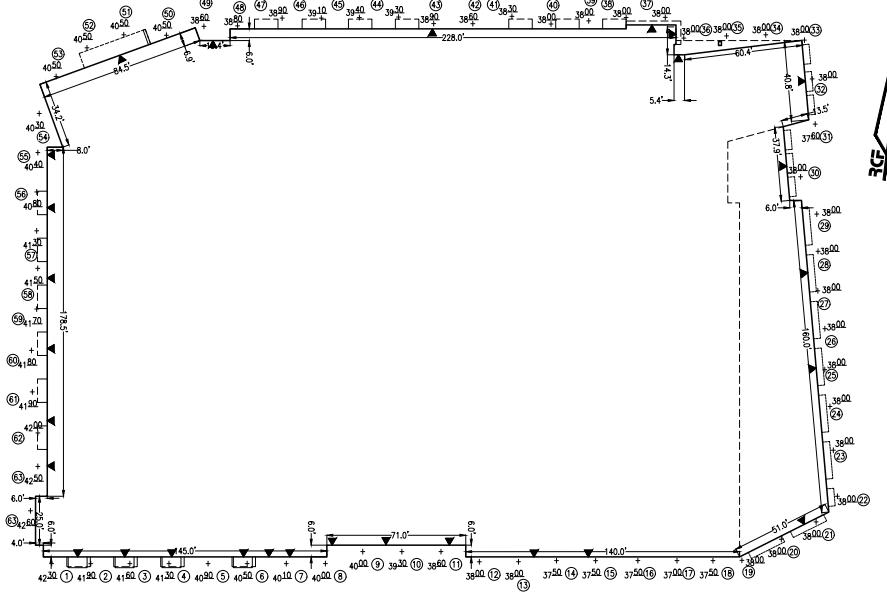
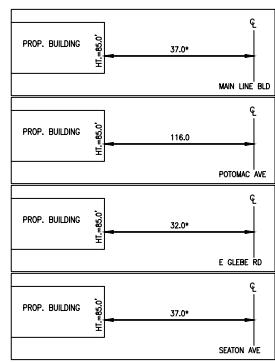


SECTION 6-403 COMPLIANCE NOTE:

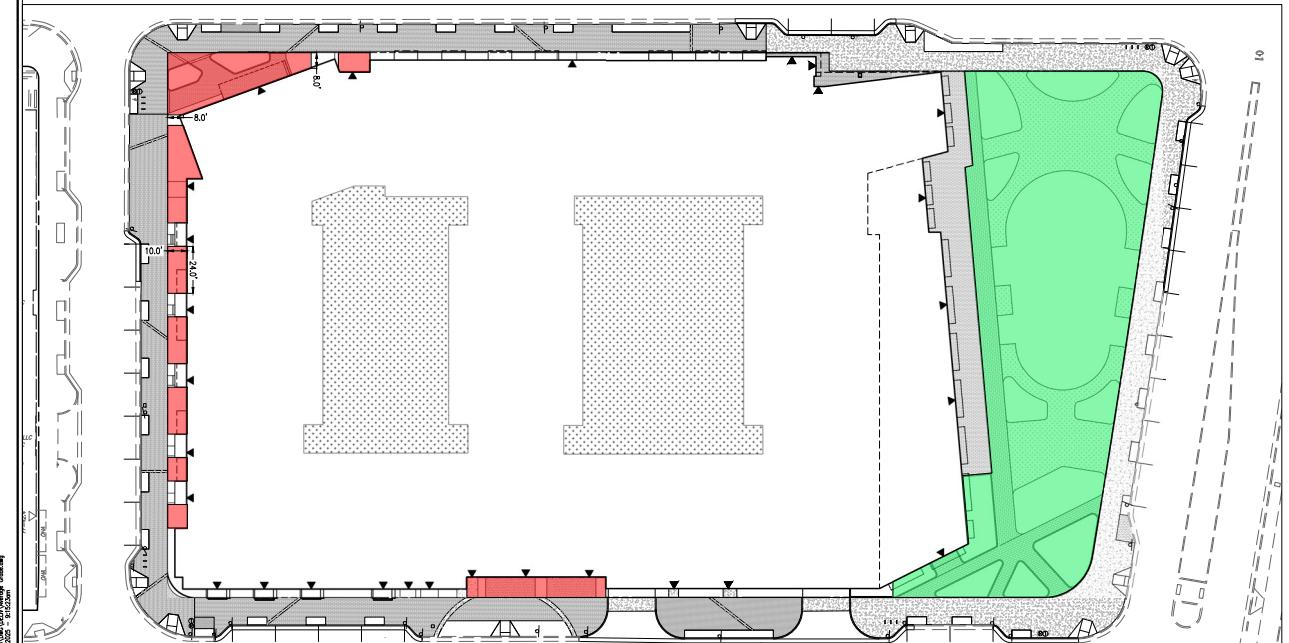
SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTER LINE OF THE STREET FACING SUCH BUILDING." SEE DETAILS BELOW FOR SECTION SHOWING COMPLIANCE.

SECTION 6-403 DETAILS:
NOT TO SCALE



AVERAGE FINISHED GRADE EXHIBIT

SCALE: 1" = 30'



OPEN SPACE:

TOWN CENTER GREEN

TOWN CENTER GREEN OPEN SPACE W/ PUBLIC ACCESS EASEMENT = 20,000 SF -

TOTAL TOWN CENTER GREEN OPEN SPACE = 20,000 SF

PRIVATE GROUND LEVEL OPEN SPACE = 3,000 SF -

PRIVATE ABOVE GRADE OPEN SPACE = 11,036 SF -

TOTAL OPEN SPACE = 34,036 SF

0' 30' 60'
SCALE: 1" = 30'
PERMIT NO. FILE BOOK NO. DATE
THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

APPROVED

SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CITY PLANNING COMMISSION DATE

DATE REC'D.

PERMIT NO. FILE BOOK NO. DATE

PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

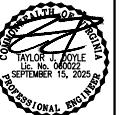
DATE REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: 1"=30'
DATE: SEPT, 2025

AVERAGE GRADE & OPEN SPACE DETAIL

SHEET C2 OF 29

FILE: 22-125



PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE: REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: 1"=200'
DATE: SEPT, 2025

GENERAL PLAN
INFORMATION
AND NOTES

SHEET C3 OF 29
FILE: 22-125

SYMBOLS LEGEND		
ITEM	EXISTING	PROPOSED
FIRE HYDRANT	○	●
AIR CONDITIONING UNIT	□	□
UTILITY POLE	□	□
FIRE DEPARTMENT CONNECTION	△	△
STORM STRUCTURE IDENTIFIER	○	○
STORM MANHOLE	○	○
STORM SEWER LAYOUT	—○—	—○—
SANITARY STRUCTURE IDENTIFIER	○	○
SANITARY MANHOLE	○	○
SANITARY SEWER LAYOUT	—○—	—○—
SIDEWALK	WALK	WALK
SIGN	○	○
SIGN (DOUBLE POST)	—○—	—○—
GAS VALVE	□	□
GAS LINE	—G—	—G—
GAS LINE	—G—	—G—
IRRIGATION VALVE	○	○
BOLLARD	●	●
CLEANOUT	○	○
WELL	○	○
WATERLINE	—W—	—W—
WATER VALVE	□	□
WATER METER	○	○
TRANSFORMER	□	□
ELECTRIC MANHOLE	○	○
ELECTRIC METER	○	○
ELEC BOX/STRUCTURE	□	□
ELECTRIC LINE	—E—	—E—
TELECOMMUNICATION LINE	—T—	—T—
CABLE LINE	—C—	—C—
CABLE/ELECTRIC/TELECOMMUNICATION LINE	—C—	—C—
TELECOMMUNICATION MANHOLE	○	○
TELECOMMUNICATION STRUCTURE	□	□
OVERHEAD STREET LIGHT	○	○
LOW VOLT. POLE	○	○
LANDSCAPE LIGHT	○	○
FENCES	—X—	—X—
GRADING SPOT	+124.5	+124.5
GRADING CONTOUR	-124—	-124—
BUILDING ENTRANCE	▽	▽
PAVING	—P—	—P—
GUARDRAIL	○	○
CURB AND GUTTER	—○—	—○—
PROPOSED TRANSITION/NOISE DOWNS CURB	—○—	—○—
LIMITS OF DISTURBANCE	—○—	—○—
PROPERTY LINE	—○—	—○—

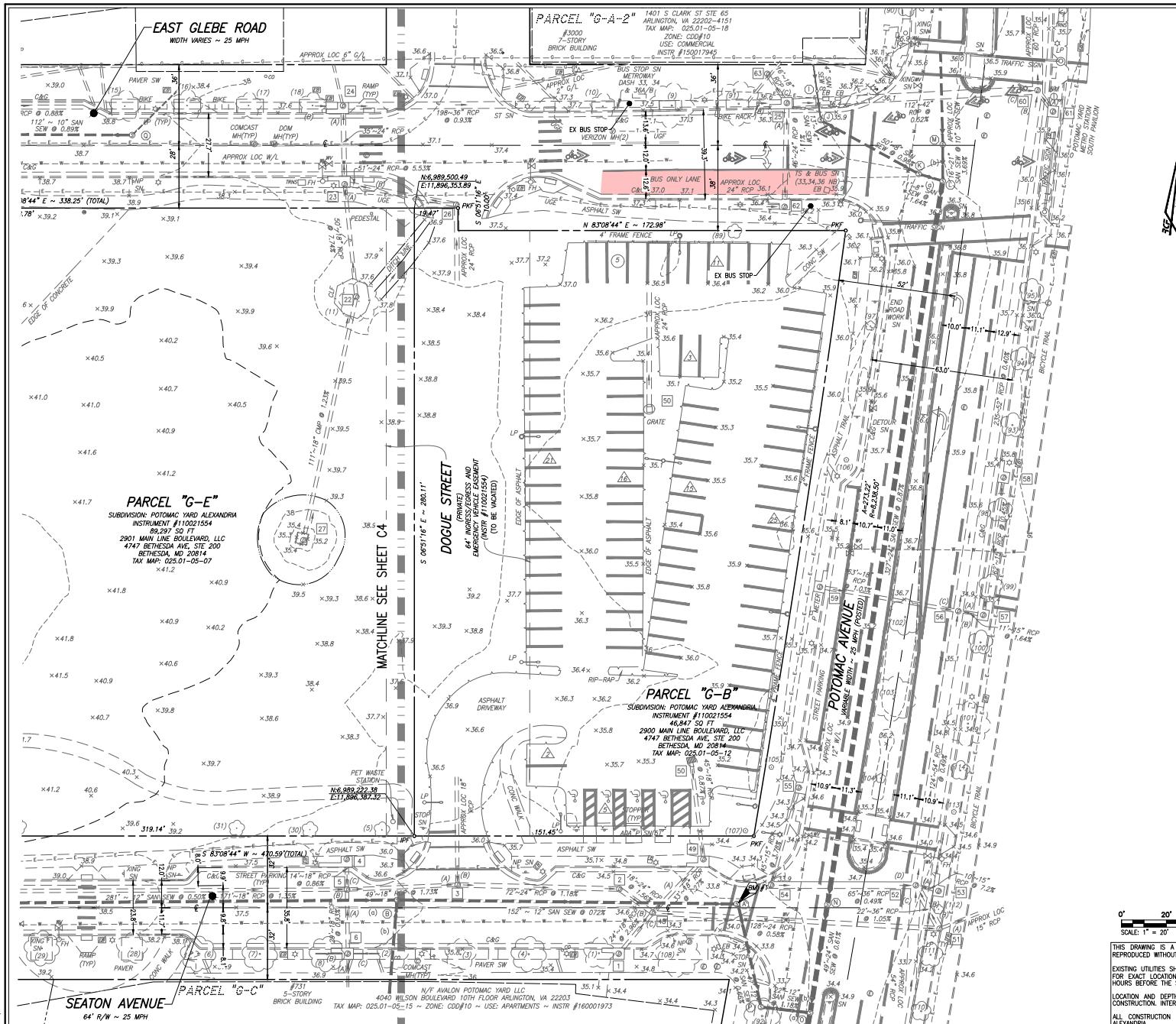
TEXT LEGEND:

—DOTTED—	INTX = INTERSECTION
—MINUTES (OR FEET)—	INT = IRON ROD FOUND
—SECONDS (OR INCHES)—	L = LUMENS
%	LT = LATENT
# MEMBER	LD = LEAD DIAMOND
AT	LL = LANDSCAPE LIGHT
BS = POUNDS	LOC = LOCATION
EX = AREA	M = METER POLE
MAX = MAXIMUM	ME = MATCH EXISTING
MIN = MINIMUM	MON = MONUMENT
MON = MONUMENT	MPH = MILE PER HOUR
MPS = METERS PER SEC	N = NORTH
BFE = BASE FLOOD ELEVATION	OHW = OVERHEAD WIRE
BIG = BIG PARK	PEST = PESTERMAN
BSMT = BASEMENT	PN = PANEL
BOL = BOLARD	P = PAGE
BR = BRICK OR WALL	PROP = PROPOSED
CATV = CABLE UTILITY	PVC = POLYVINYL CHLORIDE
CL = CLASS	RCP = RADIAL PIPE
C/L = CHANNEL LINE	RELOC = RELOCATED
C/LF = CHANNEL LINE CLEARANCE	RET = RETAINING
CLF = CHAN LNK FENCE	RES = RESIDENTIAL
CMP = CORRODED METAL PIPE	REQ = REQUIRED
C-D = C-CURB INLET	ROW = RIGHT-OF-WAY
CO = CLEAN OUT	SB = SOUTH
CONC = CONCRETE	SAN = SANITARY
CAS = CATCH AS GUTTER	SEW = SEWER
CVR = COVER	SEW = SEWER
DB = DEED BOOK	SD FT = SQUARE FEET
DF = DUST FREE FOUND	STM = STORM
DIP = DUCTILE IRON PIPE	STR = STRUCTURE
DOM = DOMESTIC	SW = SWALE
DU = DRAIN UNIT	TBR = TO BE REMOVED
E = EAST	TBS = TO BE SAVED
EBOX = ELECTRICAL BOX	TMH = TELEPHONE MANHOLE
ESMT = EAST SIDE	TOP = TOP OF CURB
EV = EXPANSION JOINT	TR = TRAFFIC
EVE = EMERGENCY VEHICLE EASEMENT	TRAF SIG = TRAFFIC SIGNAL
EX = EXISTING	TP = TYPICAL
FC = FIRE ALARM CONNECTION	UP = UNDERGROUND ELECTRIC
FT = FINISH FLOOR	UP = UTILITY POLE
FI = FIRE HYDRANT	V = VEHICLE
FT = FOOT	VAC = VACUUM
GI = GRATE INLET	W/L = WATER LINE
G/L = GAS LINE	WM = WATER METER
GM = GAS METER	W/S = WATER SERVICE
GV = GAS VALVE	WW = WINDOW WELL
HC = HEADER CURB	XING = CROSSING
HDR = HEADER	
HDP = HIGH DENSITY POLYETHYLENE	
H/P = HIGH POINT	
HPS = HIGH PRESSURE SODIUM	
HPP = HIGH PRESSURE PIPE FOUND	
INV = INVENTORY	
INST = INSTRUMENT	



SANITARY SEWER TABLE:

① BENCHMARK #1	SAN MH TOP=34.05 INV IN=24.80 (12") (PVC) INV OUT=29.79 (12") (PVC)	SAN MH TOP=36.18 INV IN(0)=26.00 (12") (PVC) INV IN(0)=26.11 (LAT) INV OUT=27.39 (12") (PVC)	SAN MH TOP=34.66 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
② BENCHMARK #2	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
③ BENCH MARK #3	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
④ BENCH MARK #4	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑤ BENCH MARK #5	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑥ BENCH MARK #6	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑦ BENCH MARK #7	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑧ BENCH MARK #8	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑨ BENCH MARK #9	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑩ BENCH MARK #10	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑪ BENCH MARK #11	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑫ BENCH MARK #12	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑬ BENCH MARK #13	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑭ BENCH MARK #14	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.13 (LAT) INV OUT=31.13 (12") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=35.96 INV IN(0)=35.96 (10") INV IN(0)=35.98 (21") INV OUT=31.70 (10") (PVC)	SAN MH TOP=36.00 INV IN(0)=29.32 (LAT) INV IN(0)=29.33 (LAT) INV OUT=27.73 (12") (PVC)	SAN MH TOP=34.24 INV IN(0)=32.02 (LAT) INV IN(0)=32.08 (LAT) INV OUT=31.63 (4")	SAN MH TOP=36.00 INV IN(0)=28.00 (LAT) INV OUT=28.94 (12") (PVC)
⑮ BENCH MARK #15	SAN MH TOP=34.05 INV IN(0)=35.73 (LAT) INV IN(0)=35.74 (21") INV IN(0)=36.14 (PVC) INV IN(0)=37.1						



GENERAL PLAN INFORMATION NOTE:
SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET C

N. WASHINGTON ST
SUITE 250
ALEXANDRIA, VA 22314
703.549.6422
www.rcfassoc.com

PLANNING
/ING

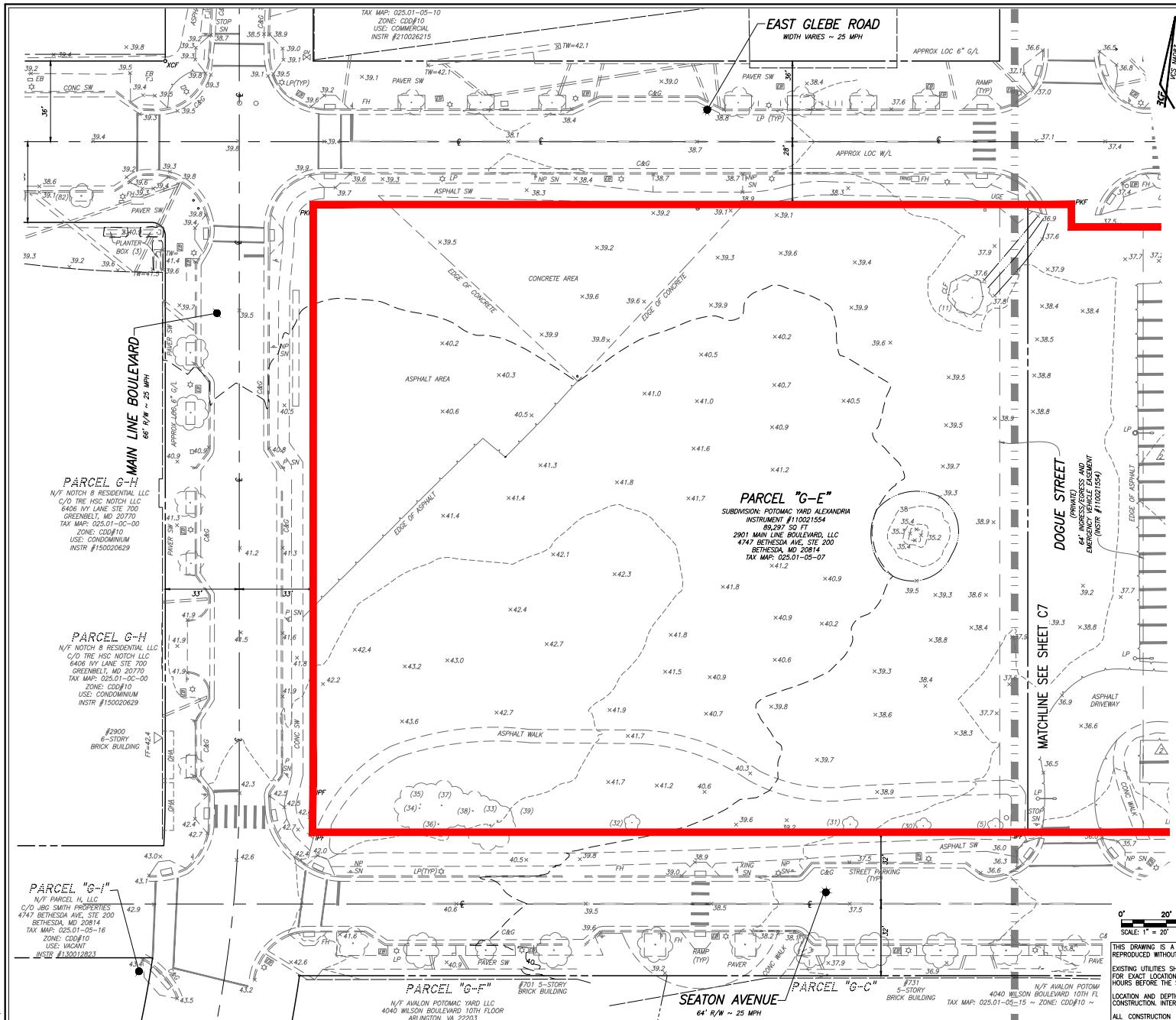


**PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
POTMAC AVENUE & 2801 MAIN LINE BOUL
CITY OF ALEXANDRIA, VIRGINIA**

APPROVED			
SPECIAL USE PERMIT NO. _____			
DEPARTMENT OF PLANNING & ZONING			
DIRECTOR		DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN NO. _____			
DIRECTOR		DATE	
ENVIRONMENTAL PLANNING COMMISSIONER DATE			
DATE RECORDED _____			
HELDERS NO.		DEED BOOK NO.	DATE
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END UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO THE WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.			
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EXI
CON
(2)

SHEET C5 OF 2
FILE: 22-12



GENERAL PLAN INFORMATION NOTE:
SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET 1



— CONTAMINATED SOIL AREAS

RCF 625 N WASHINGTON ST
SUITE 250 ALEXANDRIA, VA 22314
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LAND SURVEYING
ENGINEERING



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CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: 1"=20'
DATE: SEPT, 2025

ONSITE SOIL
CONTAMINATION
MAP
(1 OF 2)

SHEET C6 OF 29
FILE: 22-125

SCALE: 1" = 20'

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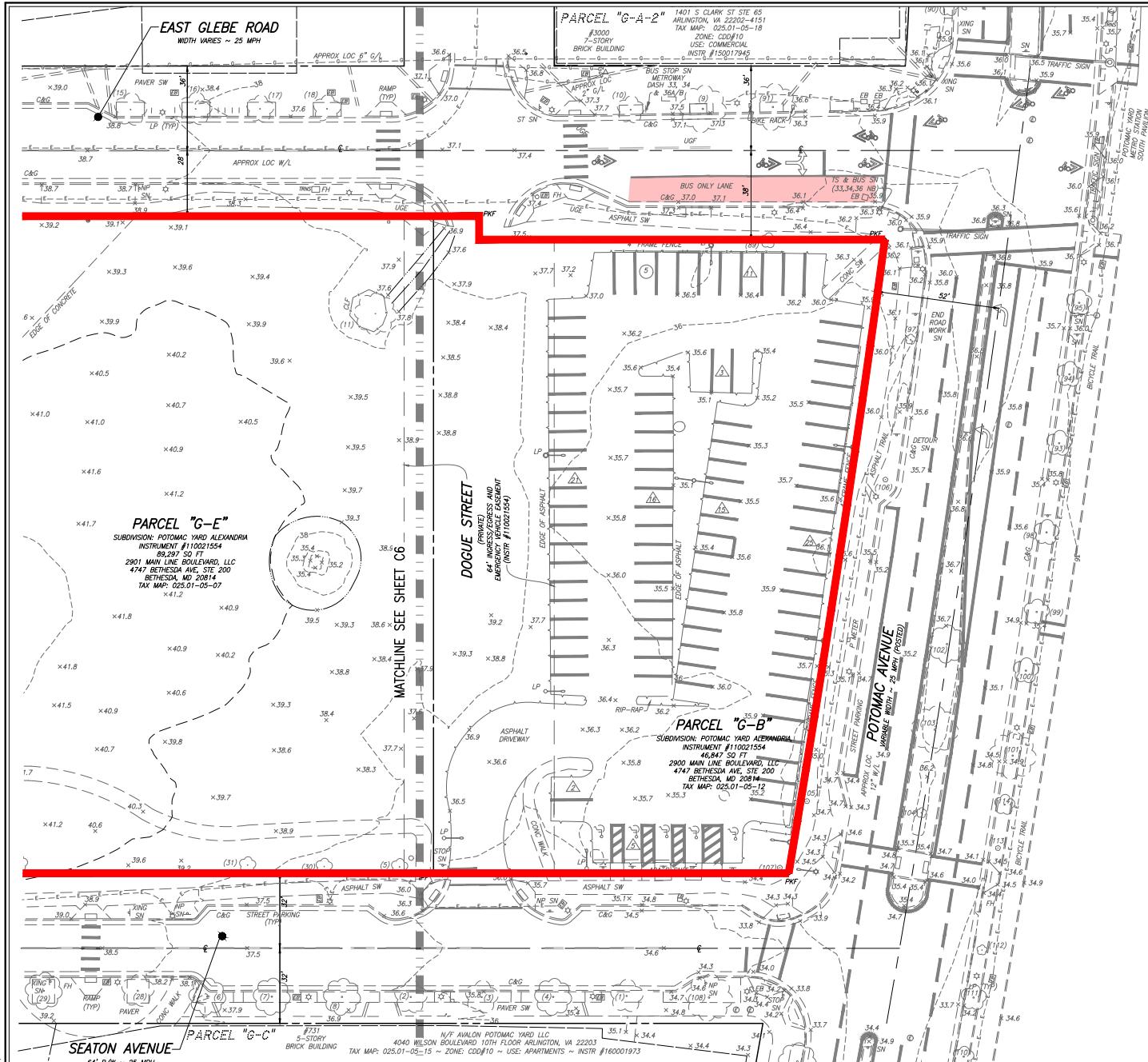
HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND
CONSTRUCTION
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR DATE

CITY PLANNING COMMISSION DATE

PERMIT NO. PERMIT BOOK NO. DATE

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SCALE: 1"=20'
DATE: SEPT, 2025

ONSITE SOIL
CONTAMINATION
MAP
(2 OF 2)

SHEET C7 OF 29

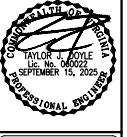
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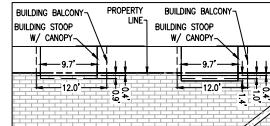
DATE REVISION

DESIGN: ARO
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SCALE: 1"=20'
DATE: SEPT, 2025

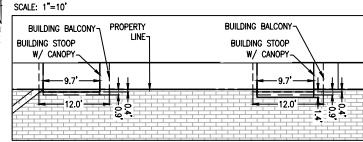
PRELIMINARY
PLAN
(1 OF 2)

SHEET C8 OF 29
FILE: 22-125

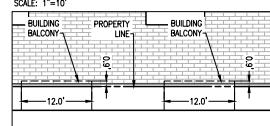
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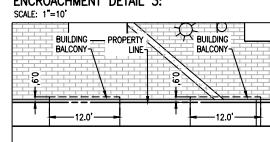
ENCROACHMENT DETAIL 1:



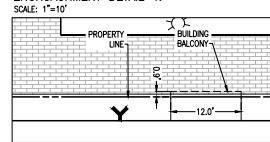
ENCROACHMENT DETAIL 2:



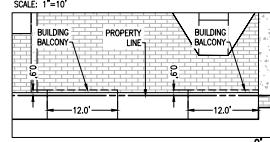
ENCROACHMENT DETAIL 3:



ENCROACHMENT DETAIL 4:



ENCROACHMENT DETAIL 5:



ENCROACHMENT DETAIL 6:



MATCHLINE SEE SHEET C9

APPROVED	SPECIAL USE PERMIT NO.
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DIRECTOR	DATE
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SITE PLAN NO.	
DIRECTOR	DATE
CHARLOTTESVILLE PLANNING COMMISSION	DATE
PERMITTING NO.	DATE
KEEP BOOK NO.	DATE

NOTE: ALL PROPOSED STREET ENCROACHMENTS ARE PERMITTED PER CODE SECTION 5-2-29.

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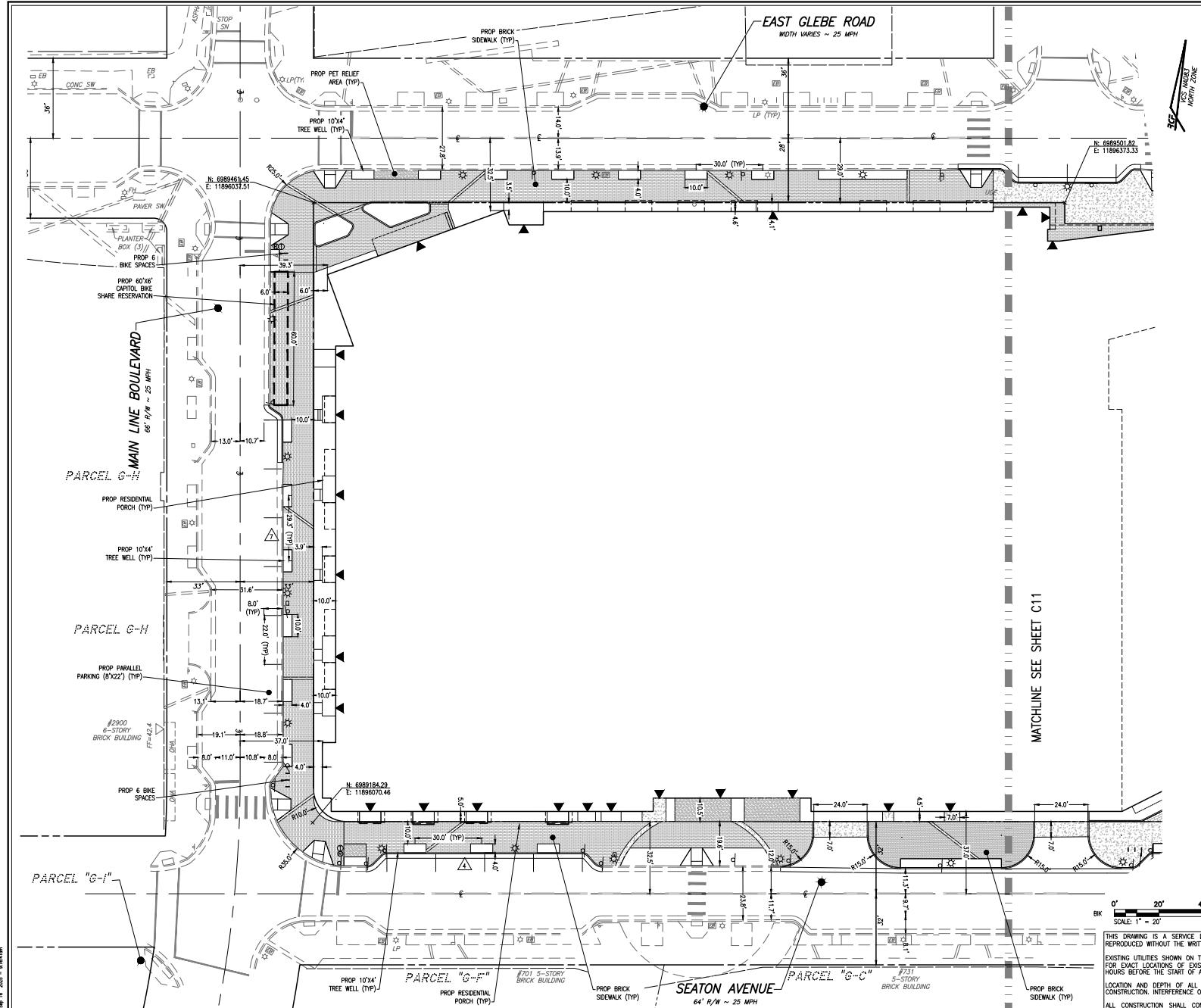
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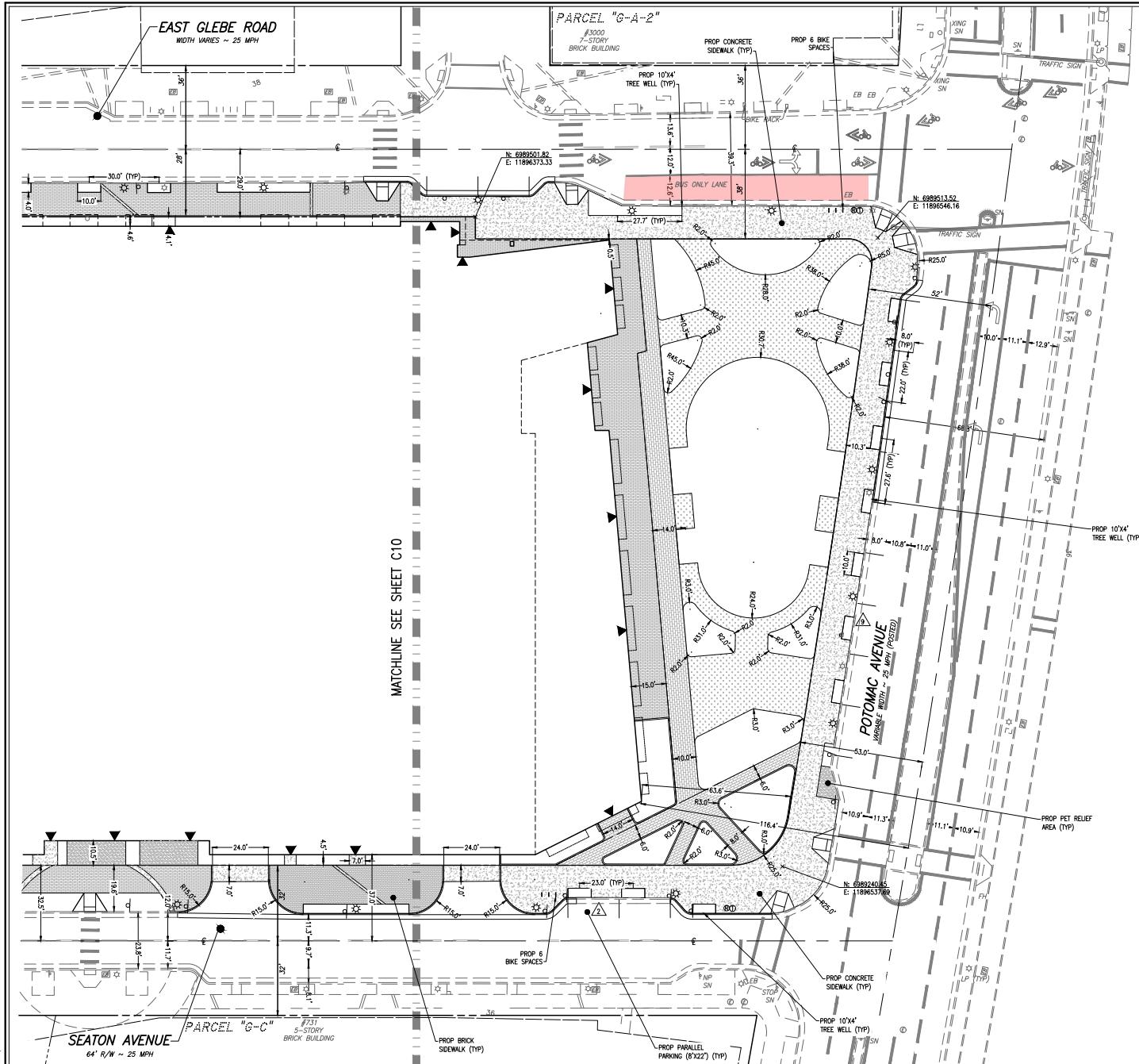
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DATE REVISION

DESIGN: ARO
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DATE: SEPT, 2025

SITE DIMENSIONS & STREETSCAPE PLAN
(1 OF 2)

Sheet C10 of 29
FILE: 22-125



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DIRECTOR _____ DATE _____

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CHARLES PLANNING COMMISSION
DATE RECORDED _____
PERMIT NO. _____ FILE NO. _____ DATE _____
SCALE: 1" = 20'

0' 20' 40'

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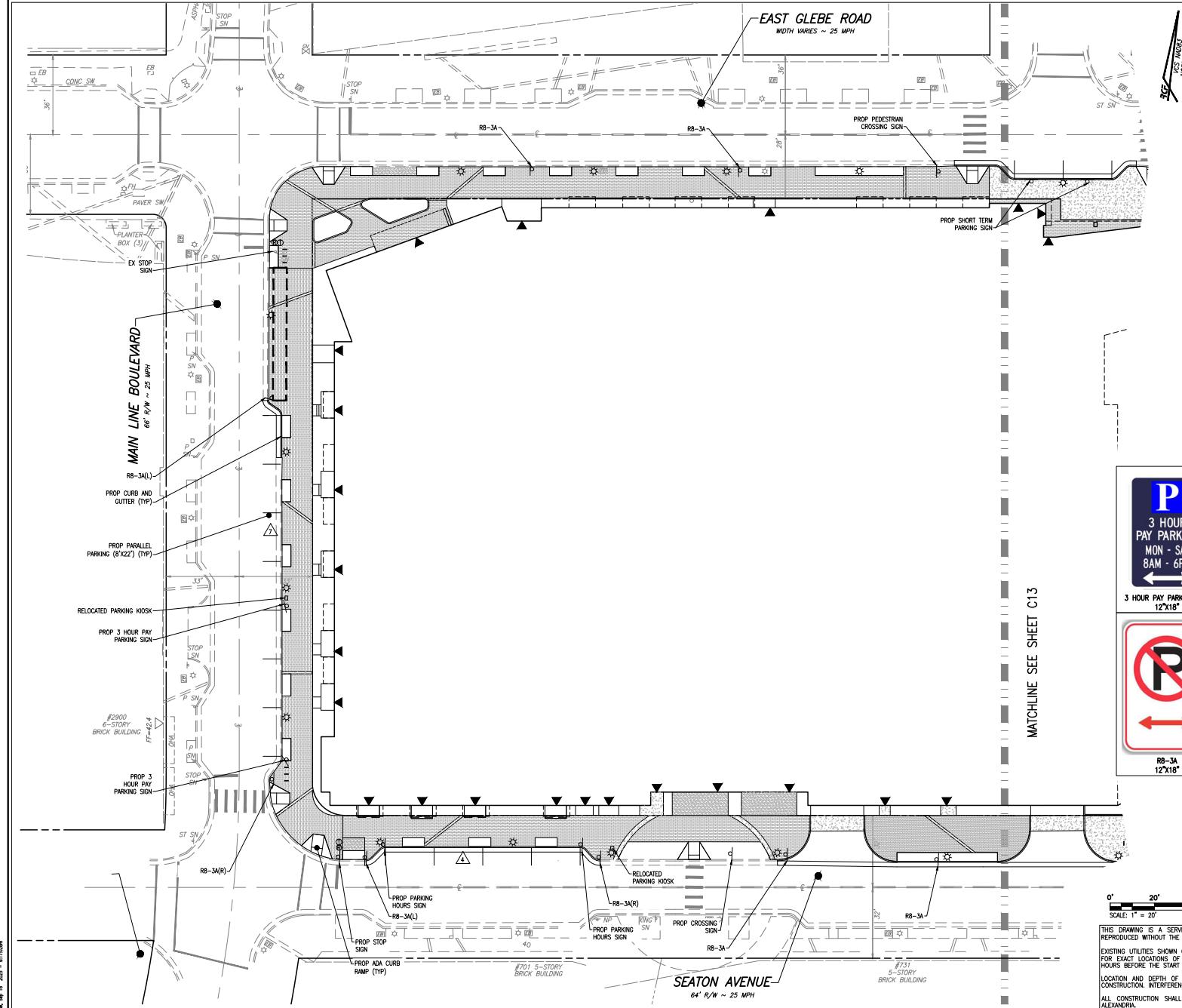
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FILE: 22-125



GENERAL PLAN INFORMATION NOTE:
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PAVEMENT MARKING SPECIFICATIONS:
ALL PROPOSED PAVEMENT MARKINGS TO BE DELINEATED WITH HIGH QUALITY, WHITE, TRAFFIC-RATED PAINT. PARKING SPACE LENGTHS, EDGE STRIPES, AND END MARKERS TO BE A MINIMUM OF FOUR (4) INCHES IN WIDTH AND TO THE LENGTHS SHOWN. CROSSWALK STRIPPING TO BE A MINIMUM OF SIX (6) INCHES IN WIDTH AND TO THE LENGTHS SHOWN.



PEDESTRIAN CROSSING SIGN (W11-2)
NOT TO SCALE



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DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHARLTON PLANNING COMMISSION	DATE
DATE RECORDED _____	
PERMITTING NO. _____	ISSUED BY NO. _____
SCALE: 1" = 20'	
0' 20' 40'	
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SIGNAGE PLAN (1 OF 2)

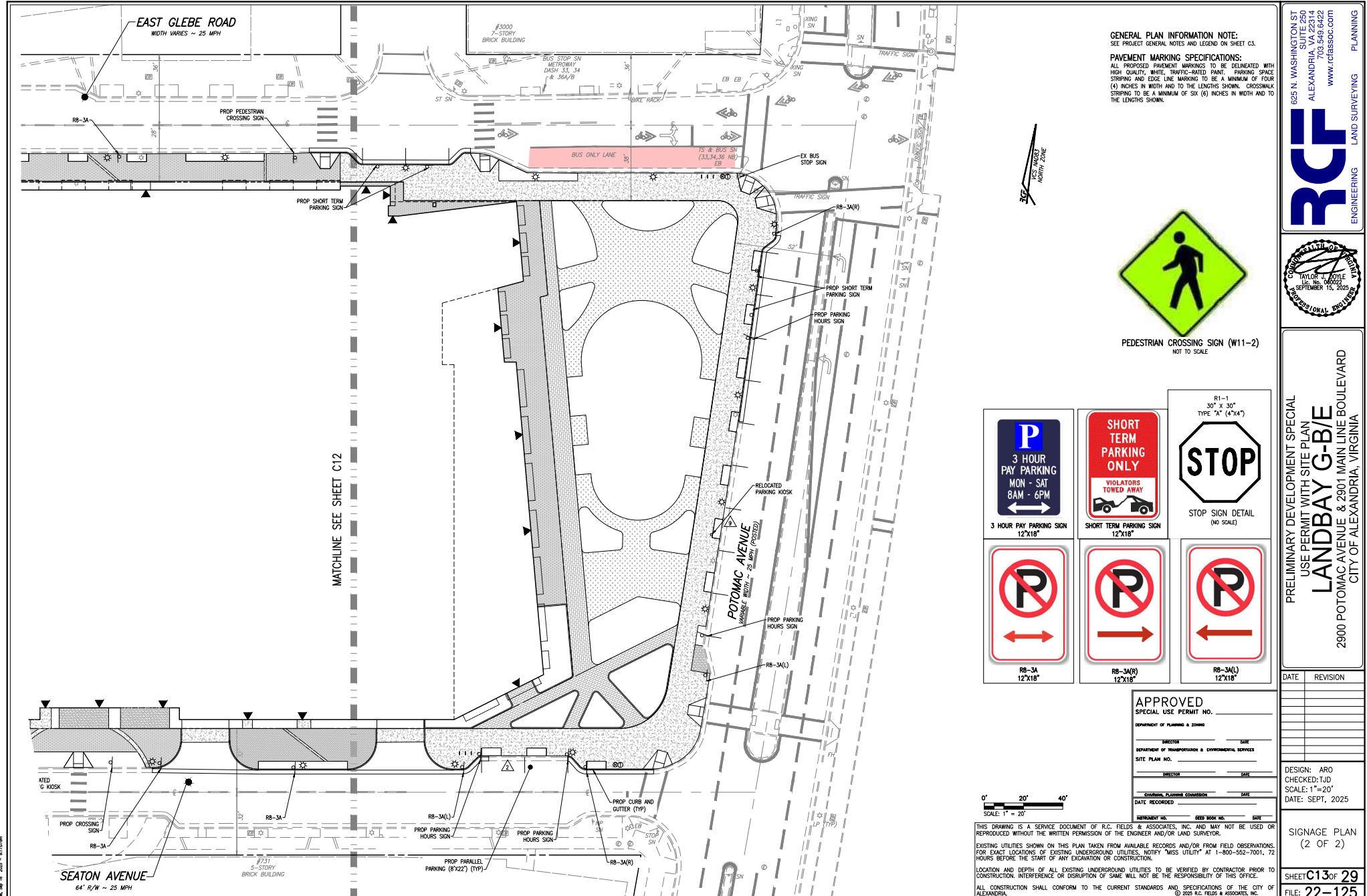
SHEET C12 OF 29

FILE: 22-125

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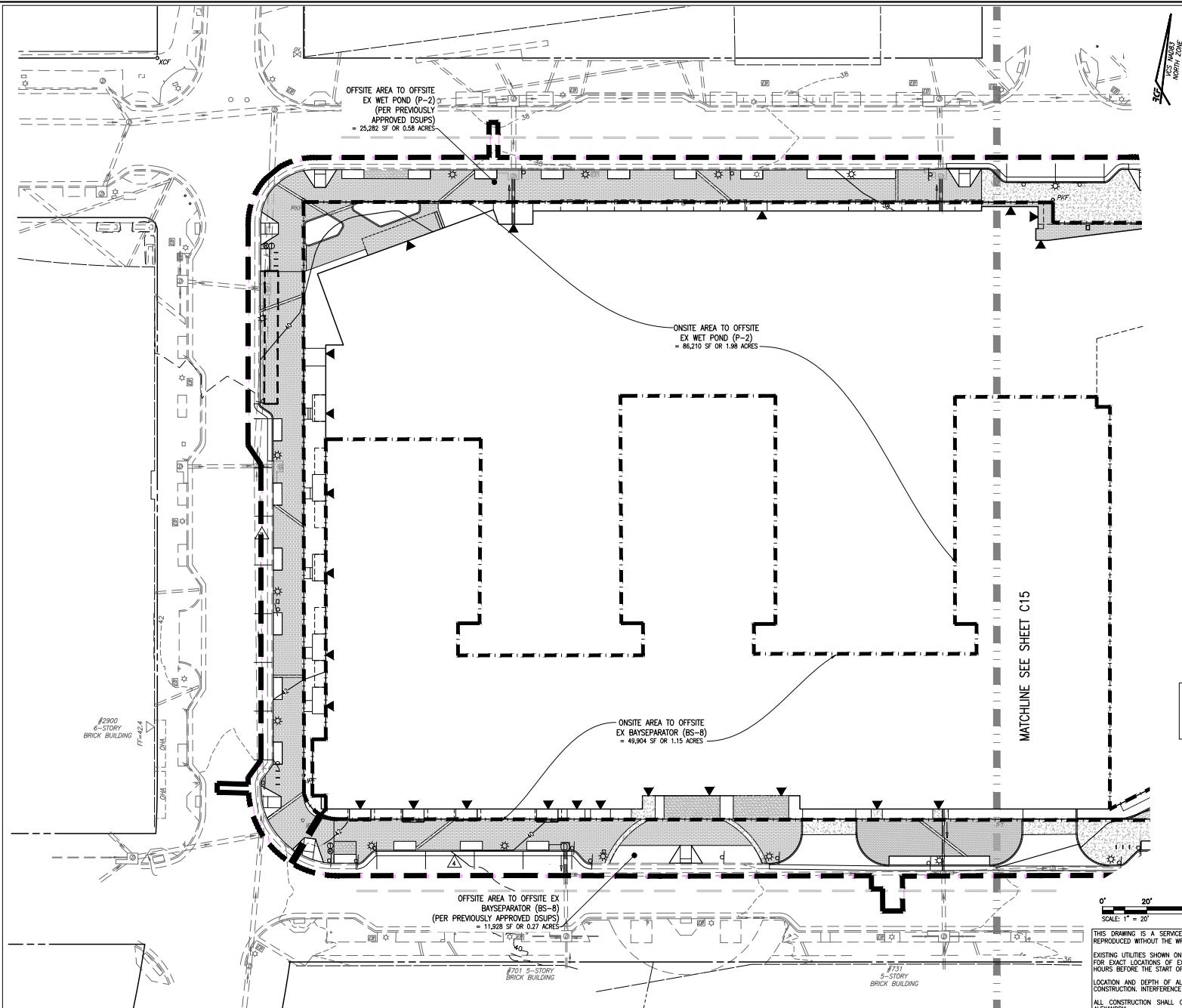
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CITY OF ALEXANDRIA, VIRGINIA

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DESIGN: A.R.O.
CHECKED: T.J.D.
SCALE: 1"=20'
DATE: SEPT, 2025

STORMWATER
MANAGEMENT
PLAN
(1 OF 2)

SHEET C14 OF 29
FILE: 22-125



Project Name: LBG B&E Option 2
Date: 7/24/2025
Linear Development Project? No

CLEAR ALL
(Ctrl+Shift+R)

data input cells
constant values
calculation cells
final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 3.94

Maximum reduction required:	20%
The site's net increase in impervious cover (acres):	0
Post-Development TP Load Reduction for Site (lb/yr):	0.67

Pre-ReDevelopment Land Cover (acres)			
A Soils	B Soils	C Soils	D Soils
Forest (acres) - undisturbed, protected forest or unbroken land			0.00
Mixed Open (acres) - undisturbed/infrequently disturbed, open land			0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be moved/managed		0.27	0.27
Impervious Cover (acres)		3.67	3.67
			3.94

Post-Development Land Cover (acres)

A Soils	B Soils	C Soils	D Soils
Forest (acres) - undisturbed, protected forest or unbroken land			0.00
Mixed Open (acres) - undisturbed/infrequently disturbed, open land			0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be moved/managed		0.42	0.42
Impervious Cover (acres)		3.52	3.52
Area Check	OK.	OK.	OK.
			3.94

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr) 0.67

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr) 47.72

Final Post-Development TN Load 47.21

LAND COVER SUMMARY – PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Untd.	Adjusted
Forest Cover (acres)	0.00	0.00
Weighted Forest	0.00	0.00
Weighted Turf (acres)	0.27	0.27
% Forest	0%	0%
Mixed Open Cover (acres)	0.00	0.00
Weighted Turf (mixed)	0.00	0.00
Weighted Loading Rate(mixed)	0.00	0.00
% Mixed Open	0%	0%
Managed Turf Cover (acres)	0.27	0.27
Weighted Turf(mixed)	0.25	0.25
Weighted Loading Rate(turf)	0.85	0.85
% Managed Turf	7%	7%
Impervious Cover (acres)	3.67	3.67
Weighted Turf (imper)	0.55	0.55
Weighted Loading Rate(imper)	0.56	0.56
% Impervious	93%	93%
Total Site Area (acres)	3.94	3.94
TN	0.90	0.90

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.296	0.2963
Pre-ReDevelopment Treatment Volume (cubic feet)	12,906	12,906
Pre-ReDevelopment TP Load (lb/yr)	3.38	3.38
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	0.86	0.86
Residue TP Load (lb/yr)	0.00	0.00
(0.24 lb/acre/yr applied to pre-development area including pervious land prepared for new impervious cover)	1.02	

* Adjusted Land Cover Summary:
Pre-ReDevelopment land cover minus pervious land cover (forest, mixed open or managed turf).
Coverage proposed for new impervious cover.

** Adjusted TP load a constant with Post-ReDevelopment concept (minus increase of new impervious cover).

Column 3 shows load reduction requirement for new impervious cover (based on new development load limit, 0.24 lb/acre/yr).

LAND COVER SUMMARY – POST DEVELOPMENT

Land Cover Summary-Post (Final)		
Post-ReDevelopment	& New Impervious	
Forest Cover (acres)	0.00	
Weighted Forest	0.00	
Weighted Turf (acres)	0.00	
% Forest	0%	
Mixed Open Cover (acres)	0.00	
Weighted Turf (mixed)	0.00	
% Mixed Open	0%	
Managed Turf Cover (acres)	0.42	
Weighted Turf (turf)	0.25	
Wgt. Ld. Rate(turf)	0.85	
% Managed Turf	11%	
Impervious Cover (acres)	3.52	
Weighted Turf (imper)	0.55	
Weighted Loading Rate(imper)	0.56	
% Impervious	89%	
Total Site Area (acres)	3.94	
TN	0.87	

Treatment Volume and Nutrient Load

Post-ReDevelopment Treatment Volume (acre-ft)	0.2874
Post-ReDevelopment Treatment Volume (cubic feet)	12,517
Post-ReDevelopment TP Load (lb/yr)	3.38
Post-ReDevelopment TP Load per acre (lb/acre/yr)	0.86
Residue TP Load (lb/yr)	0.00

Max. Residue Required (Residue per ReDevelopment Load)

20%

TP Load Reduction Required for New Impervious Area (lb/yr)	0.67
	0

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv	Composite Loading P
Forest (acres)					0.00	0.00	0.00
Mixed Open (acres)					0.00	0.00	0.00
Managed Turf (acres)					0.35	0.25	0.85
Impervious Cover (acres)					2.18	0.95	0.86

Total 2.52

Practice	Runoff Reduction Credit (%)	Mixed Open Credit Area (acres)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)
13-Wet Pond (no Rv)	0	0.35	2.18	0	7,822	7,822	50	0.00	2.16	1.08	1.08	

Total Phosphorus Available for Removal in D.A. (lb/yr)		2.16
Post Development Treatment Volume in D.A. (ft³)		7,822
Runoff Reduction (ft³)	7,822	
Untreated Phosphorus Load (lb)		
Phosphorus Removed by Practice (lb)		
Downstream Practice to be Employed		

Site Results (Water Quality Compliance) VRM 4.1, 2024
Area Checked
D.A. A
D.A. B
D.A. C
D.A. D
D.A. E
AREA CHECK
MIXED OPEN (all)
MANAGED TURF AREA TREATED (all)
MANAGED TURF AREA TREATED (all)
IMPERVIOUS COVER (all)
IMPERVIOUS COVER TREATED (all)
AREA CHECK

Site Treatment Volume (ft³)

22,575

Runoff Reduction Volume and TP Drainage Area	
D.A. A	D.A. B
D.A. C	D.A. D
D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft³)	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	2.16
TP LOAD REDUCTION ACHIEVED (lb/yr)	1.22
TP LOAD REMAINING (lb/yr)	0.94
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	8.99

** TANDEM TP LOAD EXCEEDED BY 0.41 LB/YEAR **

Total Nitrogen (For Informational Purpose)

POST-DEVELOPMENT LOAD (lb/yr)

NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)

REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)

STORMWATER QUALITY NARRATIVE (CITY ZONING ORDINANCE SECTION 13-109E COMPLIANCE):

THE PROPOSED RE-DEVELOPMENT IS LOCATED IN THE CITY OF ALEXANDRIA, WHICH IS SUBJECT TO A 20% DECREASE IN IMPERVIOUS AREA FROM PRE-DEVELOPMENT CONDITIONS PER CITY ZONING ORDINANCE SECTION 13-109E-(5)(a). THE DEVELOPMENT OF PRIOR DEVELOPED LANDS RESULTING IN A 20% DECREASE IN IMPERVIOUS AREA AND DISTURBING GREATER THAN 1 ACRE, MUST RESULT IN A 20% DECREASE IN PHOSPHORUS LOADING FROM THE PRE-DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORMWATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. THE EXISTING WET POND P-2 IS UTILIZED TO PROVIDE WATER QUALITY TREATMENT FOR THIS SITE. THIS WILL RESULT IN A REDUCTION OF 1.08 LB/YEAR PHOSPHORUS LOAD, WHICH IS MORE THAN 100% OF THE REQUIRED TOTAL PHOSPHORUS REDUCTION OF 0.67 LB/YEAR. THE PROPOSED RE-DEVELOPMENT EXCEEDS THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER ZONING ORDINANCE CODE SECTION 13-109E-(5)(a) HAVE BEEN MET.

IN ADDITION, 100% OF ON-SITE IMPERVIOUS AREA IS PROPOSED TO BE TREATED WITH THIS DEVELOPMENT, WHICH MEETS THE ENTIRETY OF THE WATER QUALITY DEFAULT VOLUME/TREATMENT STANDARDS IN SECTION 13-110 OF THE ZONING ORDINANCE. THEREFORE, THIS PLAN IS IN COMPLIANCE WITH CITY ZONING ORDINANCE SECTION 13-109E-(5) AND SECTION 13-110.

APPROVED SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARLTON PLANNING COMMISSION _____ DATE _____

DATE REC'D. _____

PERMIT NO. _____ DATE _____

KEEP BOOK NO. _____ DATE _____

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STORMWATER QUALITY COMPUTATIONS SHEET C17 of 29 FILE: 22-125

RCF PLANNING LAND SURVEYING



TAYLOR J. COYLE
SEPT 15, 2025
CONTRACTOR APPROVED

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
CHECKED: TJD
SCALE: 1"=20'
DATE: SEPT, 2025

STORMWATER QUALITY COMPUTATIONS



STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

PRE-DEVELOPMENT CONDITIONS:

The 3.13 acre project area is located in the Four Mile Run (Potomac Yard) watershed. In existing conditions, the site's current improvements consist of a parking lot and asphalt and concrete sidewalk but was previously used as a construction staging area for adjacent sites. Stormwater runoff sheet flows to Potomac Avenue where it is collected by the existing City of Alexandria maintained storm sewer system and directed north within the City of Alexandria maintained storm sewer flowing generally north before ultimately entering Four Mile Run.

POST-DEVELOPMENT CONDITIONS:

This project proposes the construction of a mixed use residential and commercial building, town center green open space, and associated site improvements which will result in an decrease in total on-site impervious area from the previous construction stage area.

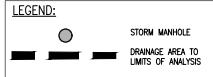
OUTFALL A: A portion of the runoff from the site is collected by the proposed roof drain system and piped to existing City owned and maintained manholes (EX21 & EX23). The remaining runoff in this outfall sheet flows from the site towards the main line maintained manholes (PR1, EX59, & EX5). The receiving pipe is joined by a drainage area at least 90 percent of the size of the first drainage area. The limit of analysis is reached at EX 68 at LEAST 150' downstream of the point of confluence (per section 13-109F-2(g)(c) of the zoning ordinance).

OUTFALL B: A majority of the runoff from the site is collected by the proposed roof drain system and piped to existing City owned and maintained manholes (PR1, EX59, & EX5). The remaining runoff in this outfall sheet flows from the site towards the main line maintained manholes (EX21, EX59, & EX5). The receiving pipe is joined by a drainage area at least 90 percent of the size of the first drainage area. The limit of analysis is reached at EX 68 at LEAST 150' downstream of the point of confluence (per section 13-109F-2(g)(c) of the zoning ordinance).

CONCLUSION:
COMPUTATIONS SHOWN ON THIS SHEET DEMONSTRATE THAT THE EXISTING SYSTEM IS ADEQUATE AND DOES NOT EXPERIENCE EROSION. BUT IS SURCHARGED IN VARIOUS SECTIONS OF THE NETWORK. COMPUTATIONS SHOWN ON SHEET C14 DEMONSTRATE THAT THERE IS A DECREASE IN THE 2 AND 10-YR, 24-HR STORMS WITH THE PROPOSED DEVELOPMENT AS A RESULT OF THE REDUCTION IN IMPERVIOUS AREA. THEREFORE, THE FLOOD PROTECTION AND CHANNEL PROTECTION FOR THE SITE IS IN COMPLIANCE WITH SECTION 13-109F(2)(b)(3) AND 13-109F(1)(c).

PER CITY CODE SECTION 13-109F-2(g)(c), A DRAINAGE SHED BOUNDARY ANALYSIS OF THE SITE OUTFALL IS PROVIDED TO A POINT THAT IS 150' DOWNSTREAM OF A CONFLUENCE POINT WHERE THE RECEIVING PIPE IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA AT LEAST 90 PERCENT OF THE DRAINAGE AREA OF THE DRAINAGE SHED. IN THIS PROJECT, OUTFALL A IS JOINED BY A DRAINAGE AREA AT LEAST 90 PERCENT OF THE DRAINAGE AREA AT STRUCTURES PR1 AND EX59 (POINT OF OUTFALL). THE TOTAL ON SITE DRAINAGE AREA AT STRUCTURES PR1 AND EX59 IS 1.15 AND 1.62 ACRES RESPECTIVELY. RUNOFF THEN CONTINUES NORTH WHERE IT REACHES A POINT OF CONFLUENCE (EX24) WHERE IT DISCHARGES TO A SEWER SYSTEM. THE TOTAL ON SITE DRAINAGE AREA AT STRUCTURES EX21 AND EX23 IS 1.15 AND 1.62 ACRES RESPECTIVELY. RUNOFF THEN CONTINUES NORTH WHERE IT REACHES A POINT OF CONFLUENCE (EX59) WHERE IT DISCHARGES TO A SEWER SYSTEM WITH 12.25 ACRES WHICH IS GREATER THAN THE SUM OF THE DRAINAGE AREAS AT THE POINTS OF CONFLUENCE. THE ANALYSIS CONCLUDES AT STRUCTURE EX8, WHICH IS OVER 150 FEET DOWNSTREAM OF THE POINTS OF CONFLUENCE.

WITH A REDUCTION IN THE POST-DEVELOPMENT RUNOFF RATE FOR THE 2 AND 10-YR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS. IN ADDITION, THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVERIOUS AREAS DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE REDEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF RUNOFF THAT EXIT THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWN-GRADIENT PROPERTIES OR RESOURCES.



10-YR, 24-HR STORM SEWER COMPUTATIONS													
STRUCTURE	FROM	TO	INC. DRAINAGE AREA (AC)	ACCUM. DRAINAGE AREA (AC)	CURVE NUMBER	MANHOLE DEPTH (IN)	T _c (MINUTES)	INCREMENTAL C _f (CFS)	ACCUMULATED C _f (CFS)	Pipe Diameter (in)	SLOPE (%)	"n"	MATERIAL C _f
PR1	EX5	1.15	1.15	98	5.20	5	9.74	5.81	18	2.07%	0.015	13.68	7.44
EX5	EX3	0.68	2.01	92	5.20	5	4.09	5.81	18	1.72%	0.015	12.48	6.73
EX3	EX2	0.00	2.01	92	5.20	5	0.00	9.90	18	1.18%	0.015	10.31	5.61
EX2	EX1	0.00	3.02	92	5.20	5	0.22	14.79	24	0.98%	0.015	12.42	7.24
EX1	EX48	0.90	3.02	92	5.20	5	4.28	14.79	24	0.98%	0.015	15.65	4.78
EX48	EX51	0.90	3.02	92	5.20	5	0.00	14.79	36	0.104%	0.015	61.49	8.36
EX51	EX52	0.00	3.02	92	5.20	5	58.24	72.94	54	0.49%	0.015	144.09	8.70
EX52	EX56	9.23	12.25	92	5.20	5	58.24	72.94	54	0.49%	0.015	123.74	23.56
EX56	EX21	0.48	9.2	5.20	5	1.52	1.52	24	1.00%	0.015	20.43	6.28	29.05
EX21	EX20	0.48	9.2	5.20	5	1.52	1.52	24	0.49%	0.015	14.25	7.46	26.03
EX20	EX24	7.12	7.60	92	5.20	5	1.52	3.04	36	0.19%	0.015	26.11	3.95
EX24	EX23	0.48	7.60	92	5.20	5	1.52	1.52	24	0.49%	0.015	27.22	31.37
EX23	EX24	0.48	0.49	92	5.20	5	1.52	1.52	24	0.49%	0.015	14.25	7.46
EX24	EX25	0.45	8.54	92	5.20	5	1.52	6.08	36	0.93%	0.015	58.31	7.03
EX25	EX26	0.45	8.54	92	5.20	5	1.52	7.60	36	0.52%	0.015	43.41	5.90
EX26	EX20	0.58	9.12	92	5.20	5	1.52	7.60	36	0.52%	0.015	112.01	23.44
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VS 14833
NORTH ZONE

SANITARY SEWER OUTFALL CALCULATIONS:

THERE IS NO EXISTING USE ON THIS SITE. THE AVERAGE DAILY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHODOLOGY PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE RESIDENTIAL WITH AN ADDITIONAL 432 UNITS AND 13,196 SF OF COMMERCIAL SPACE. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

MULTI-UNIT: 300 GPD/UNIT X 432 UNITS = 129,600 GPD OR 0.2005 CFS
COMMERCIAL: 200 GPD/1000 SF X 13,196 SF = 2,639 GPD OR 0.0041 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

132,239 GPD X 4 = 528,957 GPD
0.2046 CFS X 4 = 0.8185 CFS
TOTAL PEAK FLOW = 528,957 GPD OR 0.8185 CFS

SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 132,239 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 528,957 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY NO. 06-14. THE ANALYSIS AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL UTILIZE THREE PROPOSED 10" LATERALS THAT CONNECT INTO THE EXISTING SANITARY SEWER MAIN WITHIN THE EAST GLEBE ROAD, MAIN LINE BOULEVARD, AND SEATON AVENUE RIGHTS-OF-WAY (SEE SHEET C20 & C21). THE SANITARY FLOW IS THEN CONVEYED EAST UNTIL IT ENTERS AN EXISTING 24" SANITARY SEWER AT STRUCTURE 0, PER THE SANITARY SEWER SURVEY DATA. THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE THE DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24". THEREFORE, THE SANITARY SEWER ANALYSIS CONCLUDES AT STRUCTURE 0.

SANITARY SEWER FLOWS FOR ALL STRUCTURES SHOWN HAVE BEEN CALCULATED WITH THIS ANALYSIS AND ARE PROVIDED IN THE INCREMENTAL SANITARY SEWER FLOW CALCULATIONS BELOW.

INCREMENTAL SANITARY SEWER FLOW CALCULATIONS:

BLD #	USE	DESIGN FLOW UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWS TO	
SITE	MULTI-UNIT	300 SF	EA	432	129,600	5,400	0.2005	H	
SITE	COMMERCIAL	200 SF	EA	13,196	2,639	110	0.0041	H	
1	OFFICE	200 SF	EA	499,776	99,955	4,165	0.1547	Q	
2	MULTI-UNIT	300 SF	EA	253	75,900	3,163	0.1174	F	
2	COMMERCIAL	200 SF	EA	70,562	14,112	588	0.0218	0.0873	F
3	MULTI-UNIT	300 SF	EA	112	33,600	1,400	0.0520	0.2080	C
4	MULTI-UNIT	300 SF	EA	211	63,300	2,638	0.0979	0.3918	B
5	MULTI-UNIT	300 SF	EA	88	26,400	1,100	0.0408	0.1634	F
TOTAL		445,507		18,563	0.6893		2.7574		

SANITARY SEWER OUTFALL CALCULATIONS:

STRUCTURE	FACILITY ID	FROM	TO	SOURCE	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"n"	MAXIMUM "Q" (CFS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	
Q	H	008344SSMH	008345SSMH	SURVEY	0.6187	0.619	10	0.89%	PVC	0.010	2.81	4.94	112.23	32.70	31.70	1.00
H	G	008345SSMH	008164SSMH	SURVEY	0.0185	1.437	10	0.88%	PVC	0.010	2.79	4.92	34.02	31.70	31.40	0.30
G	F	008164SSMH	008165SSMH	SURVEY	0.0000	1.437	12	1.25%	PVC	0.010	5.41	6.61	90.35	31.13	30.00	1.13
F	E	008165SSMH	008166SSMH	SURVEY	0.7205	2.158	12	0.44%	PVC	0.010	3.21	3.93	151.52	29.79	29.12	0.67
E	D	008166SSMH	008167SSMH	SURVEY	0.0000	2.158	12	0.84%	PVC	0.010	4.43	5.42	141.80	28.94	27.75	1.19
D	C	008167SSMH	008338SSMH	SURVEY	0.0000	2.158	12	0.43%	PVC	0.010	3.18	3.89	69.28	27.73	27.43	0.30
C	B	008338SSMH	008339SSMH	SURVEY	0.2080	2.366	12	0.50%	PVC	0.010	3.40	4.16	280.77	27.39	26.00	1.39
B	A	008339SSMH	008340SSMH	SURVEY	0.3918	2.757	12	0.72%	PVC	0.010	4.10	5.02	151.50	25.89	24.80	1.09
A	P	008340SSMH	008297SSMH	SURVEY	0.0000	2.757	12	0.66%	PVC	0.010	3.92	4.79	47.25	24.65	24.34	0.31
P	O	008297SSMH	007682SSMH	SURVEY	0.0000	2.757	12	1.18%	PVC	0.010	5.24	6.41	22.10	24.30	24.04	0.26

SEE SHEET C3 FOR SANITARY SEWER SURVEY DATA

APPROVED
SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARLES PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

PERMIT NO. _____ PERMIT BOOK NO. _____ DATE _____

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FIELD OBSERVATIONS.
FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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SHEET C19 of 29

FILE: 22-125

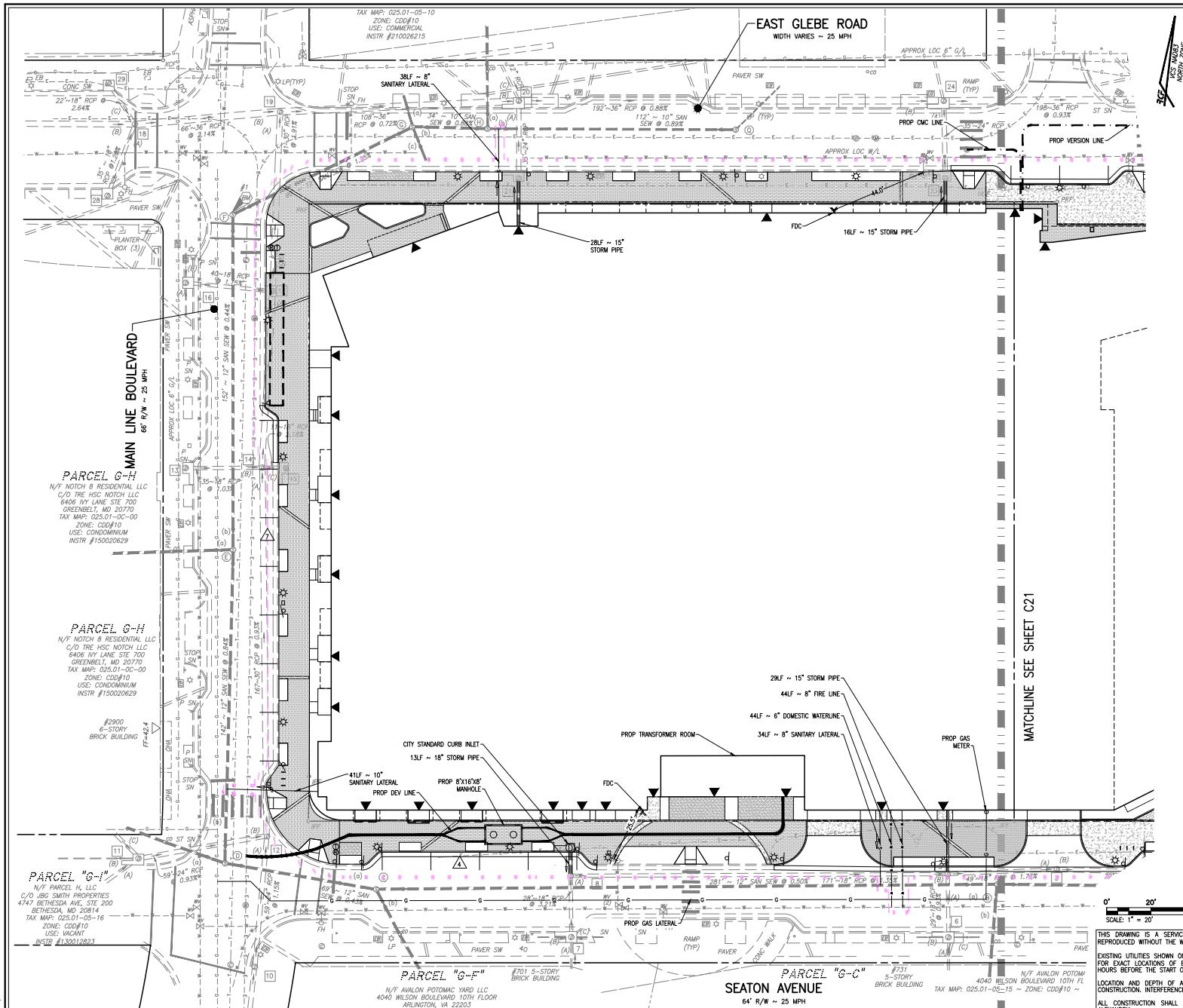


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DATE REVISION

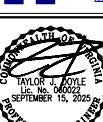
DESIGN: A.R.O.
CHECKED: J.D.
SCALE: 1"=100'
DATE: SEPT, 2025

SANITARY SEWER
OUTFALL
ANALYSIS



GENERAL PLAN INFORMATION NOTE:
SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET C3

PLANNING
N. WASHINGTON ST
SUITE 250
ALEXANDRIA, VA 22314
703.549.6422
www.rcfassoc.com



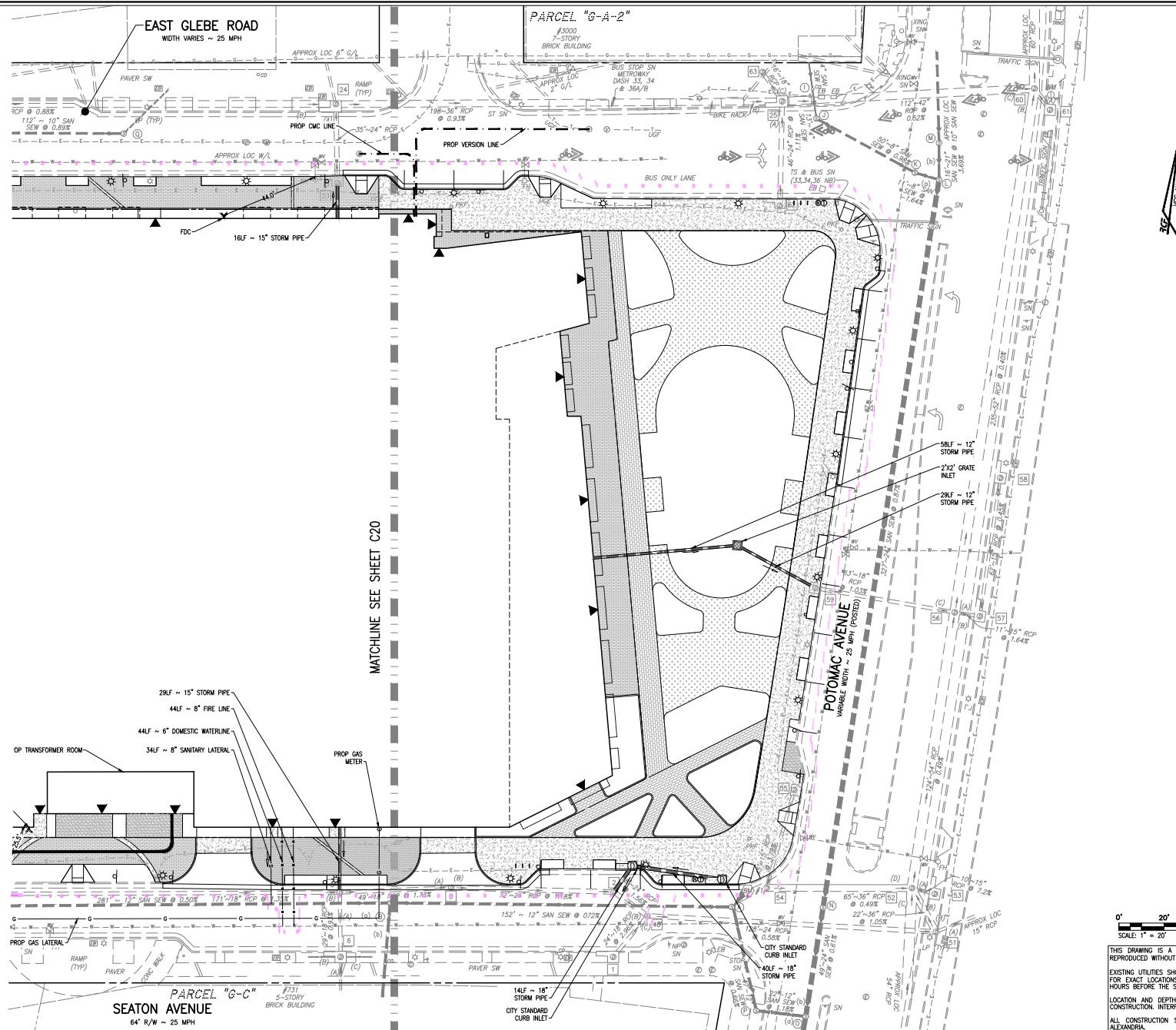
**PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY C-B/E**

DATE REVISION

DESIGN: ARO
CHECKED: TJD
SCALE: 1"=20'
DATE: SEPT, 2025

UTILITY PLAN
(1 OF 2)

SHEET C20 OF 29
FILE: 22-125



GENERAL PLAN INFORMATION NOTE:
SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET C3.

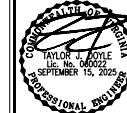
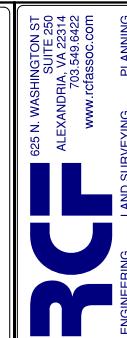
PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: 1"=20'
DATE: SEPT, 2025

UTILITY PLAN
(2 OF 2)

SHEET C21 OF 29
FILE: 22-125



APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHARLAM PLANNING COMMISSION	
DATE RECORDED	DATE APPROVED
PERMIT NO.	PERMIT BOOK NO.

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HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO
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625 N. WASHINGTON ST.
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703.549.6322

LAND SURVEYING

PLANNING



PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

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CHAMBER PLANNING COMMISSION
DATE RECORDED:

PERMIT NO. FILE NUMBER DATE

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

DIRECTOR DATE
CHARLTON PLANNING COMMISSION DATE

PERMIT NO. FILE NUMBER DATE

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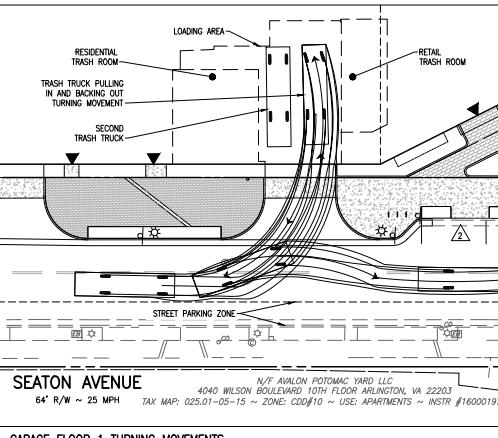
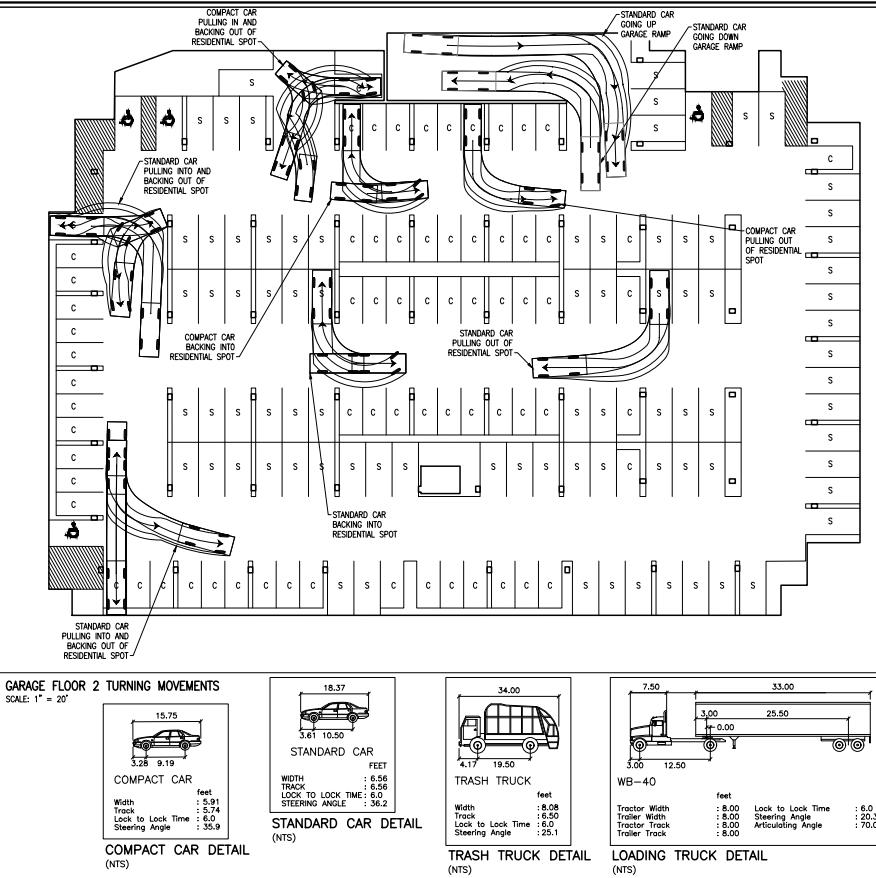
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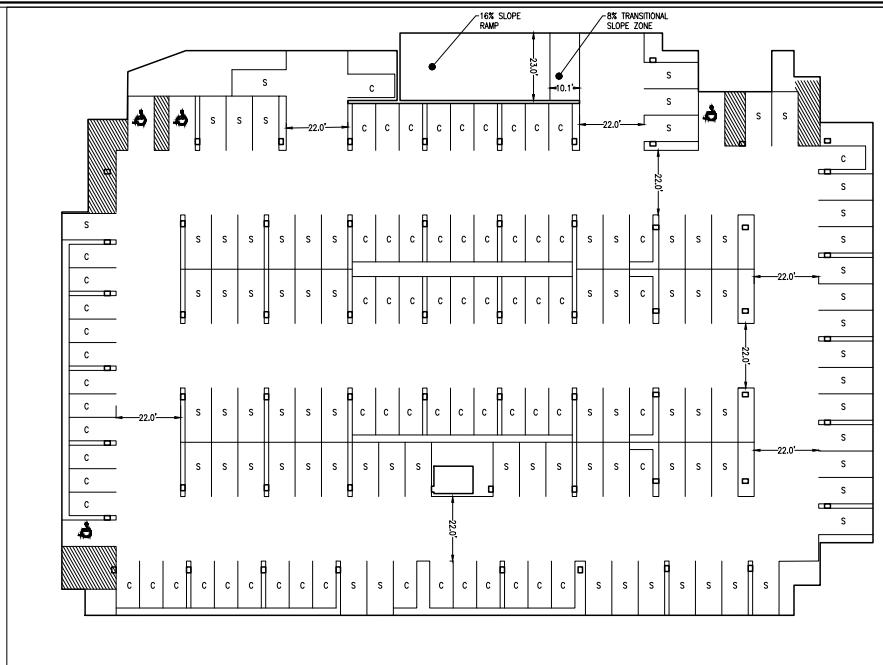
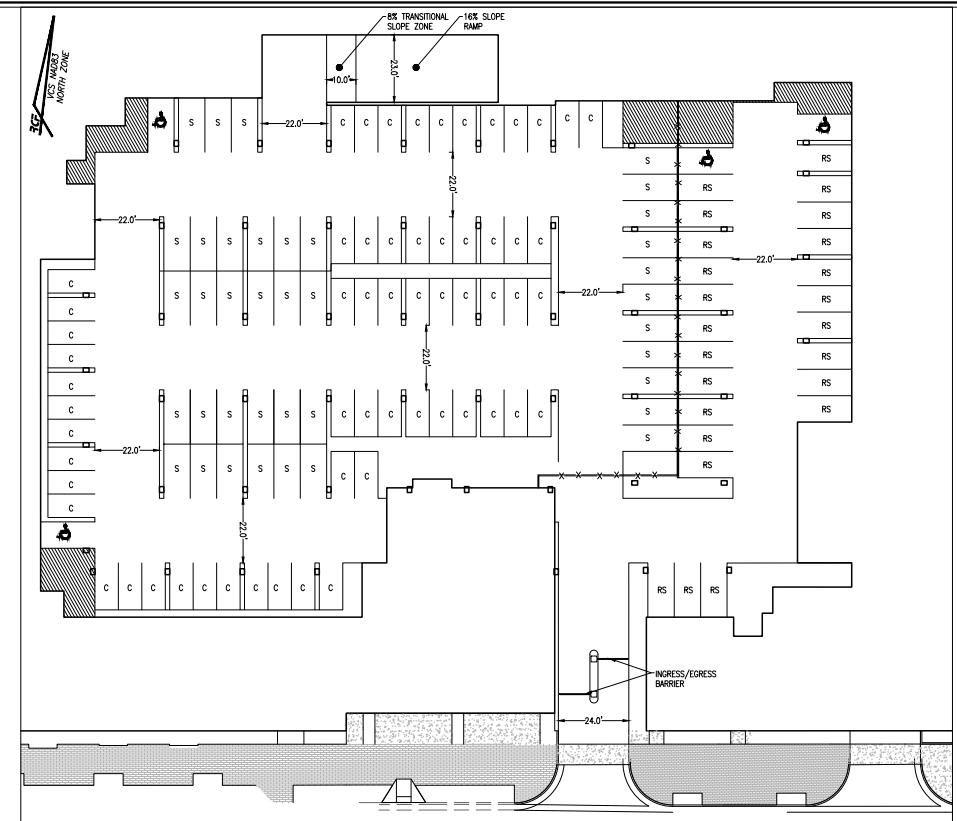
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FILE: 22-125





LEGEND:
 S = RESIDENTIAL STANDARD SPACE (9' x 18')
 C = RESIDENTIAL COMPACT SPACE (8' x 16')
 RS = RETAIL STANDARD SPACE (9' x 18.5')
 ADA = ADA PARKING SPACE (9' x 18.5')

APPROVED
 SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CITY PLANNING COMMISSION _____ DATE _____

CHARLIE PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

PERMIT NO. _____ FILE NO. _____ DATE _____

0' 20' 40'

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LAND SURVEYING

PRELIMINARY DEVELOPMENT SPECIAL
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LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: 1"=20'
DATE: SEPT, 2025

GARAGE LAYOUT

SHEET C22A OF 29

FILE: 22-125



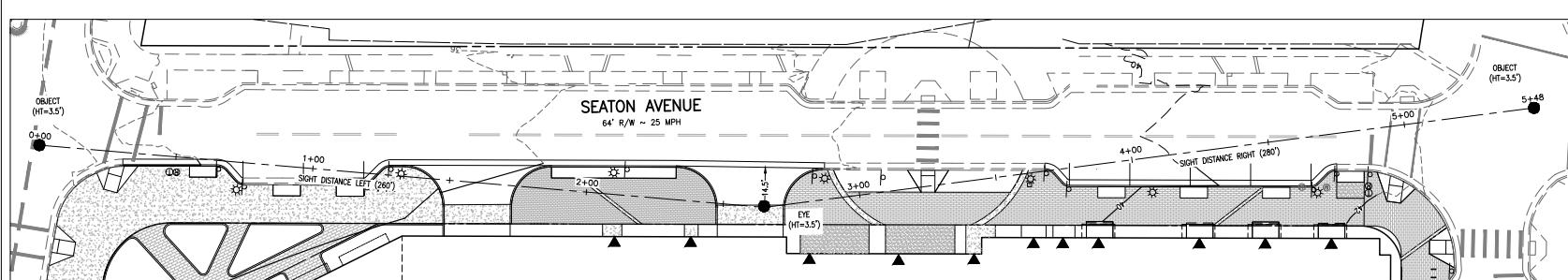
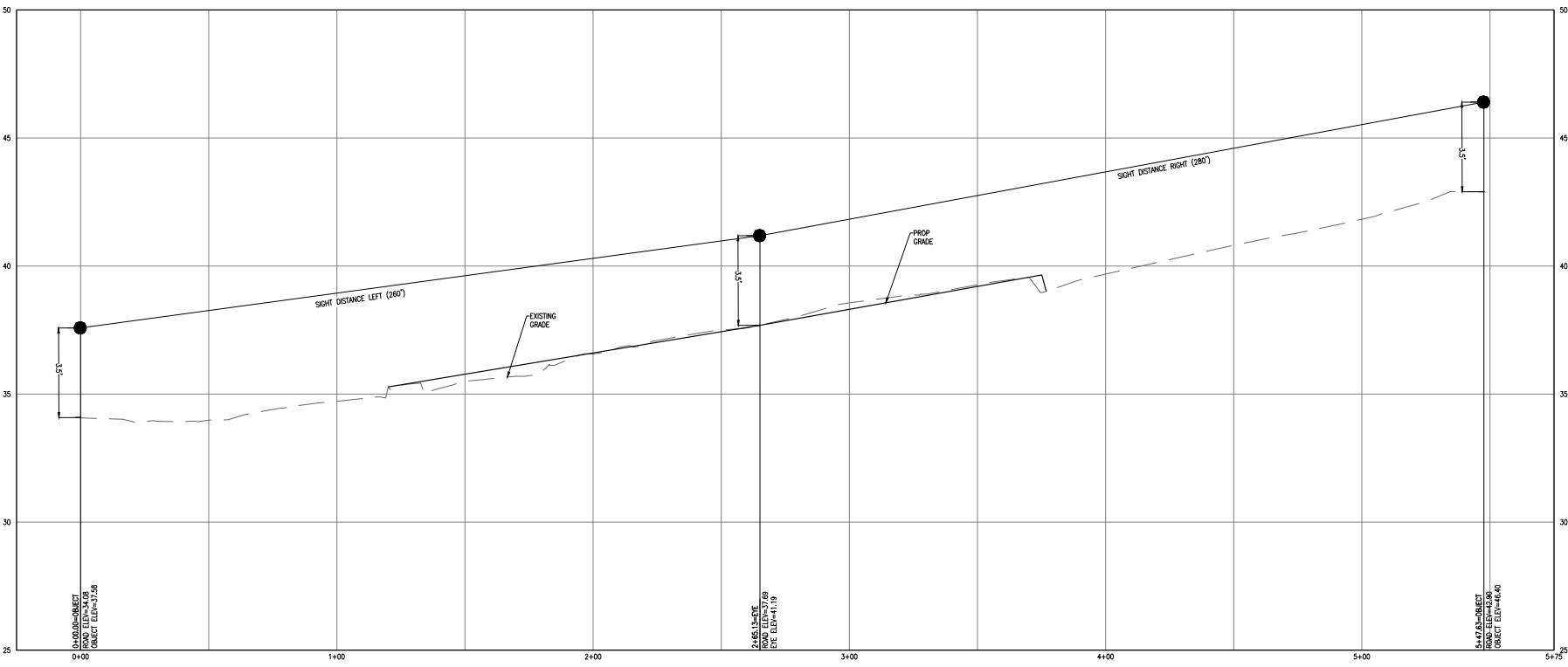
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2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
CHECKED:TJD
SCALE: AS NOTED
DATE: SEPT, 2025

SIGHT DISTANCE
PLAN AND
PROFILE
(1 OF 2)

FILE: C23 OF 29
22-125



GARAGE ENTRANCE SIGHT DISTANCE PLAN VIEW
SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'
HORIZONTAL SCALE: 1" = 20'
PLAN VIEW
SCALE: 1" = 20'

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CITY PLANNING COMMISSION DATE

DATE REC'D.

PERMIT NO. FILE BOOK NO. DATE

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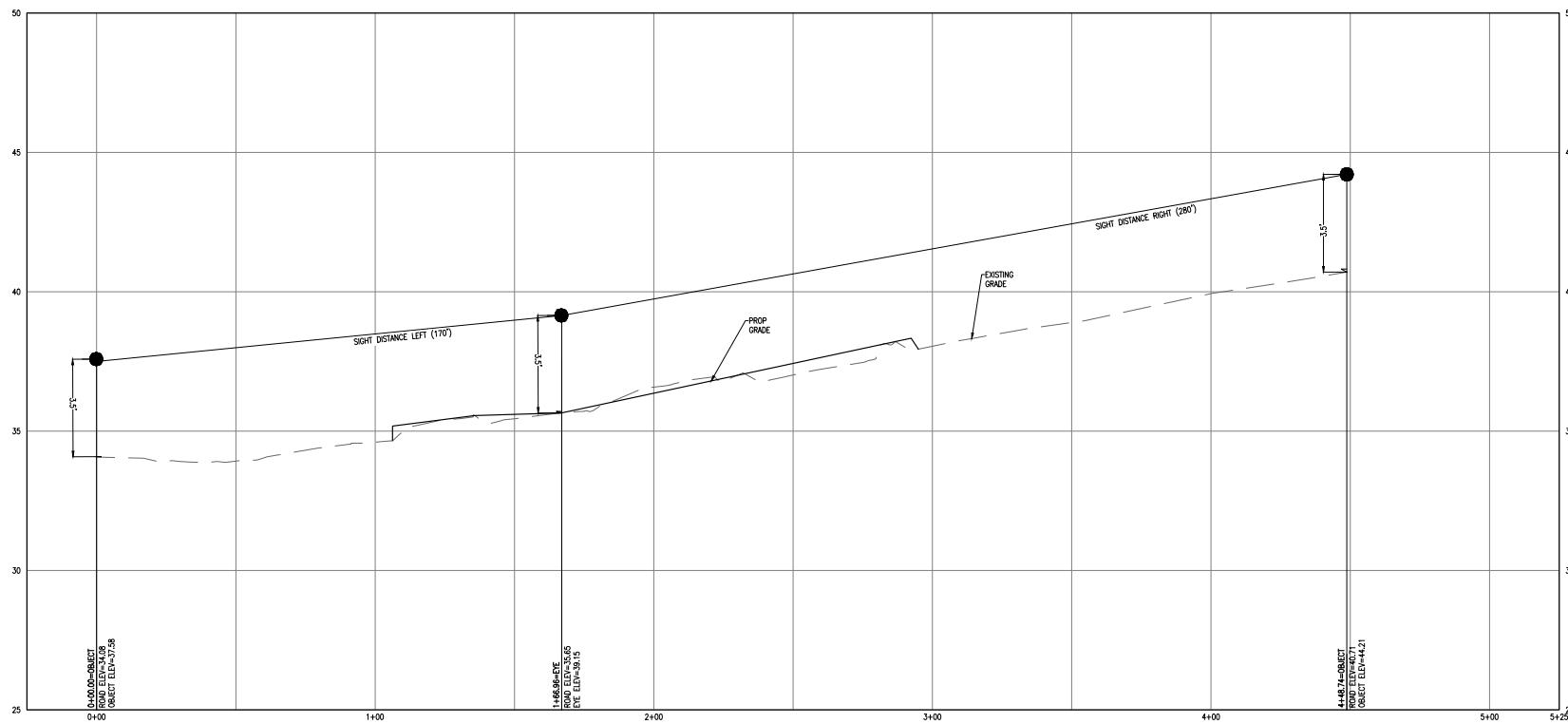
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2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

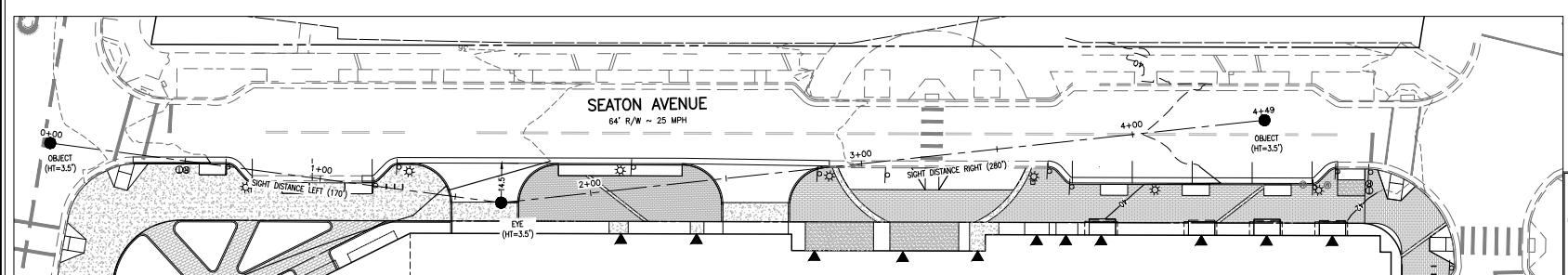
DESIGN: ARO
CHECKED: TJD
SCALE: AS NOTED
DATE: SEPT, 2025

SIGHT DISTANCE
PLAN AND
PROFILE
(2 OF 2)

FILE: C24 OF 29
22-125



LOADING ENTRANCE SIGHT DISTANCE PROFILE
SCALE - HORIZ: 1' = 20', VERT. 1' = 2'



LOADING ENTRANCE SIGHT DISTANCE PLAN VIEW

SCALE: 1' = 20'
VERTICAL
SCALE: 1' = 2'
0' 2' 4'
0' 20' 40'
HORIZONTAL
SCALE: 1' = 20'
PLAN VIEW
0' 20' 40'
SCALE: 1' = 20'

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

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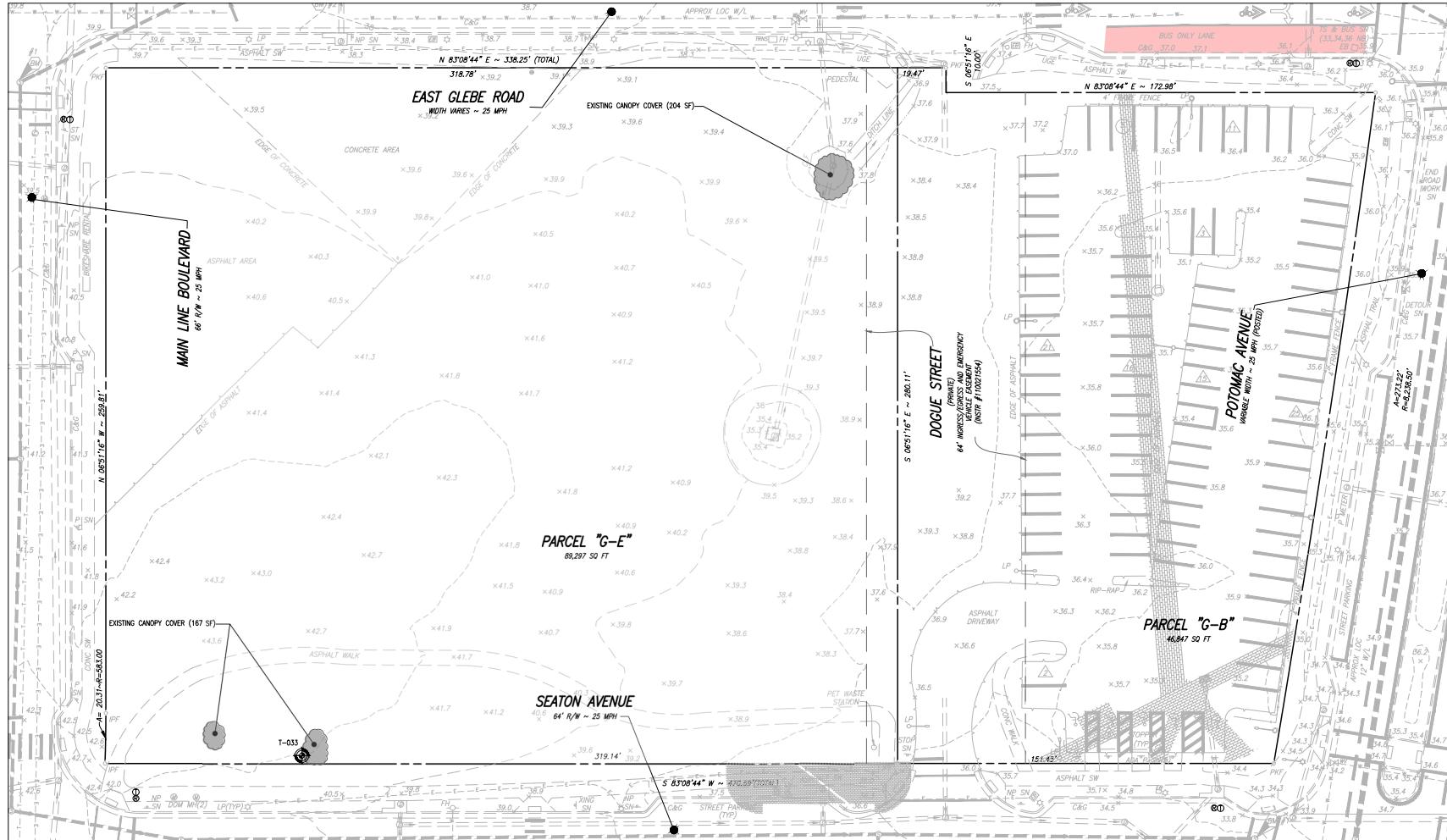
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2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
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DATE: SEPT, 2025

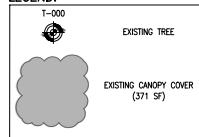
EXISTING VEGETATION MAP

SHEET C25 OF 29
FILE: 22-125



EXISTING VEGETATION MAP

LEGEND:



Tree #	Common Name	DBH (inches)	CR2 (feet)	Condition Rating %	Radius of Canopy (feet)	Off site or shared?	Remove?	Field Notes
033	Northern white cedar	6.5	0.0	0%	0	X		

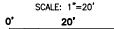
TREE INVENTORY NOTES:

1. OFF SITE TREES WERE VISUALLY INSPECTED AND THE DBH WAS ESTIMATED WHEN NOT GIVEN EXPLICIT PERMISSION TO ACCESS NEIGHBOR'S PROPERTY.
2. TREE INVENTORY AND TREE ANALYSIS CONDUCTED BY NATE GROVES ISA CERTIFIED ARBORIST (MA-7022A).

NOTES:

1. PROPERTY: 2901 MAIN LINE BLVD, ALEXANDRIA, VA 22301 & 2900 POTOMAC AVE, ALEXANDRIA, VA 22301
2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY THIS FIRM
3. CRZ CALCULATIONS IN RADIUS PER CITY OF ALEXANDRIA DETAIL (SEE SHEET C27).
4. EXISTING CANOPY COVERAGE: 371 SF
5. TOTAL SITE AREA: 136,144 SF
6. PERCENT OF SITE COVERED: <1%
7. CANOPY COVERAGE TO BE PRESERVED: 0 SF

GRAPHIC SCALE
SCALE: 1"=20'



APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR DATE

CITY PLANNING COMMISSION

DIRECTOR DATE

PERMIT NUMBER

PERMIT BOOK NO.

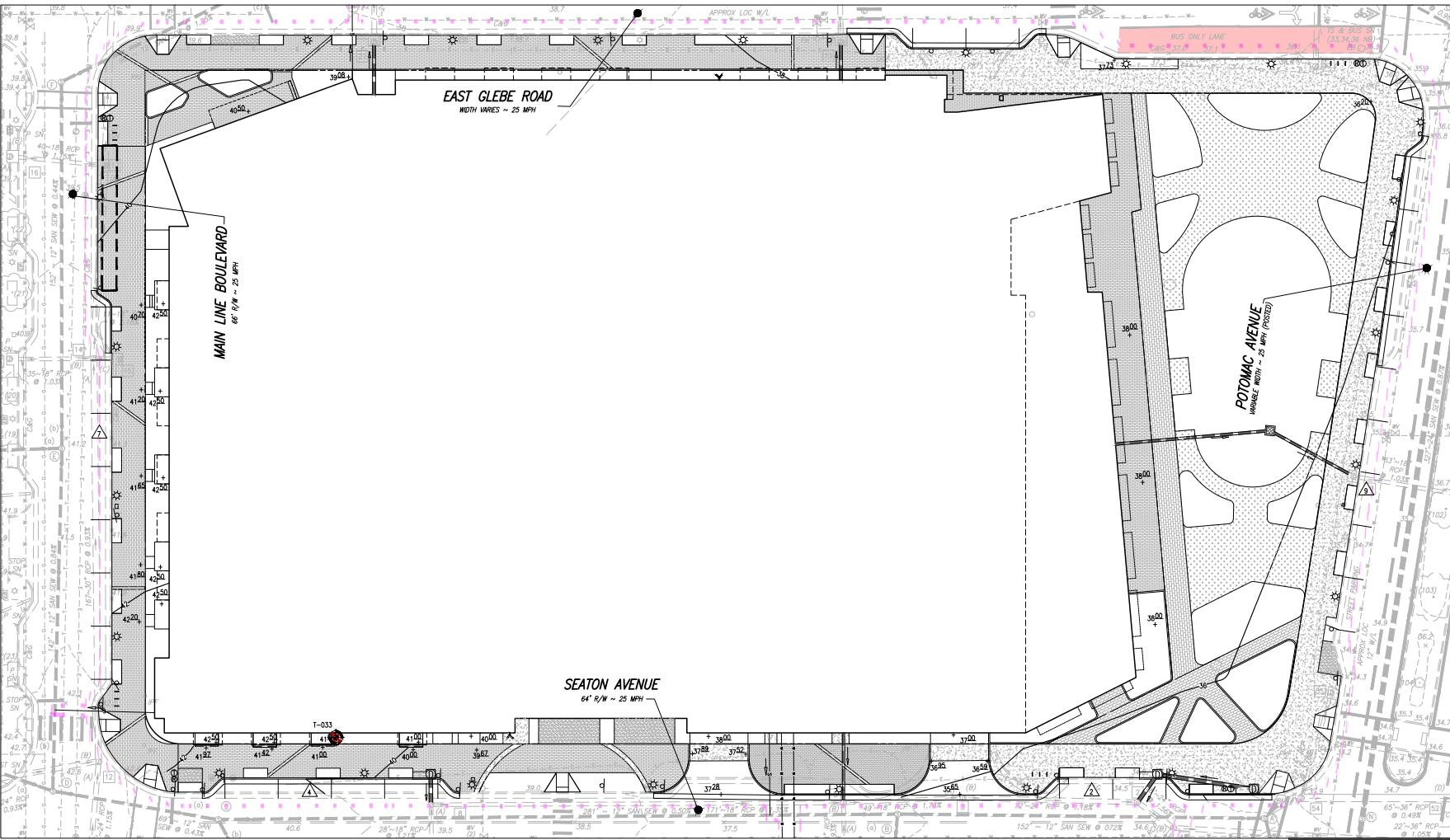
PERMIT DATE

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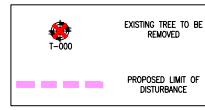
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TREE PROTECTION AND PRESERVATION PLAN

LEGEND:



Tree #	Common Name	DBH (Inches)	CRZ (Feet)	Condition Rating %	Radius of Canopy (Feet)	Off site or shared	Field Notes
033	Northern white cedar	6.5	0.0	0%	0	X	Dead

TREE INVENTORY NOTES:

1. OFF SITE TREES WERE VISUALLY INSPECTED AND THE DBH WAS ESTIMATED WHEN NOT GIVEN EXPLICIT PERMISSION TO ACCESS NEIGHBOR'S PROPERTY.
2. TREE INVENTORY AND TREE ANALYSIS CONDUCTED BY NATE GROVES ISA CERTIFIED ARBORIST (NA-7022A).

GRAPHIC SCALE

SCALE: 1"=20'

0' 20' 40'

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING _____

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES _____

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHARLES PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

PERMIT NO. _____ FEE BOOK NO. _____ DATE _____

DESIGN: ARO

CHECKED: TJD

SCALE: 1"=20'

DATE: SEPT, 2025

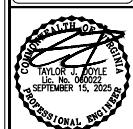
TREE PRESERVATION PLAN

SHEET C260F 29

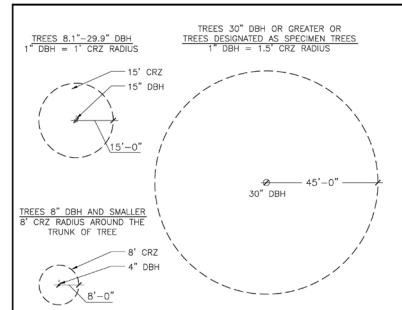
FILE: 22-125

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PLANNING
LAND SURVEYING
ENGINEERING



PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA



NOTES:

1. GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
2. PLOT ACCURATE TRUNK LOCATIONS OF ALL TREES GREATER THAN 2" DIAMETER AT 54° ABOVE GROUND AND/OR TREE STANDS WITHIN DEVELOPMENT AREAS ON ALL PLANS FOR THE PROJECT AND DELINATE THEIR ESTIMATED CRITICAL ROOT ZONE.
3. PLOT ACCURATE TRUNK LOCATIONS OF OFFSITE TREES WHICH WILL HAVE THEIR CRZ IMPACTED BY DEVELOPMENT AND DELINATE THEIR ESTIMATED CRITICAL ROOT ZONE.

A TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE

NOT TO SCALE				
1 OF 2 UPDATES OR 20 UPDATES				
 CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA		NOTE: THE INFORMATION SHOWN HEREIN IS FOR GENERAL GUIDANCE PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. IT USES SHALL BE LIMITED TO PLANNING, DESIGN, AND/OR CONTRACTOR OF ANY LEGAL REQUIREMENT.	<small>Source: 2018 Last Update: 06/09/2019 Approved by: COA</small>	Critical Root Zone
		<input type="checkbox"/> OF 1	<small>Date drawn: 06/09/19</small>	<small>LD 013</small>

A) **STANDARD TREE PRESERVATION NOTES FOR ALL PLANS REQUIRING APPROVAL:**
THE FOLLOWING NOTES SHALL BE PROVIDED IN LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS WITH PRESERVATION AREAS

- 1) **VEGETATION DESIGNATED FOR PROTECTION** AND/OR **PRESERVATION** SHALL CONTINUOUSLY RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- 2) **MAINTENANCE** DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL BE ACTIVE:

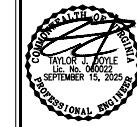
 - A. MAINTENANCE SHALL NOT BE ACTIVE:

 - B. MAINTENANCE OPERATIONS SHALL ASSESS MONITOR THE HEALTH, GROWTH AND VIGOR OF VEGETATION AND PRESCRIBE SELECTIVE PRUNING, REMOVAL, OR VOLUNTARY AND/OR PASSIVE FERILIZATION AND NUTRIENT/MULCH/IRRIGATION.

- 3) WHEN PRESERVED SPECIES IS LOCATED ON CITY PROPERTY, MAINTENANCE SHALL BE PERFORMED TO THE SATISFACTION OF THE CITY.
- 4) AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL NOT BE EXPOSED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD UNLESS THE PROJECT OWNER HAS NOT BEEN PROVIDED AN ALTERNATE LOCATION.
- 5) MODIFIED SITE TYPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALters EXISTING SITE DAMAGE WITHIN PROTECTED ZONE INCLUDING TRENDING OR DRAINAGE OPERATIONS AND/OR CONSTRUCTION ACTIVITIES SHALL NOT BE APPROVED.
- 6) FILING AND REVIEW HISTORIES: A. **REMOVING MATERIALS WHICH ARE IN THE GLOBE** PROHIBITED.
- 7) OPERATED MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/DEPARTMENT PARKING OR STORES.
- 8) TEMPORARY OR PERMANENT UTILITY CONNECTION, OR IMPROVEMENTS UPON STRUCTURE, INSTALLATION.
- 9) DISPOSAL OF DUSTS OR CHEMICALS IN TEMPORARY FACILITIES OR OCCUPANCY BY WORK FORCE.
- F. STORAGE OF CONSTRUCTED MATERIALS OR WASTE.

A STANDARD TREE PRESERVATION NOTES

NOT TO SCALE		Scale:		
10' UPDATED 09 LAST UPDATED		Approved By:		
 CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS		Comments:		
CITY OF ALEXANDRIA, VIRGINIA		Approved Date:		
		COA:		
		I OF I	Date:	LD
			(2/20/2019)	
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**PRELIMINARY DEVELOPMENT SPECIAL
USE PERMIT WITH SITE PLAN
LANDBAY G-B/E
2900 POTOMAC AVENUE #2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VIRGINIA**

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DESIGN: ARO
CHECKED:TJD
SCALE: NO SCALE
DATE: SEPT, 2025

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OR
NS.
72
TO
OF
FILE: 22-125
TREE
PRESERVATION
PLAN DETAILS
SHEET C27 OF 29



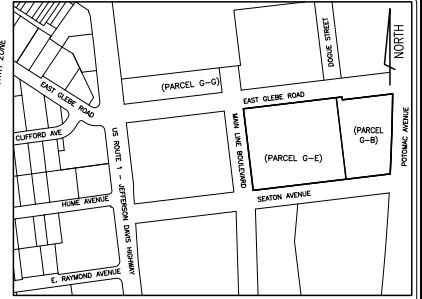
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CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DESIGN: ARO
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SCALE: 1"=20'
DATE: SEPT, 2025

PRELIMINARY SUBDIVISION-
CONSOLIDATION
PLAT (1 of 2)

SHEET C28B OF 29
FILE: 22-125



VICINITY MAP

SCALE 1" = 200'

1. TAX ASSESSMENT MAP #025.01-05-07 (PARCEL "G-E")
#025.01-05-12 (PARCEL "G-B")
2. ZONE: CDD#10
3. OWNER/APPLICANT: 2900 MAIN LINE BOULEVARD, LLC (PARCEL G-B)
2901 MAIN LINE BOULEVARD, LLC (PARCEL G-E)
4747 BETHESDA AVENUE, STE 200
BETHESDA, MD 20814-5282
INSTRUMENT #210011709 (PARCEL "G-E")
INSTRUMENT #210011708 (PARCEL "G-B")
4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM VERTICALLY DATUM USED = NAVD '88, PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA, SMARTNET.
5. THE PROPERTY SHOWN HERON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO REAL TIME KINETIC GPS SURVEY.
6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
7. TITLE COMMITMENTS FURNISHED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO.'S DC2501125 (PROJECT NAME LBG-B) & DC2501126 (PROJECT NAME LBG-E), BOTH WITH AN EFFECTIVE DATE OF MAY 28, 2025 AND ARE RELIED UPON AS ACCURATE BY THE SURVEYOR.
8. THESE LOTS SHALL UTILIZE THE PUBLIC SANITARY SEWER AND WATER ADJACENT TO THE PROPERTY.
9. THIS LOT IS IN ZONE X (UNSHADED) OF THE FEMA FLOOD INSURANCE RATE MAP #5155190333F.
10. THERE ARE NO GRAVE SITES OR OBJECTS MARKING A PLACE OF BURIAL ON THIS SITE.
11. THIS SITE CONTAINS NO KNOWN CONTAMINATED SOILS, TOXIC OR HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS OR AREAS WITH THE POTENTIAL TO GENERATE COMBUSTIBLE GASES AND IS NOT KNOWN TO BE WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP OR CHAMBER.
12. STORMWATER MANAGEMENT AND RUNOFF FROM THIS PROPOSED LOT WILL BE PROVIDED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. THERE ARE NO CHANGES IN DRAINAGE PATTERNS PROPOSED WITH THIS PLAT.
13. THERE ARE NO FLOOPLANS OR RESOURCE PROTECTION AREAS (RPA) LOCATED ON THIS PROPERTY.

LOT TABULATION (CDD#10)

TOTAL SITE AREA	136,144 SQ. FT. OR 3.12544 ACRES
EXISTING NUMBER OF LOTS	2
PROPOSED NUMBER OF LOTS	1
LOT AREA PARCEL G-B-E	1,101 SQ. FT. OR 0.02528 ACRES
LOT AREA PARCEL G-B-E'	135,043 SQ. FT. OR 3.10016 ACRES

SURVEYOR'S CERTIFICATE

I, GARY M FAULHABER, HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IT IS CORRECTLY DRAWN AND LOCATED. THE PROPERTY LOCATED HEREIN IS A SUBDIVISION OF THE LAND CONVEYED TO 2901 MAIN LINE BOULEVARD, LLC, DATED APRIL 30, 2021 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA AT INSTRUMENT #210011708 (PARCEL G-B) AND INSTRUMENT #210011709 (PARCEL G-E). THE PROPERTY IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHEREVER LOCATED EXCEPT THOSE THAT WILL BE INSTALLED ON OR BEFORE THE DATE OF RECORDING OF THE PLAT. IRON PIPES MARKED THUS -WILL BE SET AS INDICATED. GIVEN UNDER MY HAND THIS 29TH DAY OF JULY, 2025.

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

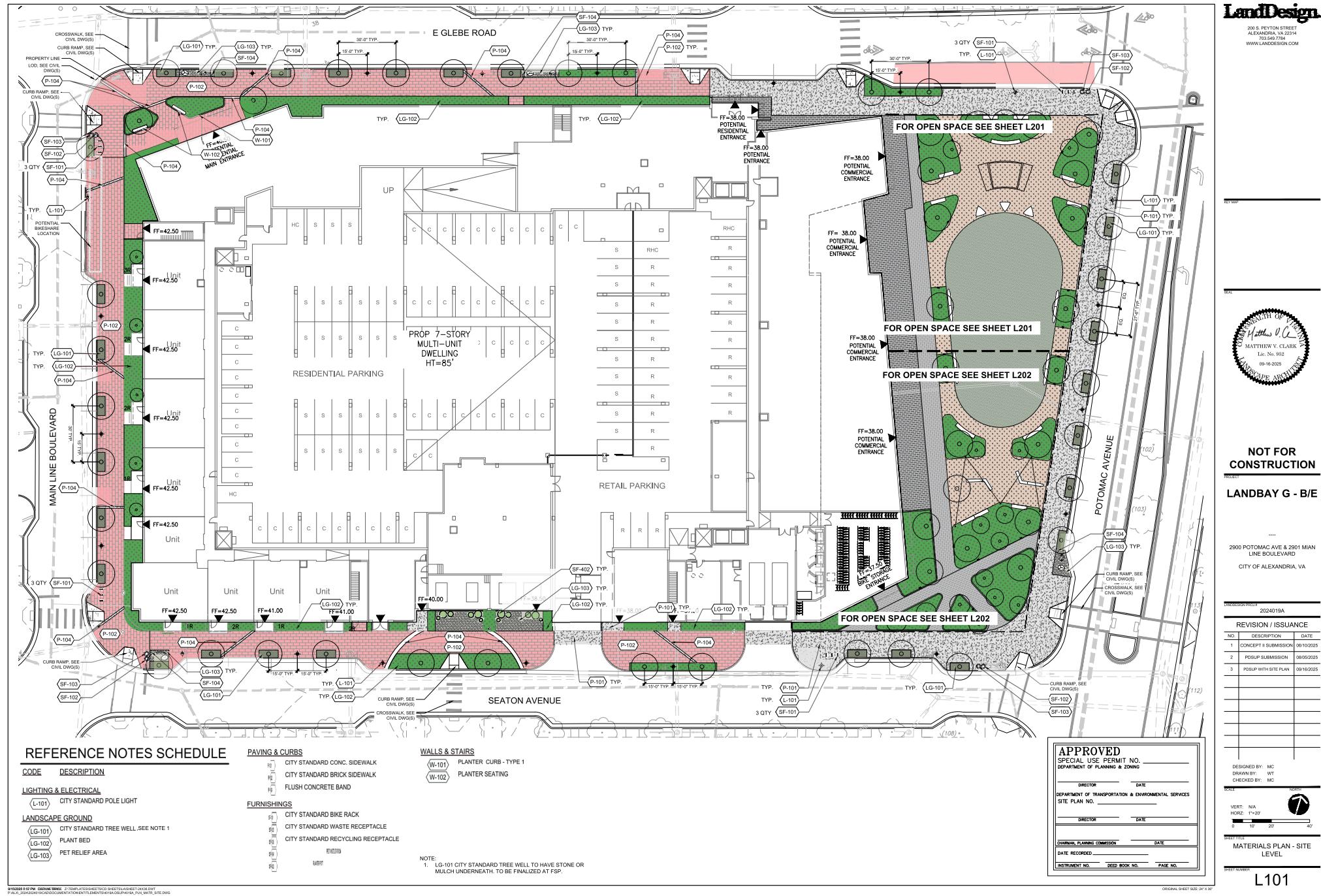
SITE PLAN NO.

DIRECTOR DATE

CHARLAM PLANNING COMMISSION DATE

RECORDING DATE

PERMIT NO. DATE



REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
CUSTOM	SHADE STRUCTURE
LIGHTING & ELECTRICAL	BOLLARD LIGHT
LANDSCAPE GROUND	PLANT BED
PAVING & CURBS	
P	PAVING TYPE 2
PC	PAVING TYPE 3
PL	PAVING TYPE 4
LN	LAWN
FURNISHINGS	
SE	SEATING ELEMENT
SE	SEATING ELEMENT
WALLS & STAIRS	
R	RAISED PLANTER W.

KEY MAP

A circular registration stamp for Matthew V. Clark as a Landscape Architect. The outer ring contains the text "COMMONWEALTH OF VIRGINIA" at the top and "LANDSCAPE ARCHITECT" at the bottom. The inner circle contains "Matthew V. Clark" at the top, "MATTHEW V. CLARK" in the center, "Lic. No. 952" below it, and "09-16-2025" at the bottom.

NOT FOR
CONSTRUCTION

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MIAN
LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDSBERG HODJER

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2025
2	PDSPU SUBMISSION	08/05/2025
3	PDSPU WITH SITE PLAN	09/16/2025

DRAWN BY: WT
CHECKED BY: MC

SCALE: NORTH

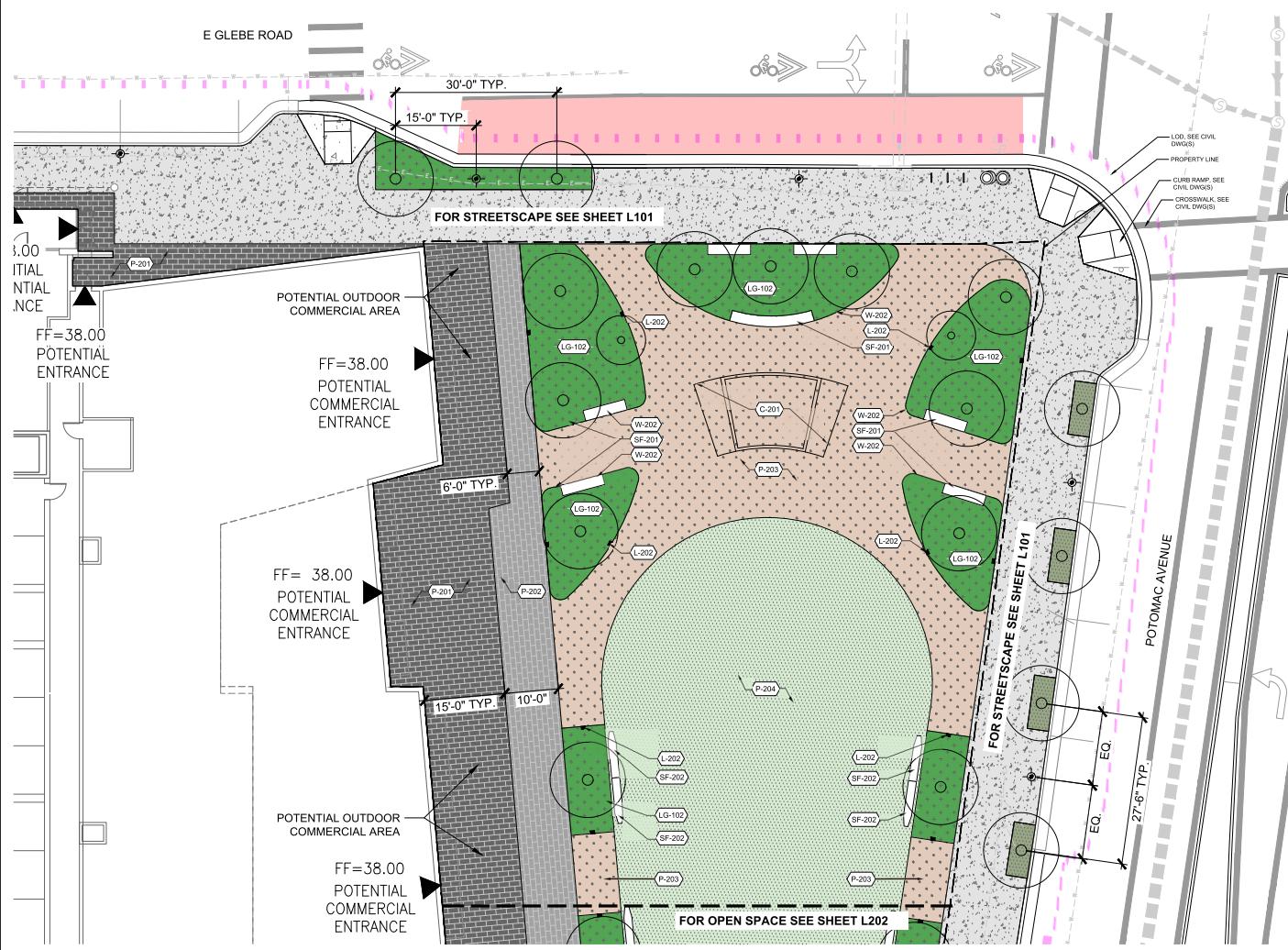
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HORZ: 1"-10"

0 5' 10' 20'

Sheet Title: MATERIALS PLAN - OPEN SPACE - NORTH

STREET NUMBER:

L201



APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAPMAN, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO. _____	



REFERENCE NOTES SCHEDULE

CODE DESCRIPTION

LIGHTING & ELECTRICAL
String Light Pole
Bollard Light

LANDSCAPE GROUND
Plant Bed

PAVING & CURBS

PAVING TYPE 2
 PAVING TYPE 3
 PAVING TYPE 4
 LAWN

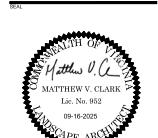
FURNISHINGS

SEATING ELEMENT TYPE 1
 SEATING ELEMENT TYPE 2

WALLS & STAIRS

PLANTER CURB - TYPE 2
 RAISED PLANTER WALL

EAST SIDE



NOT FOR CONSTRUCTION

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VA

2024019A

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2025
2	POSLP SUBMISSION	06/05/2025
3	POSLP WITH SITE PLAN	09/16/2025

APPROVED	SPECIAL USE PERMIT NO. _____
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
DIRECTOR	DATE
CHAMBER OF COMMERCE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC

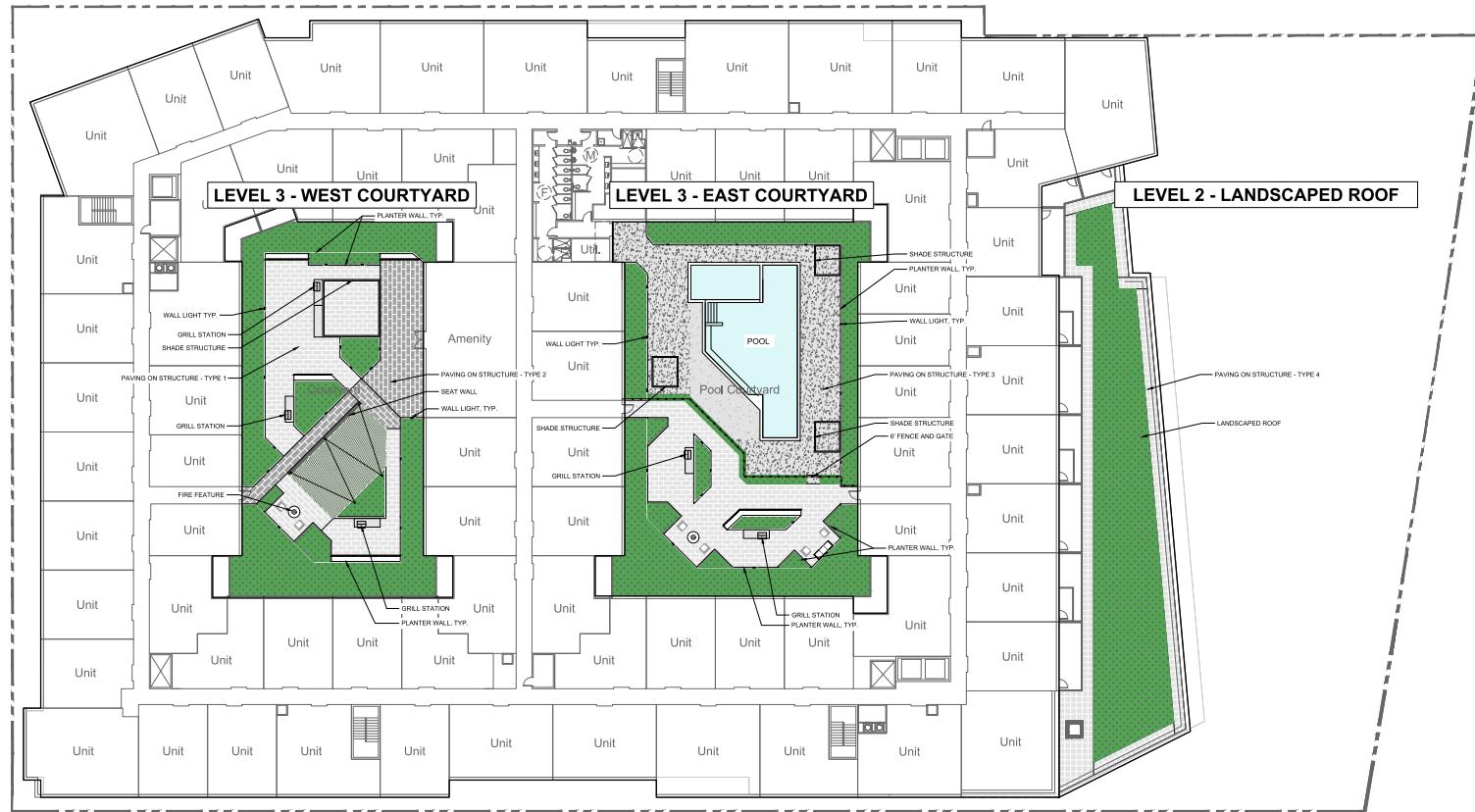
VERT: N/A
HORZ: 1'-0"

0 5' 10' 20'

NORTH

MATERIALS PLAN - OPEN SPACE - SOUTH

ORIGINAL SHEET SIZE: 24" X 36"
SHEET NUMBER: L202



**NOT FOR
CONSTRUCTION**

LANDBAY G - B/E

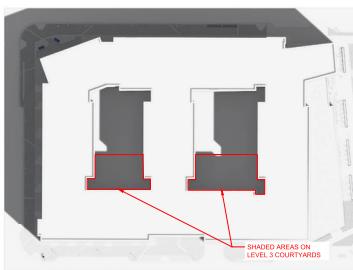
2900 POTOMAC AVE & 2901 MIAN
LINE BOULEVARD

LANDON SQUAD PROJECT

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2025
2	PDSUP SUBMISSION	08/05/2025
3	PDSUP WITH SITE PLAN	09/16/2025

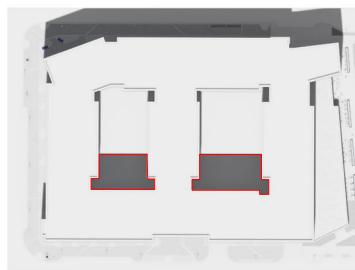
APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHARTER, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

L301

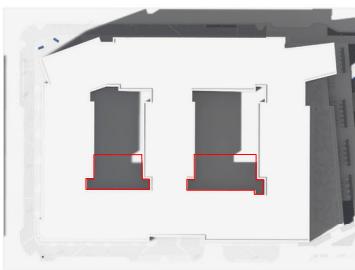


11:00 AM

SHADE STUDY - SPRING - APRIL 21

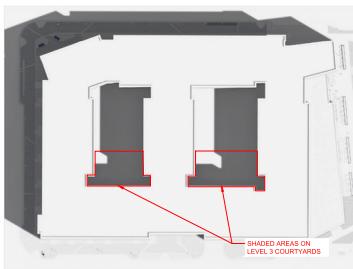


1:00 PM



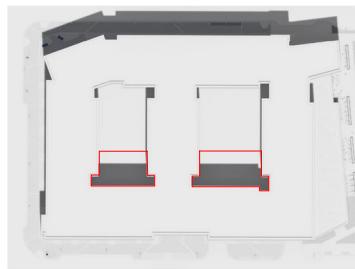
3:00 PM

11:00 AM

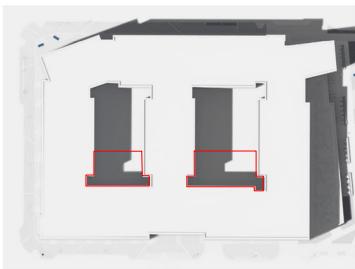


11:00 AM

SHADE STUDY - SUMMER - JULY 21



1:00 PM

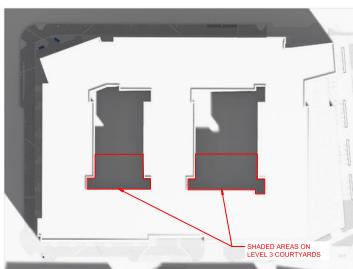


3:00 PM

A circular stamp with a decorative border containing the text "COMONWEALTH OF VIRGINIA" at the top and "LANDSCAPE ARCHITECT" at the bottom. In the center, it says "Matthew V. Clark" and "No. 952". Below that is the date "09-16-2025".

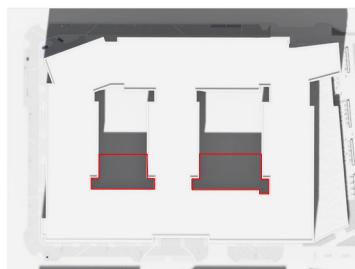
**NOT FOR
CONSTRUCTION**

LANDBAY G - B/E

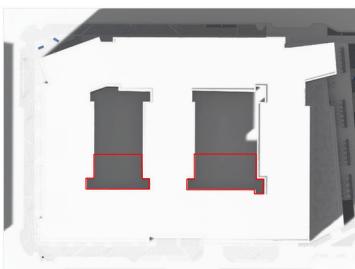


11:00 AM

SHADE STUDY - FALL - SEPTEMBER 21



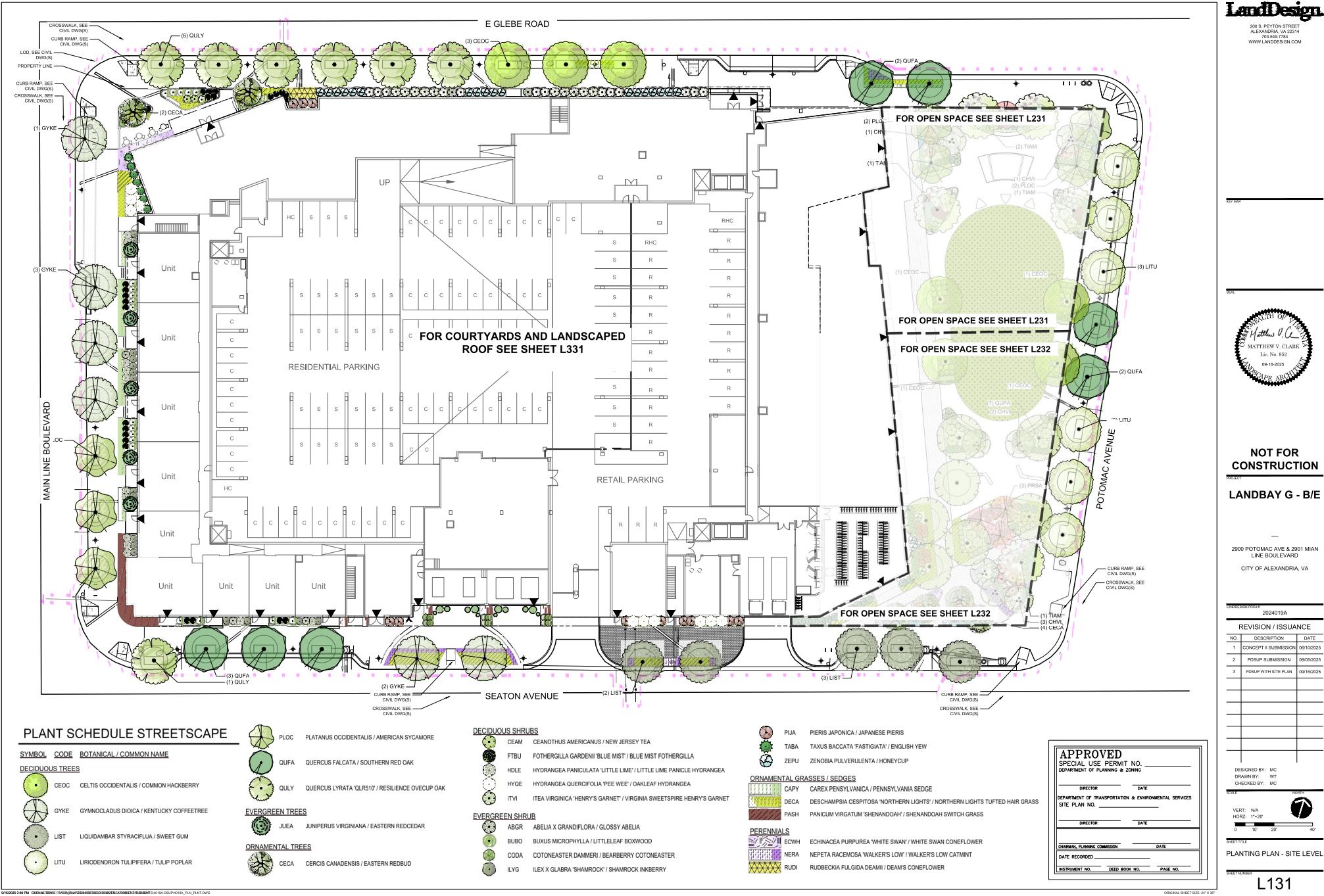
1:00 PM



3:00 PM

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAMBER, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO. _____	

L130







PLANT SCHEDULE OPEN SPACE

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
<u>DECIDUOUS TREES</u>		
	CEOC	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	PLOC	PLATANUS OCCIDENTALIS / AMERICAN Sycamore
	QUPA	QUERCUS PALUSTRIS / PIN OAK
	TIAM	TILIA AMERICANA / AMERICAN BASSWOOD
<u>ORNAMENTAL TREES</u>		
	CECA	CERCIS CANADENSIS / EASTERN REDBUD
	CHVI	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
	PRSA	PRUNUS SARGENTII / SARGENT CHERRY
<u>DECIDUOUS SHRUBS</u>		
	AOMN	ARONIA MELANCARPA 'UCONNAM165' / BLACK CHokeBERRY LOW SCAPE MOUND
	CLAL	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET
	COSE	CORNUS SERICEA 'CARDINAL' / CARDINAL RED TWIG DOGWOOD
	DEGR	DEUTZIA GRACILIS 'NIKKO' / NIKKO DEUTZIA
	HYMA	HYDRANGEA MACROPHYLLA 'HOTFIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA
	HYQE	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA
	ITVI	ITEA VIRGINICA 'HENRY'S GARNET' / VIRGINIA SWEETSPIRE HENRY'S GARNET
<u>EVERGREEN SHRUBS</u>		
	BUBO	BUXUS MICROPHYLLO / LITTLELEAF BOXWOOD
	CODA	COTONEASTER DAMMERI / BEARBERRY COTONEASTER
	ILVO	ILEX VOMITORIA NANA / DWARF YAUPON HOLLY
	SAHO	SARCOCOCCA HOOKERIANA HUMILIS / TRAILING SWEETBOX
	ZEPU	ZENOBIA PULVERULENTA / HONEYCUP
<u>ORNAMENTAL GRASSES / SEDGES</u>		
	DECA	DESCHAMPSSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS
	PASH	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS
<u>PERENNIALS</u>		
	ECWH	ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER
	RUDI	RUDBECKIA FULGIDA DEAMI / DEAM'S CONEFLOWER
<u>GROUND COVERS</u>		
	LAWN	LAWN

LandDesign
200 S. PEYTON STREET
ALEXANDRIA, VA 22314
703.540.7784
WWW.LANDDESIGN.COM

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CONSTRUCTION**

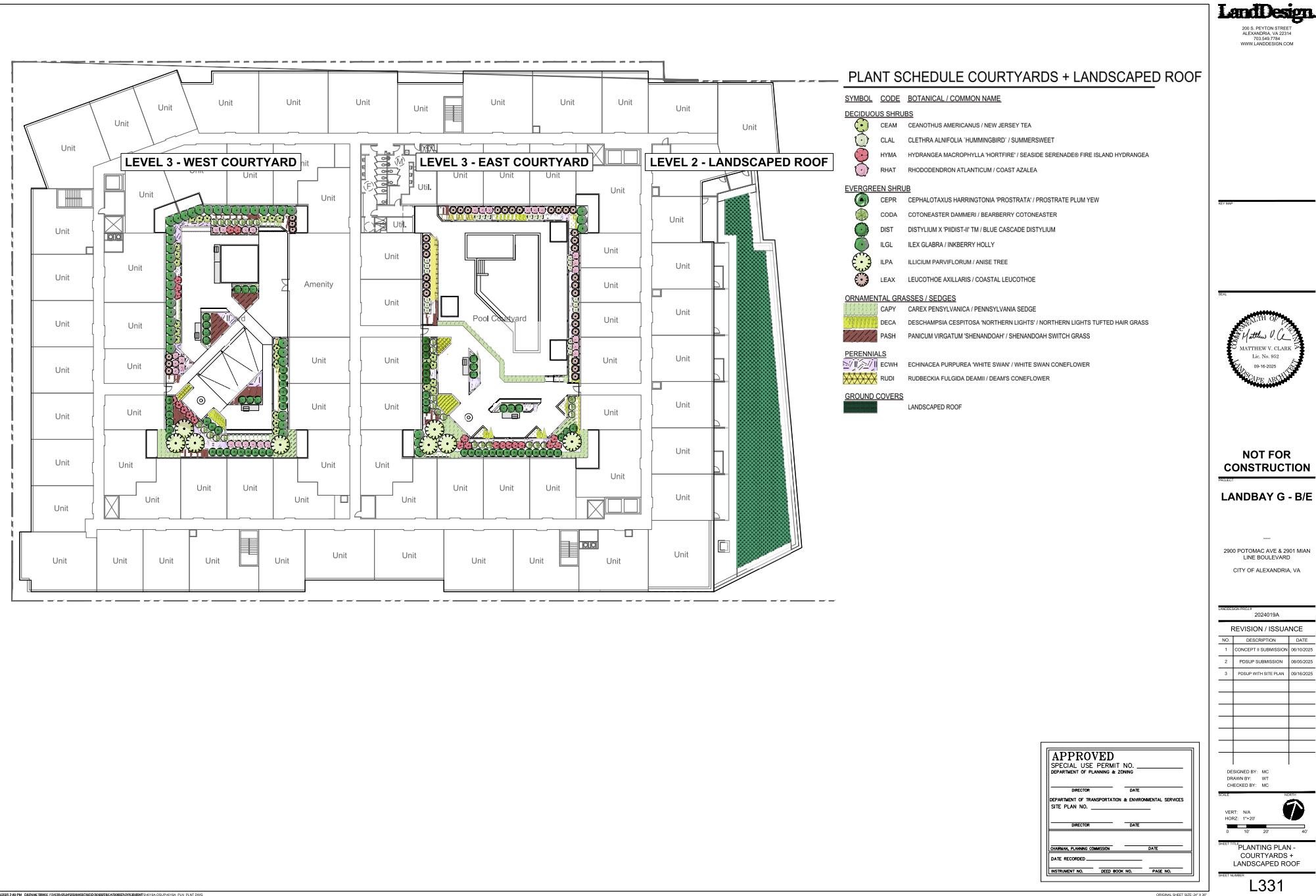
LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MIAN
LINE BOULEVARD

CITY OF ALEXANDRIA, VA

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

L232



PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CAL	HT.
DECIDUOUS TREES						
	CEOC	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2'-3"	12' - 14'
	GYKE	6	GYNNOCLADUS DIOICA / KENTUCKY COFFEE TREE	B & B	2'-3"	12' - 14'
	LIST	5	Liquidambar styraciflua / SWEET GUM	B & B	2'-3"	12' - 14'
	LITU	6	LIRIODENDRON TULIPIFERA / TULIP POPLAR	B & B	2'-3"	12' - 14'
	PLOC	3	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	B & B	2'-3"	12' - 14'
	QUFA	7	QUERCUS FALCATIA / SOUTHERN RED OAK	B & B	2'-3"	12' - 14'
	QULY	7	QUERCUS LYRATA 'QLR510' / RESILIENCE OVECUP OAK	B & B	2'-3"	12' - 14'
EVERGREEN TREES						
	JUEA	5	JUNIPERUS VIRGINIANA / EASTERN REDCEDAR	B & B	1.5' - 1.75"	6' - 10'
ORNAMENTAL TREES						
	CECA	2	CERCIS CANADENSIS / EASTERN REDBUD	B & B	1.5' - 1.75"	6' - 10'
SYMBOL CODE QTY BOTANICAL / COMMON NAME						
DECIDUOUS SHRUBS						
	CEAN	3	CEANOTHUS AMERICANUS / NEW JERSEY TEA	CONTAINER	18" - 24"	
	FTBU	27	FOTHERGILLA GARDENII 'BLUE MIST' / BLUE MIST FOTHERGILLA	CONTAINER	18" - 24"	
	HOLE	15	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME PANICLE HYDRANGEA	B & B OR CONTAINER	24" - 30"	
	HYOY	10	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	B & B OR CONTAINER	30" - 36"	
	ITVI	10	ITEA VIRGINICA HENRY'S GARNET / VIRGINIA SWEETSPIRE HENRY'S GARNET	CONTAINER	30"	
EVERGREEN SHRUB						
	ABGR	15	ABELIA X GRANDIFLORA / GLOSSY ABELIA	CONTAINER	18" - 24"	
	BUBO	28	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	CONTAINER	18" - 24"	
	CODA	12	COTONEASTER DAMMERI / BEARBERRY COTONEASTER	CONTAINER	10" - 12"	
	ILYG	16	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY	#3	18" - 24"	
	PIUA	11	PIERS JAPONICA / JAPANESE PIERIS	CONTAINER	24" - 36"	
	TABA	7	TAXUS BACCATA 'FASTIGIATA' / ENGLISH YEW	CONTAINER	24" - 36"	
	ZEPU	18	ZENOBIA PULVERULENTA / HONEYCUP	CONTAINER	15" - 18"	18" - 24"
SYMBOL CODE QTY BOTANICAL / COMMON NAME						
ORNAMENTAL GRASSES / SEDGES						
	CAPY	495	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	#1	8" - 12"	14" o.c.
	DECA	218	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS	#1	24" o.c.	
	PASH	169	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	#1	18" o.c.	
PERENNIALS						
	ECHW	60	ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER	#1	18" o.c.	
	NERA	65	NEPETA RACEMOSA 'WALKER'S LOW' / WALKER'S LOW CATMINT	#1	24" o.c.	
	RUDI	39	RUDBECKIA FILIGIDA 'DEAMII' / DEAM'S CONEFLOWER	#1	18" o.c.	

PLANT SCHEDULE OPEN SPACE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CAL	HT.
DECIDUOUS TREES						
	CEOC	4	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2'-3"	12' - 14'
	PLOC	4	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	B & B	2'-3"	12' - 14'
	QUPA	7	QUERCUS PALUSTRIS / PIN OAK	B & B	2'-3"	14' - 16'
	TIAM	5	TILA AMERICANA / AMERICAN BASSWOOD	B & B	2'-3"	12' - 14'
ORNAMENTAL TREES						
	CECA	4	CERCIS CANADENSIS / EASTERN REDBUD	B & B	1.5' - 1.75"	6' - 10'
	CHVI	7	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	B & B	1.5' - 1.75"	6' - 10'
	PRSA	4	PRUNUS SARGENTII / SARGENT CHERRY	B & B	1.5' - 1.75"	6' - 10'
SYMBOL CODE QTY BOTANICAL / COMMON NAME						
DECIDUOUS SHRUBS						
	AOMI	70	ARONIA MELANOCARPA 'UConnNAM165' / BLACK CHokeBERRY LOW SCape MOUND	CONTAINER	30" - 36"	
	CLAL	43	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET	CONTAINER	18" - 24"	
	COSE	18	CORNUS SERICEA 'CARDINAL' / CARDINAL RED TWIG DOGWOOD	CONTAINER	24" - 36"	
	Degr	8	DEUTZIA GRACILIS 'NIKKO' / NIKKO DEUTZIA	CONTAINER	12" - 18"	
	HYMA	10	HYDRANGEA MACROPHYLLA 'HORTFIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA	CONTAINER	18" - 24"	18" - 24"
	HYQE	19	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA	B & B OR CONTAINER	30" - 36"	
	ITVI	14	ITEA VIRGINICA HENRY'S GARNET / VIRGINIA SWEETSPIRE HENRY'S GARNET	CONTAINER	30"	
EVERGREEN SHRUB						
	BUBO	16	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	CONTAINER	18" - 24"	
	CODA	31	COTONEASTER DAMMERI / BEARBERRY COTONEASTER	CONTAINER	10" - 12"	
	ILVO	59	ILEX VOMITORIA 'NANA' / DWARF VAUPON HOLLY	CONTAINER	18" - 24"	21" - 24"
	ILYG	9	ILEX X GLABRA 'SHAMROCK' / SHAMROCK INKBERRY	#3	18" - 24"	
	SAHO	60	SARCOCOCCA HOOKERIANA HUMILIS / TRAILING SWEETBOX	#3	18" - 24"	
	ZEPU	5	ZENOBIA PULVERULENTA / HONEYCUP	CONTAINER	15" - 18"	18" - 24"
SYMBOL CODE QTY BOTANICAL / COMMON NAME						
ORNAMENTAL GRASSES / SEDGES						
	CAPY	41	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	#1	8" - 12"	14" o.c.
	DECA	97	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS	#1	24" o.c.	
	PASH	64	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	#1	18" o.c.	
PERENNIALS						
	ECWH	235	ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER	#1	18" o.c.	
	NERA	47	NEPETA RACEMOSA 'WALKER'S LOW' / WALKER'S LOW CATMINT	#1	24" o.c.	
	RUDI	97	RUDBECKIA FILIGIDA 'DEAMII' / DEAM'S CONEFLOWER	#1	18" o.c.	

PLANT SCHEDULE COURTYARDS + LANDSCAPED ROOF

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD
DECIDUOUS SHRUBS						
	CEAN	24	CEANOTHUS AMERICANUS / NEW JERSEY TEA	CONTAINER	18" - 24"	
	CLAL	21	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET	CONTAINER	18" - 24"	
	HYMA	21	HYDRANGEA MACROPHYLLA 'HORTFIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA	CONTAINER	18" - 24"	
	RHAT	27	RHODODENDRON ATLANTICUM / COAST AZALEA	CONTAINER	18" - 24"	
EVERGREEN SHRUB						
	CEPR	50	CEPHALOTUS HARRINGTONIA 'PROSTRATA' / PROSTRATE PLUM YEW	CONTAINER	12"-24"	
	CODA	27	COTONEASTER DAMMERI / BEARBERRY COTONEASTER	CONTAINER	10" - 12"	
	DIST	16	DISTYLIUM X 'PINDIT-IT' TM / BLUE CASCADE DISTYLIUM	CONTAINER	24" - 30"	
	ILGL	41	ILEX GLabra / INKBERRY HOLLY	CONTAINER	21" - 24"	24" - 36"
	ILPA	8	ILLICIUM PARVIFLORUM / ANISE TREE	B & B OR CONTAINER	36" - 48"	30" - 36"
	LEAX	35	LEUCOTHOE AXILLARIS / COASTAL LEUCOTHOE	#5	18" - 30"	
SYMBOL CODE QTY BOTANICAL / COMMON NAME						
NOTES:						
1. ALL MATERIALS' SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL-THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).						
2. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.						
3. TREES TO BE STAKED OUT PRIOR TO INSTALLATION AND LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND FINALIZED (UTILITIES SHOWN ON THE PLANS)						

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____ DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
DIRECTOR _____ DATE _____	
CHAMBER OF COMMERCE _____ DATE _____	
DIRECTOR _____ DATE _____	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	

L531

ORIGINAL SHEET SIZE: 24" x 36"

SCALE: NORTH

VERT: N/A

HORZ: N/A

Sheet Title: PLANT SCHEDULE

Sheet Number: L531

Instrument No.: 00000000000000000000000000000000

Date: 20240119A

Revision / Issuance No.: 1

Concept & Submission Date: 06/10/2025

Pospu Submission Date: 06/05/2025

Pospu with Site Plan Date: 09/16/2025

Design By: MC

Drawn By: WT

Checked By: MC

Date: 06/10/2025

Director: _____

Date: _____

Chairman, Planning Commission: _____

Date: _____

Date Recorded: _____

Instrument No.: _____

Deed Book No.: _____

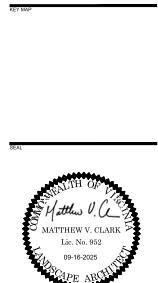
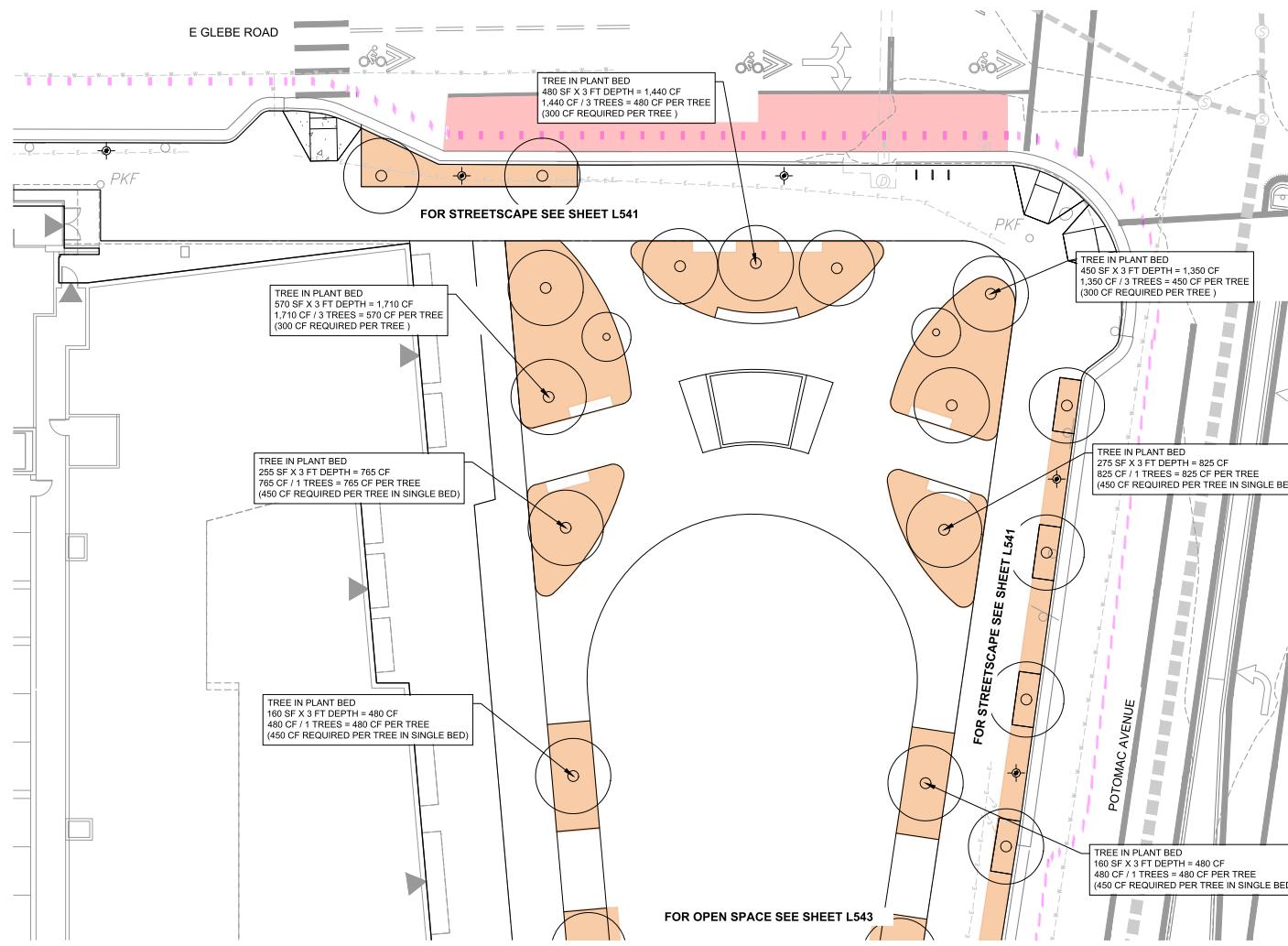
Page No.: _____

PLANT TYPE		PLAN INFORMATION		BOTANIC/COMMON NAME			SIZE	NOTES	CROWN COVER ALLOWANCE (CCA)			NATIVE PLANTS PROVIDED		
PLAN KEY	QUANTITY	GENUS	SPECIES	VAR/CULTIVAR/HYBRID	COMMON NAME		CALIPER/HEIGHT		LOCAL/REGIONAL (#)	EASTERN U.S. (#)	TOTAL	CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	
URBAN TREES	3	CELOC	CELOCIA	OCCIDENTALIS	COMMON HACKBERRY		2"-3" CAL / 12'-14' H		N/A	3				
	6	GYMOCLADUS	DIOICA		KENTUCKY COFFEE TREE		2"-3" CAL / 12'-14' H		ROW tree	6				
	5	LITU	LIQUIDAMBAR	SYRACIFLUA	SWEET GUM		2"-3" CAL / 12'-14' H		ROW tree	5				
	6	LIUDONDRON	TULIPIFERA		TULIP POPLAR		2"-3" CAL / 12'-14' H		ROW tree	6				
	3	PLLOC	PLATANUS	OCCIDENTALIS	AMERICAN SYCAMORE		2"-3" CAL / 12'-14' H		ROW tree	3				
	7	QUIFA	QUIFIA	FALCATIA	SOUTHERN RED OAK		2"-3" CAL / 12'-14' H		ROW tree	7				
	7	QULY	QUERCUS	LYRATA	'QUIFIA'	RESILIENCE OVALLEAF OAK	2"-3" CAL / 12'-14' H		ROW tree	7				
TOTALS		37							URBAN TREE CCA:	0	37	0	37	
100.0% 0.0% 100.0%														
STANDARD TREES	4	CELOC	CELOCIA	OCCIDENTALIS	COMMON HACKBERRY		2"-3" CAL / 12'-14' H		CCA PER TREE (SF)	8.88	1250	5,000		
	4	POUL	POULANUS	OCCIDENTALIS	AMERICAN SYCAMORE		2"-3" CAL / 12'-14' H		CCA PER TREE (SF)	8.88	1250	5,000		
	7	QUIPA	QUIPCUS	PAULISTRIS	PIN OAK		2"-3" CAL / 12'-14' H		CCA PER TREE (SF)	8.88	1250	8,750		
	5	TIAM	TIAM	AMERICANA	AMERICAN BASSWOOD		2"-3" CAL / 12'-14' H		CCA PER TREE (SF)	8.88	1250	6,250		
	5	JURA	JUNIPERUS	VIRGINIANA	EASTER RED CEDAR		1.5"-3.75" CAL / 6'-10' H		CCA PER TREE (SF)	8.88	250	1,250		
	6	CECA	CERCIS	CANADENSIS	EASTERN REDBUD		1.5"-3.75" CAL / 6'-10' H		CCA PER TREE (SF)	8.88	500	3,000		
	7	CHIVI	CHIONANTHUS	VIRGINICUS	WHITE FRINGE TREE		1.5"-3.75" CAL / 6'-10' H		CCA PER TREE (SF)	8.88	500	3,500		
TOTALS		42							STANDARD TREE CCA:	34,750		88	0	
90.5% 0.0% 90.5%														
EVERGREEN SHRUBS	15	ABGR	ABELIA	X GRANDIFLORA	GLOSSY ABELIA		18"-24"		CCA PER SHRUB (SF)	10	150	n/a		
	44	BUBO	BUXUS	MICROPHYLLA	LITTLELEAF BOXWOOD		18"-24"		CCA PER SHRUB (SF)	2	88	n/a		
	50	CEPR	EPHEDRAXUS	PROSTRATA	PROSTRATE PLUMERIA		12"-24"		CCA PER SHRUB (SF)	25	1,250	n/a		
	50	CODA	COTONEASTER	DAMMERRI	SHRUBBERRY COTONEASTER		10"-12"		CCA PER SHRUB (SF)	10	700	n/a		
	16	DIST	DISTYLUM	X PDIST-II™	BLUF CASCADE DISTYLUM		24"-30"		CCA PER SHRUB (SF)	0	0	n/a		
	41	ILGL	ILEX	GLABRA	INKBERRY HOLLY		21"-24"		CCA PER SHRUB (SF)	25	1,025	41		
	59	ILVO	VOMITORIA	'NANA'	DWARF YUPOON HOLLY		18"-24"		CCA PER SHRUB (SF)	25	1,475	59		
TOTALS		464							EVERGREEN SHRUB CCA (NOT COUNTED)	7,893		34.5%	6.7% 41.2%	
TOWARDS OVERALL CANOPY COVERAGE: 7,893														
DECIDUOUS SHRUBS	70	ADMN	ARONIA	MELANOCARPA	UCONNAM165'	BLACK CHOKERBERRY LOW SCAPE MOUND	30"-36"		CCA PER SHRUB (SF)	10	700	70		
	20	CEARTH	CEARTHUS	MICRANTHUS	ALMIFOLIA	NETTLE LEAF TEA	18"-24"		CCA PER SHRUB (SF)	10	270	27		
	54	CAL	CELTH	HUMMINGBIRD	SUMMERBIRD		18"-24"		CCA PER SHRUB (SF)	10	640	64		
	18	COSF	CORNUS	SERICEA	CARDINAL	CARDINAL RED TWIG DOGWOOD	24"-36"		CCA PER SHRUB (SF)	25	450	18		
	8	DEGR	DEUTZIA	GRACIUS	'NIKKO'	NIKKO DEUTZIA	12"-18"		CCA PER SHRUB (SF)	10	80	n/a		
	27	FIBU	FOTHERGILLA	GARDENII	'BLUE MIST'	BLUE MIST FOTHERGILLA	18"-24"		CCA PER SHRUB (SF)	2	54	n/a		
	51	HYMA	HYDRANGA	MACROPHYLLA	'HORITIRE'	SEASIDE SERNADE FIRE ISLAND HYDRANGEA	18"-24"		CCA PER SHRUB (SF)	10	310	n/a		
TOTALS		340							DECIDUOUS SHRUB CCA (NOT COUNTED)	4,114		230	56 286	
TOWARDS OVERALL CANOPY COVERAGE: 4,114														
TOTAL PROPOSED CCA (SF) STANDARD TREES ONLY: 34,750														
GROUNDCOVERS	2	GRND	GRND	GRND	GRND	GRND			LOCAL/REGIONAL (#)	EASTERN U.S. (#)	TOTAL			
	#								N/A					
									#	#				
									%	%				
TOTALS		#												
PERENNIALS, FERNS, ORNAMENTAL GRASSES	112	ECWH	ECHINACEA	PURPUREA	WHITE SWAN'	WHITE SWAN CONEFLOWER	#1		LOCAL/REGIONAL (#)	EASTERN U.S. (#)	TOTAL			
	112	NEPA	NEPA	RACEMOSA	WALKER'S LOW	WALKER'S LOW CATMINT	#1		N/A	n/a				
	242	RUDI	RUDI	ROCKXIA	DEAMII	DEAM'S ROCKXIA	#1							
	118	CARFX	CARFX	PENNIVULCANIA	'LITTLE LIME'	LITTLE LIME PANICLE HYDRANGEA	#1							
	426	DISCHAMP	DISCHAMP	CESPITOSA	'NORTHERN LIGHTS'	NORTHERN LIGHTS TUFTED HAIR GRASS	#1							
	548	PASH	PASH	PANICUM	VIRGATUM	SHENANDOAH	#1							
	TOTALS	3026												
VINES	1	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR/CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.	LOCAL/REGIONAL (#)	EASTERN U.S. (#)	TOTAL			
	#								N/A					
									#	#				
									%	%				
TOTALS		#												
CROWN COVER TABULATIONS														
CROWN COVER TABULATIONS														
TOTAL SITE AREA (SF)														
25% CROWN COVER REQUIRED (SF)														
EXISTING CROWN COVER (SF)														
REMOVED CROWN COVER (SF)														
PRESERVED CROWN COVER (SF)														
Crown Cover from Preserved Trees														
Crown Cover from Preserved Shrubs														
PROPOSED CROWN COVER (SF)														
Crown Cover from Preserved Trees														
Crown Cover from Preserved Shrubs														
TOTAL CROWN COVER PROVIDED (%)														
TOTAL CROWN COVER PROVIDED (SF)														
Note to Applicant: Crown Cover Tabulations shall be provided on all plans requiring approval in accordance with the 2010 Landscape Guidelines. Refer to subsequent tabs for additional required charts and schedules.														
APPROVED SPECIAL USE PERMIT NO. _____ DEPARTMENT OF PLANNING & ZONING DIRECTOR _____ DATE _____ CITY OF ALEXANDRIA, VA SHEET TITLE _____ PLANT TABULATIONS SHEET NUMBER _____														
DESIGNED BY: MC DRAWN BY: WT CHECKED BY: MC DATE: 10/10/2025 VER1: N/A HOR2: N/A SHEET NUMBER: L532														

LEGEND

OPEN SPACE SOIL VOLUME

EXTENTS OF 3' DEPTH OF UNCOMPACTED SOIL VOLUME FOR TREES
ALL OTHER PLANT BEDS HAVE MIN 24" SOIL DEPTH



NOT FOR CONSTRUCTION

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDDESIGN-HS201A

2024019A

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2025
2	POSUP SUBMISSION	06/05/2025
3	POSUP WITH SITE PLAN	09/16/2025

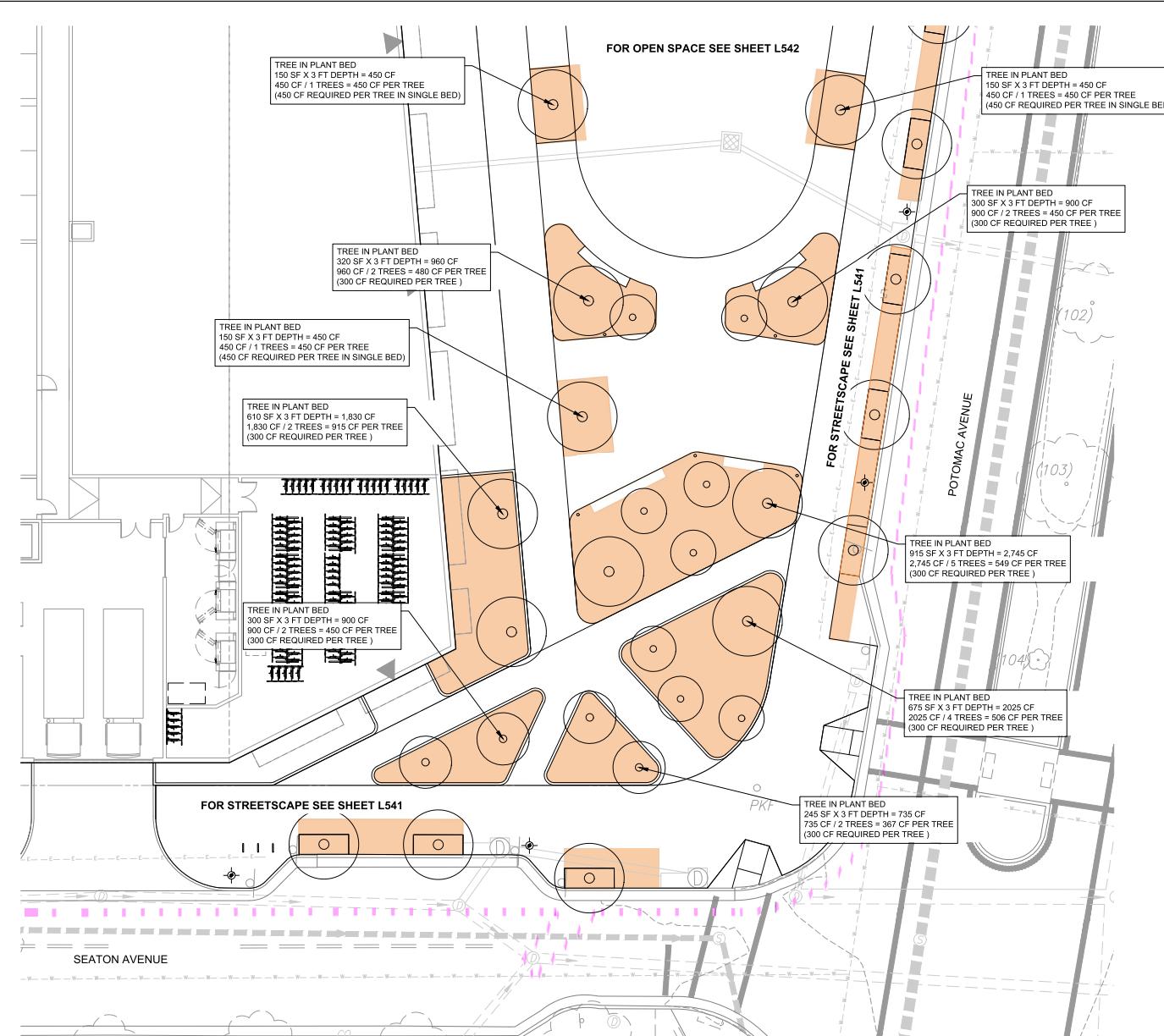
DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC
DIR. DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.
DIR. DATE
CHAMBER, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

VERT: N/A
HORZ: 1'-0"

0 5 10 20

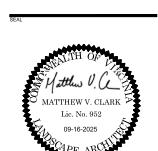
SHEET TITLE: SOILS PLAN - OPEN SPACE - NORTH

SHEET NUMBER: L542

**LEGEND****OPEN SPACE SOIL VOLUME**

Extent of 3' depth of uncompact soil volume for trees.
All other plant beds have min 24" soil depth

EAST



NOT FOR CONSTRUCTION
LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDDESIGN-FR5314

2024019A

REVISION / ISSUANCE

NO.	CONCEPT & SUBMISSION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSUP SUBMISSION	06/05/2025
3	POSUP WITH SITE PLAN	09/16/2025

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

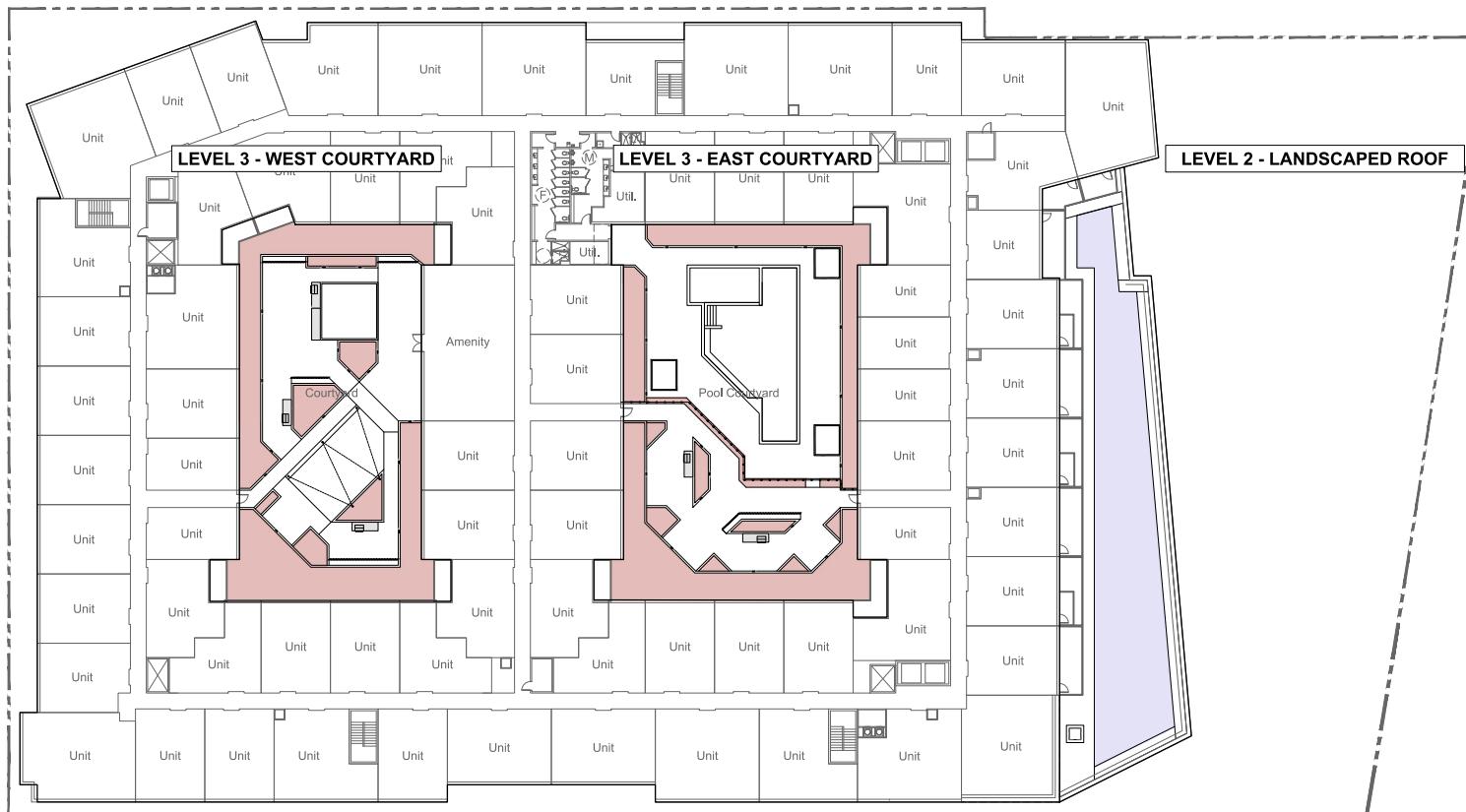
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____	
DIRECTOR	DATE
CHAMBER OF COMMERCE	DATE
DATE RECORDED	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

DESIGNED BY: MC DRAWN BY: WT CHECKED BY: MC
VERT: N/A HGT: 1'-0" 0' 5' 10' 20'
SHEET TITLE: SOILS PLAN - OPEN SPACE - SOUTH
SHEET NUMBER: L543

LEGEND

COURTYARDS AND GREEN ROOF SOIL VOLUME

- ALL PLANT BEDS HAVE MIN 24" SOIL DEPTH
- MIN. 4" SOIL DEPTH FOR LANDSCAPED ROOF



NOT FOR CONSTRUCTION

LANDBAY G - B/E

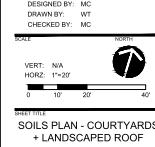
2900 POTOMAC AVE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDDESIGN TS-0114
2024019A

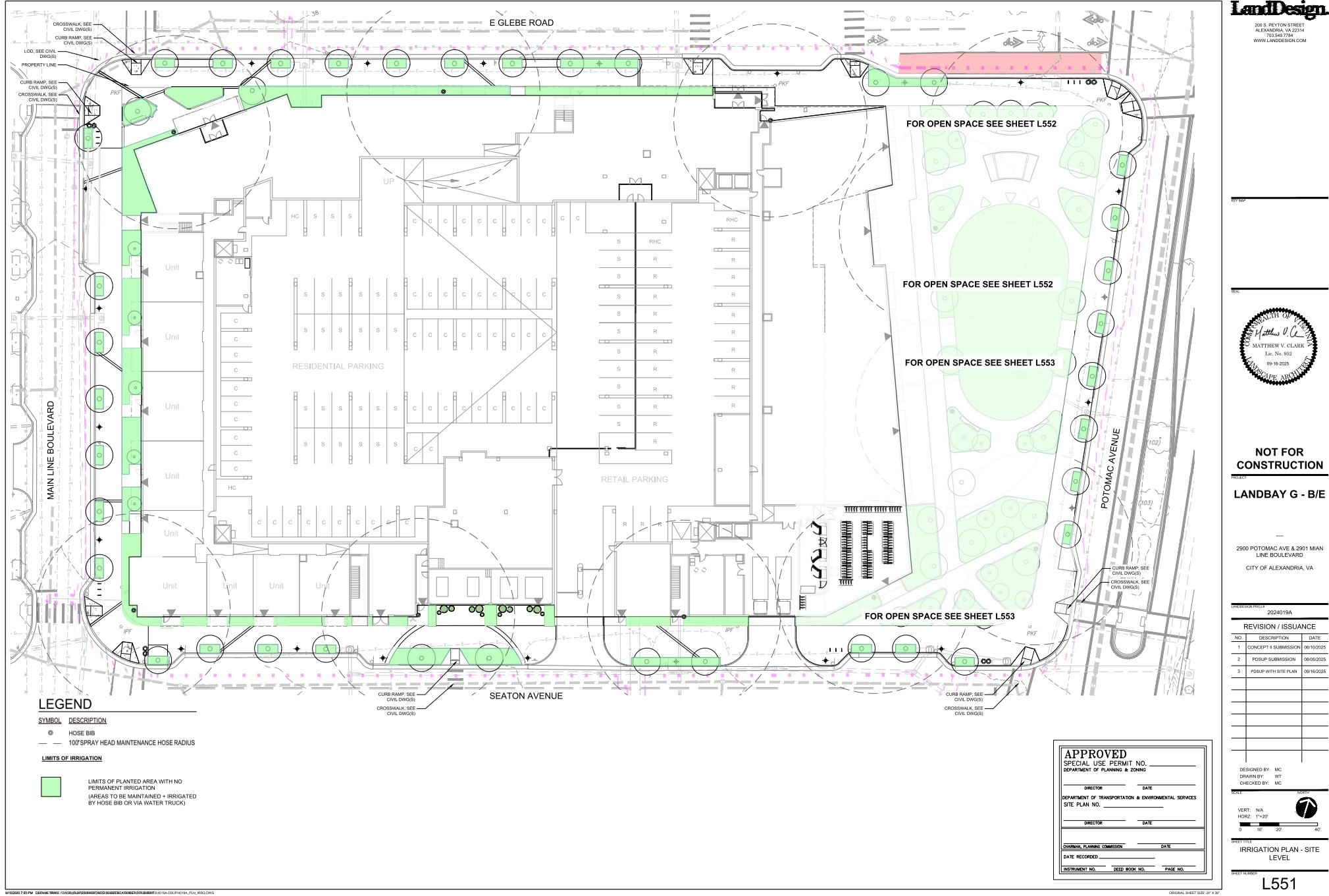
REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2025
2	POSLP SUBMISSION	06/05/2025
3	POSLP WITH SITE PLAN	09/16/2025

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAMBER, PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



SHEET NUMBER
L544



LEGEND

<u>SYMBOL</u>	<u>DESCRIPTION</u>
◎	HOSE BIB

LIMITS OF IRRIGATION



**LIMITS OF PLANTED AREA WITH NO
PERMANENT IRRIGATION**

This architectural site plan illustrates the layout of E Glebe Road and its surrounding areas. The plan shows a network of streets, including E Glebe Road at the top and Potomac Avenue on the right. A large green shaded area represents allocated green space, which is further detailed in other sheets. Key features include a green oval-shaped park in the center, several smaller green circles representing trees or shrubs, and a green rectangle representing a building footprint. Arrows indicate directions and specific locations like PKF. Text labels provide instructions for landscape design: "FOR STREETSCAPE SEE SHEET L551" is located near the top center, "FOR OPEN SPACE SEE SHEET L553" is at the bottom center, and "FOR STREETSCAPE SEE SHEET L551" appears again on the right side. The plan uses a combination of solid black lines for roads and dashed lines for property boundaries and easements.

**NOT FOR
CONSTRUCTION**

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MIAN
LINE BOULEVARD

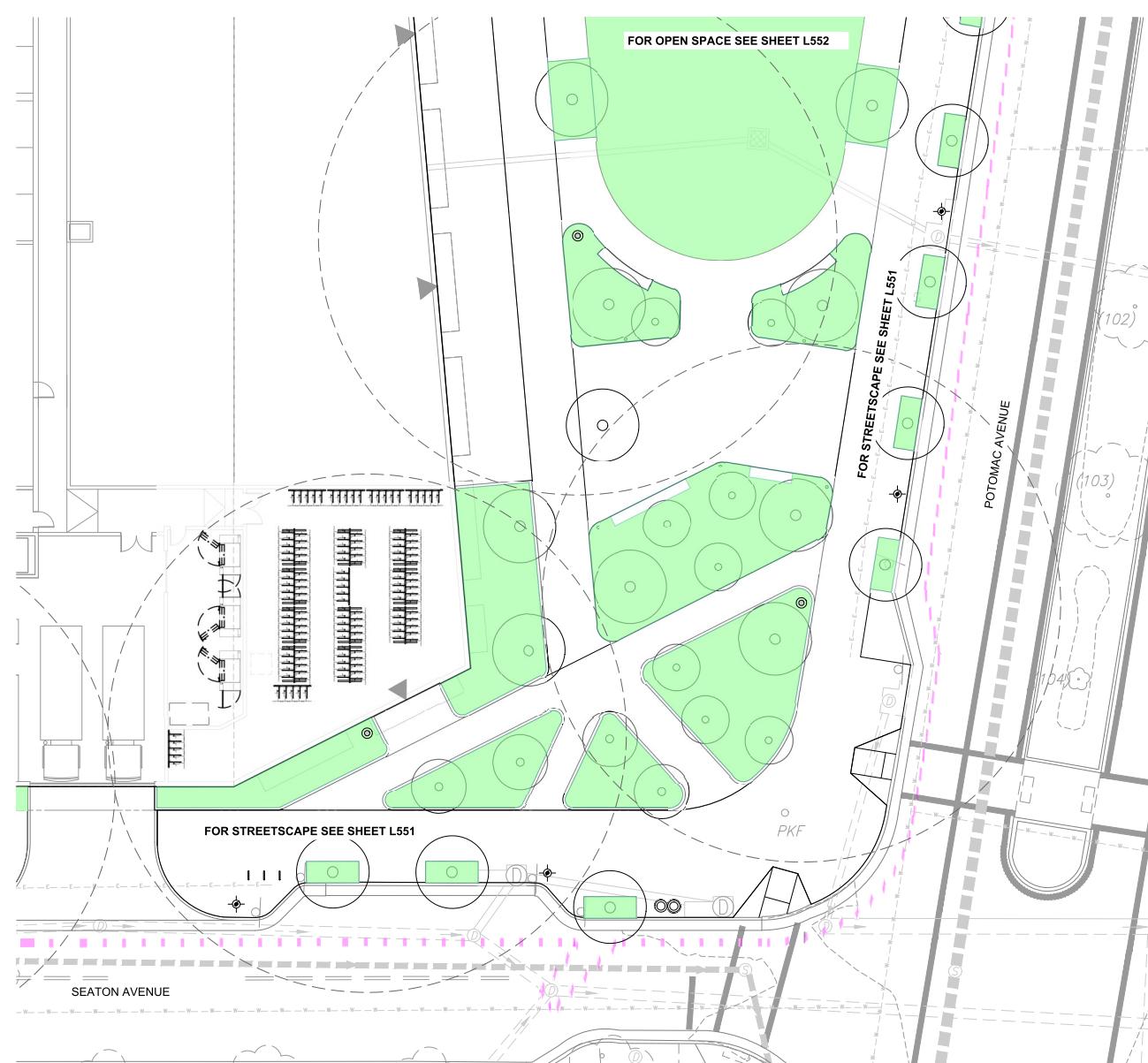
CITY OF ALEXANDRIA, VA

LANDOIS/SKIN PROJ. #

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2022
2	PD&SUP SUBMISSION	08/05/2022
3	PD&SUP WITH SITE PLAN	08/16/2022

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHARMING PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

L552



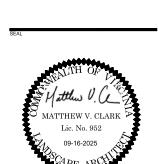
LEGEND

SYMBOL	DESCRIPTION
◎ HOSE BIB	
— 10' SPRAY HEAD MAINTENANCE HOSE RADIUS	

LIMITS OF IRRIGATION

[Green square icon]	LIMITS OF PLANTED AREA WITH NO PERMANENT IRRIGATION (AREAS TO BE MAINTAINED + IRRIGATED BY HOSE BIB OR VIA WATER TRUCK)
---------------------	--

EAST SIDE



NOT FOR CONSTRUCTION

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MAIN LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDDESIGN-155314

2024019A

REVISION / ISSUANCE

NO.	CONCEPT 8 SUBMISSION	DATE
1	CONCEPT 8 SUBMISSION	06/10/2025
2	POSLP SUBMISSION	06/05/2025
3	POSLP WITH SITE PLAN	09/16/2025

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR DATE

CHAMBER OF COMMERCE DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

NORTH

VERT: N/A

HORZ: 1'-0"

0 5 10 20'

SHEET TITLE

IRRIGATION PLAN - OPEN SPACE - SOUTH

SHEET NUMBER

ORIGINAL SHEET SIZE: 24" X 36"

L553

LEGEND

<u>SYMBOL</u>	<u>DESCRIPTION</u>
⊗	HOSE BIB
— —	100' SPRAY HEAD MAINTENANCE HOSE RADIUS

LIMITS OF IRRIGATION

LIMITS OF PLANTED AREA WITH NO
PERMANENT IRRIGATION
(AREAS TO BE MAINTAINED + IRRIGATED
BY HOSE BIB OR VIA WATER TRUCK)

LIMITS OF AREA WITH Drip IRRIGATION



**NOT FOR
CONSTRUCTION**

LANDBAY G - B/E

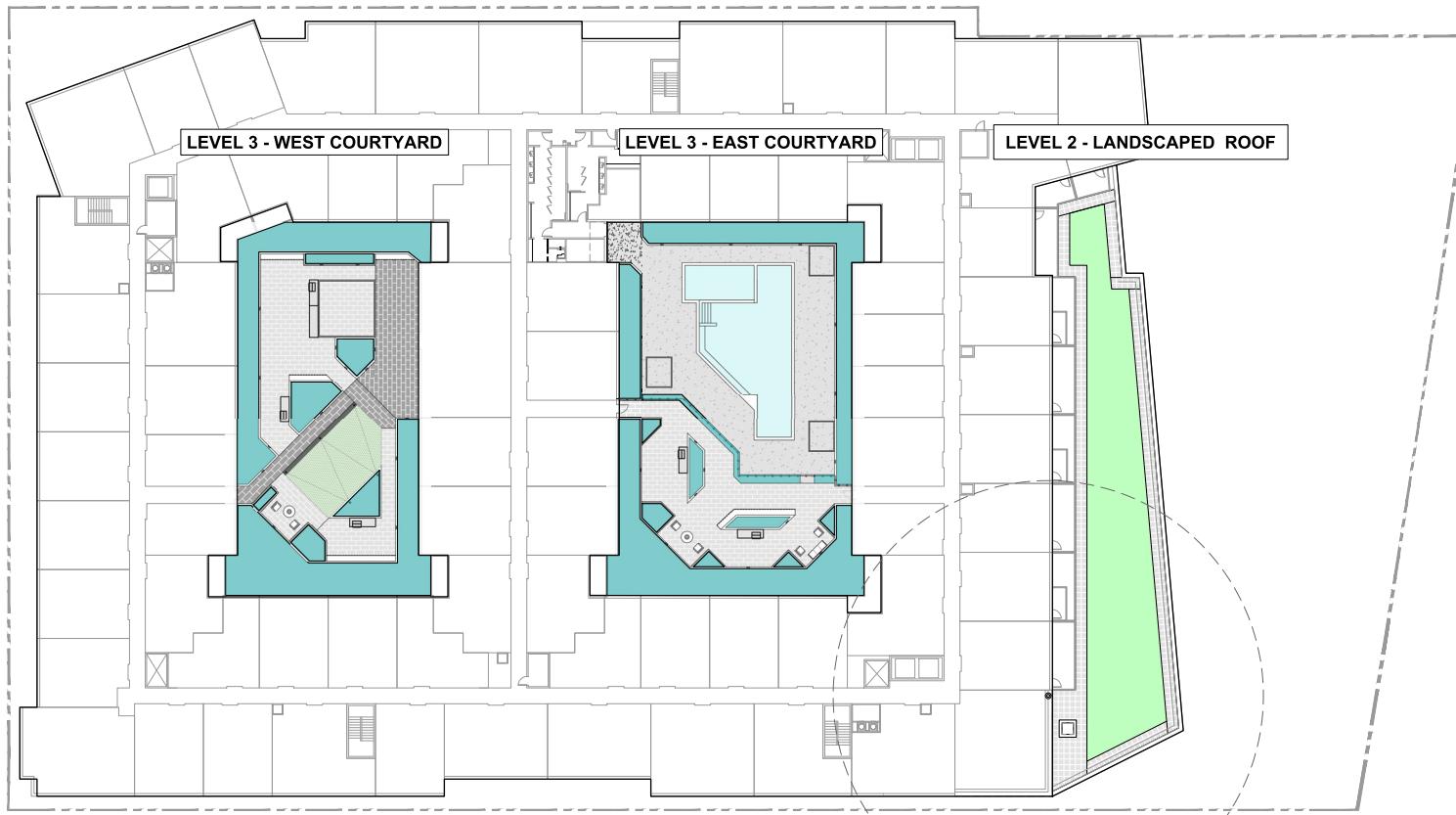
2900 POTOMAC AVE & 2901 MIAN
LINE BOULEVARD
CITY OF ALEXANDRIA, VA

LANDSCAPE ARCHITECTURE

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	06/10/2022
2	PDSUP SUBMISSION	08/05/2022
3	PDSUP WITH SITE PLAN	09/16/2022

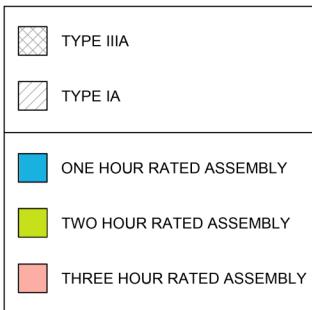
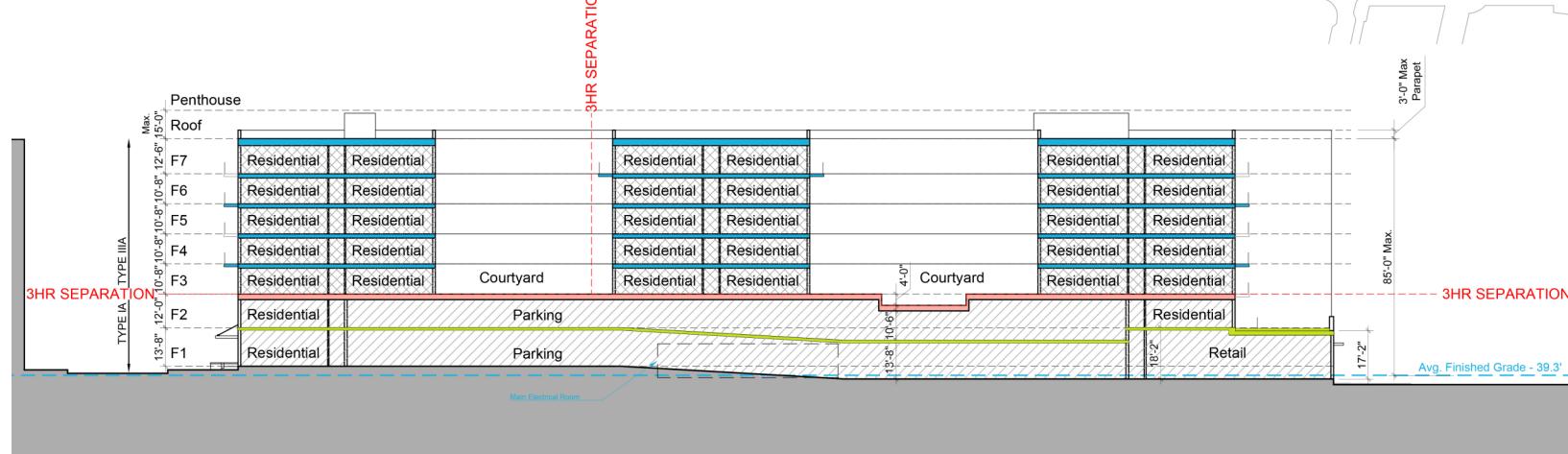
APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

L554



Land Bay G B+E

Alexandria, VA



BUILDING CODE ANALYSIS									
APPLICABLE CODES (CITY OF ALEXANDRIA, VA)									
2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2021 ICC Family of codes with incorporated Virginia amendments)									
BUILDING WEST					BUILDING EAST				
FLOOR	AREA (SF)	USE GROUP	TYPE OF CONSTRUCTION	ALLOWABLE NO. OF STOREIES	ALLOWABLE HEIGHT (FT)	ALLOWABLE AREA PER FLOOR (INCLUDING FRONTAGE INCREASE)	FIRE PROTECTION	ALLOWABLE TOTAL BUILDING AREA (SF)	
3-HOUR HORIZONTAL SEPARATION									
Level 7	23,674	R2	III A	5	85'	84,000	NFPA-13		
Level 6	24,535	R2	III A	5	85'	84,000	NFPA-13		
Level 5	24,535	R2	III A	5	85'	84,000	NFPA-13		
Level 4	24,535	R2	III A	5	85'	84,000	NFPA-13		
Level 3	24,535	R2	III A	5	85'	84,000	NFPA-13		
TOTAL AREA	121,814					252,000			
** 3-HOUR HORIZONTAL BUILDING SEPARATION									
BUILDING LOWER									
FLOOR	AREA (SF)	USE GROUP	TYPE OF CONSTRUCTION	ALLOWABLE NO. OF STOREIES	ALLOWABLE HEIGHT (FT)	ALLOWABLE AREA PER FLOOR	FIRE PROTECTION	ALLOWABLE TOTAL BUILDING AREA (SF)	
Level 2	94,259	R2 / S2	IA	UNLIMITED	UNLIMITED	UNLIMITED	NFPA-13		
Level 1	102,070	R2, S2, *** A2, A3, B, M	IA	UNLIMITED	UNLIMITED	UNLIMITED	NFPA-13		
TOTAL AREA	196,329							UNLIMITED	

- * Unseparated Use: Total area of A3 Use Group < 10% of floor area, therefore A3 is an accessory to the R2 use.
- ** Horizontal building separation located above level 2 (Type IA Construction), below upper 5 stories of Type IIIA Construction.
- *** Unseparated Use Groups, Type IA Construction, unlimited area.
- **** Potential retail tenant Use Groups, final Use Groups to be determined at time of tenant fit out.

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	DATE
DIRECTOR	DATE
CHAMBERS PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO. _____	SEED BOOK NO. _____
09/16/2025	

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Building Analysis



09/16/2025

A0.2

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2001 K St. NW, South Tower
Suite 200
Washington, DC 20006
ktgy.com
202.599.9191

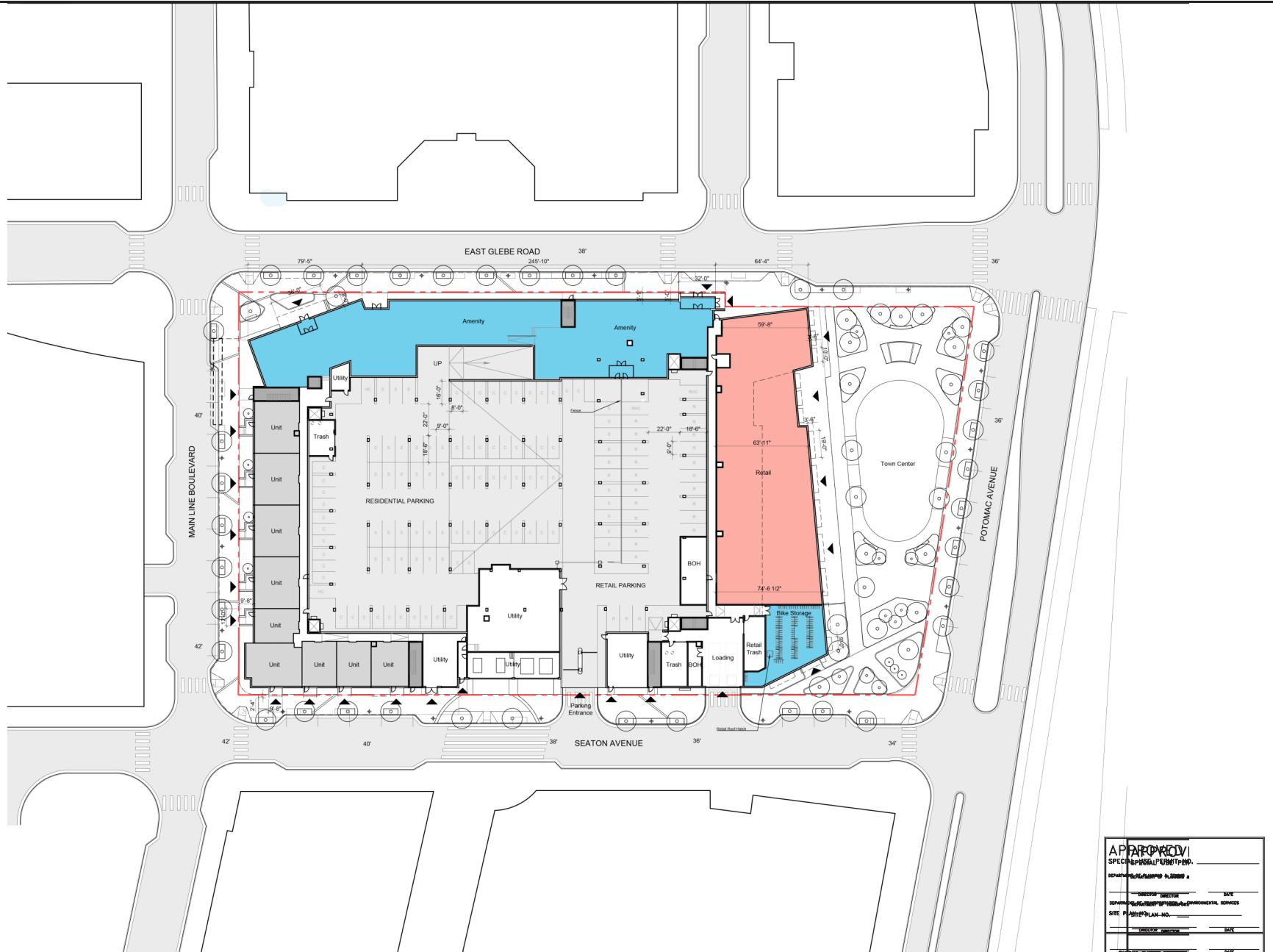
KTGY Project No: 240516

Project Contact: Ben Kasdan
Email: bkasdan@ktgy.com

Principal: Ben Kasdan
Project Designer: Federico Soifer

Land Bay G B+E

Alexandria, VA



No. Date Description

It is the client's responsibility to see or during construction to verify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor may complain. The architect shall not be liable for any damages resulting from any error or omission which he may have made in his plans and specifications, provided that the client shall not be relieved from the obligation to pay the fees and other compensation due him for the work. The client agrees to pay the architect for the design and construction services in accordance with the terms of the contract.

APPROVED!		
SPECIFICATIONS APPROVED		
REPRESENTATIVE SIGNATURE	DATE	
DIRECTOR DIRECTOR	DATE	
DEPARTMENT OF ENVIRONMENTAL SERVICES		
SITE PLANNING NO. _____		
DIRECTOR DIRECTOR	DATE	
CHIEF PLANNER PLANNING	DATE	
DATE RECORDED		
INSTRUMENT NO.	BED BOOK NO.	DATE



License Stamp

Floor 1

0 15 30 60

09/16/2025

A2.0

ktgy

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2001 K St. NW, South Tower
Suite 200
Washington, DC 20006
ktgy.com
202.599.9191

KTGY Project No: 240516

Project Contact: Ben Kasdan
Email: bkasdan@ktgy.com

Principal: Ben Kasdan
Project Designer: Federico Soifer

Land Bay G B+E

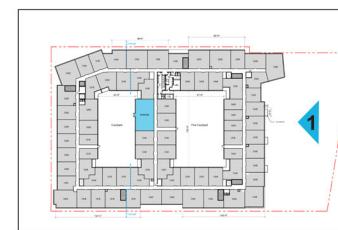
Alexandria, VA



1. Potomac Ave Elevation

MATERIAL LIST

1.1	Brick 1 - White Brick
1.2	Brick 2 - Medium Gray
1.3	Brick 3 - Black/Charcoal(Graphite)
1.4	Brick 4/CMU - TBD
1.5	Mural (To be designed before FSP Approval)
2.1	Cementitious Panelized Facade Lap Type 1 - Light Gray/White Panel
2.2	Cementitious Panelized Facade Lap Type 2 - Espresso
2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing



It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor may have knowledge. The architect will make a reasonable effort to respond to such a request. All correspondence regarding the plans and specifications should be directed from the architect prior to the start of or during construction proceeding with the work. The client will be responsible for all costs associated with these procedures if not followed.



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Elevations

0 8 16 32
09/16/2025

A4.0

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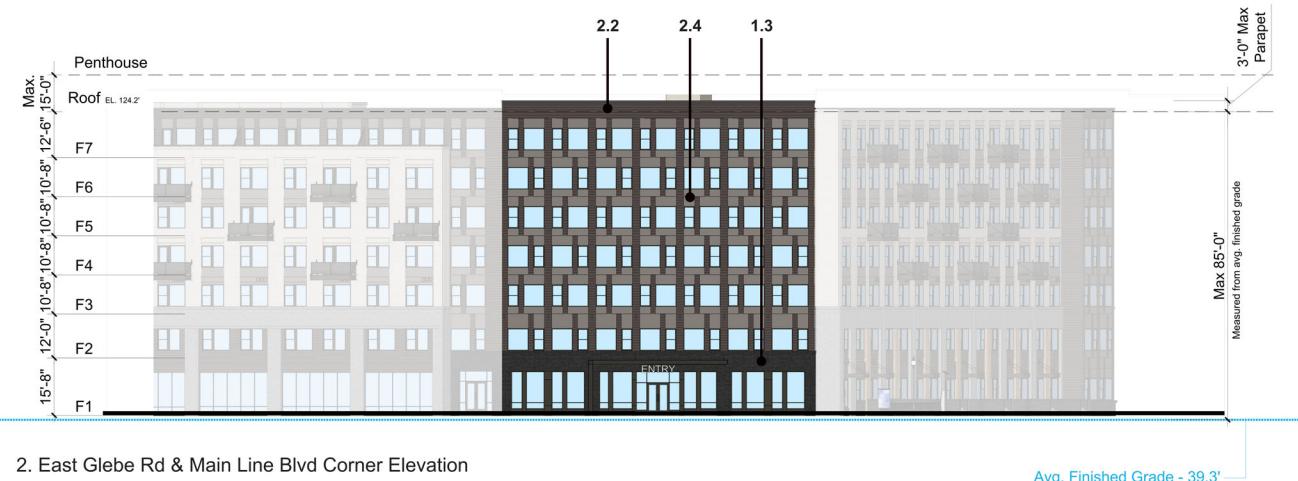
KTGY Project No: 240516

Project Contact: Ben Kasdan
Email: bkasdan@ktgy.com

Principal: Ben Kasdan
Project Designer: Federico Soifer

Land Bay G B+E

Alexandria, VA



2. East Glebe Rd & Main Line Blvd Corner Elevation



3. East Glebe Rd Elevation

1.1	Brick 1 - White Brick
1.2	Brick 2 - Medium Gray
1.3	Brick 3 - Black/Charcoal(Graphite)
1.4	Brick 4/CMU - TBD
1.5	Mural (To be designed before FSP Approval)
2.1	Cementitious Panelized Facade Lap Type 1 - Light Gray/White Panel
2.2	Cementitious Panelized Facade Lap Type 2 - Espresso
2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing



APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
PLAN NO.	DATE
CHAMBER OF COMMERCE	
DIRECTOR	DATE
CITY PLANNING COMMISSION	
RECORDED	DATE
PERMIT NO. DEED BOOK NO. DATE	

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Elevations

1	0	8	16	32
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09/16/2025

A4.1

ktgy

Architecture | Branding | Interiors | Planning
2001 K St. NW, South Tower
Suite 200
Washington, DC 20006
ktgy.com
202.599.9191

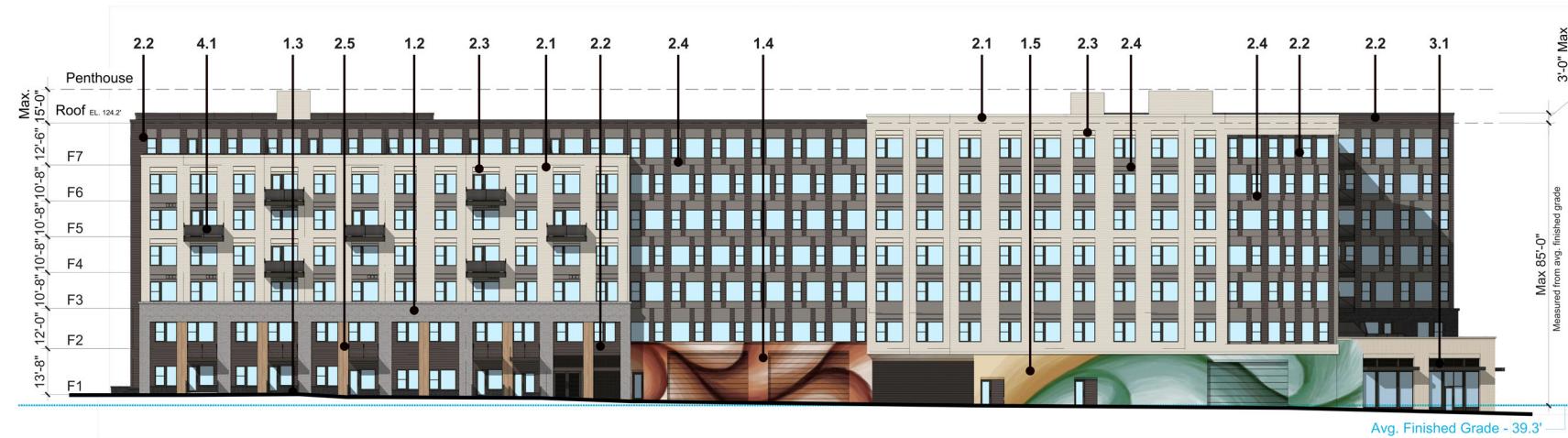
KTGY Project No: 240516

Project Contact: Ben Kasdan
Email: bkasdan@ktgy.com

Principal: Ben Kasdan
Project Designer: Federico Soifer



4. Main Line Blvd Elevation



5. Seaton Ave Elevation

MATERIAL LIST

1.1	Brick 1 - White Brick
1.2	Brick 2 - Medium Gray
1.3	Brick 3 - Black/Charcoal(Graphite)
1.4	Brick 4/CMU - TBD
1.5	Mural (To be designed before FSP Approval)
2.1	Cementitious Panelized Facade Lap Type 1 - Light Gray/White Panel
2.2	Cementitious Panelized Facade Lap Type 2 - Espresso
2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing

NOTE: MURAL IS ILLUSTRATIVE, TO BE FINALIZED AT FINAL SITE PLAN



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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
PLAN NO. _____	_____
DIRECTOR	DATE
CHARLES CO. PLANNING COMMISSION	
RECORDED	DATE
PERMIT NO. _____	DATE
DEED BOOK NO. _____	DATE

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor may have knowledge. Any changes made by the architect or contractor without written consent shall be removed from the architect prior to the client or client subcontractor proceeding with the work. The client or client subcontractor shall be liable for any damages if these procedures are not followed.



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Elevations

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A4.2

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KTGY Project No: 240516

Project Contact: Ben Kasdan
Email: bkasdan@ktgy.com

Principal: Ben Kasdan
Project Designer: Federico Soifer

Land Bay G B+E

Alexandria, VA



1. Northeast Corner



3. Southwest Corner



4. Southeast Corner

No.	Date	Description

It is the client's responsibility to verify or during construction to modify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor may be required to make changes to the plans and specifications. Any such changes shall be made by the architect and the cost of such changes shall be paid by the client. The architect shall not be liable for any damages resulting from the client's failure to follow these procedures.



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Perspectives

APPROVED		SPECIAL USE PERMIT NO. _____
STAFF OF PLANNING & ZONING		DATE _____
DIRECTOR _____		DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		DATE _____
PLAN NO. _____		DATE _____
DIRECTOR _____		DATE _____
COMMONWEALTH PLANNING COMMISSION		DATE _____
RECORDED _____		DATE _____
NAME NO. _____		BOOK NO. _____
NAME NO. _____		DATE _____

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A6.0