

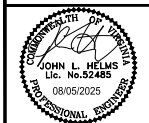
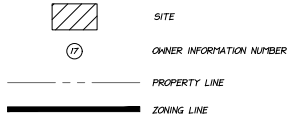
NOTE:  
ALL BUS STOPS SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.

POTENTIAL FUTURE CONNECTION TO EAST ARLINGTON DR IS SUBJECT TO COOPERATION OF ADJACENT PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.

**OWNERSHIP INFORMATION**

- POTOMAC ELECTRIC POWER COMPANY  
1400 N. ROYAL ST  
USE: LEGAL PARCEL BENEATH LEASED ZONE: UT
- POTOMAC ELECTRIC POWER COMPANY  
1500 N. ROYAL ST  
USE: VACANT LAND COMMERC.  
ZONE: UT
- HARBOR TERRACE CONDOMINIUM  
551 BASHFORD LA  
USE: CONDO MASTER CARDS  
ZONE: RA
- KESTERMANN ANNA H TR  
501 BASHFORD LA  
USE: REPAIR SERVICES  
ZONE: OCM
- RIVERTON CONDOMINIUM  
610 BASHFORD LA  
USE: CONDO MASTER CARDS  
ZONE: RCX
- POTOMAC SHORES CONDOMINIUM  
- MULTIPLE OWNERS  
400 BASHFORD LA  
USE: CONDO (GARDEN)  
ZONE: RA
- 1201 ROYAL OWNER LLC  
1201 N. ROYAL ST  
USE: CONDO (HI-RISE)  
ZONE: CRM/UX
- TRANSPOTOMAC CANAL CENTER OWNERS ASSOCIATION INC  
1 CANAL CENTER PZ  
USE: VACANT LAND COM AREA  
ZONE: CRM/UX
- 1199 N FAIRFAX OWNER LLC  
1199 N FAIRFAX ST  
USE: OFFICE BUILDINGS  
ZONE: OCM (50)
- MARINA TONERS CONDOMINIUM  
501 SLATERS LA  
USE: CONDO MASTER CARDS  
ZONE: RC
- SALVATION ARMY NATIONAL CORPORATION  
405 SLATERS LA  
USE: CHARITABLE  
ZONE: OCM (50)
- SALVATION ARMY NATIONAL CORPORATION  
415 SLATERS LA  
USE: CHARITABLE  
ZONE: OCM (50)
- TRAN INVESTMENTS LLC  
700 SLATERS LA  
USE: GENERAL COMMERCIAL  
ZONE: CG
- R F AND P RAILROAD  
3 GEORGE WASHINGTON MEM PY  
USE: OP RAILROAD VDT  
ZONE: UT
- CVR MASON HALL LLC  
1420 W ABINGDON DR  
USE: MED RISE ELEV (4-65)  
ZONE: RC

**LEGEND**



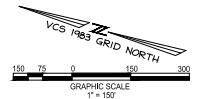
**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETE SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050502.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=50'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KMW

**CONTEXTUAL PLAN**

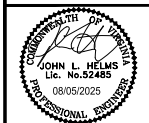
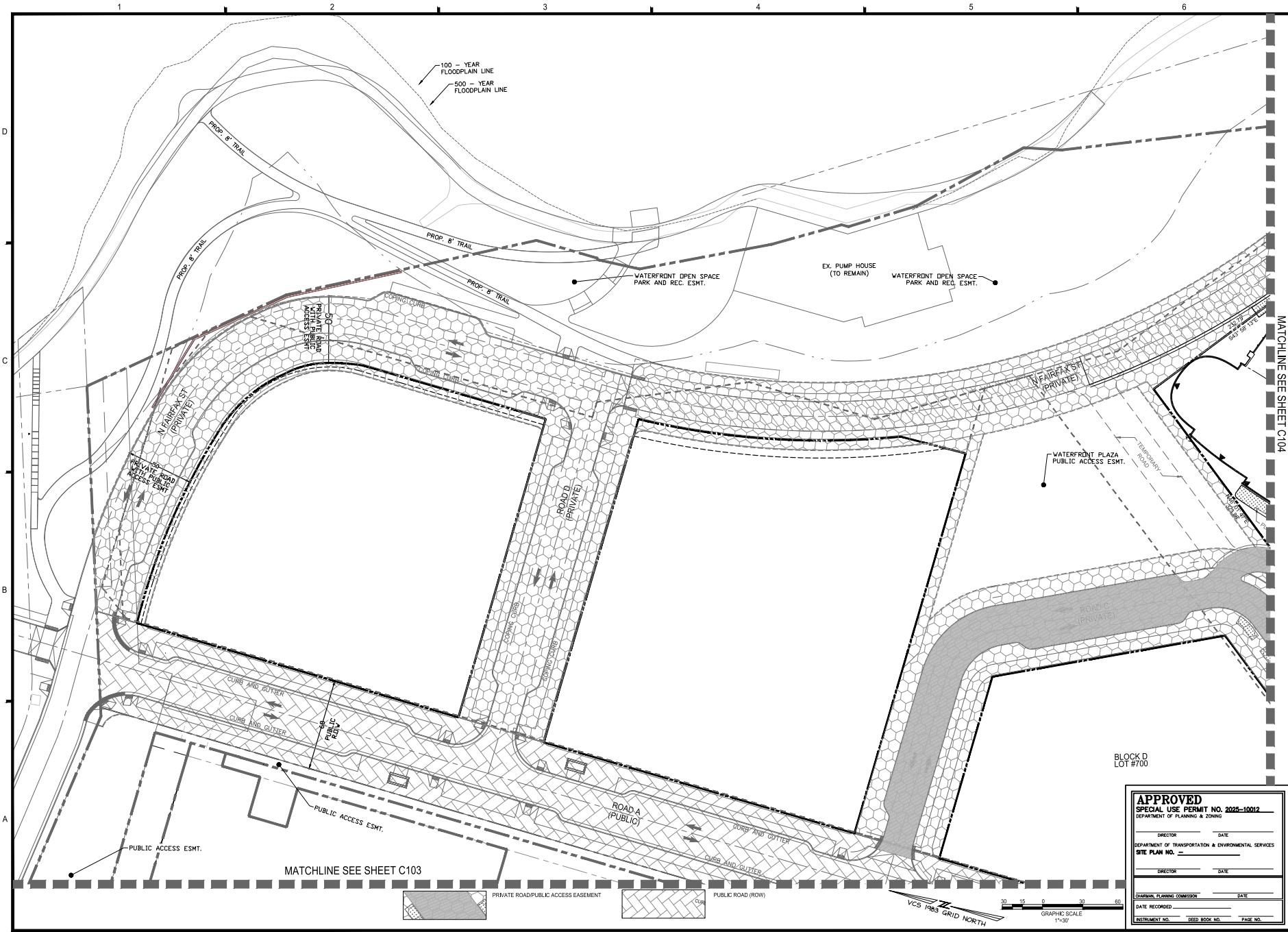
SHEET No. **C101**



**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



**PRGS - REDEVELOPMENT  
BLOCK - C**

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETION SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETION

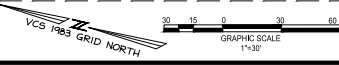
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DRAWING No.: 14423  
DATE: 04/18/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KMV

**PUBLIC VS. PRIVATE  
ROAD AND  
EASEMENT EXHIBIT**

SHEET No. **C102**

**APPROVED  
SPECIAL USE PERMIT NO. 2025-10012**

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DEPARTMENT OF PLANNING & ZONING  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
EXEMPTION NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



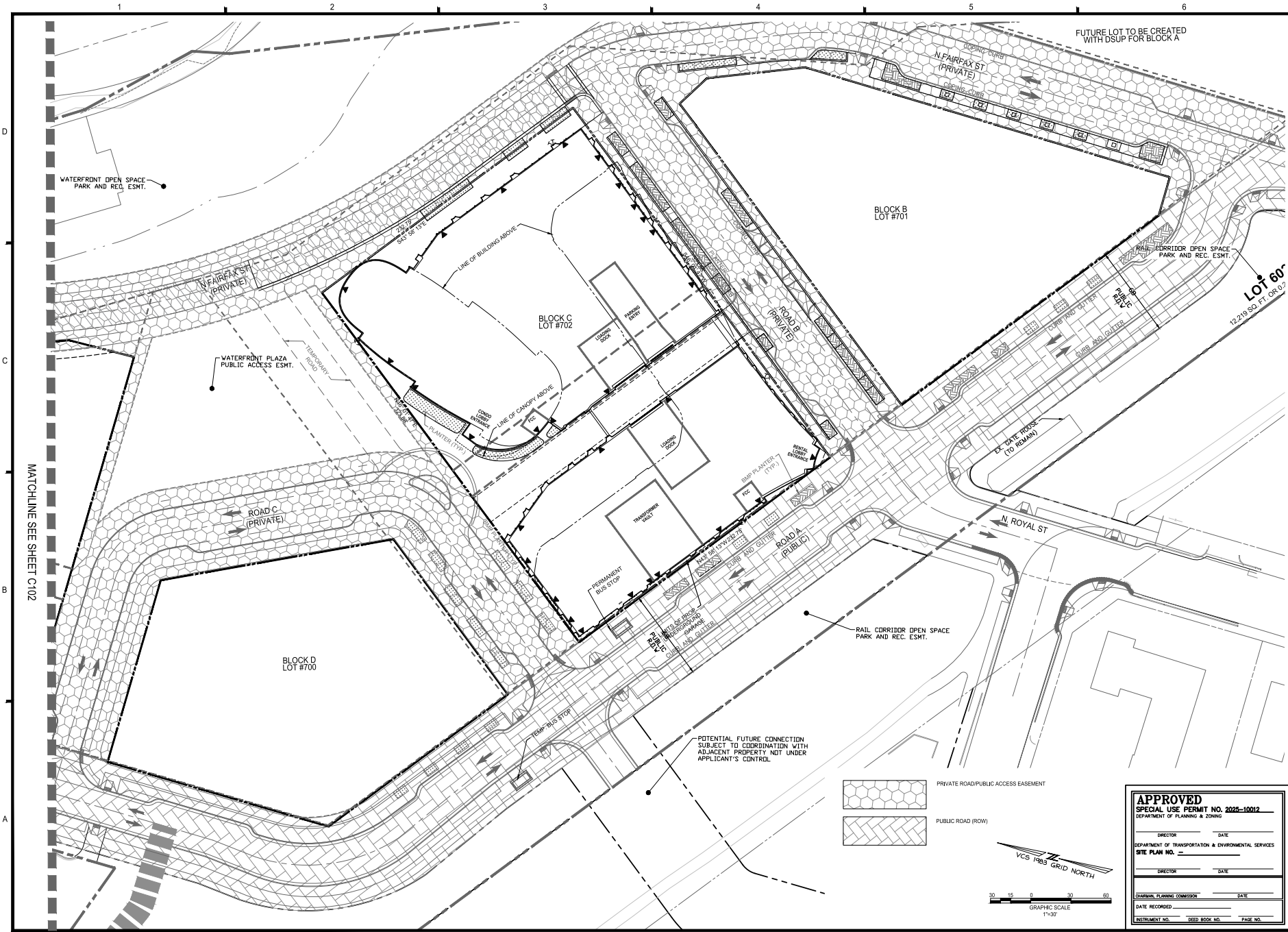
MATCHLINE SEE SHEET C103

PRIVATE ROAD/PUBLIC ACCESS EASEMENT

PUBLIC ROAD (ROW)

MATCHLINE SEE SHEET C104





**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230005062.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMW

**PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT**

SHEET No. **C104**

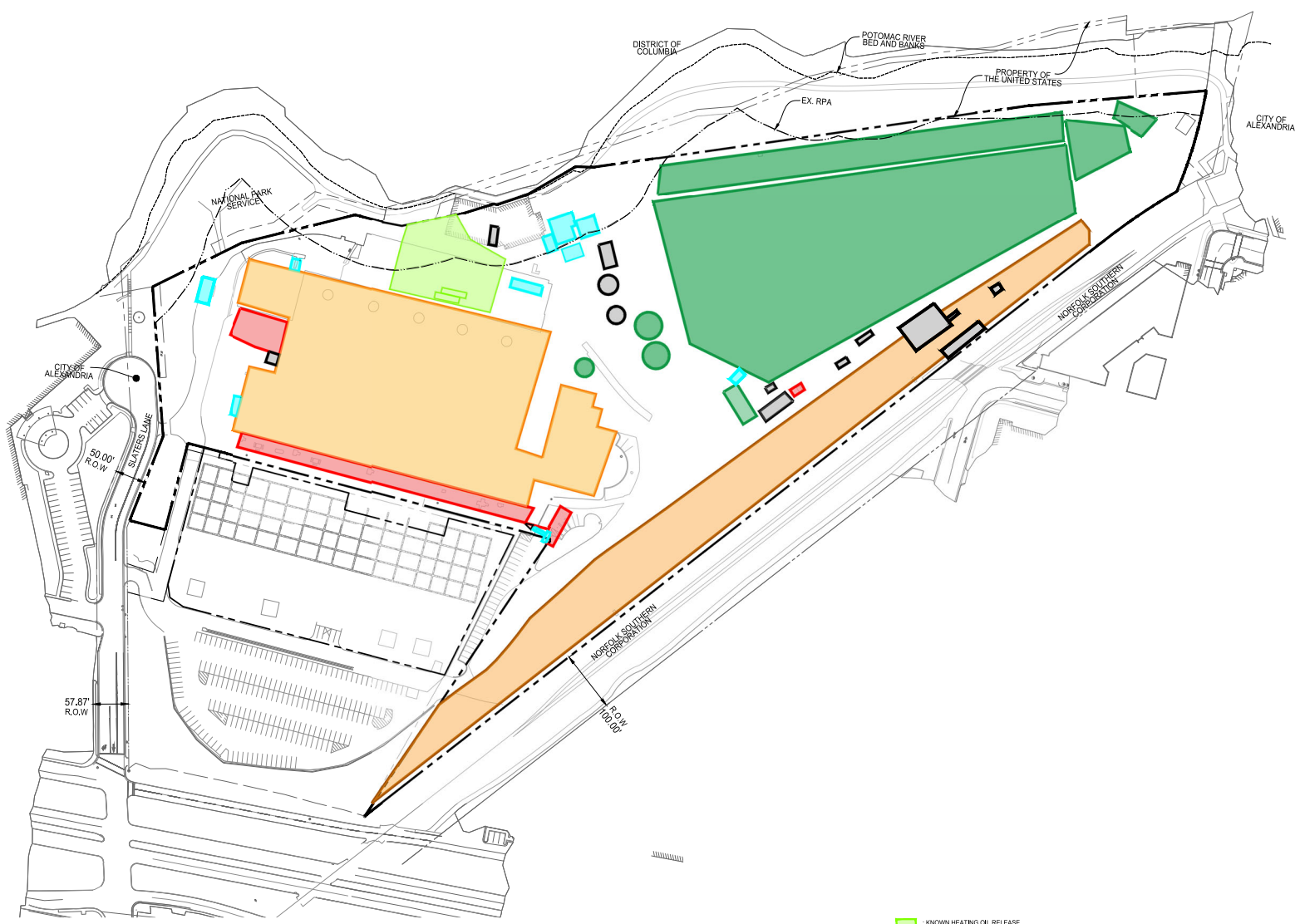
**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

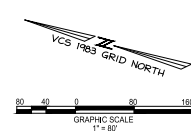
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 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

1 2 3 4 5 6

D  
C  
B  
A



- KNOWN HEATING OIL RELEASE
- POTENTIAL HISTORICAL RELEASES FROM CHEMICAL STORAGE AREAS AND USE
- POWER PLANT AND LABORATORY BUILDING (CURRENTLY INACCESSIBLE)
- FORMER COAL AND ASH STORAGE AREAS
- TRANSFORMERS/ELECTRICAL EQUIPMENT
- RAIL YARD
- OTHER POTENTIAL AREAS OF IMPACT (BASED ON HISTORICAL USE)



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230002602.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=80'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMV

**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**AREAS OF POTENTIAL ENVIRONMENTAL IMPACT**

SHEET No. **C105**

LEED v4 RD+C Project Checklist

Table with columns for category (Y, P, N, D), score (9-11), and checklist items including Integrative Process, Location and Transportation, Sustainable Sites, Water Efficiency, Energy and Atmosphere, and Enhanced Refrigerant Management.

Table with columns for category (Y, P, N, D), score (8-11), and checklist items including Materials and Resources, Indoor Environmental Quality, Innovation, and Regional Priority.

TOTALS Possible Points: 110. Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

Table showing Block C breakdown by Typeology (Retail, Condo, Hotel, Office, etc.) with columns for Percentage, Space Type, and Square Footage.

This is a snapshot in time based on this completeness submission. Adjustments will be made as design is advanced.

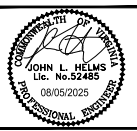
Table for Green Infrastructure and Circulation and Transportation, including metrics for Open Space and Biodiversity, Green Infrastructure, and Circulation and Transportation.

Table for Energy & Carbon, including Design Tracking for On-site renewable energy generation and Building embodied carbon.

Table for Water, including Design Tracking for Potable Water Demand, Outdoor Water Demand, and Storage & Reuse.

Table for Human Health, including Design Tracking for Material Sourcing, Indoor Environmental Quality, and Waste Management.

Table for Resilience, including Design Tracking for Extreme Heat and Extreme Precipitation.



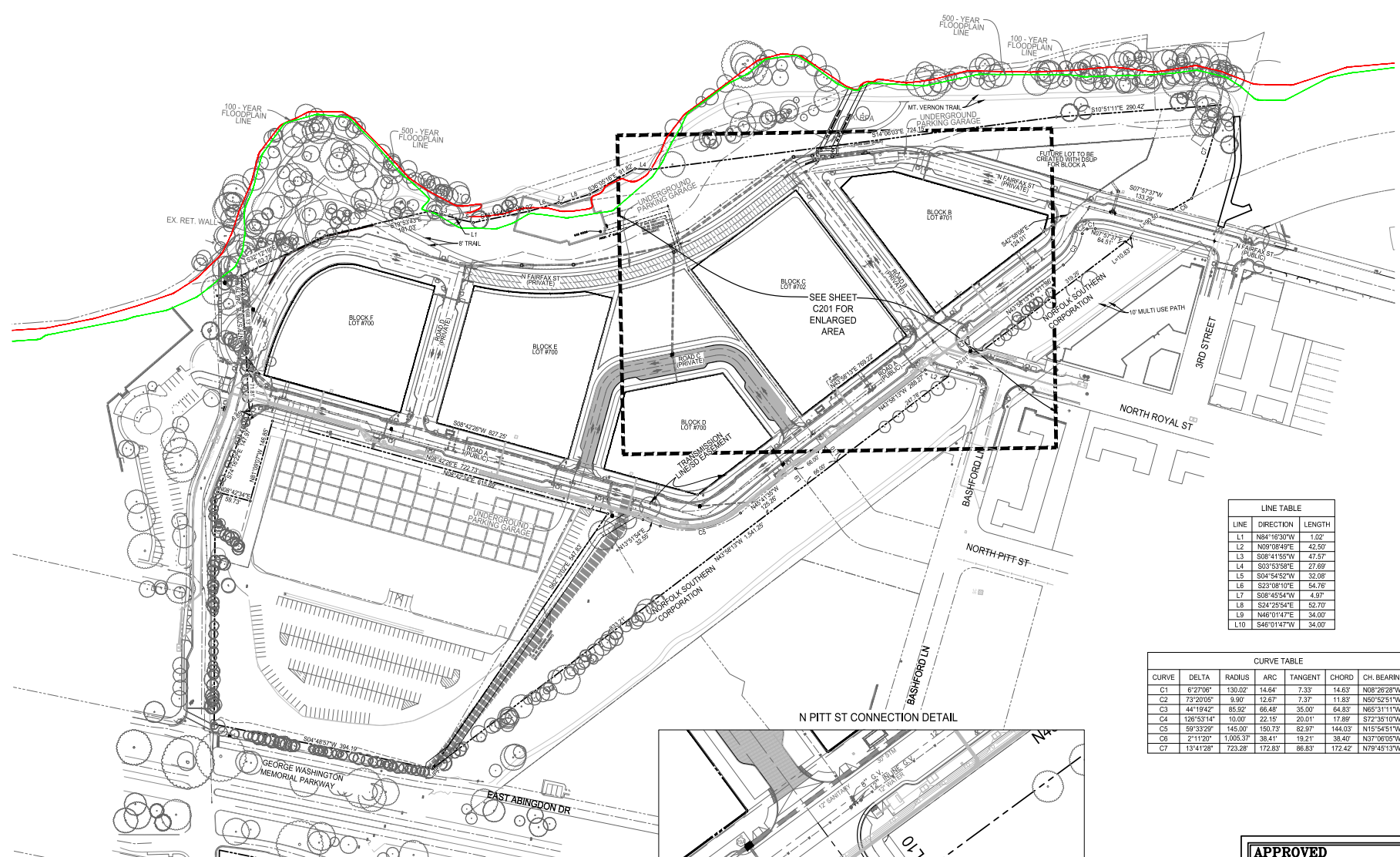
PRGS - REDEVELOPMENT BLOCK - C PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT CITY OF ALEXANDRIA, VIRGINIA

Table for Completeness Submission verification with columns for Item, Date, and Description.

PROJECT No.: 23005262.00 DRAWING No.: 114123 DATE: 04/18/2025 SCALE: NONE DESIGN: JH DRAWN: JS CHECKED: #00

APPROVED SPECIAL USE PERMIT No. 2025-10012 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ...

COORDINATED SUSTAINABILITY STRATEGY SHEET No. C106

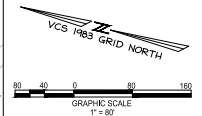
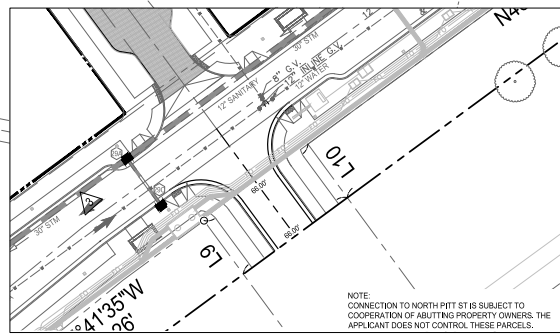


LINE TABLE

LINE	DIRECTION	LENGTH
L1	N84°16'30"W	1.02'
L2	N09°08'48"E	42.50'
L3	S08°41'55"W	47.57'
L4	S23°13'58"E	27.69'
L5	S04°54'52"W	32.08'
L6	S23°08'10"E	54.76'
L7	S08°45'54"W	4.97'
L8	S24°25'54"E	52.70'
L9	N45°01'47"E	34.00'
L10	S48°01'47"W	34.00'

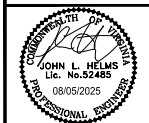
CURVE TABLE

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CH. BEARING
C1	6°27'08"	130.02'	14.64'	7.33'	14.63'	N68°26'28"W
C2	73°20'05"	9.90'	12.67'	7.37'	11.83'	N50°52'51"W
C3	44°19'42"	85.92'	66.48'	35.00'	64.83'	N65°31'11"W
C4	126°53'14"	10.00'	22.15'	20.01'	17.89'	S72°35'10"W
C5	59°33'29"	145.00'	150.73'	82.97'	144.03'	N19°54'51"W
C6	2°11'20"	1,025.37'	38.41'	19.21'	38.45'	N37°06'05"W
C7	13°41'58"	723.28'	172.83'	86.83'	172.42'	N79°45'13"W



- NOTES**
- SEE SHEET C100 FOR LEGENDS.
  - UTILITIES TO BE COORDINATED WITH IDSP.
  - TO THE BEST OF OUR KNOWLEDGE THE SITE HAS NO AREAS OF MARINE CLAY.
- THE WOONERS' IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.
- POTENTIAL FUTURE CONNECTION TO EAST ABINGDON DR IS SUBJECT TO COOPERATION OF ADJUTING PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.
- FLUSH CURB CONDITION

NOTE: CONNECTION TO NORTH PITT ST IS SUBJECT TO COOPERATION OF ADJUTING PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS.



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/06/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 20050562.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=50'  
DESIGN: JH  
DRAWN: MG  
CHECKED: KMV

**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DEPARTMENT OF PLANNING & ZONING

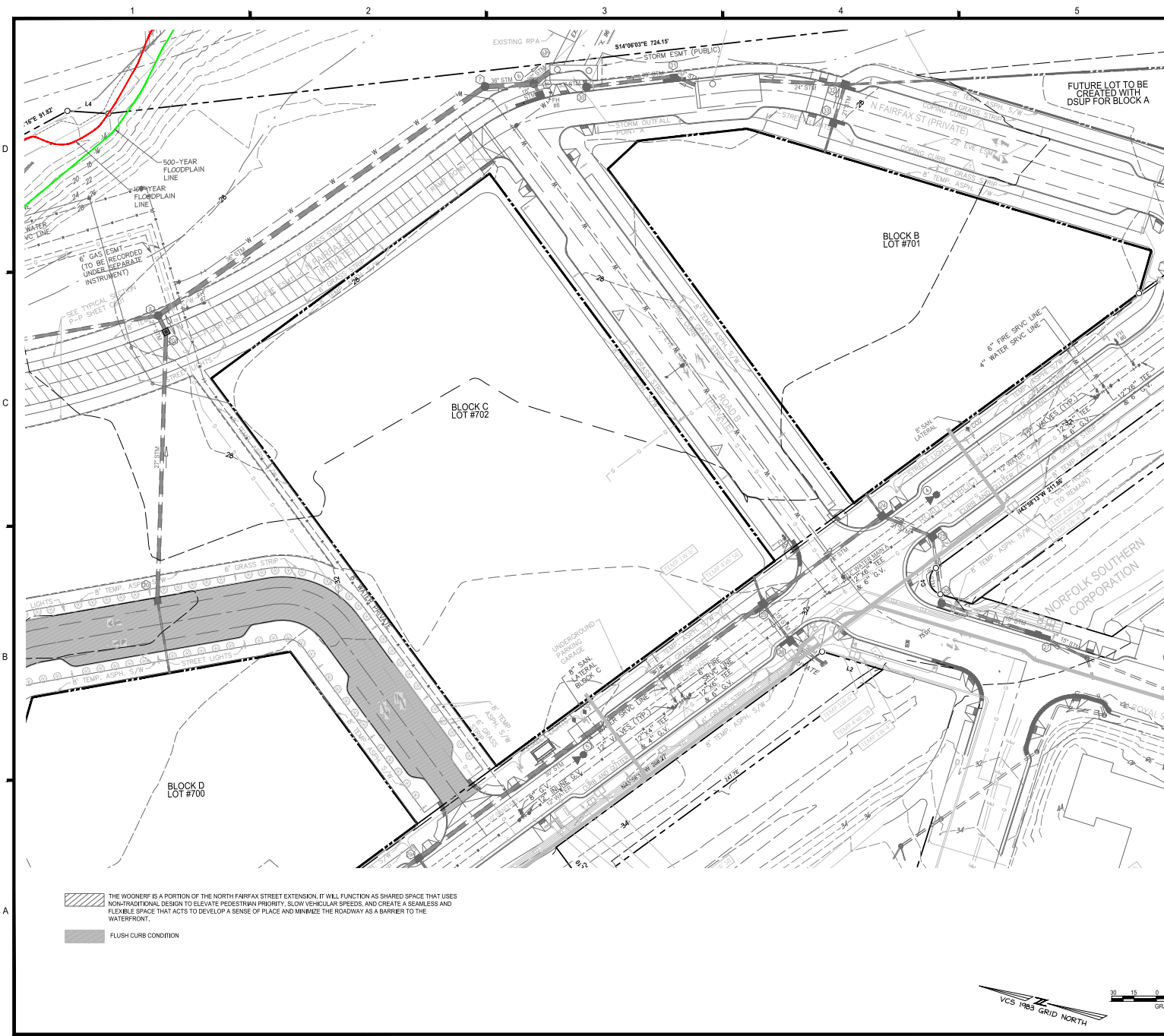
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

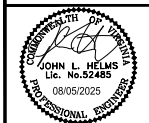
LOCAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

OVERALL EXISTING CONDITIONS PLAN

SHEET No. **C200**



- NOTES**
1. SEE SHEET C100 FOR LEGENDS.
  2. SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
  3. ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES) SHOWN AROUND BLOCK C IS PROPOSED WITH THE PROS INFRASTRUCTURE PLAN (DSP# 2023-00001).
  4. UTILITIES TO BE COORDINATED WITH DSP#.
  5. TO THE BEST OF OUR KNOWLEDGE THE SITE HAS NO AREAS OF MARINE CLAY.



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

**LINE TABLE**

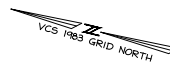
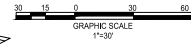
LINE	DIRECTION	LENGTH
L1	N84°16'30"W	1.02
L2	N09°08'49"E	42.50
L3	S08°41'55"W	47.57
L4	S03°53'38"E	27.89
L5	S04°48'27"W	32.08
L6	S23°08'10"E	54.76
L7	S08°45'54"W	4.97
L8	S24°25'54"E	52.70
L9	N46°01'47"E	34.00
L10	S48°01'47"W	34.00

**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CH. BEARINGS
C1	6°27'05"	130.02	14.84	7.37	14.63	N08°26'28"W
C2	73°20'05"	9.87	12.67	7.37	11.83	N50°52'51"W
C3	44°19'42"	65.92	66.46	35.00	64.83	N65°31'11"W
C4	126°53'14"	10.00	22.15	20.01	17.89	S72°35'10"W
C5	59°33'29"	145.00	150.73	82.97	144.03	N15°54'51"W
C6	2°11'23"	1,005.37	38.41	19.21	38.40	N37°06'05"W
C7	13°41'28"	723.28	172.83	86.83	172.42	N79°45'13"W

THE WOONERF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

FLUSH CURB CONDITION



NO.	DATE	DESCRIPTION
1	05/02/2025	COMPLETE SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 20050562.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: MG  
 CHECKED: NHH

**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

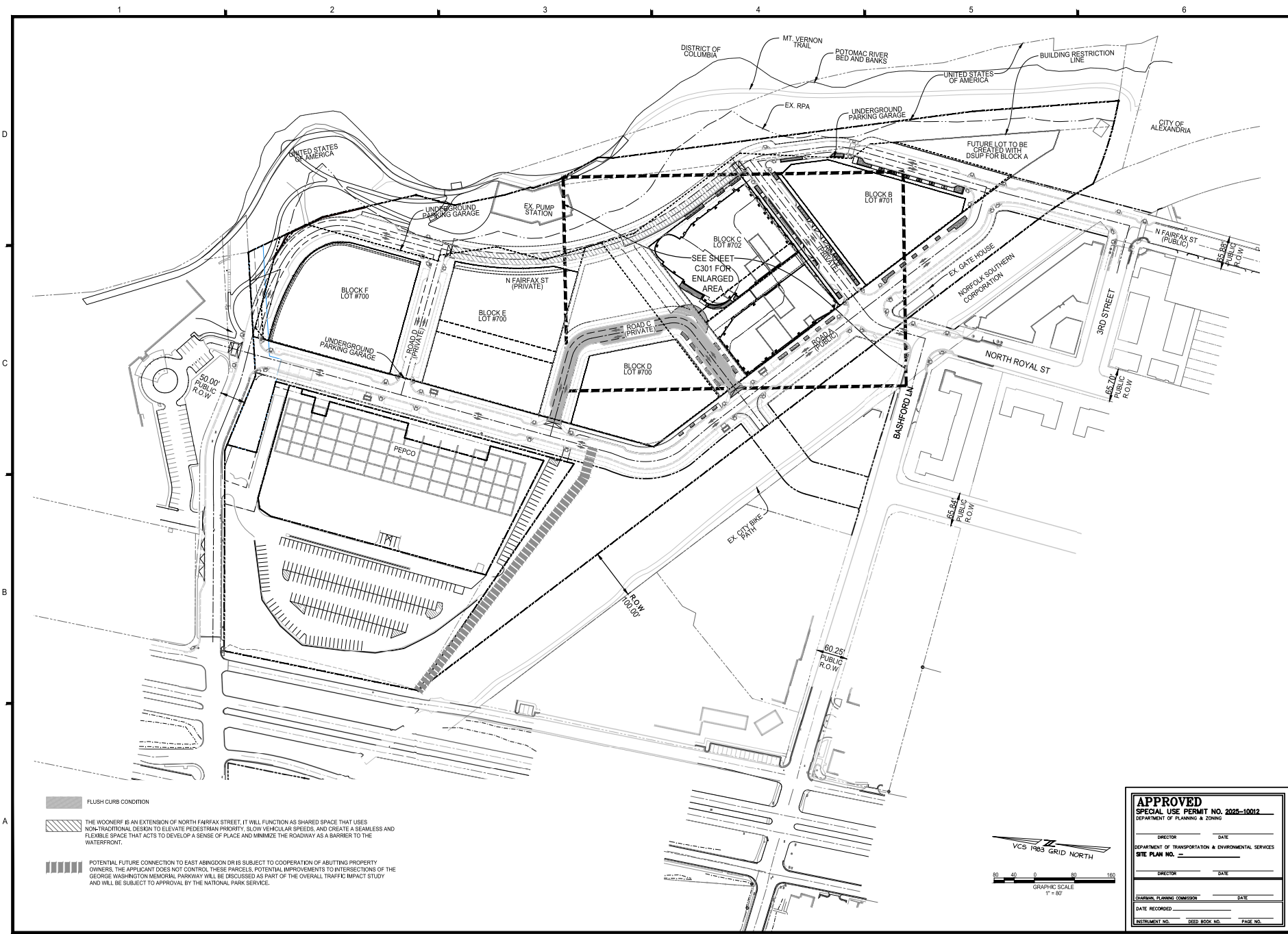
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

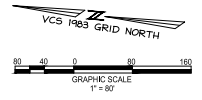
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 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**BLOCK C EXISTING CONDITIONS PLAN**

SHEET No. **C201**



- FLUSH CURB CONDITION
- THE WOODEN DECK IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.
- POTENTIAL FUTURE CONNECTION TO EAST ARKWOOD DR IS SUBJECT TO COOPERATION OF ADJACENT PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.



**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012

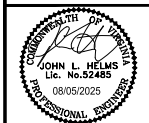
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DEPARTMENT OF PLANNING & ZONING

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

EXTRINETSION NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



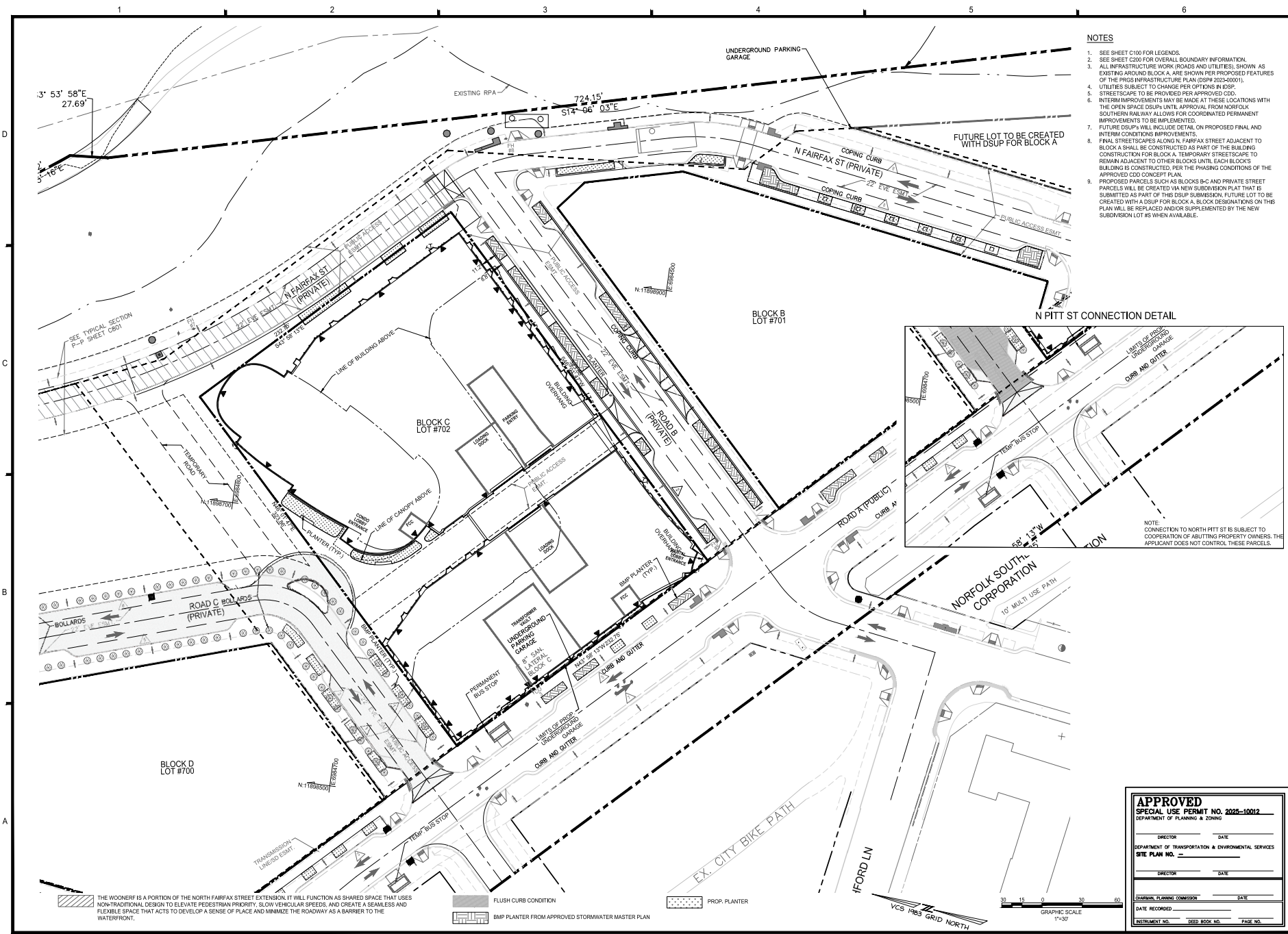
**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETE SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETION

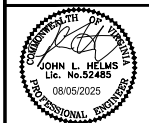
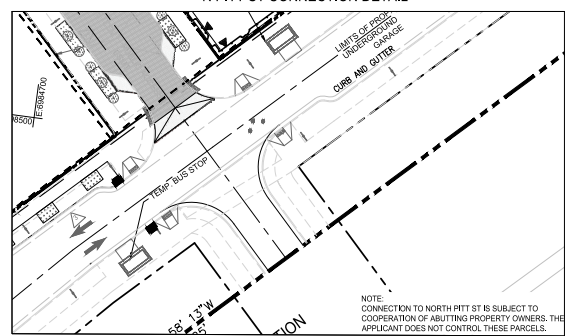
PROJECT No.: 230000062.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=80'  
DESIGN: JH  
DRAWN: MG  
CHECKED: KMW

**OVERALL SITE PLAN**

SHEET No. **C300**



- NOTES**
- SEE SHEET C100 FOR LEGENDS.
  - SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
  - ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES) SHOWN AS EXISTING AROUND BLOCK A ARE SHOWN PER PROPOSED FEATURES OF THE PRGS INFRASTRUCTURE PLAN (DSP# 2023-0001).
  - UTILITIES SUBJECT TO CHANGE PER OPTIONS IN DSP#.
  - STREETSCAPE TO BE PROVIDED PER APPROVED CDD.
  - INTERIM IMPROVEMENTS MAY BE MADE AT THESE LOCATIONS WITH THE OPEN SPACE DSUP UNTIL APPROVAL FROM NORFOLK SOUTHERN RAILWAY ALLOWS FOR COORDINATED PERMANENT IMPROVEMENTS TO BE IMPLEMENTED.
  - FUTURE DSUP#4 WILL INCLUDE DETAIL ON PROPOSED FINAL AND INTERIM CONDITIONS IMPROVEMENTS.
  - FINAL STREETSCAPES ALONG N FAIRFAX STREET ADJACENT TO BLOCK A SHALL BE CONSTRUCTED AS PART OF THE BUILDING CONSTRUCTION FOR BLOCK A. TEMPORARY STREETSCAPE TO REMAIN ADJACENT TO OTHER BLOCKS UNTIL EACH BLOCKS BUILDING IS CONSTRUCTED PER THE PHASING CONDITIONS OF THE APPROVED CDD CONCEPT PLAN.
  - PROPOSED PARCELS SUCH AS BLOCKS B-C AND PRIVATE STREET PARCELS WILL BE CREATED VIA NEW SUBDIVISION PLAT THAT IS SUBMITTED AS PART OF THIS DSUP SUBMISSION. FUTURE LOT TO BE CREATED WITH A DSUP FOR BLOCK A. BLOCK DESIGNATIONS ON THIS PLAN WILL BE REPLACED AND/OR SUPPLEMENTED BY THE NEW SUBDIVISION LOT #S WHEN AVAILABLE.



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - and SUBMISSION

PROJECT No.: 23050502.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: MG  
 CHECKED: KMW

**PRELIMINARY SITE PLAN**

SHEET No. **C301**

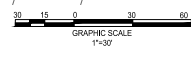
**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

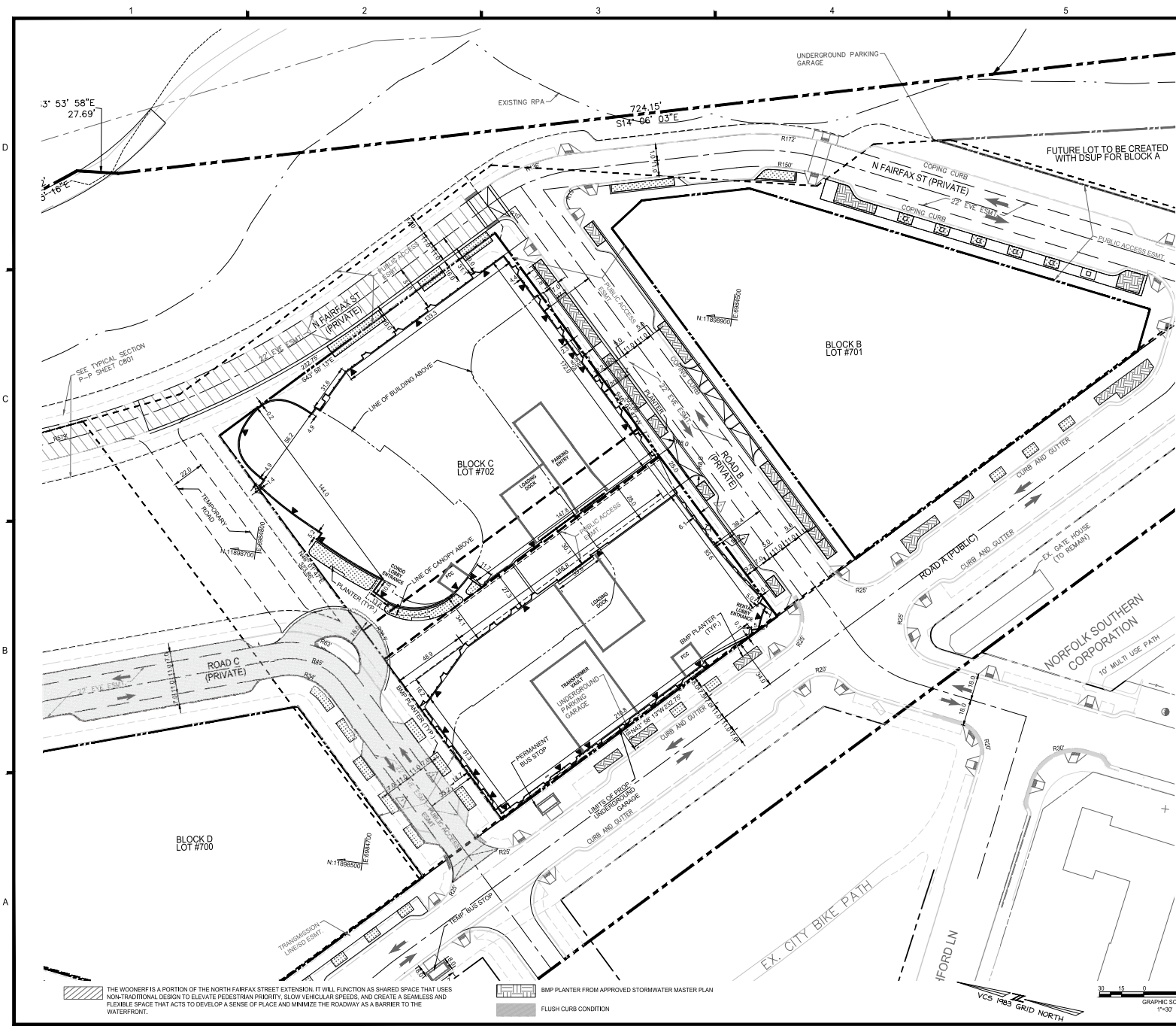
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

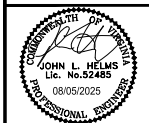
THE WOONERF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

FLUSH CURB CONDITION  
 BMP PLANTER FROM APPROVED STORMWATER MASTER PLAN  
 PROP. PLANTER





- NOTES**
1. SEE SHEET C100 FOR LEGENDS.
  2. SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
  3. ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES) SHOWN AS EXISTING AROUND BLOCK A, ARE SHOWN PER PROPOSED FEATURES OF THE PREP INFRASTRUCTURE PLAN (USPR 2023-0001).
  4. UTILITIES SUBJECT TO CHANGE PER OPTIONS IN DSP.
  5. STREETSCAPE TO BE PROVIDED PER APPROVED CDD.
  6. INTERIM IMPROVEMENTS MAY BE MADE AT THESE LOCATIONS WITH THE OPEN SPACE DSUP UNTIL APPROVAL FROM NORFOLK SOUTHERN RAILWAY ALLOWS FOR COORDINATED PERMANENT IMPROVEMENTS TO BE IMPLEMENTED.
  7. FUTURE DSUP WILL INCLUDE DETAIL ON PROPOSED FINAL AND INTERIM CONDITIONS IMPROVEMENTS.
  8. FINAL STREETSCAPES ALONG N FAIRFAX STREET ADJACENT TO BLOCK A SHALL BE CONSTRUCTED AS PART OF THE BUILDING CONSTRUCTION FOR BLOCK A, TEMPORARY STREETSCAPE TO REMAIN ADJACENT TO OTHER BLOCKS UNTIL EACH BLOCK'S BUILDING IS CONSTRUCTED, PER THE PHASING CONDITIONS OF THE APPROVED CDD CONCEPT PLAN.
  9. PROPOSED PARCELS SUCH AS BLOCKS B-C AND PRIVATE STREET PARCELS WILL BE CREATED VIA NEW SUBDIVISION PLAN THAT IS SUBMITTED AS PART OF THIS DSUP SUBMISSION. FUTURE LOT TO BE CREATED WITH A DSUP FOR BLOCK A, BLOCK DESIGNATIONS ON THIS PLAN WILL BE REPLACED AND/OR SUPPLEMENTED BY THE NEW SUBDIVISION LOT S AS WHEN AVAILABLE.



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETE SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050502.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMV

**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

DATE RECORDED: \_\_\_\_\_  
 DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

JOURNAL PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

RETIREMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_

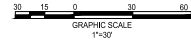
**PRELIMINARY DIMENSION PLAN**

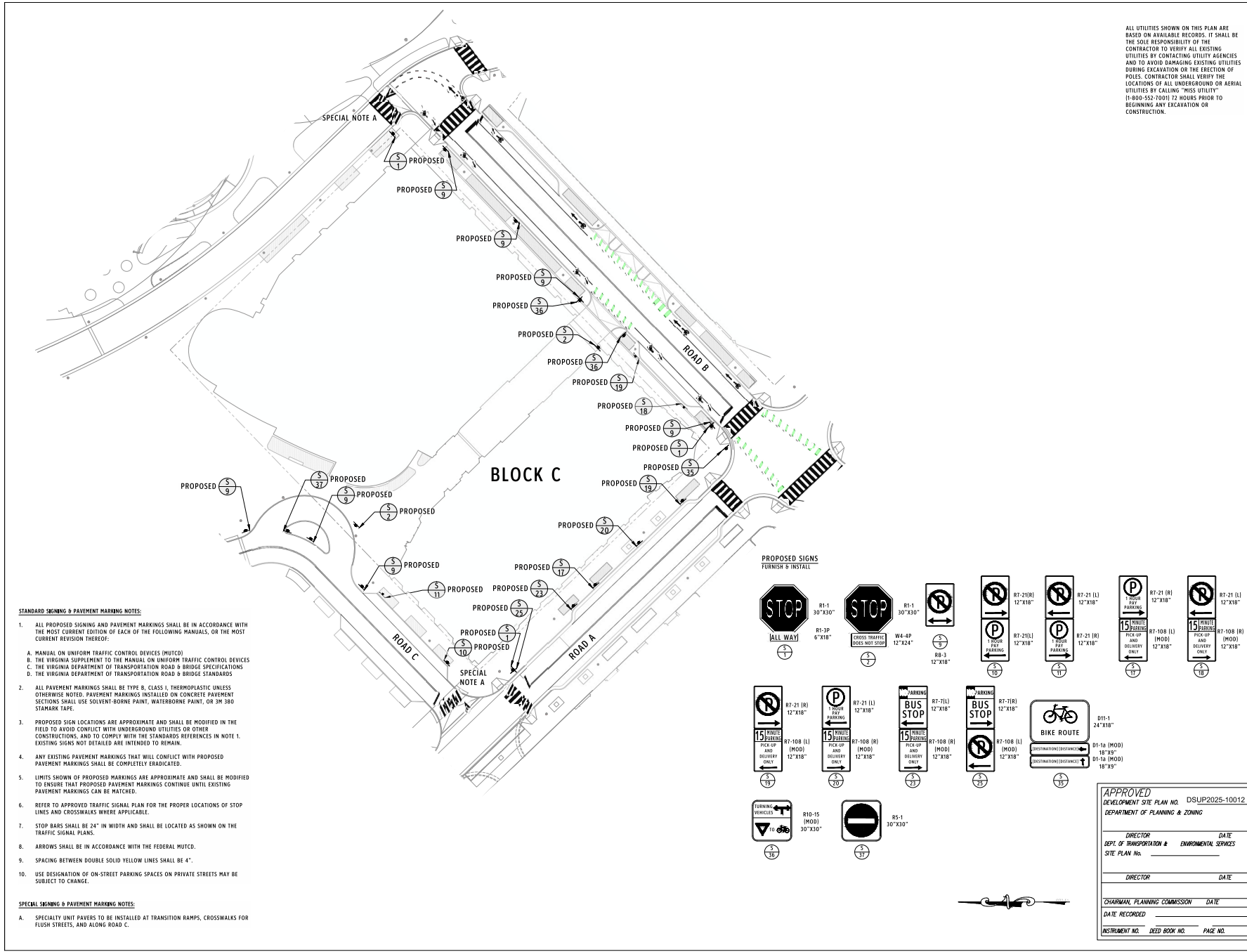
SHEET No. **C302**

THE WOONERF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

BMP PLANTER FROM APPROVED STORMWATER MASTER PLAN

FLUSH CURBS CONDITION





ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BY CONTACTING UTILITY AGENCIES AND TO AVOID DAMAGING EXISTING UTILITIES DURING EXCAVATION OR THE ERECTION OF POLES. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND OR AERIAL UTILITIES BY CALLING "MISS UTILITY" (1-800-552-7001) 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION.

**PRGS BLOCK C**  
**VERIFICATION OF COMPLETENESS**  
 1300 North Royal Street  
 Alexandria, VA 22314

**GOROVE SLADE**  
 Transportation Planners and Engineers

**hrp GROUP**  
 HRP Polman, LLC  
 1199 N Fairfax St, Suite 808  
 Alexandria, VA 22314  
 Tel: 312.796.6564  
 Fax: xxx.xxx.xxx

**Gensler**  
 2020 K Street NW  
 Suite 200  
 Washington, DC 20008  
 United States  
 Tel: 202.721.5200  
 Fax: 202.872.8587

**STANDARD SIGNING & PAVEMENT MARKING NOTES:**

1. ALL PROPOSED SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING MANUALS, OR THE MOST CURRENT REVISION THEREOF:
  - A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
  - B. THE VIRGINIA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
  - C. THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD & BRIDGE SPECIFICATIONS
  - D. THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD & BRIDGE STANDARDS
2. ALL PAVEMENT MARKINGS SHALL BE TYPE B, CLASS I, THERMOPLASTIC UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS INSTALLED ON CONCRETE PAVEMENT SECTIONS SHALL USE SOLVENT-BORNE PAINT, WATERBORNE PAINT, OR 3M 390 STAMARK TAPE.
3. PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER CONSTRUCTIONS, AND TO COMPLY WITH THE STANDARDS REFERENCES IN NOTE 1. EXISTING SIGNS NOT DETAILED ARE INTENDED TO REMAIN.
4. ANY EXISTING PAVEMENT MARKINGS THAT WILL CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE COMPLETELY ERADICATED.
5. LIMITS SHOWN OF PROPOSED MARKINGS ARE APPROXIMATE AND SHALL BE MODIFIED TO ENSURE THAT PROPOSED PAVEMENT MARKINGS CONTINUE UNTIL EXISTING PAVEMENT MARKINGS CAN BE MATCHED.
6. REFER TO APPROVED TRAFFIC SIGNAL PLAN FOR THE PROPER LOCATIONS OF STOP LINES AND CROSSWALKS WHERE APPLICABLE.
7. STOP BARS SHALL BE 24" IN WIDTH AND SHALL BE LOCATED AS SHOWN ON THE TRAFFIC SIGNAL PLANS.
8. ARROWS SHALL BE IN ACCORDANCE WITH THE FEDERAL MUTCD.
9. SPACING BETWEEN DOUBLE SOLID YELLOW LINES SHALL BE 4".
10. USE DESIGNATION OF ON-STREET PARKING SPACES ON PRIVATE STREETS MAY BE SUBJECT TO CHANGE.

**SPECIAL SIGNING & PAVEMENT MARKING NOTES:**

1. SPECIALTY UNIT PAVERS TO BE INSTALLED AT TRANSITION RAMPS, CROSSWALKS FOR FLUSH STREETS, AND ALONG ROAD C.

Date	Description
09/22/2023	CONCEPT SUBMISSION
05/16/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature  
  
 SASHA N. REDMON  
 Lic. No. 065666  
 PROFESSIONAL ENGINEER

Project Name  
 PRGS Redevelopment - Block C

Project Number  
 2994-001

Scale  
 1" = 30'-0"

Description  
 CURBSIDE MANAGEMENT SIGNAGE PLAN

**C303**

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES

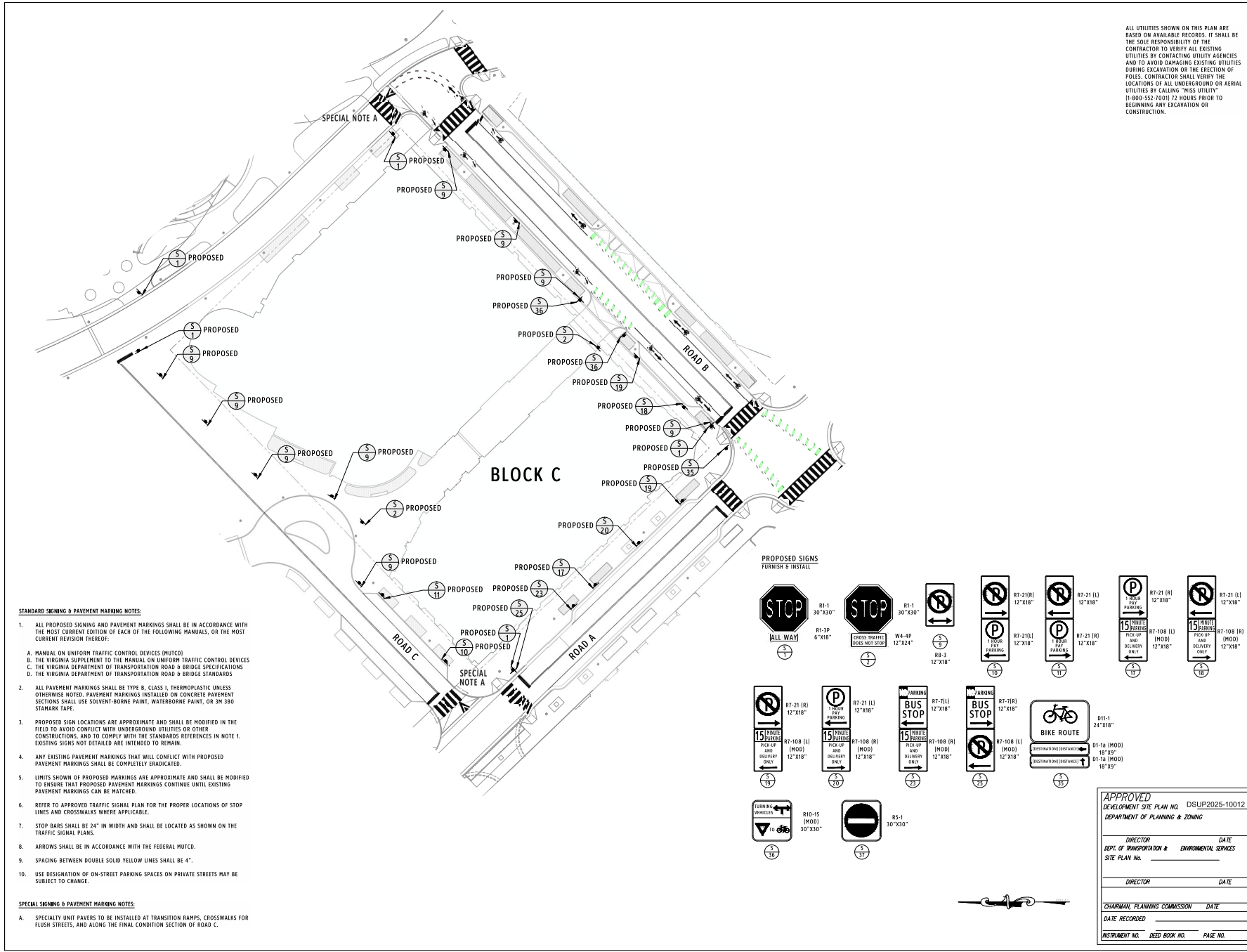
SITE PLAN No. \_\_\_\_\_

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BY CONTACTING UTILITY AGENCIES AND TO AVOID DAMAGING EXISTING UTILITIES DURING EXCAVATION OR THE ERECTION OF POLES. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND OR AERIAL UTILITIES BY CALLING "MISS UTILITY" (1-800-552-7001) 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION.

**PRGS BLOCK C**  
VERIFICATION OF COMPLETENESS

1300 North Royal Street  
Alexandria, VA 22314

**GOROVE SLADE**  
Transportation Planners and Engineers

**hrp GROUP**

HRP Polman, LLC  
1199 N Fairfax St, Suite 808  
Alexandria, VA 22314  
Tel: 312.796.6564  
Fax: xxx.xxx.xxx

**Gensler**

2020 K Street NW  
Suite 200  
Washington, DC 20006  
United States  
Tel: 202.721.5200  
Fax: 202.872.8587

Date	Description
09/22/2023	CONCEPT II SUBMISSION
05/16/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

Project Name	PRGS Redevelopment - Block C
Project Number	2994-001
Scale	1" = 30'-0"
Description	CURBSIDE MANAGEMENT SIGNAGE PLAN - TEMPORARY CONDITION
<b>C304</b>	

**APPROVED**  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES

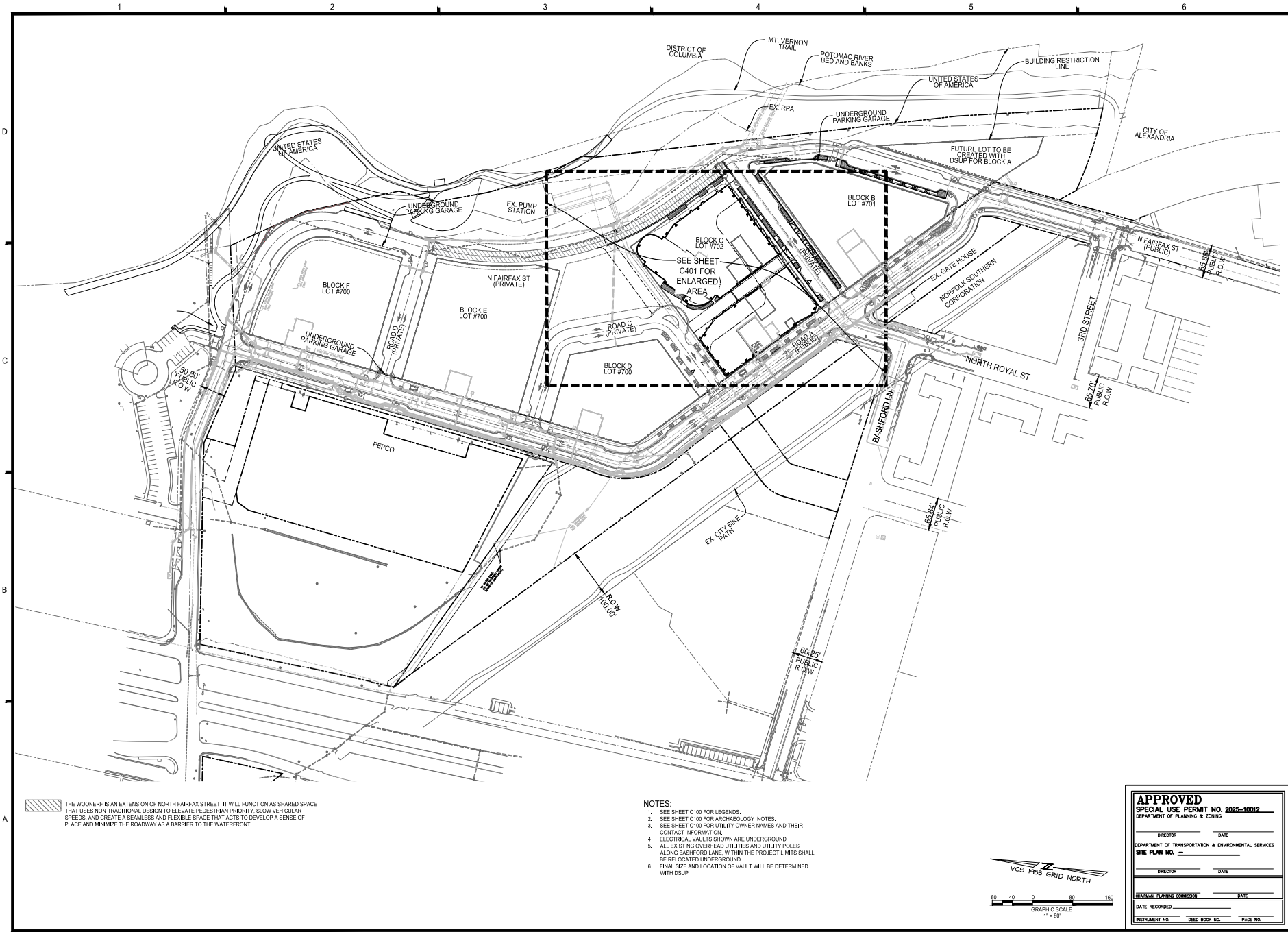
SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

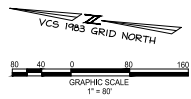
DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



THE WOONERF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

- NOTES:**
1. SEE SHEET C100 FOR LEGENDS.
  2. SEE SHEET C100 FOR ARCHAEOLOGY NOTES.
  3. SEE SHEET C100 FOR UTILITY OWNER NAMES AND THEIR CONTACT INFORMATION.
  4. ELECTRICAL VAULTS SHOWN ARE UNDERGROUND.
  5. ALL EXISTING OVERHEAD UTILITIES AND UTILITY POLES ALONG BASHFORD LANE, WITHIN THE PROJECT LIMITS SHALL BE RELOCATED UNDERGROUND.
  6. FINAL SIZE AND LOCATION OF VAULT WILL BE DETERMINED WITH DSUP.



**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

SITE PLAN NO. \_\_\_\_\_


DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_


JURISDICTIONAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

ENTRINCHMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

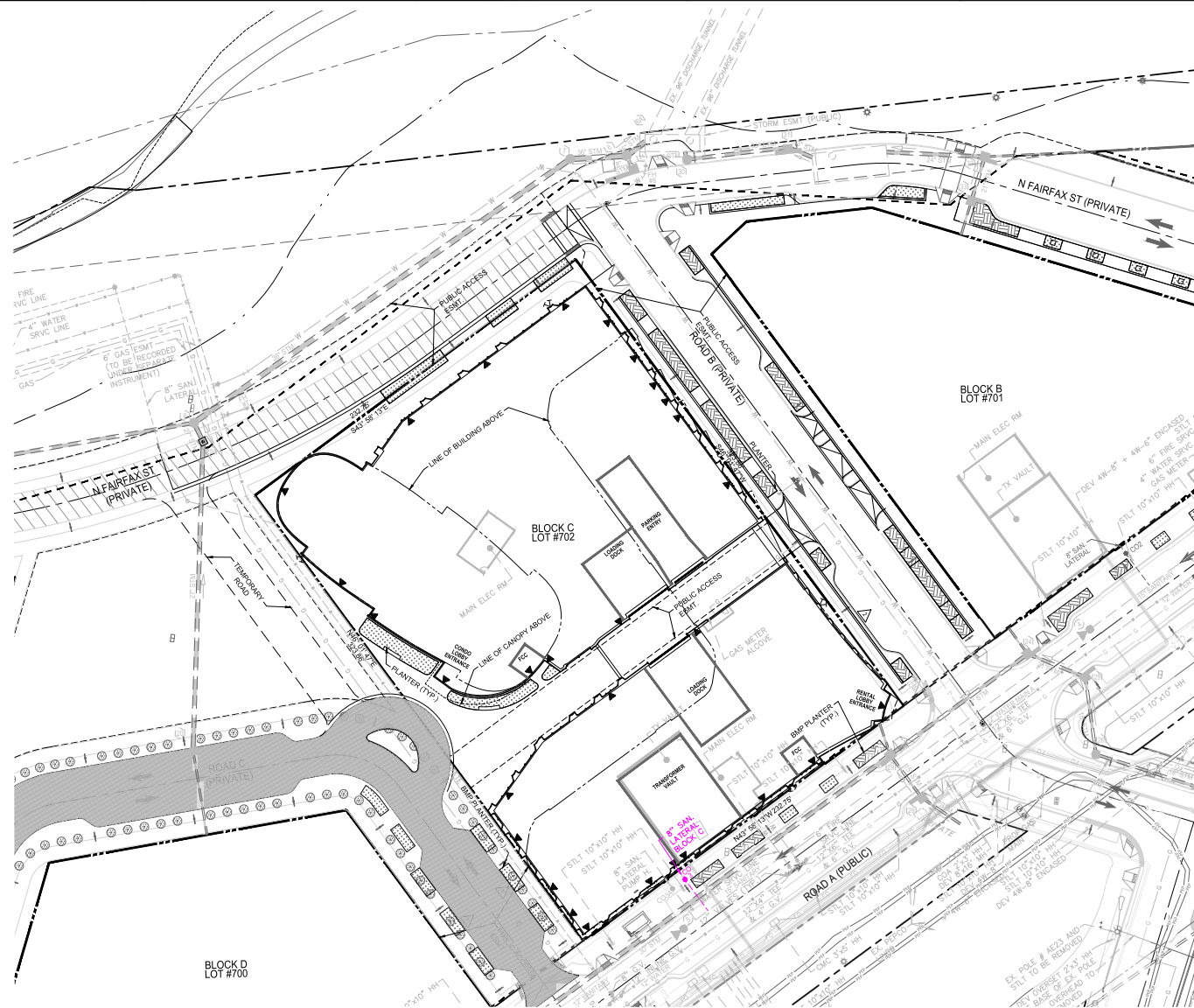
PROJECT No.: 230050020.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=50'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMV

**OVERALL UTILITY PLAN**

SHEET No. **C400**

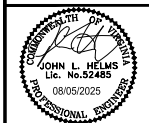
1 2 3 4 5 6

D  
C  
B  
A



THE WOODERF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION, IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICLES SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

- NOTES:**
1. SEE SHEET C100 FOR LEGENDS.
  2. SEE SHEET C100 FOR ARCHAEOLOGY NOTES.
  3. SEE SHEET C100 FOR UTILITY OWNER NAMES AND THEIR CONTACT INFORMATION.
  4. ELECTRICAL VAULTS SHOWN ARE UNDERGROUND.
  5. ALL EXISTING OVERHEAD UTILITIES AND UTILITY POLES ALONG BASHFORD LANE, WITHIN THE PROJECT LIMITS SHALL BE RELOCATED UNDERGROUND.
  6. FINAL SIZE AND LOCATION OF VAULT WILL BE DETERMINED WITH DSCP.
  2. THE APPROXIMATE DISTURBED AREA IS 1.73 ACRES.



**PRGS - REDEVELOPMENT**  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - AND SUBMISSION

PROJECT No.: 230002062.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KW

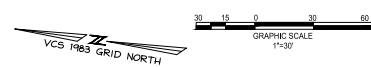
**BLOCK C UTILITY PLAN**

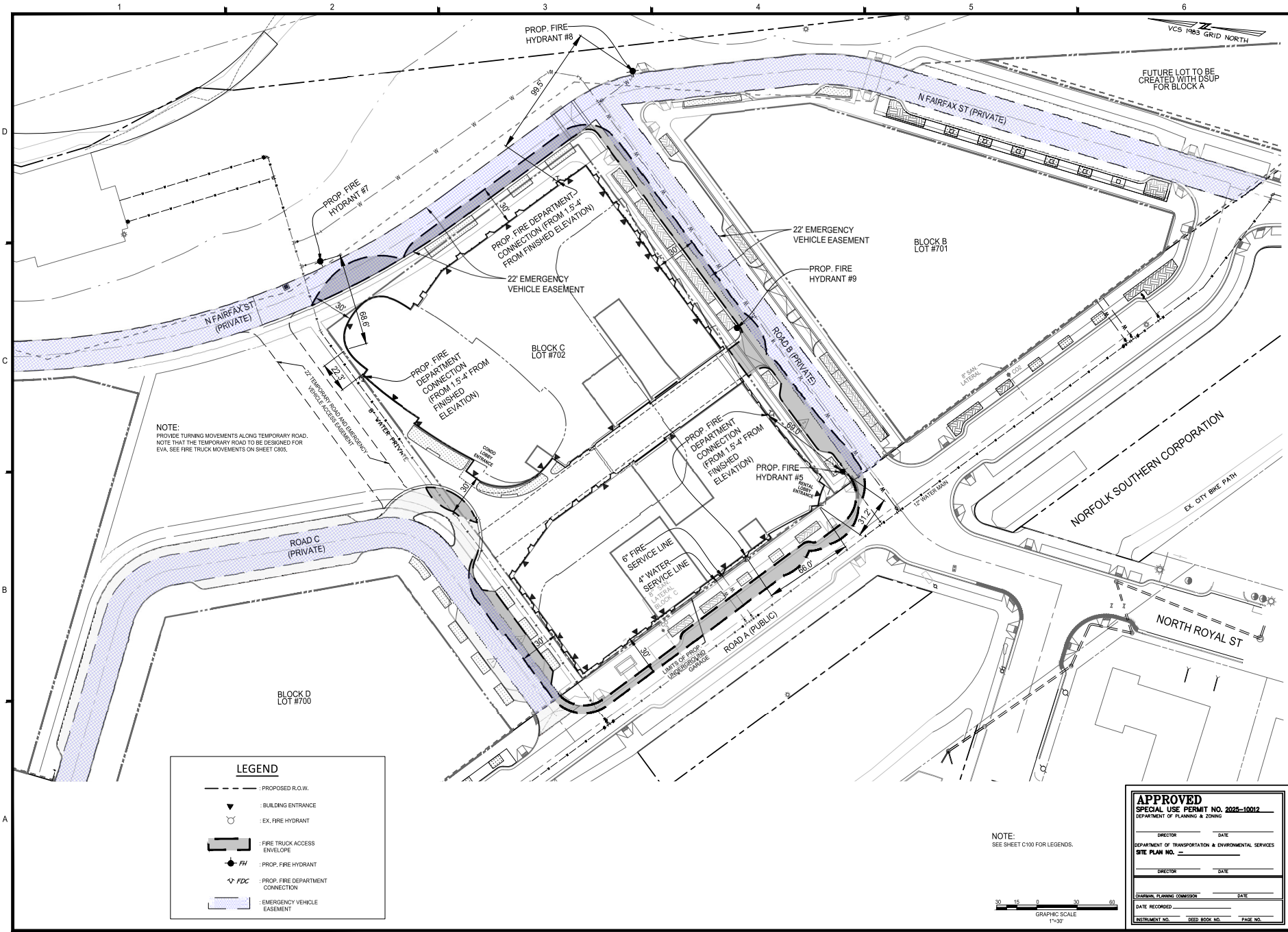
SHEET No.: **C401**

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
RETIREMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



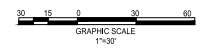


**NOTE:**  
 PROVIDE TURNING MOVEMENTS ALONG TEMPORARY ROAD.  
 NOTE THAT THE TEMPORARY ROAD TO BE DESIGNED FOR  
 EVA. SEE FIRE TRUCK MOVEMENTS ON SHEET C305.

**LEGEND**

- - - PROPOSED R.O.W.
- ▼ BUILDING ENTRANCE
- EX. FIRE HYDRANT
- [Hatched Area] FIRE TRUCK ACCESS ENVELOPE
- FH PROP. FIRE HYDRANT
- FDC PROP. FIRE DEPARTMENT CONNECTION
- [Blue Hatched Area] EMERGENCY VEHICLE EASEMENT

**NOTE:**  
 SEE SHEET C100 FOR LEGENDS.



**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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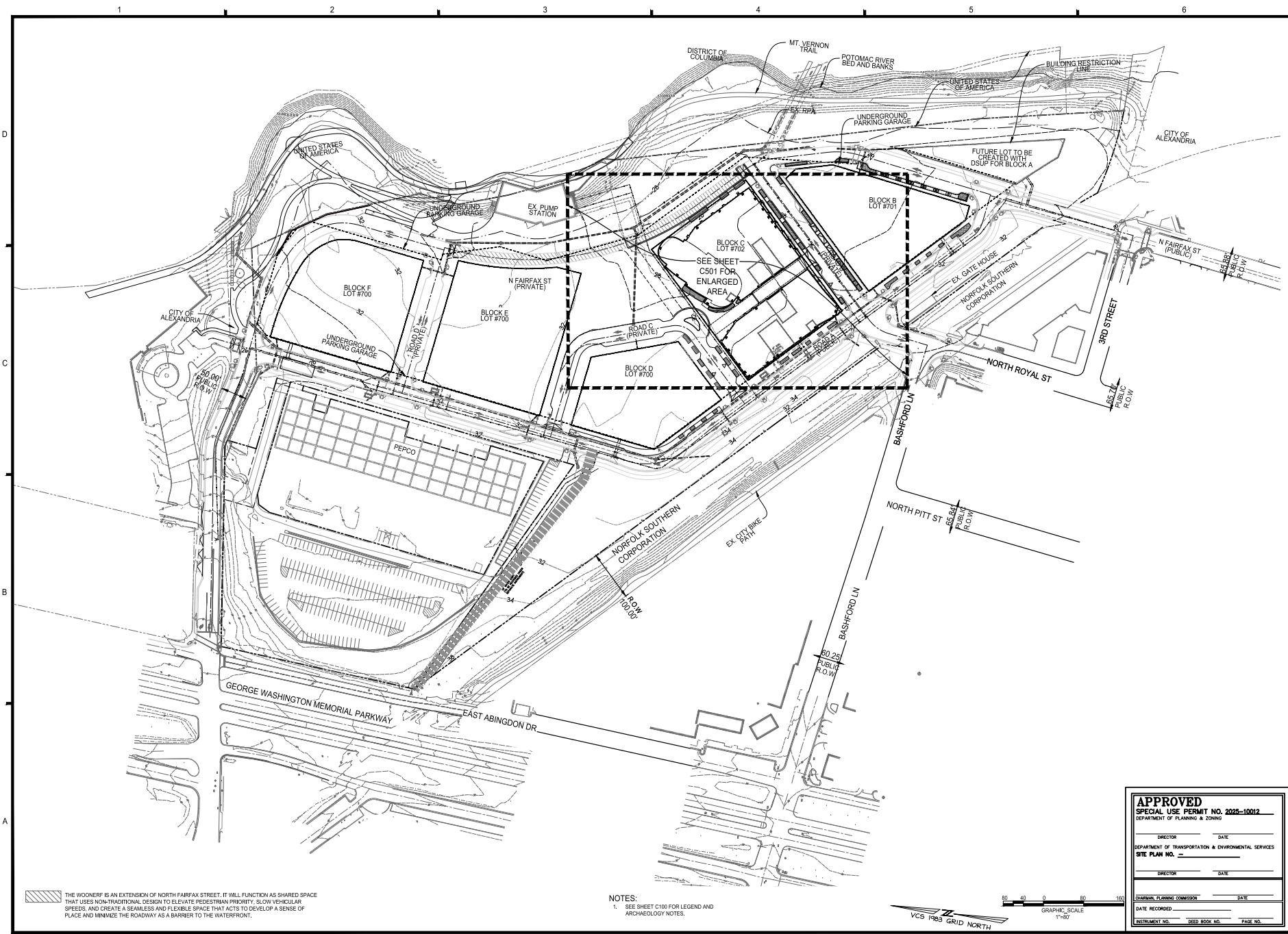
**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - final SUBMISSION

PROJECT No.: 202005062.00  
 DRAWING No.: 114123  
 DATE: 04/16/2025  
 SCALE: 1"=30'

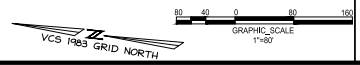
**FIRE SAFETY PLAN**

SHEET No. **C405**



THE WOONERF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

NOTES:  
 1. SEE SHEET C100 FOR LEGEND AND ARCHAEOLOGY NOTES.




**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF PLANNING & ZONING

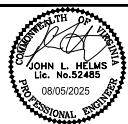
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
**SITE PLAN NO. \_\_\_\_\_**

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

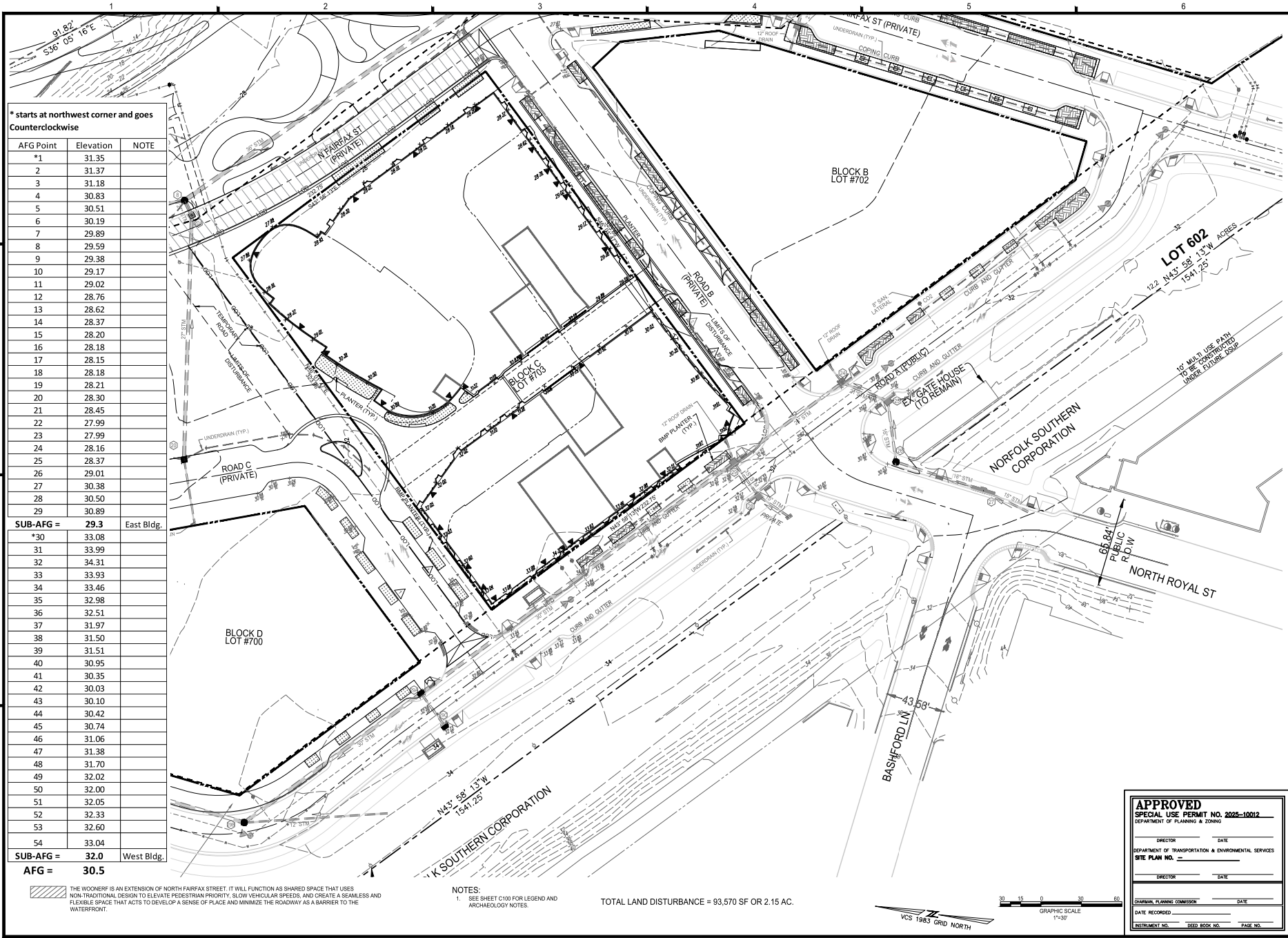
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230000020.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=80'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMM

**OVERALL GRADING PLAN**

SHEET No. **C500**




\* starts at northwest corner and goes counterclockwise

AFG Point	Elevation	NOTE
*1	31.35	
2	31.37	
3	31.18	
4	30.83	
5	30.51	
6	30.19	
7	29.89	
8	29.59	
9	29.38	
10	29.17	
11	29.02	
12	28.76	
13	28.62	
14	28.37	
15	28.20	
16	28.18	
17	28.15	
18	28.18	
19	28.21	
20	28.30	
21	28.45	
22	27.99	
23	27.99	
24	28.16	
25	28.37	
26	29.01	
27	30.38	
28	30.50	
29	30.89	
<b>SUB-AFG =</b>	<b>29.3</b>	East Bldg.
*30	33.08	
31	33.99	
32	34.31	
33	33.93	
34	33.46	
35	32.98	
36	32.51	
37	31.97	
38	31.50	
39	31.51	
40	30.95	
41	30.35	
42	30.03	
43	30.10	
44	30.42	
45	30.74	
46	31.06	
47	31.38	
48	31.70	
49	32.02	
50	32.00	
51	32.05	
52	32.33	
53	32.60	
54	33.04	
<b>SUB-AFG =</b>	<b>32.0</b>	West Bldg.
<b>AFG =</b>	<b>30.5</b>	


THE WOONER IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

NOTES:  
 1. SEE SHEET C100 FOR LEGEND AND ARCHAEOLOGY NOTES.

TOTAL LAND DISTURBANCE = 93,570 SF OR 2.15 AC.



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**PRGS - REDEVELOPMENT**

**BLOCK - C**

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230505020.00

DRAWING No.: 114123

DATE: 04/18/2025

SCALE: 1"=30'

DESIGN: JH

DRAWN: JS

CHECKED: KMW

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

DEPARTMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

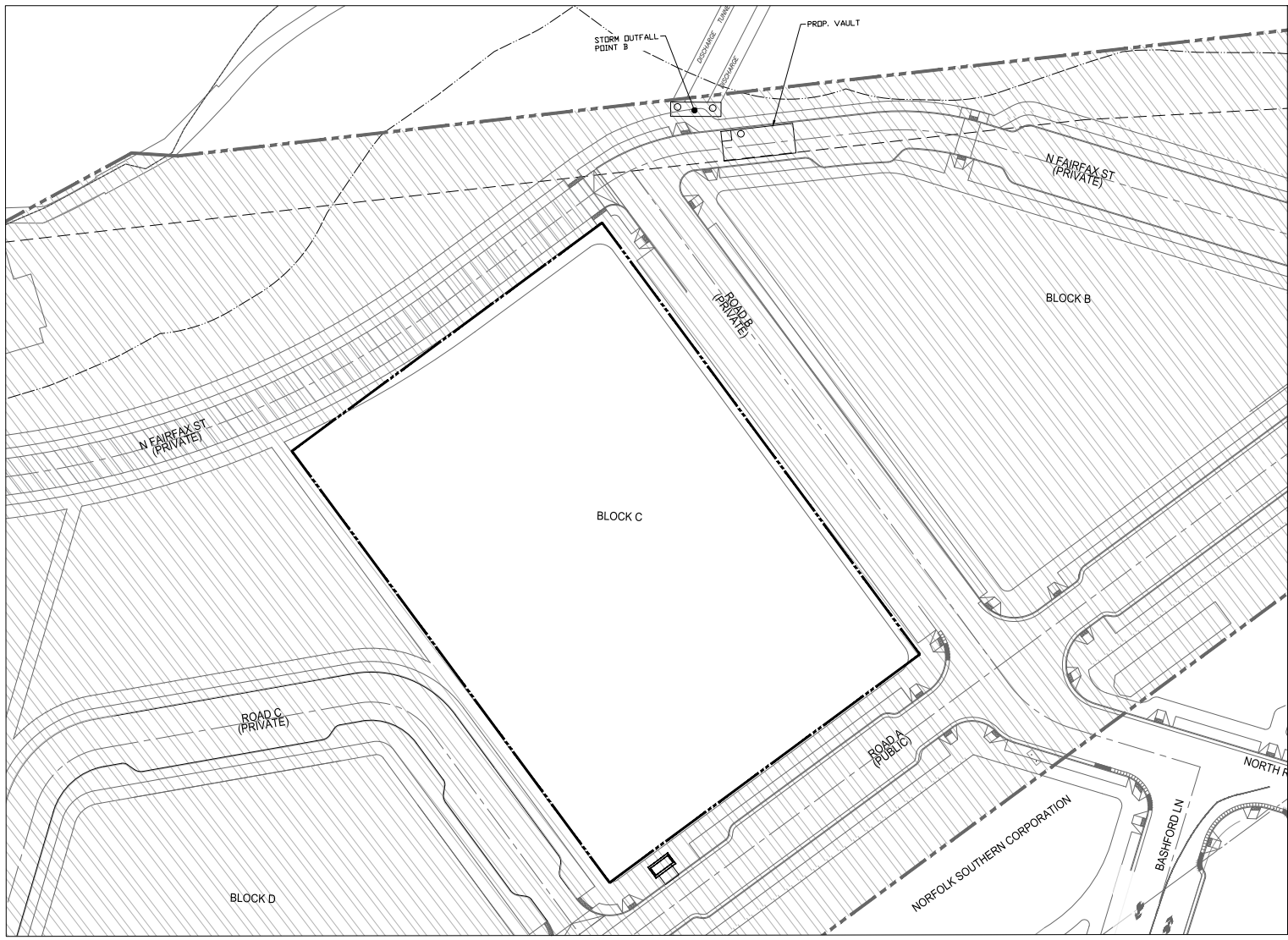
**BLOCK C GRADING PLAN**

SHEET No. **C501**



1 2 3 4 5 6

D  
C  
B  
A



**LEGEND:**

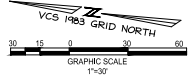
EXISTING IMPERVIOUS AREA

BACKOUT AREA (SEE NOTE #1)

PROPERTY LINE

**NOTES:**  
 1.) HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE VIRM TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.

	IMPERVIOUS	PERVIOUS	TOTAL
EXISTING	1,730 AC	0,000 AC	1,730 AC
PROPOSED	1,730 AC	0,000 AC	1,730 AC



**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JURISDICTIONAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230505020.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMV

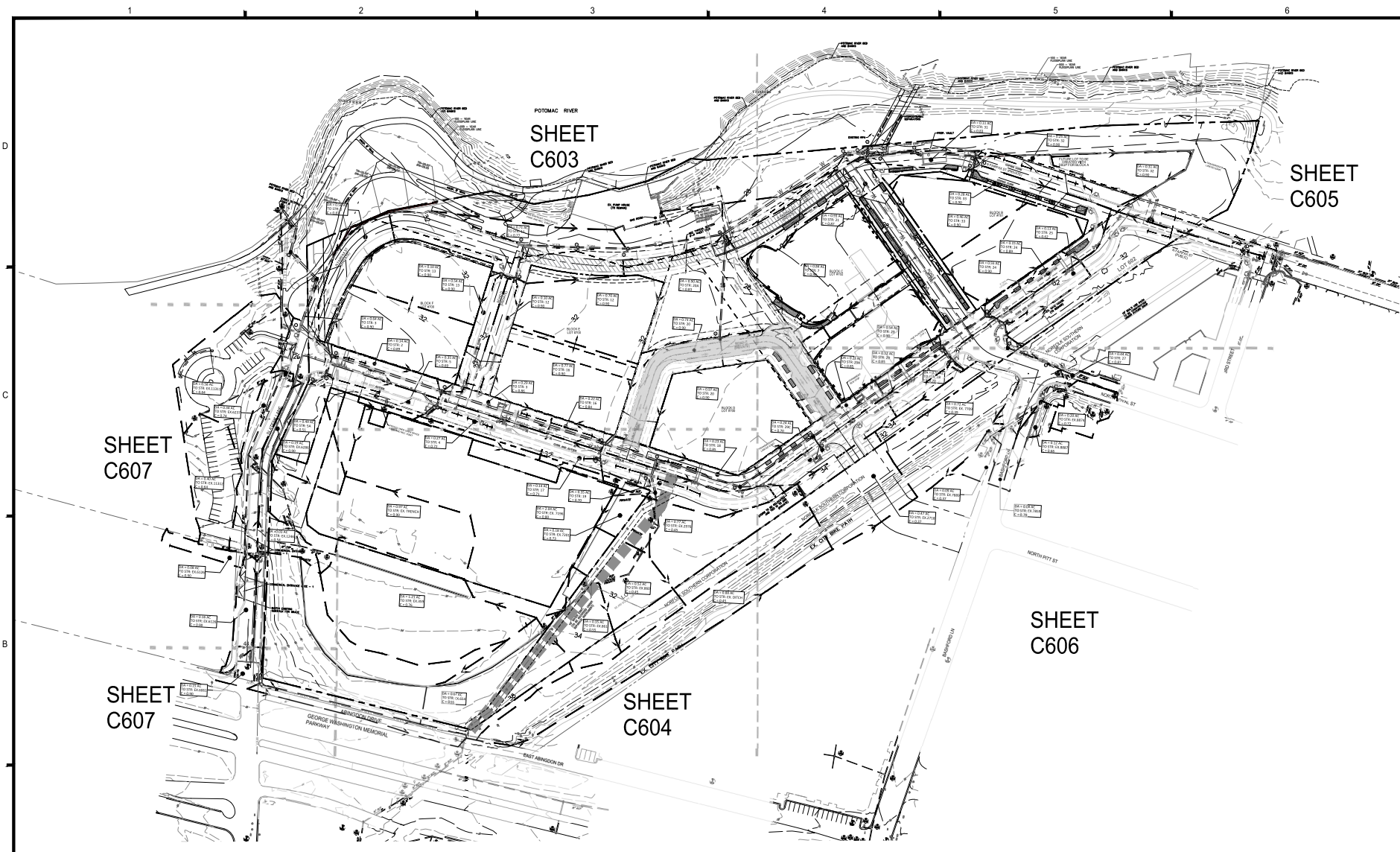
POST DEVELOPMENT IMPERVIOUS

SHEET No. **C601**

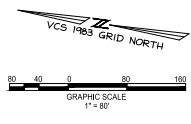
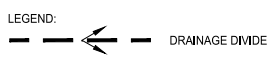
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JOHN L. HELMS  
 Lic. No. 52485  
 08/05/2025  
 PROFESSIONAL ENGINEER

PRGS - REDEVELOPMENT  
 BLOCK - C  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA



- NOTES:**
1. SEE STORM SEWER CALCULATIONS ON SHEET C617.
  2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C612.
  3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.



**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

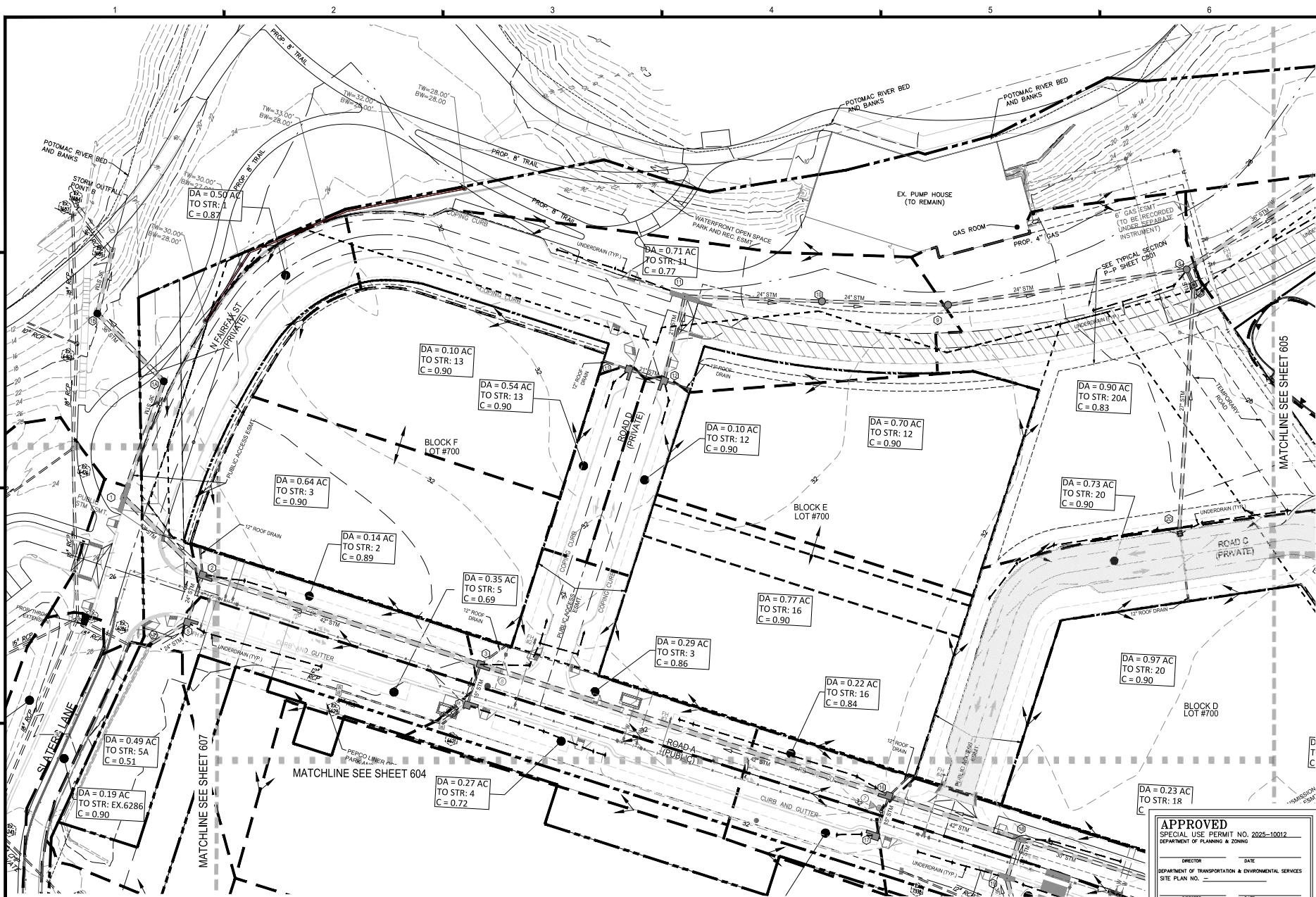
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

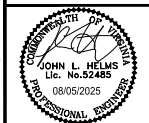
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DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: NONE  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

**OVERALL DRAINAGE AREA MAP**

SHEET No. **C602**



- NOTES:
1. SEE STORM SEWER CALCULATIONS ON SHEET 0017.
  2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET 0002.
  3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.



**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

DATE	DESCRIPTION
08/05/2025	COMPLETION SUBMISSION
07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 230050020.00  
 DRAWING No.: 114123  
 DATE: 04/19/2025  
 SCALE: 1" = 30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KHW

**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

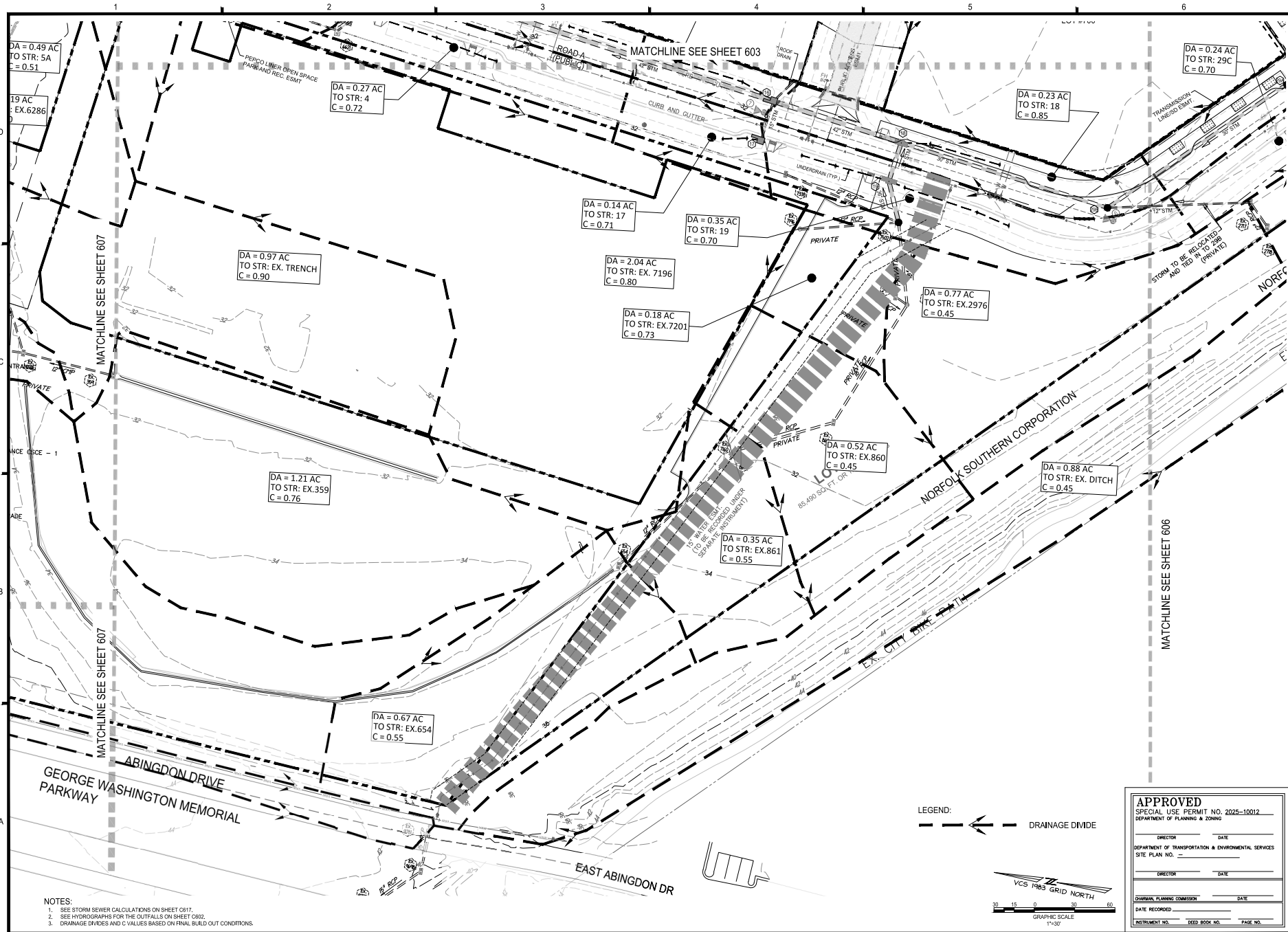
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DIVISION \_\_\_\_\_

DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

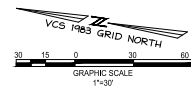
**DRAINAGE AREA MAP**

SHEET No. **C603**




NOTES:  
 1. SEE STORM SEWER CALCULATIONS ON SHEET C617.  
 2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C602.  
 3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.

LEGEND:  
 --- DRAINAGE DIVIDE




**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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PRGS - REDEVELOPMENT  
 BLOCK - C  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

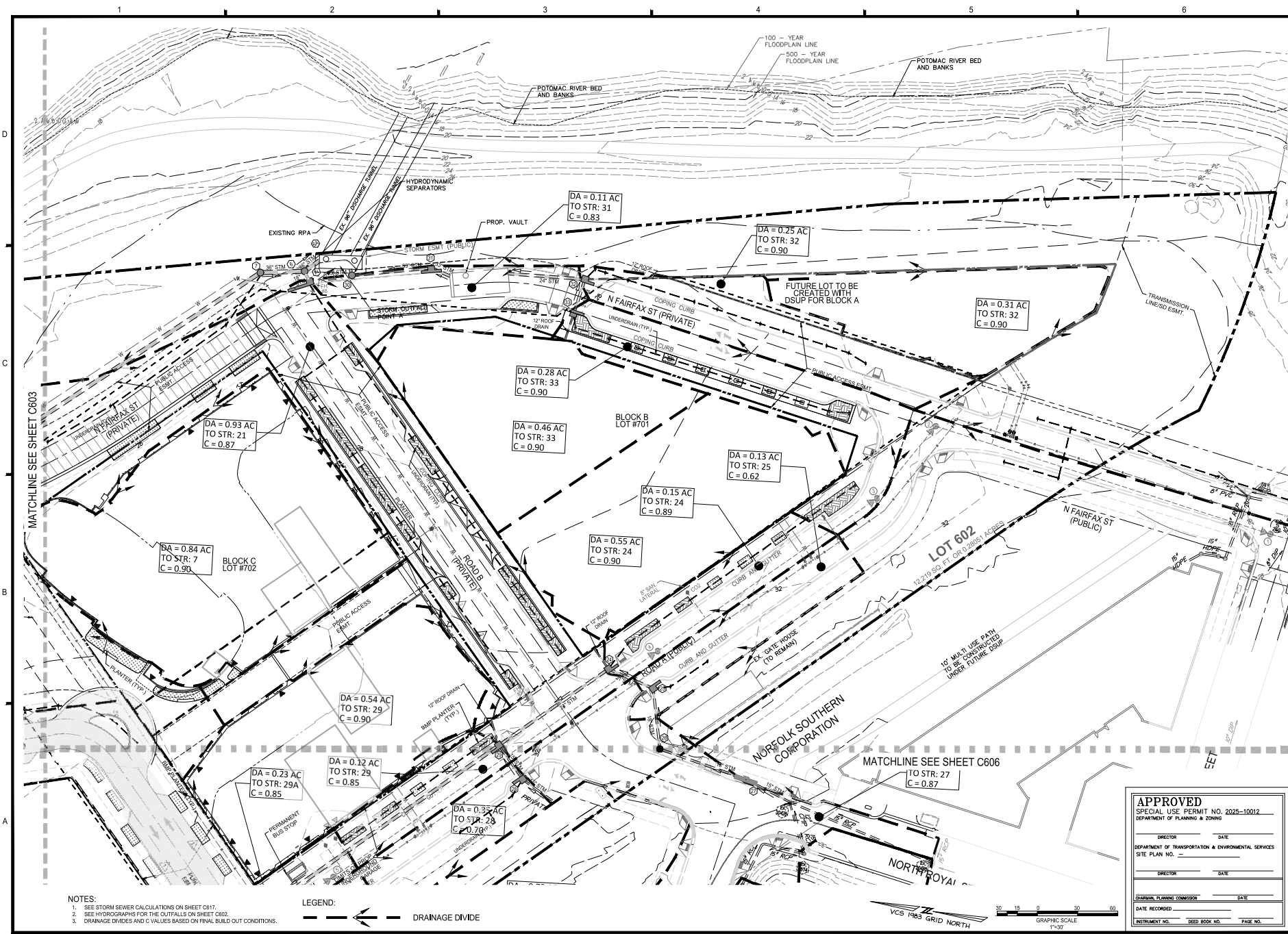
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
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2	07/10/2025	VERIFICATION OF COMPLETION

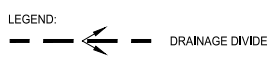
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 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMW

DRAINAGE AREA MAP

SHEET NO. **C604**



- NOTES:**
1. SEE STORM SEWER CALCULATIONS ON SHEET C617.
  2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C602.
  3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.




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SPECIAL USE PERMIT NO. 2025-10012


DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
DESIGNER: JH  
DRAWN: JS  
CHECKED: KHW

PERMANENT BLDG STOP

10' M.U. USE WITH TO BE RESTRICTED UNDER FUTURE DSUP



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**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

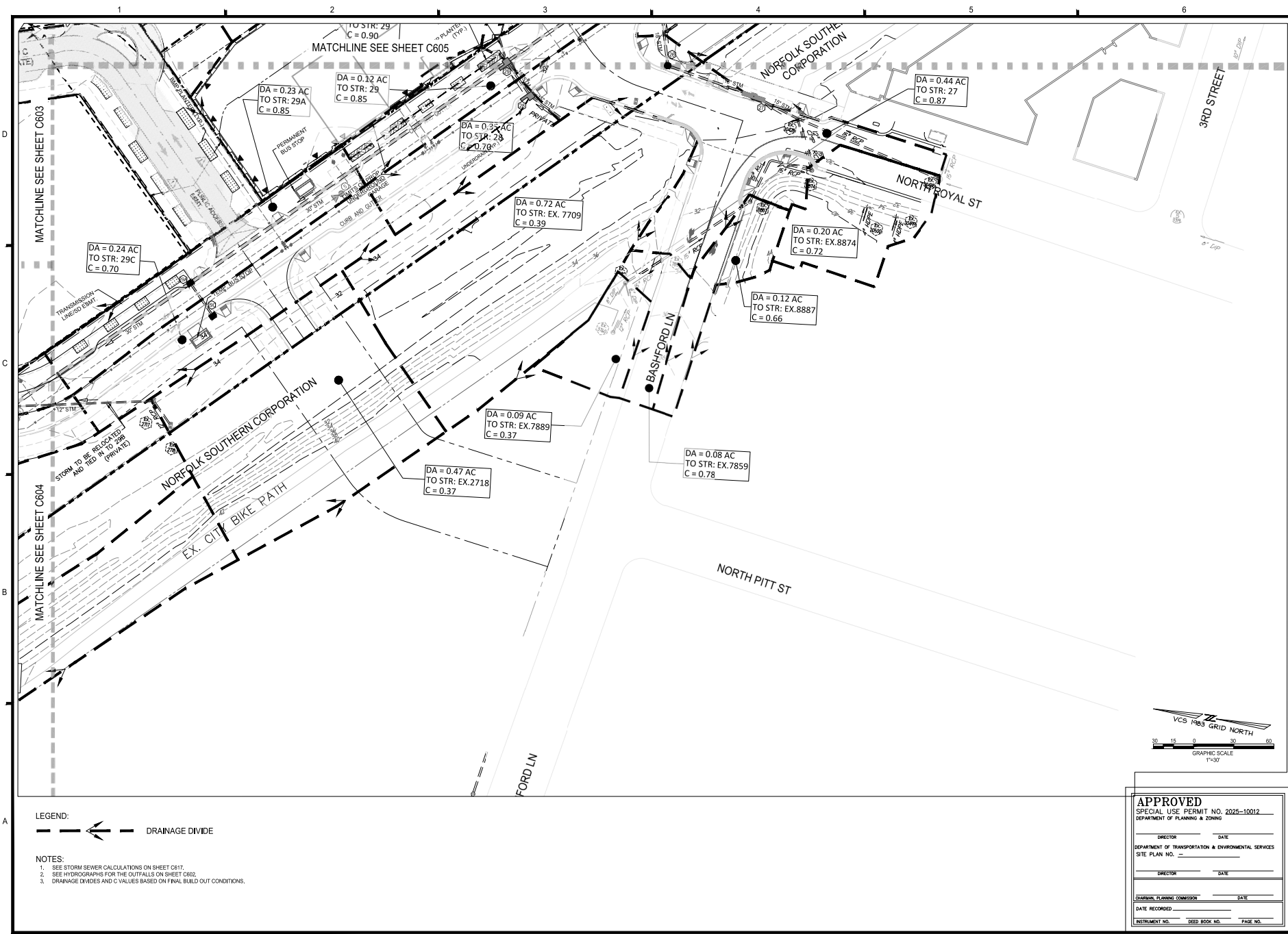
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 20050502.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1" = 30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

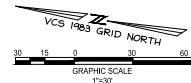
**DRAINAGE AREA MAP**

SHEET No.: **C605**



**LEGEND:**  
 ---<--->--- DRAINAGE DIVIDE

- NOTES:**  
 1. SEE STORM SEWER CALCULATIONS ON SHEET C617.  
 2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C602.  
 3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.

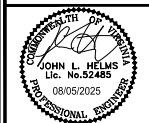


**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



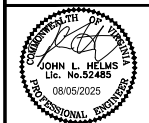
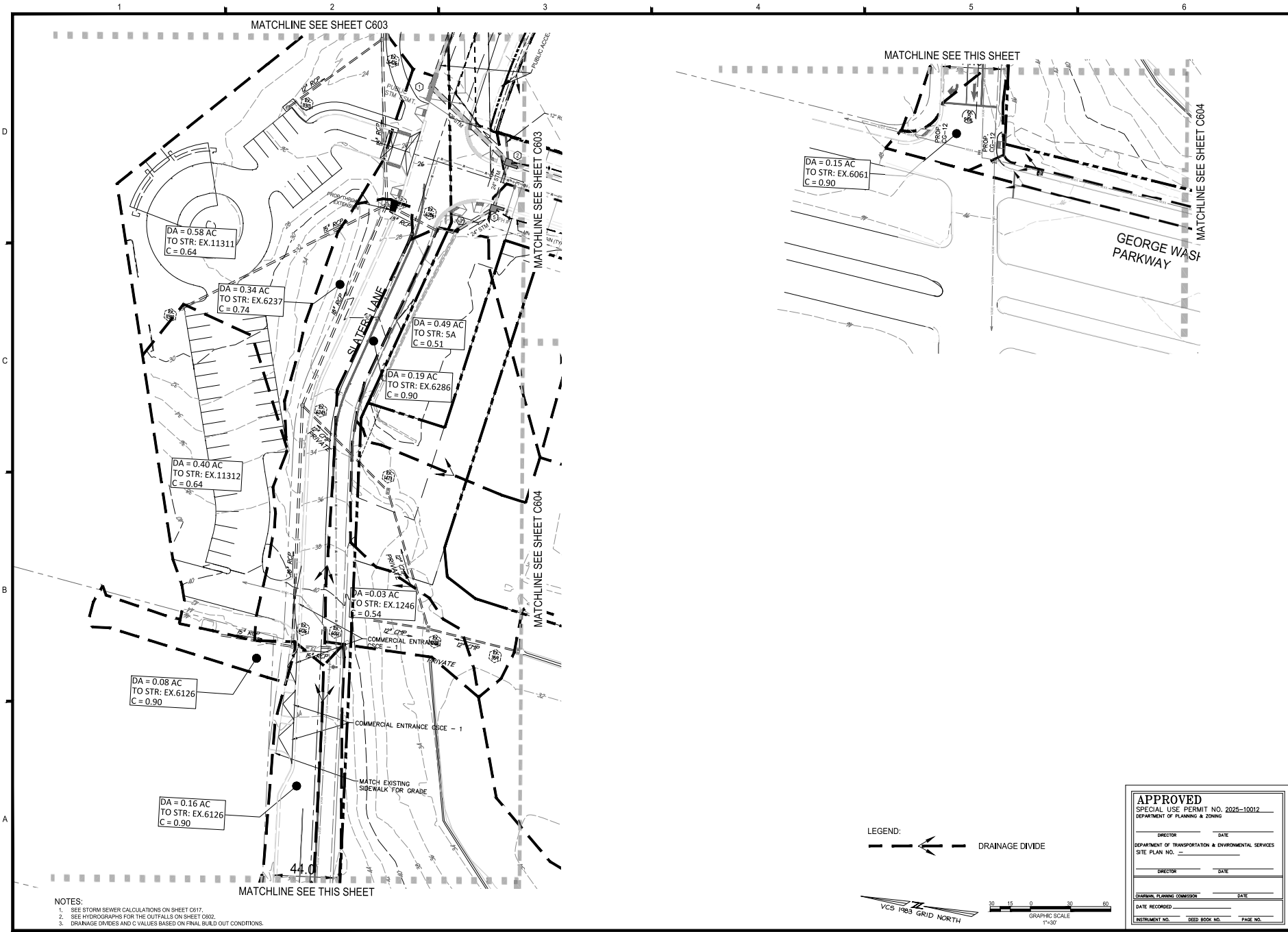
**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230050602.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KHW

**DRAINAGE AREA**  
**MAP**

SHEET No. **C606**



PRGS - REDEVELOPMENT  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050502.00  
DRAWING No.: 114123  
DATE: 04/15/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

DRAINAGE AREA MAP

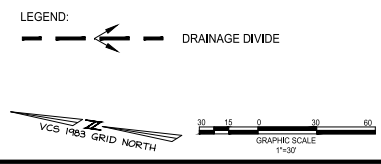
SHEET No. C607

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



**ENVIRONMENTAL SITE ASSESSMENT**

1. THERE ARE NO TAIL WATERS, TAIL SHORES, TRIBUTARY STREAMS, FLOODING, OR CONNECTED TAIL WATERS, ISOLATED WETLANDS, RIGHT-OF-WAY PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THE DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE KNOWN UNDERGROUND STORAGE TANKS OR GROUNDWATER CONTAMINATION ON THE SITE. THERE IS AN RPA LOCATED ALONG THE EAST SIDE OF THE PROJECT THAT WILL RECEIVE DISBURSMENT.
2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IN WRITING OF UNQUANTIFIED CONTAMINATION OF UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. THERE IS ANY DOUBT ABOUT PUBLIC LIABILITY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE FRANK OR CONTAINERS REMOVAL, RE-CONTAINER, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH THE FEDERAL, STATE, AND CITY REGULATIONS.
3. ALL WELLS TO BE DEMOLISHED THIS PROJECT, INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH THE VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS, CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-684-6400 EXT 287265.
4. WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
  - MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
  - SATURDAYS FROM 8 AM TO 12 PM.
  - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS
  - ALL PERMITS MUST BE OBTAINED PRIOR TO THE FOLLOWING HOURS:
    - MONDAY THROUGH FRIDAY FROM 8 AM TO 6 PM AND
    - SATURDAYS FROM 10 AM TO 4 PM.

**STORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES**

- THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN REPRESENTATIVE, THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPs ARE CONSTRUCTED AND INSTALLED AS DESCRIBED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTION RPIES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.
- THE CONTRACTOR SHALL TURN THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPs ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL, OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPs AND SUPPORTING EQUIPMENT.

**UTILITY WORKS**

- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 400 AND 404 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESC) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA.
- ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA. HOWEVER, NO ELECTRIC, TRANSFORMERS AND SWITCH GEARS CONTROL BOXES SHALL BE PLACED ON THE PUBLIC RIGHT-OF-WAY.
  - ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF ANY SUCH UTILITIES SHALL BE PROVIDED ON THE PLAN.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY UTILITY SERVICES AT ALL TIMES DURING CONSTRUCTION AND/OR RECONSTRUCTION.
  - NO MORE THAN 100 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPRILL SIDE OF TRENCHES.
  - EFFLUENT FROM DEMATERING OPERATIONS SHALL BE FILTERED OR PASSED.

**WATER QUALITY NARRATIVE - BLOCK C DSUP PLAN**

**WATER QUALITY REQUIREMENTS**

THE PROJECT WATER QUALITY NARRATIVE FOR BLOCK C DSUP IS A PROPOSED IMPROVED PLAN THAT IS ON THE OLD PERIOD PROPERTY LOCATED AT 1300 NORTH ROYAL STREET IN ALEXANDRIA, VIRGINIA. THE PROPERTY IS CURRENTLY VACANT. THE SITE GENERALLY SLOPES TO THE EAST AND DRAINS TO A TWIN CULVERT. ALL SITE RUNOFF ULTIMATELY DRAINS TO THE POTOMAC RIVER.

HYDROLOGIC SOILS GROUP D1 IS USED IN VPRM CALCULATIONS PER CITY STANDARDS. PRE-EXISTING CONDITIONS ARE ALL MANAGED TURF. THE PHOSPHORUS REMOVAL REQUIREMENT FOR THE APPLICATION IS A 30% REDUCTION OF THE TOTAL POST-DEVELOPMENT PHOSPHORUS LOAD. PHOSPHORUS LOAD REMOVAL REQUIRED = 6.0 LB/AC/YEAR. 30% OF PHOSPHORUS REMOVAL MUST COME FROM NON-PROPORTIONARY METHODS PER THE REQUIREMENTS OF MESA TO INDUSTRY 1.14.

BEST MANAGEMENT PRACTICES (BMP) MUST BE PROPOSED URBAN BURDENED AREAS, HYDRODYNAMIC FILTERING DEVICE, AND END POINT. SEE SHEET C01 FOR LOCATION OF BMP DEVICES AND SUPPORTING COMPUTATIONS (VPRM SPREADSHEET). PHOSPHORUS LOAD REMOVAL PROVIDED = 1.93 LB/AC/YEAR. 47% OF PHOSPHORUS REMOVAL COMES FROM NON-PROPORTIONARY METHODS. SEE SHEET C01 FOR BMP SIZING CALCULATIONS.

IF THE PROJECT EXCEEDS THE PHOSPHORUS REMOVAL REQUIREMENT AND GIVEN THAT 47% OF REMOVAL IS BY NON-PROPORTIONARY METHODS WE CONCLUDE THAT WE MEET THE WATER QUALITY REQUIREMENTS FOR THIS PLAN. AS DEMONSTRATED ON SHEET C01.

**WATER QUANTITY AND ADEQUATE OUTFALL NARRATIVE**

WATER QUANTITY REQUIREMENTS HAVE BEEN ADDRESSED WITHIN THE INFRASTRUCTURE PLAN. REFER TO THE SECTION BELOW FOR SUPPORTING DETAILS.

**WATER QUANTITY REQUIREMENTS**

THE POTOMAC RIVER GENERAL SERVICE INFRASTRUCTURE PROJECT IS A PROPOSED ROAD NETWORK PLAN THAT IS ON THE OLD PERIOD PROPERTY LOCATED AT 1300 NORTH ROYAL STREET IN ALEXANDRIA, VIRGINIA. THE PROPERTY IS CURRENTLY VACANT. A PORTION OF THE SITE TO THE NORTH DRAINS TO EXISTING STORM DRAIN STRUCTURE R30A. THE SITE GENERALLY SLOPES TO THE EAST AND DRAINS TO A TWIN CULVERT. ALL SITE RUNOFF ULTIMATELY DRAINS TO THE POTOMAC RIVER.

OUTFALL A DRAINS 2.68 ACRES AND OUTFALLS INTO A CONCRETE CULVERT. 10 YEAR ALLOWABLE FLOW = 27.62 CFS, 10 YEAR POST DEVELOPMENT FLOW = 26.67 CFS, 2 YEAR VELOCITY = 7.48 FPS AND IS NON-EROSIVE. 100 YEAR ALLOWABLE FLOW = 43.26 CFS, 100 YEAR POST DEVELOPMENT FLOW = 43.24 CFS.

OUTFALL B DRAINS 2.68 ACRES AND OUTFALLS INTO A CONCRETE PIPE. 10 YEAR ALLOWABLE FLOW = 15.89 CFS, 10 YEAR POST DEVELOPMENT FLOW = 15.80 CFS, 2 YEAR VELOCITY = 7.48 FPS AND IS NON-EROSIVE. 100 YEAR ALLOWABLE FLOW = 30.21 CFS, 100 YEAR POST DEVELOPMENT FLOW = 30.22 CFS.

REDUCTION IN WATER QUANTITIES IS ACHIEVED THROUGH THE USE OF A PROPOSED VAULT AT OUTFALL A, BECAUSE THERE IS NO AREA TO PROVIDE A VAULT OR POND FOR OUTFALL B. WE ARE COMPENSATING FOR INCREASED FLOW AT OUTFALL B WITH INCREASED STORAGE IN THE VAULT AT OUTFALL A. SEE WATER SHED SCHEMATIC ON THIS SHEET.

THE OVERALL DRAINAGE AREAS IS 6.43 ACRES. 10 YEAR ALLOWABLE FLOW IS 46.52 CFS, 10 YEAR POST DEVELOPED FLOW = 45.07 CFS. GIVEN THAT THE 10 YEAR VELOCITY ARE NON-EROSIVE AND THAT THE 10 YEAR POST DEVELOPED DISCHARGE IS LOWER THAN PRE-DEVELOPED DISCHARGE WE CONCLUDE THAT STORMWATER MANAGEMENT IS PROVIDED.

**ADEQUATE OUTFALL**

THE PROJECT OUTFALLS TO POTOMAC RIVER, 2, 10, AND 100 YEAR POST DEVELOPMENT DISCHARGE IS LOWER THAN 10, 100, AND 100 YEAR PRE-DEVELOPMENT DISCHARGE. THE 2 YEAR POST DEVELOPMENT VELOCITY IS THEREFORE LOWER AS WELL. SINCE THE 10 YEAR POST DEVELOPMENT DISCHARGE IS LOWER THE PROJECT CANNOT ERODE THE BANKS OF THE POTOMAC RIVER. SINCE THE 2 YEAR POST DEVELOPMENT VELOCITY IS LOWER IT CANNOT ERODE THE BANKS OF THE POTOMAC RIVER. THEREFORE WE CONCLUDE THE OUTFALL IS ADEQUATE.

FINAL DESIGN SWM RUNOFF			
	2 YEAR	10 YEAR	100 YEAR
PRE-DEVELOPED CFS	26.52	46.52	73.57
POST DEVELOPED CFS	26.22	45.77	73.44
DIFFERENCE CFS	-0.30	-0.75	-0.13

**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

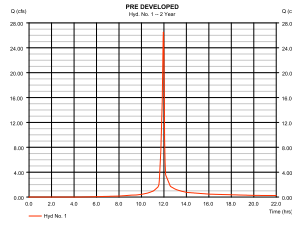
**Hyd. No. 1**

PRE DEVELOPED

Hydrograph type = SCS Runoff  
Storm frequency = 2 yrs  
Time interval = 1 min  
Discharge area = 4.432 ac  
Base Slope = 0.0 %  
To method = Upper  
Time of conc. = 3.20 min  
Storm duration = 2.4 hrs

Peak discharge = 26.52 cfs  
Time to peak = 11.05 min  
Hgt. volume = 58.540 cu ft  
Curve number = 307  
Hydraulic length = 0.0 ft  
Time of conc. (TC) = 3.20 min  
Distribution Shape factor = 464

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

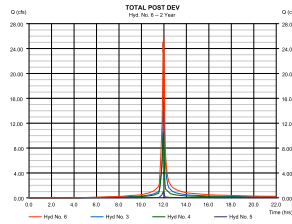
**Hyd. No. 6**

PRE DEVELOPED

Hydrograph type = Composite  
Storm frequency = 2 yrs  
Time interval = 1 min  
Inflow hydro. = 3, 4, 5

Peak discharge = 30.22 cfs  
Time to peak = 11.07 min  
Hgt. volume = 61.227 cu ft  
Curve no. drain area = 2.840 ac

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

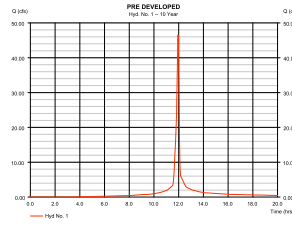
**Hyd. No. 1**

PRE DEVELOPED

Hydrograph type = SCS Runoff  
Storm frequency = 10 yrs  
Time interval = 1 min  
Discharge area = 4.432 ac  
Base Slope = 0.0 %  
To method = Upper  
Time of conc. = 3.20 min  
Storm duration = 2.4 hrs

Peak discharge = 46.52 cfs  
Time to peak = 11.92 min  
Hgt. volume = 103.136 cu ft  
Curve number = 307  
Hydraulic length = 0.0 ft  
Time of conc. (TC) = 3.20 min  
Distribution Shape factor = 464

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

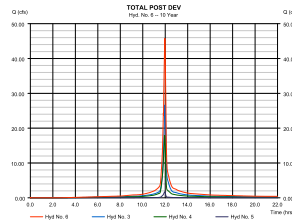
**Hyd. No. 6**

PRE DEVELOPED

Hydrograph type = Composite  
Storm frequency = 10 yrs  
Time interval = 1 min  
Inflow hydro. = 3, 4, 5

Peak discharge = 45.77 cfs  
Time to peak = 11.97 min  
Hgt. volume = 103.662 cu ft  
Curve no. drain area = 2.840 ac

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

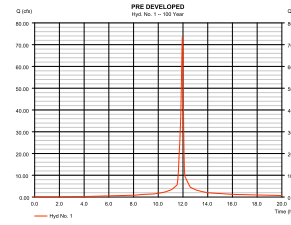
**Hyd. No. 1**

PRE DEVELOPED

Hydrograph type = SCS Runoff  
Storm frequency = 100 yrs  
Time interval = 1 min  
Discharge area = 4.432 ac  
Base Slope = 0.0 %  
To method = Upper  
Time of conc. = 3.20 min  
Storm duration = 2.4 hrs

Peak discharge = 73.57 cfs  
Time to peak = 12.12 min  
Hgt. volume = 168.347 cu ft  
Curve number = 307  
Hydraulic length = 0.0 ft  
Time of conc. (TC) = 3.20 min  
Distribution Shape factor = 464

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Hydrograph Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

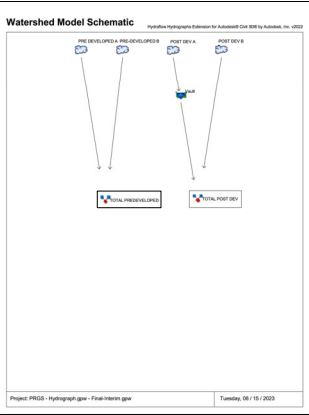
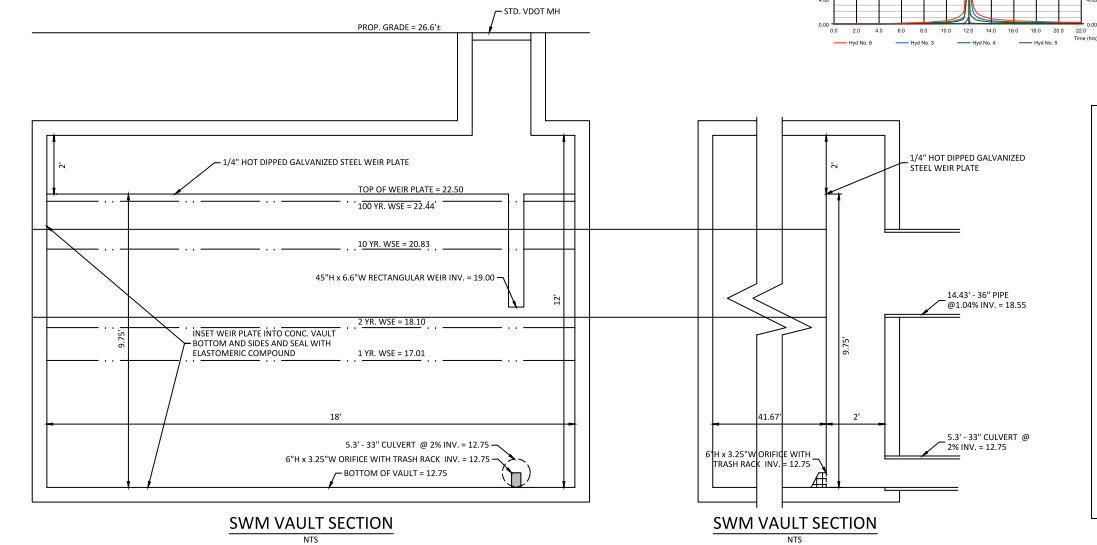
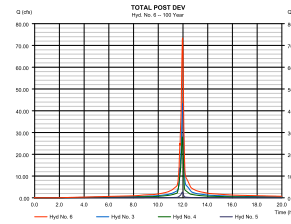
**Hyd. No. 6**

PRE DEVELOPED

Hydrograph type = Composite  
Storm frequency = 100 yrs  
Time interval = 1 min  
Inflow hydro. = 3, 4, 5

Peak discharge = 73.44 cfs  
Time to peak = 11.97 min  
Hgt. volume = 173.077 cu ft  
Curve no. drain area = 2.840 ac

Compute Method: 1 (1.00) = 1.00, 2 (0.00) = 0.00, 3 (0.00) = 0.00



**Pond Report**

Hydrology Hydrographs Extension for Automated Civil 2024 by Autodesk, Inc. ©2022 Thursday, 08/15/2023

**Pond No. 3 - Proposed SWM Office-War**

Pond Data

Pond storage is based on user-defined inputs.

Storage / Stage Table	Storage (ft)	Retention (ft)	Control area (sq ft)	Inlet Storage (sq ft)	Total storage (cu ft)
0.00	12.75	0.00	0	0	0
0.00	13.25	0.00	0	0	0
0.00	13.75	0.00	0	0	0
0.00	14.25	0.00	0	0	1,108
0.00	14.75	0.00	0	0	1,840
0.00	15.25	0.00	0	0	2,672
0.00	15.75	0.00	0	0	3,604
0.00	16.25	0.00	0	0	4,636
0.00	16.75	0.00	0	0	5,768
0.00	17.25	0.00	0	0	6,900
0.00	17.75	0.00	0	0	8,132
0.00	18.25	0.00	0	0	9,464
0.00	18.75	0.00	0	0	10,896
0.00	19.25	0.00	0	0	12,428
0.00	19.75	0.00	0	0	14,060
0.00	20.25	0.00	0	0	15,792
0.00	20.75	0.00	0	0	17,624
0.00	21.25	0.00	0	0	19,556
0.00	21.75	0.00	0	0	21,588
0.00	22.25	0.00	0	0	23,720
0.00	22.75	0.00	0	0	25,952

**APPROVED**

SPECIAL USE PERMIT NO. 2025-10012

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DESIGNER \_\_\_\_\_ DATE \_\_\_\_\_  
CHECKED: KMM

DEPARTMENT OF PLANNING & ZONING

DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**MEG**

4035 Ridge Top Rd, Suite 601  
Fairfax, VA 22030 P 703.273.8280  
engineering • surveying • land planning

**JOHN L. HELMS**  
Lic. No. 52485  
PROFESSIONAL ENGINEER  
08/05/2025

**PRGS - REDEVELOPMENT**  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	08/15/2025	DESIGN SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

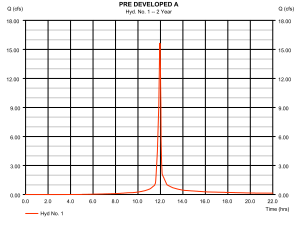
PROJECT NO.: 202003062-00  
DRAWING NO.: 114123  
DATE: 04/18/2025  
SCALE: NONE  
DESIGN: JH  
CHECKED: KMM

**SWM COMPUTATIONS**

SHEET No. **C608**

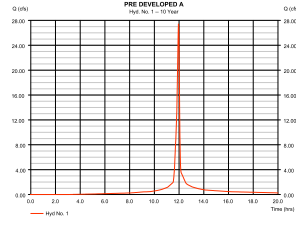
Hydrograph Report

Hydrograph Report for A-0001 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 15.63 cfs
Time to peak = 11.95 hrs
Hyd. volume = 35,306 cuft
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs



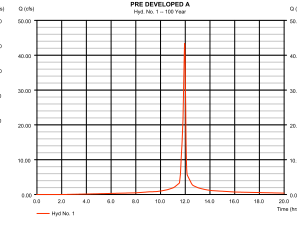
Hydrograph Report

Hydrograph Report for A-0002 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 27.42 cfs
Time to peak = 11.95 hrs
Hyd. volume = 65,571 cuft
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs



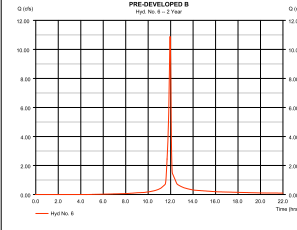
Hydrograph Report

Hydrograph Report for A-0003 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 43.38 cfs
Time to peak = 11.95 hrs
Hyd. volume = 95,226 cuft
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs



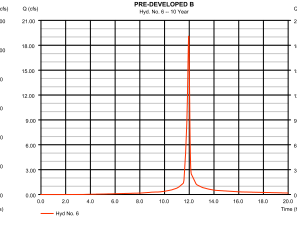
Hydrograph Report

Hydrograph Report for A-0004 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 10.89 cfs
Time to peak = 11.95 hrs
Hyd. volume = 23,226 cuft
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 2.20 in
Shape factor = 484
Storm duration = 24 hrs



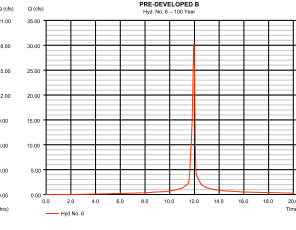
Hydrograph Report

Hydrograph Report for A-0005 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 18.10 cfs
Time to peak = 11.95 hrs
Hyd. volume = 42,345 cuft
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 2.20 in
Shape factor = 484
Storm duration = 24 hrs



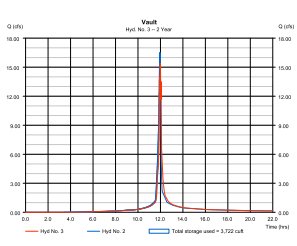
Hydrograph Report

Hydrograph Report for A-0006 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 30.21 cfs
Time to peak = 11.95 hrs
Hyd. volume = 68,195 cuft
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 2.20 in
Shape factor = 484
Storm duration = 24 hrs



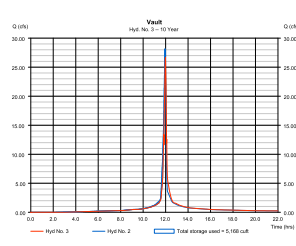
Hydrograph Report

Hydrograph Report for A-0007 (1) 11/15/2025
Hydrograph type = Reservoir
Peak discharge = 15.39 cfs
Time to peak = 11.95 hrs
Hyd. volume = 30,987 cuft
Storm frequency = 2 yrs
Time interval = 1 min
Inflow Hyd. No. = 3 - POST DEV A
Reservoir name = SWM Office-Wet
Max. Elevation = 177.1 ft
Max. Storage = 3,722 cuft
Storage location: natural pond



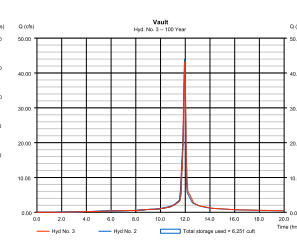
Hydrograph Report

Hydrograph Report for A-0008 (1) 11/15/2025
Hydrograph type = Reservoir
Peak discharge = 26.67 cfs
Time to peak = 11.95 hrs
Hyd. volume = 63,917 cuft
Storm frequency = 10 yrs
Time interval = 1 min
Inflow Hyd. No. = 3 - POST DEV A
Reservoir name = SWM Office-Wet
Max. Elevation = 184.6 ft
Max. Storage = 5,168 cuft
Storage location: natural pond



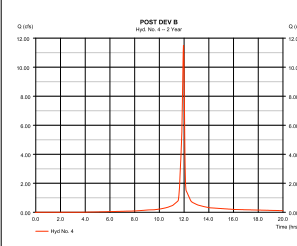
Hydrograph Report

Hydrograph Report for A-0009 (1) 11/15/2025
Hydrograph type = Reservoir
Peak discharge = 43.24 cfs
Time to peak = 11.95 hrs
Hyd. volume = 102,804 cuft
Storm frequency = 100 yrs
Time interval = 1 min
Inflow Hyd. No. = 3 - POST DEV A
Reservoir name = SWM Office-Wet
Max. Elevation = 215.6 ft
Max. Storage = 6,251 cuft
Storage location: natural pond



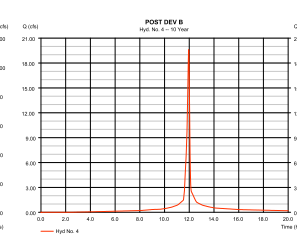
Hydrograph Report

Hydrograph Report for A-0010 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 11.50 cfs
Time to peak = 11.95 hrs
Hyd. volume = 25,140 cuft
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs



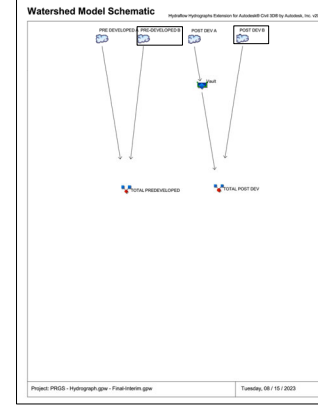
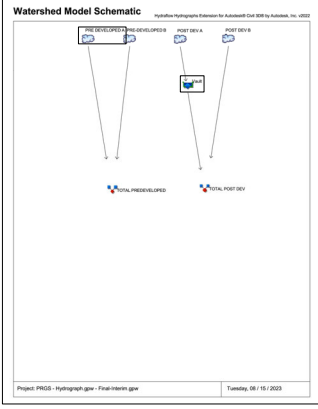
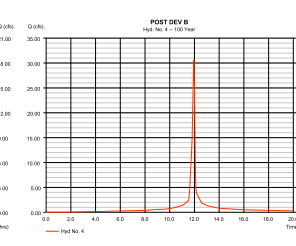
Hydrograph Report

Hydrograph Report for A-0011 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 19.82 cfs
Time to peak = 11.95 hrs
Hyd. volume = 44,525 cuft
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs

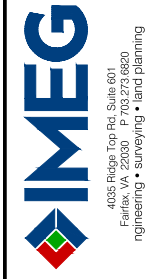


Hydrograph Report

Hydrograph Report for A-0012 (1) 11/15/2025
Hydrograph type = SCS Runoff
Peak discharge = 30.62 cfs
Time to peak = 11.95 hrs
Hyd. volume = 71,473 cuft
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (Tc) = 6.00 min
To method = User
Distribution = Type II
Total precip. = 3.20 in
Shape factor = 484
Storm duration = 24 hrs



APPROVED SPECIAL USE PERMIT NO. 2025-10012
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.
DIRECTOR DATE
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
JOURNAL PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



PRGS - REDEVELOPMENT BLOCK - C
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

Table with columns: DATE, DESCRIPTION, MARK, DATE. Includes rows for SUBMITTALS, VERIFICATION OF COMPLETION, and COMPLETION SUBMISSION.

PROJECT No.: 20050062.00
DRAWING No.: 114123
DATE: 04/15/2025
SCALE: NONE
DESIGN: JH
DRAWN: JS
CHECKED: KMM

SWM COMPUTATIONS AND NARRATIVES

Sheet No. C609

BIO SIZING - GROUND PLANTERS

Table with 2 columns: BioRetention #1 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #11 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #21 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Storage Depth for Sizing - Street Planters table with 2 columns: Material and Storage Depth.

Table with 2 columns: BioRetention #2 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #12 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #22 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #3 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #13 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #23 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #4 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #14 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #24 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #5 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #15 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #25 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #6 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #16 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #26 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #7 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #17 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #27 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #8 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #18 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #28 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #9 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #19 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #29 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #10 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Table with 2 columns: BioRetention #20 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

BIO SIZING - ROOF PLANTERS

Table with 4 columns: BioRetention Level #C1, BioRetention #B2, BioRetention #B3 and values for Impervious DA (AC), Managed DA (AC), Treatment Volume (CF), Minimum Area (SF), Actual Area (SF), Upstream BMP, Downstream BMP, Lat, and Long.

Storage Depth for Sizing - Street Planters table with 2 columns: Material and Storage Depth.



PRGS - REDEVELOPMENT BLOCK - C PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT CITY OF ALEXANDRIA, VIRGINIA

Table with 2 columns: MARK and DATE

PROJECT No.: 20200202.00 DRAWING No.: 114123 DATE: 04/18/2025 SCALE: NONE DESIGN: JH DRAWN: JS CHECKED: KMW

APPROVED SPECIAL USE PERMIT NO. 2025-10012 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ... DIRECTOR DATE DEPARTMENT OF PLANNING & ZONING

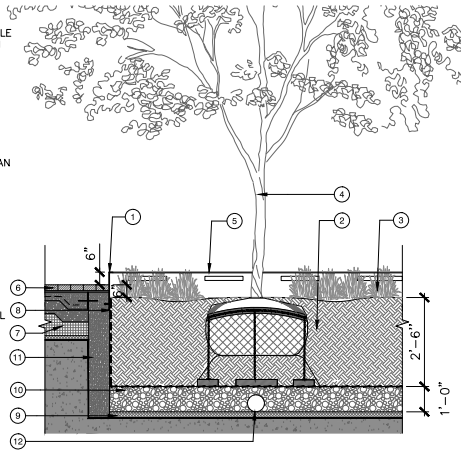
BMP COMPUTATIONS

SHEET No. C610

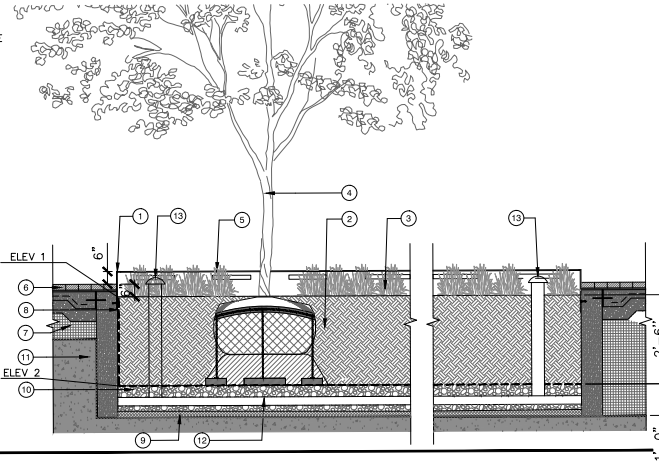


**BIORETENTION DETAIL**

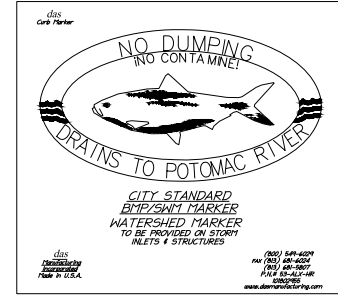
- 1 METAL EDGING RE: CONSTRUCTION SCHEDULE FOR COLOR AND FINISH
- 2 PLANTING SOIL RE: SOIL PLAN
- 3 PROPOSED PLANTING RE: PLANTING PLAN
- 4 PROPOSED TREE RE: PLANTING PLAN
- 5 METAL EDGING BEYOND
- 6 ADJACENT PAVING. RE: CONSTRUCTION PLAN
- 7 LIGHTWEIGHT FILL. RE: STRUCTURAL
- 8 FILTER FABRIC
- 9 DRAINAGE AND ROOF ASSEMBLY RE: ARCH
- 10 AGGREGATE STONE. RE: CIVIL
- 11 REINFORCED C.I.P CONCRETE SLAB RE: STRUCTURAL
- 12 UNDER DRAIN. RE: CIVIL



- 1 METAL EDGING RE: CONSTRUCTION SCHEDULE FOR COLOR AND FINISH
- 2 PLANTING SOIL RE: SOIL PLAN
- 3 PROPOSED PLANTING RE: PLANTING PLAN
- 4 PROPOSED TREE RE: PLANTING PLAN
- 5 METAL EDGING BEYOND
- 6 ADJACENT PAVING.
- 7 LIGHTWEIGHT FILL.
- 8 FILTER FABRIC
- 9 DRAINAGE AND ROOF ASSEMBLY RE: ARCH
- 10 AGGREGATE STONE.
- 11 REINFORCED C.I.P CONCRETE SLAB
- 12 UNDER DRAIN.
- 13 OVERFLOW DRAIN/ CLEANOUT



DETAIL - BMP PLANTER



**PRGS - REDEVELOPMENT BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

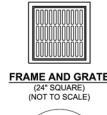
**STORMFILTER DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY SHOULD BE DETERMINED BY ENGINEER OF RECORD.

IF A 4" (102.5) 2-AND 3-AND FROM DIVISION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (8) AND IS AVAILABLE IN ALL PLANTS AND SPACING, THE RIGHT INLET CONFIGURATION, ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.

CARTRIDGE SIZE (in. (mm))	27 (686)	18 (457)	LOW DROP
RECOMMENDED HYDRAULIC DROP (ft. (mm))	3.05 (902)	2.3 (571)	1.8 (454)
HEIGHT OF MEDIA (ft. (mm))	3.05 (902)	2.3 (571)	1.75 (443)
SPECIFIC FLOW RATE (gpm/ft. (L/min/m))	2.1 (50)	1.6 (37)	1.5 (33)
CARTRIDGE FLOW RATE (gpm/ft. (L/min/m))	22.5 (43)	18.75 (35)	12.5 (23)
CARTRIDGE FLOW RATE (gpm/ft. (L/min/m))	22.5 (43)	18.75 (35)	12.5 (23)

\* 1.87 gpm/ft. (2.13 L/min/m) SPECIFIC FLOW RATE IS APPROVED WITH PROPGRODOME® (PGROD) MEDIA ONLY.



**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID: \_\_\_\_\_

WATER QUALITY FLOW RATE (IN. (L/S)) \_\_\_\_\_

PEAK FLOW RATE (IN. (L/S)) \_\_\_\_\_

RETURN PERIOD OF PEAK FLOW (yr) \_\_\_\_\_

CARTRIDGE FLOW RATE \_\_\_\_\_

CARTRIDGE SIZE (27" 18" LOW DROP (L/S)) \_\_\_\_\_

MEDIA TYPE (PERLITE, ZPS, PGROD) \_\_\_\_\_

NUMBER OF CARTRIDGES REQUIRED \_\_\_\_\_

INLET BAY RISE ELEVATION \_\_\_\_\_

FILTER BAY RISE ELEVATION \_\_\_\_\_

PIPE DATA	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

NOTES/SPECIAL REQUIREMENTS \_\_\_\_\_

**PERFORMANCE SPECIFICATION**

PERF. OF CARTRIDGE SHALL BE MEDIA-FILLED, PASSIVE, SPONGE ACTIVATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 1" (25.4). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/FT. (1.38 L/MIN/M) MAXIMUM. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SQ. FT.). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF (13.8 L/MIN/M) OF MEDIA (MAXIMUM).

**GENERAL NOTES**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.
- ALTERNATE DIMENSIONS ARE IN MILLIMETERS (MM) UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contech.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ALL APPLICABLE LOADS AND BEING ASSIGNED EARTH COVER OF 1' (304.8) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE CONTECH LOGO.

**INSTALLATION NOTES**

- ANY SURFACE SLOPES, DEPTH, AND/OR ANTI-FLOTTATION PROVISIONS ARE SITE SPECIFIC. DESIGN CONSIDERATIONS AND SHALL BE COORDINATED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LEFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO RIGHT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE NECESSARY MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BEING ONLINE.

**CONTECH ENGINEERED SOLUTIONS LLC**  
 www.contech.com  
 4000 Centre Road, Suite 200, Springfield, VA 22150-2000  
 703.426.1100

SFPD0608 (6' x 8')  
 PEAK DIVERSION STORMFILTER  
 STANDARD DETAIL

**GREENROOF TYPICAL DETAIL**

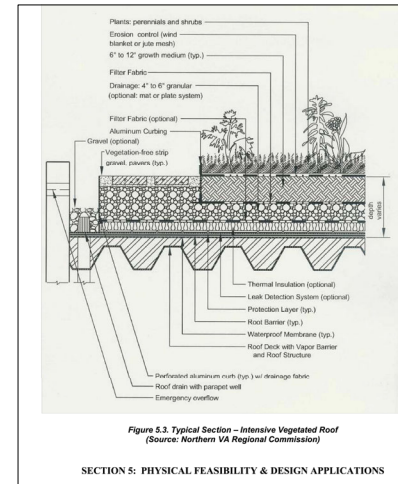


Figure 5.3 Typical Section - Intensive Vegetated Roof (Source: Northern VA Regional Commission)

SECTION 5: PHYSICAL FEASIBILITY & DESIGN APPLICATIONS

**PROPOSED WQVD**

Drainage Area	Development		
	Impervious	Pervious	Total
On-Site Treated	1.73	0.00	1.73
Off-Site Treated	0.00	0.00	0.00
Total Treated	1.73	0.00	1.73
Any On-Site Disconnected by a Vegetated Buffer (25')			
Total On-Site Treated or Disconnected			1.73

**Water Treatment On-Site**

BMP Type	Area Treated by BMP (acres)	Impervious Area treated by BMP (acres)	BMP Efficiency (%)
Bioretention	0.26	0.26	40
GREEN ROOF	0.37	0.37	60
FILTERING	0.40	0.40	65

**Miscellaneous Information**

Total WQV treated  yes  no

Detention on Site  yes  no

Project is within which watershed? POTOMAC RIVER

Project Discharges to which body of water? POTOMAC RIVER

**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

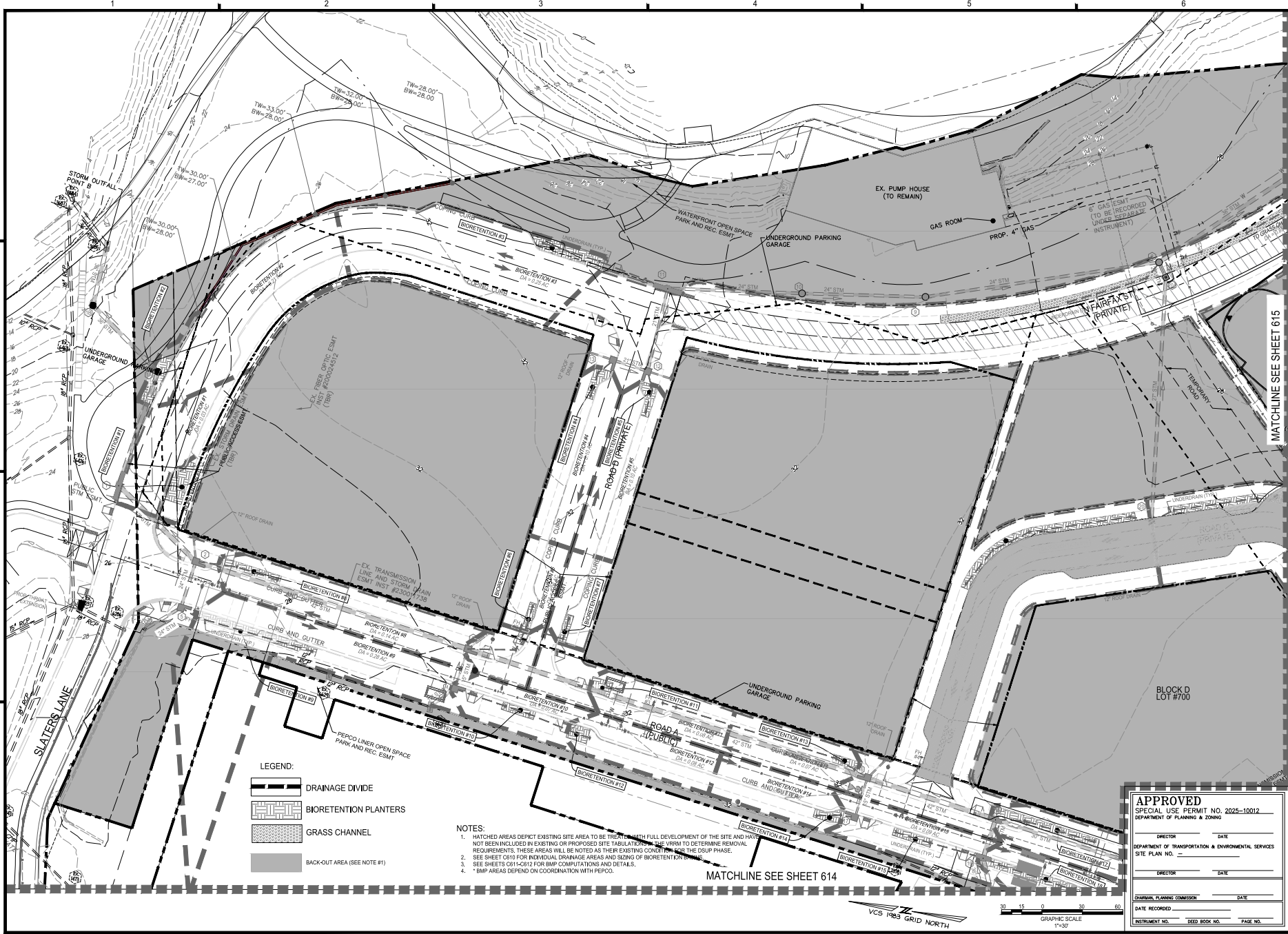
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 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

MARK	DATE	DESCRIPTION
1	05/02/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT NO.: 23005002.00  
 DRAWING NO.: 114123  
 DATE: 04/18/2025  
 SCALE: NONE  
 DESIGN: JH  
 CHECKED: KMW

**BMP COMPUTATIONS AND DETAILS**

SHEET NO. **C612**



**LEGEND:**

- DRAINAGE DIVIDE
- BIORETENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)

- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS. THE VIEWER IS TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION IN THE DESIGN PHASE.
  2. SEE SHEET C619 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION PLANTERS.
  3. SEE SHEETS C614-C619 FOR BMP COMPUTATIONS AND DETAILS.
  4. \* BMP AREAS DEPEND ON COORDINATION WITH PEPCO.

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING  
DATE RECORDED \_\_\_\_\_ DATE \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

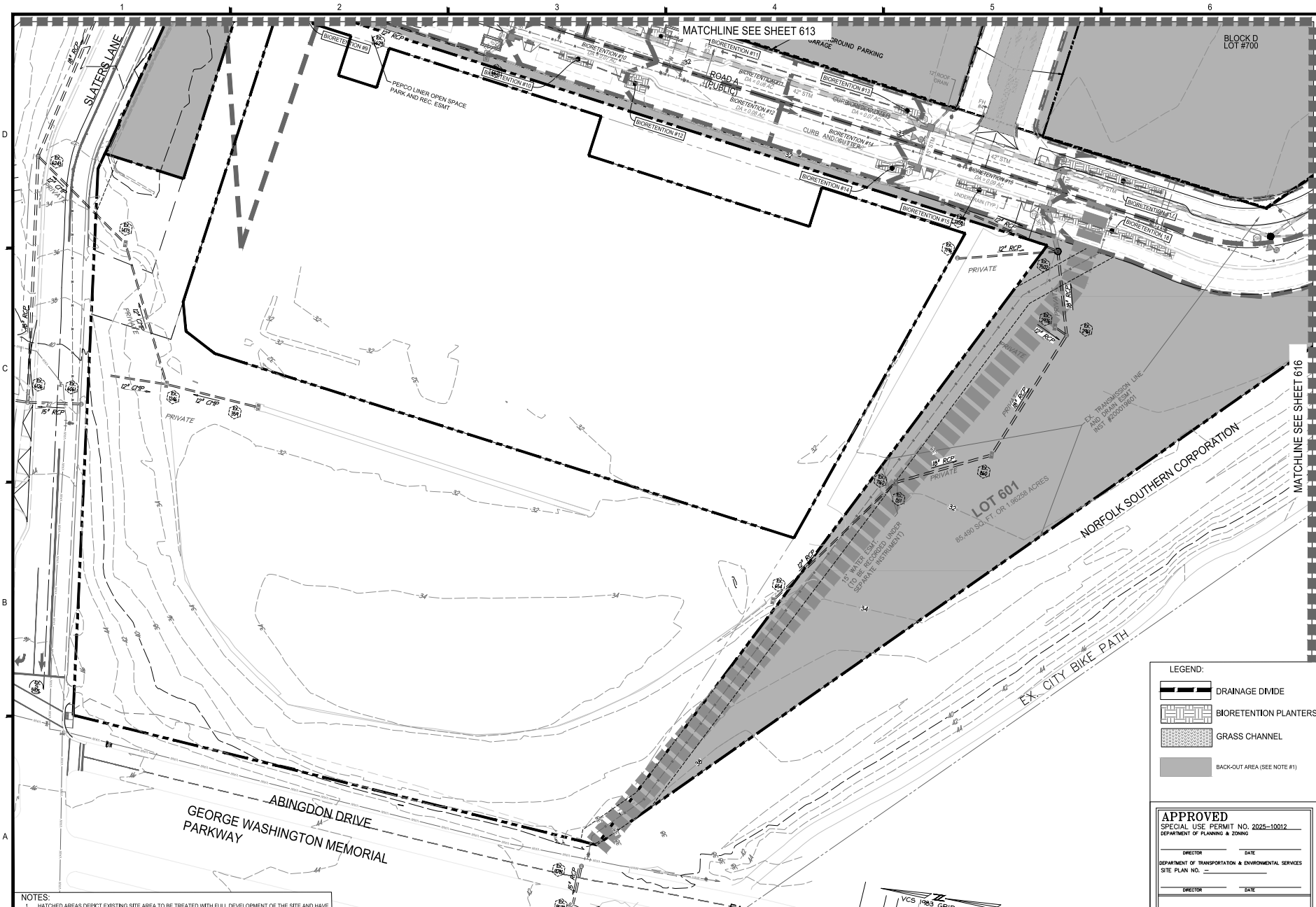
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

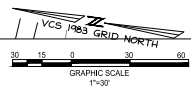
PROJECT No.: 23000302.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

**SWM-BMP PLAN**

SHEET No. **C613**



- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE VRM TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
  2. SEE SHEET 0101 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION BASINS.
  3. SEE SHEETS 0511-0512 FOR BMP COMPUTATIONS AND DETAILS.
  4. \* BMP AREAS DEPEND ON COORDINATION WITH PEPCO.




**LEGEND:**


- DRAINAGE DIVIDE
- BIORETENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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**PRGS - REDEVELOPMENT**  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

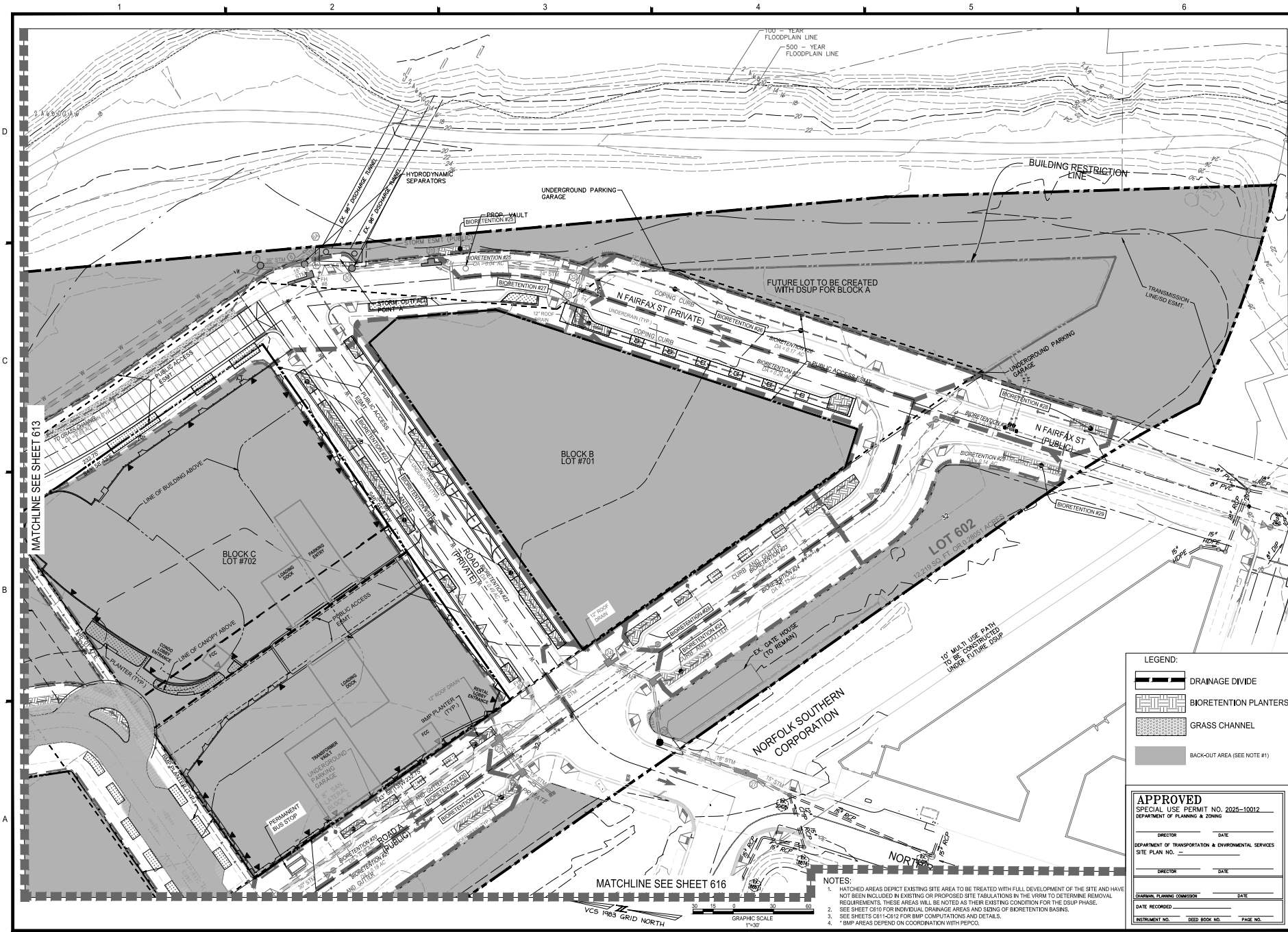
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230002062.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KMW

**SWM-BMP PLAN**

SHEET No. **C614**

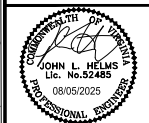


**LEGEND:**

	DRAINAGE DIVIDE
	BIORETENTION PLANTERS
	GRASS CHANNEL
	BACK-OUT AREA (SEE NOTE #1)

**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE WDM TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
  2. SEE SHEET C610 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION BASINS.
  3. SEE SHEETS C611-C612 FOR BMP COMPLETION AND DETAILS.
  4. \* BMP AREAS DEPEND ON COORDINATION WITH PEPCO.

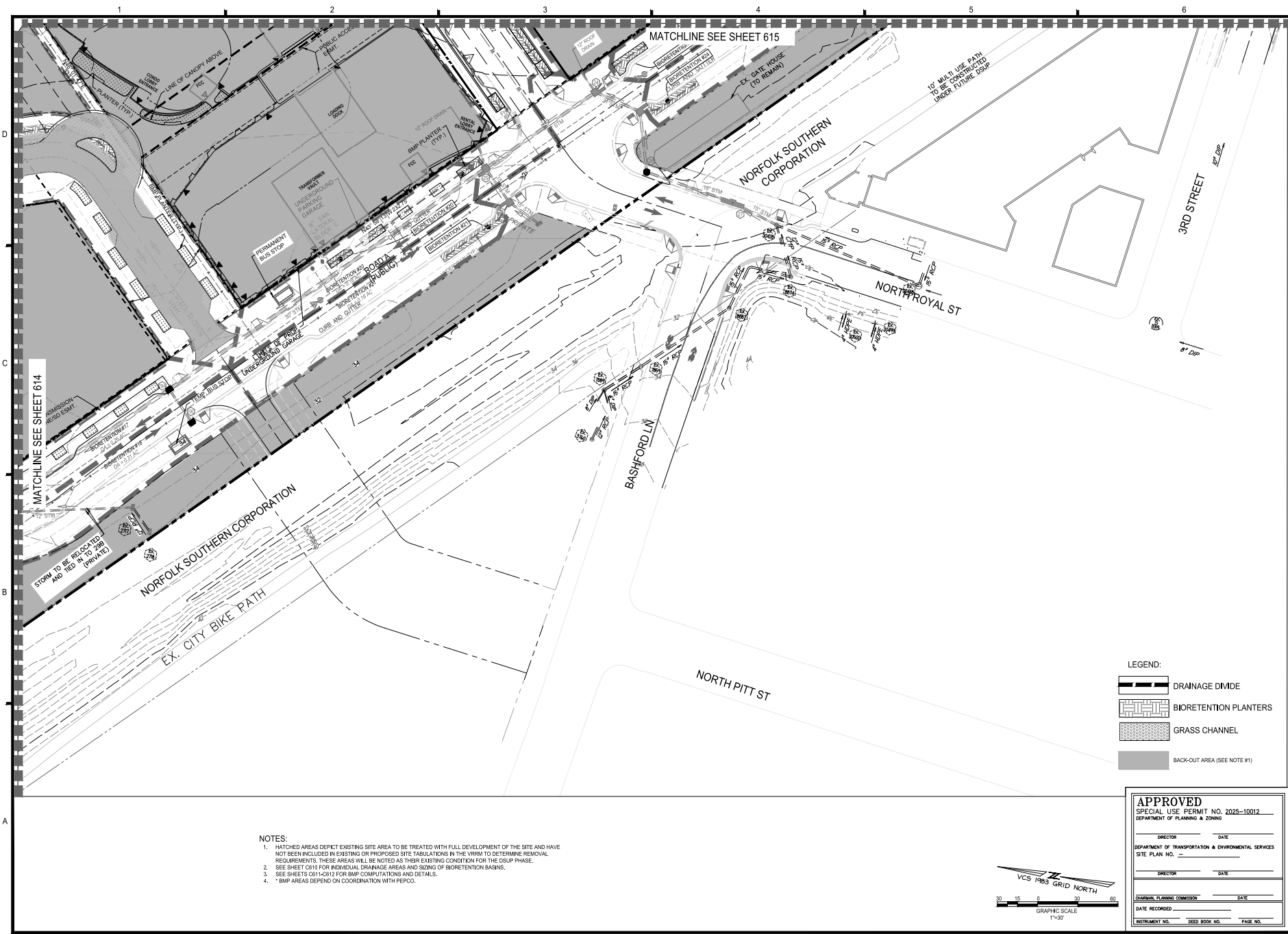


**PRGS - REDEVELOPMENT**  
**BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETION SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETION

PROJECT No.: 23000062.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=30'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMW

**SWM-BMP PLAN**  
 SHEET No. **C615**



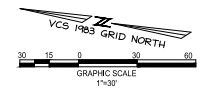
MATCHLINE SEE SHEET 614

MATCHLINE SEE SHEET 615

- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE VIRM TO DETERMINE REMOVAL REQUIREMENTS, THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
  2. SEE SHEET 0610 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIOTENTION BASINS.
  3. SEE SHEETS 0511-0512 FOR BMP COMPUTATIONS AND DETAILS.
  4. \* BMP AREAS DEPEND ON COORDINATION WITH FEPCO.

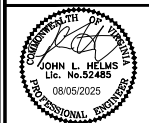
**LEGEND:**

- DRAINAGE DIVIDE
- BIOTENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)



**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



**PRGS - REDEVELOPMENT  
BLOCK - C**  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 20000002.00  
DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: 1"=30'  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

**SWM-BMP PLAN**

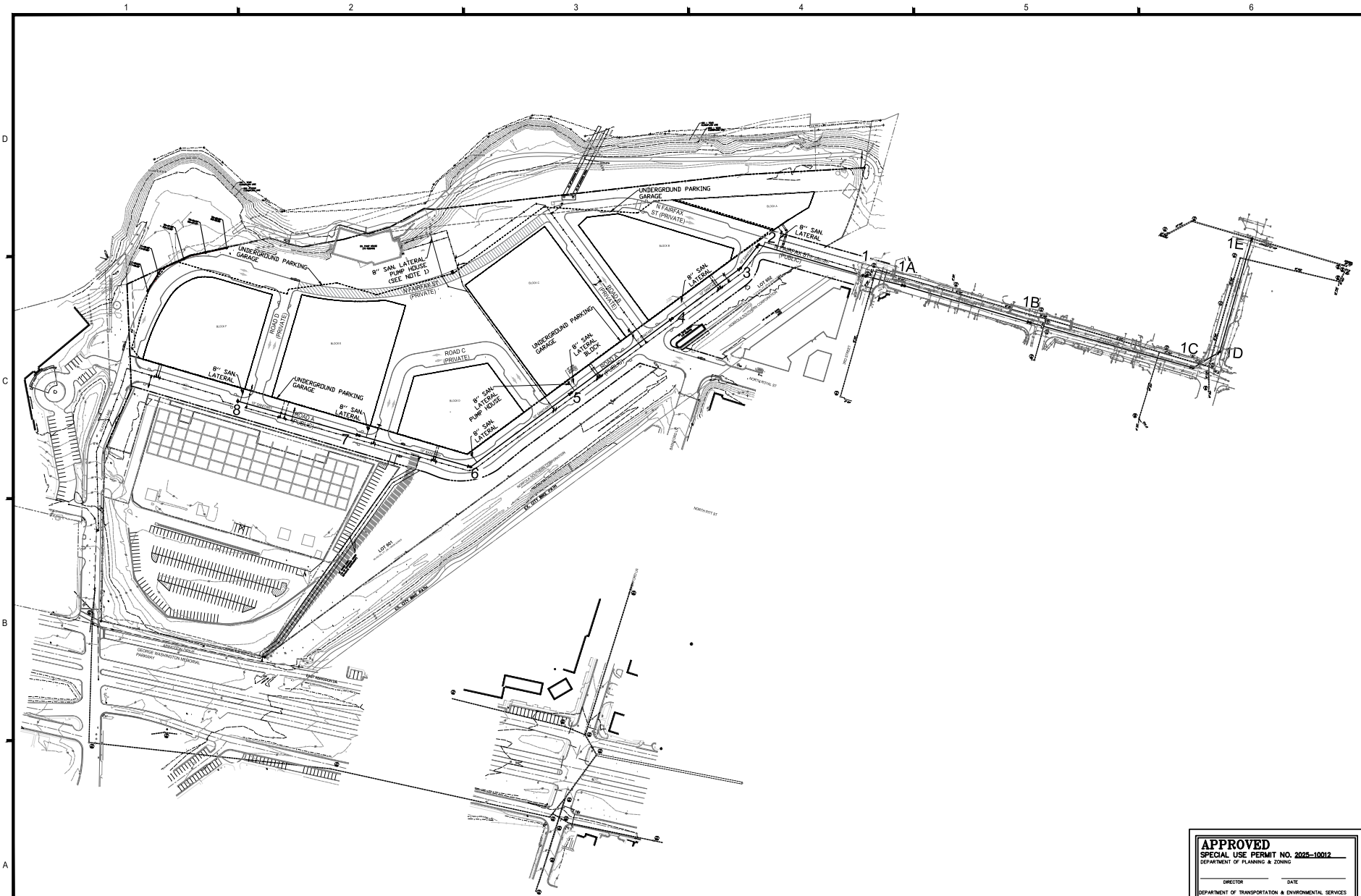
SHEET No. **C616**

**STORM SEWER PIPE COMPUTATIONS**

FROM POINT	TO POINT	DRAIN AREA ACRES	RUNOFF COEFF C	CA INCREM	CA ACCUM	INLET TIME MIN	RAINFALL INTENSITY IN/HR	PIPED IN FROM EXISTING C.F.S.	RUNOFF Q C.F.S.	INVERT ELEVATIONS (ft) UPPER LOWER	LENGTH ft	SLOPE ft/ft	DIA IN	n	CAPACITY C.F.S.	VELOCITY FPS	FULL FLOW VELOCITY FPS	FLOW TIME SEC	Q/ft <sup>2</sup>	V/Ft/ft	V/ft/ft	NOTES	
EX.7889	EX.3684																						
EX.7889	EX.7859	0.090	0.37	0.03	0.03	5.00	9.00		0.30	30.08	29.40	32.60	0.0209	15	0.015	8.09	3.0	6.59	11.0	0.04	0.45	6.59	
EX.7859	EX.8887	0.080	0.78	0.06	0.10	5.18	9.00		0.86	29.22	28.50	78.83	0.0091	15	0.015	5.35	3.1	4.36	25.2	0.16	0.72	4.36	
EX.8887	EX.8874	0.120	0.66	0.08	0.17	5.60	9.00		1.57	28.27	27.94	51.69	0.0064	15	0.015	4.47	3.3	3.65	15.7	0.35	0.90	3.65	
EX.8874	EX.10428	0.200	0.72	0.14	0.32	5.87	9.00		2.87	27.75	27.07	71.16	0.0096	15	0.015	5.47	4.5	4.46	16.0	0.52	1.00	4.46	12x18 Hor. Elliptical Pipe (RCP CL IV)
EX.10428	27		0.11	0.43	0.63	6.13	9.00		3.86	26.90	26.60	36.68	0.0082	15	0.015	5.06	4.5	4.13	8.1	0.76	1.09	4.13	Increment 0.11 from STRM 10438
27	26	0.320	0.87	0.28	0.60	6.13	9.00		5.38	26.25	25.87	68.13	0.0056	18	0.015	6.80	4.2	3.85	16.0	0.79	1.10	3.85	12x18 Hor. Elliptical Pipe (RCP CL IV)
26	25				0.60	6.40	9.00		5.38	25.77	25.52	45.46	0.0055	18	0.015	6.75	4.2	3.82	10.8	0.80	1.10	3.82	
25	24	0.130	0.62	0.08	0.68	6.58	9.00		6.10	25.17	24.97	36.41	0.0055	21	0.015	10.18	4.4	4.23	8.3	0.60	1.03	4.23	Increment 0.69 from STRM 28
24	29	0.150	0.89	0.13	1.31	6.72	9.00		11.80	24.37	23.82	99.71	0.0055	27	0.015	19.93	5.2	5.01	19.3	0.59	1.03	5.01	Increment 0.50 from Roof - Block B
29	29A	0.120	0.85	0.10	2.06	7.04	9.00		18.58	23.47	21.89	288.18	0.0055	30	0.015	26.32	5.8	5.36	50.1	0.71	1.07	5.36	Increment 0.49 from Roof - Block C
29A	29B	0.230	0.85	0.20	2.43	7.87	9.00		21.90	21.79	20.83	162.24	0.0059	30	0.015	27.34	6.1	5.57	26.4	0.80	1.10	5.57	
29B	18				2.43	8.31	9.00		21.90	20.73	19.78	160.93	0.0059	30	0.015	27.31	6.1	5.56	26.2	0.80	1.10	5.56	Increment 0.17 from EX.2717
18	16	0.170	0.85	0.14	5.90	8.75	9.00		53.12	16.30	15.75	99.92	0.0055	42	0.013	74.64	8.4	7.76	11.9	0.71	1.08	7.76	
16	3	0.220	0.84	0.18	6.88	8.95	9.00		61.89	15.65	13.92	311.59	0.0056	42	0.013	74.97	8.7	7.79	35.9	0.83	1.11	7.79	Increment 0.69 from Roof - Block E
3	2	0.290	0.86	0.25	7.90	9.55	9.00		71.10	13.82	12.25	212.01	0.0074	42	0.013	85.58	10.0	9.00	21.2	0.82	1.11	9.00	Increment 0.58 from Roof - Block F
2	1	0.140	0.89	0.12	11.39	9.90	9.00		102.47	12.15	10.88	80.44	0.0158	42	0.013	126.42	14.6	13.14	5.5	0.81	1.11	13.14	
1	1A	0.500	0.87	0.44	11.82	9.99	9.00		106.39	10.78	7.32	89.13	0.0388	36	0.013	131.41	20.7	18.59	4.3	0.81	1.11	18.59	
1A	1B				11.82	10.06	9.00		106.39	7.22	4.60	68.91	0.0380	36	0.013	130.05	20.5	18.40	3.4	0.82	1.11	18.40	
1B	EX.3685				11.82	9.99	9.00		106.39	4.50	2.94	45.36	0.0344	36	0.013	123.69	19.6	17.50	2.3	0.86	1.12	17.50	
EX.3685	EX.3684	0.067	0.37	0.02	11.85	10.03	9.00		106.61	2.84	0.02	41.41	0.0681	36	0.013	174.06	25.8	24.62	1.6	0.61	1.05	24.62	
STRM 4 - STRM 3																							
4	3	0.270	0.72	0.19	0.19	5.00	9.00		1.75	18.99	18.83	30.97	0.0052	15	0.015	4.02	3.2	3.28	9.8	0.43	0.96	3.28	
STRM 5 - STRM 2																							
5A	5	0.490	0.51	0.2499	3.1199	5	9.00		28.08	19.38	18.20	31.19	0.0378	24	0.015	38.14	13.2	12.14	2.4	0.74	1.08	12.14	Increment 2.87 from Offsite
5	2	0.350	0.69	0.24	3.36	5.04	9.00		30.25	18.10	16.75	35.97	0.0375	24	0.015	37.98	13.3	12.09	2.7	0.80	1.10	12.09	
STRM 13 - STRM 6A																							
13	12	0.100	0.90	0.09	0.58	5.00	9.00		5.22	24.90	24.75	27.00	0.0055	21	0.015	10.20	4.2	4.24	6.4	0.51	1.00	4.24	Increment 0.49 from Roof - Block F
12	11	0.100	0.90	0.72	1.30	5.11	9.00		11.70	24.15	23.80	63.22	0.0055	27	0.015	19.97	5.2	5.02	12.2	0.59	1.03	5.02	Increment 0.63 from Roof - Block E
11	10	0.710	0.77	0.55	1.85	5.31	9.00		16.62	23.45	22.91	99.73	0.0054	30	0.015	26.16	5.6	5.33	17.9	0.64	1.05	5.33	
10	9		0.00	1.85	5.61	9.00		16.62	22.81	22.28	96.20	0.0055	30	0.015	26.39	5.6	5.38	17.1	0.63	1.05	5.38		
9	8		0.00	1.85	5.89	9.00		16.62	22.18	21.19	180.87	0.0055	30	0.015	26.30	5.6	5.36	32.3	0.63	1.05	5.36		
8	7		0.00	4.12	6.43	9.00		37.09	20.59	19.12	268.61	0.0055	36	0.013	49.34	7.6	6.98	35.2	0.75	1.09	6.98	Increment 6.17 from STRM 14	
7	6		0.00	4.12	7.02	9.00		37.09	19.02	18.80	33.01	0.0067	36	0.013	54.45	8.3	7.70	4.0	0.68	1.07	7.70	Increment 0.76 from Roof - Block C	
6	6A		0.00	4.93	7.08	9.00		44.37	18.70	18.55	14.43	0.0104	36	0.013	68.00	10.2	9.62	1.4	0.65	1.06	9.62	Increment 3.40 from STRM 21	
STRM 21 - STRM 6																							
21	6	0.930	0.87	0.81	0.81	5.00	9.00		7.28	20.76	20.65	9.02	0.0122	18	0.015	10.05	6.2	5.69	1.5	0.72	1.08	5.69	
EX.654 - STRM 18																							
EX.654	EX.861	0.670	0.55	0.37	0.37	5.00	9.00		3.32	29.57	26.81	124.35	0.0222	12	0.015	4.60	6.3	5.86	19.6	0.72	1.08	5.86	Inlet top to be adjusted as needed
EX.861	EX.860	0.350	0.55	0.19	0.56	5.33	9.00		5.05	26.32	24.00	73.18	0.0317	18	0.015	16.21	8.1	9.17	9.1	0.31	0.88	9.17	Inlet top to be adjusted as needed
EX.860	EX.2961	0.520	0.45	0.23	0.80	5.48	9.00		7.16	23.90	22.59	103.20	0.0127	18	0.015	10.26	6.2	5.80	16.6	0.70	1.07	5.80	Inlet top to be adjusted as needed
EX.2961	EX.7502				1.14	5.75	9.00		10.27	22.30	21.80	61.97	0.0081	18	0.015	8.18	4.6	4.63	13.4	1.26	1.00	4.63	Increment 0.58 from EX.2976
EX.7502	19				3.08	5.98	9.00		27.71	21.70	21.47	43.56	0.0053	36	0.013	48.47	7.1	6.86	6.2	0.57	1.03	6.86	Increment 1.96 from EX.7196 & EX.2717
19	18	0.350	0.7	0.25	3.32	6.08	9.00		29.91	16.90	16.73	31.44	0.0054	36	0.013	49.05	7.3	6.94	4.3	0.61	1.05	6.94	
EX.2976 - EX.2961																							
EX.2976	EX.2961	0.77	0.45	0.35	0.35	5.00	9.00		3.12	28.86	27.74	10.39	0.1078	12	0.015	10.14	11.4	12.91	0.9	0.31	0.88	12.91	Inlet top to be adjusted as needed
EX.7201 - EX.7502																							
EX.7201	EX.7196	0.18	0.73	0.13	0.13	5.00	9.00		1.18	28.40	28.24	31.44	0.0051	12	0.015	2.20	2.9	2.80	11.0	0.54	1.02	2.80	
EX.7196	EX.7502	2.04	0.8	1.63	1.76	5.18	9.00		15.87	28.14	26.86	73.55	0.0174	12	0.015	4.07	5.2	5.19	14.2	3.90	1.00	5.19	
EX.2718 - STRM 29B																							
EX.2718	EX.2717	0.47	0.37	0.17	0.17	5.00	9.00		1.57	25.64	25.51	22.08	0.0059	12	0.015	2.37	3.2	3.02	6.9	0.66	1.06	3.02	
EX.2717	29B				0.17	5.12	9.00		1.57	25.21	24.50	106.43	0.0067	12	0.015	2.52	3.4	3.21	31.7	0.62	1.05	3.21	
STRM 17 - STRM 16																							
17	16	0.14	0.71	0.10	0.10	5.00	9.00		0.89	17.31	17.15	30.77	0.0052	15	0.015	4.04	2.6	3.29	12.1	0.22	0.78	3.29	
STRM 20 - STRM 8																							
20	20A	0.73	0.90	0.66	1.53	5.00	9.00		13.74	23.25	22.35	181.33	0.0050	27	0.015	18.91	5.2	4.76	35.2	0.73	1.08	4.76	Increment 0.87 from Roof - Block D
20A	8	0.90	0.83	0.75	2.27	5.59	9.00		20.47	22.25	22.19	12.15	0.0051	30	0.015	25.39	5.8	5.17	2.1	0.81	1.11	5.17	
STRM 33 - VAULT																							
33	32	0.28	0.90	0.25	0.66	5.00	9.00		5.96	23.60	23.45	27.24	0.0055	21	0.015	10.19	4.4	4.24	6.2	0.58	1.03	4.24	Increment 0.41 from Roof - Block B
32	VAULT	0.25	0.90	0.23	1.17	5.10	9.00		10.50	20.75	20.40	57.39	0.0061	24	0.015	15.31	5.2	4.87	1				

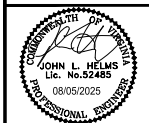
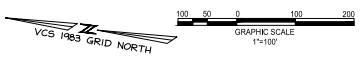
HGL COMPUTATIONS

Inlet Str.	Outlet Water Surf Elev (ft)	Do (in)	Qo (cfs)	Lo (ft)	Sfo (%)	HF (ft)	Vo (fps)	Ho (ft)	Ql (cfs)	Vl (fps)	JUNCTION LOSS										Final H (ft)	Inlet Water Surf Elev (ft)	Rim Elev (ft)	Δ Freeboard (ft)
											QVl	Vl <sup>2</sup> /2g	Hl (ft)	Angle (deg)	Ha (ft)	Ht (ft)	1.3Ht (ft)	0.5Ht (ft)						
<b>EX.7889 - EX.3684</b>																								
18	5.34	36	106.39	45.36	3.39	1.54	19.6	1.49	106.39	20.5	2177.42	6.50	2.28	58	3.47	7.24	0.00	3.62	5.16	20.50	18.75	8.25		
1A	10.50	36	106.39	68.91	3.39	2.33	20.5	1.63	106.39	20.7	2200.19	6.64	2.32	64	3.81	7.76	0.00	3.88	6.22	16.71	25.92	9.21		
1	16.71	36	106.39	89.13	3.39	3.02	20.7	1.66	102.47	14.6	1497.78	3.32	1.16	65	1.92	4.75	0.00	2.37	5.39	22.10	25.50	3.40		
2	22.10	42	102.47	80.44	1.38	1.11	14.6	0.83	71.10	10.0	711.72	1.56	0.54	26	0.36	1.73	0.00	0.87	1.98	24.08	26.97	2.89		
3	24.08	42	71.10	212.01	0.66	1.41	10.0	0.39	61.89	8.7	536.41	1.17	0.41	0	0.00	0.80	0.00	0.40	1.81	25.89	30.49	4.60		
16	25.89	42	61.89	311.59	0.50	1.57	8.7	0.29	53.12	8.4	446.70	1.10	0.38	0	0.00	0.68	0.00	0.34	1.91	27.80	31.95	4.15		
18	27.80	42	53.12	99.92	0.37	0.37	8.4	0.27	21.90	6.1	134.54	0.59	0.21	0	0.00	0.48	0.00	0.24	0.61	28.41	31.81	3.40		
29B	28.41	30	21.90	160.93	0.38	0.61	6.1	0.15	21.90	6.1	134.70	0.59	0.21	53	0.29	0.64	0.00	0.32	0.93	29.34	33.44	4.10		
29A	29.34	30	21.90	162.24	0.38	0.62	6.1	0.15	18.58	5.8	106.84	0.51	0.18	0	0.00	0.33	0.00	0.16	0.78	30.12	32.78	2.66		
29	30.12	30	18.58	288.18	0.27	0.79	5.8	0.13	11.80	5.2	61.06	0.42	0.15	0	0.00	0.27	0.00	0.14	0.92	31.04	32.43	1.39		
24	31.04	27	11.80	99.71	0.19	0.19	5.2	0.10	6.10	4.4	26.64	0.30	0.10	0	0.00	0.21	0.00	0.10	0.30	31.34	31.32	-0.02		
25	31.34	21	6.10	36.41	0.20	0.07	4.4	0.07	5.38	4.2	22.67	0.28	0.10	63	0.16	0.33	0.00	0.16	0.24	31.58	31.17	-0.41		
26	31.58	18	5.38	45.46	0.35	0.16	4.2	0.07	5.38	4.2	22.83	0.28	0.10	62	0.16	0.32	0.00	0.16	0.32	31.90	30.43	-1.47		
27	31.90	18	5.38	68.13	0.35	0.24	4.2	0.07	2.87	4.5	12.80	0.31	0.11	0.00	0.00	0.18	0.00	0.09	0.33	32.22	29.94	-2.28		
EX.10428	32.22	15	3.86	36.68	0.48	0.17	4.5	0.08	1.57	3.3	5.18	0.17	0.06	0.00	0.00	0.14	0.00	0.07	0.24	32.47	30.98	-1.49		
EX.8874	32.22	15	2.87	71.16	0.26	0.19	4.5	0.08	1.57	3.3	5.18	0.17	0.06	0.00	0.00	0.14	0.00	0.07	0.26	32.48	31.59	-1.09		
EX.8887	32.48	15	1.57	51.69	0.08	0.04	3.3	0.04	0.86	3.1	2.69	0.15	0.05	0.00	0.00	0.10	0.00	0.05	0.09	32.57	31.58	-0.99		
EX.7859	32.57	15	0.86	78.83	0.02	0.02	3.1	0.04	0.30	3.0	0.89	0.14	0.05	0.00	0.00	0.09	0.00	0.04	0.06	32.65	34.02	1.39		
EX.7889	32.63	15	0.30	32.60	0.00	0.00	3.0	0.03	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.03	0.00	0.02	0.02	32.65	37.38	4.73		
<b>To Strm 3</b>																								
4	19.83	15	1.75	30.97	0.10	0.03	3.2	0.04	0.00	0.00	0.00	0.00	0.00	0	0.00	0.04	0.00	0.02	0.05	19.88	30.38	10.50		
<b>To Strm 2</b>																								
5	18.35	24	30.25	35.97	2.38	0.86	13.3	0.69	28.08	13.2	369.45	2.69	0.94	41	0.00	1.63	0.00	0.82	1.67	20.02	26.93	6.91		
5A	20.02	24	28.08	31.19	2.05	0.64	13.2	0.67	0.00	0.00	0.00	0.00	0.00	0	0.00	0.67	0.00	0.34	0.98	21.00	27.85	6.85		
<b>STRM 13 - STRM 6A</b>																								
6	20.95	36	44.37	14.43	0.59	0.09	10.2	0.40	37.09	8.3	306.37	1.06	0.37	152	0.74	1.52	0.00	0.76	0.84	21.79	27.44	5.65		
7	21.79	36	37.09	33.01	0.41	0.14	8.3	0.26	37.09	7.6	283.32	0.91	0.32	146	0.63	1.22	0.00	0.61	0.74	22.54	26.76	4.22		
8	22.54	36	37.09	268.61	0.41	1.11	7.6	0.23	16.62	6.6	93.18	0.49	0.17	156	0.34	0.74	0.00	0.37	1.48	24.01	27.31	3.30		
9	24.01	30	16.62	180.87	0.22	0.40	5.6	0.12	16.62	5.6	93.49	0.49	0.17	149	0.34	0.64	0.00	0.32	0.71	24.73	32.65	7.92		
10	24.73	30	16.62	96.20	0.22	0.21	5.6	0.12	16.62	5.6	92.68	0.48	0.17	152	0.34	0.63	0.00	0.31	0.53	25.25	31.00	5.75		
11	25.25	30	16.62	99.73	0.22	0.22	5.6	0.12	11.70	5.2	60.64	0.42	0.15	114	0.29	0.56	0.00	0.28	0.50	25.75	29.30	3.55		
12	25.75	27	11.70	63.22	0.19	0.12	5.2	0.10	5.22	5.6	29.11	0.48	0.17	90	0.34	0.61	0.00	0.31	0.43	26.18	30.48	4.30		
13	26.18	21	5.22	27.00	0.14	0.04	5.6	0.12	0.00	0.00	0.00	0.00	0.00	0	0.00	0.12	0.00	0.06	0.10	26.27	30.50	4.23		
<b>To Strm 6</b>																								
21	21.85	18	7.28	9.02	0.64	0.06	6.2	0.15	0.00	0.00	0.00	0.00	0.00	0	0.00	0.15	0.00	0.07	0.13	21.98	27.81	5.83		
<b>EX.654 - STRM 18</b>																								
19	19.13	36	29.91	31.44	0.27	0.08	7.3	0.20	27.71	7.1	196.06	0.78	0.27	50	0.37	0.84	0.00	0.42	0.51	19.64	31.79	12.15		
EX.7502	23.87	36	27.71	43.56	0.23	0.10	7.1	0.19	10.27	4.6	47.54	0.33	0.12	29	0.00	0.31	0.00	0.16	0.26	24.13	32.00	7.87		
EX.2961	24.13	18	10.27	61.97	1.27	0.79	4.6	0.08	7.16	6.2	44.54	0.60	0.21	37	0.00	0.29	0.00	0.15	0.94	25.06	32.30	7.24		
EX.860	25.06	18	7.16	103.20	0.62	0.64	6.2	0.15	5.05	8.1	40.73	1.01	0.35	44	0.42	0.92	0.00	0.46	1.10	26.16	33.30	7.14		
EX.861	26.16	18	5.05	73.18	0.31	0.23	8.1	0.25	3.32	6.3	21.06	0.63	0.22	28	0.16	0.63	0.00	0.32	0.54	26.70	34.30	7.60		
EX.654	27.61	12	3.32	124.35	1.15	1.43	6.3	0.16	1.18	2.9	3.37	0.13	0.04	0	0.00	0.20	0.00	0.10	1.53	29.14	35.30	6.16		
<b>To Ex. 2961</b>																								
EX.2976	28.54	12	3.12	10.39	1.02	0.11	11.4	0.50	0.00	0.00	0.00	0.00	0.00	0	0.00	0.50	0.00	0.25	0.36	28.90	38.30	9.40		
<b>EX.7201- EX.7502</b>																								
EX.7196	27.66	12	15.87	73.55	26.42	19.43	5.2	1.10	1.18	2.9	3.37	0.13	0.04	58	0.00	0.15	0.00	0.07	19.50	47.16	38.30	-8.86		
EX.7201	47.16	12	1.18	31.44	0.15	0.05	2.9	0.03	0.00	0.00	0.00	0.00	0.00	0	0.00	0.03	0.00	0.02	0.06	47.23	39.30	-7.93		
<b>EX.2718 - STRM 29B</b>																								
EX.2718	26.31	12	1.57	22.08	0.26	0.06	3.2	0.04	0.00	0.00	0.00	0.00	0.00	0	0.00	0.04	0.00	0.02	0.08	26.39	34.08	7.69		
EX.2717	26.39	12	1.57	106.43	0.26	0.27	3.4	0.04	0.00	0.00	0.00	0.00	0.00	58	0.00	0.04	0.00	0.02	0.30	26.68	34.02	7.34		
<b>To Strm 16</b>																								
17	18.15	15	0.89	30.77	0.03	0.01	2.6	0.03	0.00	0.00	0.00	0.00	0.00	0	0.00	0.03	0.00	0.01	0.02	18.17	31.92	13.75		
<b>To Strm 8</b>																								
20A	24.19	30	20.47	12.15	0.33	0.04	5.8	0.13	13.74	5.2	70.85	0.41	0.14	28	0.00	0.27	0.00	0.14	0.18	24.36	27.28	2.92		
20	24.36	27	13.74	181.33	0.26	0.48	5.2	0.10	0.00	0.00	0.00	0.00	0.00	0	0.00	0.10	0.00	0.05	0.53	24.89	27.74	2.85		
<b>STRM 33 - VAULT</b>																								
32	22.00	24	10.50	57.39	0.29	0.16	5.2	0.11	5.96	4.4	26.05	0.30	0.10	75	0.00	0.21	0.00	0.10	0.27	22.27	28.25	5.98		
33	24.85	21	5.96	27.24	0.19	0.05	4.4	0.07	36.38	11.5	419.55	2.06	0.72	0	0.00	0.80	0.00	0.40	0.45	25.30	28.45	3.15		
<b>VAULT - STRM 6A</b>																								
30	14.00	33	36.38	6.16	0.63	0.04	11.5	0.52	36.38	8.9	325.33	1.24	0.43	0	0.00	0.95	0.00	0.48	0.51					



**SANITARY OUTFALL NARRATIVE:**  
 PER MEMO TO INDUSTRY 06-14, THE OUTFALL ANALYSIS SHALL ANALYZE THE SEWER SYSTEM UNTIL THE SEWER TIES TO A 24" OR LARGER PIPE. THE PRGS SITE WILL TIE INTO THE EXISTING 20" SEWER MAIN RUNNING NORTH TO SOUTH ALONG MOUNT VERNON TRAIL.

**NOTE:**  
 1. PUMP HOUSE SANITARY TO CONNECT INTO PROPOSED GARAGE AND WILL BE RUMPED TO THE MAIN THROUGH THE PUMP HOUSE LATERAL.



**PRGS - REDEVELOPMENT  
 BLOCK - C**  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230505020.00  
 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: 1"=100'  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KHW

**APPROVED**  
**SPECIAL USE PERMIT NO. 2025-10012**  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**SANITARY SEWER PLAN**

SHEET No. **C700**

SANITARY FLOW ESTIMATE

Area	Office/Cultural (sq. ft.)	Flow Rate	Total Office Wastewater (MGD)	Retail (sq. ft.)	Flow Rate	Total Retail Wastewater (MGD)	Hotel (sq. ft.)	No. of Rooms	Total Hotel Wastewater (MGD)	No. of Restaurant Seats	Flow Rate	Total Restaurant Wastewater (MGD)	Residential (sq. ft.)	No. of Apartment / Condominium Units	Flow Rate	Total Residential Wastewater (MGD)	Floor Area	Total (MGD)	Peak Factor	Peak (MGD)	
Pump House			10.000	0.200	0.020					467.00	3.25	0.025				0.025	10.000	0.0270	4.0	0.0281	
Block A	41,657	0.200	0.01	9,801	0.200	0.0000				70.00	3.25	0.0002				0.0006	51,458	0.0191	4.0	0.0763	
Block B			30.126	0.200	0.0060				1,339.00	3.25	0.0044	382,623	321	300.0	0.0963	412,749	0.1067	4.0	0.4267		
Block C			17.709	0.200	0.0025				565.00	3.25	0.0018	625,375	494	300.0	0.1482	638,064	0.1526	4.0	0.6103		
Block D			8.000	0.200	0.0016						0.0000	295,582	277	300.0	0.0831	295,582	0.0867	4.0	0.3388		
Block E			12.000	0.200	0.0024				390.00	3.25	0.0011	526,582	547	300.0	0.1641	538,582	0.1676	4.0	0.6706		
Block F	270,000	0.200	0.05	8,000	0.200	0.0016			373.00	3.25	0.0012	146,580	138	300.0	0.0414	424,580	0.0982	4.0	0.3928		
Total Onsite Proposed Flow									4.00	3.25	0.0000					0.6359				2.5437	
99 Canal Properties	155,679	0.200	0.03						5.00	3.25	0.0000						155,679	0.0312	4.0	0.1246	
Tidelock Property	39,133	0.200	0.01						7.00	3.25	0.0000						39,133	0.0278	4.0	0.0314	
Total Offsite Flow									8.00	3.25	0.0000							0.0390			0.1560

NOTE: THE HALF OF GSF AREA OF RETAIL IS FOR NUMBER OF RESTAURANT SEATS AND THE OTHER HALF OF GSF AREA IS FOR RETAIL IN THE TABULATION.  
 BLOCK B: 60,252 / 2 = 30,126 SF X 1 = 20,084 SF / 15 = 1,339 SEATS  
 BLOCK C: 26,416 / 2 = 12,709 SF X 1 = 8,473 SF / 15 = 565 SEATS

SANITARY SEWER COMPUTATIONS

FROM	TO	INVERTS (FT)		SLOPE (1/100)	DIA (IN)	MATERIAL	MANNINGS N	PIPE CAPACITY		AVE. DAILY FLOW (ADF)		PEAK FACTOR	DESIGN FLOW		V <sub>min</sub> (FT/S)	V (FT/S)	Q/Q <sub>UL</sub>	V/V <sub>UL</sub>	REMARKS	
		UPPER INV	LOWER INV					(CFS)	(MGD)	INCREMENT (MGD)	ACCUMULATED (MGD)		(CFS)	(MGD)						
8	7	25.40	22.20	291.99	1.10	10	PVC	0.01	2.98	1.93	0.0982	0.098200	4.00	0.61	0.39	5.47	4.24	0.20	0.78	Block F contribution to Prop. 8 = 0.0982 MGD
7	6	22.10	20.75	272.20	0.50	10	PVC	0.01	2.01	1.30	0.1676	0.265800	4.00	1.65	1.06	3.68	4.09	0.82	1.11	Block E contribution to Prop. 7 = 0.1676 MGD
6	5	20.65	19.18	295.00	0.50	12	PVC	0.01	3.27	2.11	0.084700	0.350900	4.00	2.17	1.40	4.16	4.41	0.66	1.06	Block D contribution to Prop. 6 = 0.0847 MGD
5	4	19.08	17.60	295.00	0.50	15	PVC	0.01	5.95	3.84	0.159500	0.510100	4.00	3.36	2.04	4.85	4.85	0.53	1.00	Block C & Pump House contribution to Prop. 5 = 0.1595 MGD
4	3	17.50	16.50	199.49	0.50	15	PVC	0.01	5.94	3.84	0.106700	0.616800	4.00	3.82	2.47	4.84	5.13	0.64	1.06	Block B contribution to Prop. 4 = 0.1067 MGD
3	2	16.40	16.05	69.47	0.50	15	PVC	0.01	5.96	3.85	0.000000	0.616800	4.00	3.82	2.47	4.86	5.15	0.64	1.06	
2	1	15.95	14.63	262.34	0.50	15	PVC	0.01	5.95	3.85	0.019100	0.635900	4.00	3.94	2.54	4.85	5.14	0.66	1.06	Block A contribution to Prop. 2 = 0.0191 MGD
1	1A	14.53	14.06	94.20	0.50	15	PVC	0.01	5.91	3.82	0.000000	0.635900	4.00	3.94	2.54	4.82	5.11	0.67	1.06	
1A	1B	13.83	12.30	308.45	0.50	15	PVC	0.01	5.91	3.82	0.000000	0.635900	4.00	3.94	2.54	4.82	5.11	0.67	1.06	
1B	1C	12.20	10.20	397.72	0.50	15	PVC	0.01	5.95	3.85	0.000000	0.635900	4.00	3.94	2.54	4.85	5.14	0.66	1.06	
1C	1D	10.10	9.73	75.54	0.50	15	PVC	0.01	5.96	3.85	0.000000	0.635900	4.00	3.94	2.54	4.86	5.15	0.66	1.06	
1D	1E	9.63	8.25	277.12	0.50	15	PVC	0.01	5.92	3.83	0.000000	0.635900	4.00	3.94	2.54	4.83	5.12	0.66	1.06	
1E	EX 1263	8.145	7.14	222.64	0.45	26	RCP	0.013	18.81	12.16	0.039000	0.674900	4.00	4.18	2.70	5.10	4.10	0.22	0.80	99 Canal Properties & Tidelock Property Contribution to Prop. 1E = 0.0390

HGL COMPUTATIONS

Inlet Str.	Outlet Water Surf Elev (ft)	Do (in)	Qo (cfs)	Lo (ft)	Sfo (%)	Hf (ft)	JUNCTION LOSS											Final H (ft)	Inlet Water Surf Elev (ft)	Rim Elev (ft)	
							Vo (fps)	Ho (ft)	Qi (cfs)	Vi (fps)	Q/Vi	V <sup>2</sup> /2g	Hi (ft)	Angle (deg)	Ha (ft)	Ht (ft)	1.3Ht				0.5Ht
HGL COMPUTATIONS FROM S0 TO S9																					
S1E	9.88	26	2.70	222.64	0.01	0.01	4.1	0.07	2.54	5.1	13.01	0.41	0.14	90	0.27	0.48	0.00	0.24	0.25	10.13	24.00
S1D	10.63	15	2.54	277.12	0.09	0.25	5.1	0.10	2.54	5.1	13.10	0.41	0.14	43	0.00	0.25	0.00	0.12	0.38	11.01	25.00
S1C	11.10	15	2.54	73.34	0.09	0.07	5.1	0.10	2.54	5.1	13.08	0.41	0.14	46	0.00	0.25	0.00	0.12	0.19	11.29	26.00
S1B	13.20	15	2.54	397.72	0.09	0.36	5.1	0.10	2.54	5.1	12.99	0.40	0.14	180	0.00	0.24	0.00	0.12	0.49	13.69	27.00
S1A	14.83	15	2.54	308.45	0.09	0.28	5.1	0.10	2.54	5.1	12.99	0.41	0.14	180	0.00	0.24	0.00	0.12	0.40	15.23	28.00
S1	15.50	15	2.54	94.70	0.09	0.09	5.1	0.10	2.54	5.1	13.08	0.41	0.14	180	0.28	0.52	0.00	0.26	0.35	15.85	27.65
S2	17.01	15	2.54	262.34	0.09	0.24	5.1	0.10	2.47	5.1	12.70	0.41	0.14	69	0.25	0.50	0.00	0.25	0.49	17.50	32.33
S3	17.49	15	2.47	69.47	0.09	0.06	5.1	0.10	2.47	5.1	12.67	0.41	0.14	175	0.27	0.52	0.00	0.26	0.32	17.81	32.56
S4	18.50	15	2.47	199.49	0.09	0.17	5.1	0.10	2.04	4.8	9.89	0.36	0.13	180	0.24	0.47	0.00	0.24	0.41	18.91	30.88
S5	20.08	15	2.04	295.00	0.06	0.17	4.8	0.09	1.40	4.4	6.18	0.30	0.11	180	0.20	0.40	0.00	0.20	0.37	20.45	33.60
S6	20.08	12	1.40	295.00	0.09	0.27	4.4	0.08	1.06	4.1	4.35	0.26	0.09	180	0.17	0.34	0.00	0.17	0.44	20.52	33.52
S7	21.45	10	1.06	199.49	0.14	0.28	4.1	0.06	0.39	4.2	1.67	0.28	0.10	180	0.00	0.16	0.00	0.08	0.36	21.81	31.79
S8	22.77	10	0.39	291.99	0.02	0.06	4.2	0.07	0.00	0.0	0.00	0.00	0.00	0	0.00	0.07	0.00	0.03	0.09	22.86	30.48



PRGS - REDEVELOPMENT  
 BLOCK - C  
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
 CITY OF ALEXANDRIA, VIRGINIA

DATE	DESCRIPTION
1 05/02/2025	COMPLETENESS SUBMISSION
2 07/10/2025	VERIFICATION OF COMPLETENESS

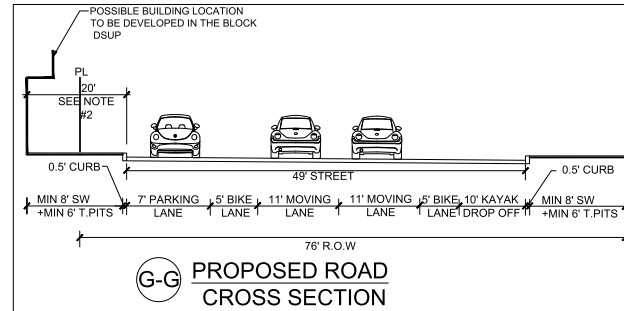
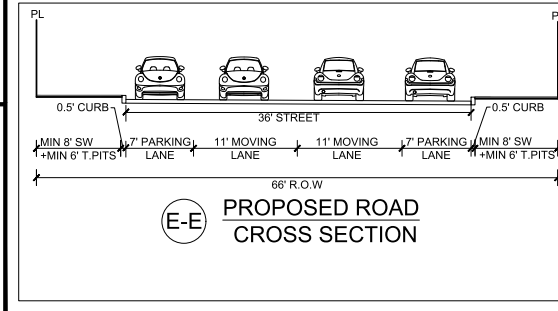
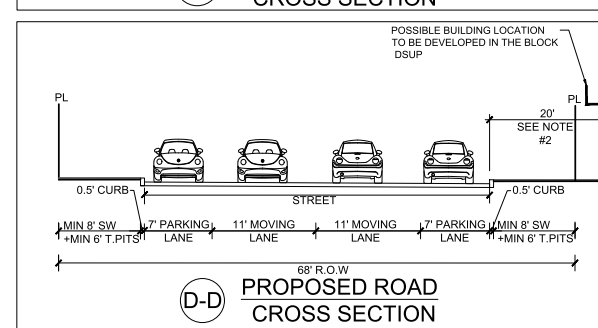
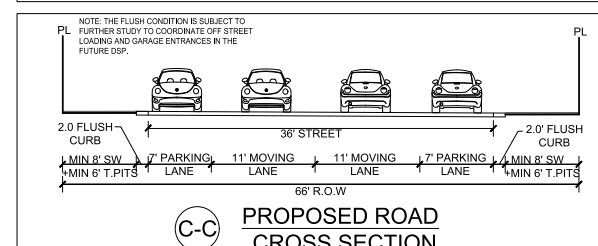
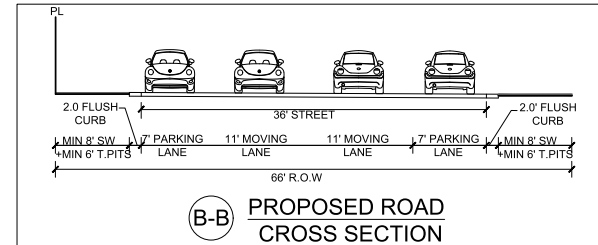
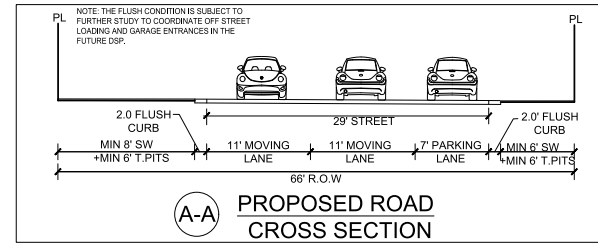
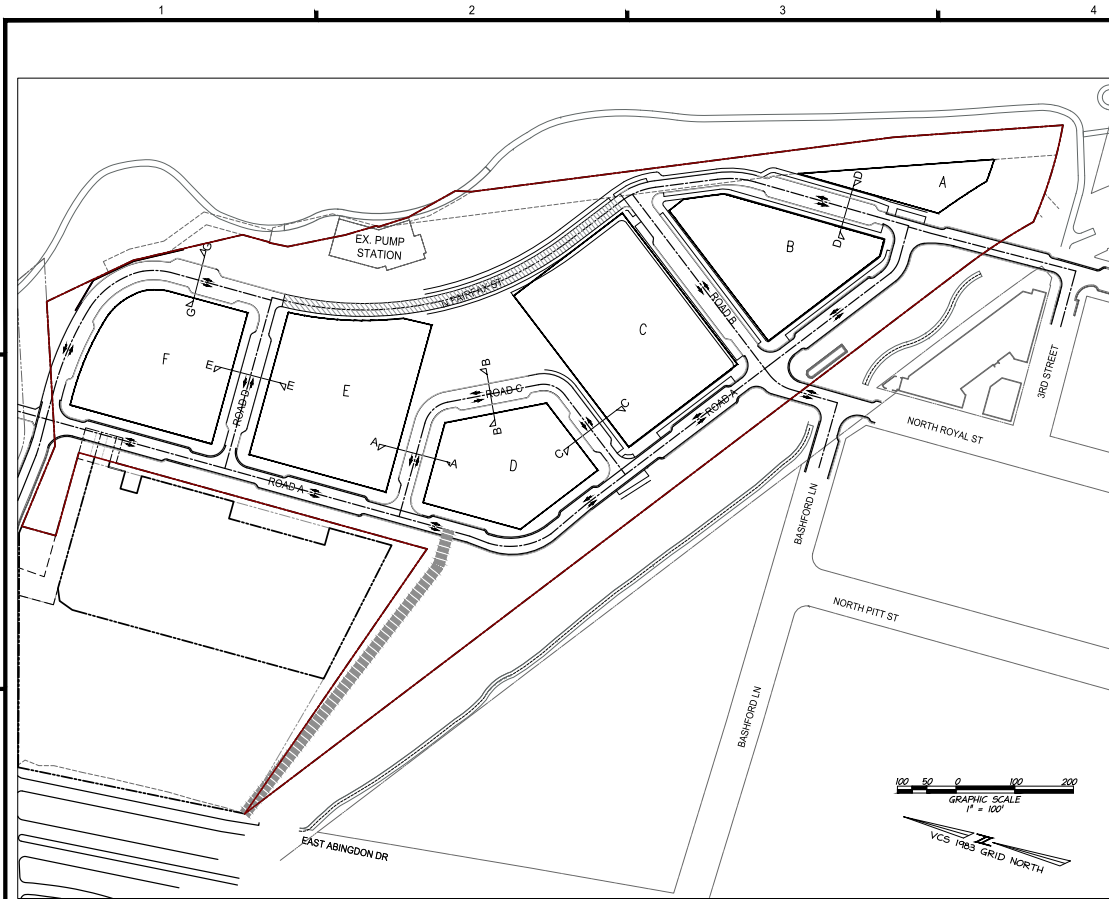
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 DRAWING No.: 114123  
 DATE: 04/18/2025  
 SCALE: NONE  
 DESIGN: JH  
 DRAWN: JS  
 CHECKED: KMW

**APPROVED**  
 SPECIAL USE PERMIT NO. 2025-10012  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

JURISDICTIONAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

SANITARY SEWER COMPUTATIONS  
 SHEET No. C701



**NOTES:**

- FINAL WIDTH AND CONFIGURATION OF SECTIONS WILL BE DETERMINED AS PART OF THE INFRASTRUCTURE DSP.
- BUILDING ON BLOCK B, C, E AND F SHALL BE SET BACK 20 FEET FROM BUILDING FACE TO FACE OF CURB AT THE GROUND FLOOR WITH POSSIBLE BUILDING VARIATION AND OVERHANGS ABOVE SUBJECT TO FINAL APPROVAL WITH EACH BLOCKS DSP.

**LEGEND:**

- T.PITS = TREE PITS
- R.O.W. = RIGHT OF WAY
- SW = SIDEWALK
- PL = PARCEL LINE
- L = LENGTH

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
EXPIRATION NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

4035 Ridge Top Rd, Suite 601  
Fairfax, VA 22030 P 703.273.6820  
engineering • surveying • land planning

08/05/2025  
JOHN L. HELMS  
Lic. No. 52485  
PROFESSIONAL ENGINEER

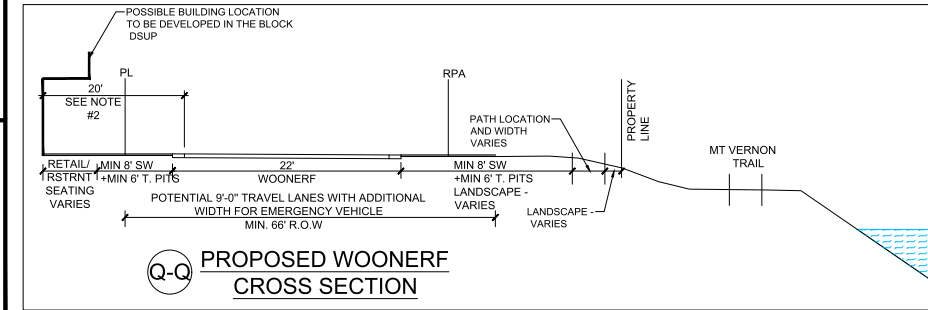
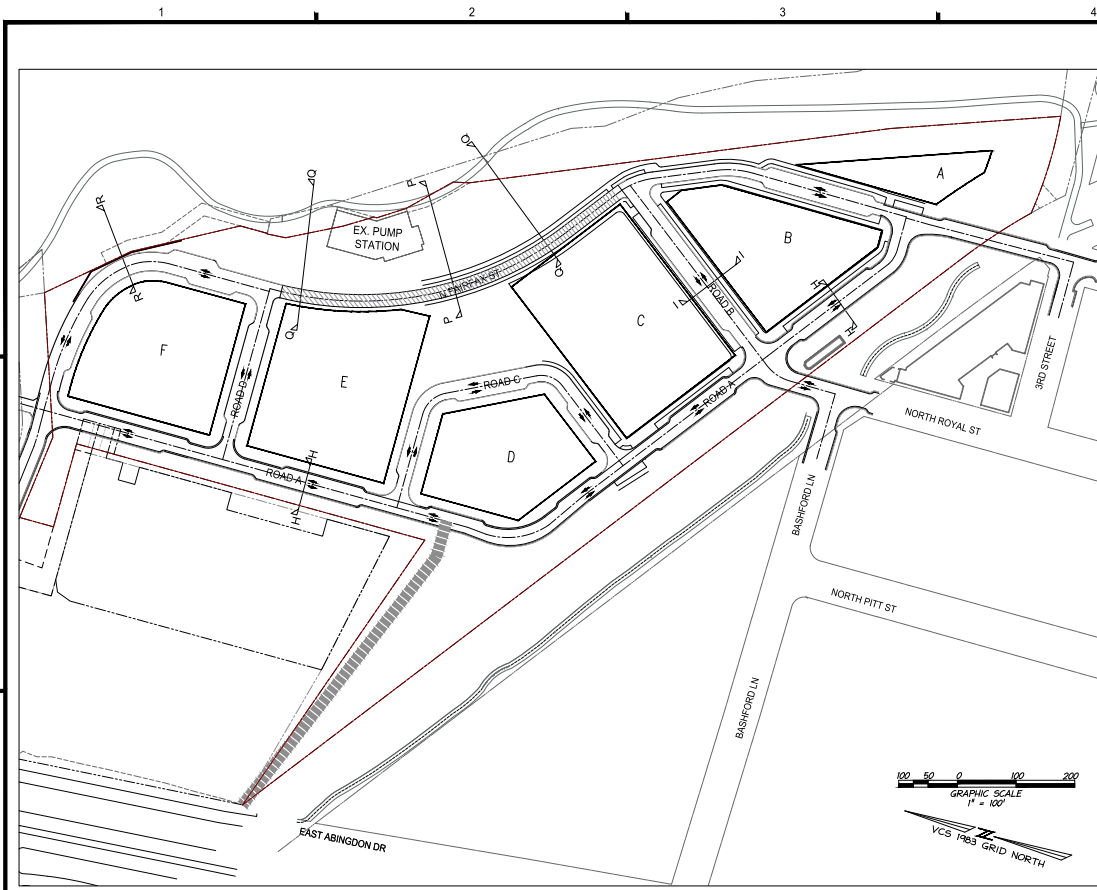
PRGS - REDEVELOPMENT  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
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2	07/10/2025	VERIFICATION OF COMPLETENESS

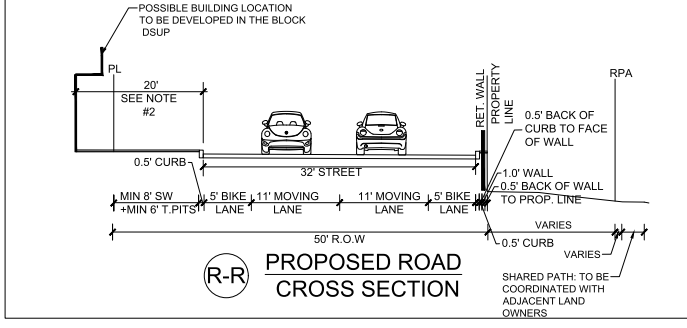
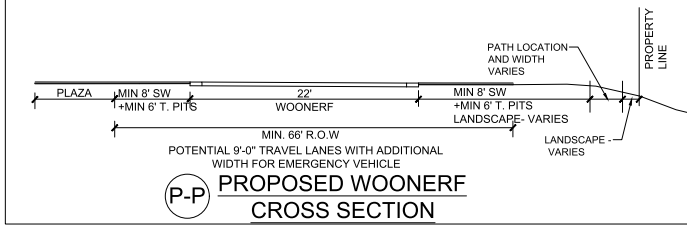
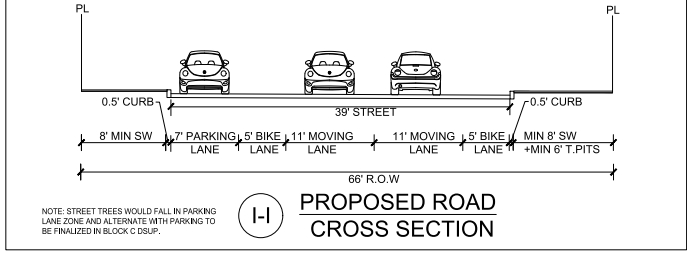
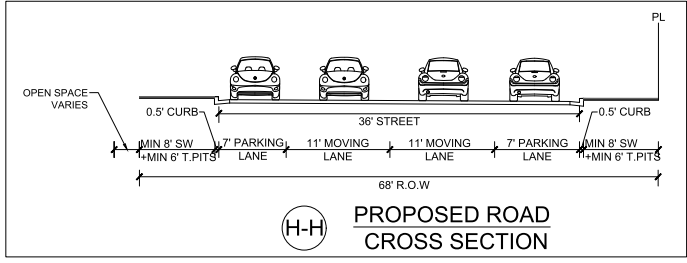
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DRAWING No.: 114123  
DATE: 04/18/2025  
SCALE: NONE  
DESIGN: JH  
DRAWN: JS  
CHECKED: KMW

**STREET CROSS-SECTIONS**

SHEET No. **C800**



- NOTES:**
1. FINAL WIDTH AND CONFIGURATION OF SECTIONS WILL BE DETERMINED AS PART OF THE INFRASTRUCTURE ISP.
  2. BUILDING ON BLOCK B, C, E AND F SHALL BE SET BACK 20 FEET FROM BUILDING FACE TO FACE OF CURBS AT THE GROUND FLOOR WITH POSSIBLE BUILDING VARIATION AND OVERHANGS ABOVE SUBJECT TO FINAL APPROVAL WITH EACH BLOCKS' DSUP.



- LEGEND:**
- T. PITS: TREE PITS
  - R.O.W: RIGHT OF WAY
  - SW: SIDEWALK
  - PL: PARCEL LINE
  - L: LENGTH

**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**PRGS - REDEVELOPMENT BLOCK - C**

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

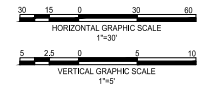
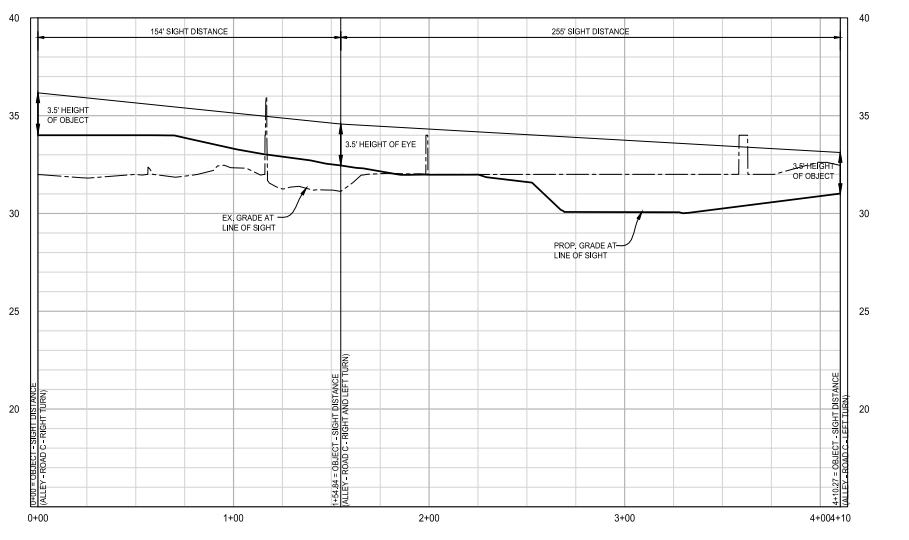
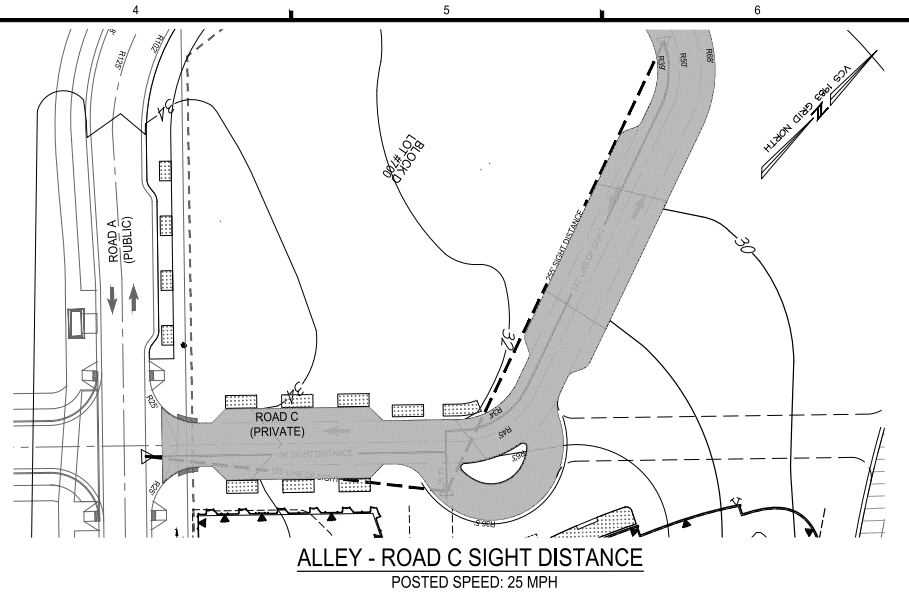
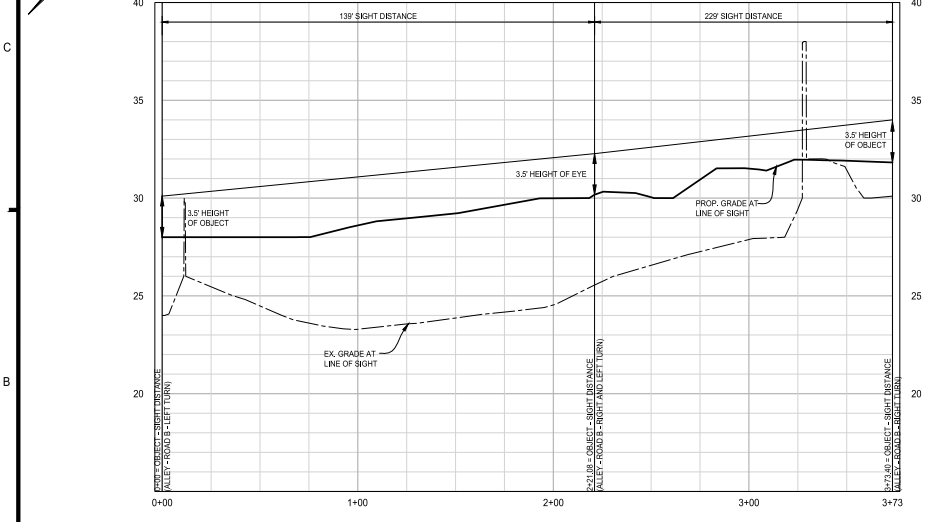
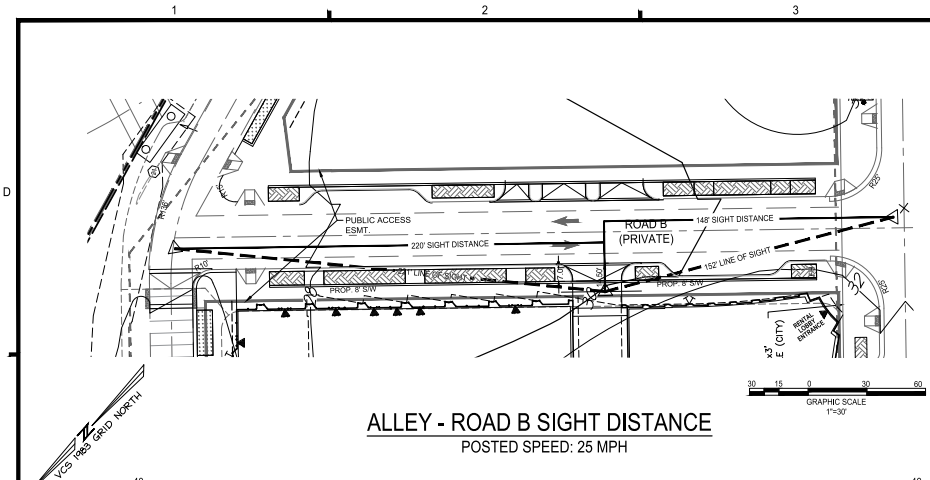
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/02/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005002.00  
DRAWING No.: 114123  
DATE: 04/15/2025  
SCALE: NONE  
DESIGN: JH  
DRAWN: JS  
CHECKED: KMW

**STREET CROSS-SECTIONS**

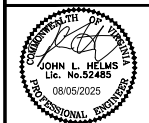
SHEET No. **C801**



**APPROVED**  
SPECIAL USE PERMIT NO. 2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

JOURNAL PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



PRGS - REDEVELOPMENT  
BLOCK - C  
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT  
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETE SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETION

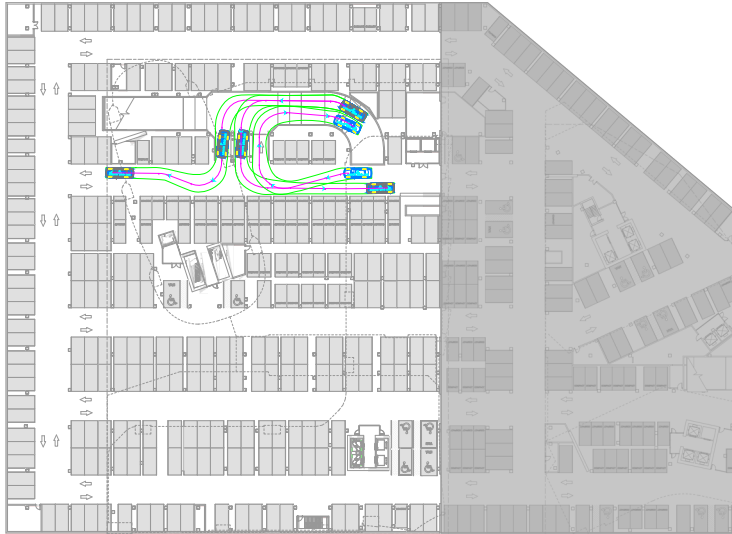
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DRAWING No.: 114123  
DATE: 04/15/2025  
SCALE: NONE  
DESIGN: JH  
DRAWN: JS  
CHECKED: KHW

SIGHT DISTANCE

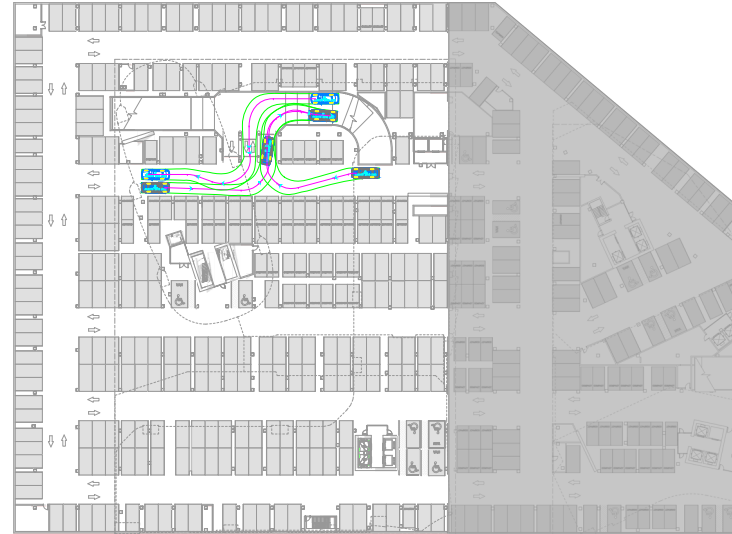
SHEET No. **C801A**

POTOMAC RIVER GENERATING STATION - BLOCK C LEVEL 1

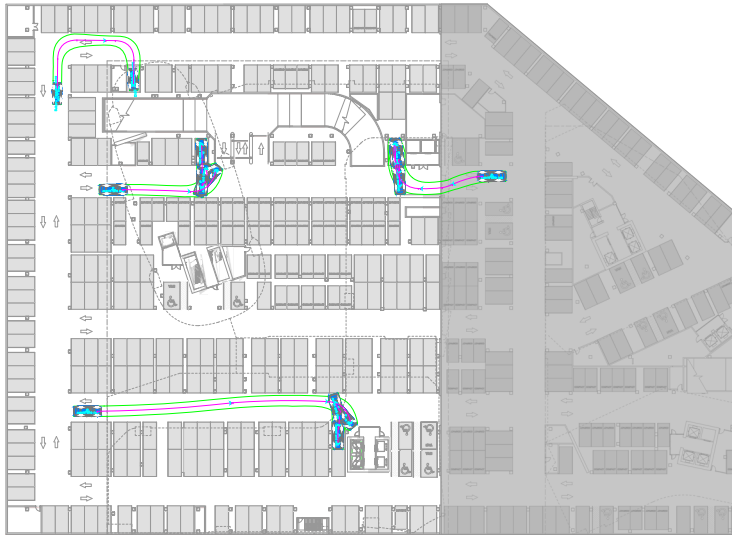
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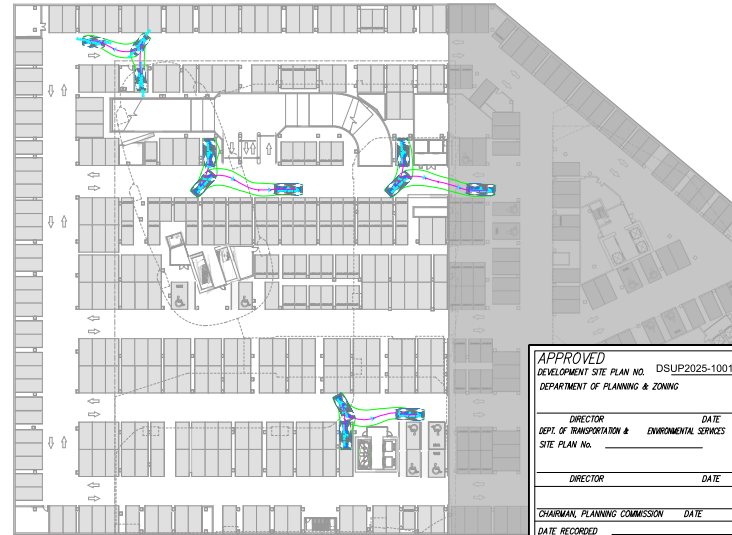
P-VEHICLE - P1 EXITING



PARKING SPACE MANEUVERS P1 - INBOUND



PARKING SPACE MANEUVERS P1 - OUTBOUND



**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**PRGS  
 BLOCK C**

VERIFICATION OF  
 COMPLETENESS

1300 North Royal Street  
 Alexandria, VA 22314

**GOROVE SLADE**  
 Transportation Planners and Engineers

**hrp** GROUP

HRP Potomac, LLC  
 1199 N Fairfax St, Suite 808  
 Alexandria, VA 22314

Tel: 312.796.6564  
 Fax: xxx.xxx.xxxx

**Gensler**

2020 K Street NW  
 Suite 200  
 Washington, DC 20006  
 United States

Tel: 202.721.5200  
 Fax: 202.872.8597

△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

Project Name

PRGS Redevelopment - Block C

Project Number

2994-001

Scale

1" = 30'-0"

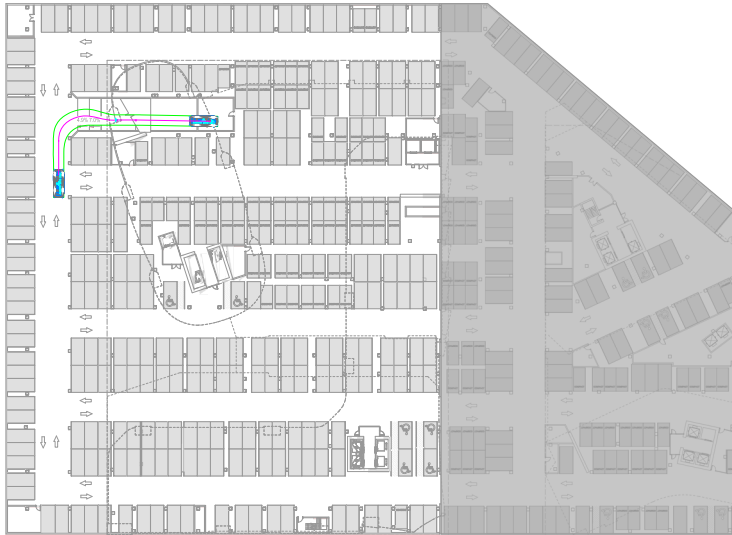
Description

TRUCK MANEUVERING ANALYSIS

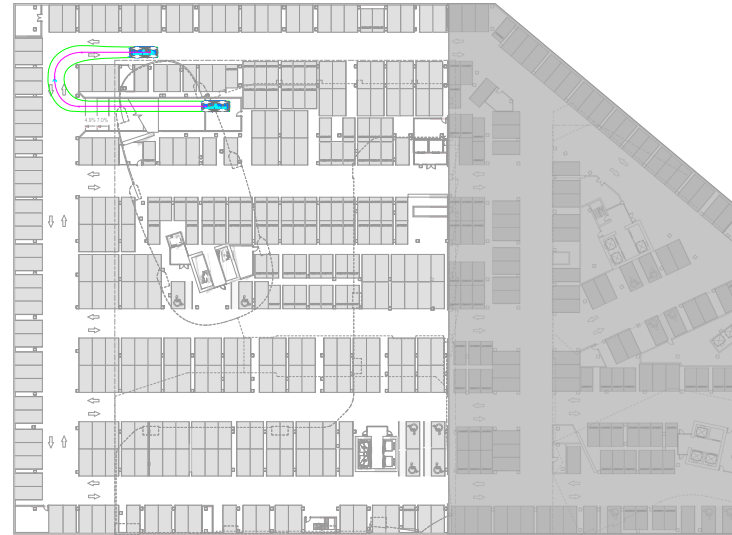
**C802**

POTOMAC RIVER GENERATING STATION - BLOCK C LEVEL 2

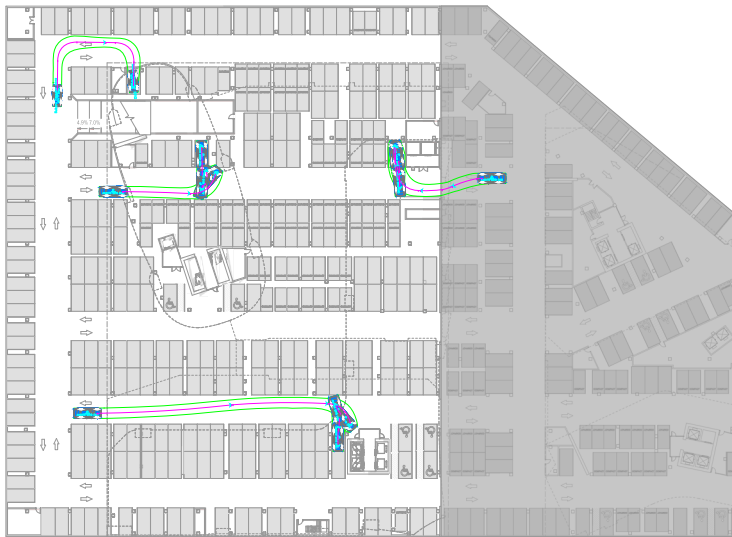
P-VEHICLE - P2 ENTERING



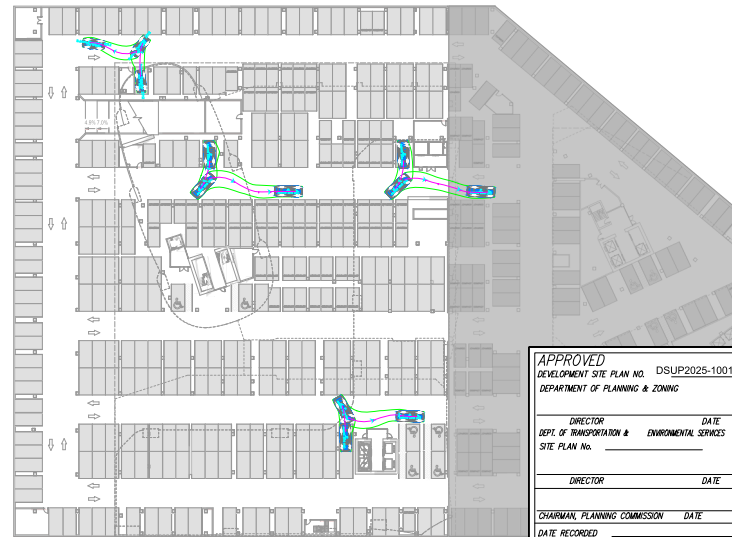
P-VEHICLE - P2 EXITING



PARKING SPACE MANEUVERS P2 - INBOUND



PARKING SPACE MANEUVERS P2 - OUTBOUND



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 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

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INSTRUMENT NO. DEED BOOK NO. PAGE NO.

**PRGS  
 BLOCK C**

VERIFICATION OF  
 COMPLETENESS

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△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

Project Name

PRGS Redevelopment - Block C

Project Number

2994-001

Scale

1" = 30'-0"

Description

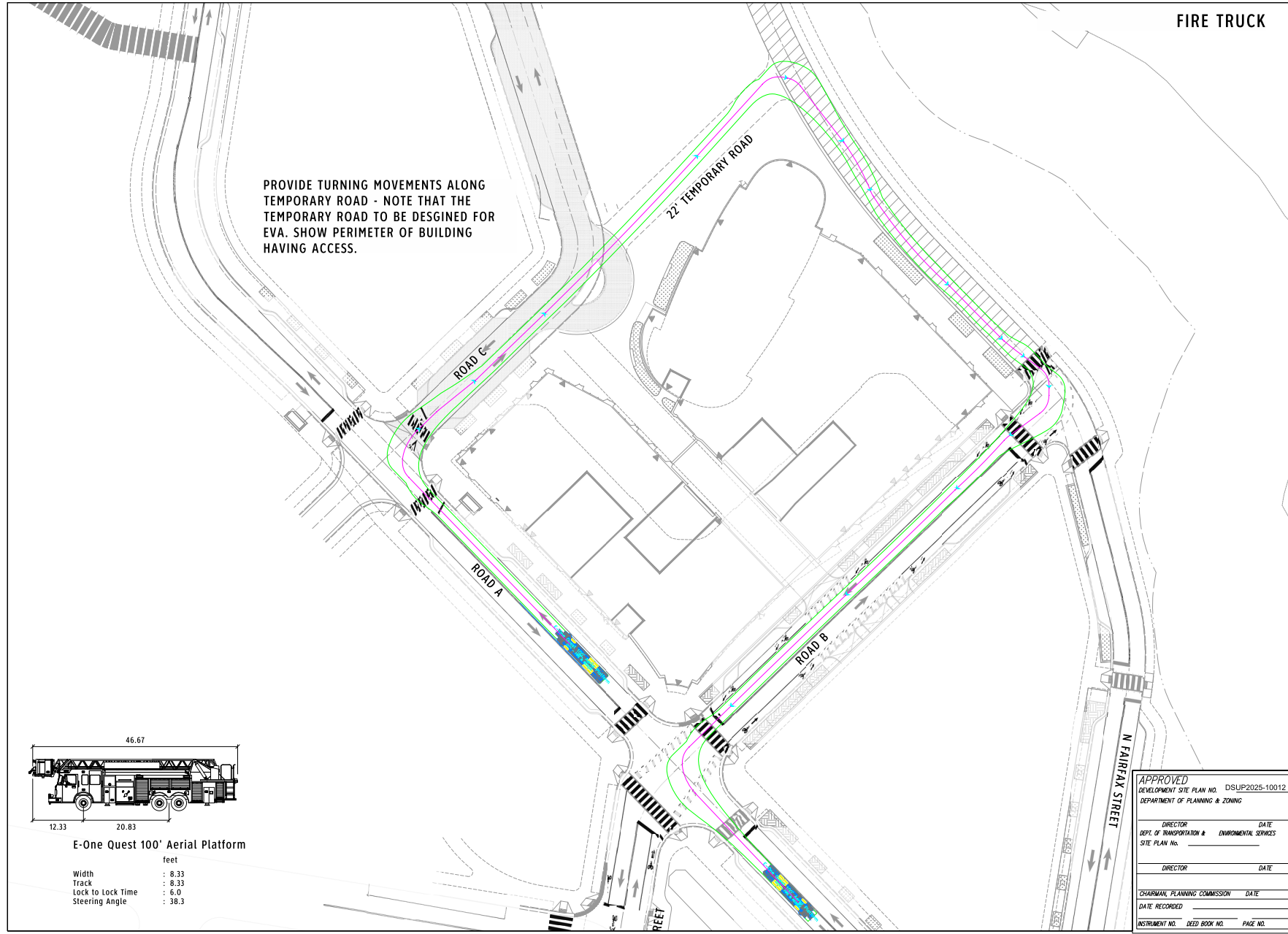
TRUCK MANEUVERING ANALYSIS

**C803**

POTOMAC RIVER GENERATING STATION - BLOCK C TEMPORARY ROAD

FIRE TRUCK

PROVIDE TURNING MOVEMENTS ALONG TEMPORARY ROAD - NOTE THAT THE TEMPORARY ROAD TO BE DESIGNED FOR EVA. SHOW PERIMETER OF BUILDING HAVING ACCESS.



PRGS BLOCK C

VERIFICATION OF COMPLETENESS

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Seal / Signature



Project Name

PRGS Redevelopment - Block C

Project Number

2994-001

Scale

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Description

TRUCK MANEUVERING ANALYSIS

**C804**

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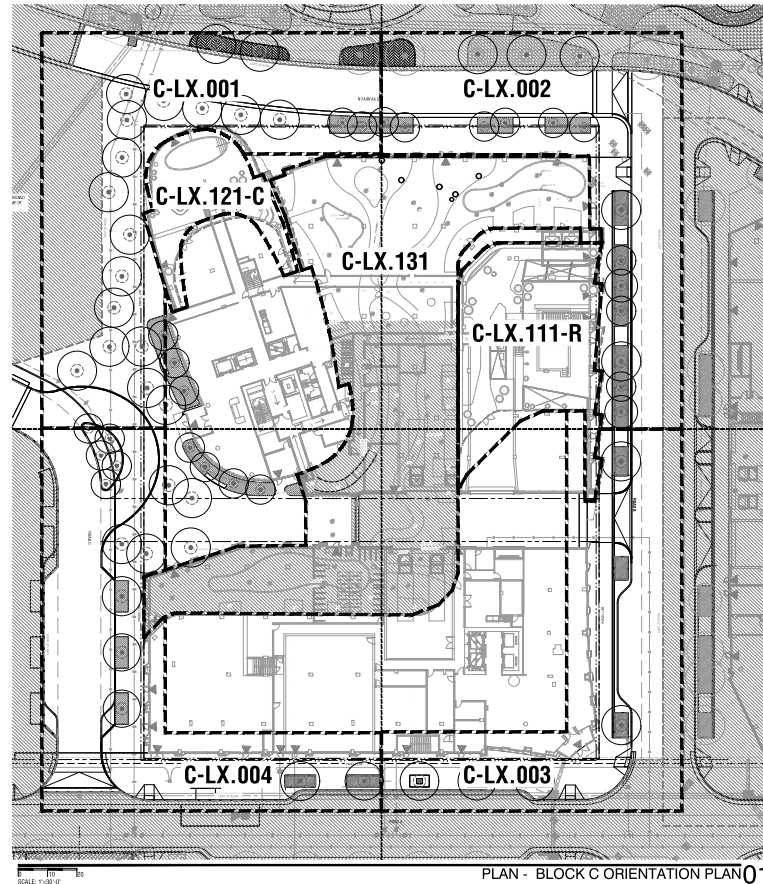
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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**GENERAL NOTES**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND TO LOCATE ALL EXISTING SITE CONDITIONS, STRUCTURES AND UNDERGROUND UTILITIES, PIPES, AND OTHER SUBSTRUCTURES, AND TO PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR, BODILY INJURY OR REPLACEMENT OF SAID SUBSTRUCTURES INCLUDING DAMAGE OF THE OWNER'S PROPERTY SHALL BE BORN BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO VERIFY EXISTING CONDITIONS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY THE OFFICE OF JAMES BURNETT SHALL BE WITHOUT LIABILITY TO THE OFFICE OF JAMES BURNETT.
- LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN AND ADJACENT TO THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO EXCAVATION AND CONSTRUCTION OF NEW WORK. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING STRUCTURES AND UTILITIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES, PIPES AND OTHER SUBSTRUCTURES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS, DETAILS AND SPECIFICATIONS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION IN THE FIELD. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE RESIDENT ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON AND/OR ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- IN AN EMERGENCY THREATENING THE SAFETY OF LIFE, WORK OR ADJOINING PROPERTY, THE CONTRACTOR IS HEREBY INSTRUCTED TO ACT AT HIS OWN DISCRETION TO PREVENT SUCH LOSS OR INJURY.
- ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER SHALL ASSUME THAT THE CONTRACTOR HAS INCORPORATED THE SPECIFIED ITEM, WHERE DIFFERENCES EXIST BETWEEN CODES, STANDARDS, AUTHORITIES HAVING JURISDICTION, AND THE DOCUMENTS, THE ONE AFFORDING THE GREATEST PROTECTION AND/OR STRONGEST CONDITION SHALL APPLY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION OF DESIGN WHEN CONFLICTS AND/OR UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTOR'S ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE A MINIMUM OF 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO PROVIDE ALL WORK. WORK TO BE COMPLETE IN PLACE AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR SETTING GRADES ON ALL HARD AND SOFT SURFACES. CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE FROM HARD SURFACES FOR THIS PROJECT.
- ALL MATERIALS SHALL BE OF STANDARD, APPROVED AND FIRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ANY COMMERCIAL PROCESSED OR PACKAGED MATERIAL SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED PACKAGING BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- THE CONTRACTOR AGREES, TO THE EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS THE AUTHORITIES HAVING JURISDICTION AND DESIGN TEAM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF ANY OF HIS SUBCONTRACTORS, MATERIALS SUPPLIERS, OR AGENTS.
- THE CONTRACT DRAWINGS REPRESENT THE FINISHED CONSTRUCTION AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MAINTAIN THE INTEGRITY OF STRUCTURES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING.
- ALL LOCAL, MUNICIPAL, AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THE PROJECT SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND MUNICIPAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AND REQUIREMENTS.

**APPROVED**  
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**PRGS REDEVELOPMENT**

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▲ Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

ORIENTATION PLAN AND GENERAL NOTES

Scale

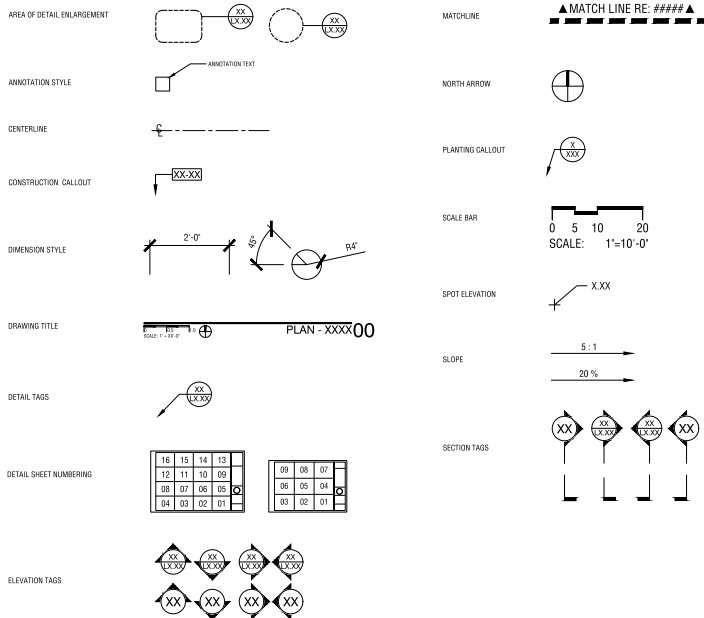
**C-L0.000**

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**GENERAL ABBREVIATIONS**

A BOLT	AT ANCHOR BOLT	E EASTING	LL LIVE LOAD, LOWER LAYER	RE STRUCT	REFER TO STRUCTURAL DRAWINGS
AC ACRE	EA EACH	LNH LONG LEG HORIZONTAL	LLV LONG LEG VERTICAL	RE PLUMB	REFER TO PLUMBING DRAWINGS
ADA AMERICANS WITH DISABILITIES ACT	EE EACH END	LF EACH FACE	LP LOW POINT	RE GEOTECH	REFER TO GEOTECHNICAL DRAWINGS
ADJ ADJUSTABLE, ADJACENT	EJ EXPANSION JOINT	ELV ELEVATION	LVL LEVEL	REMP	REINFORCE, REINFORCEMENT
ALT ALTERNATE	ELECT ELECTRICAL	E.O.C. END OF CURVE	MANUF MANUFACTURER	REQD	REQUIRED
ARCH ARCHITECTURAL, ARCHITECT	EQ EQUAL	EQ.OC. EQUAL END OF CURVE	MECH MECHANICAL	REV	REVISION, REVISED
ARCH ANCHOR	ESM ESAMT	E.S.M. EACH SIDE	MECH MECHANICAL	REINFORC WITH	REINFORCED WITH
B&R BALLED & BURLAPPED	EW EWM	E.W. EACH WAY	M.E.P. MECHANICAL, ELECTRICAL & PLUMBING	SPEC SPECIFICATIONS	SPECIFICATIONS
BC BOTTOM OF CURB	EX EXIST	EX. EXISTING	MH MANHOLE	SPF STEP DOWN FOOTING	SPF
BLD BUILDING	EXP-IT EXPANSION JOINT	EXP-IT EXISTING	MISC MISCELLANEOUS	SECT SECTION	SECT
BLK BLOCK	EXT-IT EXTERIOR	EXT-IT EXISTING	M.M. MIDDLE LAYER	SLF STEEL FACED CURB	SLF
BUD BULKHEAD	E-W EAST WEST	E-W WEST	MOM MOMENT	SIM SIMILAR	SIM
BM BEAM	FF F&F	F&F FACE FACE	MSE MECHANICALLY STABILIZED EARTH	SLG SLAB ON GRADE	SLG
BRMK BRICKMARK	FF F&F	F&F FACE FACE	N NORTHING	SO SQUARE	SO
B.BOT BOTTOM OF CURB	FF F&F	F&F FACE FACE	NF NORTH FACE	STA STATION	STA
B.O.C. BOTTOM OF CURB	FG FINISH GRADE	FG FINISH GRADE ELEVATION	NIC NOT IN CONTRACT	ST STANDARD	ST
BRDG BRIDGING	FL FLOOR	FL FLOOR	NTS NOT TO SCALE	STRUCT STRUCTURAL	STRUCT
BS BOTTOM OF STAIR	FS FINISH SURFACE	FS FINISH SURFACE	NTS NOT TO SCALE	SYM SYMBOL	SYM
BSMT BASEMENT	FT FOOTING	FT FOOTING	N-S NORTH SOUTH	SS STAINLESS STEEL	SS
CA, CB COLUMN ABOVE, COLUMN BELOW	FTG FOOTING	FTG FOOTING	OF OUTSIDE FACE	T TOP	T
CA, CB CENTER TO CENTER	FV FIELD VEHRY	FV FIELD VEHRY	O.C. ON CENTER	TA TURF AREA	TA
C/W CONNECT WITH	GA GAUGE	GA GAUGE	OD OUTSIDE DIAMETER	TOB TO BE DETERMINED	TOB
CAL CALIPER	GAL GALLON	GAL GALLON	OPN OPENING	TOC TOP OF CURB	TOC
CANT CANTILEVER	GALV GALVANIZED	GALV GALVANIZED	OPN OPPOSITE	TEMP TEMPORARY	TEMP
CB CATCH BASIN	GB GRADE BREAK, GRADE BEAM	GB GRADE BREAK, GRADE BEAM	OWSJ OPEN WEB STEEL JOIST	TD TYPICAL DETAIL	TD
C.I.P. CAST IN PLACE	GEOTECH GEOTECHNICAL ENGINEER	GEOTECH GEOTECHNICAL ENGINEER	OH OVERHEAD	TJ TYPICAL JOINT	TJ
CJ CONTROL JOINT	GV GAS VALVE	GV GAS VALVE	PA PLANTING AREA	TL TOP LOWER LAYER	TL
C.J. CONSTRUCTION JOINT	H. HORZ HORIZONTAL	H. HORZ HORIZONTAL	PC PRECAST	TOC TOP OF CURB	TOC
CL CENTER LINE	H.F. FACTORED HORIZONTAL FORCE, KIPS	H.F. FACTORED HORIZONTAL FORCE, KIPS	PC PLACE	TS TOP OF STAIRS	TS
CLR CLEAR	HR HOOKED EACH END	HR HOOKED EACH END	PL PLATE	TU TOP UPPER LAYER	TU
C.L.F. CHAIN LINK FENCE	HP HIGH POINT	HP HIGH POINT	PLC PLACE PER FOOT	TV TYPICAL	TV
CLL CONTRACT LIMIT LINE	HSC HORIZONTALLY STRUCTURAL SECTION	HSC HORIZONTALLY STRUCTURAL SECTION	P.P. POUNDS PER SQUARE INCH	TYR TYPICAL	TYR
COL COLUMN	HSS HOLLOW STRUCTURAL SECTION	HSS HOLLOW STRUCTURAL SECTION	PSF POUNDS PER SQUARE FOOT	UL UPPER LEVEL	UL
COMC CONCRETE	HT HEIGHT	HT HEIGHT	PSF POUNDS PER SQUARE FOOT	UN UNLESS OTHERWISE NOTED	UN
CONSTR CONSTRUCTION	ID INSIDE DIAMETER	ID INSIDE DIAMETER	POT POINT OF BEGINNING	US UNDERPASS	US
CONT CONTINUOUS	IF INSIDE FACE	IF INSIDE FACE	POT POINT OF BEGINNING	UV UTILITY VALE	UV
CONV CONNECTION	INT INTERIOR	INT INTERIOR	PVC POLYVINYL CHLORIDE	VERT VERTICAL	VERT
C/W CONNECT WITH	INV INVERT	INV INVERT	QTY QUANTITY	VB VERTICAL BRACING	VB
DC DEPRESSED CURB	IT JOINT	IT JOINT	R RADIUS	VF VERIFY IN FIELD	VF
DET DETAIL	L&S (L&S) POUND(S)	L&S (L&S) POUND(S)	RECT.D RECTANGLE	VSC VERTICALLY SLOTTED CONNECTION	VSC
DTL DETAIL	LEG LEG	LEG LEG	REF REFERENCE, REFER TO	W WITH	W
D&G DECOMPOSED GRANITE	L.G. LEGAL GRADE	L.G. LEGAL GRADE	REF ARCHITECTURAL DRAWINGS	WV WELDED WIRE FABRIC, WELDED WIRE FABRIC	WV
DA, DB DIAMETER			REF CIVIL DRAWINGS	WVF WELDED WIRE FABRIC, WELDED WIRE FABRIC	WVF
DIAG DIAGONAL			REF ELECTRICAL DRAWINGS		
DIM DIMENSION			RE MECH MECHANICAL, ELECTRICAL & PLUMBING		
DIP DUCTILE IRON PIPE					
DL DEAD LOAD					
DWD(S) DRAWING(S)					
DWL(S) DWEL					

**GENERAL DRAWING SYMBOLS**



**PRGS REDEVELOPMENT**

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Description

SYMBOLS AND ABBREVIATIONS

Scale

C-L0.001

**APPROVED**

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**PART 1 – (ON STRUCTURE) SITE WORK DESCRIPTION**

**1.1 GENERAL REQUIREMENTS**

- A. Vehicular Drive and Pedestrian Walkway Paving over Concrete Slabs on Sub-grade: Set with a slurry bond coat and thick bed cement setting mortar.
- B. Exterior Ferrous Metal Work: Hot dip galvanize prior to painting.

**1.2 DESCRIPTION OF ARCHITECTURAL SITE WORK (CONSTRUCTION SCHEDULE)**

- A. Hardscape Materials: A variety of paving materials poured and laid in specific geometric patterns as per plans
  - CP-301; C.I.P. Concrete Paving: Integral colored concrete with custom aggregate. Grace top-cast finish. 6" thick (8" thick in vehicular areas), reinforced per civil, poured over 6" aggregate sub-base.
  - UP-102; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24" x 3" thick Pavers on Pedestal
  - UP-103; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24" x 3" thick Pavers on Pedestal
  - UP-202; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24" x 3" thick Pavers on Pedestal
  - UP-203; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24" x 3" thick Pavers on Pedestal
  - WD-101; Wood Tile paver on Pedestal: Bison Innovative Products "IPE wood tile"
  - LS-101; Artificial Turf on Terra-Grid tray support on Pedestal: TurfMaster "Gold"; concrete curb edges and impact layer sub-base

**B. Site Features:**

- SF-101; BBO Trellis Structure: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-102; Pool Cabana Structure: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-104; Fire pit: Gas Fire pit, size per plan, Push Start, Automatic timer and Shutoff
- SF-105; Pool: Refer to pool designer drawings.
- SF-106; Planter Pots: Precast GFRC, Custom Color/ Finish
- SF-107; Shower: refer to Architecture
- SF-108; Screen Fence: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-204; Fire pit: Gas Fire pit, size per plan, Push Start, Automatic timer and Shutoff
- SF-205; Pool: Refer to pool designer drawings.
- SF-206; Planter Pots, Precast GFRC, Custom Color/ Finish
- SF-207; Shower: refer to Architecture
- SF-303; Unit Screen Fence
- SF-304; Skylight: Refer to Architecture Drawings and Specifications
- SF-305; Fire pit: Gas Fire pit, size per plan, Push Start, Automatic timer and Shutoff

**C. Site Walls:**

- SW-101; Precast Concrete Retaining wall: Custom Color/ Finish Reinforced Precast Concrete wall.
- SW-103; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0'-48"
- SW-104; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0'-48"
- SW-203; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0'-48"
- SW-204; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0'-48"

**D. Site Fencing and railing:**

- FR-101; Stainless steel Handrails at stair and ramp: Hollow Structural section (HSS) for Round Handrail welded to HSS Rectangular post. Core-drilled concrete paving and filled with non-shrink grout. Color to match existing paving materials. Integrated light included.
- FR-103; Glass Fence and Gate: Tempered glass Fence and Gate
- FR-201; Stainless steel Handrails at stair: Hollow Structural section (HSS) for Round Handrail welded to HSS Rectangular post. Core-drilled concrete paving and filled with non-shrink grout. Color to match existing paving materials. Integrated light included.
- FR-203; Glass Fence and Gate: Tempered glass Fence and Gate
- FR-301; Stainless steel Handrails at ramp: Hollow Structural section (HSS) for Round Handrail welded to HSS Rectangular post. Core-drilled concrete paving and filled with non-shrink grout. Color to match existing paving materials. Integrated light included.

**E. Site Stair and Ramps:**

- SR-101; SR-201; Site stairs: Monolithic reinforced Precast concrete treads set on 6" C.I.P. Concrete base. Integral colored concrete.
- SR-301; Handicap Ramp: Integral colored Concrete paving with grace top-cast finish. 6" thick set on compacted aggregate sub-base. Slope of direction of travel to be less than 8%.

**F. Site lighting and Electrical features:**

- LI-101; Light pole: Multi-head light fixtures attached to poles
- LI-102; Spotlights: Installed with Rails on Trellis structure above kitchen
- LI-103; Light bollard: Powder-coated Light bollard, 24" - 36" ht.
- LI-104; Integrated Linear Lights: Linear lights integrated with Trellis structure
- EL-101; Power Pedestal: Powder-coated Electrical Power Pedestal, 18" ht. Double-gang, Hinge-top

**G. Moveable Furniture:**

Contractor to provide Allowance for Moveable furniture based on layout/quantities shown in plans

**PART 2 – (ON GRADE) SITE WORK DESCRIPTION**

**2.1 GENERAL REQUIREMENTS**

- A. Vehicular Drive and Pedestrian Walkway Paving over Concrete Slabs on Sub-grade: Set with a slurry bond coat and thick bed cement setting mortar.
- B. Exterior Ferrous Metal Work: Hot dip galvanize prior to painting.

**1.2 DESCRIPTION OF ARCHITECTURAL SITE WORK (CONSTRUCTION SCHEDULE)**

- A. Hardscape Materials: A variety of paving materials poured and laid in specific geometric patterns as per plans
  - CP-01; C.I.P. Concrete Paving (Pedestrian Rated): Integral colored concrete with custom aggregate. Grace top-cast finish. 4" thick reinforced concrete with 6" compacted aggregate sub-base, reinforced per civil, poured over 6" compacted aggregate sub-base.
  - CP-02; C.I.P. Concrete Paving (Vehicular Rated): Integral colored concrete with custom aggregate. Grace top-cast finish. 6" thick reinforced concrete with 6" compacted aggregate sub-base, reinforced per civil, poured over 6" compacted aggregate sub-base.
  - UP-01; Precast Concrete Unit Paving at Furnishing Zone: 4" thick concrete unit paver with polymeric sand swept joint and bituminous setting bed, set on 4" concrete sub-base over compacted aggregate. Size varies: 3'x9' 3'x18' 3'x24'. MNFR: Hanover Priest Plankstone: Artistam + 891171 mix, Tudor finish.
  - UP-02; Precast Concrete Unit Paving at Roadway (Vehicular Rated): 4" thick concrete unit paver with polymeric sand swept joint and bituminous setting bed, set on 4" concrete sub-base over compacted aggregate. Size varies: 3'x9' 3'x18' 3'x24'. MNFR: Hanover Priest Plankstone: 891764 + 891983 mix, Tudor finish.
  - UP-03; Tactile Paver: Cast iron unit paver with truncated domes, with polymeric sand swept joint and bituminous setting bed, set on 4" concrete sub-base over compacted aggregate. 24"x24"
  - UP-04; Granite Cobble Unit Paving (Pedestrian Rated): 2" thick granite cobble paver with latrice mortar setting bed and polymeric joints, set on set on 6" concrete sub-base over compacted aggregate. 6'x8'
  - UP-05; Granite Cobble Unit Paving (Vehicular Rated): 4" thick granite cobble paver with latrice mortar setting bed and polymeric joints, set on set on 6" concrete sub-base over compacted aggregate. 6'x8'
  - UP-06; Metal Grating (Pedestrian Rated): 3" thick metal grating panel, set on concrete curb. Size varies ranging from 2'-3' W x 3' L.
  - UP-07; Metal Grating (Vehicular Rated): 3" thick metal grating panel, set on concrete curb. 2' W x 3' L.

**B. Landscape materials**

- LS-01; Landscape boulder: 3'-5' Dia. Sandstone boulder
- LS-02; Gravel: 2'-4" angular gravel

**C. Site Features:**

- SF-01; Waste Receptacle: see exhibit 3 common elements palette
- SF-02; Bike Rack: see exhibit 3 common elements palette
- SF-03; Parking Meter: per city standard
- SF-04; District Bench: see exhibit 3 common elements palette
- SF-05; BMP Bench: see exhibit 3 common elements palette
- SF-06; Plaza Bench: see exhibit 3 common elements palette
- SF-07; Metal Paver Grate: suspended paver system with decorative gravel fill. 8'x8'
- SF-08; Speed table: per civil
- SF-09; Bollard: stainless steel basaltite Bollard

**D. Site Fencing and railing:**

- FR-01; BMP Planter Rail: 3'x3/4" carbon steel bar stock horizontal post attached to 2'x3/4" carbon steel bar stock vertical posts. 26" ht. 4" O.C. MAX.

**E. Site lighting and Electrical features:**

- LI-01; Light pole: Roadway light, single-head fixture attached to poles

**F. Moveable Furniture:**

Contractor to provide Allowance for Moveable furniture

**PART 3 – EXTERIOR LANDSCAPING DESCRIPTION**

**2.1 GENERAL REQUIREMENTS**

- A. Provide complete exterior landscaping, including all plants, soils, soil amendments, fertilizers, subsurface drainage materials, irrigation equipment, ancillary materials, tools, equipment, and labor necessary to complete the work, unless specified under another Element of this specification.
- B. Quality and size of plants shall conform to the standards of ANSI Z60.1-1986, "American Standard for Nursery Stock".
- C. Plants shall be selected at their place of growth by the Landscape Architect and shall be reviewed and accepted or rejected for installation upon delivery to the job site.
- D. Plants shall have the following replacement warranty periods from the date of acceptance by the Landscape Architect.
  - 1. Trees: 12 months.
  - 2. Shrubs: 12 months.
  - 3. Ground Covers: 12 months.
  - 4. Perennials: 12 months.
  - 5. Turfgrass: 12 months.
- E. Plants shall be maintained in situ at no additional cost to the Owner from the time of installation to the date of acceptance of the complete installation.
- F. Maintenance Period: 12 Months from date of Substantial Completion

**2.2 DESCRIPTION OF EXTERIOR LANDSCAPING WORK**

**A. Tree Protection and Relocation:**

- 1. Tree Protection: Provide 6' tall chain link security fence with 3' wide access gate. Placement of tree protection to be eleven times the diameter of the trunk, square, centered on the trunk both ways. Landscape Architect and consulting arborist to confirm size of and approve all tree protection in field prior to construction.
- 2. Tree Transplanting: Prior to digging, treat roots with Cambistat per manufacturer recommendations. Excavate root ball eleven times the diameter of the trunk. Utilize hydraulic tree spade to excavate and relocate trees on site. Wrap trees adequately with burlap and provide temporary irrigation until permanent bubbler systems are installed.

- B. Plants: Maintain plants upright. Stake all trees under 5" caliper using Platypus system. Provide 6" deep watering saucers for all trees at diameter of rootball.
  - 1. Large Deciduous Trees: 6" caliper, balled and burlapped, straight trunk, central leader, symmetrical crown, even branching, stemmed up to 6'-0".

- 2. Flowering Shade Trees: 4" caliper, balled and burlapped, straight trunk, central leader, crown and branching typical of species' character.
  - 3. Planting Area:
    - a. 1/3 – 10 gal. container grown shrubs spaced at 30" on center.
    - b. 1/3 – 5 gal. container grown shrubs spaced at 18" on center.
    - c. 1/3 – 1 gal. container grown shrubs spaced at 12" on center.

- 4. Stormwater Retention Cells (Rain Gardens): Vegetated depression allowing storm water run-off to collect and infiltrate. Size and depth vary per plan. Specified plant material to be native/indigenous/adaptive species well-suited for wet conditions; well-drained, sandy soil medium over washed gravel basin with underdrain pipe to eliminate excessive ponding.
  - a. 1/3 – 10 gal. container grown shrubs spaced at 30" on center.
  - b. 1/3 – 5 gal. container grown shrubs spaced at 18" on center.
  - c. 1/3 – 1 gal. container grown shrubs spaced at 12" on center.

- 5. Turfgrass: Bluegrass solid sod.

- C. Planting Materials: Soil testing laboratory will test all planting materials and recommend any amendments or modification of materials.
  - 1. Topsoil Backfill: Sandy loam or loam, pH 6.0 to 7.0, free of debris, clods, stones, roots, weed seeds, contaminants or other deleterious matter.
  - 2. Planting Pit Backfill: 80% loam, 10% coarse sand, 10% sphagnum peat moss, or 90% sandy loam and 10% sphagnum peat moss.
  - 3. Fertilizers: Partial or complete fertilizers added to topsoil backfill and planting pit backfill per soil testing laboratory's recommendations.
  - 4. Soil Amendments: Peat moss, sand, lime, composted bark, composted manure, mushroom compost, or other amendments per soil testing agency's recommendations.
  - 5. Mushroom Compost: 3" layer in all ground cover and herbaceous perennial beds, worked into upper 12" of soil.
  - 6. Mulch: Dark brown, shredded hardwood bark mulch, 3" layer in all tree watering saucers, shrub beds, groundcover beds, and herbaceous perennial beds.

- D. Subsurface Drainage:
  - 1. Provide subsurface drainage for all lawn areas, trees and planting areas. Connect subsurface drainage lines to storm sewers or retention ponds, minimum slope.
  - 2. Subsurface drainage shall be drainage pipe bedded in washed gravel, wrapped in filter fabric, backfilled with site soil.
    - a. Drainage Pipe: 4" diameter perforated corrugated plastic pipe, with snap-fitting junctions and fittings.
    - b. Drainage Gravel: Washed gravel, size from 1/4" to 1", no fines.
    - c. Filter Fabric: Woven or non-woven geotextile fabric specifically intended for subsurface drainage applications.

- E. Irrigation:
  - 1. Provide full-coverage automatic irrigation for all planted areas.
  - 2. Irrigation equipment shall include, but not be limited to, extension of back-up potable water from a backflow protected source provided within the plumbing system, automatic multi-station controllers, gate valves, remote solenoid valves, valve boxes, piping, sprinkler heads, drains, filters, control wiring, sleeves, and any other required equipment.
  - 3. Provide all necessary related work and materials, including but not limited to trenching, drainage gravel, backfill, and the following sprinklers.
    - a. Trees: Irrigated with low volume drip irrigation system.
    - b. Shrub, Groundcover, and Herbaceous Perennial Beds: Irrigated with low volume drip irrigation system.
    - c. Turfgrass: Irrigated with low volume, sub-surface drip irrigation system.
    - 4. Valves and shrub bubblers shall be brass and/or brass construction.
    - 5. Pop-up sprinkler heads shall have plastic bodies.
    - 6. Piping shall be PVC pressure pipe.
    - 7. Hose Bibbs shall be provided, 1 per 2,000 s.f. of planting area from the irrigation system.

**2.3 Related Work**

- A. Coordinate landscape work with other trades, including but not limited to site lighting and electrical, grading, paving, and site utilities.

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DIRECTOR	DATE
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2 07/11/25	VERIFICATION SUBMISSION

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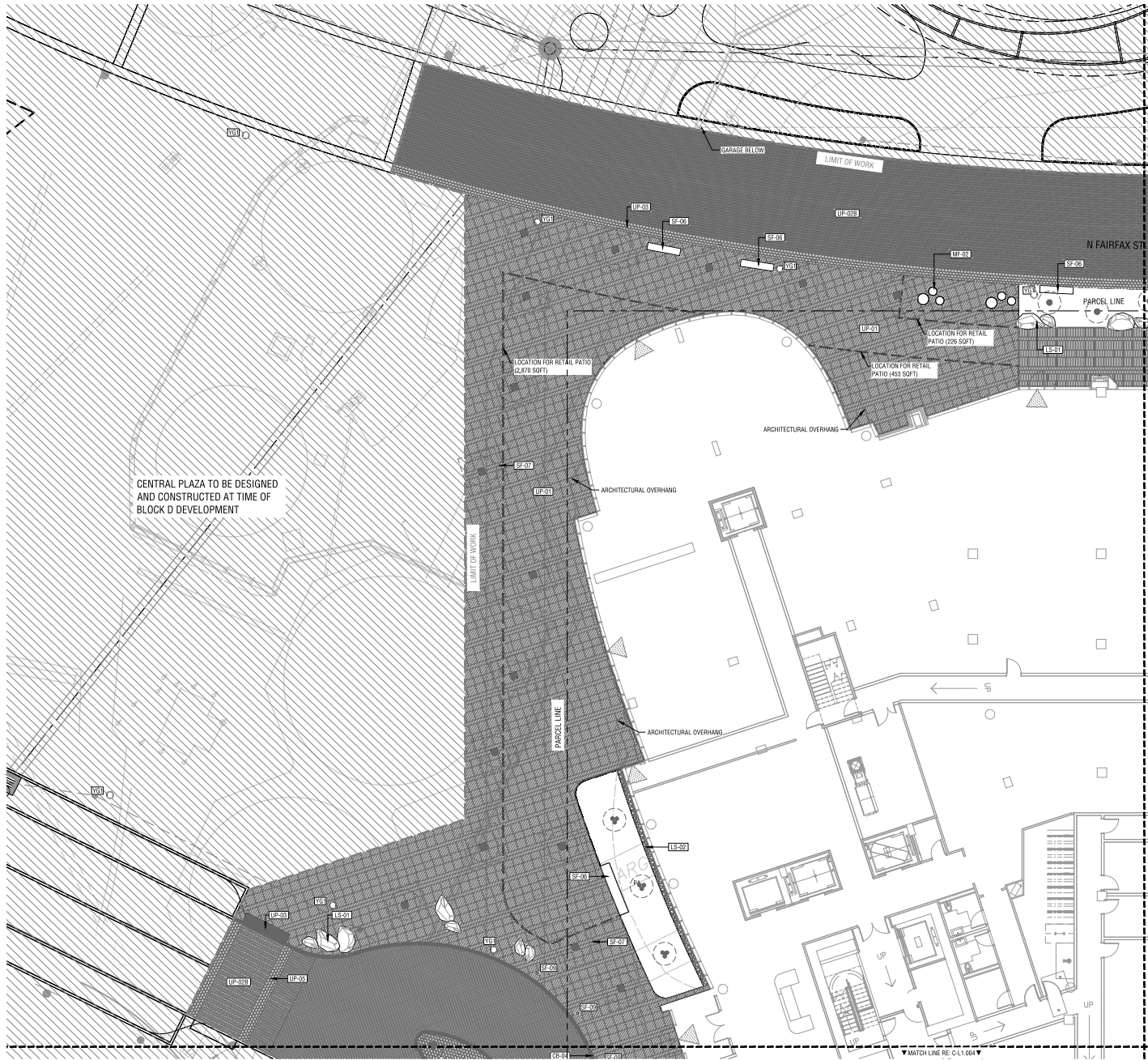
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Description  
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Scale

**C-L1.000**

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### QUICK REFERENCE LEGEND

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UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)																											
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2994-001

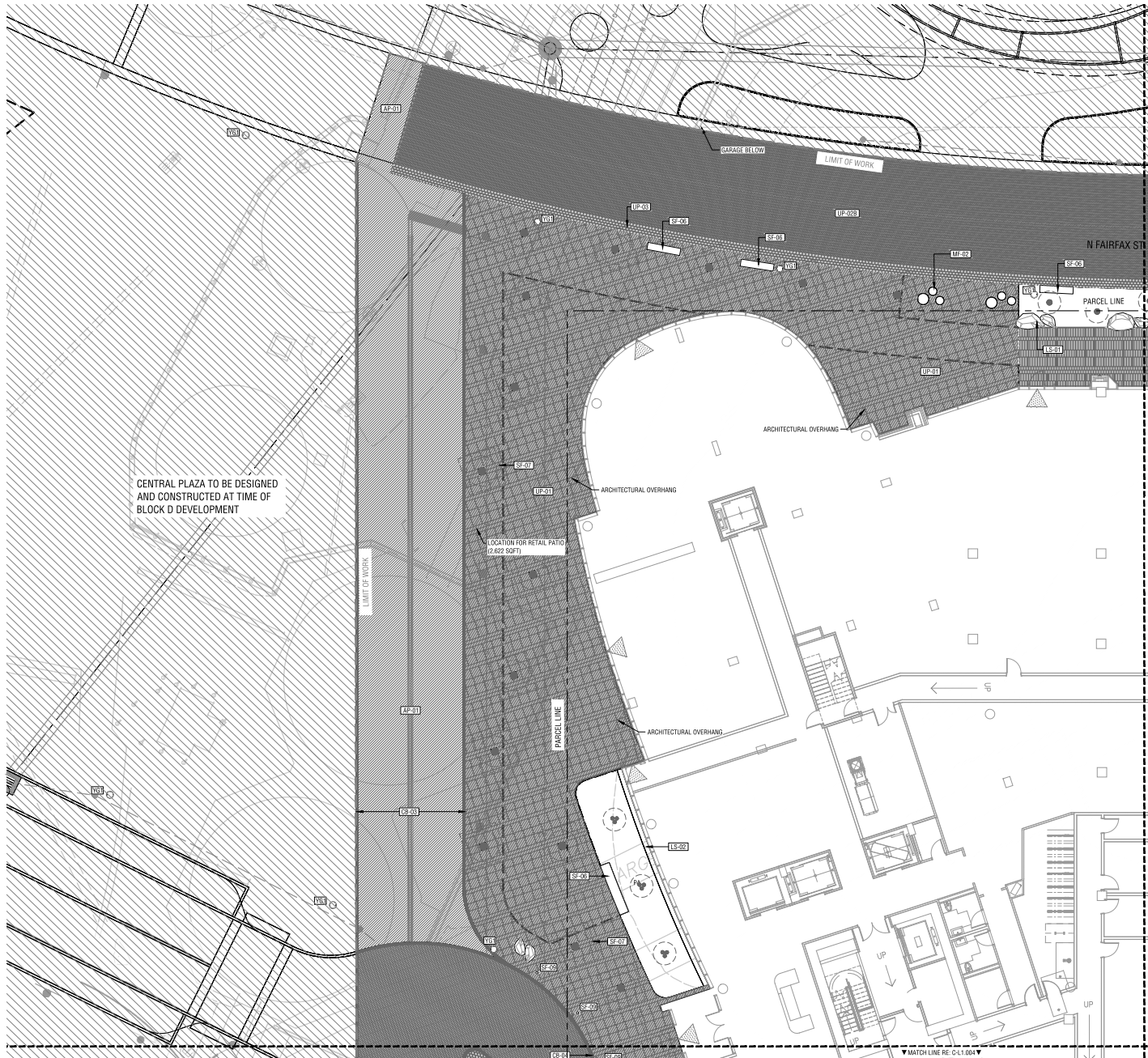
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UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
<b>JOINTING</b>		
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JO-02		EXPANSION JOINT
<b>LANDSCAPE MATERIAL</b>		
LS-01		LANDSCAPE BOULDER
LS-02		GRAVEL
<b>STAIRS AND RAMPS</b>		
SR-01		STAIRS - TYPE 1
<b>FENCING AND RAILINGS</b>		
FR-01		BIFF PLANTER RAIL
FR-02		WALL/RAIL - TYPE 1 (WOOD STAIRS)
<b>SITE FEATURE</b>		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		CHANGING STATION
SF-05		BMP BENCH
SF-06		PLAQUE BENCH
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<b>LIGHTING</b>		
YL1		STREET LIGHT

ABBREVIATIONS AND SYMBOLS	
PA	PLANTING AREA
TA	TURF AREA
(Symbol)	PROPOSED TREE LOCATIONS
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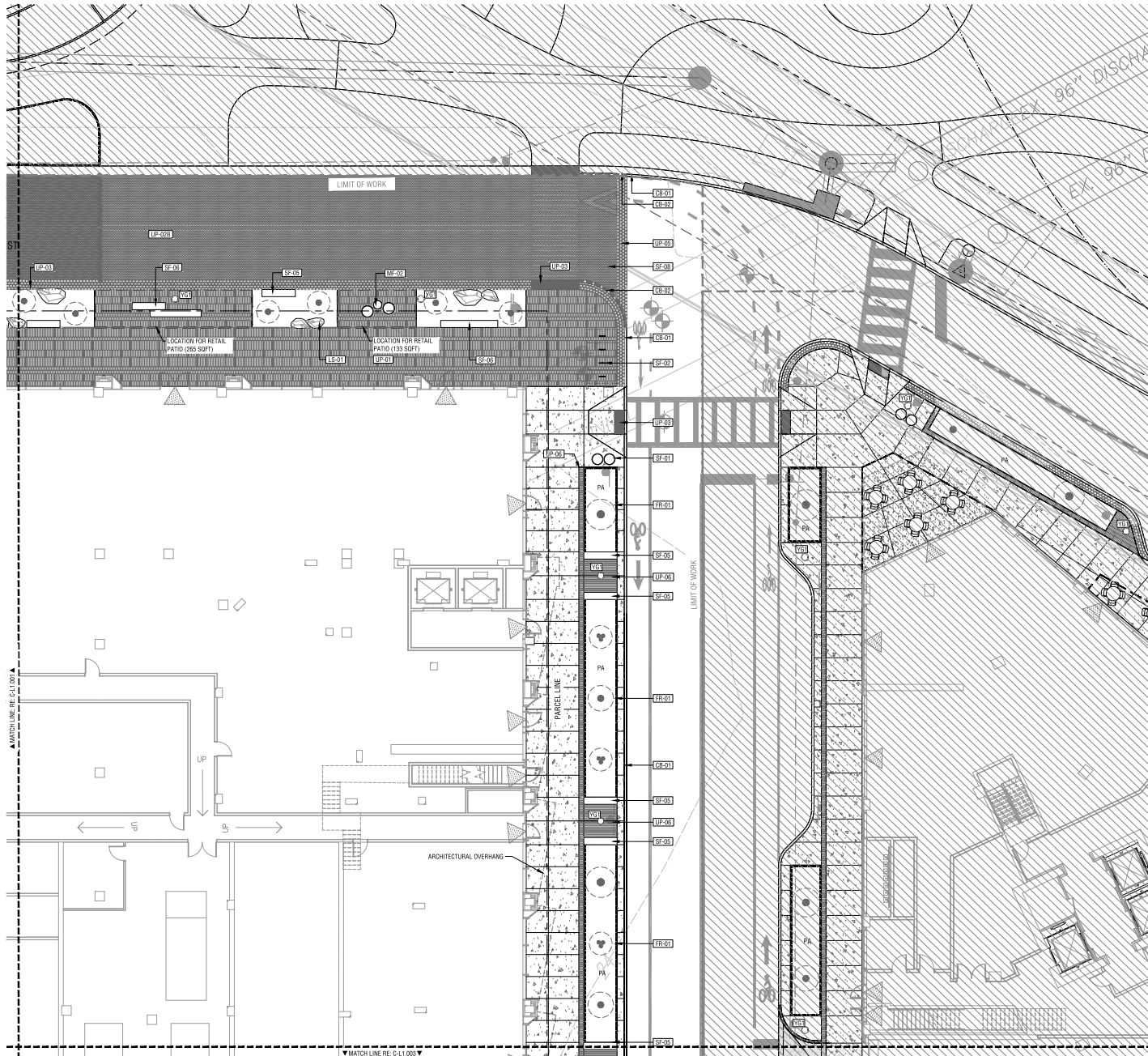
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SF-04		CHANGING STATION
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DEVELOPMENT SITE PLAN NO. DSUP2025-10012		
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Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature

Project Name  
PRGS REDEVELOPMENT - BLOCK C

Project Number  
2994-001

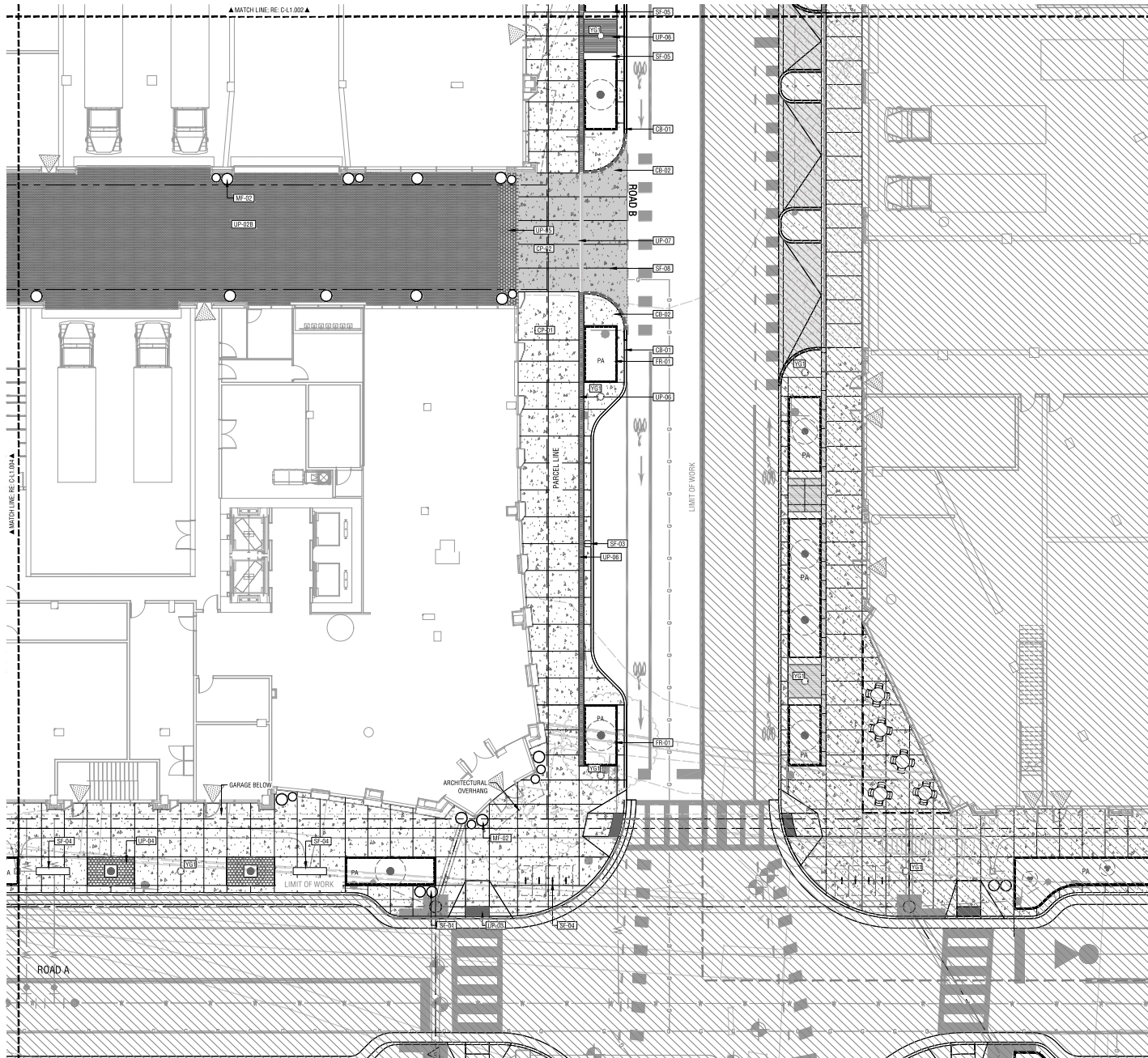
Description  
CONSTRUCTION PLANS (STREET)

Scale 1" = 10'-0"

**C-L1.002**

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### QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
<b>ASPHALT</b>		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
<b>CURBING</b>		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
CB-04		CURB - TYPE 4 (FLUSH)
<b>CONCRETE PAVING</b>		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
<b>UNIT PAVING</b>		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
UP-02A		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
UP-02B		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-05		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
<b>JOINTING</b>		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
<b>LANDSCAPE MATERIAL</b>		
LS-01		LANDSCAPE BOULDER
LS-02		GRAVEL
<b>STAIRS AND RAMPS</b>		
SR-01		STAIRS - TYPE 1
<b>FENCING AND RAILINGS</b>		
FR-01		BMP PLANTER RAIL
FR-02		WALKWAY - WOOD 1 (FOR STAIRS)
<b>SITE FEATURE</b>		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		BMP BENCH
SF-05		PLAZA BENCH
SF-06		PAVER GRATE
SF-07		SPEED TABLE
SF-08		BOLLARD
SF-09		
<b>MOVABLE FURNITURE</b>		
MF-01		DINING TABLE AND CHAIRS
MF-02		PLANTER POT
<b>LIGHTING</b>		
YL1		STREET LIGHT

### ABBREVIATIONS AND SYMBOLS

PA	PLANTING AREA
TA	TURF AREA
(Symbol)	PROPOSED TREE LOCATIONS
(Symbol)	EXISTING TREE LOCATIONS

**APPROVED**  
DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

## PRGS REDEVELOPMENT

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Tel 617.233.5171

Date Description

1	05/16/25	COMPLETION SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

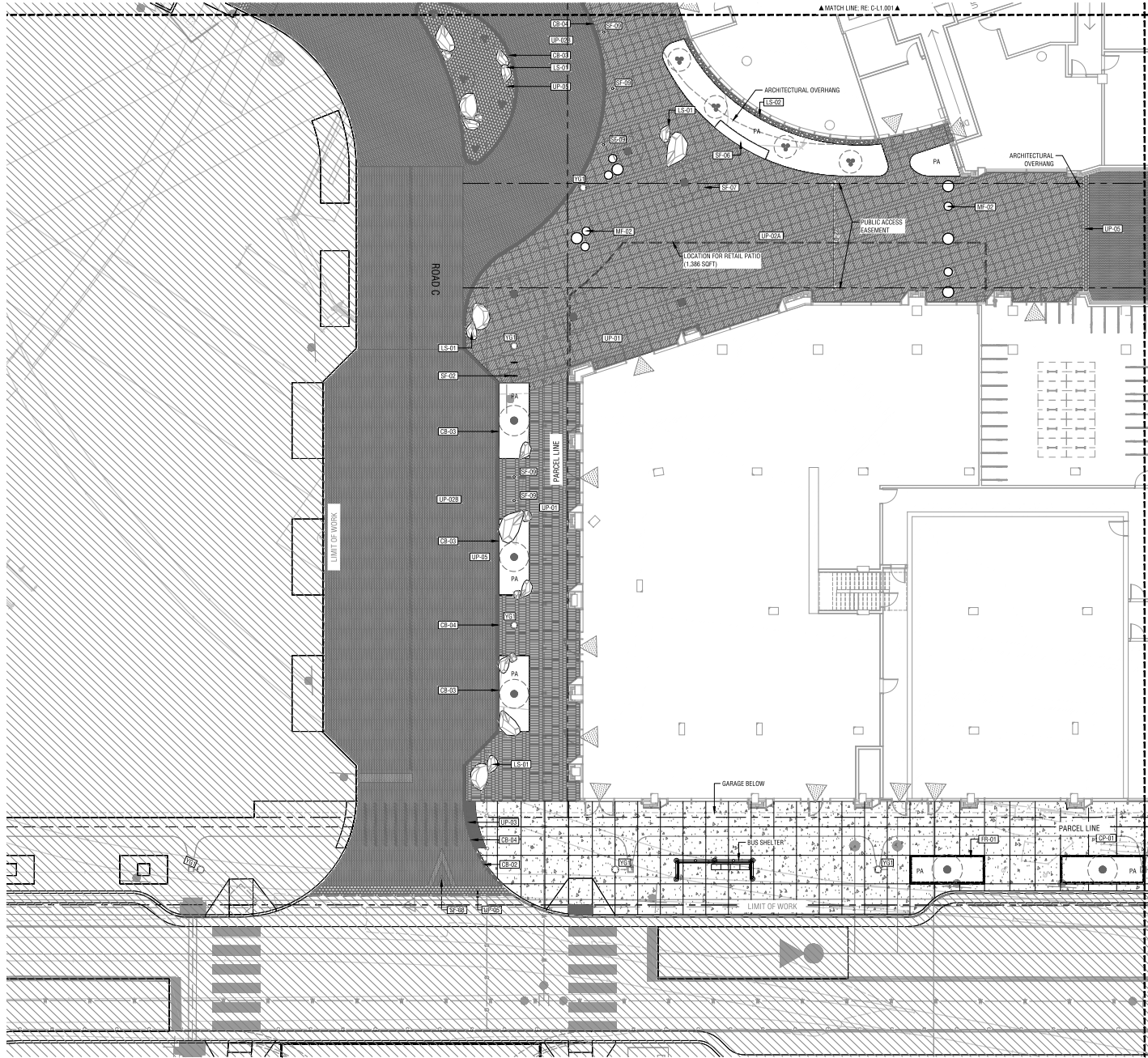
CONSTRUCTION PLANS (STREET)

Scale 1" = 10'-0" (X)

C-L1.003

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### QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
<b>ASPHALT</b>		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
<b>CURBING</b>		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
CB-04		CURB - TYPE 4 (FLUSH)
<b>CONCRETE PAVING</b>		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
<b>UNIT PAVING</b>		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
UP-02A		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
UP-02B		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-05		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
<b>JOINTING</b>		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
<b>LANDSCAPE MATERIAL</b>		
LS-01		LANDSCAPE BOULDER
LS-02		GRAVEL
<b>STAIRS AND RAMPS</b>		
SR-01		STAIRS - TYPE 1
<b>FENCING AND RAILINGS</b>		
FR-01		SNIP PLANTER RAIL
FR-02		WALKWAY - WIDE 4 (FOR STAIRS)
<b>SITE FEATURE</b>		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		CHANGING STATION
SF-05		BMP BENCH
SF-06		PLAZA BENCH
SF-07		PAVER GRATE
SF-08		SPEED TABLE
SF-09		BOLLARD
<b>MOVABLE FURNITURE</b>		
MF-01		DINING TABLE AND CHAIRS
MF-02		PLANTER POT
<b>LIGHTING</b>		
Y01		STREET LIGHT
<b>ABBREVIATIONS AND SYMBOLS</b>		
PA		PLANTING AREA
TA		TURF AREA
(Symbol)		PROPOSED TREE LOCATIONS
(Symbol)		EXISTING TREE LOCATIONS
<b>APPROVED</b>		
DEVELOPMENT SITE PLAN NO.		DSJP2025-10012
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR	DATE	
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

## PRGS REDEVELOPMENT

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Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

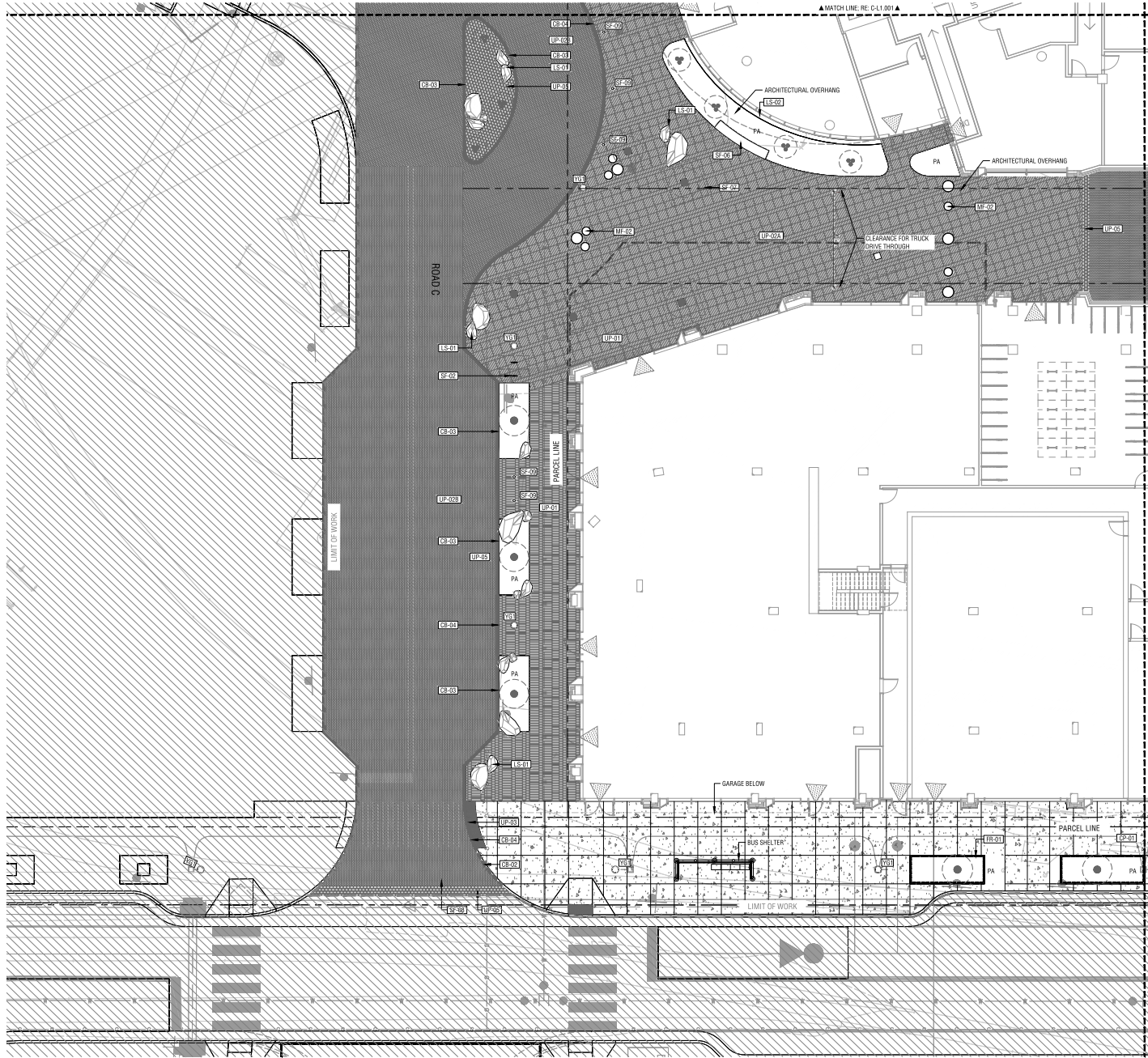
CONSTRUCTION PLANS (STREET)

Scale 1" = 10'-0"

**C-L1.004**

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### QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
<b>ASPHALT</b>		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
<b>CURBING</b>		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
CB-04		CURB - TYPE 4 (FLUSH)
<b>CONCRETE PAVING</b>		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
<b>UNIT PAVING</b>		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
UP-02A		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
UP-02B		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-05		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
<b>JOINTING</b>		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
<b>LANDSCAPE MATERIAL</b>		
LS-01		LANDSCAPE BOULDER
LS-02		GRAVEL
<b>STAIRS AND RAMPS</b>		
SR-01		STAIRS - TYPE 1
<b>FENCING AND RAILINGS</b>		
FR-01		BMP PLANTER RAIL
FR-02		WALKWAY - WOOD 1 (FOR STAIRS)
<b>SITE FEATURE</b>		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
FR-01		BMP BENCH
SF-06		PLAQA BENCH
SF-07		PAVER GRATE
SF-08		SPEED TABLE
SF-09		BOLLARD
<b>MOVABLE FURNITURE</b>		
MF-01		DINING TABLE AND CHAIRS
MF-02		PLANTER POT
<b>LIGHTING</b>		
Y01		STREET LIGHT
<b>ABBREVIATIONS AND SYMBOLS</b>		
PA		PLANTING AREA
TA		TURF AREA
(Symbol)		PROPOSED TREE LOCATIONS
(Symbol)		EXISTING TREE LOCATIONS

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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Date	Description
05/16/25	COMPLETENESS SUBMISSION
07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name  
 PRGS REDEVELOPMENT - BLOCK C

Project Number  
 2994-001

Description  
 CONSTRUCTION PLAN (STREET)  
 INTERIM CONDITION  
 Scale 1" = 10'-0"

**C-L1.004 INT**

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CONDO DROP-OFF (PERMANENT)02

SCALE: 1" = 10'-0"



CONDO DROP-OFF (INTERIM)01

SCALE: 1" = 10'-0"

**QUICK REFERENCE LEGEND**

KEY	SYM	DESCRIPTION
<b>ASPHALT</b>		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
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CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
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<b>CONCRETE PAVING</b>		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
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<b>UNIT PAVING</b>		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
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UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-05		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
<b>JOINTING</b>		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
<b>LANDSCAPE MATERIAL</b>		
LS-01		LANDSCAPE BOULDER
LS-02		GRAVEL
<b>STAIRS AND RAMPS</b>		
SR-01		STAIRS - TYPE 1
<b>FENCING AND RAILINGS</b>		
FR-01		BMP PLANTER RAIL
FR-02		WALKWAY - WOOD LUGS (FOR STAIRS)
<b>SITE FEATURE</b>		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		CHANGING STATION
SF-05		BMP BENCH
SF-06		PLAZA BENCH
SF-07		PAVER GRATE
SF-08		SPEED TABLE
SF-09		BOLLARD
<b>MOVABLE FURNITURE</b>		
MF-01		DINING TABLE AND CHAIRS
MF-02		PLANTER POT
<b>LIGHTING</b>		
YL1		STREET LIGHT

**ABBREVIATIONS AND SYMBOLS**

PA	PLANTING AREA
TA	TURF AREA
(Symbol)	PROPOSED TREE LOCATIONS
(Symbol)	EXISTING TREE LOCATIONS

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**PRGS REDEVELOPMENT**

**DSUP CONCEPT II SUBMISSION**  
 1300 North Royal Street  
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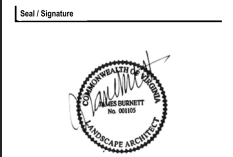
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Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION



Project Name  
 PRGS REDEVELOPMENT - BLOCK C

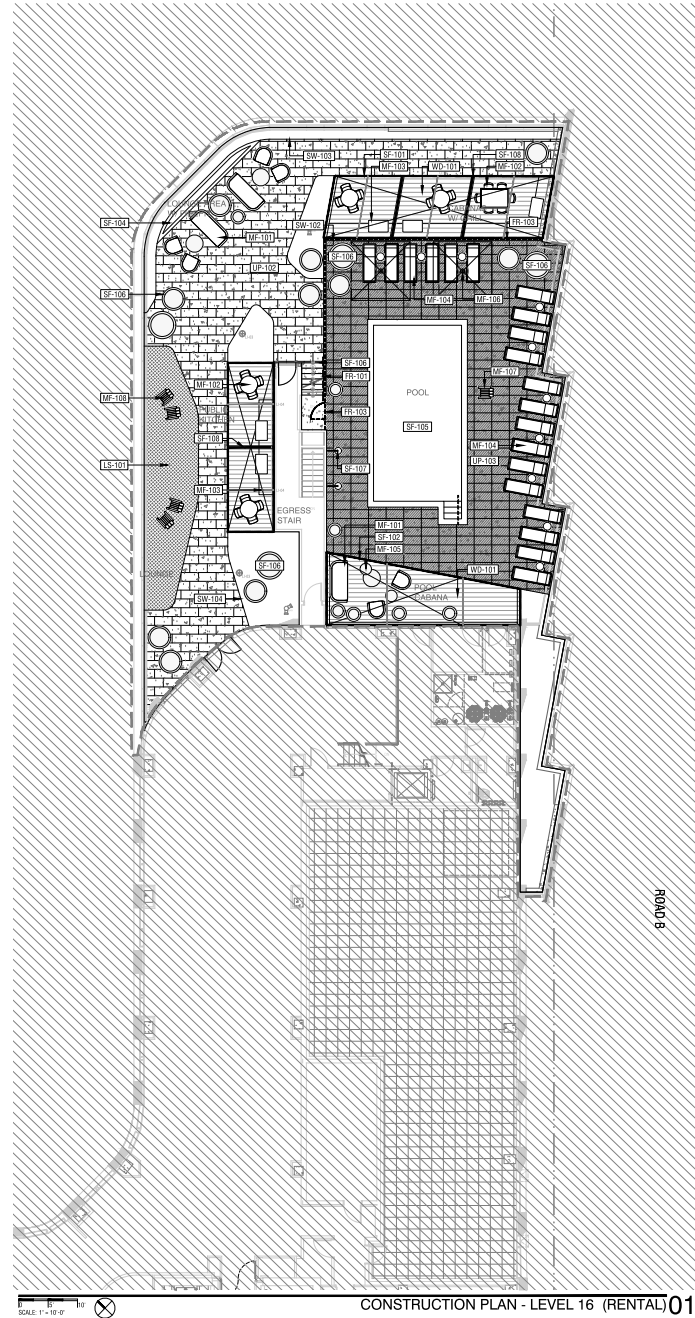
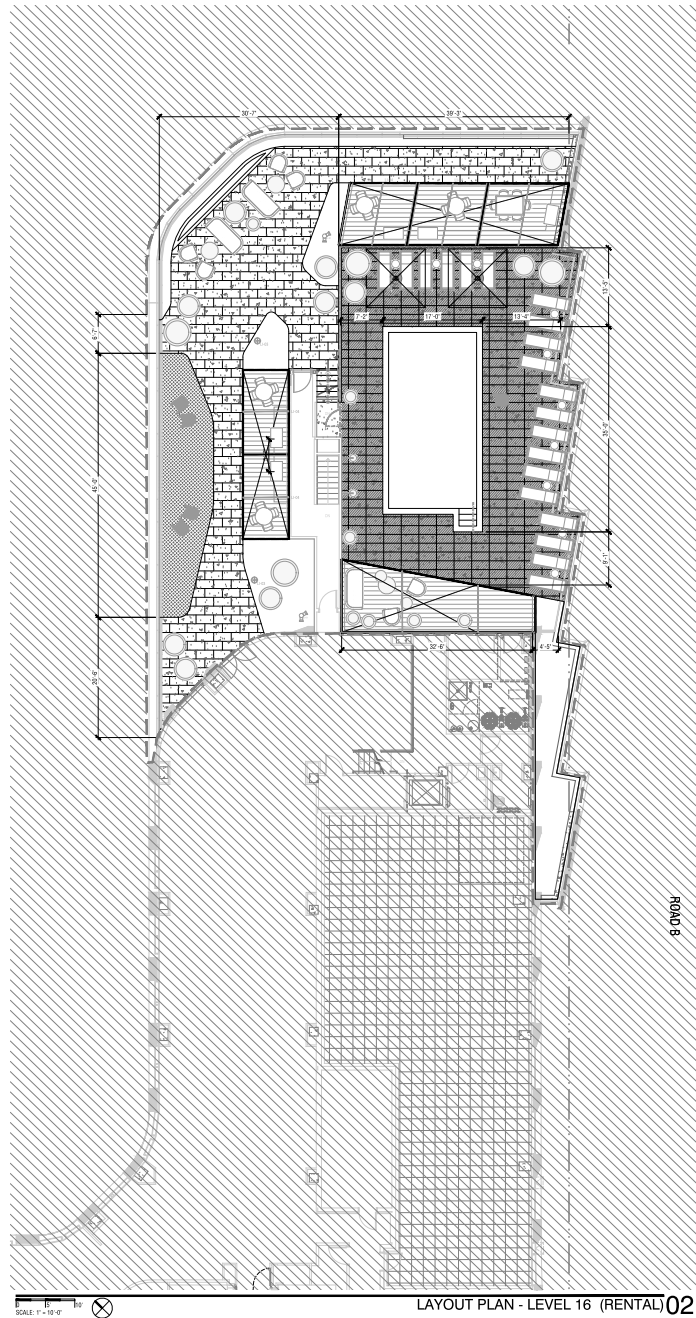
Project Number  
 2994-001

Description  
 CONDO DROP-OFF ENLARGEMENT (STREET)

Scale 1" = 10'-0" (X)

**C-L1.005**

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### QUICK REFERENCE LEGEND

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

- KEY DESCRIPTION**
- CONCRETE PAVING**  
 CP-201 CONCRETE PAVING - C.I.P. CONCRETE PAVING (PODIUM)
- UNIT PAVING**  
 UP-102 UNIT PAVING - PRECAST CONC. UNIT PAVER (RENTAL)  
 UP-103 UNIT PAVING - PRECAST CONC. UNIT PAVER AT POOL (RENTAL)  
 UP-202 UNIT PAVING - PRECAST CONC. UNIT PAVER (CONDO)  
 UP-203 UNIT PAVING - PRECAST CONC. UNIT PAVER AT POOL (CONDO)
- WOOD DECKING**  
 WD-101 WOOD DECKING - WOOD TILE PAVER (RENTAL)
- LANDSCAPE MATERIAL**  
 LS-101 ARTIFICIAL TURF (RENTAL)
- FENCING & RAILING**  
 FR-101 HANDRAILS (RENTAL)  
 FR-103 8FT. GLASS POOL FENCE AND GATE (RENTAL)  
 FR-201 HANDRAILS (CONDO)  
 FR-203 8FT. GLASS POOL FENCE AND GATE (CONDO)  
 FR-301 RAMP HANDRAILS (PODIUM)
- STAIRS AND RAMPS**  
 SR-101 PRECAST CONCRETE STAIR (RENTAL)  
 SR-201 PRECAST CONCRETE STAIR (CONDO)  
 SR-301 RAMP (PODIUM)
- SITE FEATURE**  
 SF-101 BOO CABANA (RENTAL)  
 SF-102 POOL CABANA (RENTAL)  
 SF-104 FIREPIT (RENTAL)  
 SF-105 POOL (RENTAL)  
 SF-106 PLANTER POTS (RENTAL)  
 SF-107 SHOWER (RENTAL)  
 SF-108 SCREEN FENCE (RENTAL)  
 SF-204 FIREPIT (CONDO)  
 SF-205 POOL (CONDO)  
 SF-206 PLANTER POTS (CONDO)  
 SF-207 SHOWER (CONDO)  
 SF-303 UNIT SCREEN FENCE (PODIUM)  
 SF-304 SKY LIGHT REAR PORCH (PODIUM)  
 SF-305 FIRE PIT (PODIUM)
- SITE WALLS**  
 SW-102 PRECAST CONC. RETAINING WALL (RENTAL)  
 SW-103 METAL PLANTER WALL (RENTAL)  
 SW-104 METAL PLANTER EDGE (RENTAL)  
 SW-203 METAL PLANTER WALL (CONDO)  
 SW-204 METAL PLANTER EDGE (CONDO)
- LIGHTING AND ELECTRICAL**  
 LI-101 MULTITHEAD LIGHT POLE  
 LI-102 SPOTLIGHTS  
 LI-103 LIGHT BOLLARD  
 LI-104 INTEGRATED LINEAR LIGHTS  
 EL-101 POWER PEDESTALS
- MOVEABLE FURNITURE**  
 MF-101 LOUNGE FURNITURE  
 MF-102 DINING TABLE AND CHAIRS  
 MF-103 DRILL AND COUNTER TOP CABINET  
 MF-104 SUN LOUNGERS  
 MF-105 COFFEE TABLE  
 MF-106 UMBRELLA  
 MF-107 LIFE GUARD SEAT  
 MF-108 ADIRONDACK CHAIR
- ABBREVIATIONS AND SYMBOLS**
- TREE LOCATIONS  
 PA PLANTING AREA

## PRGS REDEVELOPMENT

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Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name  
 PRGS REDEVELOPMENT - BLOCK C

Project Number  
 2994-001

Description  
 CONSTRUCTION PLAN (RENTAL)

Scale

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

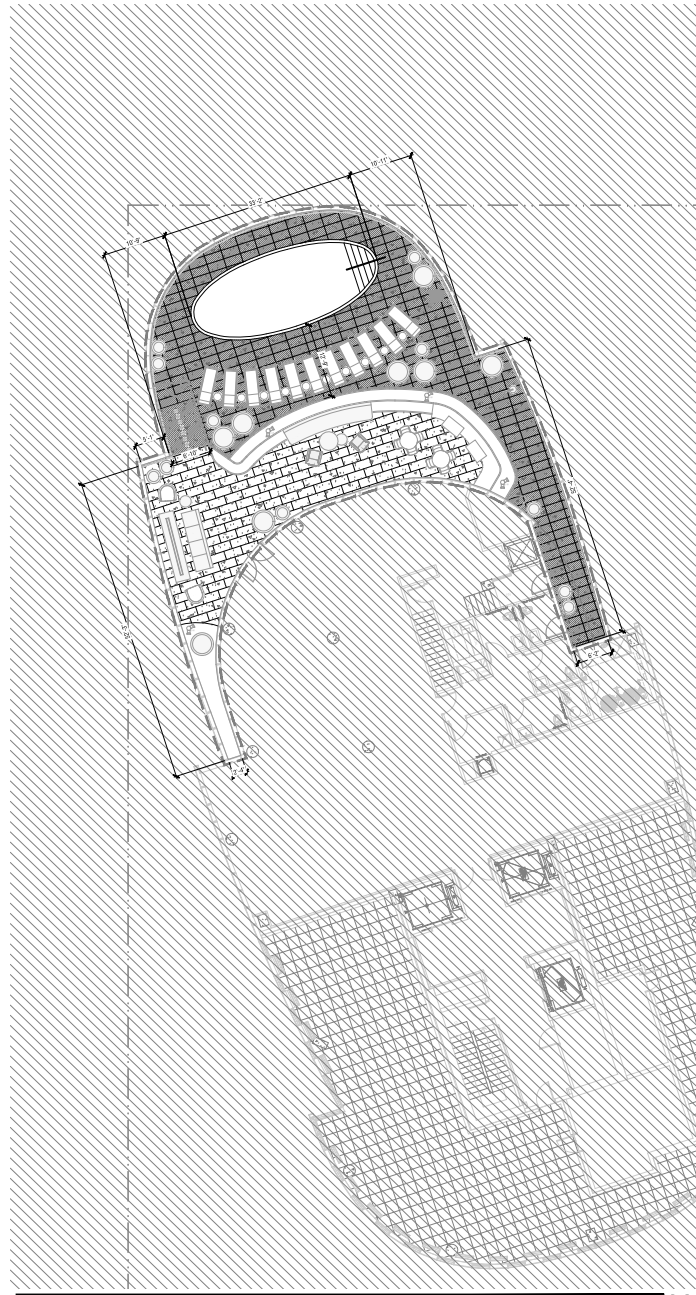
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INSTRUMENT NO. DEED BOOK NO. PAGE NO.

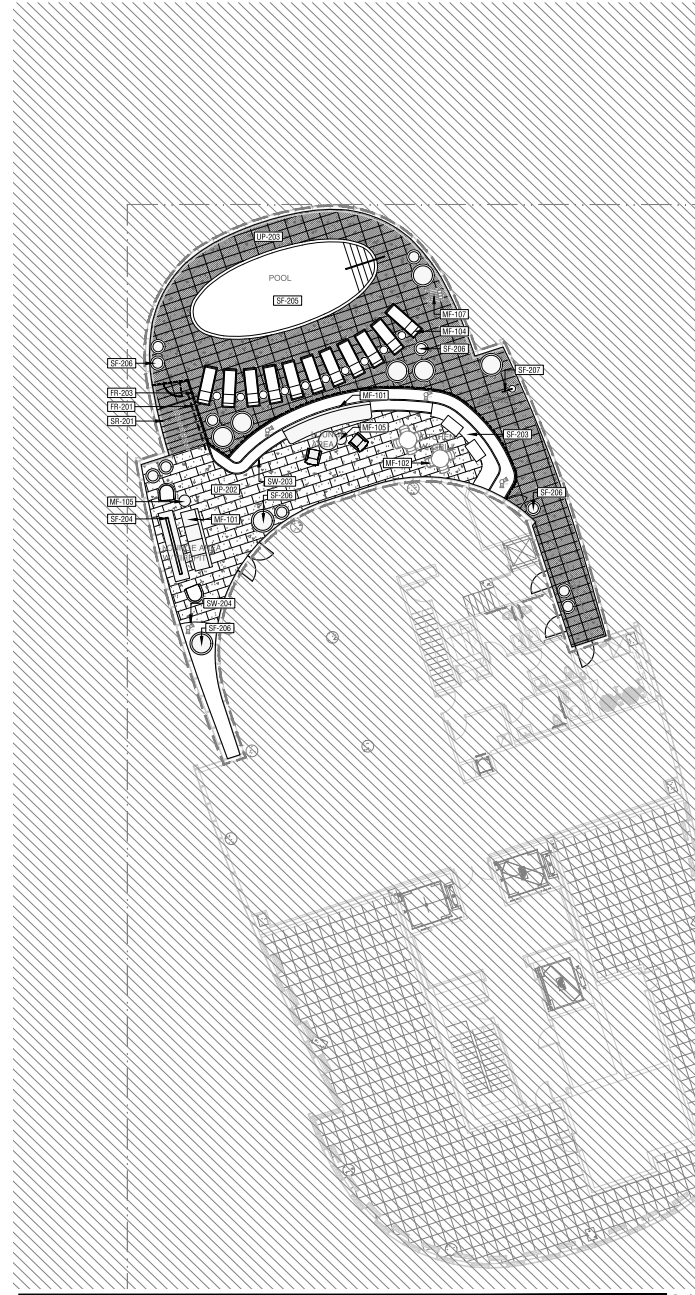
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LAYOUT PLAN - LEVEL 16 (CONDO)02



CONSTRUCTION PLAN - LEVEL 16 (CONDO)01

**QUICK REFERENCE LEGEND**

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

- KEY DESCRIPTION**
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 CP-201 CONCRETE PAVING - C.I.P. CONCRETE PAVING (PODIUM)
- UNIT PAVING**  
 UP-102 UNIT PAVING - PRECAST CONC. UNIT PAVER (RENTAL)  
 UP-103 UNIT PAVING - PRECAST CONC. UNIT PAVER AT POOL (RENTAL)  
 UP-202 UNIT PAVING - PRECAST CONC. UNIT PAVER (CONDO)  
 UP-203 UNIT PAVING - PRECAST CONC. UNIT PAVER AT POOL (CONDO)

- WOOD DECKING**  
 WD-101 WOOD DECKING - WOOD TILE PAVER (RENTAL)

- LANDSCAPE MATERIAL**  
 LS-101 ARTIFICIAL TURF (RENTAL)

- FENCING & RAILING**  
 FR-101 HANDRAILS (RENTAL)  
 FR-103 8FT. GLASS POOL FENCE AND GATE (RENTAL)  
 FR-201 HANDRAILS (CONDO)  
 FR-203 8FT. GLASS POOL FENCE AND GATE (CONDO)  
 FR-301 RAMP HANDRAILS (PODIUM)

- STAIRS AND RAMPS**  
 SR-101 PRECAST CONCRETE STAIR (RENTAL)  
 SR-201 PRECAST CONCRETE STAIR (CONDO)  
 SR-301 RAMP (PODIUM)

- SITE FEATURE**  
 SF-101 BBQ CABANA (RENTAL)  
 SF-102 POOL CABANA (RENTAL)  
 SF-104 FIREPIT (RENTAL)  
 SF-105 POOL (RENTAL)  
 SF-106 PLANTER POTS (RENTAL)  
 SF-107 SHOWER (RENTAL)  
 SF-108 SCREEN FENCE (RENTAL)  
 SF-204 FIREPIT (CONDO)  
 SF-205 POOL (CONDO)  
 SF-206 PLANTER POTS (CONDO)  
 SF-207 SHOWER (CONDO)  
 SF-303 UNIT SCREEN FENCE (PODIUM)  
 SF-304 SKY LIGHT REAR PORCH (PODIUM)  
 SF-305 FIRE PIT (PODIUM)

- SITE WALLS**  
 SW-102 PRECAST CONC. RETAINING WALL (RENTAL)  
 SW-103 METAL PLANTER WALL (RENTAL)  
 SW-104 METAL PLANTER EDGE (RENTAL)  
 SW-203 METAL PLANTER WALL (CONDO)  
 SW-204 METAL PLANTER EDGE (CONDO)

- LIGHTING AND ELECTRICAL**  
 LI-101 MULTITHEAD LIGHT POLE  
 LI-102 SPOTLIGHTS  
 LI-103 LIGHT BOLLARD  
 LI-104 INTEGRATED LINEAR LIGHTS  
 EL-101 POWER PEDESTALS

- MOVEABLE FURNITURE**  
 MF-101 LOUNGE FURNITURE  
 MF-102 DINING TABLE AND CHAIRS  
 MF-103 DRILL AND COUNTER TOP CABINET  
 MF-104 SUN LOUNGERS  
 MF-105 COFFEE TABLE  
 MF-106 UMBRELLA  
 MF-107 LIFE GUARD SEAT  
 MF-108 ADIRONDACK CHAIR

**ABBREVIATIONS AND SYMBOLS**

- ⊙ TREE LOCATIONS  
 PA PLANTING AREA

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

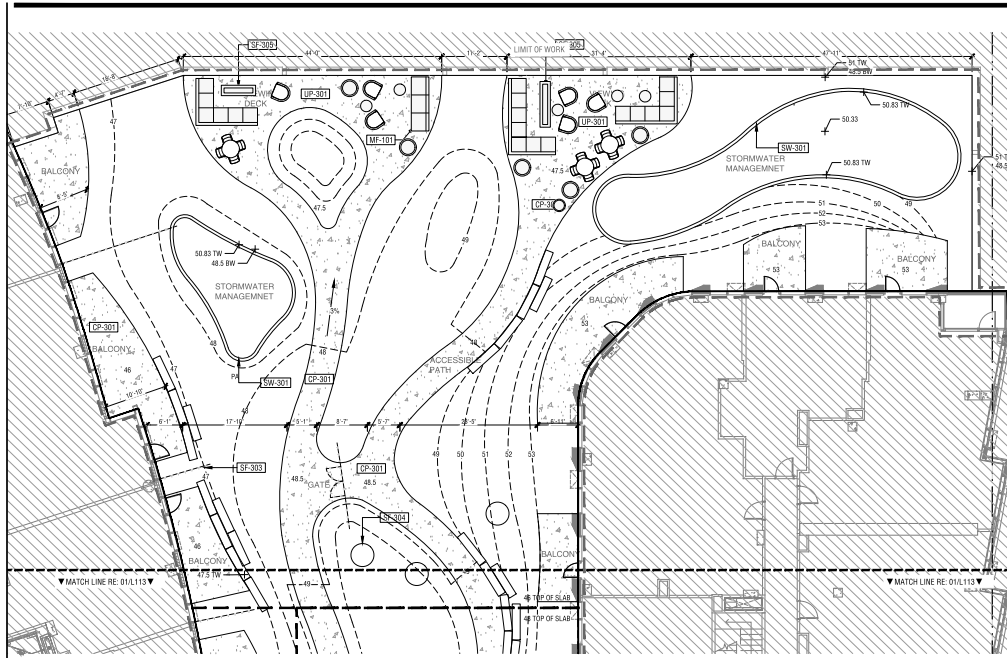
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CONSTRUCTION PLAN (CONDO)

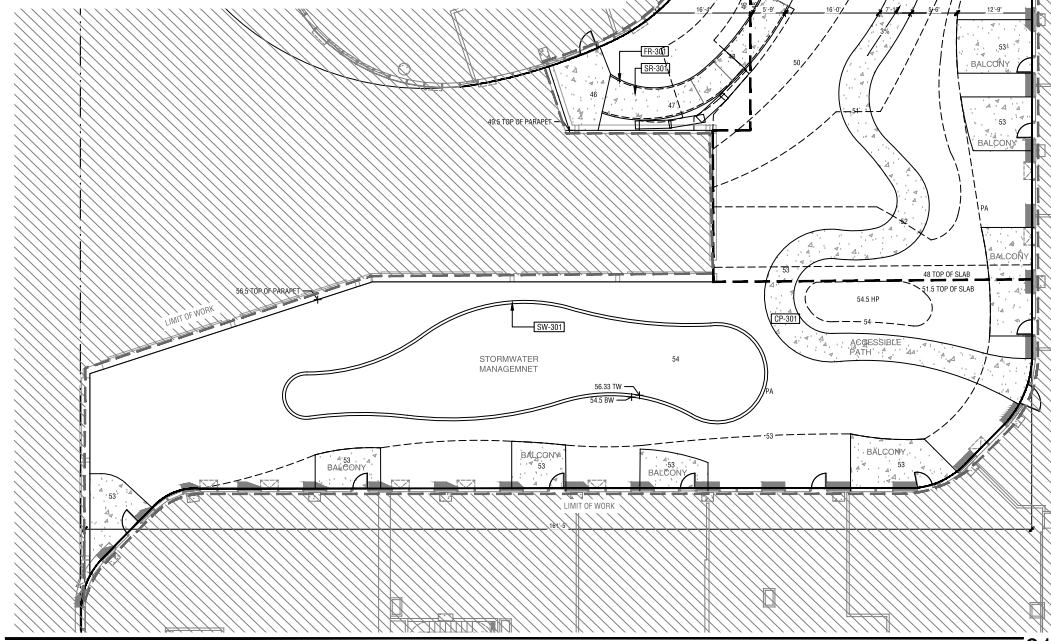
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CONSTRUCTION PLAN - LEVEL 02 (NORTH) 02



CONSTRUCTION PLAN - LEVEL 02 (SOUTH) 01

**QUICK REFERENCE LEGEND**

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

- KEY DESCRIPTION**
- CONCRETE PAVING**  
 CP-301 CONCRETE PAVING - C.I.P. CONCRETE PAVING (PODIUM)
- UNIT PAVING**  
 UP-102 UNIT PAVING - PRECAST CONC. UNIT PAVER (RENTAL)  
 UP-103 UNIT PAVING - PRECAST CONC. UNIT PAVER AT POOL (RENTAL)  
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 MF-107 LIFE GUARD SEAT  
 MF-108 ADIRONDACK CHAIR
- ABBREVIATIONS AND SYMBOLS**
- TREE LOCATIONS  
 PA PLANTING AREA

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Project Number  
 2994-001

Description  
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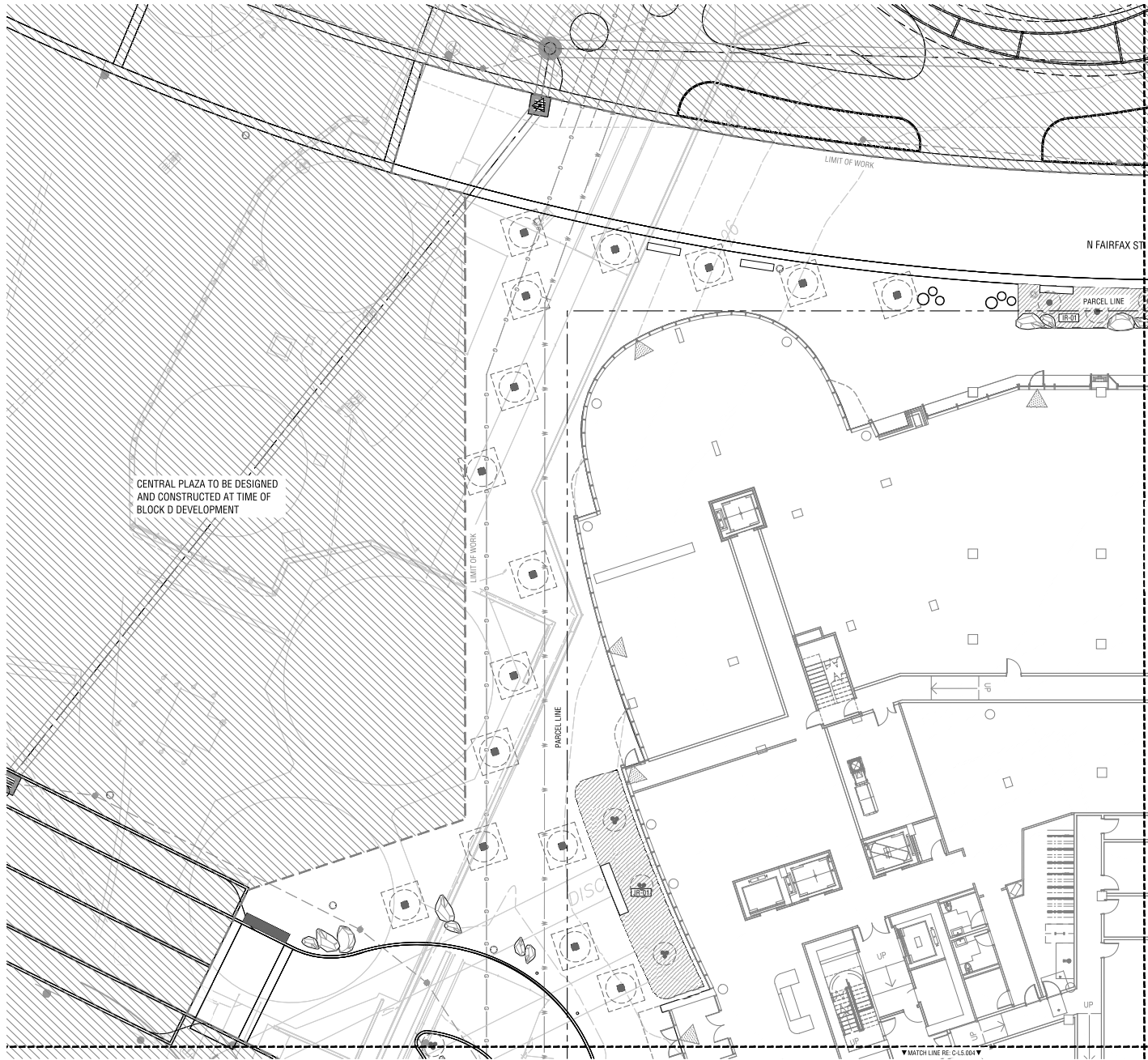
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### IRRIGATION LEGEND

#### IRRIGATION TYPE

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

#### IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

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07/11/25	VERIFICATION SUBMISSION

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

IRRIGATION PLANS (STREET)

Scale 1" = 10'-0"

C-L4.001

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DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

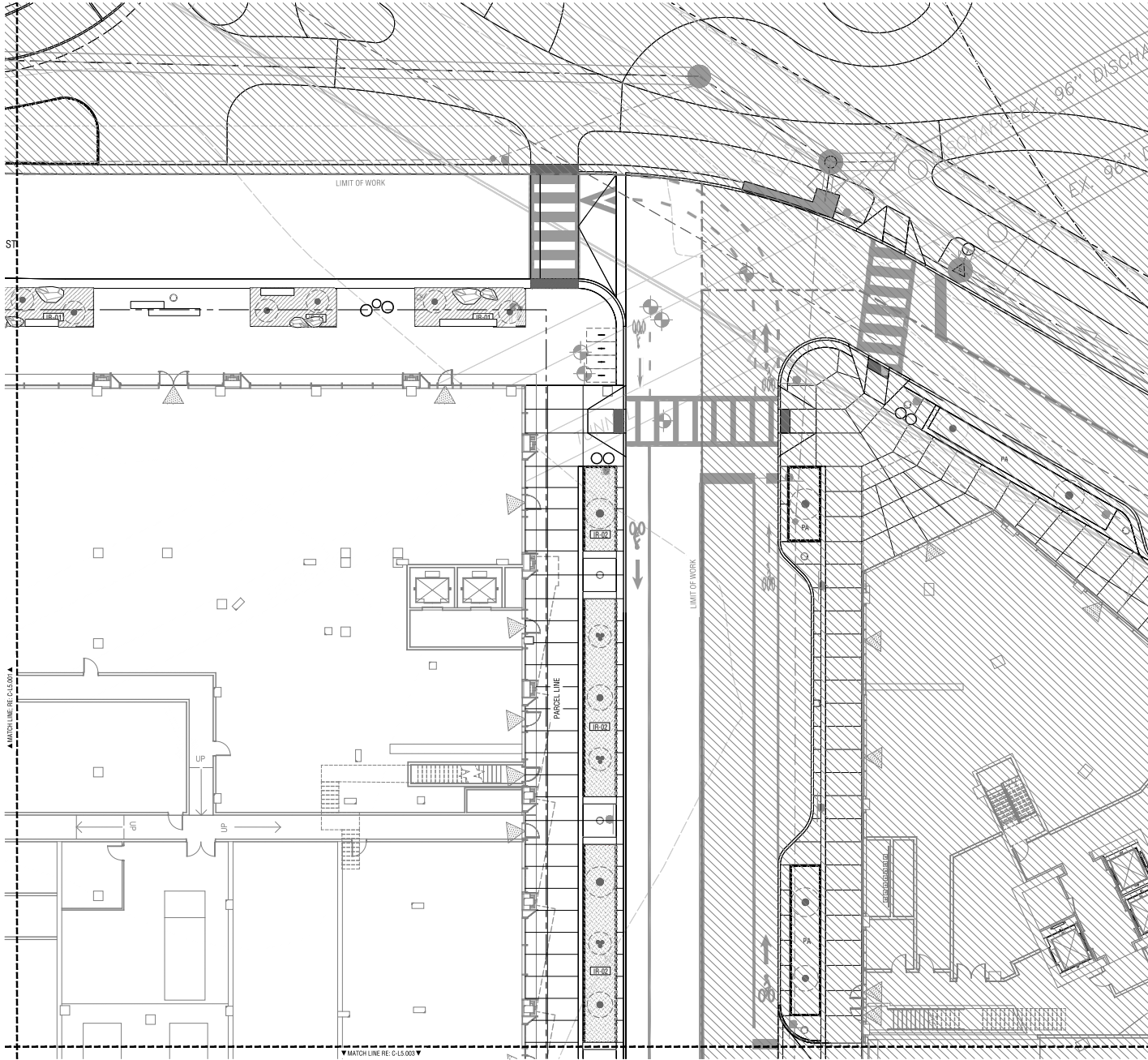
DIRECTOR DATE  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE  
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### IRRIGATION LEGEND

#### IRRIGATION TYPE

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

#### IRRIGATION NOTES

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1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

IRRIGATION PLANS (STREET)

Scale 1" = 10'-0"

C-L4.002

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SITE PLAN No. \_\_\_\_\_

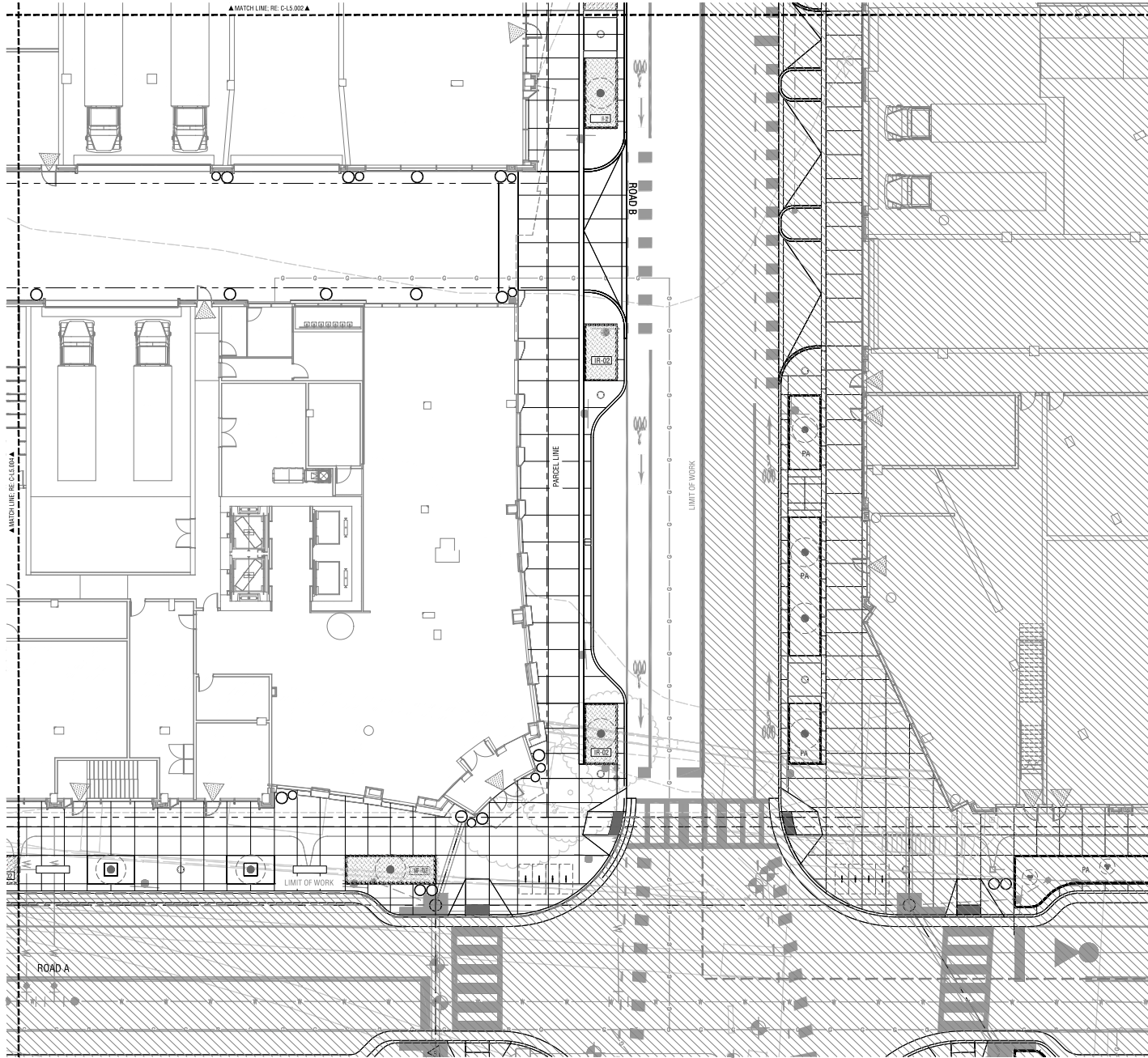
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### IRRIGATION LEGEND

#### IRRIGATION TYPE

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

#### IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
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4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

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IRRIGATION PLANS (STREET)

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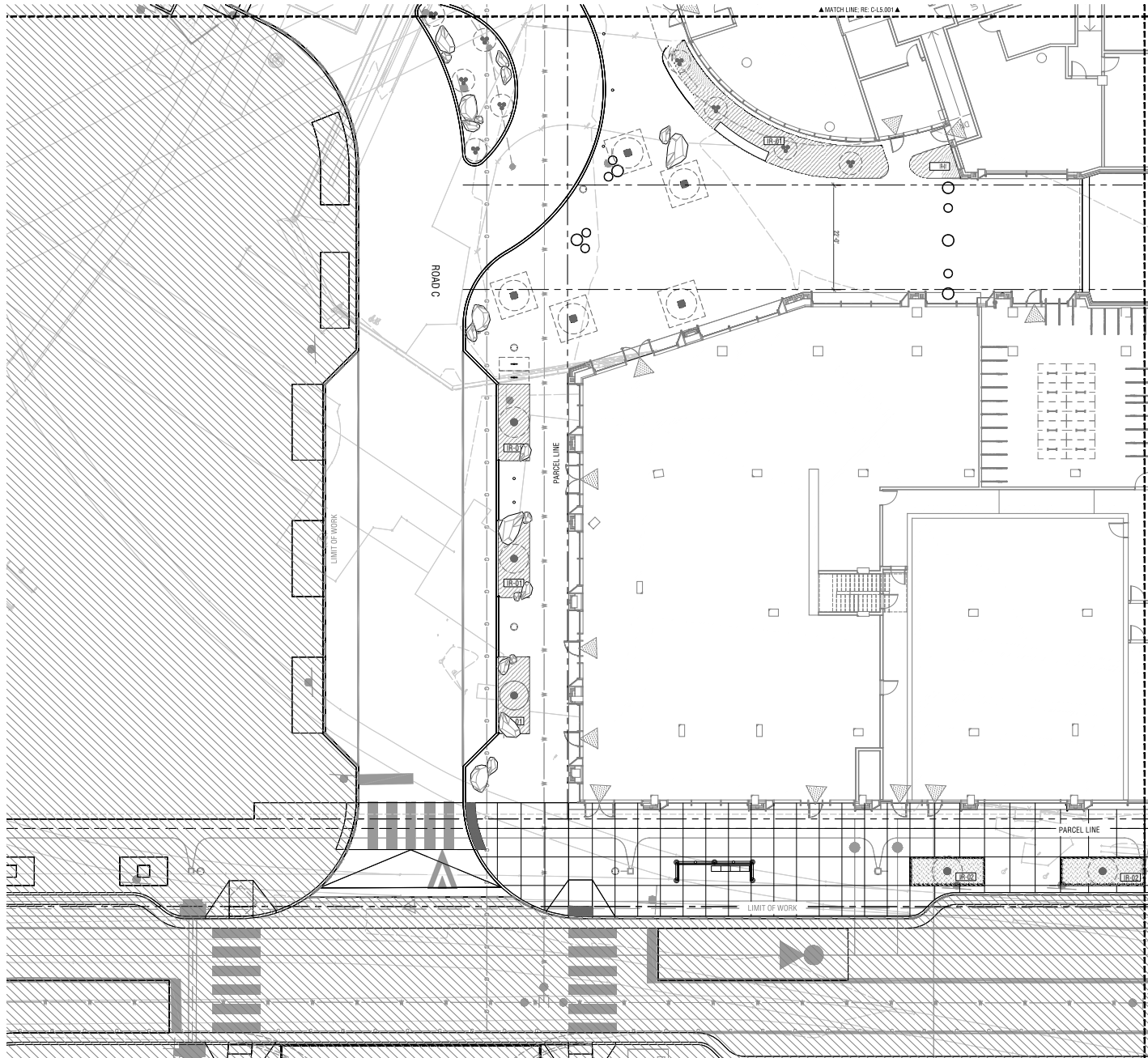
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### IRRIGATION LEGEND

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

### IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
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07/11/25	VERIFICATION SUBMISSION

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IRRIGATION PLANS (STREET)

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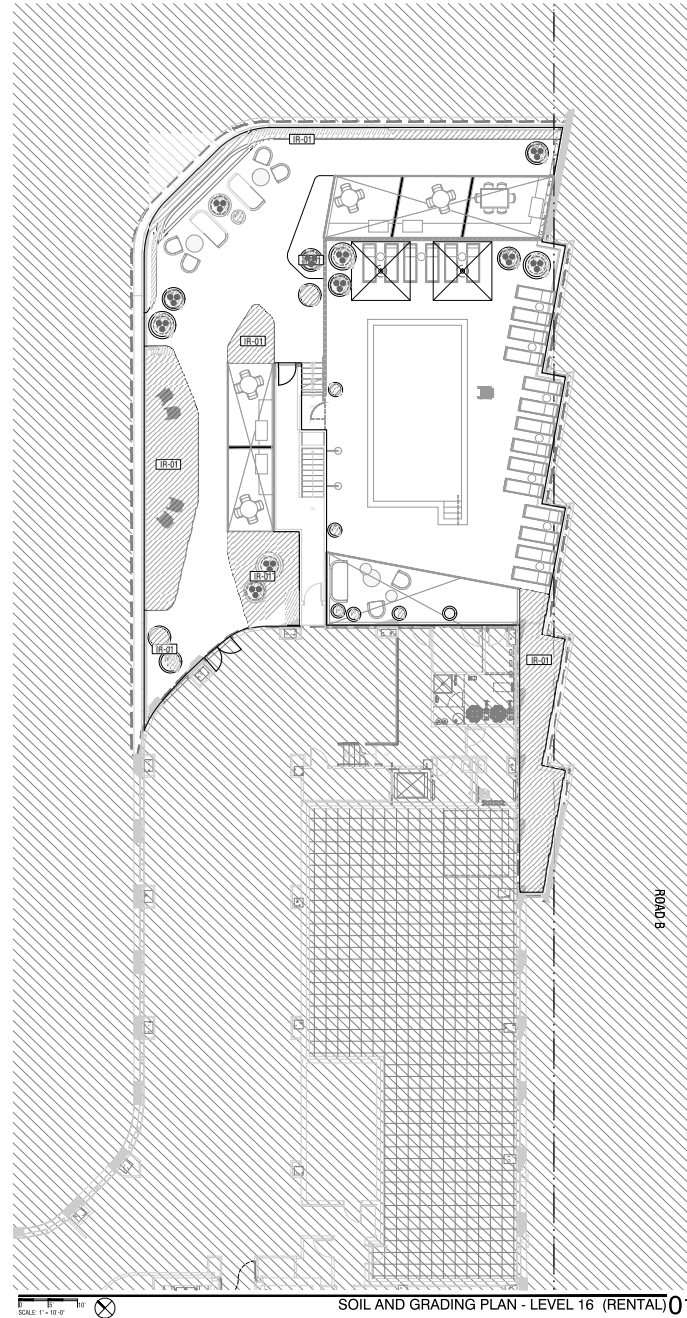
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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SITE PLAN No. \_\_\_\_\_

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SCALE: 1" = 10'-0"

SOIL AND GRADING PLAN - LEVEL 16 (RENTAL) 01

**IRRIGATION LEGEND**

**IRRIGATION TYPE**

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
(Symbol)	ADDITIONAL BUBBLERS AT TREE LOCATIONS

**IRRIGATION NOTES**

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
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Project Name

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Project Number

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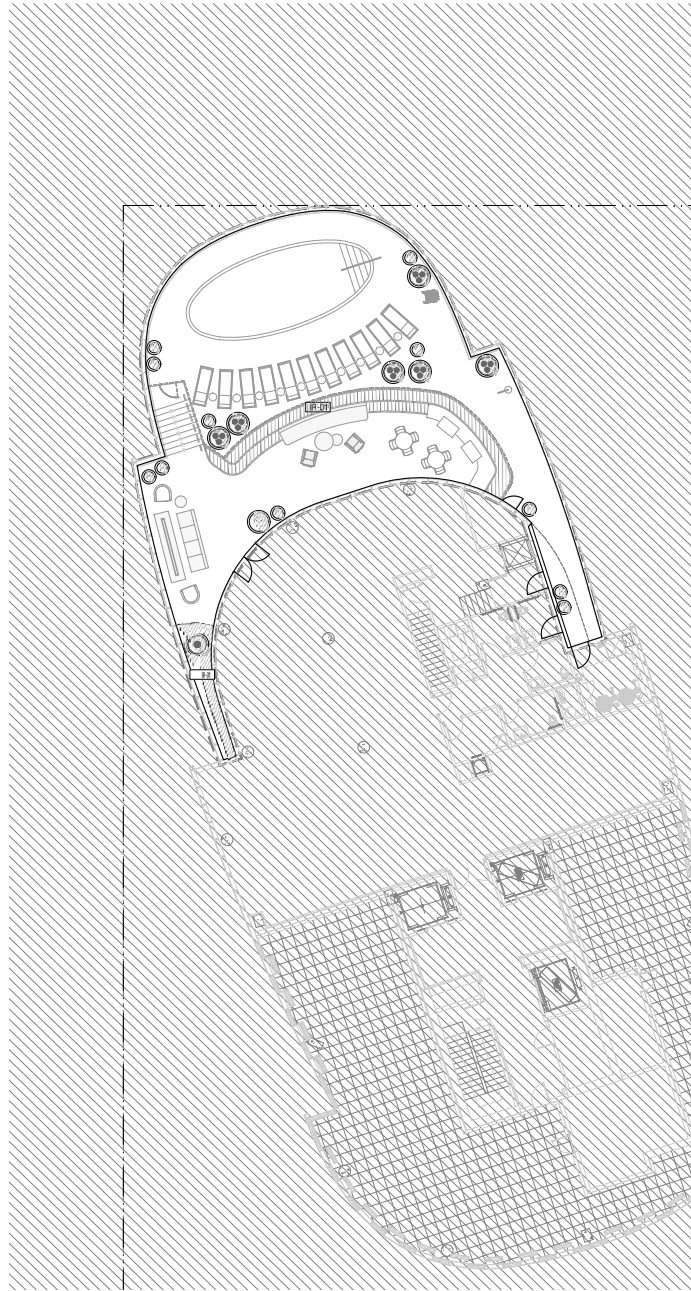
IRRIGATION PLANS (RENTAL)

Scale

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SOIL AND GRADING PLAN - LEVEL 16 (CONDO) 01

**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

**IRRIGATION NOTES**

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Project Name

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Description

IRRIGATION PLANS (CONDO)

Scale

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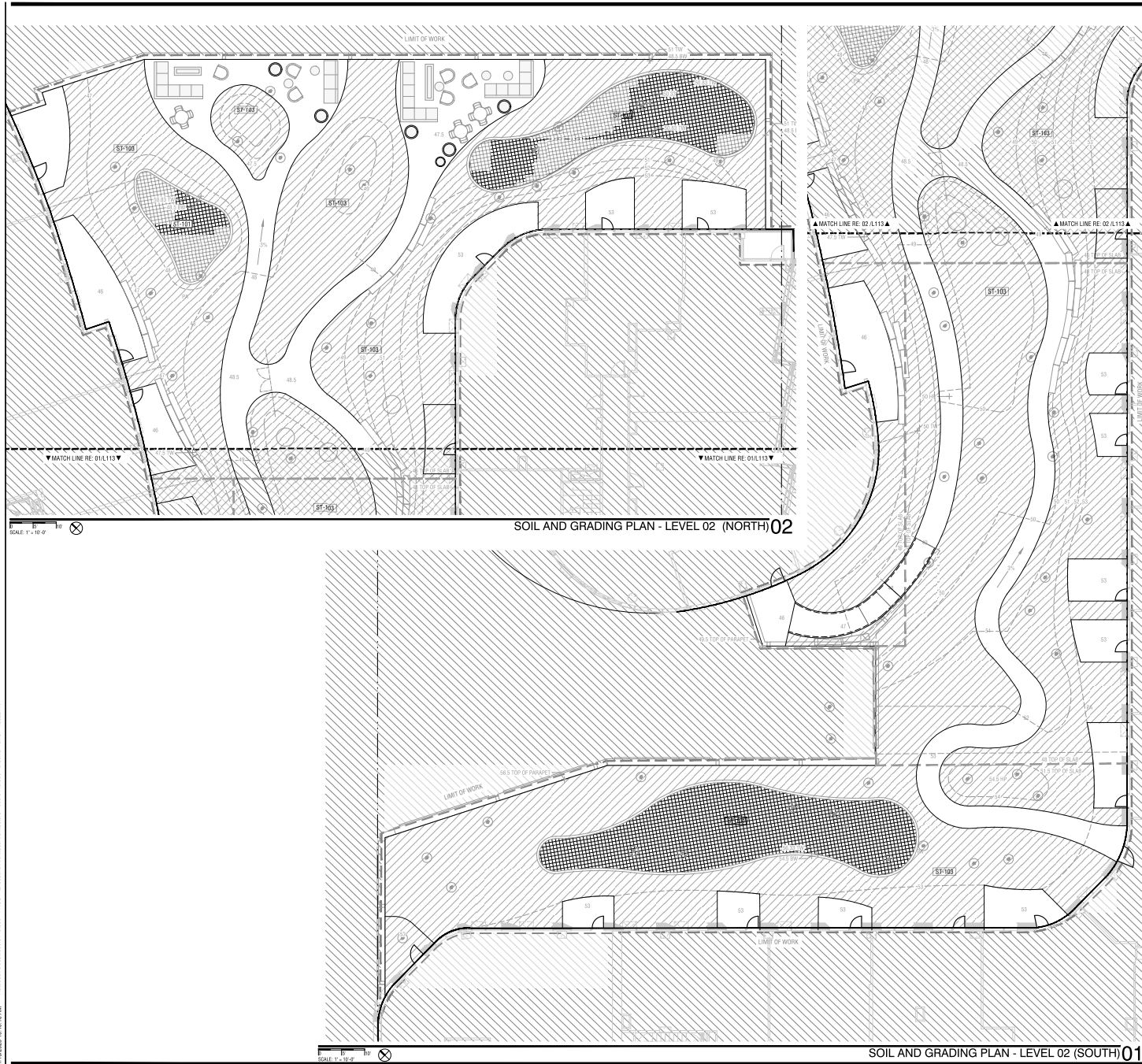
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### SOIL LEGEND

SOIL TYPE SYMBOL	DESCRIPTION
ST-101	SOIL TYPE 1, BIO-RETENTION
ST-102	ST-02 SOIL TYPE 2, ROOF PLANTING SOIL IMPORTED LIGHTWEIGHT ORNAMENTAL PLANTING SOIL.
ST-103	ST-02 SOIL TYPE 3, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

## PRGS REDEVELOPMENT

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Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

IRRIGATION PLANS (PODIUM)

Scale

C-L4.131

APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR DATE

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DATE RECORDED \_\_\_\_\_

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### SOIL LEGEND

SOIL TYPE	DESCRIPTION
ST-01	SOIL TYPE 1 - PLANTING SOIL
ST-02	SOIL TYPE 2 - BIORETENTION SOIL
ST-03	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

## PRGS REDEVELOPMENT

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Date	Description
05/16/25	COMPLETENESS SUBMISSION
07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"

C-L5.001

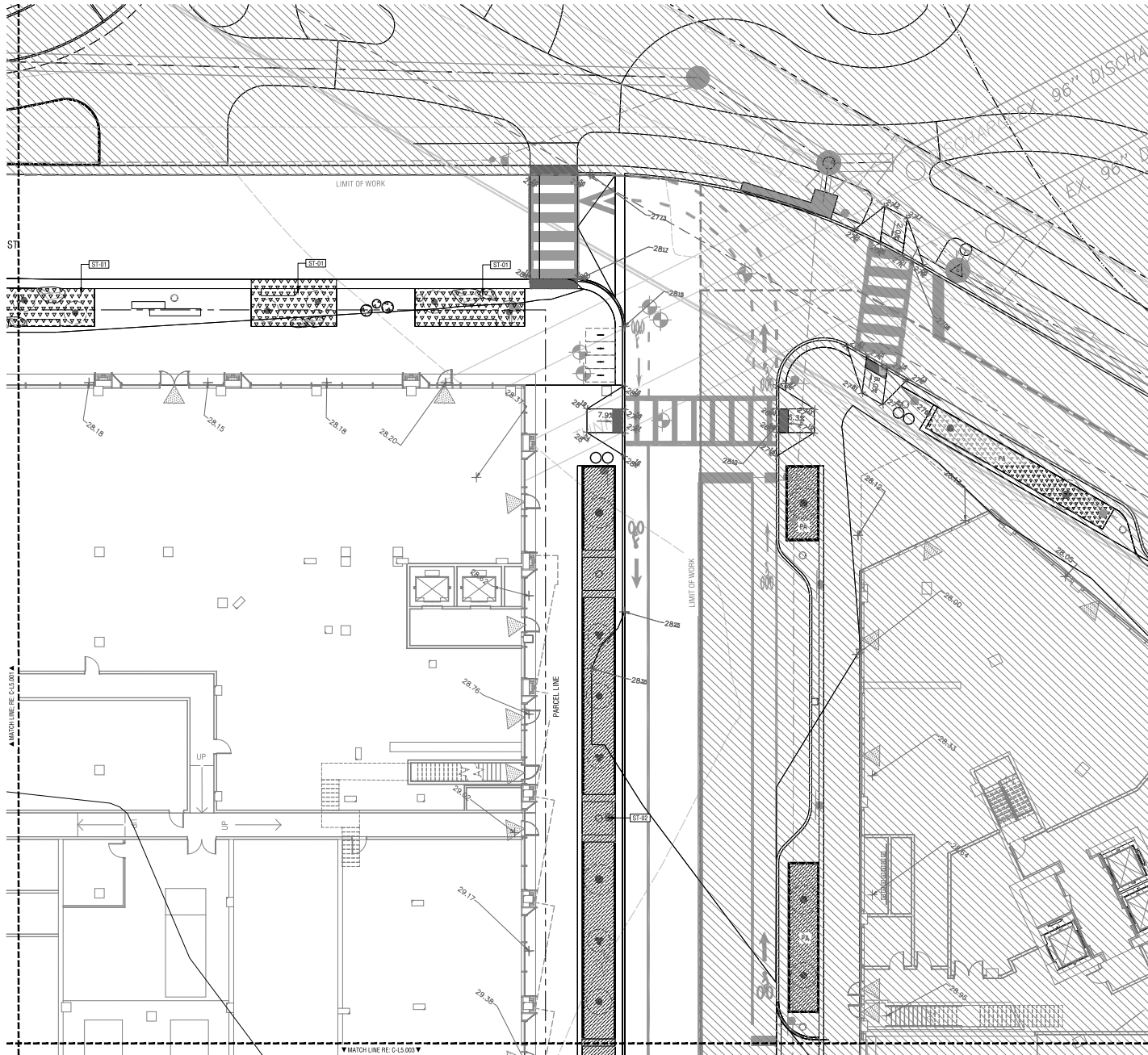
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DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

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DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
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**SOIL LEGEND**

SOIL TYPE	SYMBOL	DESCRIPTION
ST-01	[Symbol]	SOIL TYPE 1 - PLANTING SOIL
ST-02	[Symbol]	SOIL TYPE 2 - BIORETENTION SOIL
ST-03	[Symbol]	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

**PRGS REDEVELOPMENT**

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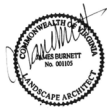
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▲ Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name  
 PRGS REDEVELOPMENT - BLOCK C

Project Number  
 2994-001

Description  
 SOIL AND GRADING PLAN (STREET)  
 Scale 1" = 10'-0" (X)

**C-L5.002**

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 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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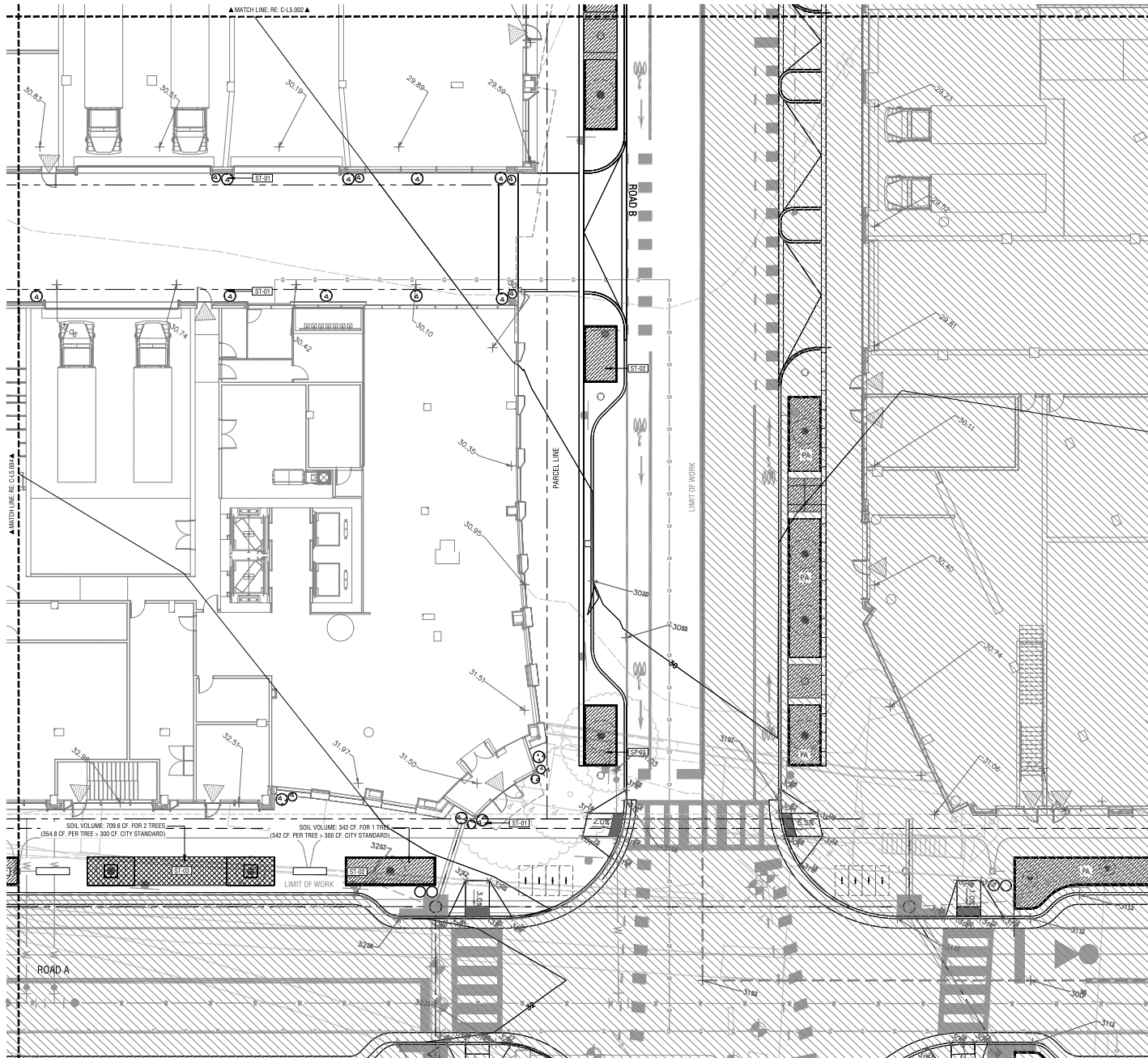
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 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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### SOIL LEGEND

SOIL TYPE	DESCRIPTION
ST-01	SOIL TYPE 1 - PLANTING SOIL
ST-02	SOIL TYPE 2 - BIORETENTION SOIL
ST-03	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

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Date	Description
05/16/25	COMPLETENESS SUBMISSION
07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"  $\otimes$

C-L5.003

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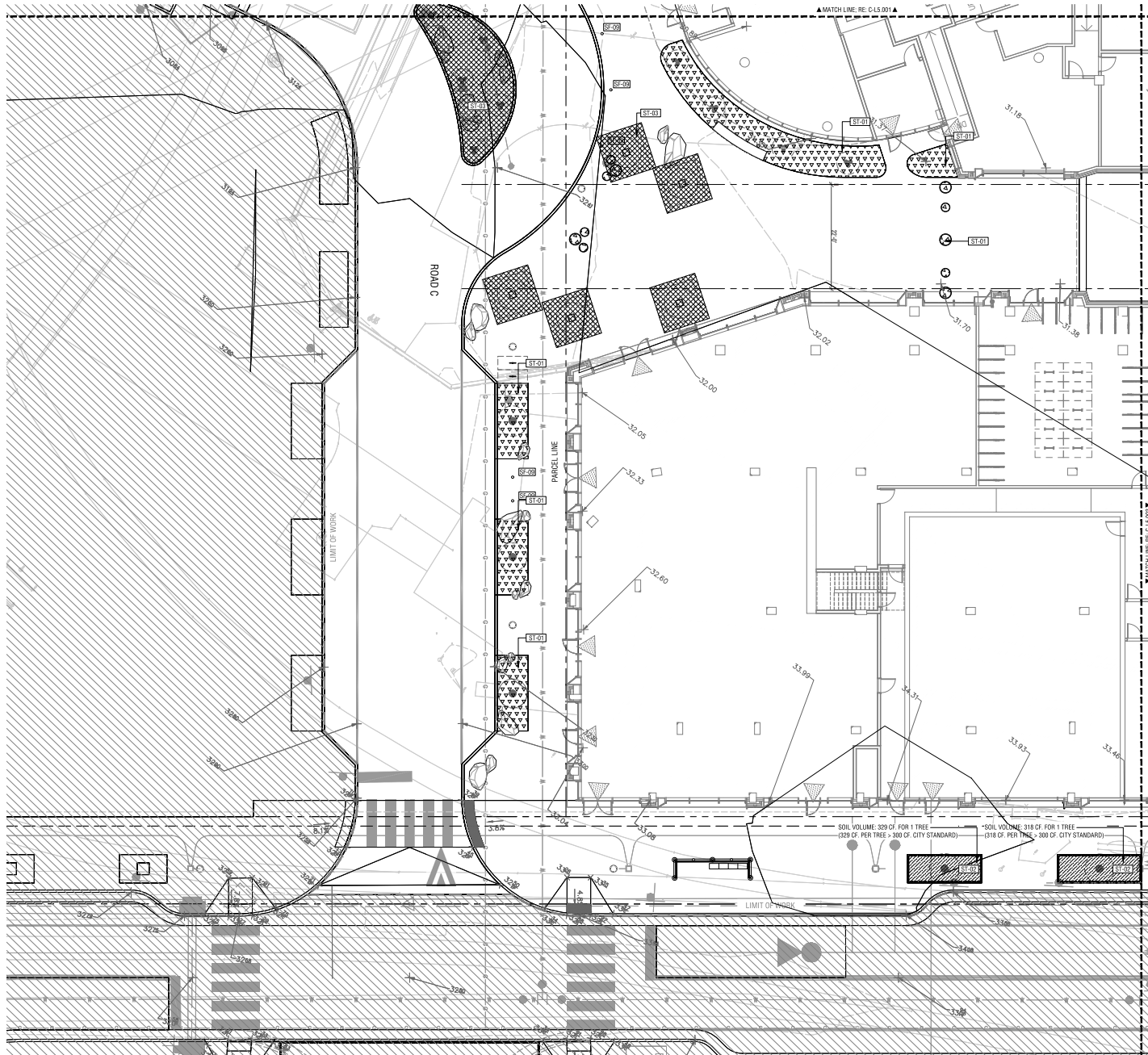
DIRECTOR DATE  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
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DIRECTOR DATE

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DATE RECORDED \_\_\_\_\_  
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### SOIL LEGEND

SOIL TYPE	DESCRIPTION
ST-01	SOIL TYPE 1 - PLANTING SOIL
ST-02	SOIL TYPE 2 - BIODETENTION SOIL
ST-03	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

## PRGS REDEVELOPMENT

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Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"  $\otimes$

APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
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SITE PLAN No. \_\_\_\_\_

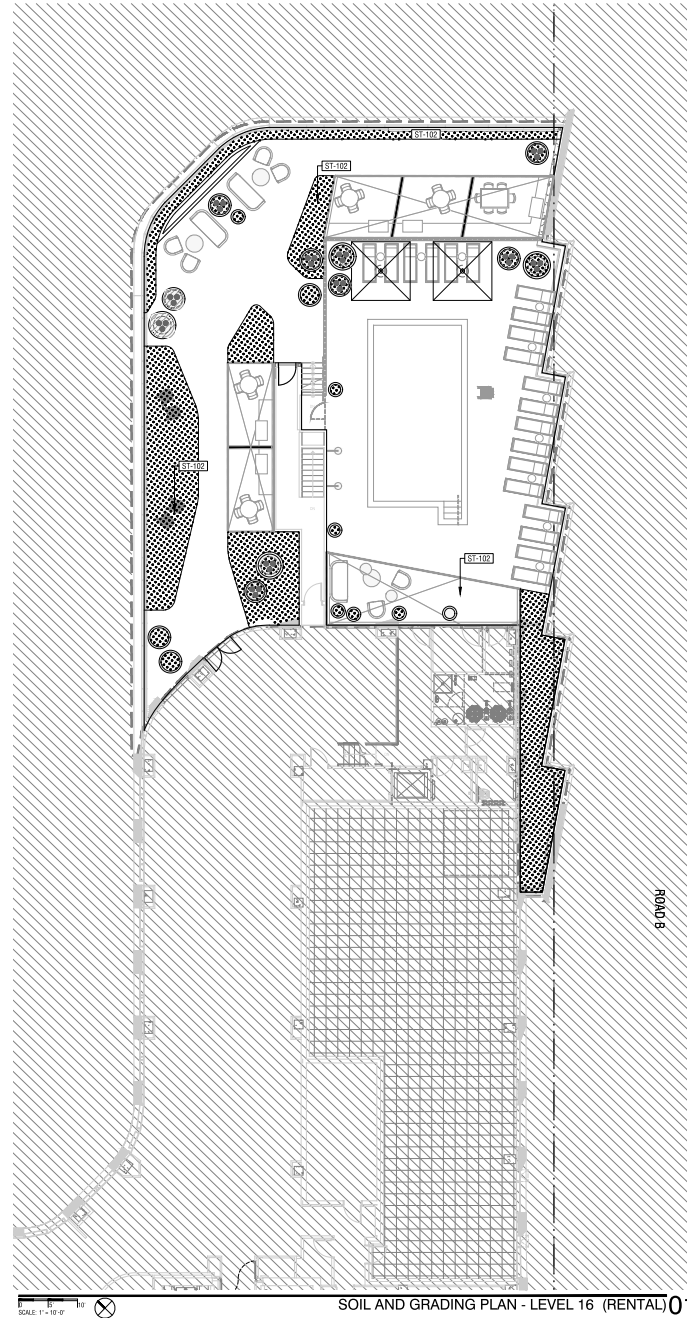
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**SOIL LEGEND**

SOIL TYPE SYMBOL	DESCRIPTION
ST-101 [diagonal hatching]	SOIL TYPE 1, BIO-RETENTION
ST-102 [cross-hatching]	ST-02 SOIL TYPE 2, ROOF PLANTING SOIL IMPORTED LIGHTWEIGHT ORNAMENTAL PLANTING SOIL.
ST-103 [horizontal hatching]	ST-02 SOIL TYPE 3, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

**PRGS REDEVELOPMENT**

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1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name  
PRGS REDEVELOPMENT - BLOCK C

Project Number  
2994-001

Description  
SOIL AND GRADING PLAN (RENTAL)  
Scale

**C-L5.111-R**

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DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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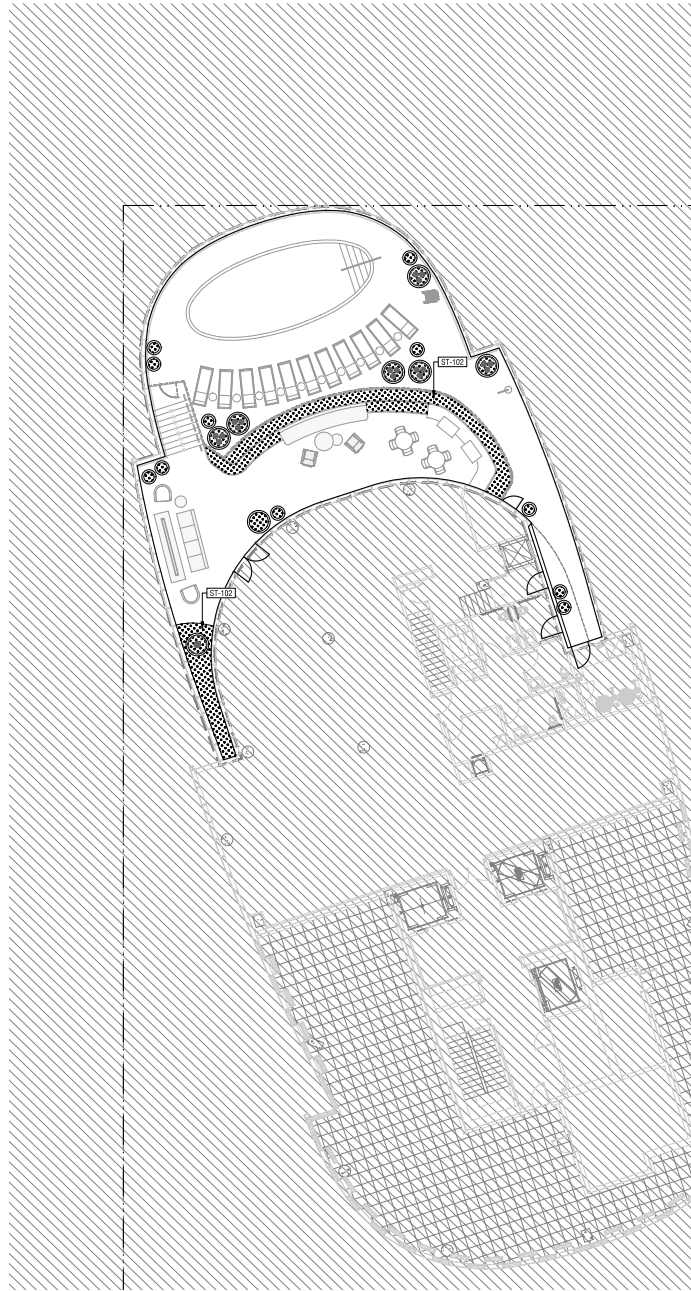
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SOIL AND GRADING PLAN - LEVEL 16 (RENTAL) 01

11/02/2025 10:46:16 AM Autodesk Docs/0081445-000 - PRGS - Executive Architecture/Architectural - 0081445-000 - Block 8 Tower - 02022.rvt



SCALE: 1" = 10'-0"

SOIL AND GRADING PLAN - LEVEL 16 (CONDO) 01

**SOIL LEGEND**

**SOIL TYPE**

SYMBOL	DESCRIPTION
ST-101 [diagonal hatching]	SOIL TYPE 1, BIO-RETENTION
ST-102 [cross-hatching]	ST-02 SOIL TYPE 2, ROOF PLANTING SOIL IMPORTED LIGHTWEIGHT ORNAMENTAL PLANTING SOIL.
ST-103 [diagonal hatching]	ST-02 SOIL TYPE 3, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSJP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

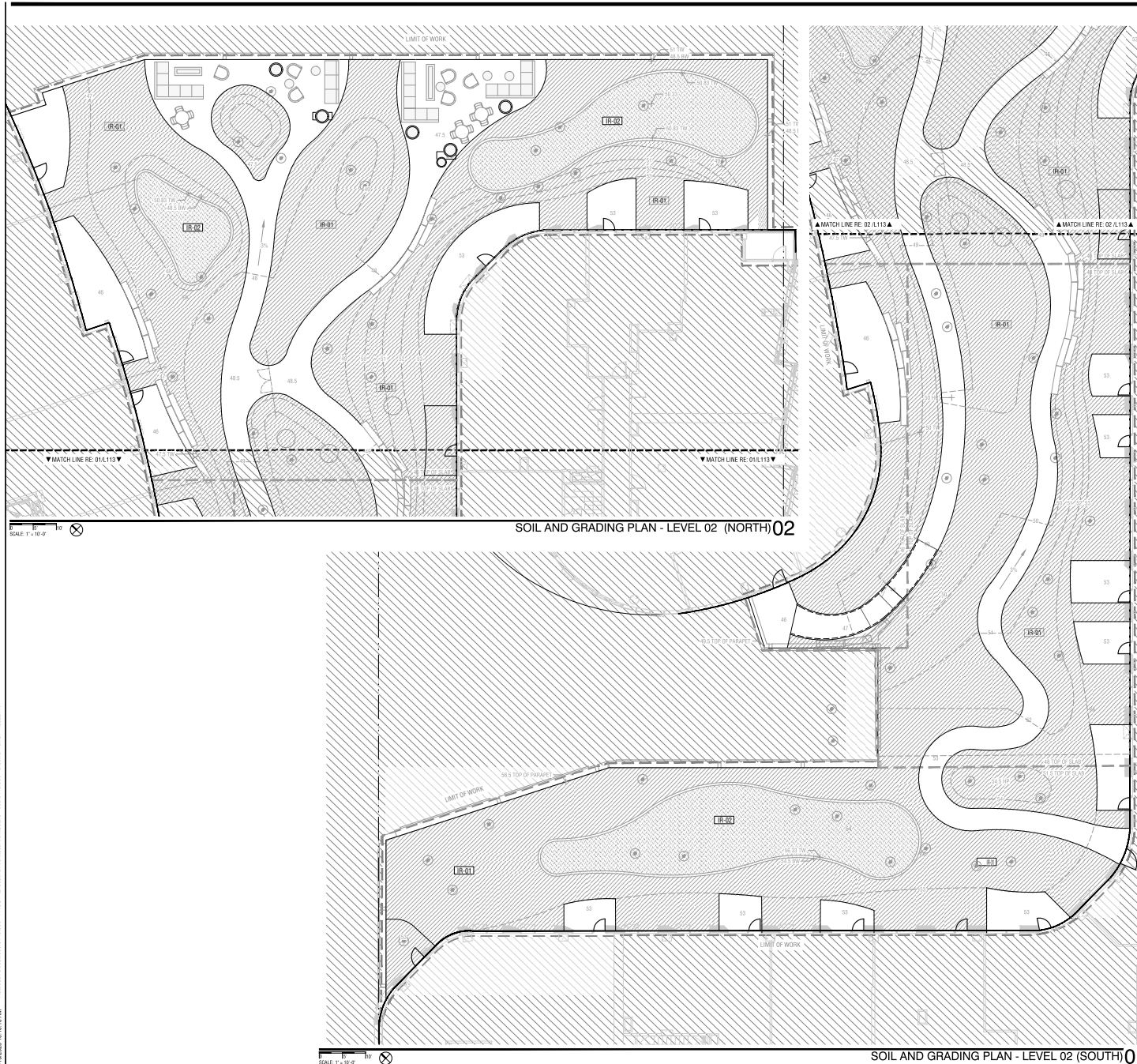
Description

SOIL AND GRADING PLAN (CONDO)

Scale

**C-L5.121-C**

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**IRRIGATION LEGEND**

**IRRIGATION TYPE**

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
(Symbol: circle with dot)	ADDITIONAL BUBBLERS AT TREE LOCATIONS

**IRRIGATION NOTES**

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

**PRGS REDEVELOPMENT**

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

SOIL AND GRADING PLAN (PODIUM)

Scale

**C-L5.131**

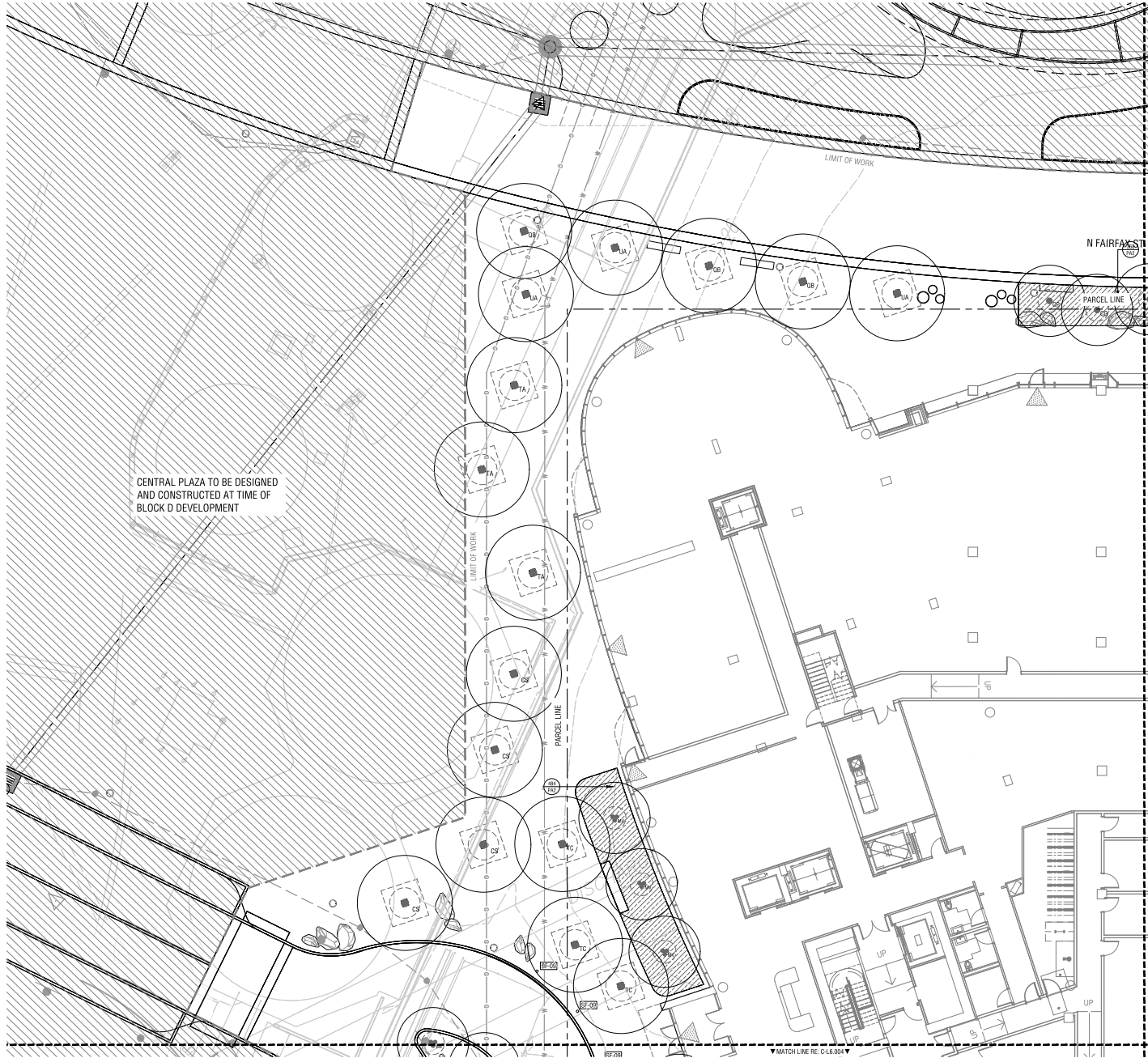
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CHAIRMAN, PLANNING COMMISSION	DATE	
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**PLANT REFERENCE LEGEND**

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GG	CRATAEGUS VIRIDIS / GREEN HAWTHORN
GP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
GD	CELTIS OCCIDENTALIS / COMMON HACKBERRY
LS	LIQUIDAMBAR STYRACIFLUA / ROTUNDILOBA / SWEET GUM
MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
NS	NYSSA SYLVATICA / TUPELO
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
QL	QUERCUS LYRATA / OVERCUP OAK
QV	QUERCUS VELUTINA / BLACK OAK
TA	TILIA AMERICANA / AMERICAN LINDEN
TC	TILIA CORDATA / LITTLELEAF LINDEN
TD	TAXODIUM DISTICHUM / BALD CYPRESS
UA	ULMUS AMERICANA 'VALLEY FORGE' / AMERICAN ELM

GROUND COVERS	BOTANICAL / COMMON NAME
PAT	BIORETENTION PLANTING
PAB	ORNAMENTAL PLANTING

**PRGS REDEVELOPMENT**

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Date	Description
05/16/25	COMPLETENESS SUBMISSION
07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

PLANTING PLAN (STREET)

Scale 1" = 10'-0"

**C-L6.001**

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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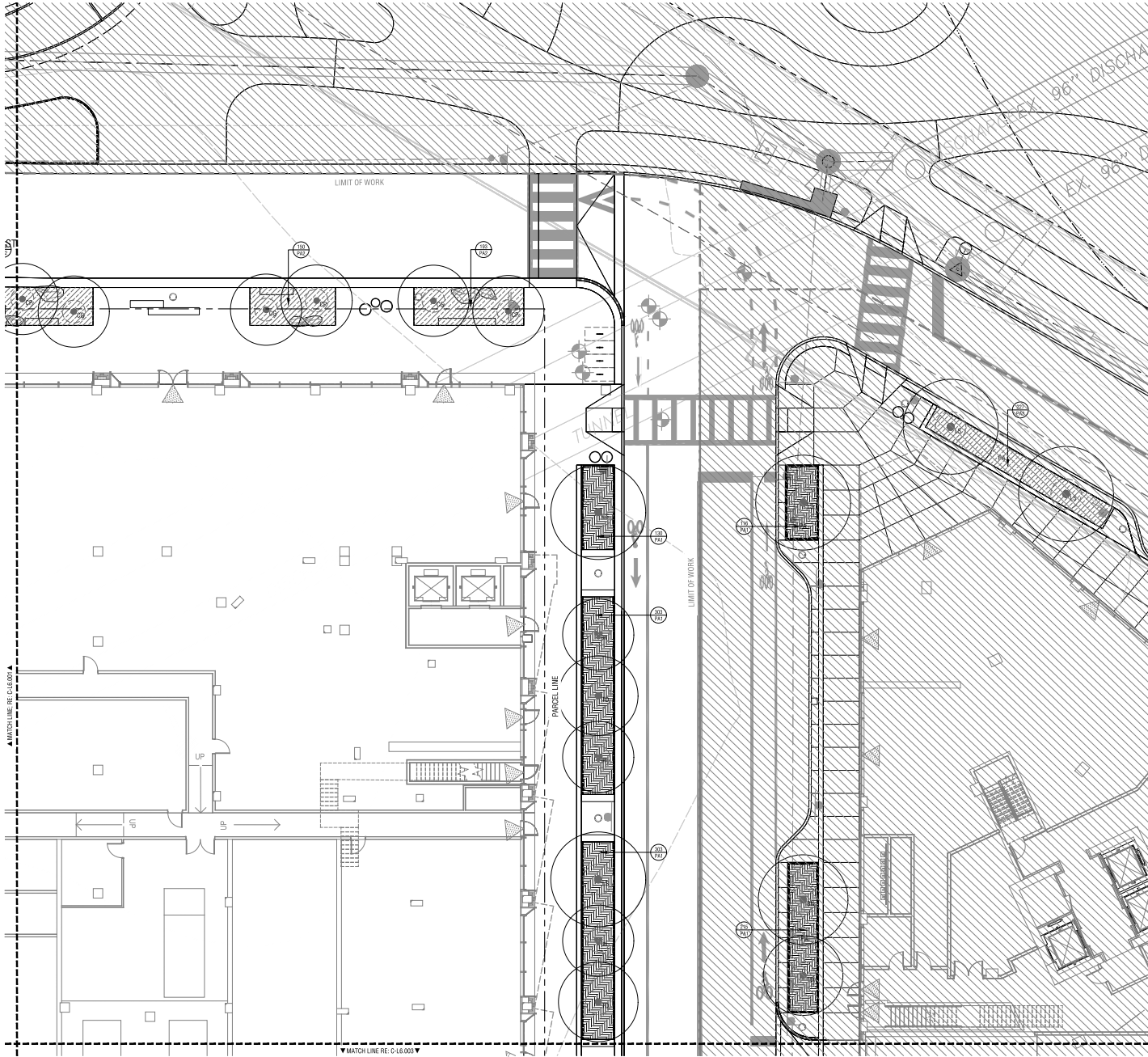
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 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
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**PLANT REFERENCE LEGEND**

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GG	CRATAEGUS VIRIDIS / GREEN HAWTHORN
GP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
CO	CELTIS OCCIDENTALIS / COMMON HACKBERRY
LS	LIQUIDAMBAR STYRACIFLUA / ROTUNDILOBA / SWEET GUM
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UA	ULMUS AMERICANA / VALLEY FORGE / AMERICAN ELM
GROUND COVERS	BOTANICAL / COMMON NAME
PAT	BIORETENTION PLANTING
PAB	ORNAMENTAL PLANTING

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2	07/11/25	VERIFICATION SUBMISSION

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Project Name  
 PRGS REDEVELOPMENT - BLOCK C

Project Number  
 2994-001

Description  
 PLANTING PLAN (STREET)

Scale 1" = 10'-0"  $\otimes$

**C-L6.002**

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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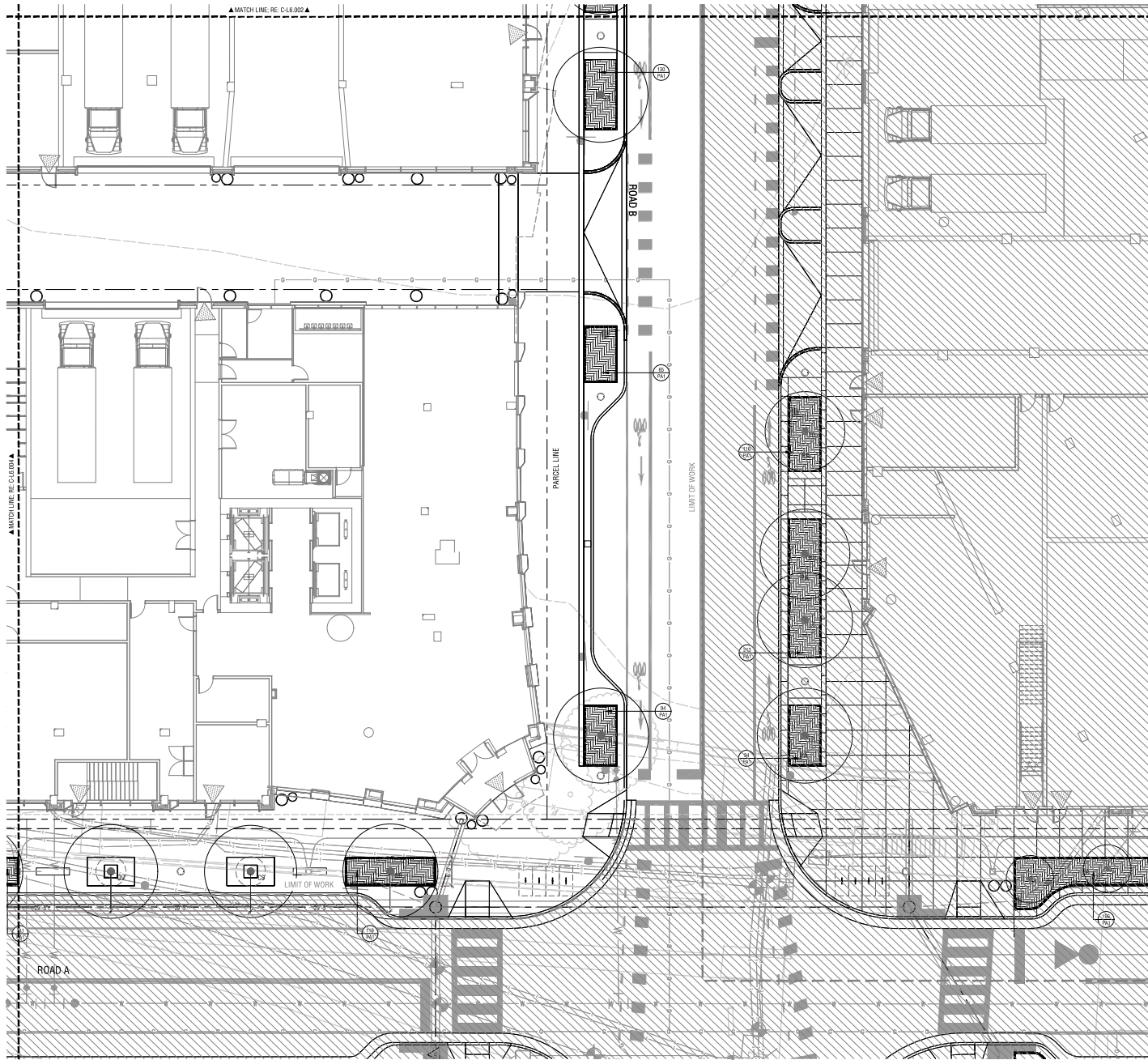
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 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
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1/16/2025 10:46:16 AM Autodesk Docs:0081445.000 - PRGS - Executive Architecture - 0081445.000 - Block 8 Tower - 0022.04



### PLANT REFERENCE LEGEND

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GG	CRATAEGUS VIRIDIS / GREEN HAWTHORN
GP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
CP	CELTIS OCCIDENTALIS / COMMON HACKBERRY
LS	LIQUIDAMBAR STYRACIFLUA / ROTUNDILOBA / SWEET GUM
MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
NS	NYSSA SYLVATICA / TUPELO
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
OL	QUERCUS LYRATA / OVERCUP OAK
QV	QUERCUS VELUTINA / BLACK OAK
TA	TILIA AMERICANA / AMERICAN LINDEN
TC	TILIA CORDATA / LITTLELEAF LINDEN
TD	TAXODIUM DISTICHUM / BALD CYPRESS
UA	ULMUS AMERICANA / VALLEY FORGE / AMERICAN ELM
GROUND COVERS	BOTANICAL / COMMON NAME
PAT	BIORETENTION PLANTING
PAB	ORNAMENTAL PLANTING

## PRGS REDEVELOPMENT

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#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

PLANTING PLAN (STREET)

Scale 1" = 10'-0"  $\otimes$

C-L6.003

APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

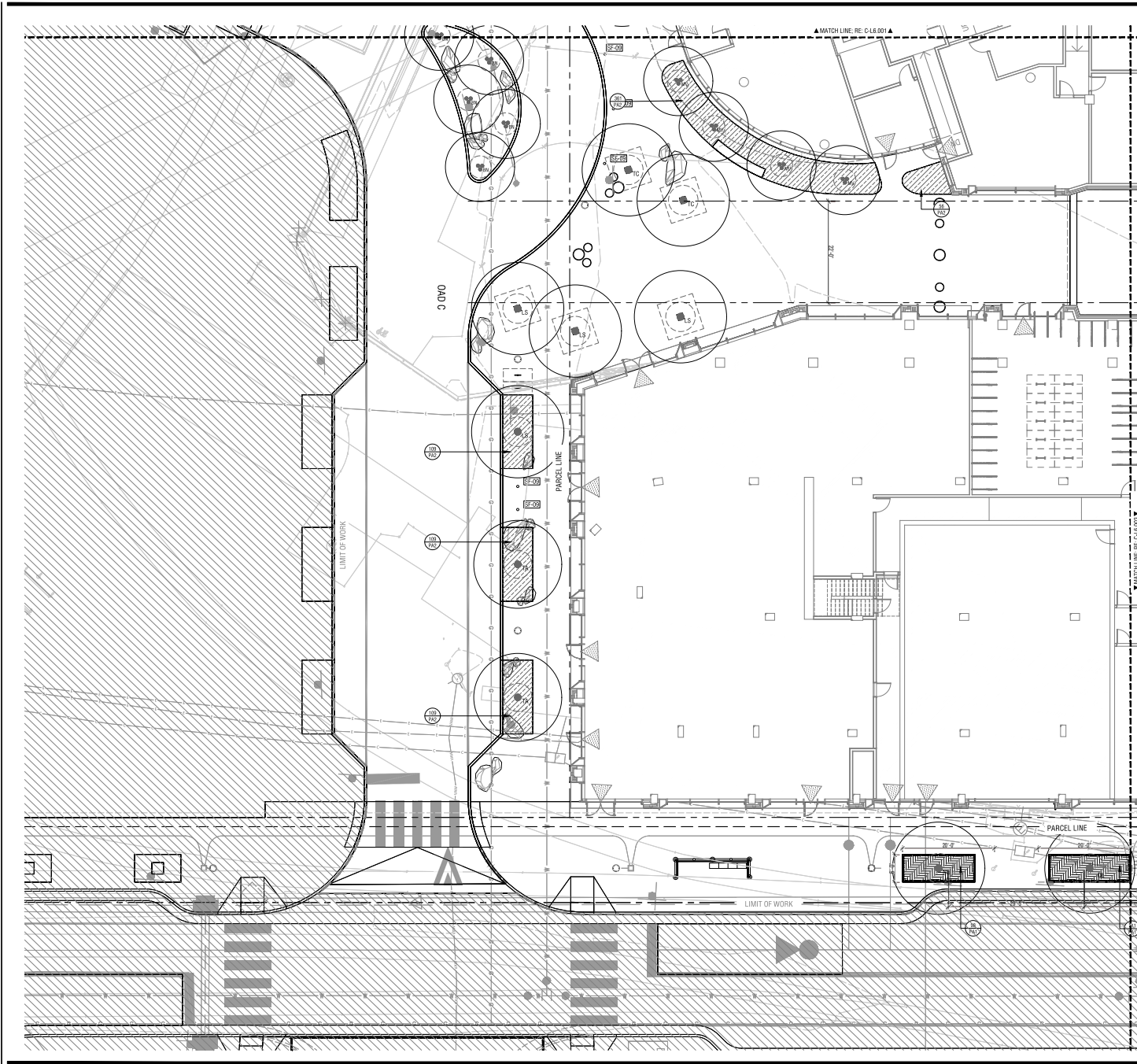
DIRECTOR DATE

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DATE RECORDED \_\_\_\_\_

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### PLANT REFERENCE LEGEND

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GG	CRATAEGUS VIRIDIS / GREEN HAWTHORN
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DD	CELTIS OCCIDENTALIS / COMMON HACKBERRY
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MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
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UA	ULMUS AMERICANA / VALLEY FORGE / AMERICAN ELM
GROUND COVERS	BOTANICAL / COMMON NAME
PAT	BIORETENTION PLANTING
PAB	ORNAMENTAL PLANTING

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Date	Description
1 05/16/25	COMPLETION SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

PLANTING PLAN (STREET)

Scale 1" = 10'-0"

C-L6.004

APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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**TREE DIAGRAM LEGEND**

- **STR-01** - STREET TREE, TYPE 1  
STREET TREE ON PRIVATE PROPERTY
- **STR-02** - STREET TREE, TYPE 2  
STREET TREE ON PUBLIC PROPERTY/ROW

**PRGS REDEVELOPMENT**

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

TREE DIAGRAM (STREET)

Scale 1" = 10'-0"

**APPROVED**  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

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DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

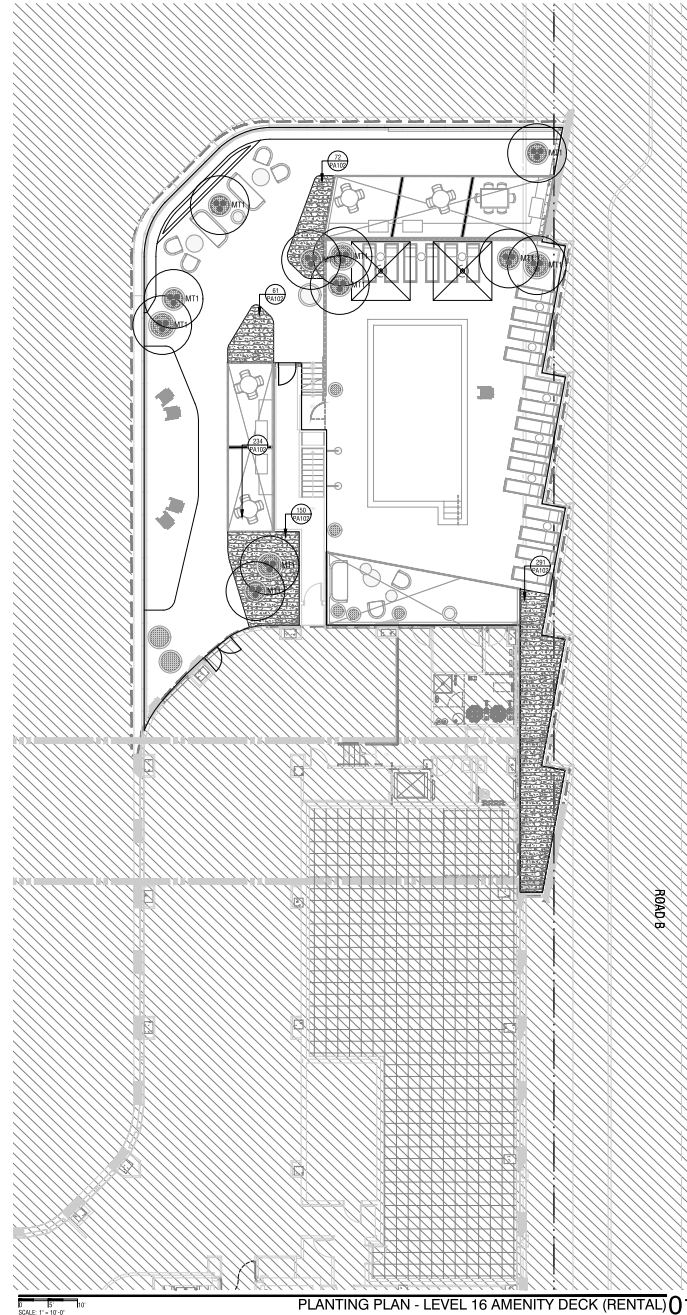
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PLANTING PLAN - LEVEL 16 AMENITY DECK (RENTAL) 01

**PLANTING LEGEND**

- TREES**
- ST1 SHADE TREE
  - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BIO-RETENTION PLANTING
  - PA2 SHRUB AND PERENNIAL MIX
  - PA3 POTS PLANTING

**PRGS REDEVELOPMENT**

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

PLANTING PLAN (RENTAL)

Scale

**C-L6.111-R**

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 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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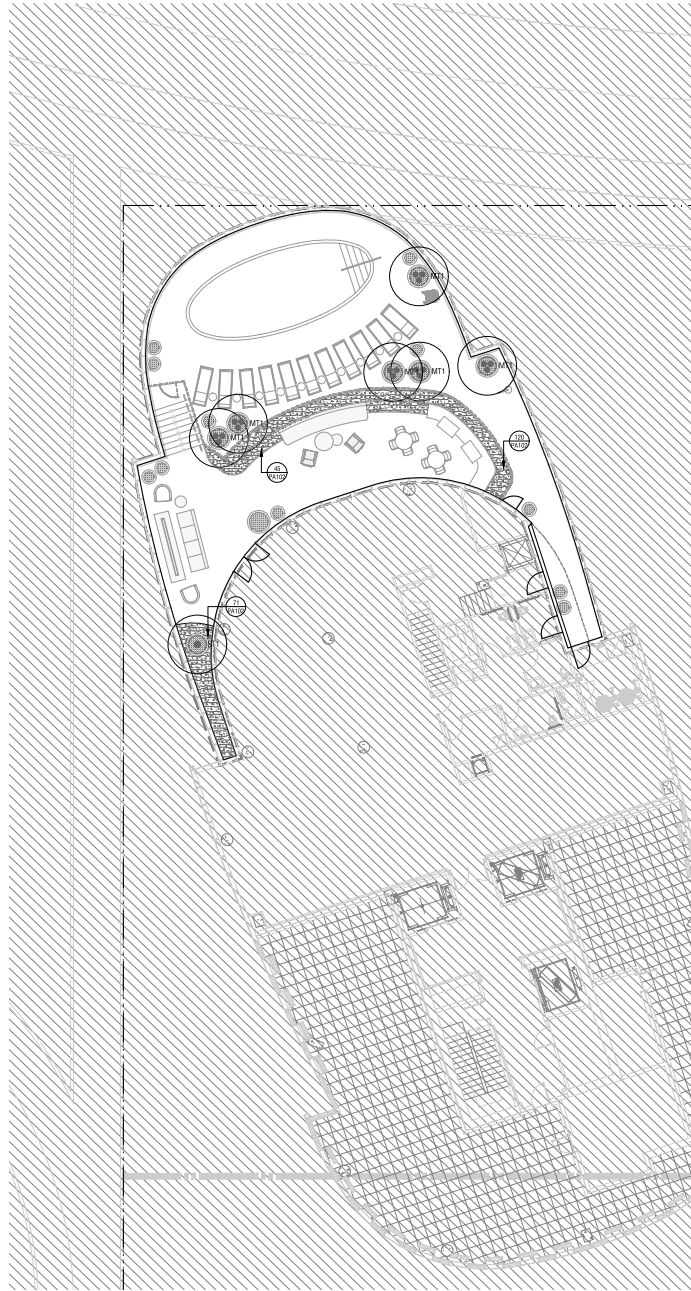
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
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**PLANTING LEGEND**

- TREES**
- ST1 SHADE TREE
  - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BIO-RETENTION PLANTING
  - PA2 SHRUB AND PERENNIAL MIX
  - PA3 POTS PLANTING

SCALE: 1" = 10'-0"

PLANTING PLAN - LEVEL 16 AMENITY DECK (CONDO) 01

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07/11/25	VERIFICATION SUBMISSION

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

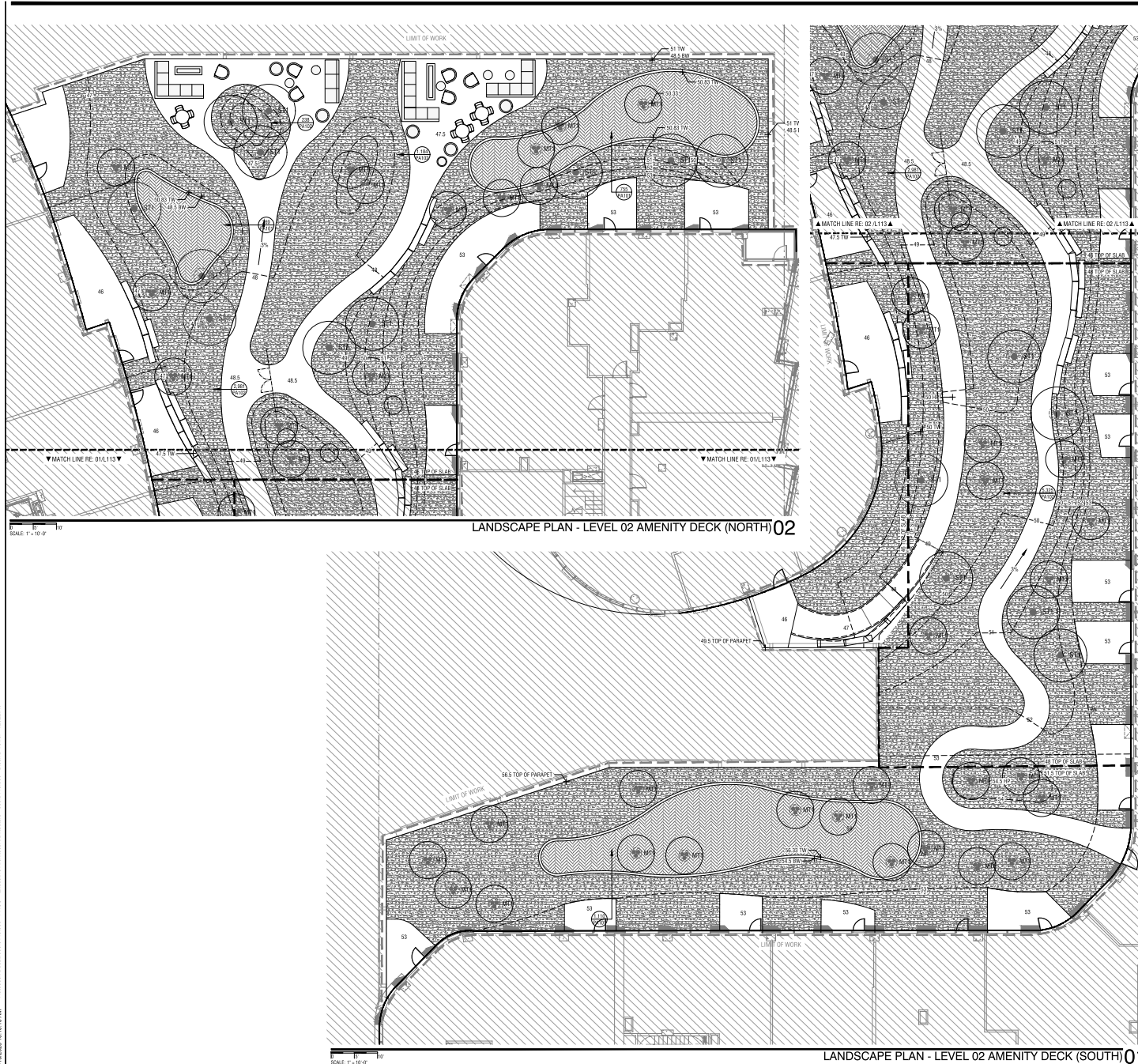
Description

PLANTING PLAN (CONDO)

Scale

**C-L6.121-C**

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**PLANTING LEGEND**

- TREES**
- ST1 SHADE TREE
  - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BID-RETENTION PLANTING
  - PA2 SHRUB AND PERENNIAL MIX
  - PA3 POTS PLANTING

**PRGS REDEVELOPMENT**

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

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Description

PLANTING PLAN (PODIUM)

Scale

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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

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Project Name

PRGS REDEVELOPMENT - BLOCK C

Project Number

2994-001

Description

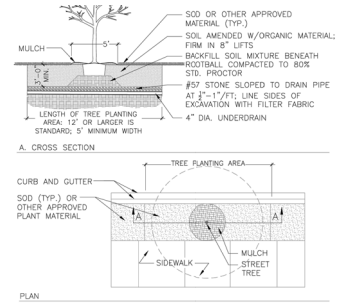
PLANTING DETAILS (STREET)

Scale

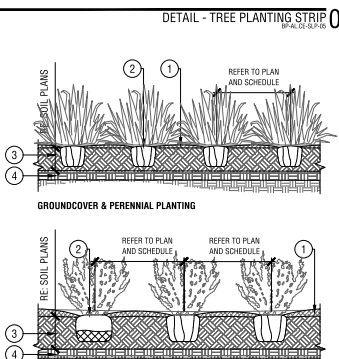
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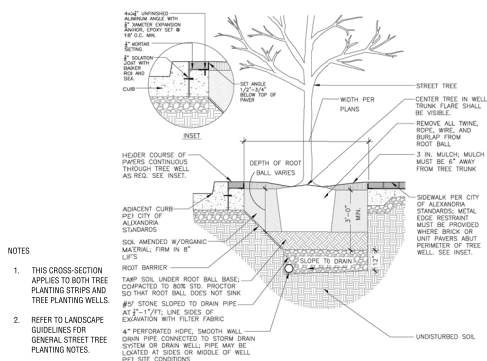
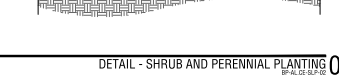
- NOTES
- REFER TO LANDSCAPE GUIDELINES FOR TREE STRIP PLANTING AREA INFORMATION.
  - REFER TO LANDSCAPE GUIDELINES FOR GENERAL STREET TREE PLANTING NOTES.
  - SEE STAKING DETAIL FOR MORE INFORMATION.
  - SITE CONDITIONS MAY REQUIRE INSTALLATION OF GRANITE BLOCK DETAIL.
  - REFER TO STREET TREE WELL DETAIL FOR CROSS-SECTION.



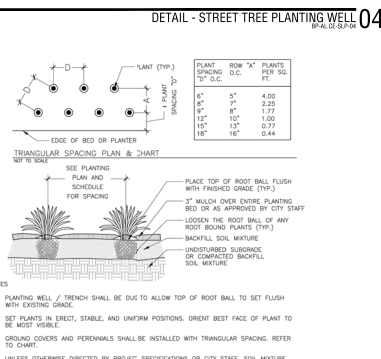
- NOTES
- 3" MULCH LAYER, TYP.
  - TOP OF ROOT BALL TO BE 1" ABOVE SOIL MIX. TYP.
  - PLANTING MIX. RE: SOIL PLANS
  - PREPARE SUBGRADE FILLED TO 4"-6" DEPTH, TYP.
- NOTES
- FOR CONTAINERS LOOSEN ROOT BALL OF ANY ROOT BOUND PLANTS
  - FOR B&B REMOVE BURLAP AND BARK FROM TOP 20% OF ROOT BALL AND REMOVE FROM SITE



- NOTES
- PLANTING WELL / TRENCH SHALL BE DUG TO ALLOW TOP OF ROOT BALL TO SET FLUSH WITH EXISTING GRADE.
  - SET PLANTS IN DIRECT, STABLE, AND UNIFORM POSITIONS. ORIENT BEST FACE OF PLANT TO BE MOST VISIBLE.
  - GROUND COVERS AND PERENNIALS SHALL BE INSTALLED WITH TRIANGULAR SPACING. REFER TO CHART.
  - UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
  - DO NOT PLACE MULCH IN CONTACT WITH STEM OR CROWN OF PLANTS.
  - ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION.

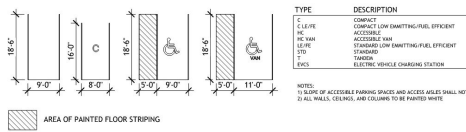


- NOTES
- THIS CROSS-SECTION APPLIES TO BOTH TREE PLANTING STRIPS AND TREE PLANTING WELLS.
  - REFER TO LANDSCAPE GUIDELINES FOR GENERAL STREET TREE PLANTING NOTES.



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NOTE:  
SEE PARKING LEGEND FOR ALL PARKING SPACE DIMENSIONS UNO.



**PARKING TABULATION - BLOCK C**

<b>GARAGE LEVEL P1</b>	
TYPICAL STANDARD SPACE	181
TANDEM SPACES	46
COMPACT SPACES	69
STANDARD ACCESSIBLE SPACES	3
VAN ACCESSIBLE SPACES	3
<b>TOTAL P1 SPACE COUNT</b>	<b>302</b>

<b>GARAGE LEVEL P2</b>	
TYPICAL STANDARD SPACE	173
TANDEM SPACES	65
COMPACT SPACES	85
STANDARD ACCESSIBLE SPACES	6
VAN ACCESSIBLE SPACES	0
<b>TOTAL P2 SPACE COUNT</b>	<b>329</b>

**TOTAL OVERALL SPACE COUNT 631**

NOTE: TOTAL TANDEM SPACE COUNT EQUALS 111. TANDEM SPACE IS DEFINED AS THE INBOARD SPACE IN STACKED CONFIGURATION.

**PRGS - Garage Phase 1**

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Δ	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - Garage Phase 1

Project Number

009.9145.900

Scale

1" = 30'-0"

Description

PARKING PLAN LEVEL P1\_BLOCK C

**A1P1C**

**APPROVED** DEVELOPMENT SITE PLAN NO. DSUP#2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

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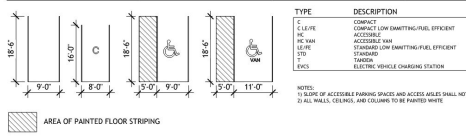
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**01 DSUP PARKING PLAN P1 BLOCK B&C**  
SCALE: 1" = 30'-0"

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 7/10/2025 1:24:17 PM

NOTE:  
SEE PARKING LEGEND FOR ALL PARKING SPACE DIMENSIONS UNO.



**PARKING TABULATION - BLOCK C**

<b>GARAGE LEVEL P1</b>	
TYPICAL STANDARD SPACE	181
TANDEM SPACES	46
COMPACT SPACES	69
STANDARD ACCESSIBLE SPACES	3
VAN ACCESSIBLE SPACES	3
<b>TOTAL P1 SPACE COUNT</b>	<b>302</b>

<b>GARAGE LEVEL P2</b>	
TYPICAL STANDARD SPACE	173
TANDEM SPACES	65
COMPACT SPACES	85
STANDARD ACCESSIBLE SPACES	6
VAN ACCESSIBLE SPACES	0
<b>TOTAL P2 SPACE COUNT</b>	<b>329</b>

**TOTAL OVERALL SPACE COUNT 631**

NOTE: TOTAL TANDEM SPACE COUNT EQUALS 111. TANDEM SPACE IS DEFINED AS THE INBOARD SPACE IN STACKED CONFIGURATION.



**PRGS - Garage Phase 1**

DSUP COMPLETENESS

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Δ	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - Garage Phase 1

Project Number

009.9145.900

Scale

1" = 30'-0"

Description

PARKING PLAN LEVEL P2\_BLOCK C

**A1P2C**

**APPROVED** DSUP#2025-10012  
DEVELOPMENT SITE PLAN NO.  
DEPARTMENT OF PLANNING & ZONING

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**01 DSUP PARKING PLAN P2 BLOCK B&C**  
SCALE: 1" = 30'-0"

# PRGS - Block C Podium

DSUP COMPLETENESS

1300 North Royal Street  
Alexandria VA 22314



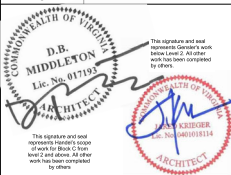
HRP Potomac, LLC  
1189 N Fairfax St, Suite 808  
Alexandria, VA 22314  
Tel: 312.796.6564  
Fax: xxx.xxx.xxxx



2020 K Street NW  
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Washington, DC 20006  
United States  
Tel: 202.721.5200  
Fax: 202.872.8587

△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name  
PRGS - Block C Podium

Project Number  
009.9145.710

Scale  
1" = 30'-0"

Description  
COMBINED BLOCKS PLAN

**A000**

**APPROVED**  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

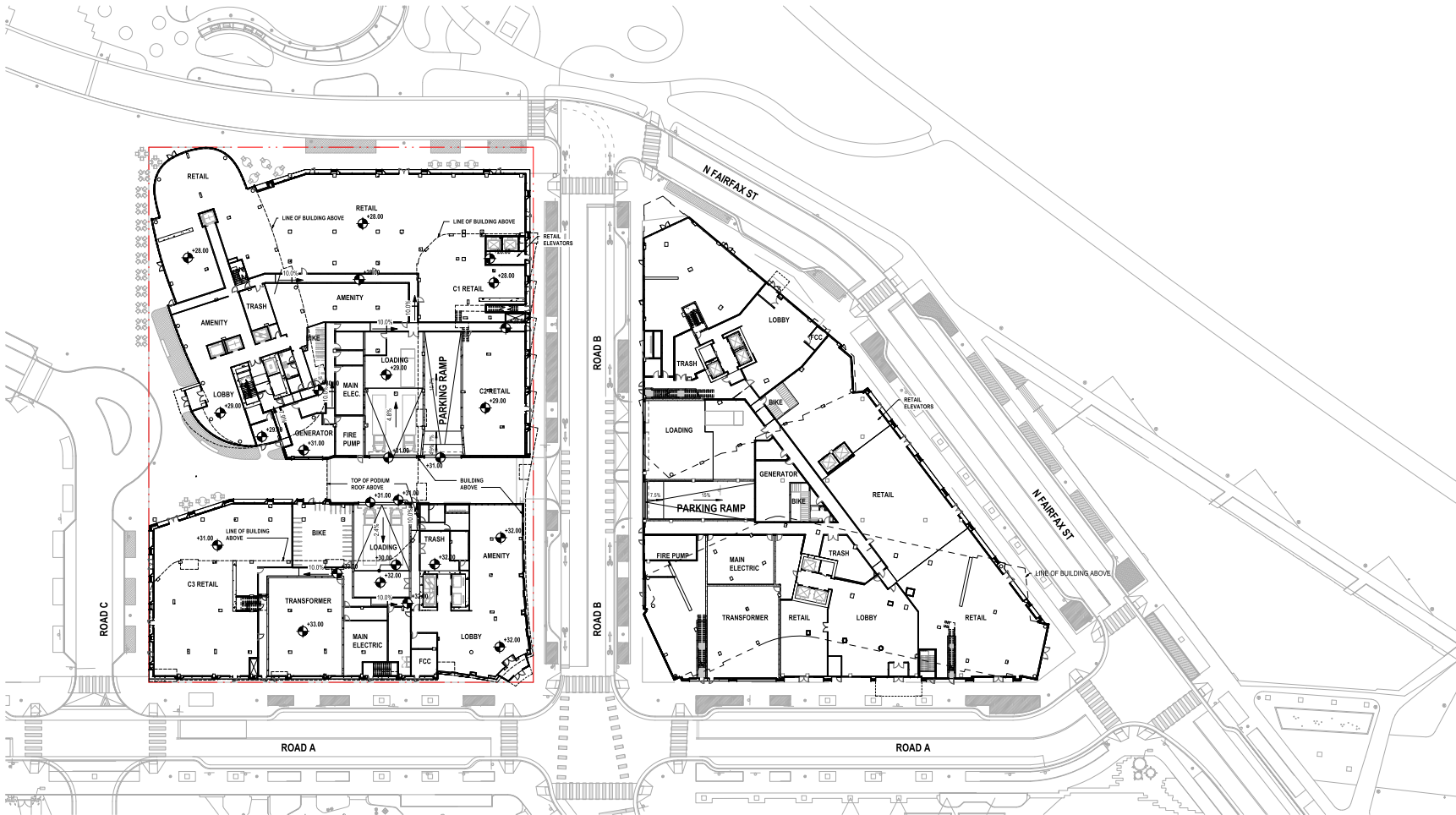
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

## 01 COMBINED PLAN - LEVEL 01

SCALE: 1" = 30'-0"

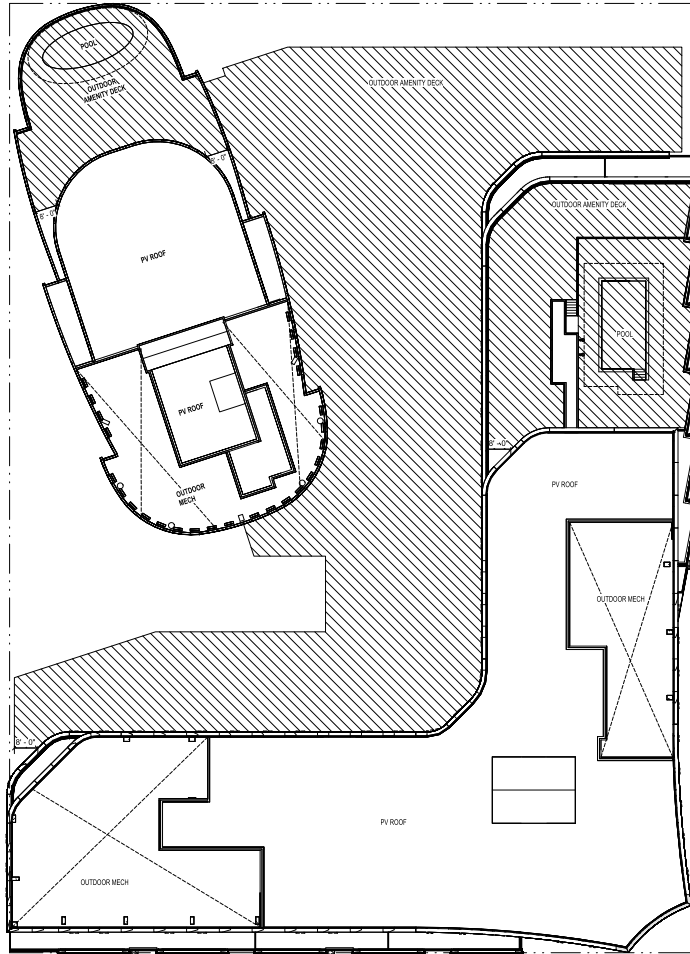


Autodesk Docs: 009.9145.710 - PRGS - Executive Architecture/Architect - 009.9145.710 - Block C Podium - 0205.01  
 7/11/2025 10:42:20 AM





Autodesk Docs: 0208.9145.000 - PRGS - Executive Architect/Architect - 09.9145.000 - Block C Plans - 0208.rvt  
 7/10/2025 4:28:41 PM



1 OPEN SPACE PLAN  
 1" = 20'-0"

OPEN AREA SCHEDULE	
NAME	AREA
ABOVE GRADE - OPEN SPACE	29,586 SF
TOTAL OPEN SPACE	29,586 SF

**MATERIAL LEGEND**

	ABOVE GRADE - OPEN SPACE
	PRIVATE

OPEN SPACE TABULATION					
PHASE	BLOCK	Parcel Area (SF)	10% Required Open Space (SF)	Current Total Open Space (SF)	Current Open Space % (SF)
PHASE 2	BLOCK C	73,279 SF	11,300 SF	29,586 SF	39.2%

**APPROVED**  
 DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
 DEPARTMENT OF PLANNING & ZONING

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 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

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## PRGS - BLOCK C

### DSUP COMPLETENESS

1300 North Royal Street, Alexandria, VA 22314

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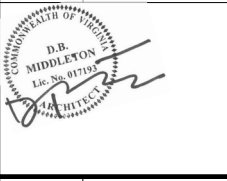
#### Gensler

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Tel: 202.721.5200  
 Fax: 202.472.8587

Δ	Date	Description
1	09/22/23	CONCEPT SUBMISSION
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3	07/11/25	VERIFICATION OF COMPLETENESS

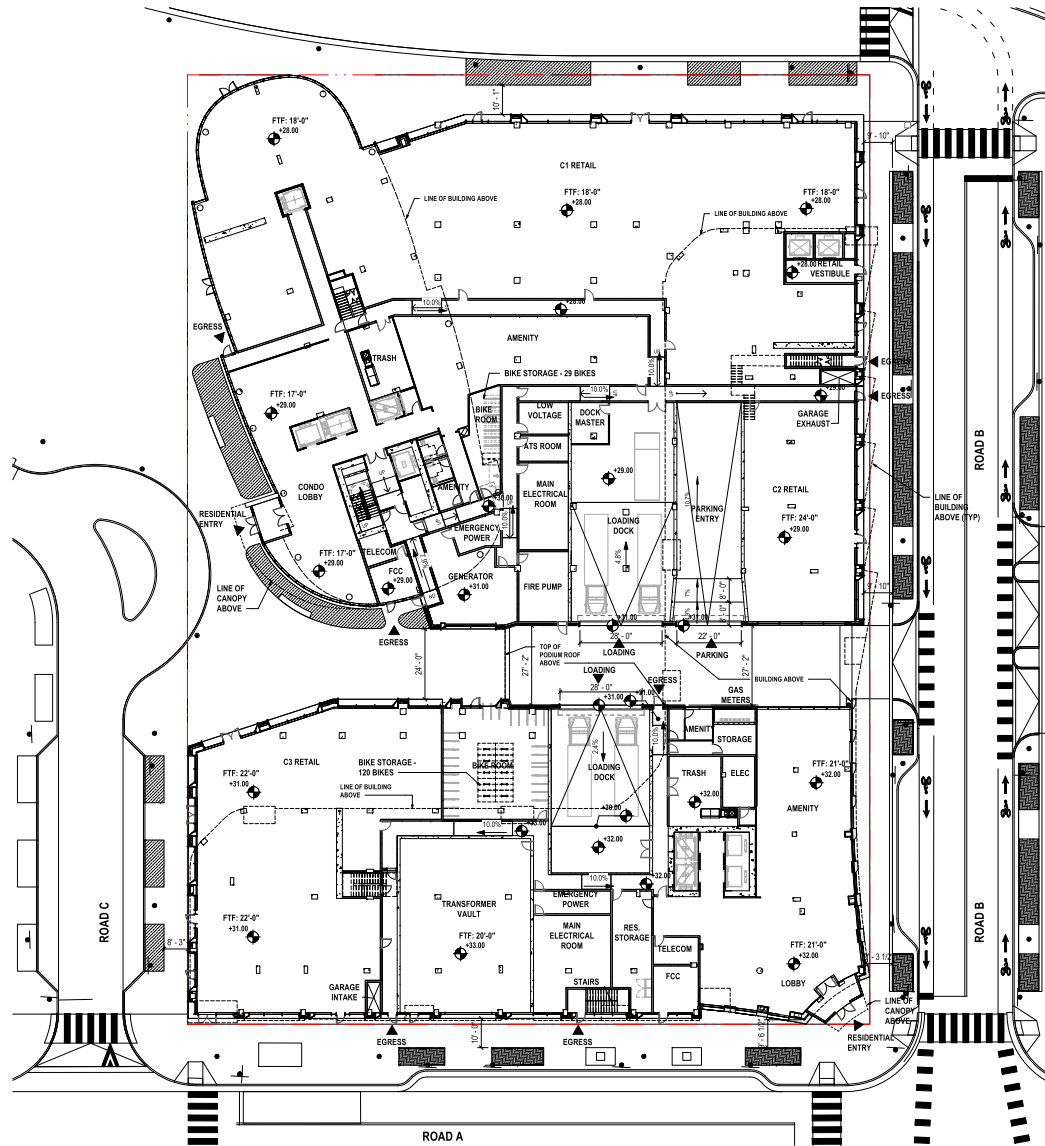
Seal / Signature



Project Name: PRGS - BLOCK C  
 Project Number: 09.9145.000  
 Scale: As indicated  
 Description: OPEN SPACE PLAN  
**A002**







# PRGS - Block C Podium

DSUP COMPLETENESS

1300 North Royal Street  
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## Gensler

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3	07/11/2025	VERIFICATION OF COMPLETENESS

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

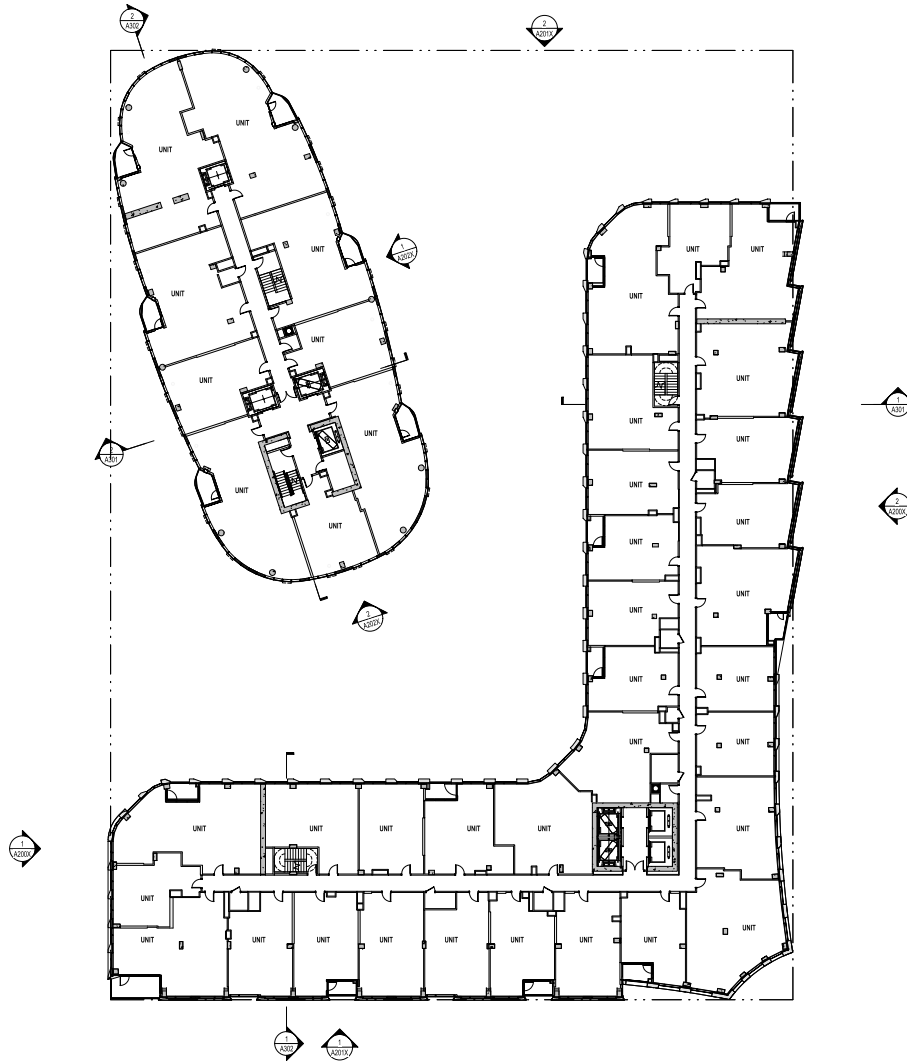
CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

Project Name	PRGS - Block C Podium
Project Number	009.9145.710
Scale	1" = 20'-0"
Description	FLOOR PLAN - LEVEL 01
<b>A101</b>	



Autodesk Docs: 009.9145.000 - PRGS - Executive Architect/Architect - 09.9145.000 - Block C Plans - 02/25/21  
 7/10/2025 4:27:31 PM



1 FLOOR PLAN - LEVEL 03 - 06  
 1" = 20'-0"

NOTE: INTERIOR WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

**APPROVED**

DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
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## PRGS - BLOCK C

### DSUP COMPLETENESS

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Fax: xxx.xxx.xxxx

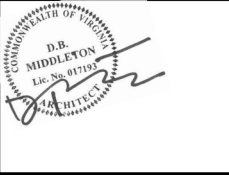
### Gensler

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United States

Tel: 202.721.5200  
Fax: 202.472.8587

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3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - BLOCK C

Project Number

09.9145.000

Scale

As indicated

Description

FLOOR PLAN - LEVEL 03 - 06

**A103**

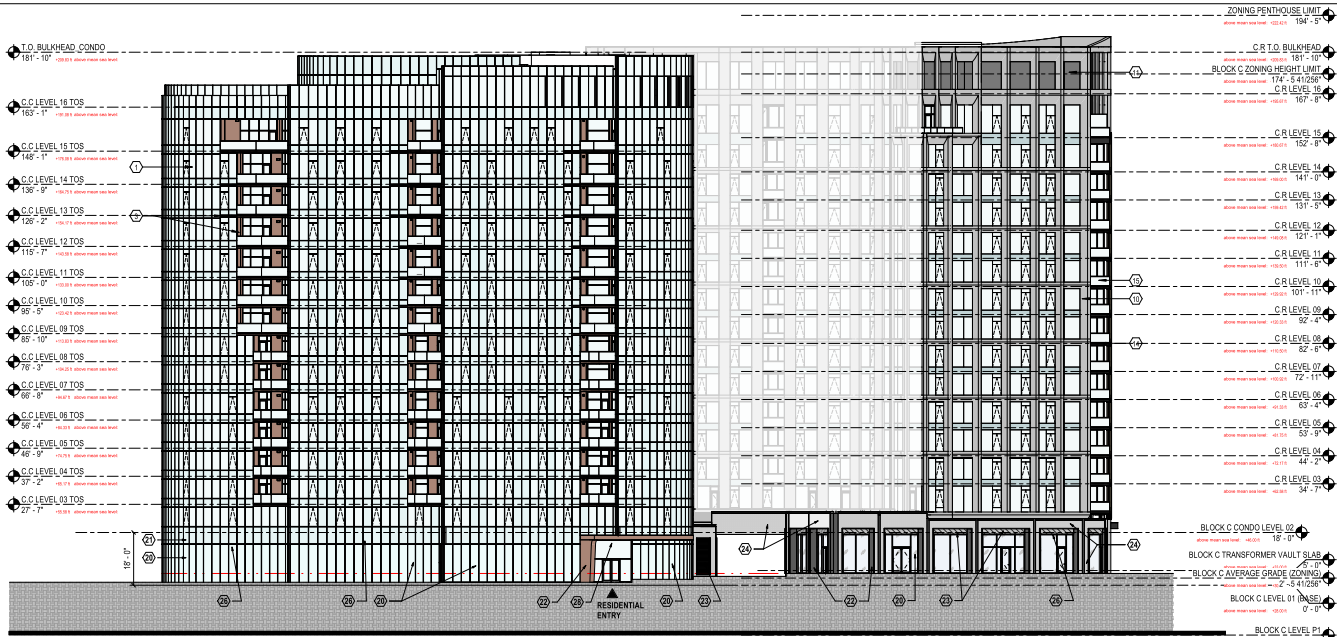












**01 BLOCK C - BUILDING WEST ELEVATION OVERALL**  
SCALE: 1" = 20'-0"

**EXTERIOR MATERIAL LEGEND**

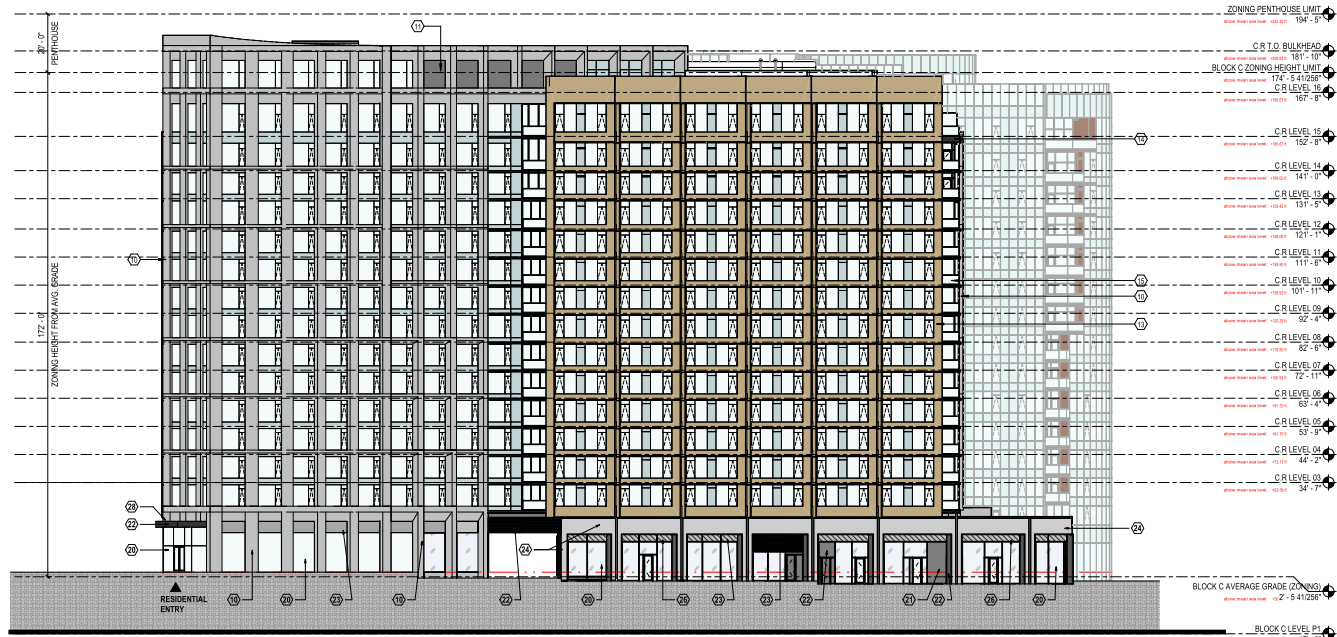
- CONDO**
- 1 MAIN CONDO FACADE: CURTAIN WALL
  - 2 METAL TRIM: PAINTED ALUMINUM PANELS
  - 3 BALCONY: PAINTED METAL SLAB COVER / SOFFIT / WALL
- RENTAL**
- 10 MAIN RENTAL FACADE: PRECAST 1
  - 11 LOUVER
  - 12 ROAD A FACADE: PRECAST 2
  - 13 ROAD B FACADE: PRECAST 2
  - 14 PAINTED METAL PANEL
  - 15 GUARDRAIL
- PODIUM**
- 20 VISION GLASS
  - 21 SPANDREL GLASS
  - 22 METAL PANEL
  - 23 LOUVER
  - 24 UNIT MASONRY
  - 25 OVERHEAD DOOR
  - 26 RETAIL SIGNAGE
  - 27 PARKING/LOADING SIGNAGE
  - 28 BUILDING SIGNAGE
  - 29 TRANSFORMER ACCESS
  - 30 TRANSLUCENT GLASS
- THE MATERIALS LISTED ARE SUBJECT TO CHANGE AS PART OF THE FURTHER DEVELOPMENT TOWARD FINAL SITE PLAN. HOWEVER, THE SELECTED MATERIALS SHALL BE GENERALLY CONSISTENT WITH THE QUALITY OF MATERIALS APPROVED BY COUNCIL.

**PRGS - Block C Podium**  
**DSUP COMPLETENESS**

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**02 BLOCK C - BUILDING EAST ELEVATION OVERALL**  
SCALE: 1" = 20'-0"

#	Date	Description
1	09/22/2023	CONCERT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS



**APPROVED**  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

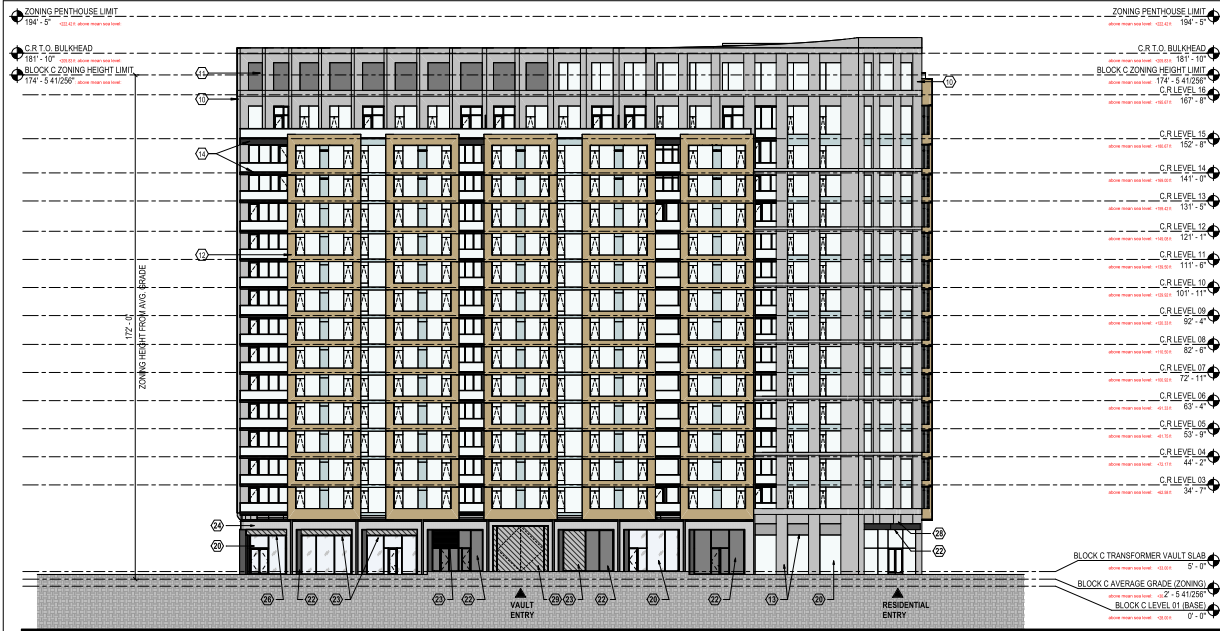
Project Name  
**PRGS Block C Podium**

Project Number  
**009.9145.710**

Scale  
**As indicated**

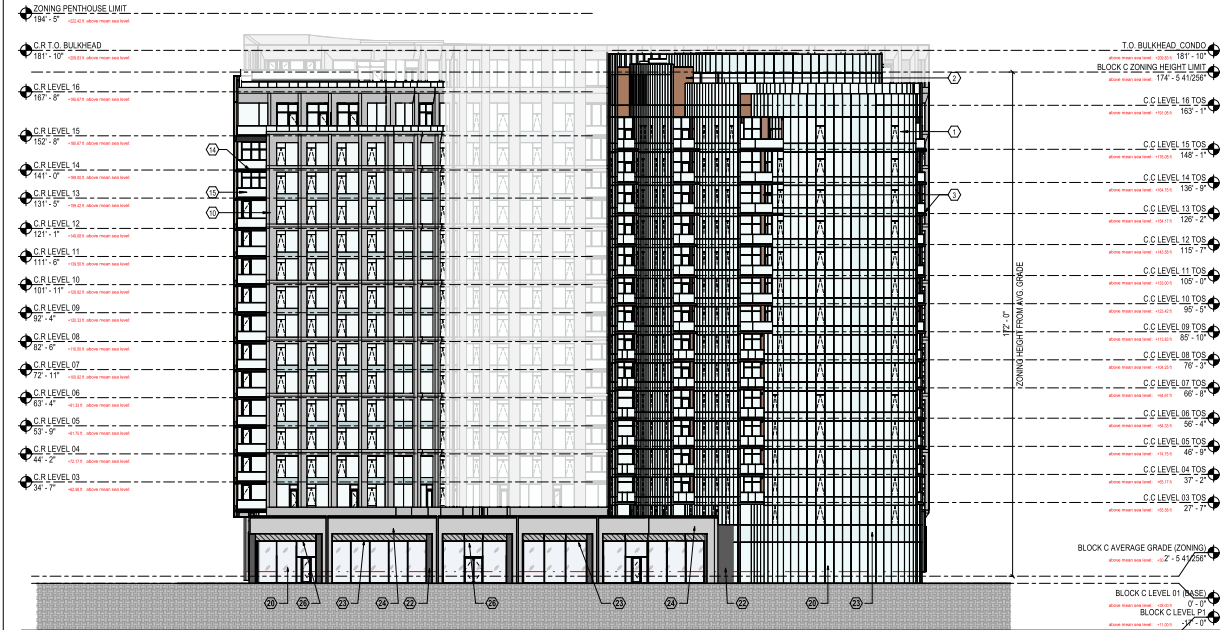
Description  
**BUILDING ELEVATIONS**

**A200**



01 BLOCK C - BUILDING SOUTH ELEVATION OVERALL

SCALE: 1" = 20'-0"



02 BLOCK C - BUILDING NORTH ELEVATION OVERALL

SCALE: 1" = 20'-0"

EXTERIOR MATERIAL LEGEND

- |   |                                  |
|---|----------------------------------|
| <b>CONDO</b>                                      | <b>RETAIL</b>                    |
| 1 MAIN CONDO FACADE: CURTAIN WALL                 | 10 MAIN RETAIL FACADE: PRECAST 1 |
| 2 METAL TRIM: PAINTED ALUMINUM PANEL              | 11 LOUVER                        |
| 3 BALCONY: PAINTED METAL SLAB COVER / SOFFIT WALL | 12 ROAD B FACADE: PRECAST 2      |
|   | 13 ROAD B FACADE: PRECAST 2      |
|   | 14 PAINTED METAL PANEL           |
|   | 15 GUARDRAIL                     |
| <b>PODIUM</b>                                     |                                  |
| 20 VISION GLASS                                   | 25 OVERHEAD DOOR                 |
| 21 SPANDREL GLASS                                 | 26 RETAIL SIGNAGE                |
| 22 METAL PANEL                                    | 27 PARKING/LOADING SIGNAGE       |
| 23 LOUVER   | 28 BUILDING SIGNAGE              |
| 24 UNIT MASONRY                                   | 29 TRANSFORMER ACCESS            |
|   | 30 TRANSLUCENT GLASS             |

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**PRGS - Block C Podium**  
DSUP COMPLETENESS

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3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

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APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN No. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

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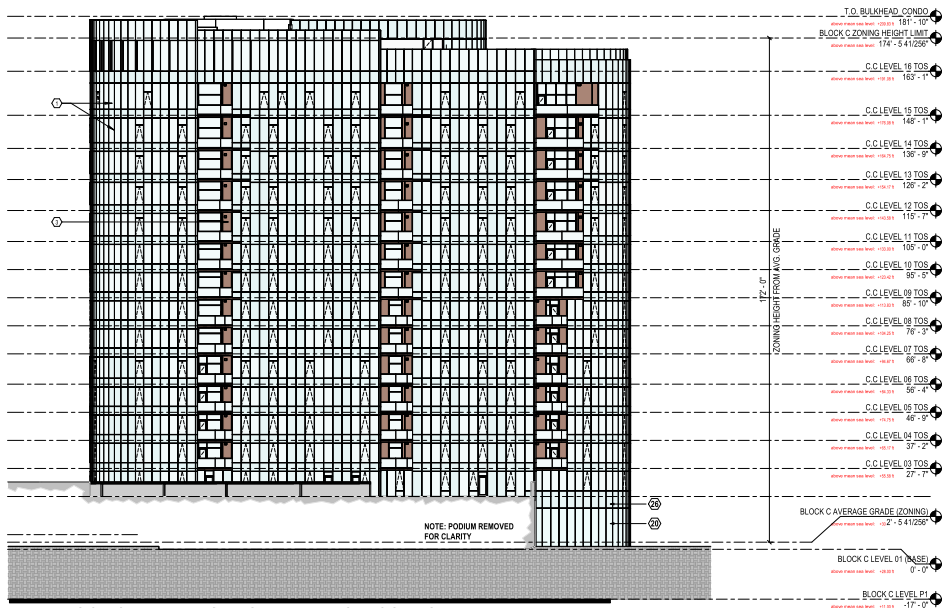
Project Name  
PRGS - Block C Podium

Project Number  
009.9145.710

Scale  
As indicated

Description  
BUILDING ELEVATIONS

**A201**



01 BLOCK C - BUILDING EAST ELEVATION\_CONDO  
SCALE: 1" = 20'-0"

**EXTERIOR MATERIAL LEGEND**

- |  |                                 |
|--|---------------------------------|
| <b>CONDO</b>                                       | <b>RENTAL</b>                   |
| ① MAIN CONDO FACADE: CURTAIN WALL                  | ⑩ MAIN RENTAL FACADE: PRECAST 1 |
| ② METAL TRIM: PAINTED ALUMINUM PANEL               | ⑪ LOUVER                        |
| ③ BALCONY: PAINTED METAL SLAB COVER / SCOFFIT WALL | ⑫ ROAD A FACADE: PRECAST 2      |
|  | ⑬ ROAD B FACADE: PRECAST 2      |
|  | ⑭ PAINTED METAL PANEL           |
|  | ⑮ GUARDRAIL                     |
| <b>PODIUM</b>                                      |                                 |
| ⑯ VISION GLASS                                     | ⑳ OVERHEAD DOOR                 |
| ㉑ SPANDREL GLASS                                   | ㉒ RETAIL SIGNAGE                |
| ㉓ METAL PANEL                                      | ㉔ PARKING/LOADING SIGNAGE       |
| ㉕ LOUVER   | ㉖ BUILDING SIGNAGE              |
| ㉗ UNIT MASONRY                                     | ㉘ TRANSFORMER ACCESS            |
|  | ㉙ TRANSLUCENT GLASS             |
- THE MATERIALS LISTED ARE SUBJECT TO CHANGE AS PART OF THE FURTHER DEVELOPMENT TOWARD FINAL SITE PLAN.  
HOWEVER, THE SELECTED MATERIALS SHALL BE GENERALLY CONSISTENT WITH THE QUALITY OF MATERIALS APPROVED BY COUNCIL.

**PRGS - Block C Podium**  
DSUP COMPLETENESS

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Scale	As indicated
Description	BUILDING ELEVATIONS

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DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
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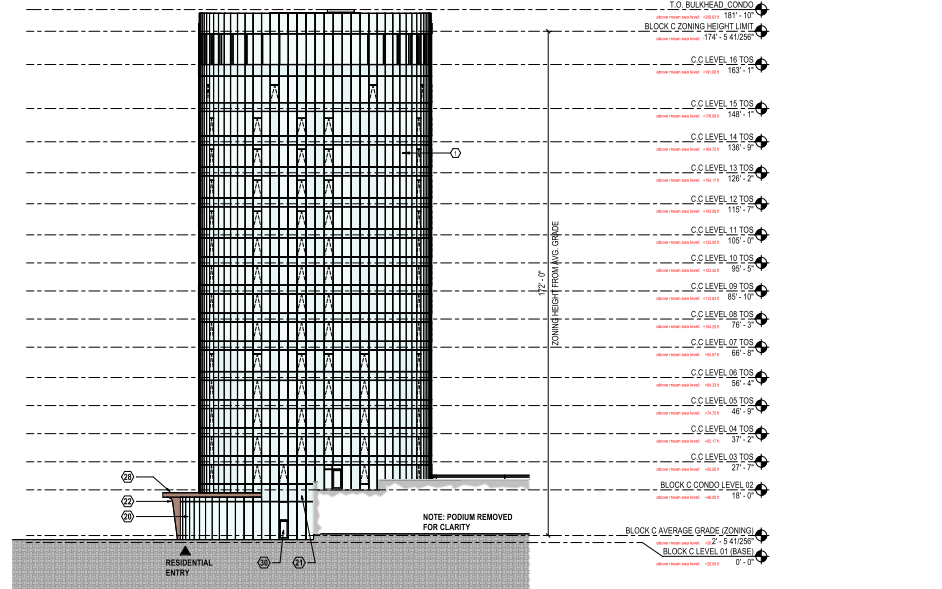
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
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02 BLOCK C - BUILDING SOUTH ELEVATION\_CONDO  
SCALE: 1" = 20'-0"

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 7/10/2025 4:43:25 PM



**01 ALLEY TO RENTAL**  
SCALE: 1/32" = 1'-0"



**02 ALLEY TO CONDO**  
SCALE: 1/32" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

- PODIUM**
- 20 VISION GLASS
  - 21 SPANDREL GLASS
  - 22 METAL PANEL
  - 23 LOUVER
  - 24 UNIT MASONRY
  - 25 OVERHEAD DOOR
  - 26 RETAIL SIGNAGE
  - 27 PARKING/LOADING SIGNAGE
  - 28 BUILDING SIGNAGE
  - 29 TRANSFORMER ACCESS
  - 30 TRANSLUCENT GLASS

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3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - Block C Podium

Project Number

009.9145.710

Scale

As indicated

Description

ALLEY VIEWS

**A203**













# PRGS - Block C Podium

## DSUP COMPLETENESS

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Seal / Signature



Project Name

PRGS - Block C Podium

Project Number

009.9145.710

Scale

Description

GROUNDPLANE RENDERINGS

**A405**

APPROVED  
DEVELOPMENT SITE PLAN NO. DSUP2025-10012  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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