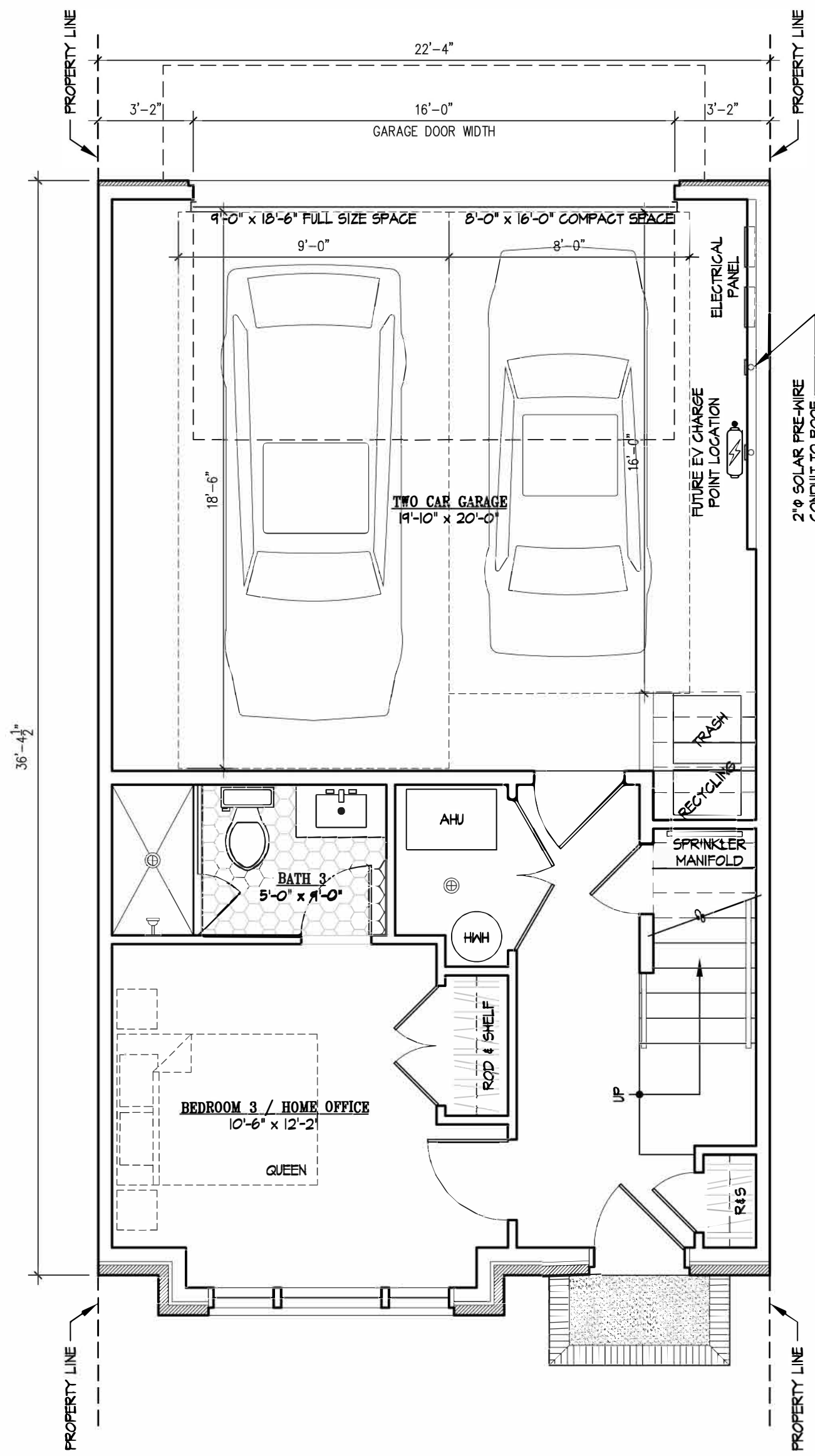
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DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	

SHEET NUMBER
Z1

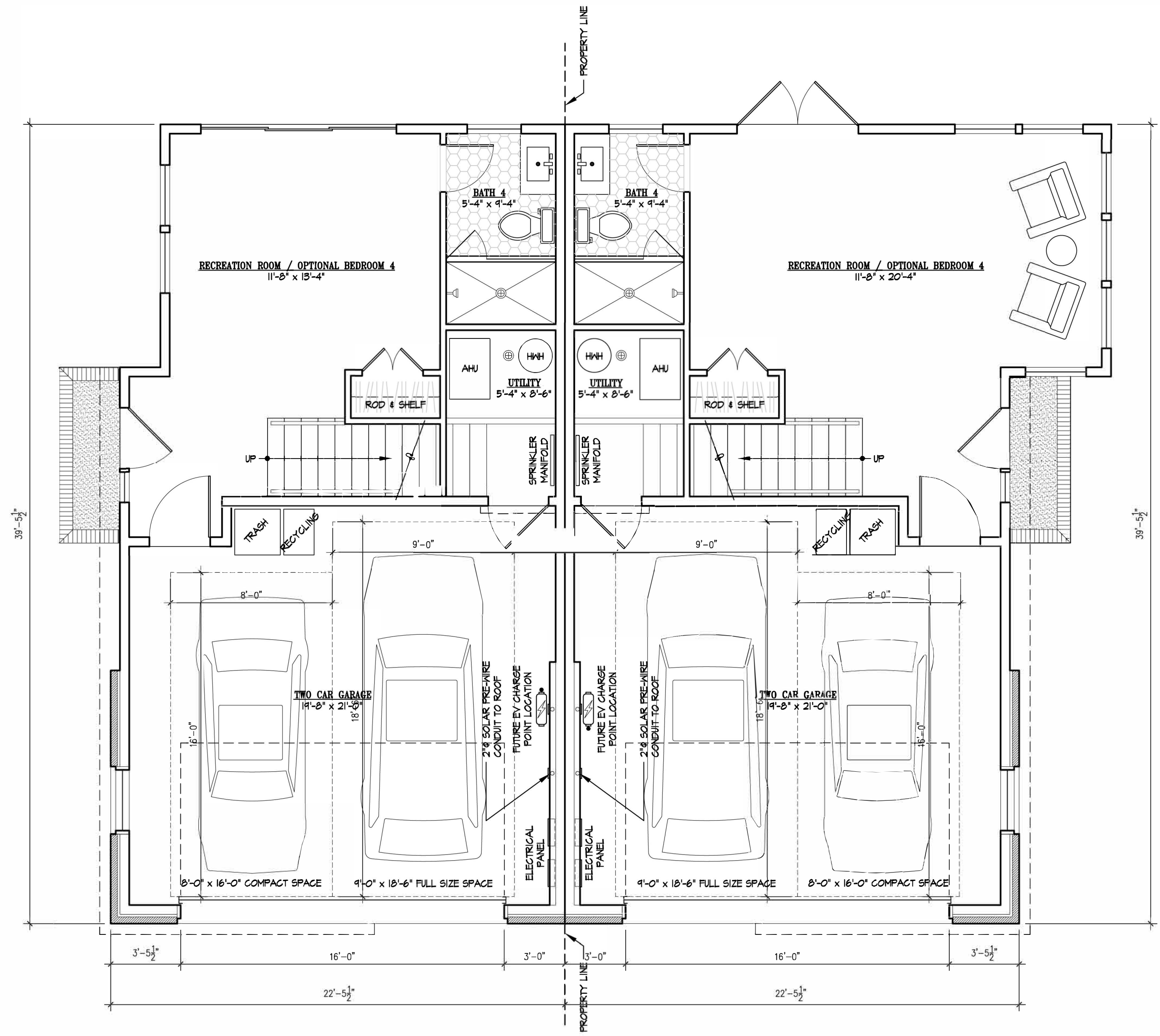
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TYPICAL END UNIT (LOTS 3, 4 AND 9) - 1ST FLOOR / GARAGE PLAN
SCALE: 1/4" = 1'-0"

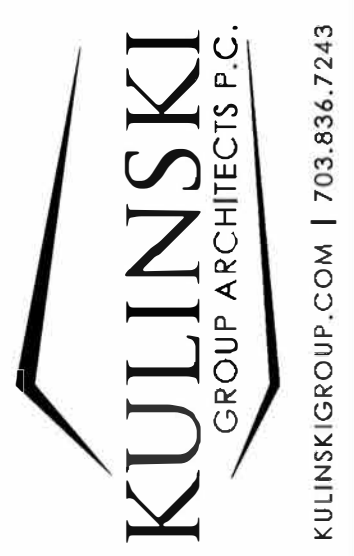


TYPICAL INTERIOR UNIT (LOTS 1, 2, AND 5-8) - 1ST FLOOR / GARAGE PLAN
SCALE: 1/4" = 1'-0"



TYPICAL SEMI-DETACHED UNITS (LOTS 10-13) - 1ST FLOOR / GARAGE PLAN
SCALE: 1/4" = 1'-0"

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DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED	DATE	
INSTRUMENT NO.	DEED BOOK NO.	DATE



NORTH WEST STREET TOWNHOMES
125 NORTH WEST STREET ALEXANDRIA, VA 22314

TYPICAL UNIT TYPE 1ST FLOOR / GARAGE PLANS



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
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MODEL VIEW A - NORTH WEST STREET LOOKING NORTHEAST
N.T.S.



MODEL VIEW B - CAMERON STREET LOOKING SOUTHWEST
N.T.S.



MODEL VIEW C - INTERSECTION OF CAMERON STREET AND NORTH WEST STREET LOOKING SOUTHEAST
N.T.S.



KEY PLAN - ELEVATION VIEW LOCATIONS
SCALE: 1" = 20'-0"

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DATE _____	DATE _____



NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314
 MODEL VIEWS



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PROJECT NUMBER	2347
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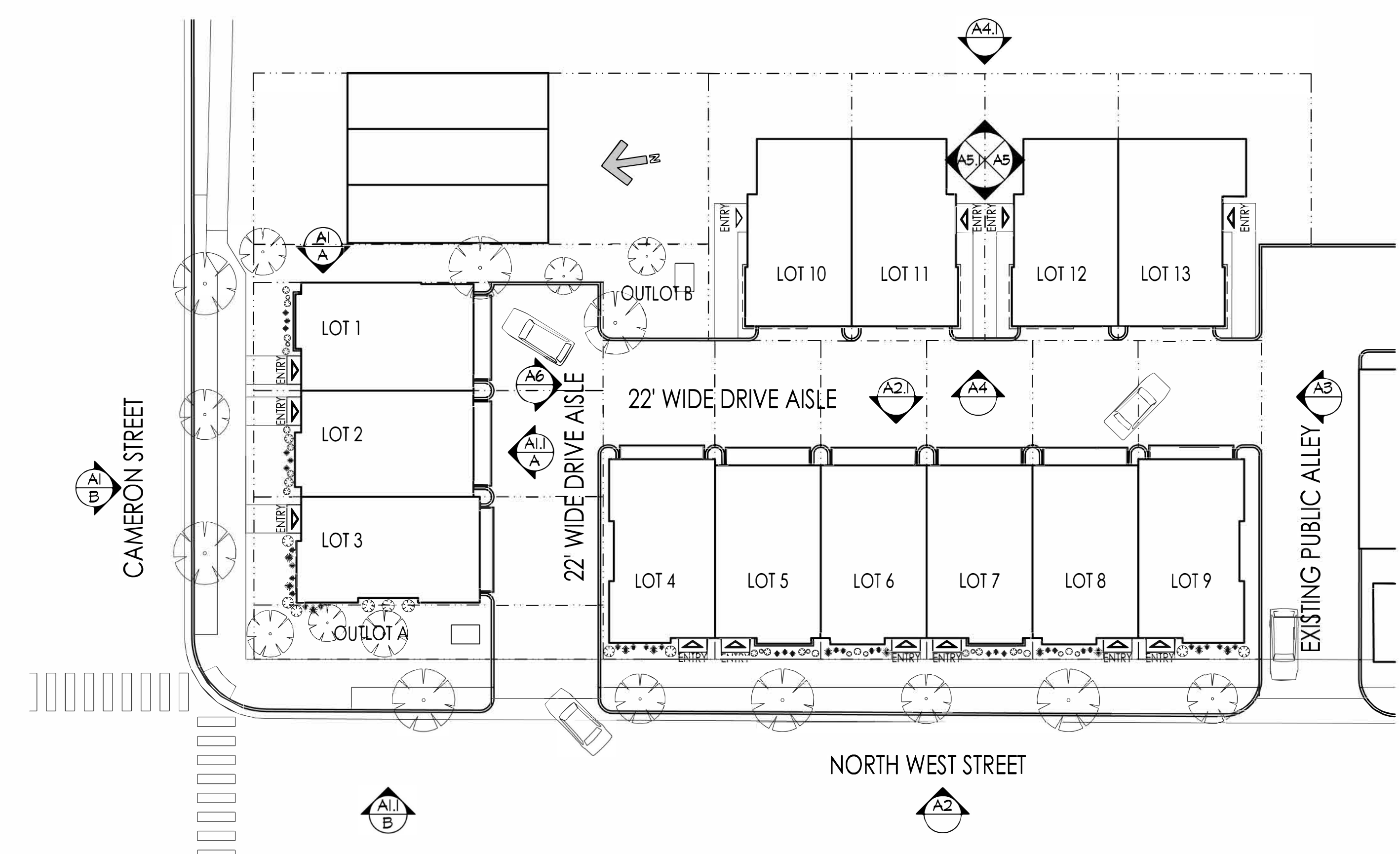
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CAMERON STREET - EAST ELEVATION (LOT 1)
 SCALE: 3/16" = 1'-0"



CAMERON STREET - STREETSCAPE ELEVATIONS (LOTS 1-3)
 SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS
 SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

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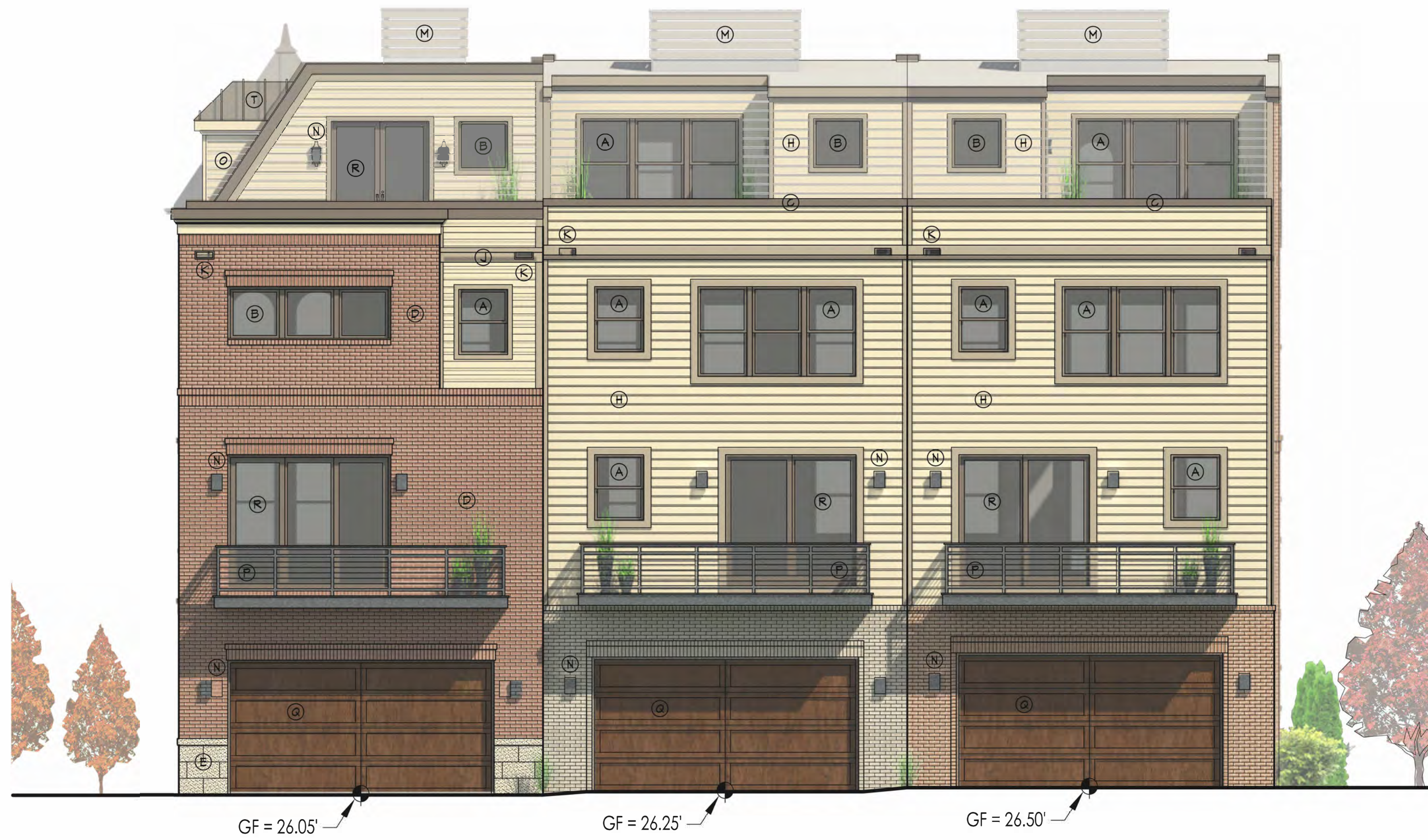
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REVISIONS		

PROJECT NUMBER	2341
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
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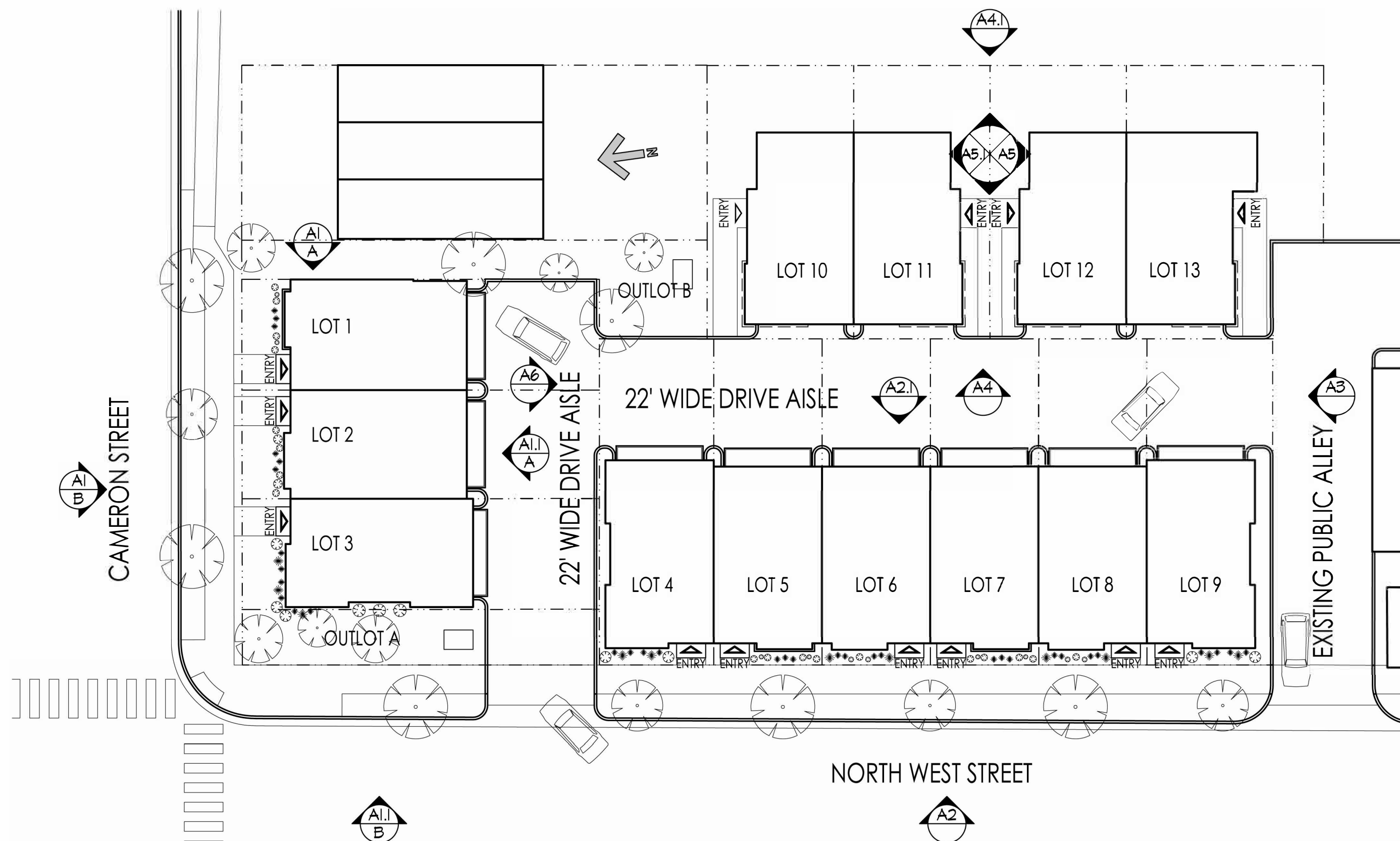
CAMERON STREET - REAR ELEVATIONS (LOTS 1-3 REAR)

SCALE: 3/16" = 1'-0"



CAMERON STREET UNITS - SIDE ELEVATION (LOT 3)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314
CAMERON STREET UNITS - / SIDE & REAR ELEVATIONS



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
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DESIGNED	JMB
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NORTH WEST STREET - STREETSCAPE ELEVATIONS (LOTS 4-9)
SCALE: 3/16" = 1'-0"

DRAWING KEY - MATERIAL TAGS

(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF



NORTH WEST STREET - STREETSCAPE ELEVATIONS (LOTS 3-9)
SCALE: 3/32" = 1'-0"

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REVISIONS

PROJECT NUMBER: 2347

DATE: 04/10/2024

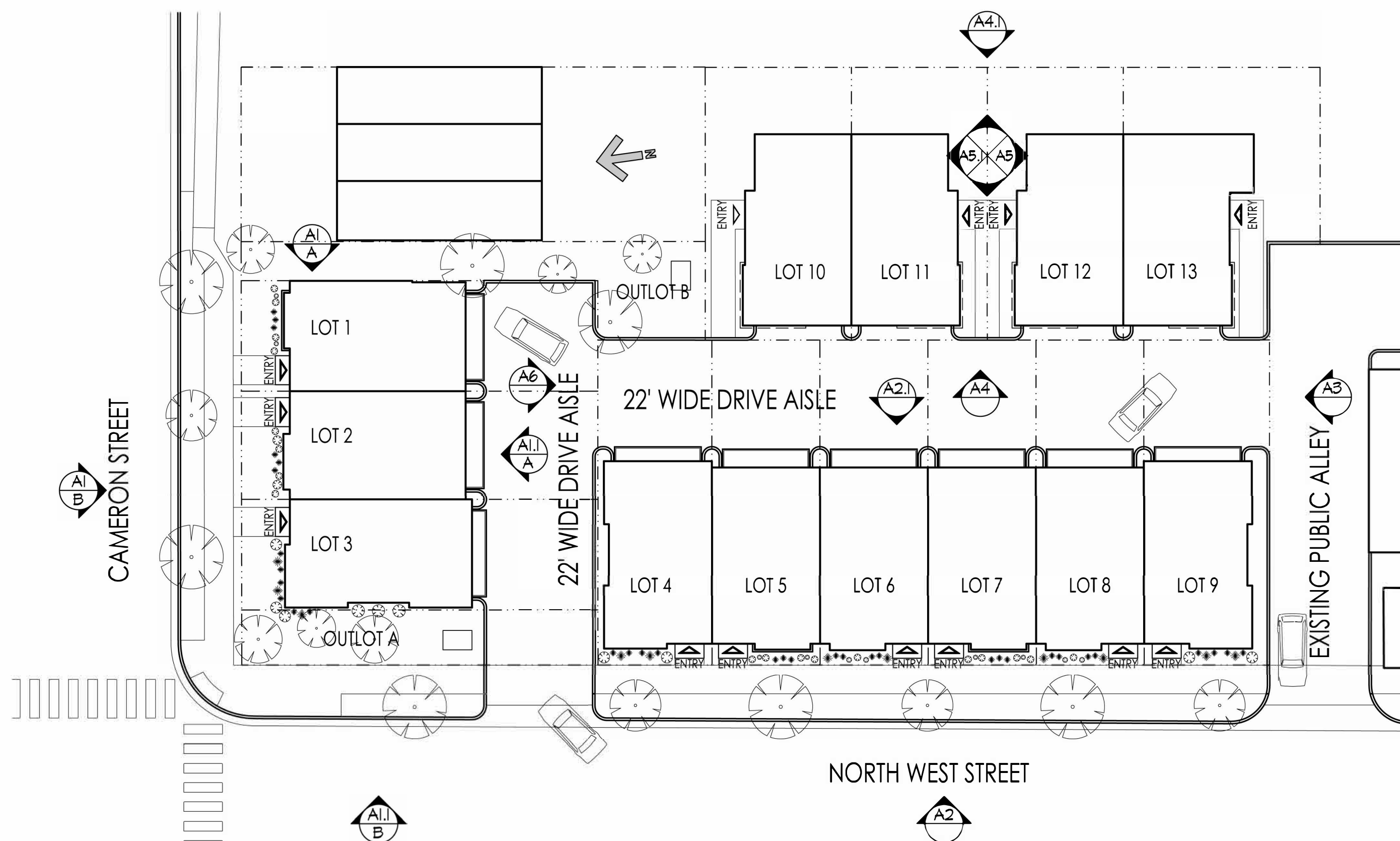
SCALE: AS NOTED

DRAWN: JMB DESIGNED: JMB APPROVED: _____



NORTH WEST STREET - REAR ELEVATIONS (LOTS 4-9 REAR)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	

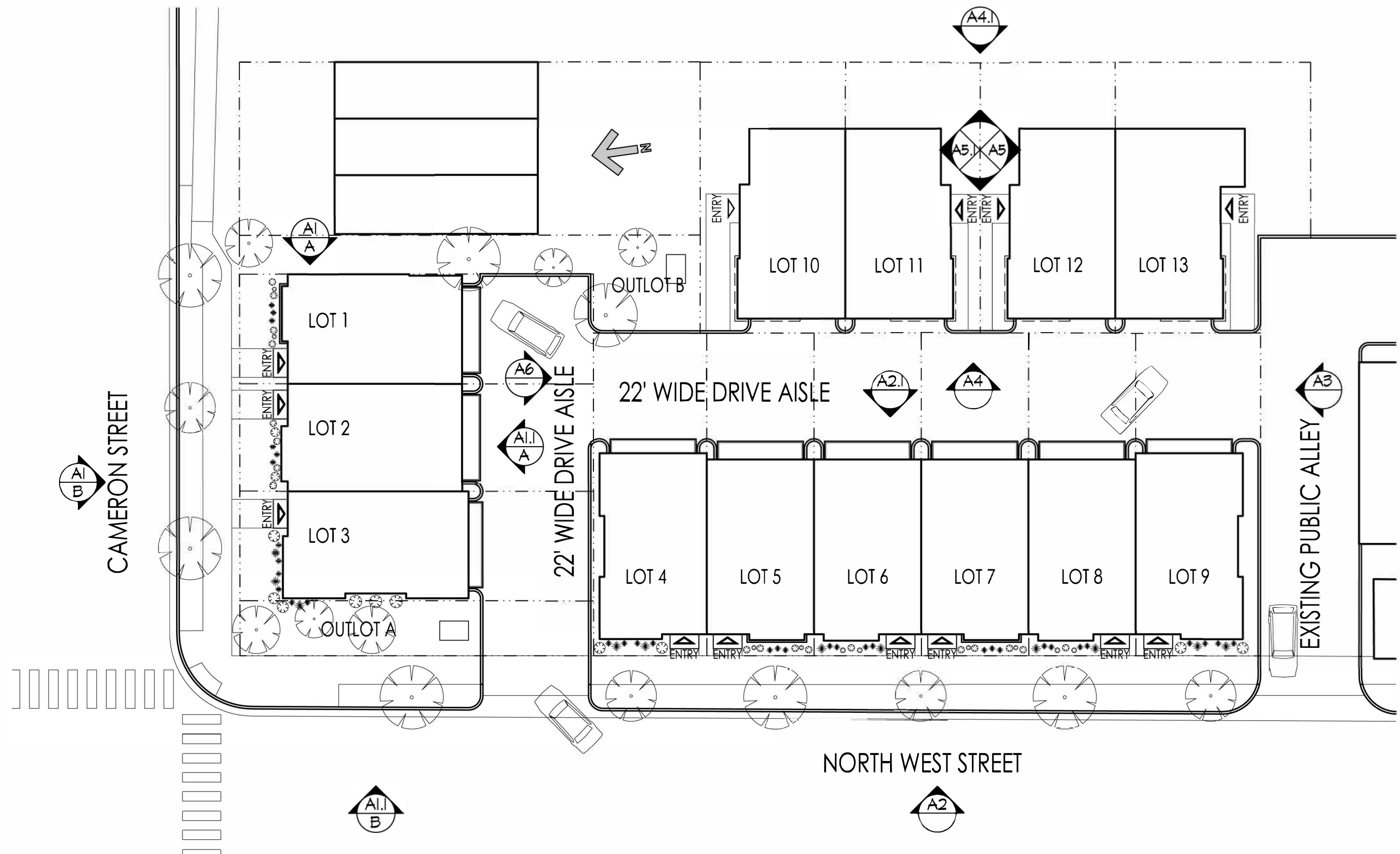
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PUBLIC ALLEY - SIDE ELEVATIONS (LOTS 9 & 13)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314

PUBLIC ALLEY - SIDE ELEVATIONS



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	

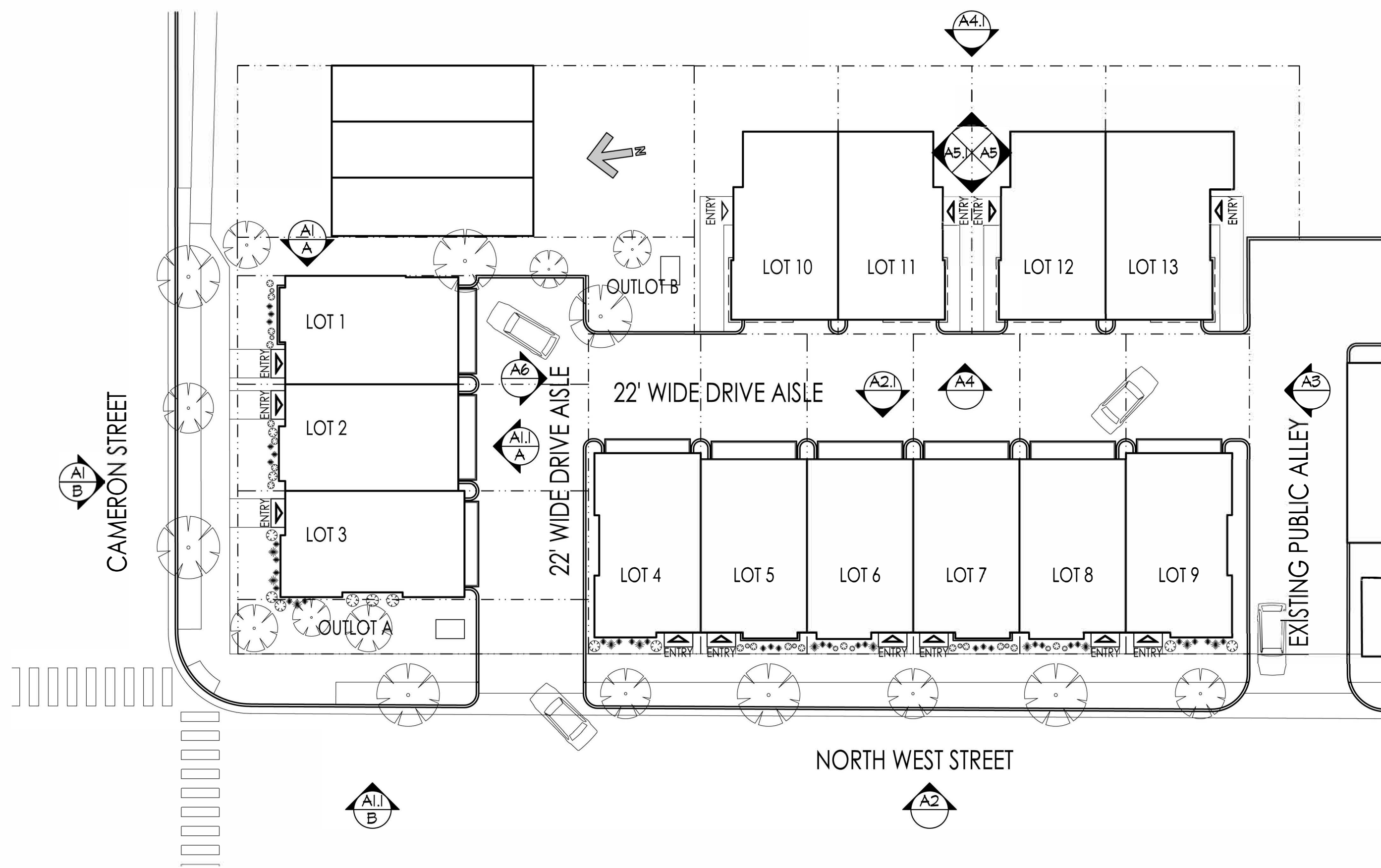
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PRIVATE AISLE UNITS - STREETSCAPE ELEVATION (LOTS 10-13)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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 SPECIAL USE PERMIT NO. 2024-10004
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 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____
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NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314

PRIVATE AISLE UNITS - FRONT ELEVATIONS



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
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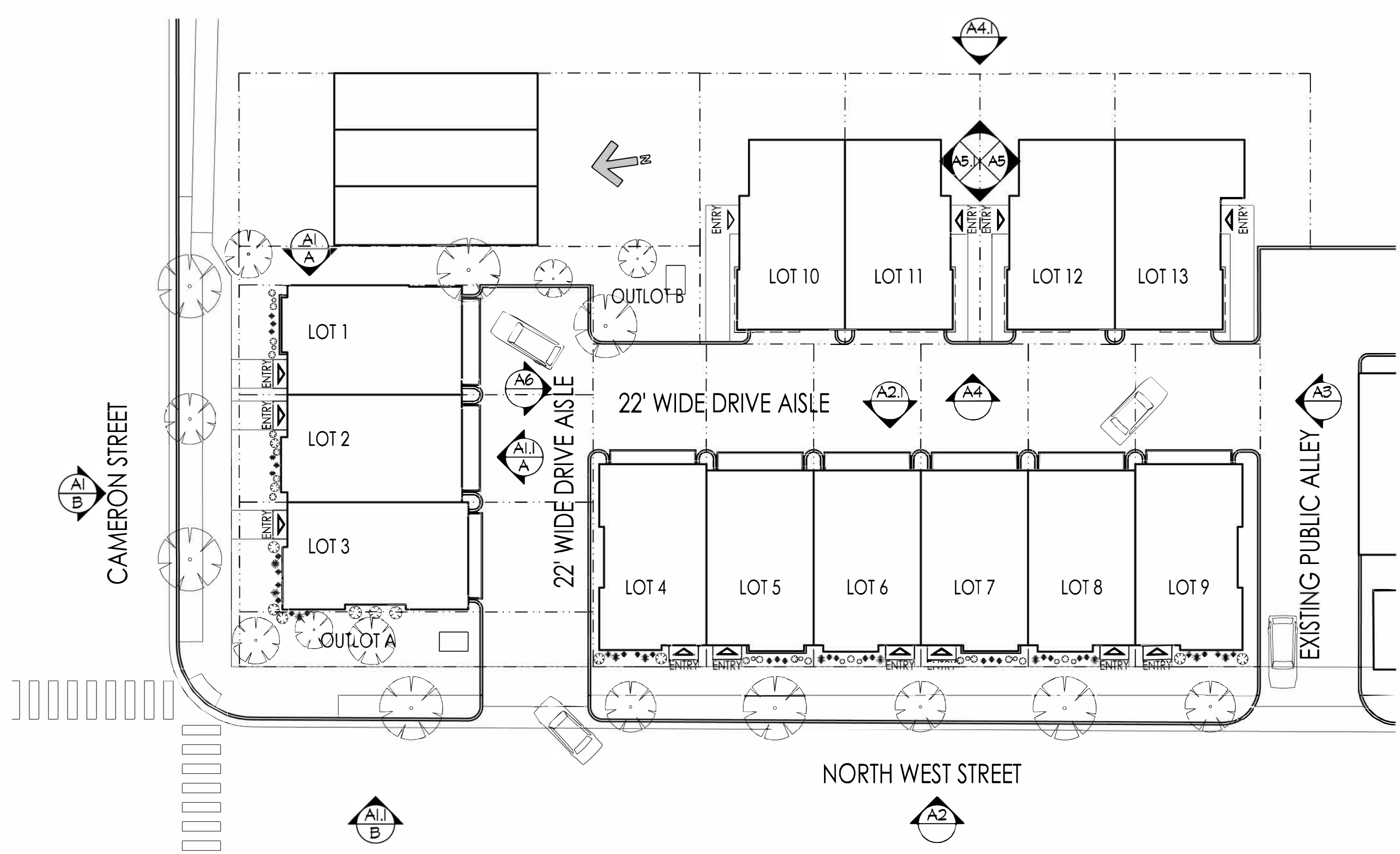
REVISIONS

PROJECT NUMBER 2347
DATE 04/10/2024
SCALE AS NOTED
DRAWN JMB
DESIGNED JMB
APPROVED

SHEET NUMBER A4.1



PRIVATE AISLE UNITS - STREETSCAPE ELEVATION (LOTS 10-13 REAR)
SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS
SCALE: 1" = 20'-0"

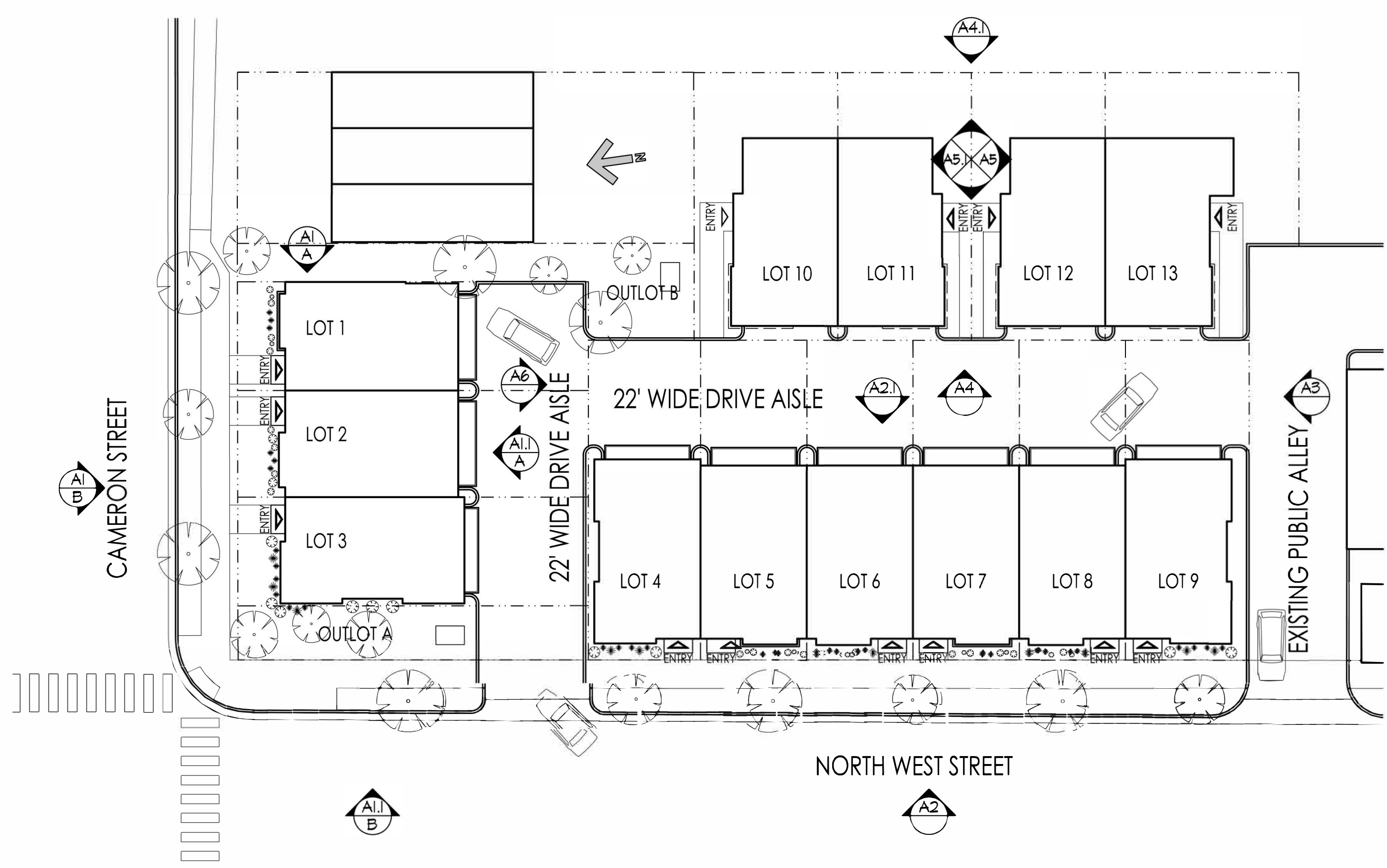
DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

APPROVED	
SPECIAL USE PERMIT NO. 2024-10004	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO. DATE



PRIVATE AISLE UNIT - SIDE ELEVATION / BUILDING SECTION (LOTS 12 & 7)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

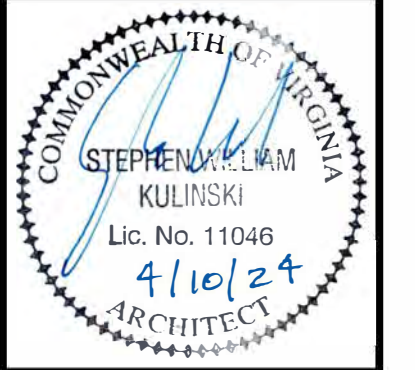
SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

APPROVED
 SPECIAL USE PERMIT NO. 2024-10004
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____
 CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314
PRIVATE AISLE UNIT - SIDE ELEVATION



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	

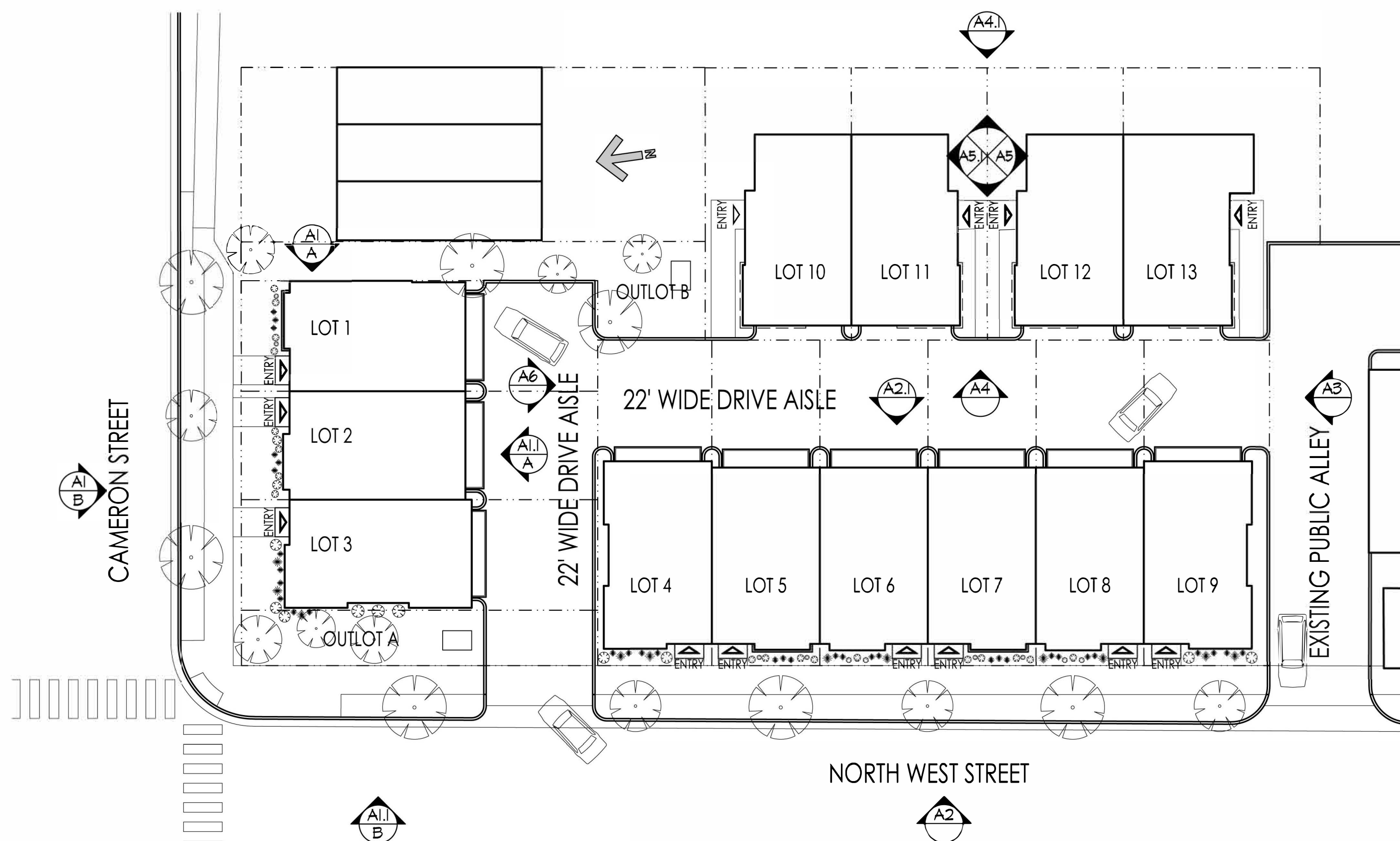
SHEET NUMBER
A5

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PRIVATE AISLE UNITS - SIDE ELEVATION / BUILDING SECTION (LOTS 11 & 7)

SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS

SCALE: 1" = 20'-0"

DRAWING KEY - MATERIAL TAGS			
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

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SPECIAL USE PERMIT NO. 2024-10004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



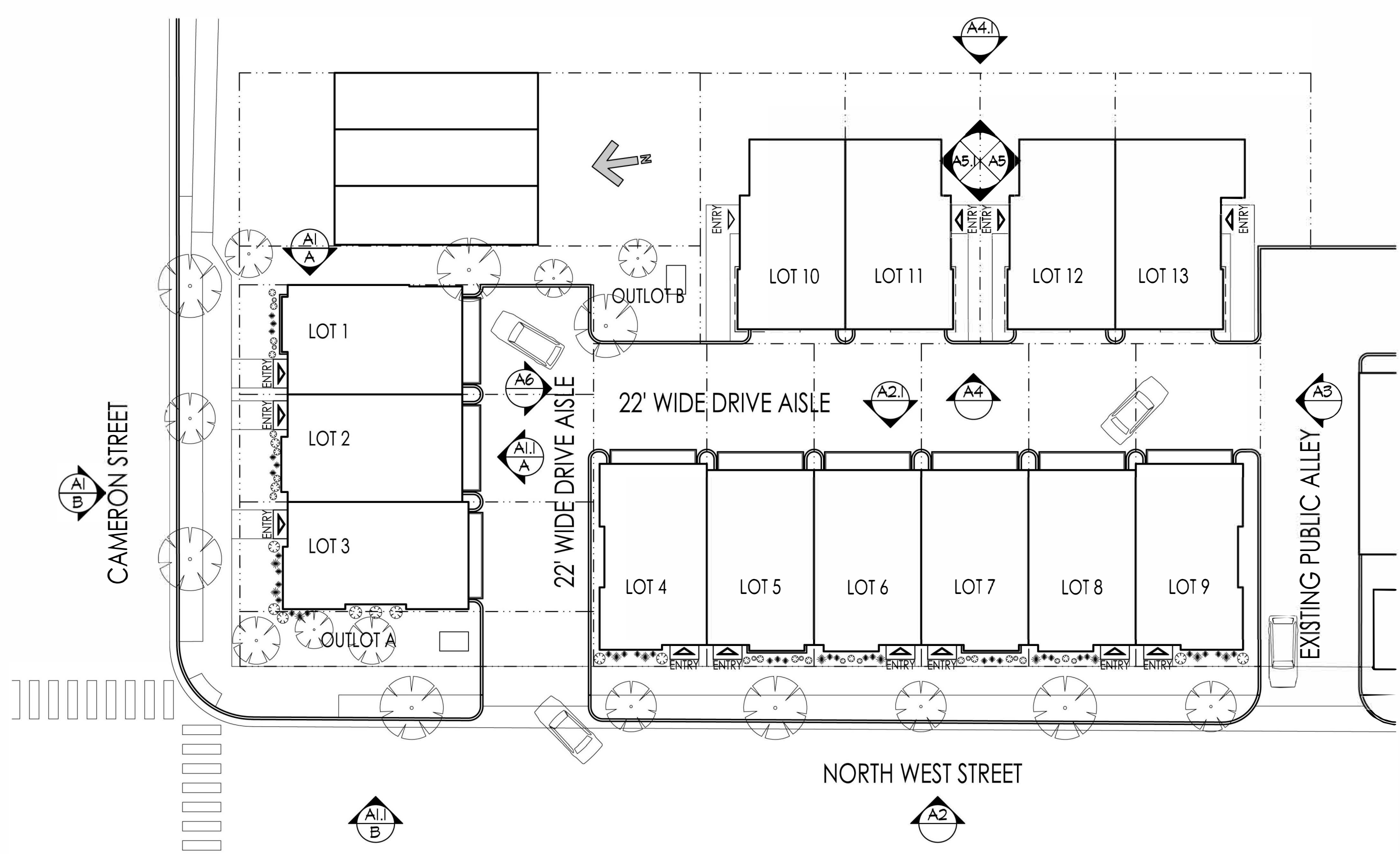
REVISIONS		

PROJECT NUMBER: 2347
DATE: 04/10/2024
SCALE: AS NOTED
DRAWN: JMB
DESIGNED: JMB
APPROVED: _____
SHEET NUMBER: A5.1

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PRIVATE AISLE - STREETSCAPE ELEVATION (LOTS 10 & 4)
SCALE: 3/16" = 1'-0"



KEY PLAN - ELEVATION VIEW LOCATIONS
SCALE: 1" = 20'-0"

(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) BRICK ACCENT BAND	(K) METAL SCUPPER	(P) METAL RAIL
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) PRECAST ACCENT BAND	(L) METAL DOWNSPOUT	(Q) OVERHEAD GARAGE DOOR
(C) METAL CORNICE	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) ALUMINUM CLAD PATIO DOOR
(D) BRICK VENEER	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) PORCH LIGHT	(S) ASPHALT SHINGLE ROOF
(E) PRECAST VENEER	(J) SYNTHETIC TRIM	(O) SYNTHETIC LAP SIDING	(T) STANDING SEAM METAL ROOF

APPROVED
SPECIAL USE PERMIT NO. 2024-10004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

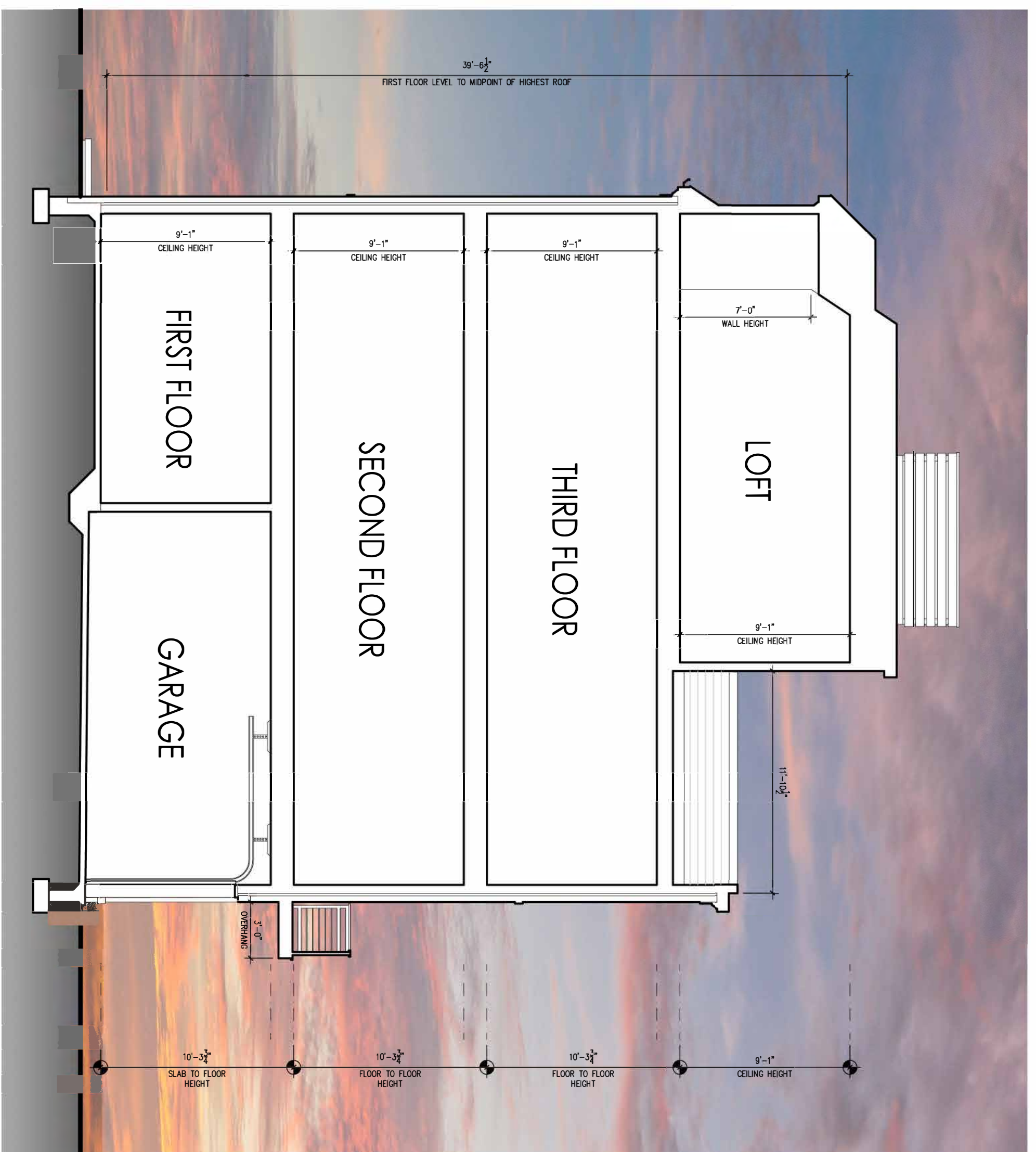
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____

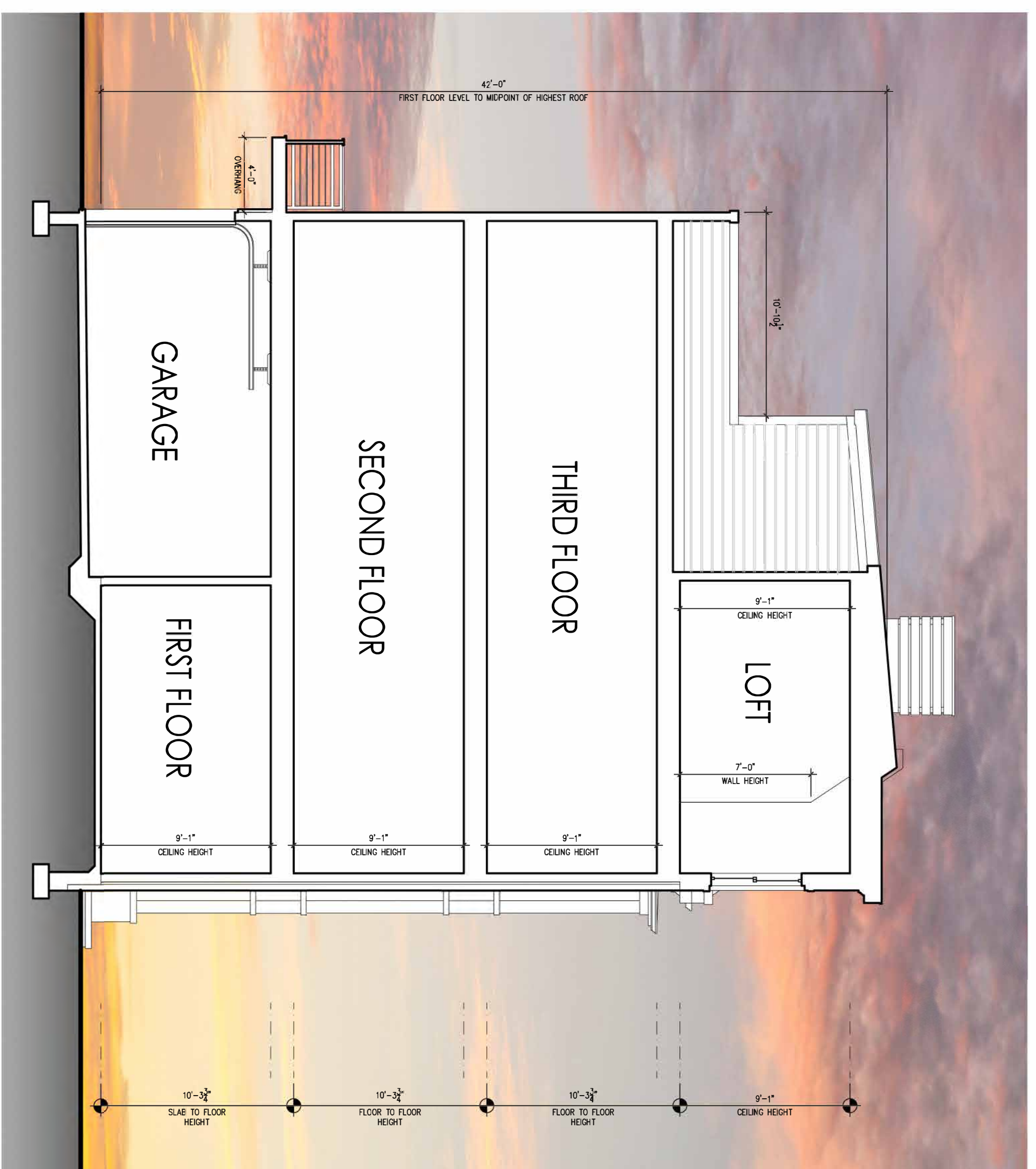


REVISIONS		

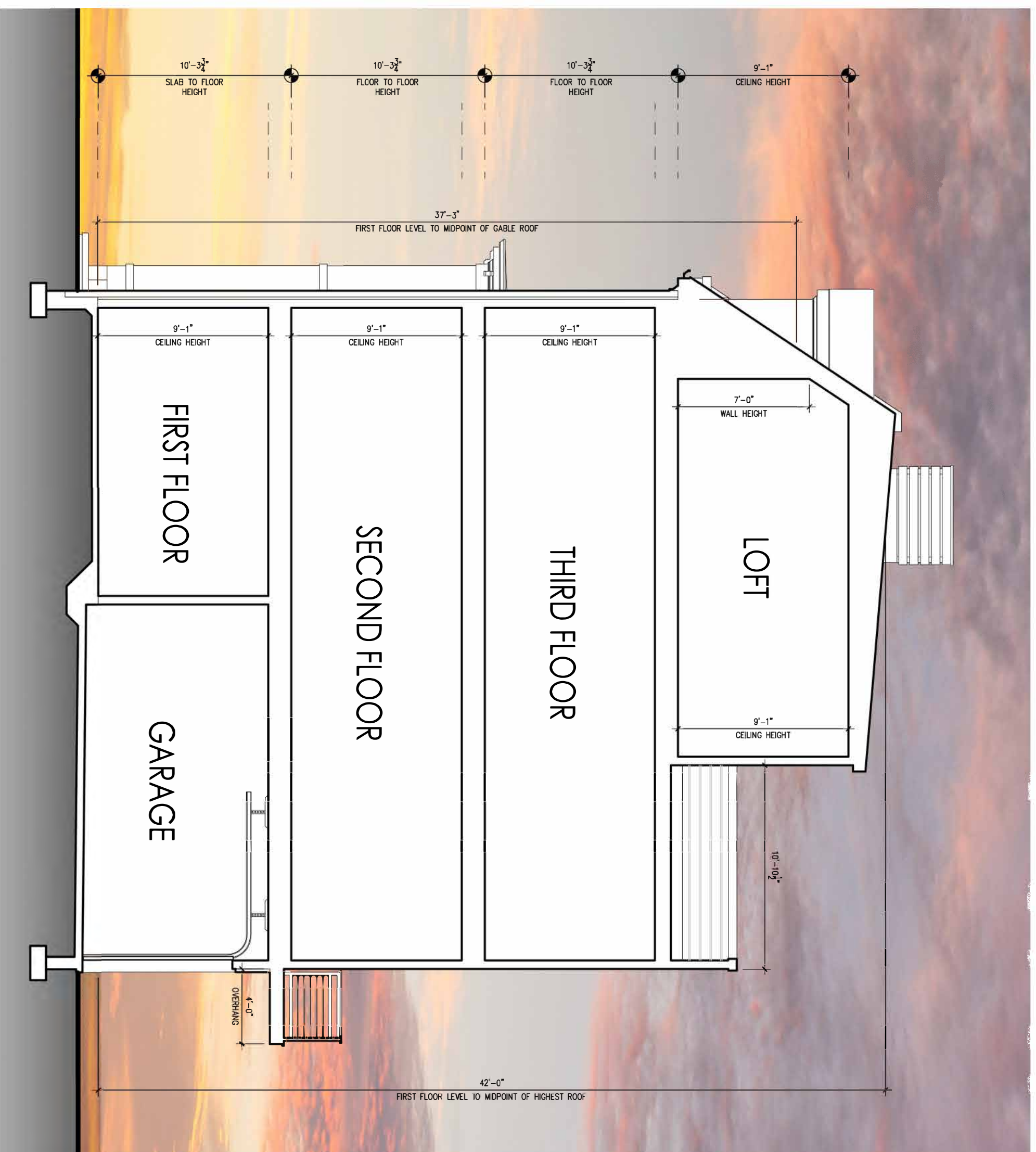
PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	



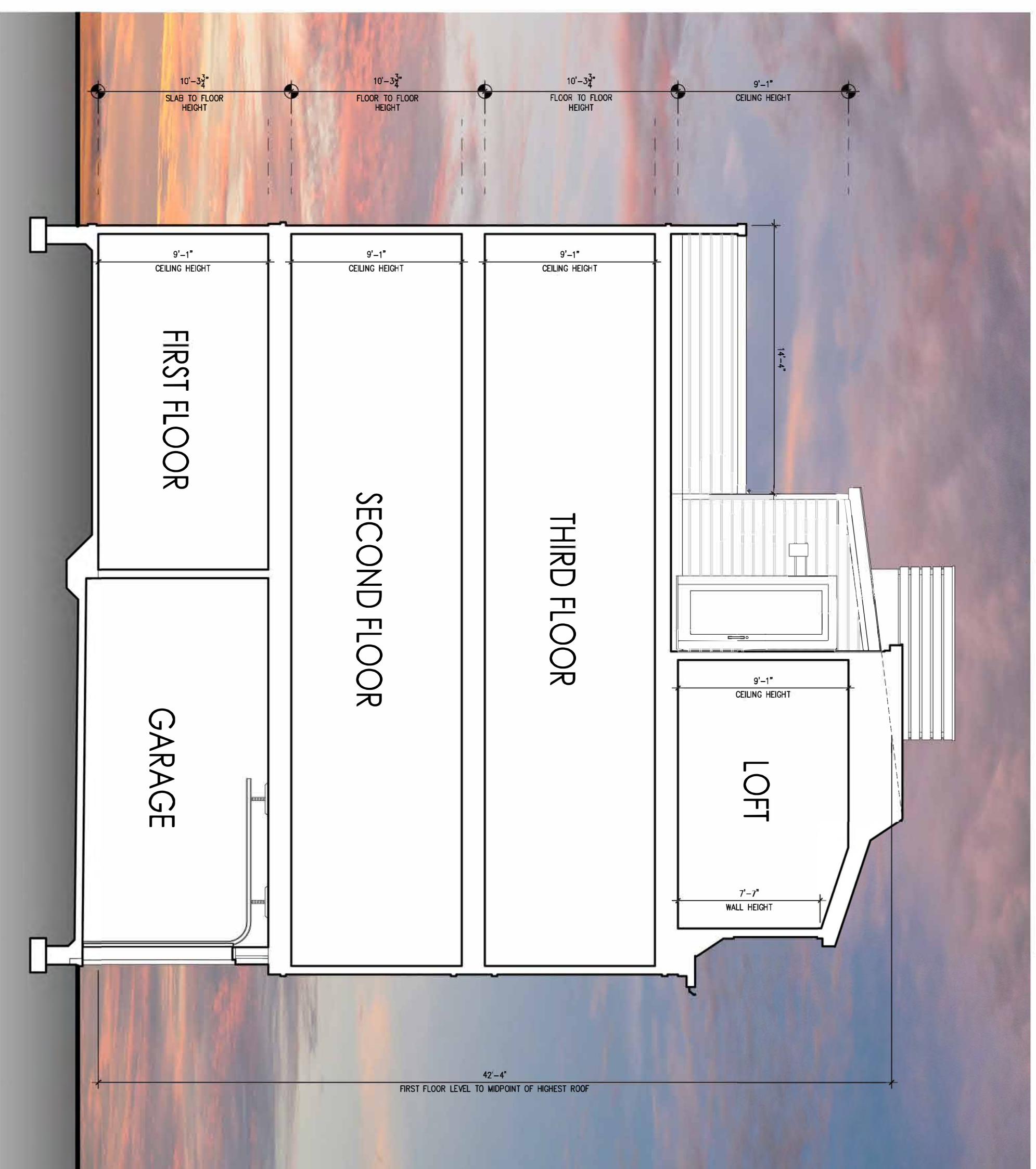
TYPICAL SECTION (LOTS 3, 4, & 9)
SCALE: 3/16" = 1'-0"



TYPICAL SECTION (LOTS 1, 5, & 7)
SCALE: 3/16" = 1'-0"



TYPICAL SECTION (LOTS 2, 6, & 8)
SCALE: 3/16" = 1'-0"



TYPICAL SECTION (LOTS 10, 11, 12 & 13)
SCALE: 3/16" = 1'-0"

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____ DATE: _____
 DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION: _____ DATE: _____
 DATE RECORDED: _____ RECD BOOK NO.: _____ DATE: _____
 INSTRUMENT NO. _____

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PROJECT NUMBER	23-47
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	JMB
SHEET NUMBER	A7

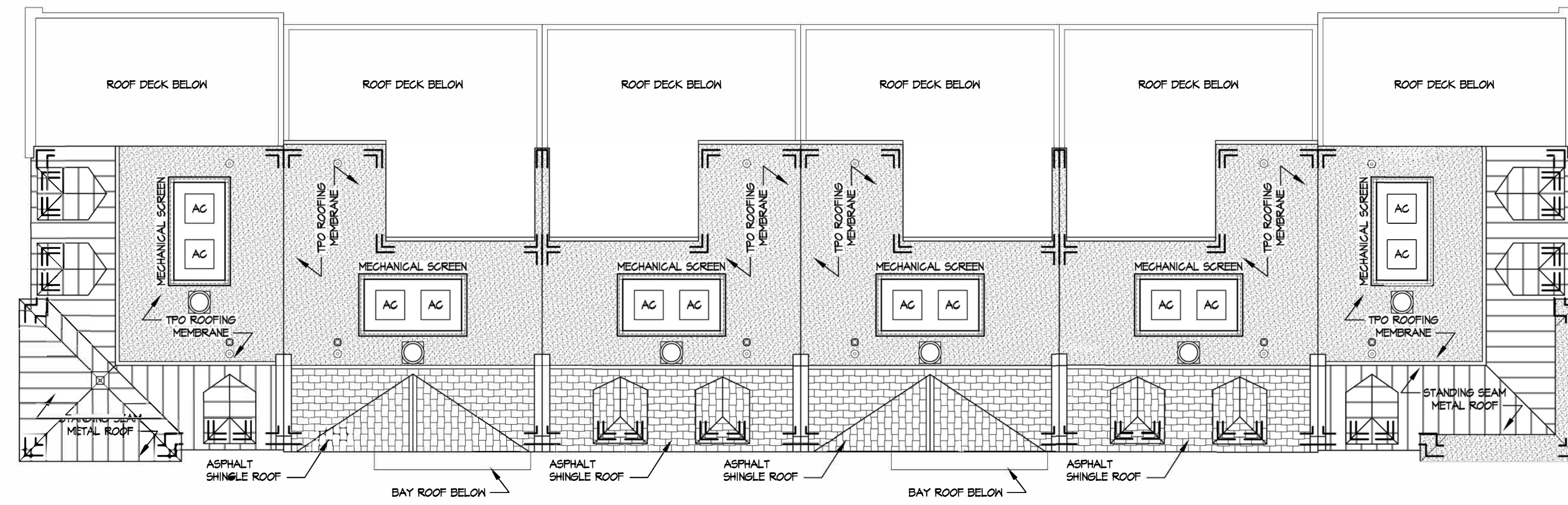
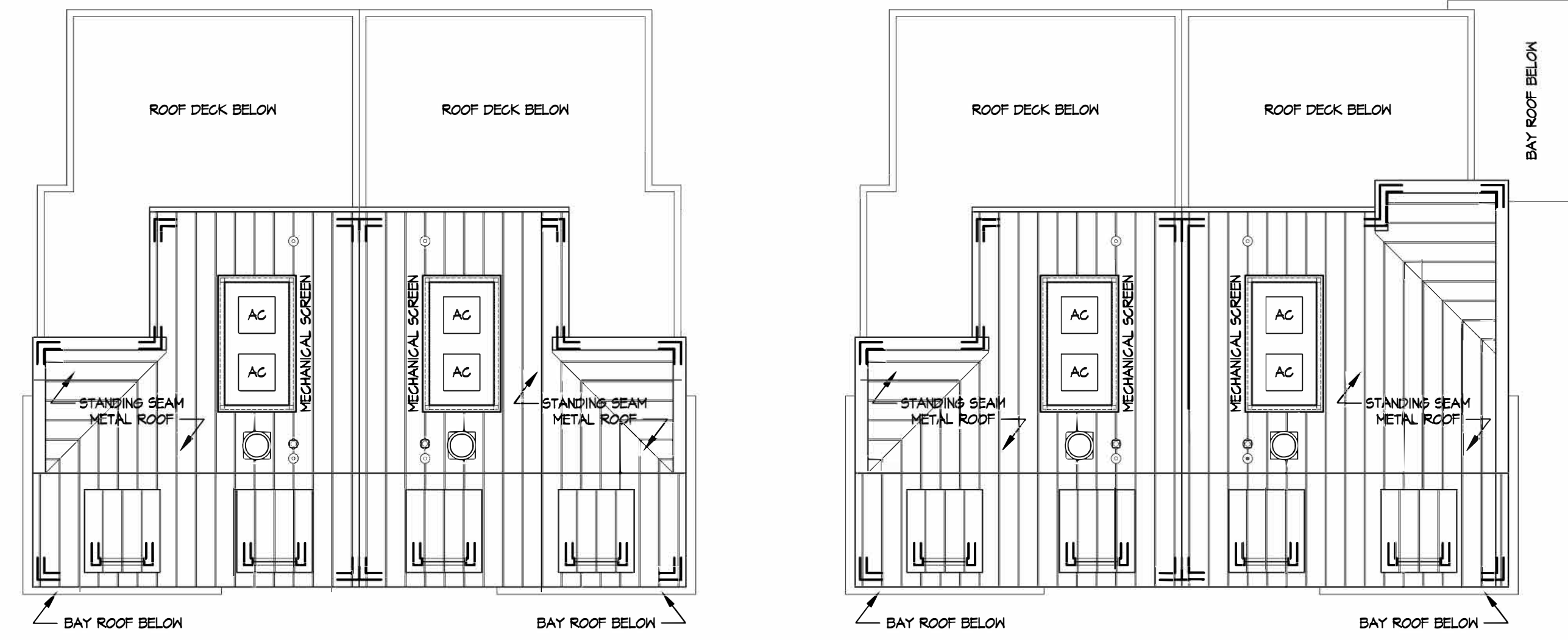
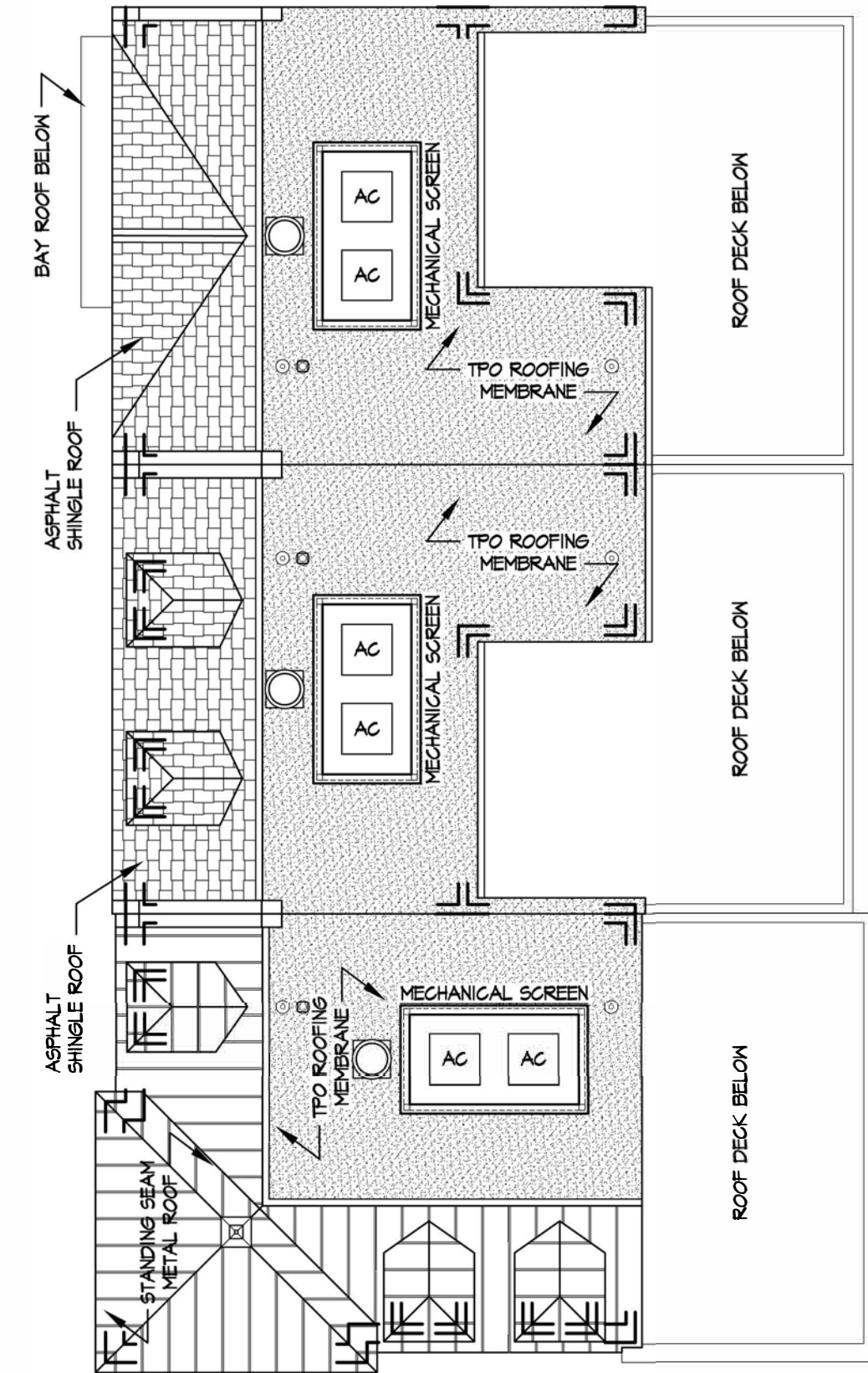
NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314

TYPICAL BUILDING SECTIONS

105

KULINSKI
 GROUP ARCHITECTS P.C.

KULINSKIGROUP.COM | 703.836.7243



NORTH WEST STREET TOWNHOMES - ROOF PLANS

SCALE: 1/8" = 1'-0"

APPROVED
 SPECIAL USE PERMIT NO. 2024-10004

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ DATE _____



REVISIONS

PROJECT NUMBER	2347
DATE	04/10/2024
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	JMB
APPROVED	

SHEET NUMBER
A8



NORTH WEST STREET TOWNHOMES
 125 NORTH WEST STREET ALEXANDRIA, VA 22314

ROOF PLANS

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