

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN  
LANDBAY G-B/E  
2900 POTOMAC AVENUE AND 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 3.1254 AC 136,144 SF  
EXISTING AREA OF TAX PARCELS = 3.1254 AC 136,144 SF  
PROPOSED AREA OF TAX PARCELS = 3.0885 AC 134,969 SF  
TOTAL DISTURBED AREA = 3.9422 AC 171,721 SF  
EXISTING IMPERVIOUS AREA = 3.6714 AC 159,925 SF  
PROPOSED IMPERVIOUS AREA = 3.5410 AC 154,247 SF

ENVIRONMENTAL SITE ASSESSMENT

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER THERE ARE NO WETLANDS PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS, NOR AREAS WITH THE POTENTIAL FOR GENERATING COMBUSTIBLE GASES ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT TO PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINERS REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.
- ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWC) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-638-4400 EXT 287/255.
- THIS PROJECT IS NOT LOCATED IN A COMBINED SEWER AREA.
- THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
- THIS SITE IS NOT LOCATED WITHIN 1,000 FEET OF A FORMER LANDFILL OR OTHER DUMP SITE.
- TO THE BEST OF OUR KNOWLEDGE, CONTAMINATED SOIL MAY INCLUDE ARSENIC WITH ZONES OF ELEVATED PETROLEUM COMPOUNDS AND/OR LEAD. ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

ENVIRONMENTAL PERMITS NOTES

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.  
THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES WHICH DISTURB MORE THAN 1 ACRE, THEREFORE A WPDES PERMIT IS REQUIRED.

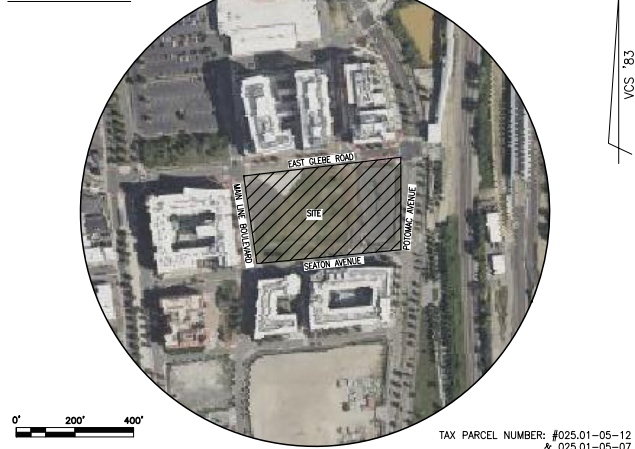
ARCHAEOLOGY NOTES

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF HISTORIC OR PREHISTORIC ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY NON-PROFESSIONAL METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

VICINITY MAP



TAX PARCEL NUMBER: #025.01-05-12 & 025.01-05-07

PROJECT DESCRIPTION NARRATIVE

THE APPLICANT REQUESTS A DEVELOPMENT SPECIAL USE PERMIT (DSUP) WITH PRELIMINARY SITE PLAN TO PERMIT THE DEVELOPMENT OF A MIXED-USE BUILDING CONTAINING APPROXIMATELY 432 UNITS AND 13,196 SF OF GROUND FLOOR COMMERCIAL SPACE.

REQUESTED APPLICATIONS AND MODIFICATIONS:

- DEVELOPMENT SPECIAL USE PERMIT WITH PRELIMINARY SITE PLAN FOR MULTI-UNIT DWELLINGS WITH GROUND-FLOOR RETAIL.
- SPECIAL USE PERMIT FOR THE REDUCTION OF REQUIRED PARKING, PURSUANT TO ZONING ORDINANCE SECTION 8-100(4).
- MODIFICATION OF THE HEIGHT TO SETBACK RATIO ALONG E GLEBE ROAD, SEATON AVENUE, & MAIN LINE BOULEVARD PURSUANT TO SECTION 6-403(A).
- SPECIAL USE PERMIT FOR MORE THAN THREE PENTHOUSES.
- ENCROACHMENT INTO THE PUBLIC RIGHT-OF-WAY FOR ARCHITECTURAL FEATURES.

OWNER/DEVELOPER

OWNER:  
2900 POTOMAC AVENUE LLC (PARCEL G-B)  
2901 MAIN LINE BOULEVARD LLC (PARCEL G-E)  
4747 BETHESDA AVE  
BETHESDA, MD 20814  
(240) 333-3600  
CONTACT: ROBBIE SACLARIDES | RSACLARIDES@BGSMT.COM

APPLICANT:  
MTV HOLICO LLC  
4747 BETHESDA AVE  
BETHESDA, MD 20814  
(240) 333-3600  
CONTACT: ROBBIE SACLARIDES | RSACLARIDES@BGSMT.COM

CIVIL ENGINEER:  
R.C. FIELDS & ASSOCIATES, INC.  
625 N. WASHINGTON STREET, SUITE 250  
ALEXANDRIA, VA 22314  
(703) 549-6422  
CONTACT: TAYLOR DOYLE  
TD@RCFACSSOC.COM

ARCHITECT:  
KTDY ARCHITECTURE  
2001 K STREET NW SOUTH TOWER,  
SUITE 200  
WASHINGTON, DC 20006  
(202) 599-9191  
CONTACT: BEN KASDAN

LANDSCAPE ARCHITECT:  
LAND DESIGN INC.  
200 SOUTH PISTON STREET  
ALEXANDRIA, VA 22314  
(703) 549-7784  
CONTACT: WILL TALERO  
WTALERO@LANDDESIGN.COM

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ZONING TABULATIONS

- TAX MAP #: #025.01-05-12 & 025.01-05-07
- ZONE OF SITE: EXISTING: CDD #10
- USE: EXISTING: VACANT LAND  
PROPOSED: MULTI-UNIT RESIDENTIAL DWELLING WITH COMMERCIAL
- TOTAL LOT AREA: REQUIRED: N/A DEDICATION: 1,175 SF (0.0270 AC.)  
EXISTING: 136,144 SF (3.1254 AC.) PROPOSED: 134,969 SF (3.0885 AC.)
- NUMBER OF UNITS: UNIT TYPE | # OF UNITS | 1 BEDROOM | 1 BEDROOM | 1 BEDROOM + DEN | 2 BEDROOM | TOTAL  
22 | 275 | 31 | 104 | 432
- NUMBER OF BEDROOMS: 536 BEDROOMS
- UNITS PER ACRE: PERMITTED: N/A PROPOSED: 139 UNITS/ACRE
- AVERAGE FINISHED GRADE: 39.30
- OPEN SPACE: REQUIRED: 20,000 SF PARKING: 20,000 SF (14.7%)  
PROPOSED: GROUND LEVEL (PRIVATE WITH PUBLIC ACCESS): 20,000 SF (14.7%)  
GROUND LEVEL (PRIVATE): 3,000 SF (2.2%)  
TOTAL OPEN SPACE: 34,036 SF (25.0%)
- TREE CROWN COVERAGE: REQUIRED: 25% PROPOSED: 34,750 SF (25.5%)
- HEIGHT: ALLOWED: 110' (PER THE POTOMAC YARD/POTOMAC GREENS SMALL AREA PLAN MAP 24)  
PROPOSED: 85'
- FLOOR AREA: RESIDENTIAL COMMERCIAL PARKING TOTAL  
GROSS 441,039 SF 13,196 SF 109,847 SF 564,073 SF  
NET 357,490 SF 13,196 SF 109,847 SF 480,533 SF
- FAR: ALLOWED: N/A  
PROPOSED: TOTAL RESIDENTIAL: 2.62, RETAIL: 0.10, PARKING: 0.81 TOTAL: 3.53
- YARDS: REQUIRED: N/A  
PROVIDED: NORTH 0.5' SOUTH 4.5' EAST 63.6' WEST 4.0'
- FRONTAGE: REQUIRED: N/A  
PROVIDED: NORTH 498.0' SOUTH 433.16' EAST 263.49' WEST 239.56'
- PARKING TABULATION: (WITHIN ENHANCED TRANSIT AREA)  
PARKING REQUIRED COMMERCIAL: MIN: 0.25/1,000 SF OF FLOOR AREA = 0.25/1000\*13,196 = 4 SPACES  
MAX: 3.07/1,000 SF OF FLOOR AREA = 3.07/1000\*13,196 = 40 SPACES  
RESIDENTIAL REDUCTIONS: 0.2% - WITHIN 0.25 MILES OF 4 OR MORE BUS ROUTES  
0.8 SPACES + 0.50% = 0.76 SPACES BEDROOM  
0.76\*536 BEDROOMS = 408 SPACES  
TOTAL: MIN: 412 SPACES, MAX: 448 SPACES  
PARKING PROVIDED: COMMERCIAL 24 0 2 26  
RESIDENTIAL 120 129 6 255  
TOTAL 144 129 8 281  
TOTAL PROVIDED PARKING: 281 TOTAL SPACES  
ON STREET PARALLEL PARKING: 24 SPACES (4 SHORT TERM PARKING SPACES)
- LOADING SPACES: REQUIRED: 1 PROPOSED: 2
- TRIP GENERATION: EXISTING USE: CDD APPROVED USE: (OFFICE/RETAIL/RESIDENTIAL) (RESIDENTIAL & COMMERCIAL) NET TRIPS:  
(VACANT) AM PEAK: 0 APT AM PEAK: 482 APT AM PEAK: 209 APT AM PEAK: 319 APT  
PM PEAK: 0 APT PM PEAK: 275 APT PM PEAK: 756 APT PM PEAK: 319 APT  
VPD: 0 VPD VPD: 4,471 VPD VPD: 2,733 VPD VPD: 1,738 VPD  
(PER ITE STANDARDS) (PER ITE STANDARDS)
- BICYCLE PARKING: REQUIRED:  
SHORT TERM/RETAIL: 2 SPACES PER 10,000 SF=2.6, RESIDENTIAL: 1 SPACE PER 50 UNITS=8.6 SPACES, TOTAL=12 SPACES  
LONG TERM: RETAIL: 1 SPACE PER 25,000 SF=0.5, RESIDENTIAL: 3 SPACES PER 10 UNITS=129.6 SPACES, TOTAL=130 SPACES  
PROVIDED: SHORT TERM=24 SPACES, LONG TERM=140 SPACES, TOTAL=164 SPACES

COMPLETE STREETS INFORMATION:

CROSSWALKS (NUMBER)	NOW	UPGRADED
STANDARD	N/A	N/A
HIGH VISIBILITY	N/A	N/A
CURB RAMP	N/A	11
SIDEWALKS (LF)	N/A	1563
BICYCLE PARKING (NUMBER SPACES)	156	8
PUBLIC/VISITOR	16	8
PRIVATE/GARAGE	140	N/A
BICYCLE PATHS (LF)	N/A	N/A
PEDESTRIAN SIGNALS	N/A	N/A

BUILDING CODE ANALYSIS:

USE:	1ST FLOOR: RETAIL, RESIDENTIAL & PARKING GARAGE; 2ND FLOOR: RESIDENTIAL & RETAIL; 3RD-6TH FLOOR: RESIDENTIAL
USE GROUP:	R-2 WITH ACCESSORY USES
TYPE OF CONSTRUCTION:	III-A & IA
NUMBER OF STORIES:	7 STORIES
FLOOR AREA (PER FLOOR):	~75,500 SF
BUILDING HEIGHT:	85'
FIRE SUPPRESSION/DETECTION:	FULLY SPRINKLERED

625 N. WASHINGTON ST.  
SUITE 250  
ALEXANDRIA, VA 22314  
703.549.6422  
WWW.RCFACSSOC.COM

ENGINEERING LAND SURVEYING PLANNING

PROJ. MANAGER: TAYLOR DOYLE  
EMAIL: TD@RCFACSSOC.COM

DATE: 09/17/2025  
SCALE: AS NOTED  
DRAWN: ARD



REVISION APPROVED BY	DATE	APPROVED
REV.	DATE	DESCRIPTION
NO.		

PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
LANDBAY G-B/E  
2900 POTOMAC AVENUE  
2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

COVER SHEET

SHEET NAME:

APPROVED  
SPECIAL USE PERMIT NO.

SIGNATURE OF PLANNER & 2900B

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE OF MANUFACTURING & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

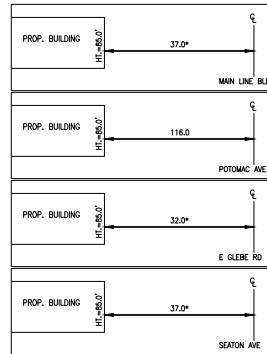
DATE RECORDED \_\_\_\_\_

RETRAYMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ DATE \_\_\_\_\_

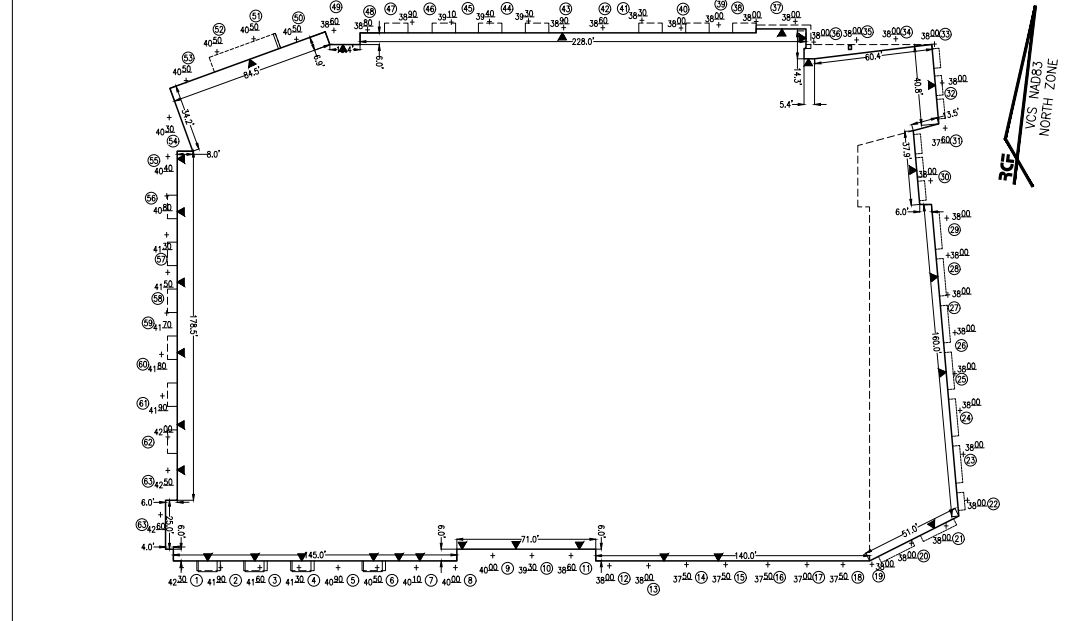
# SECTION 6-403 COMPLIANCE NOTE:

SECTION 6-403 STATES "IN ALL HEIGHT DISTRICTS, THE ALLOWABLE HEIGHT OF A BUILDING AT ANY POINT SHALL NOT EXCEED TWICE THE DISTANCE FROM THE FACE OF THE BUILDING AT THAT POINT TO THE CENTERLINE OF THE STREET FACING SUCH BUILDING." SEE DETAILS BELOW FOR SECTION SHOWING COMPLIANCE.  
\*SEE REQUESTED APPLICATIONS AND MODIFICATIONS ON SHEET C1.

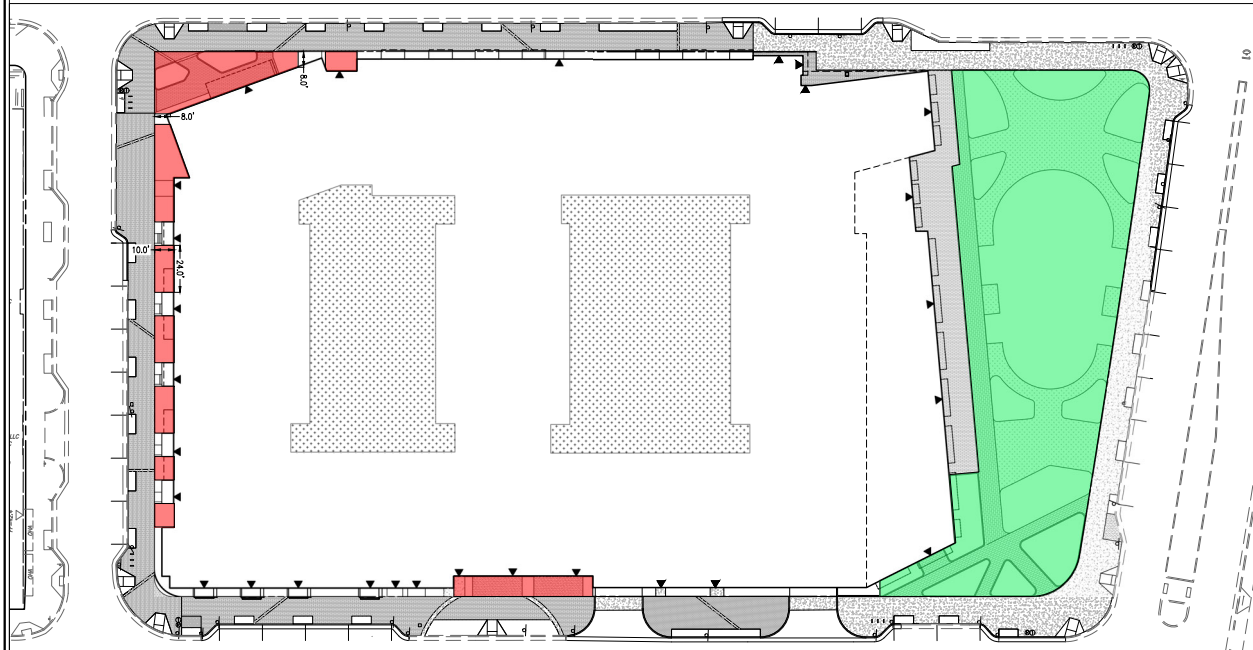
## SECTION 6-403 DETAILS: NOT TO SCALE



Spot	Elevation	Spot	Elevation
1	42.30	34	38.00
2	41.80	35	38.00
3	41.80	36	38.00
4	41.30	37	38.00
5	40.90	38	38.00
6	40.50	39	38.00
7	40.10	40	38.00
8	40.00	41	38.30
9	40.00	42	38.60
10	39.30	43	38.60
11	38.60	44	39.30
12	38.00	45	39.40
13	38.00	46	39.10
14	37.50	47	38.60
15	37.50	48	38.60
16	37.50	49	38.60
17	37.00	50	40.50
18	37.50	51	40.50
19	38.00	52	40.50
20	38.00	53	40.50
21	38.00	54	40.30
22	38.00	55	40.40
23	38.00	56	40.60
24	38.00	57	41.30
25	38.00	58	41.50
26	38.00	59	41.70
27	38.00	60	41.60
28	38.00	61	41.90
29	38.00	62	42.00
30	38.00	63	42.50
31	38.00	64	42.60
32	38.00	Average	39.30



AVERAGE FINISHED GRADE EXHIBIT  
SCALE: 1" = 30'



OPEN SPACE EXHIBIT  
SCALE: 1" = 30'

## OPEN SPACE:

TOWN CENTER GREEN

TOWN CENTER GREEN OPEN SPACE W/ PUBLIC ACCESS EASEMENT = 20,000 SF -

TOTAL TOWN CENTER GREEN OPEN SPACE = 20,000 SF

PRIVATE GROUND LEVEL OPEN SPACE = 3,000 SF -

PRIVATE ABOVE GRADE OPEN SPACE = 11,036 SF -

TOTAL OPEN SPACE = 34,036 SF

## APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

RECORDING NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ DAY \_\_\_\_\_

0' 30' 60'  
SCALE: 1" = 30'

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.  
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.  
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.  
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.  
© 2025 R.C. FIELDS & ASSOCIATES, INC.

PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

DATE \_\_\_\_\_ REVISION \_\_\_\_\_

DESIGN: ARO

CHECKED: TJD

SCALE: 1" = 30'

DATE: SEPT, 2025

AVERAGE GRADE & OPEN SPACE

DETAIL

SHEET **C2** OF **29**

FILE: **22-125**

DATE: SEPT, 2025

DESIGN: ARO

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AVERAGE GRADE & OPEN SPACE

DETAIL

SHEET **C2** OF **29**



# SYMBOLS LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
AIR CONDITIONING UNIT		
UTILITY POLE		
FIRE DEPARTMENT CONNECTION		
STORM STRUCTURE IDENTIFIER		
STORM MANHOLE		
STORM SEWER LAYOUT		
SANITARY STRUCTURE IDENTIFIER		
SANITARY MANHOLE		
SANITARY SEWER LAYOUT		
SIDEWALK		
SIGN		
SIGN (DOUBLE POST)		
GAS VALVE		
GAS LINE		
GAS METER		
IRRIGATION VALVE		
BOLLARD		
CLEANOUT		
WELL		
WATERLINE		
WATER VALVE		
WATER METER		
TRANSFORMER		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELEC BOX/STRUCTURE		
ELECTRIC LINE		
TELECOMMUNICATION LINE		
CABLE LINE		
CABLE/ELECTRIC/TELECOMMUNICATION LINE		
TELECOMMUNICATION MANHOLE		
OVERHEAD STREET LIGHT		
LIGHT POLE		
LANDSCAPE LIGHT		
FENCES		
GRADING SPOT		
GRADING CONTOUR		
BUILDING ENTRANCE		
PAVING		
GUARDRAIL		
CURB AND GUTTER		
PROPOSED SPILL CURB		
PROPOSED TRANSITION/NOSE DOWN CURB		
LIMITS OF DISTURBANCE		
PROPERTY LINE		

## TEXT LEGEND:

\* = DEGREES  
 MIN = MINUTES (OR FEET)  
 S = SECONDS (OR INCHES)  
 % = PERCENT  
 # = NUMBER  
 BS = BOUNDS  
 AC = ACRE  
 ADA = AMERICANS W/ DISABILITIES ACT  
 APPROX = APPROXIMATE  
 BC = BOTTOM OF CURB  
 BF = BASEMENT FLOOR  
 BFE = BASE FLOOD ELEVATION  
 BLDG = BUILDING  
 BM = BENCHMARK  
 BSMT = BASEMENT  
 BOL = BOLLARD  
 BW = BOTTOM OF WALL  
 CATV = CABLE UTILITY  
 CL = CLAS  
 C/A = CENTERLINE  
 CLR = CLEARANCE  
 CLF = CHAIN LINK FENCE  
 CMP = CORRUGATED METAL PIPE  
 CO = CURB INLET  
 CO = CLEAN OUT  
 CONC = CONCRETE  
 C&G = CURB & GUTTER  
 CWR = COVER  
 DB = DEED BOOK  
 DHP = DRILL HOLE FOUND  
 DIP = DUCTILE IRON PIPE  
 DOM = DOMESTIC  
 DU = DWELLING UNIT  
 E = EAST  
 EBOX = ELECTRICAL BOX  
 ESMIT = EASEMENT  
 EP = EDGE OF PAVEMENT  
 EVE = EMERGENCY VEHICLE EASEMENT  
 EX = EXISTING  
 FDC = FIRE DEPT. CONNECTION  
 FF = FINISH FLOOR  
 FH = FIRE HYDRANT  
 FT = FEET  
 GI = GRATE INLET  
 G/L = GAS LINE  
 GM = GAS METER  
 G/S = GAS SERVICE  
 GV = GAS VALVE  
 HC = HEADER CURB  
 HDOP = HANDCOP  
 HDPE = HIGH DENSITY POLYETHYLENE  
 HP = HIGH POINT  
 HPS = HIGH PRESSURE SODIUM  
 IFF = IRON PIPE FOUND  
 INV = INVERT  
 INSTR = INSTRUMENT  
 INTX = INTERSECTION  
 IFF = IRON PIPE FOUND  
 L = LUMENS  
 LAT = LATERS  
 LED = LIGHT EMITTING DIODE  
 LL = LANDSCAPE LIGHT  
 # = #  
 LOC = LOCATION  
 LP = LIGHT POLE  
 MAX = MAXIMUM  
 MC = MATCH EXISTING  
 MH = MANHOLE  
 MIN = MINIMUM  
 MON = MONUMENT  
 MPH = MILES PER HOUR  
 MW = MONITORING WELL  
 N = NORTH  
 OHW = OVERHEAD WIRE  
 PED = PEDESTRIAN  
 PN = PANEL  
 PP = PAGE  
 PP = POWER POLE  
 PROP = PROPOSED  
 PVC = POLYVINYL CHLORIDE  
 R = RADIUS  
 RCP = REINFORCED CONCRETE PIPE  
 RELOC = RELOCATED  
 RET = RETAINING  
 RESID = RESIDENTIAL  
 REQ = REQUIRED  
 ROW = RIGHT-OF-WAY  
 S = SOUTH  
 SAN = SANITARY  
 SCH = SCHER  
 SF = SQUARE FEET  
 SQ FT = SQUARE FEET  
 STM = STORM  
 STR = STRUCTURE  
 SW = SIDEWALK  
 TBR = TO BE REMOVED  
 TBS = TO BE SAVED  
 TM = TAX MAP  
 TMH = TELEPHONE MANHOLE  
 TC = TOP OF CURB  
 TW = TOP OF WALL  
 TRAF SIG = TRAFFIC SIGNAL  
 TYP = TYPICAL  
 USE = UNDERGROUND ELECTRIC  
 UP = UTILITY POLE  
 VCS = VIRGINIA COORDINATE SYSTEM  
 V/L = VEHICLES PER DAY  
 W = WEST  
 W/L = WATER LINE  
 WM = WATER METER  
 W/S = WATER SERVICE  
 WSE = WATER SURFACE ELEVATION  
 WW = WATER WAVE  
 WW = WINDOW WELL  
 XING = CROSSING

## SANITARY SEWER TABLE:

<b>A BENCHMARK #1</b> SAN MH TOP=34.05 INV IN=24.80 (12") (PVC) INV OUT=24.65 (12") (PVC)	<b>B SAN MH</b> TOP=36.18 INV IN(a)=26.00 (12") (PVC) INV IN(b)=26.11 (LAT) INV OUT=25.89 (12") (PVC)	<b>C SAN MH</b> TOP=41.23 INV IN(a)=27.43 (12") (PVC) INV IN(b)=28.08 (LAT) INV OUT=27.39 (12") (PVC)	<b>D SAN MH</b> TOP=42.60 INV IN(a)=28.33 (LAT) INV IN(b)=27.75 (12") (PVC) INV OUT=27.73 (12") (PVC)	<b>E SAN MH</b> TOP=41.36 INV IN(a)=29.32 (LAT) INV IN(b)=29.12 (12") (PVC) INV OUT=28.94 (12") (PVC)	<b>F SAN MH</b> TOP=39.49 INV IN=30.00 (12") (PVC) INV OUT=29.79 (12") (PVC)	<b>G SAN MH</b> TOP=38.62 INV IN(a)=32.73 (LAT) INV IN(b)=31.40 (10") (PVC) INV IN(c)=31.47 (LAT) INV OUT=31.13 (12") (PVC)	<b>H BENCHMARK #2</b> SAN MH TOP=38.14 INV IN(a)=32.02 (LAT) INV IN(b)=31.70 (10") (PVC) INV OUT=31.70 (10") (PVC)	<b>I SAN MH</b> TOP=36.49 INV IN=23.94 (24") INV OUT=23.74 (24")	<b>J SAN MH</b> TOP=36.00 INV IN=28.00 (8") (PVC)	<b>K SAN MH</b> TOP=36.01 INV IN=27.51 (8") (PVC) INV OUT=27.46 (8") (PVC)	<b>L SAN MH</b> TOP=36.04 INV IN(a)=27.64 (21") INV IN(b)=26.99 (8") INV OUT=26.79 (24")	<b>M SAN MH</b> TOP=35.86 INV IN=27.86 (10") INV OUT=27.58 (21")	<b>N SAN MH</b> TOP=34.24 INV IN=23.74 (24")	<b>O SAN MH</b> TOP=34.04 INV IN(a)=24.04 (12") (PVC) INV IN(b)=23.44 (24") INV OUT=23.34 (24")	<b>P SAN MH</b> TOP=34.13 INV IN=24.34 (12") (PVC) INV OUT=24.30 (12") (PVC)	<b>Q SAN MH</b> TOP=38.45 INV IN=32.75 (LAT) INV OUT=32.70 (10") (PVC)	<b>R SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>S SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>T SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>U SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>V SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>W SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>X SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>Y SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>Z SAN MH</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63
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## STORM SEWER TABLE:

<b>1 CURB INLET</b> TOP=34.81 INV IN(a)=34.99 INV IN(b)=34.82 INV OUT=34.73	<b>2 STORM MH</b> TOP=34.66 INV IN=30.27 INV OUT=30.16	<b>3 STORM MH</b> TOP=35.52 INV IN(a)=31.58 INV IN(b)=31.58 INV OUT=31.12	<b>4 CURB INLET</b> TOP=38.81 THROAT=38.92 INV IN(a)=38.23 INV IN(b)=38.23 INV OUT=38.08	<b>5 STORM MH</b> TOP=36.45 INV IN(a)=32.36 INV IN(b)=32.43 INV IN(c)=32.57 INV OUT=32.13	<b>6 CURB INLET</b> TOP=36.66 THROAT=35.91 INV IN(a)=10" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=32.63	<b>7 CURB INLET</b> TOP=39.64 THROAT=38.89 INV IN(a)=8" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=35.89	<b>8 STORM MH</b> TOP=39.41 INV IN(a)=34.99 INV IN(b)=34.82 INV OUT=34.73	<b>9 CURB INLET</b> TOP=39.77 THROAT=38.92 INV IN(a)=38.23 INV IN(b)=38.23 INV OUT=38.08	<b>10 STORM MH</b> TOP=43.16 INV IN=38.23 INV OUT=38.08	<b>11 CURB INLET</b> TOP=41.25 THROAT=42.37 INV IN(a)=4" PVC INV IN(b)=18" PVC INV IN(c)=4" PVC INV OUT=38.20	<b>12 STORM MH</b> TOP=42.39 INV IN(a)=37.40 INV IN(b)=37.65 INV IN(c)=36.97	<b>13 CURB INLET</b> TOP=40.89 THROAT=40.06 INV IN(a)=36.87	<b>14 STORM MH</b> TOP=40.58 INV IN(a)=35.41 INV IN(b)=36.26 INV IN(c)=36.32 INV OUT=35.24	<b>15 CURB INLET</b> TOP=40.95 THROAT=40.11 INV IN(a)=34.99 INV IN(b)=34.82 INV OUT=34.73	<b>16 CURB INLET</b> TOP=39.49 THROAT=38.75 INV IN(a)=4" PVC INV IN(b)=4" PVC INV IN(c)=4" PVC INV OUT=35.52	<b>17 CURB INLET</b> TOP=39.74 THROAT=38.84 INV IN(a)=34.44 INV IN(b)=35.06 INV IN(c)=34.42	<b>18 STORM MH</b> TOP=39.60 INV IN(a)=35.22 INV IN(b)=25.43 INV IN(c)=35.13 INV OUT=29.50	<b>19 STORM MH</b> TOP=39.49 INV IN(a)=32.87 INV IN(b)=28.09 INV OUT=27.89	<b>20 CURB INLET</b> TOP=38.36 INV IN(a)=30.40	<b>21 CURB INLET</b> TOP=38.29 THROAT=37.45 INV IN(a)=34.99 INV IN(b)=34.82 INV OUT=29.40	<b>22 STORM MH</b> TOP=36.32 INV IN=31.67 INV OUT=31.52	<b>23 CURB INLET</b> TOP=37.30 THROAT=36.44 INV IN(a)=27.65 INV IN(b)=27.58 INV OUT=27.22	<b>24 CURB INLET</b> TOP=37.26 THROAT=36.46 INV IN(a)=27.05 INV IN(b)=25.43 INV IN(c)=35.13 INV OUT=29.50	<b>25 CURB INLET</b> TOP=36.68 THROAT=35.96 INV IN(a)=24.57 INV IN(b)=23.44 INV IN(c)=30.94 INV OUT=23.05	<b>26 STORM MH</b> TOP=36.77 INV IN(a)=30.40	<b>27 YARD INLET</b> TOP=36.39 THROAT=35.4/4 SIDE: INV OUT=33.04	<b>28 CURB INLET</b> TOP=39.63 THROAT=38.78 INV OUT=35.64	<b>29 CURB INLET</b> TOP=39.66 THROAT=38.71 INV OUT=35.71
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## GENERAL NOTES:

- TAX MAP: #025.01-05-12 (PARCEL G-8) & #025.01-05-07 (PARCEL G-E)
- ZONE: CDD#10
- OWNER/APPLICANT: 2900 POTOMAC AVENUE LLC (PARCEL G-8)  
2901 MAIN LINE BOULEVARD LLC (PARCEL G-E)  
C/O MTH HOLDING LLC  
2200 CLARENDON BOULEVARD, SUITE 130  
ARLINGTON, VIRGINIA 22201
- TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = 'NA86' BIRD FIELD GPS DATA REFERENCED TO THE RTK NETWORK LOCAL, SMARTNET.
- THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83), NORTH ZONE. US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO REAL TIME KINETIC GPS SURVEY.
- A TITLE REPORT HAS NOT BEEN FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 136,144 S.F. OR 3.1254 ACRES.
- THE "GENERALIZED ALEXANDRIA SOIL MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
- THIS PROJECT IS NOT LOCATED IN A LOCAL HISTORIC DISTRICT BOUNDARY AND THERE ARE NO DESIGNATED 100-YEAR OLD BUILDINGS ON THIS SITE.
- THIS PROPERTY IS LOCATED IN THE FOUR MILE RUN (POTOMAC RIVER) WATERSHED.
- PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL, WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND SEPTIC FACILITIES.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA STATEWIDE BUILDING CODE (VSBBC).
- BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASSESSOR INSPECTOR FOR THE PRESENCE OF ASBESTOS.
- A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
- REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
- ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
- IF APPLICABLE, THE PUBLIC GARBAGE FLOOR MUST COMPLY WITH USBC 406.3.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
- THIS PROJECT IS NOT A FEDERAL UNDERTAKING NOR DOES IT INVOLVE ANY FEDERAL FUNDS, REVIEWS, OR PERMITS AND SHALL COMPLY WITH SECTION 106 OF THE NATIONAL HISTORIC PRESERVATION ACT OF 1966.

## SANITARY SEWER OUTFALL NARRATIVE:

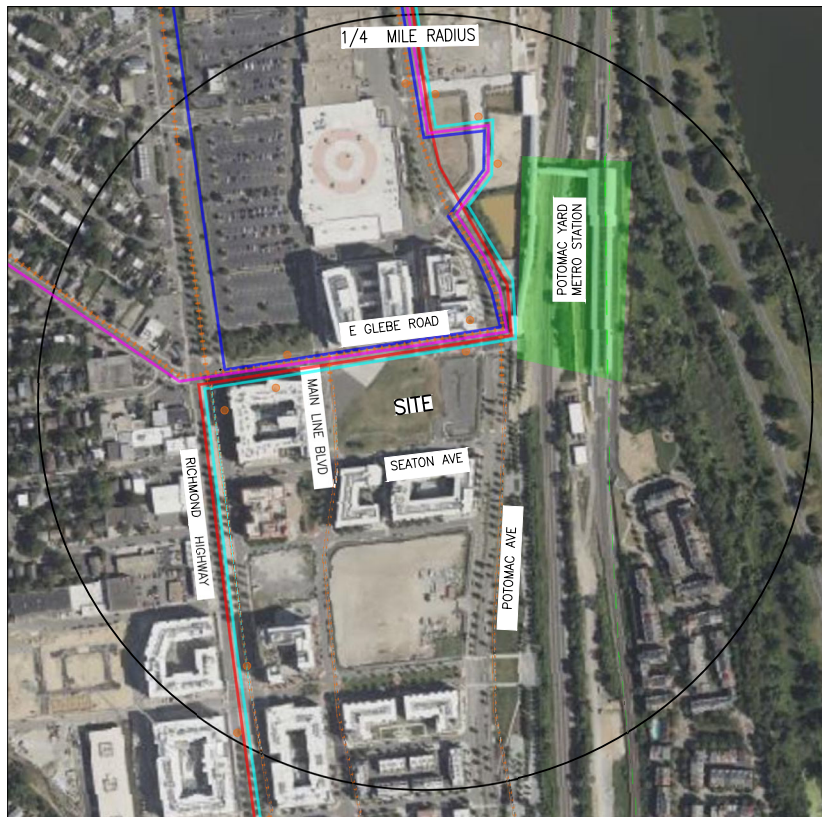
THE EXISTING SITE PRODUCES A SANITARY FLOW OF 0 GALLONS PER DAY.  
 THE PROPOSED RESIDENTIAL BUILDING PRODUCES 528,957 GALLONS PER DAY.

MULTI-UNIT: (300 GPD/UNIT OF RESIDENTIAL X 4 PFT) = (300 X 432) X 4 = 518,400 GPD  
 COMMERCIAL: (200 GPD/1000 SF X PFT) = (1,196 X 200 / 1000) X 4 = 10,557 GPD

SINCE THE TOTAL FLOW FROM THE PROPOSED USE DOES EXCEED 10,000 GPD, A DETAILED SANITARY SEWER OUTFALL ANALYSIS IS REQUIRED AND HAS BEEN PROVIDED ON SHEET C19.

## ALEXRENEW NOTE:

CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.  
 DOWNSPOUTING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITED TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X 2020.



CONTEXTUAL MAP  
 SCALE: 1" = 200'



GRAPHIC SCALE  
 0' 200' 400'

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	DATE _____
DIRECTOR _____	DATE _____
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	DATE _____
DIRECTOR _____	DATE _____
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PUBLIC WORKS	DATE _____
DIRECTOR _____	DATE _____
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PUBLIC WORKS	DATE _____
DIRECTOR _____	DATE _____

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA. © 2025 R.C. FIELDS & ASSOCIATES, INC.

625 N. WASHINGTON ST  
 SUITE 250  
 ALEXANDRIA, VA 22304  
 703.548.6422  
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PLANNING  
 LAND SURVEYING  
 ENGINEERING

TAYLOR & HOBBS  
 PROFESSIONAL SEAL  
 SEPTEMBER 12, 2025

PRELIMINARY DEVELOPMENT SPECIAL  
 USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
 2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
 CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: ARO  
 CHECKED: TJD  
 SCALE: 1"=200'  
 DATE: SEPT, 2025

GENERAL PLAN  
 INFORMATION  
 AND NOTES

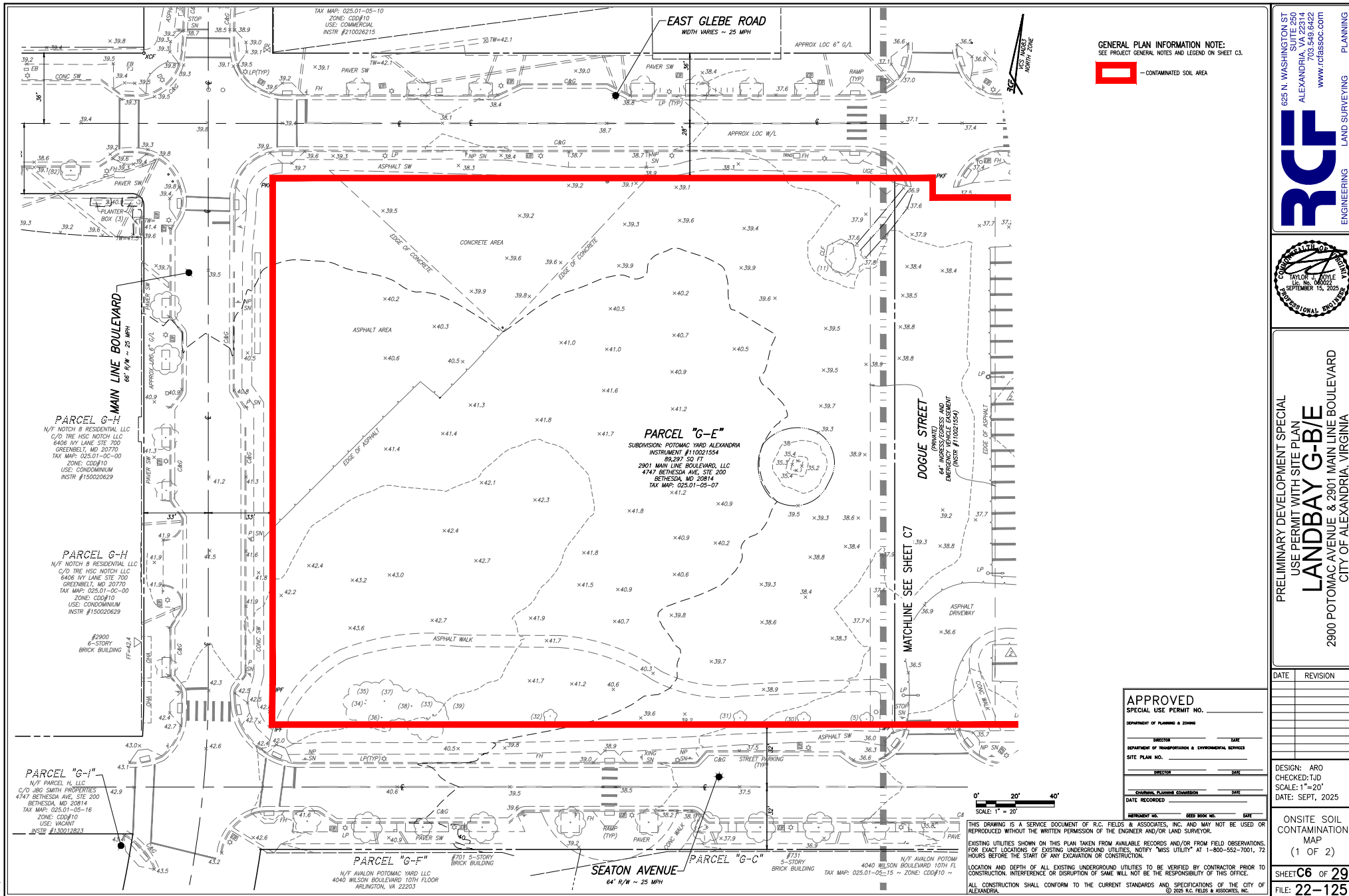
SHEET **C3** OF **29**  
 FILE: **22-125**











GENERAL PLAN INFORMATION NOTE:  
SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET C3.

- CONTAMINATED SOIL AREA

625 N. WASHINGTON ST  
SUITE 250  
ALEXANDRIA, VA 22304  
703.548.6422  
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PLANNING  
LAND SURVEYING  
ENGINEERING

PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_

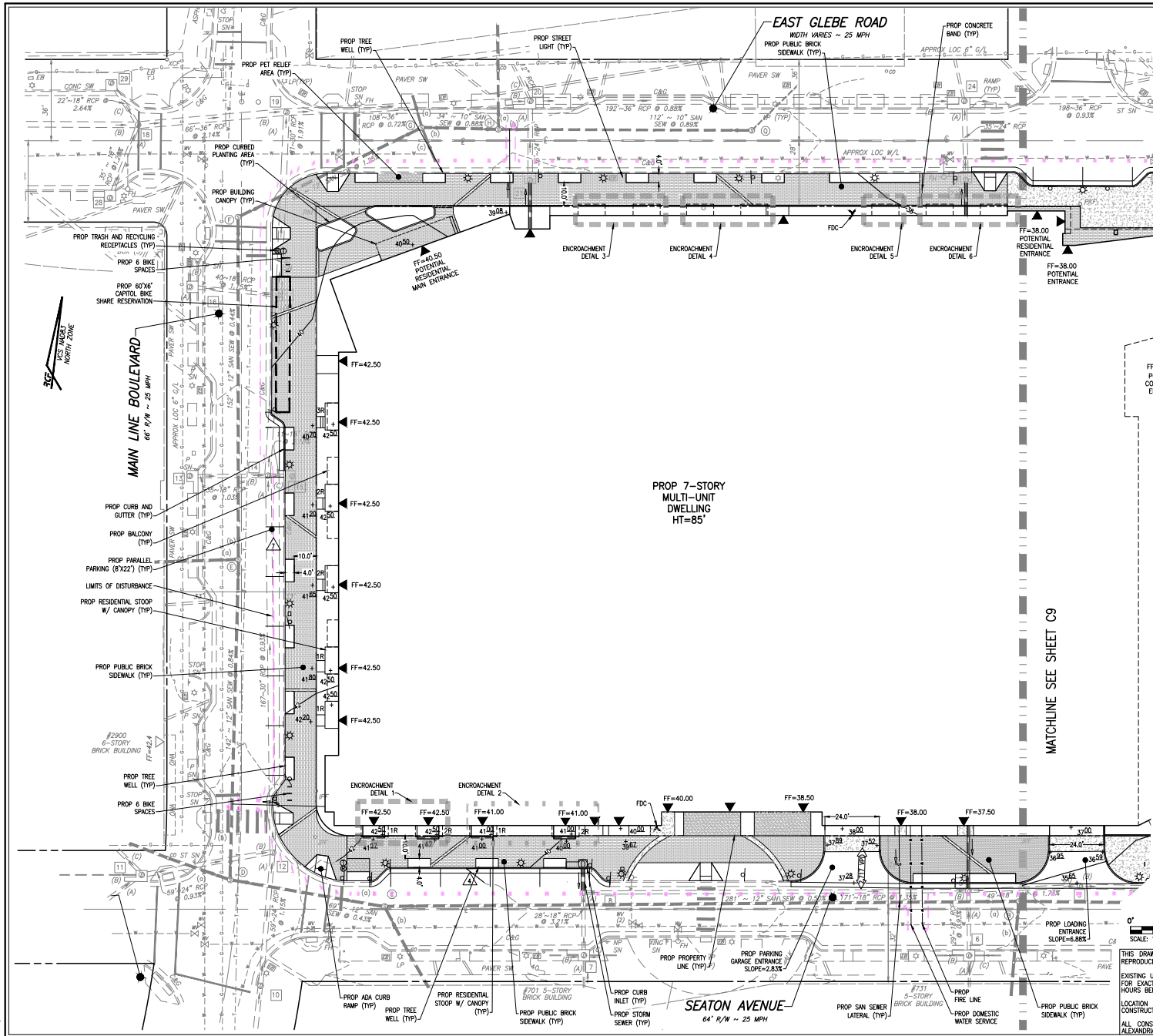
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CHECKED: TJD  
SCALE: 1"=20'  
DATE: SEPT, 2025

ONSITE SOIL  
CONTAMINATION  
MAP  
(1 OF 2)

SHEET **C6** OF **29**  
FILE: **22-125**

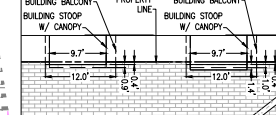


2025-01-15 10:00 AM 2025-01-15 10:00 AM



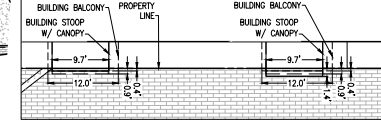
#### GENERAL PLAN INFORMATION NOTE:

SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET C3.



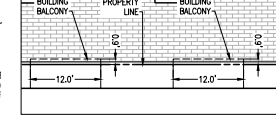
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SCALE: 1"=10'



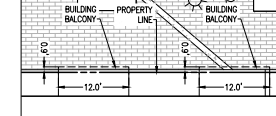
#### ENCROACHMENT DETAIL 2:

SCALE: 1"=10'



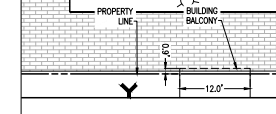
#### ENCROACHMENT DETAIL 3:

SCALE: 1"=10'



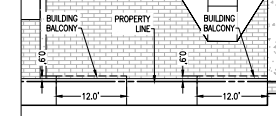
#### ENCROACHMENT DETAIL 4:

SCALE: 1"=10'



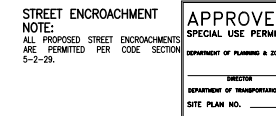
#### ENCROACHMENT DETAIL 5:

SCALE: 1"=10'



#### ENCROACHMENT DETAIL 6:

SCALE: 1"=10'



#### STREET ENCROACHMENT NOTE:

ALL PROPOSED STREET ENCROACHMENTS ARE PERMITTED PER CODE SECTION 5-2-29.

#### APPROVED SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

SITE PLAN NO. DATE

ENCLOSURE PLANNING DIVISION DATE

DATE RECORDED

RECORD NO. DATE

RECORD NO. DATE

RECORD NO. DATE

RECORD NO. DATE

RECORD NO. DATE

RECORD NO. DATE

RECORD NO. DATE

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SUITE 250  
ALEXANDRIA, VA 22304  
703.548.6422  
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PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

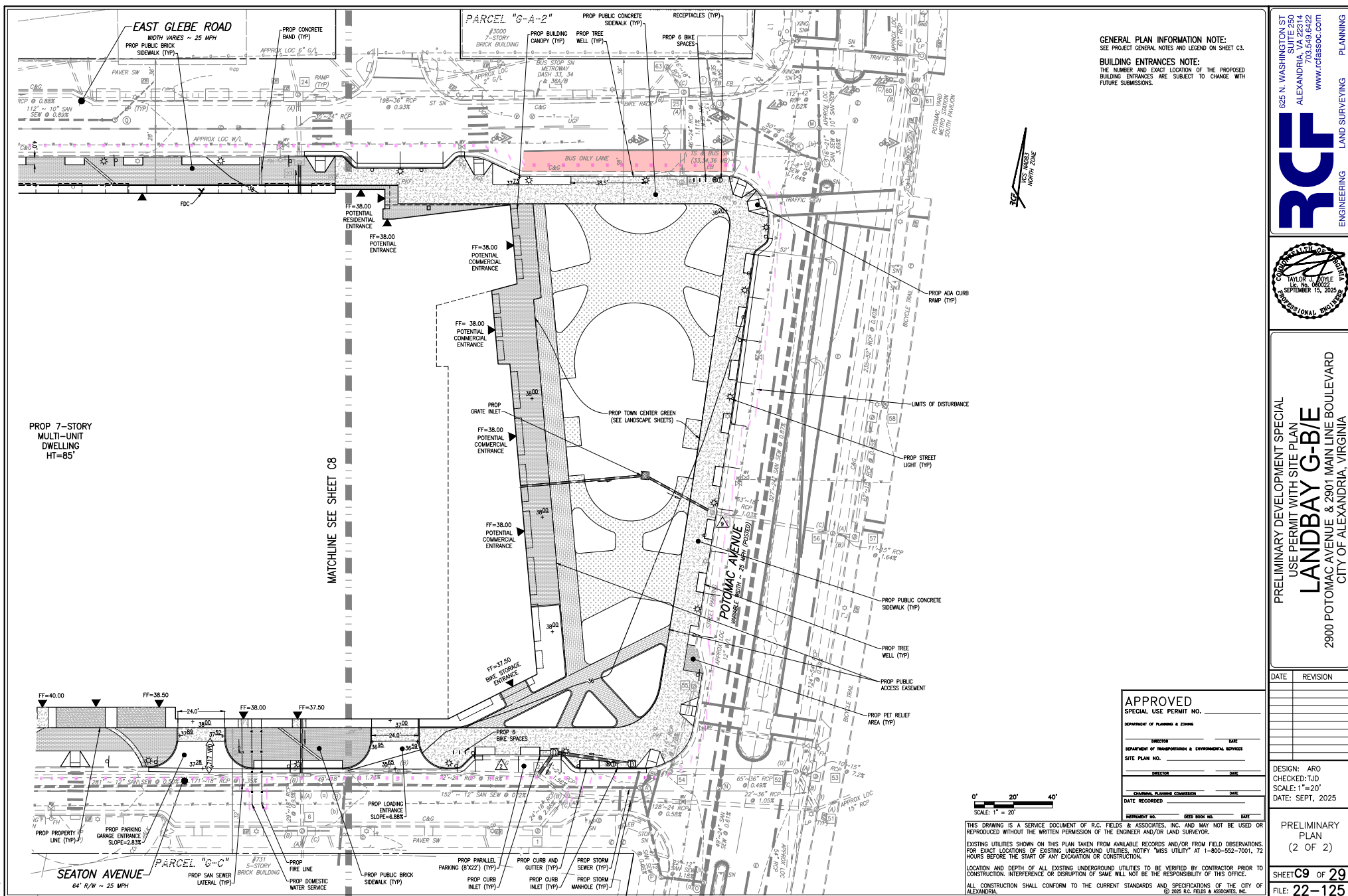
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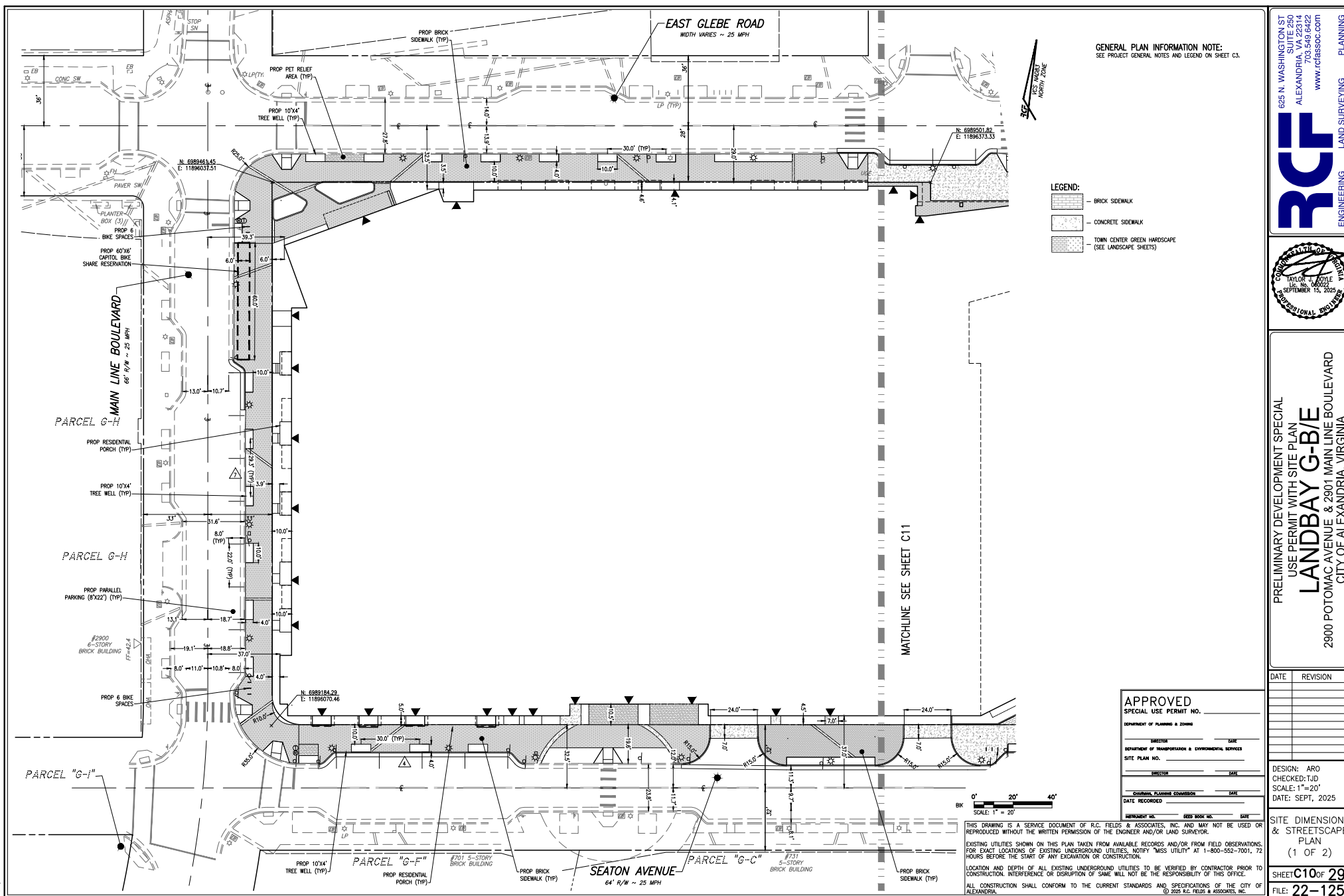
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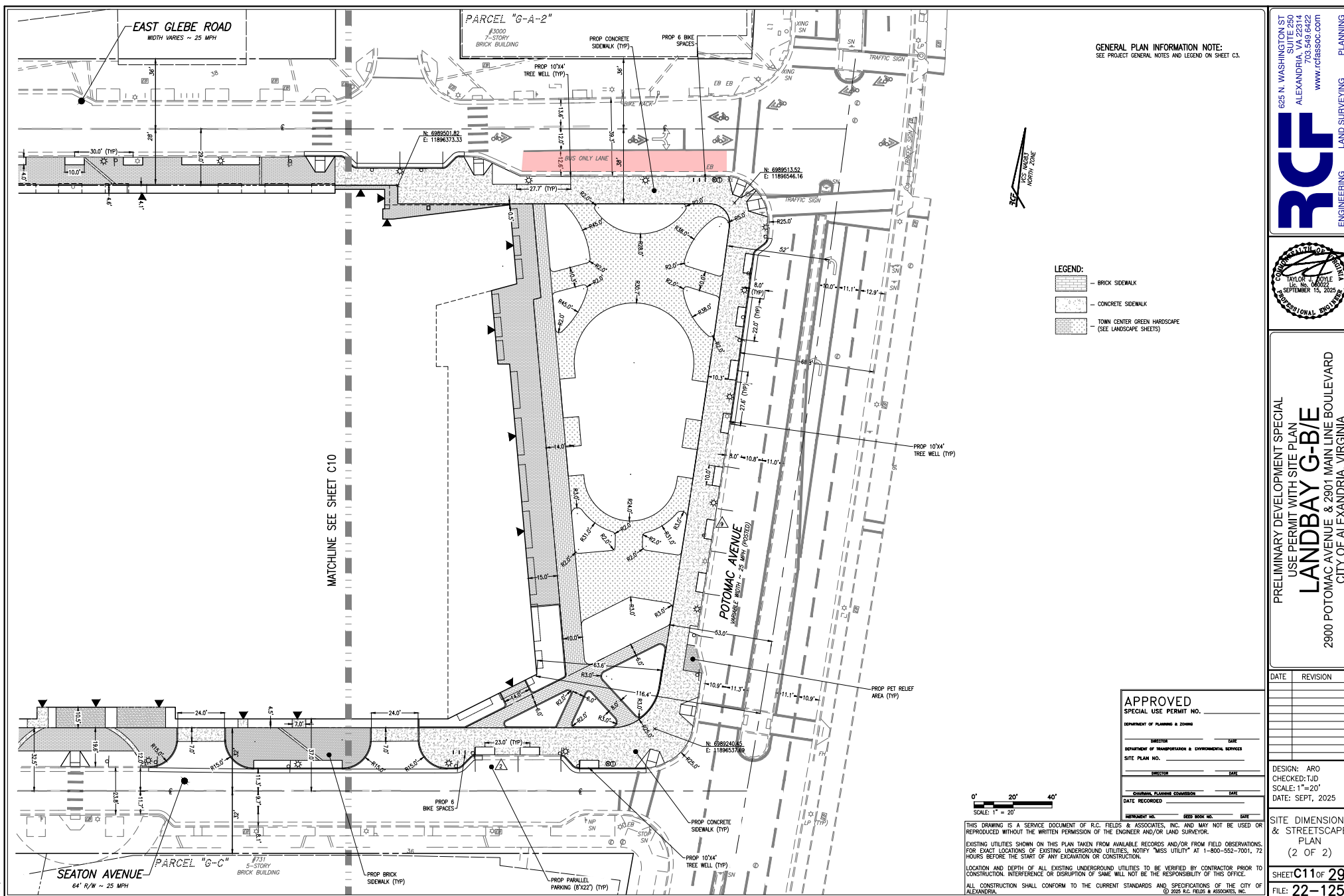
PRELIMINARY PLAN  
(1 OF 2)

SHEET **C8** OF **29**  
FILE: **22-125**



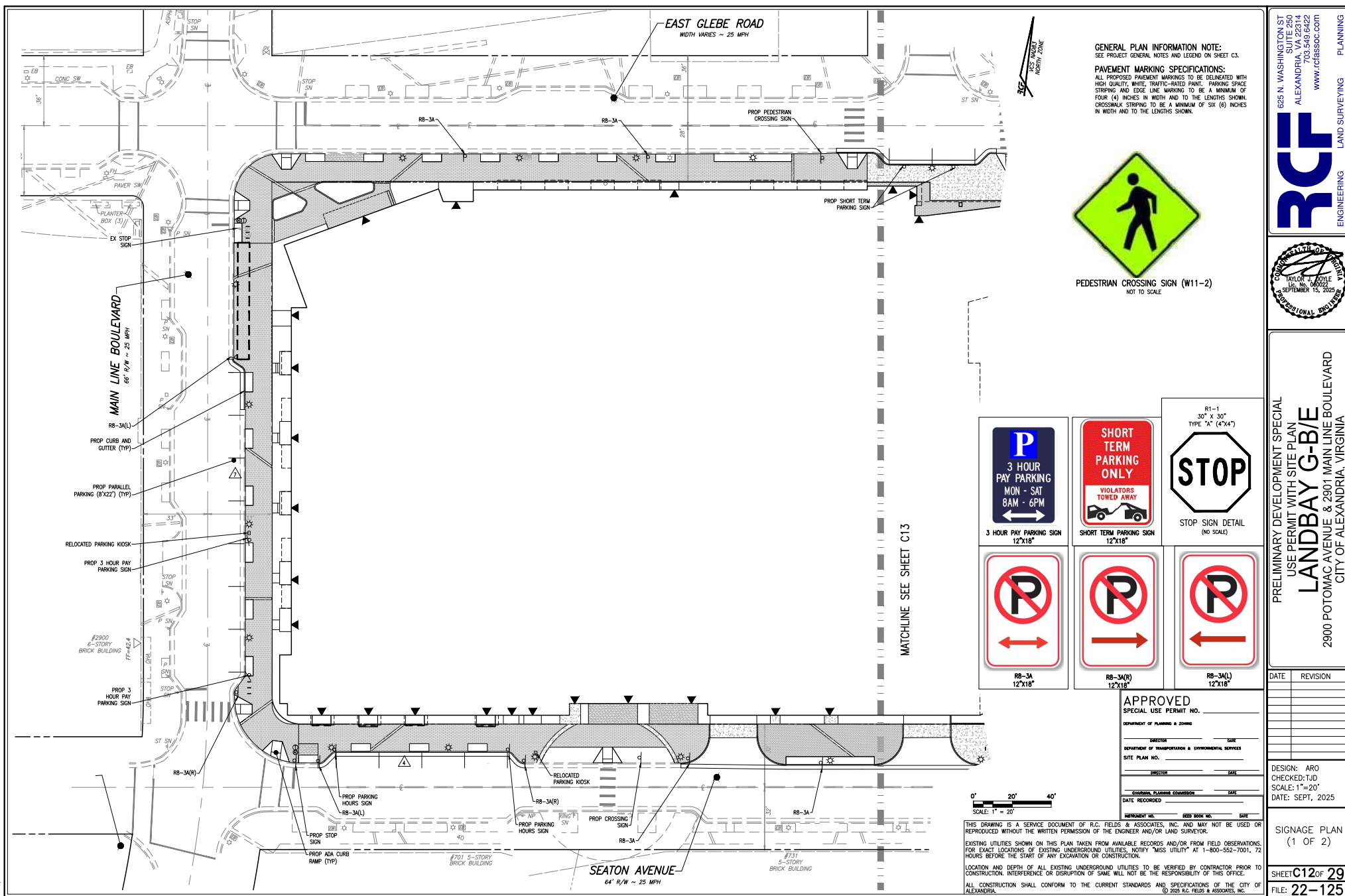


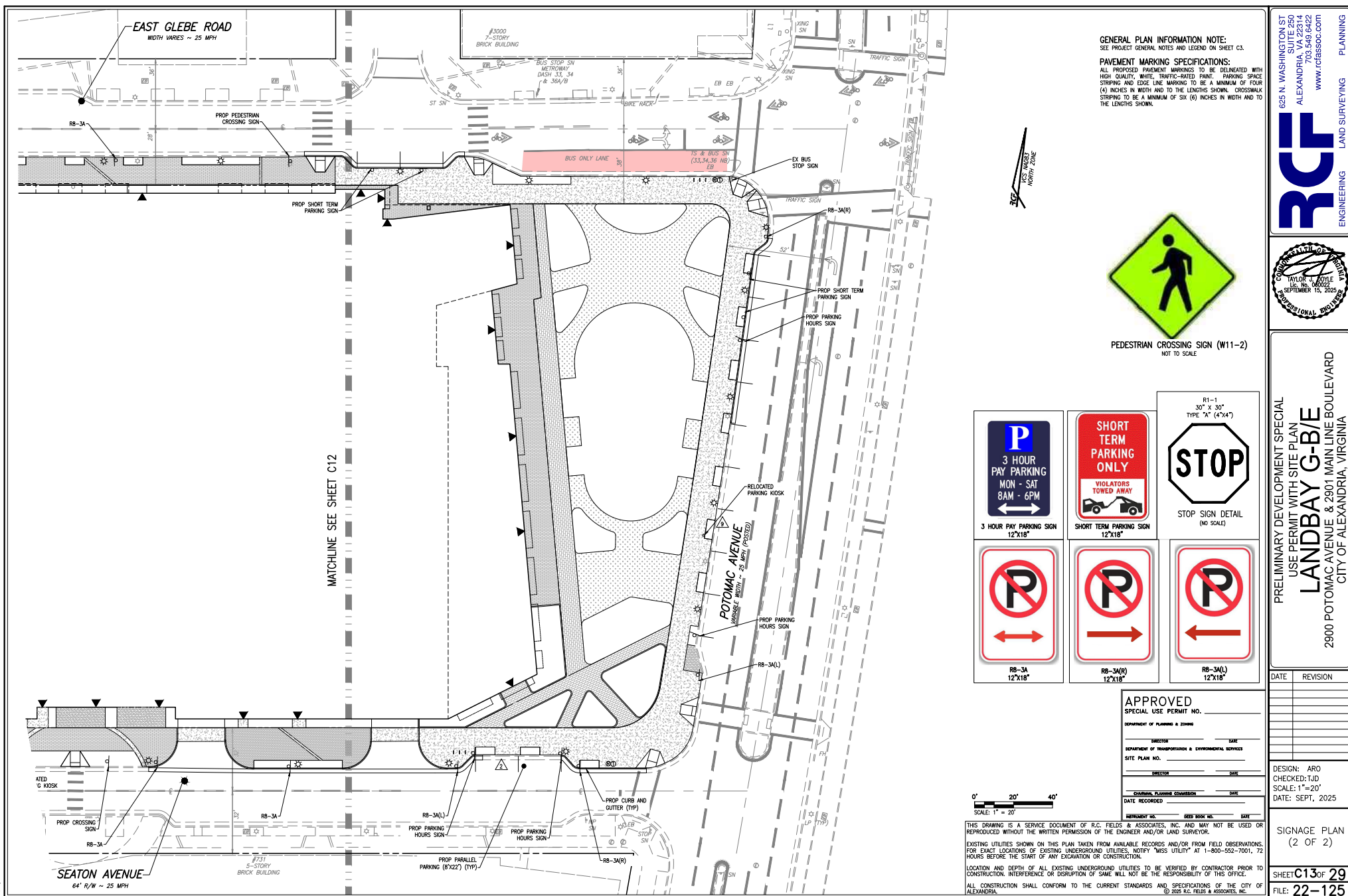




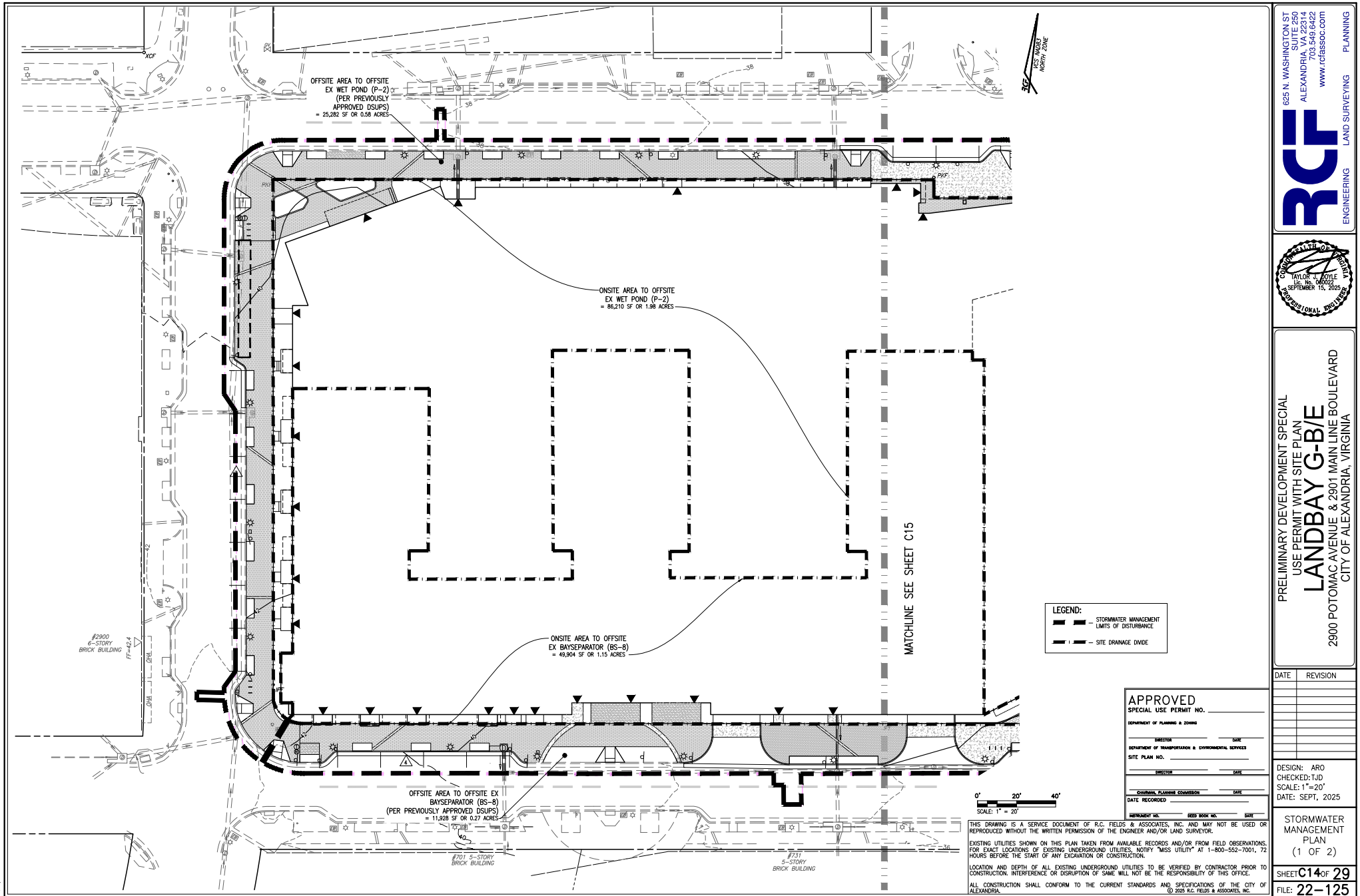


2025.03.13 11:05 AM R.C. Field & Associates, Inc. 2025.03.13 11:05 AM R.C. Field & Associates, Inc.





2/20/2023 10:10:00 AM R:\Projects\Stormwater Management Plan - C14 - Land  
Tue May 16, 2023 10:10:00 AM







[illegible]

\*1: TAKEN FROM APPROVED OVERALL BMP PLANS - MASTER STORMWATER QUALITY CONTROL PLAN DSP #2004-0044 (FINAL)  
\*2: TAKEN FROM THE APPROVED BMP DESIGN FROM THE POTOMAC AVE PLANS DSP #2005-0038 (APPROVED 01-29-07)

- |   |                     |
|---|---------------------|
| APPROVED  |                     |
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| DEPARTMENT OF PLANNING & ZONING                       |                     |
| DIRECTOR _____  | DATE _____          |
| DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES |                     |
| SITE PLAN NO. _____                                   |                     |
| DIRECTOR _____  | DATE _____          |
| CITY PLANNING COMMISSION                              |                     |
| DATE RECORDED _____                                   | DATE _____          |
| INSTRUMENT NO. _____                                  | OFFS BOOK NO. _____ |
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PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

SHEET C16 OF 29  
FILE: 22-125



Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Bv	Composite Loading P
Forest (acres)					0.00	0.00	0.00
Mixed Open (acres)					0.00	0.00	0.00
Managed Turf (acres)			0.35		0.35	0.25	0.85
Impervious Cover (acres)			2.18		2.18	0.95	0.86
					Total	2.52	

Post Development Treatment Volume in D.A. A (lb/yr)

Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)
7.822				2.16

Practice

Runoff Reduction Credit (%)	Mixed Open Credit Area (acres)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (lb)	Runoff Reduction (ft)	Remaining Runoff Volume (ft)	Total BMP Treatment Volume (ft)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed	
15. Wet Ponds (no RR)	0		0.35	2.18	0	0	7.822	7.822	50	0.00	2.16	1.08	1.08	

Site Results (Water Quality Compliance) VRRM 4.1, 2024

Area Checks

D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST (A)	0.00	0.00	0.00	0.00	OK
MIXED OPEN (A)	0.00	0.00	0.00	0.00	OK
MIXED OPEN AREA TREATED (A)	0.00	0.00	0.00	0.00	OK
MANAGED TURF AREA (A)	0.35	0.06	0.00	0.00	OK
MANAGED TURF AREA TREATED (A)	0.35	0.00	0.00	0.00	OK
IMPERVIOUS COVER (A)	2.18	1.36	0.00	0.00	OK
IMPERVIOUS COVER TREATED (A)	2.18	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	

Site Treatment Volume (ft)

12.575
--------

Runoff Reduction Volume and TP by Drainage Area

D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft)	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	2.16	1.22	0.00	0.00	3.38
TP LOAD REDUCTION ACHIEVED (lb/yr)	1.08	0.00	0.00	0.00	1.08
TP LOAD REMAINING (lb/yr)	1.08	1.22	0.00	0.00	2.30
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	8.99	0.00	0.00	0.00	8.99

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	3.38
TP LOAD REDUCTION REQUIRED (lb/yr)	0.67
TP LOAD REDUCTION ACHIEVED (lb/yr)	1.08
TP LOAD REMAINING (lb/yr)	2.30
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr)	0.00

\*\* TARGET TP REDUCTION EXCEEDED BY 0.61 LB/YEAR \*\*

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	42.29
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	8.99
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	39.32

STORMWATER QUALITY NARRATIVE (CITY ZONING ORDINANCE SECTION 13-109E COMPLIANCE):

THE PROPOSED REDEVELOPMENT (3.04 ACRES OF DISTURBANCE (STORMWATER ANALYSIS LIMITS)) GENERATES A NET DECREASE IN IMPERVIOUS AREA FROM PRE-DEVELOPMENT CONDITIONS. PER CITY ZONING ORDINANCE SECTION 13-109E-(5)(a), DEVELOPMENT OF PRIOR DEVELOPED LANDS RESULTING IN A NET DECREASE IN IMPERVIOUS AREA AND DISTURBING GREATER THAN 1 ACRE, MUST RESULT IN A 20% DECREASE IN PHOSPHORUS LOADING FROM THE PRE-DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORMWATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. THE EXISTING WET POND P-2 IS UTILIZED TO PROVIDE WATER QUALITY TREATMENT FOR THIS SITE. THIS WILL RESULT IN A REDUCTION OF 1.08 LB/YEAR PHOSPHORUS LOAD, WHICH IS MORE THAN 100% OF THE REQUIRED TOTAL PHOSPHORUS REDUCTION OF 0.67 LB/YEAR. THUS, THROUGH THE EXISTING BMP, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER ZONING ORDINANCE CODE SECTION 13-109E-(5)(a) HAVE BEEN MET.

IN ADDITION, 100% OF ON-SITE IMPERVIOUS AREA IS PROPOSED TO BE TREATED WITH THIS DEVELOPMENT, WHICH MEETS THE ENTIRETY OF THE WATER QUALITY (DEFAULT) VOLUME TREATMENT STANDARDS IN SECTION 13-110 OF THE ZONING ORDINANCE. THEREFORE, THIS PLAN IS IN COMPLIANCE WITH CITY ZONING ORDINANCE SECTION 13-109E-(5) AND SECTION 13-110.

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

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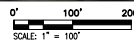
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SCALE: 1"=100'



SHEET C18 OF 29  
FILE: 22-125





STORM SEWER OUTFALL ANALYSIS MAP  
SCALE: 1"=100'

0' 100' 200'  
SCALE: 1" = 100'

#### SANITARY SEWER OUTFALL CALCULATIONS:

THERE IS NO EXISTING USE ON THIS SITE. THE AVERAGE DAILY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHODOLOGY PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE RESIDENTIAL WITH AN ADDITIONAL 432 UNITS AND 13,196 SF OF COMMERCIAL SPACE. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

MULTI-UNIT: 300 GPD/UNIT X 432 UNITS = 129,600 GPD OR 0.2005 CFS  
COMMERCIAL: 200 GPD/1000 SF X 13,196 SF = 2,639 GPD OR 0.0041 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

132,239 GPD X 4 = 528,957 GPD  
0.2046 CFS X 4 = 0.8185 CFS  
TOTAL PEAK FLOW = 528,957 GPD OR 0.8185 CFS

#### SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 132,239 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 528,957 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06-14. THE ANALYSIS AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL UTILIZE THREE PROPOSED 10" LATERALS THAT CONNECT INTO THE EXISTING SANITARY SEWER MAIN WITHIN THE EAST GLEBE ROAD, MAIN LINE BOULEVARD, AND SEATON AVENUE RIGHTS-OF-WAY (SEE SHEET C20 & C21). THE SANITARY FLOW IS THEN CONVEYED GENERALLY EAST UNTIL IT ENTERS AN EXISTING 24" SANITARY SEWER AT STRUCTURE 0. PER MEMORANDUM TO INDUSTRY NO. 06-14, THE LIMITS OF ANALYSIS FOR THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE THE DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24". THEREFORE, THE SANITARY SEWER ANALYSIS CONCLUDES AT STRUCTURE 0.

SANITARY SEWER FLOWS FOR ALL STRUCTURES SHOWN HAVE BEEN CALCULATED WITH THIS ANALYSIS AND ARE PROVIDED IN THE INCREMENTAL SANITARY SEWER FLOW CALCULATIONS BELOW.

#### INCREMENTAL SANITARY SEWER FLOW CALCULATIONS:

BLD #	USE	DESIGN FLOW/UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWS TO
SITE	MULTIUNIT	300	EA	432	129,600	5,400	0.2005	0.8021
SITE	COMMERCIAL	200	SF	13,196	2,639	110	0.0041	0.0163
1	OFFICE	200	SF	499,776	99,955	4,165	0.1547	0.6187
2	MULTIUNIT	300	EA	253	75,900	3,163	0.1174	0.4698
2	COMMERCIAL	200	SF	70,562	14,112	588	0.0218	0.0873
3	MULTIUNIT	300	EA	112	33,600	1,400	0.0520	0.2080
4	MULTIUNIT	300	EA	211	63,300	2,638	0.0979	0.3918
5	MULTIUNIT	300	EA	88	26,400	1,100	0.0408	0.1634
TOTAL				445,507	18,563	0.6893	2.7574	

#### SANITARY SEWER OUTFALL CALCULATIONS:

STRUCTURE	FACILITY ID											
FROM	TO	FROM	TO	SOURCE	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)
LENGTH OF RUN (FT)												
UPPER INVERT												
LOWER INVERT												
FALL (FT)												
Q	H	008344SSMH	008345SSMH	SURVEY	0.6187	0.619	10	0.88%	PVC	0.010	2.81	4.94
H	G	008345SSMH	008164SSMH	SURVEY	0.8185	1.437	10	0.88%	PVC	0.010	2.79	4.92
G	F	008164SSMH	008165SSMH	SURVEY	0.0000	1.437	12	1.25%	PVC	0.010	5.41	6.61
F	E	008165SSMH	008166SSMH	SURVEY	0.7205	2.158	12	0.44%	PVC	0.010	3.21	3.93
E	D	008166SSMH	008167SSMH	SURVEY	0.0000	2.158	12	0.84%	PVC	0.010	4.43	5.42
D	C	008167SSMH	008338SSMH	SURVEY	0.0000	2.158	12	0.43%	PVC	0.010	3.18	3.89
C	B	008338SSMH	008339SSMH	SURVEY	0.2080	2.366	12	0.50%	PVC	0.010	3.40	4.16
B	A	008339SSMH	008340SSMH	SURVEY	0.3918	2.757	12	0.72%	PVC	0.010	4.10	5.02
A	P	008340SSMH	008297SSMH	SURVEY	0.0000	2.757	12	0.66%	PVC	0.010	3.92	4.79
P	O	008297SSMH	007682SSMH	SURVEY	0.0000	2.757	12	1.18%	PVC	0.010	5.24	6.41

SEE SHEET C3 FOR SANITARY SEWER SURVEY DATA

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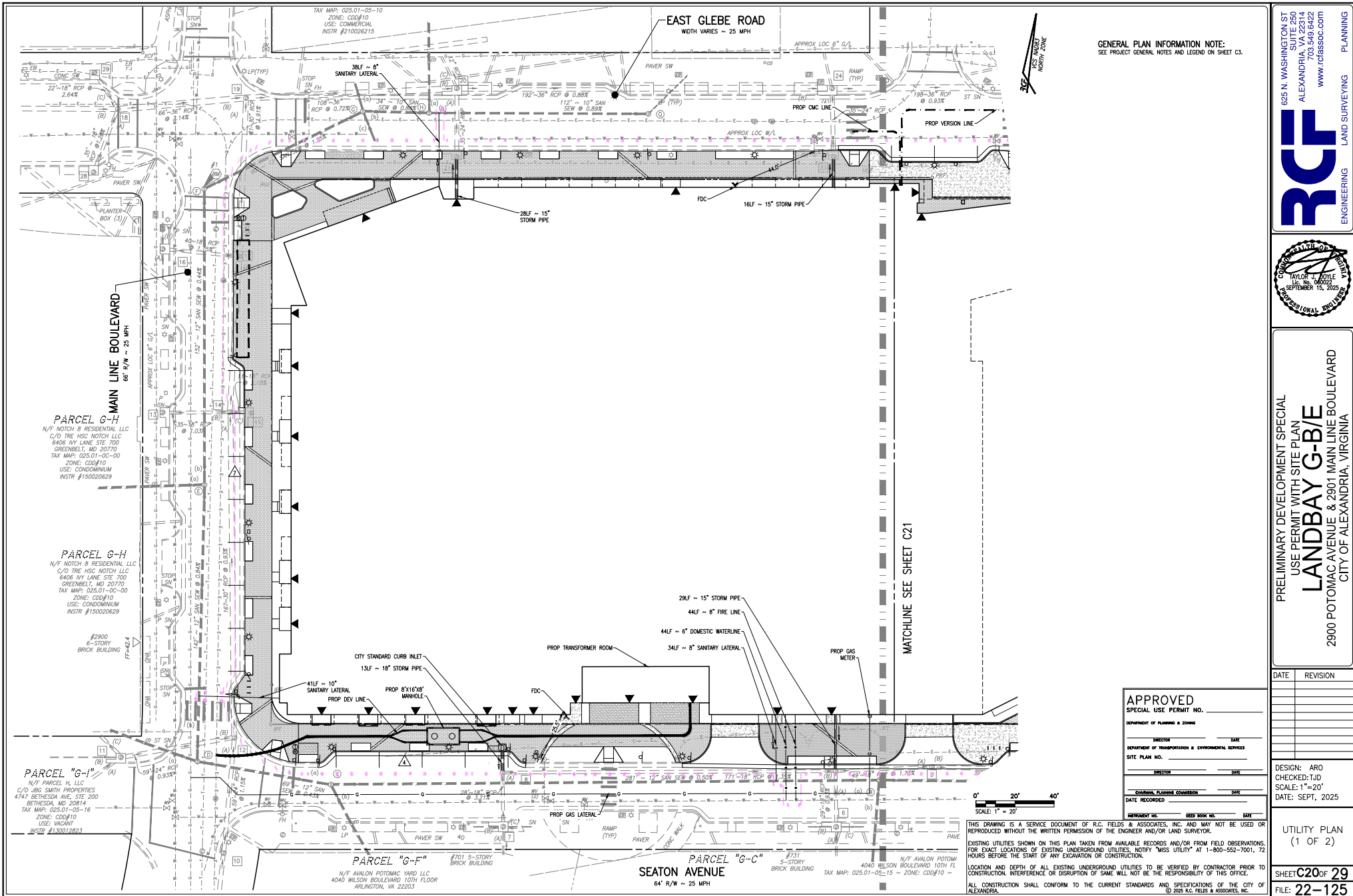
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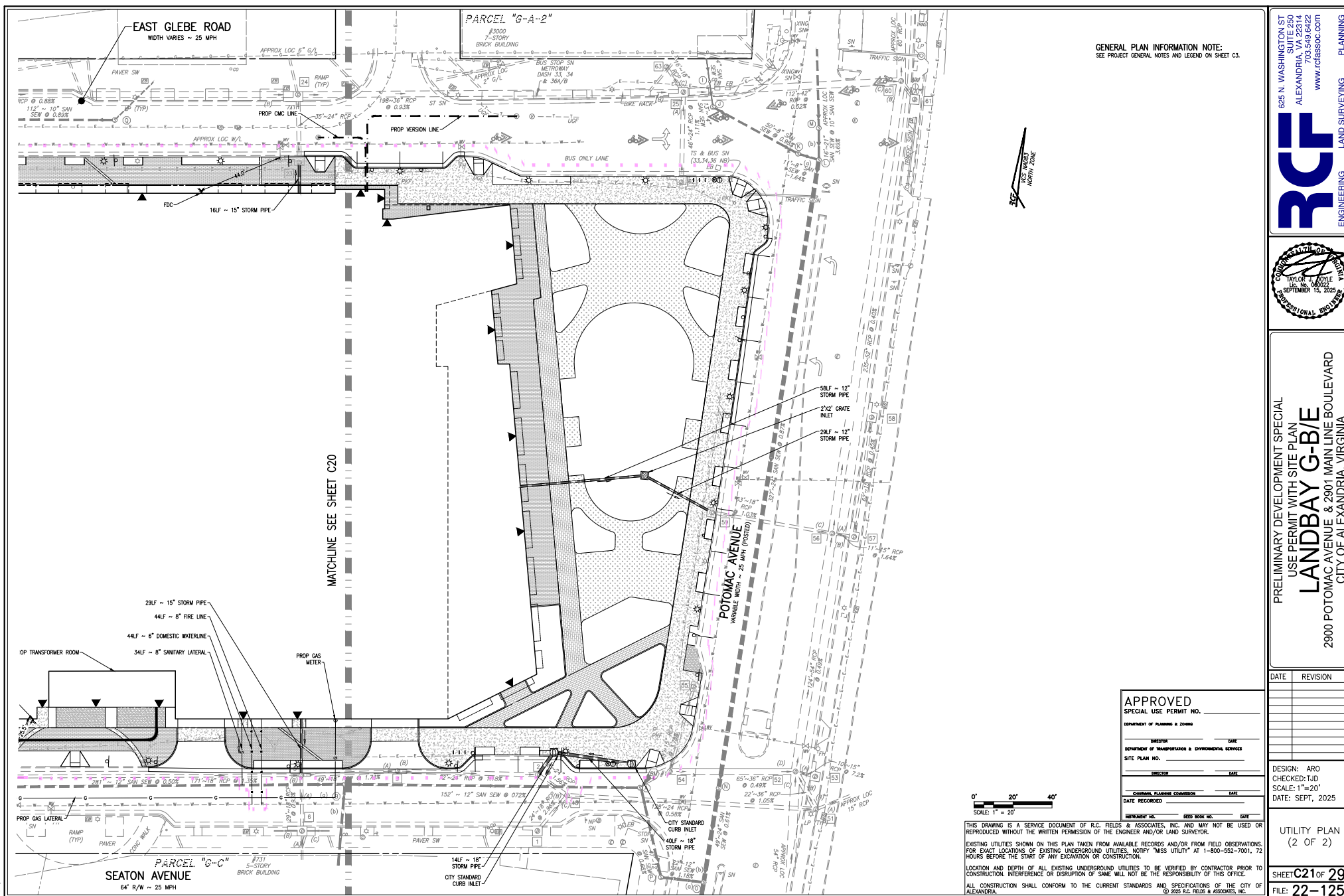
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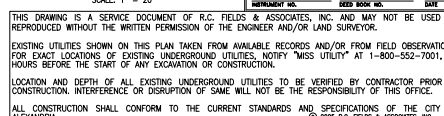
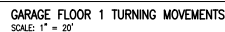
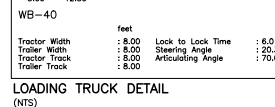
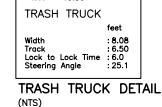
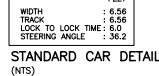
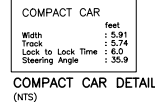
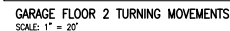
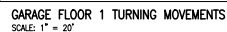
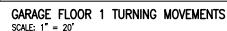
UTILITY PLAN  
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SHEET **C20** OF **29**  
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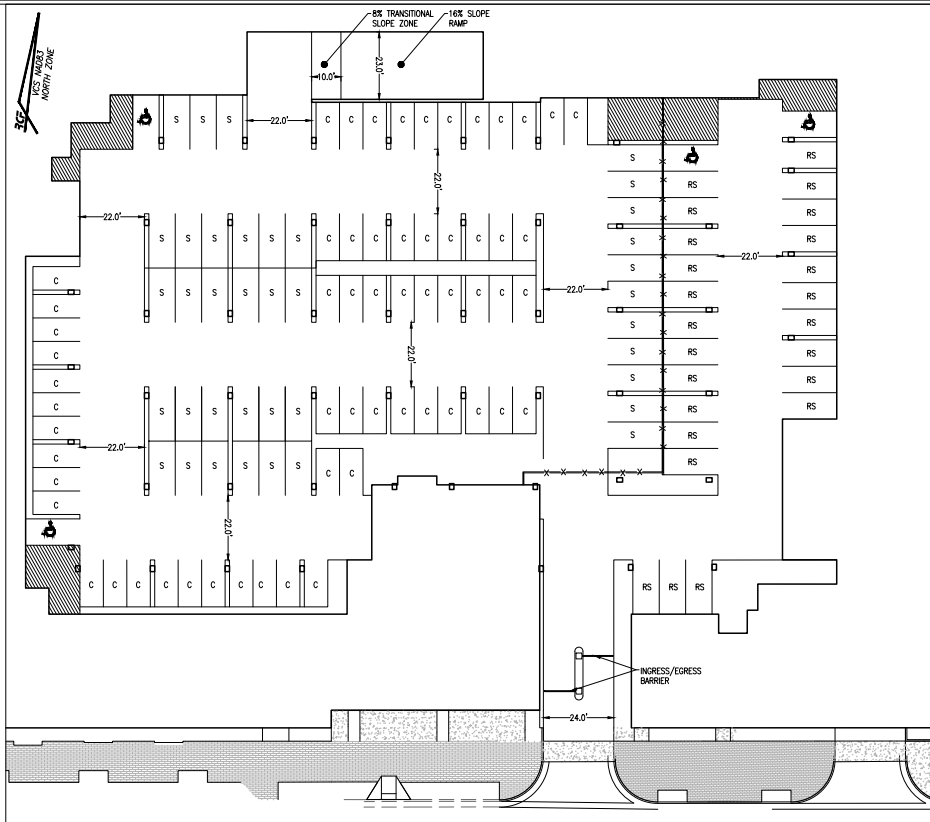
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
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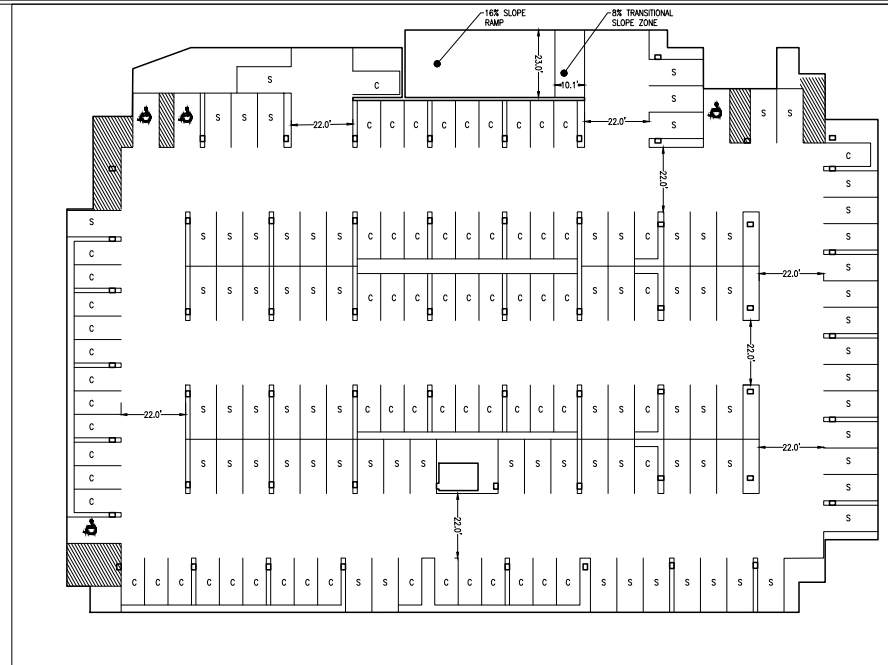








**GARAGE FLOOR 1 TURNING MOVEMENTS**  
SCALE: 1" = 20'



**GARAGE FLOOR 2 TURNING MOVEMENTS**  
SCALE: 1" = 20'

**LEGEND:**  
S = RESIDENTIAL STANDARD SPACE (9' X 18.5')  
C = RESIDENTIAL COMPACT SPACE (8' X 16')  
RS = RETAIL STANDARD SPACE (9' X 18.5')  
P = ADA PARKING SPACE (9' X 18.5')

0' 20' 40'  
SCALE: 1" = 20'

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ENGINEERING PLANNING DIVISION	DATE _____	
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PROFESSIONAL SEAL  
TAYLOR L. FOSTER  
SEPTEMBER 15, 2025  
PROFESSIONAL ENGINEER

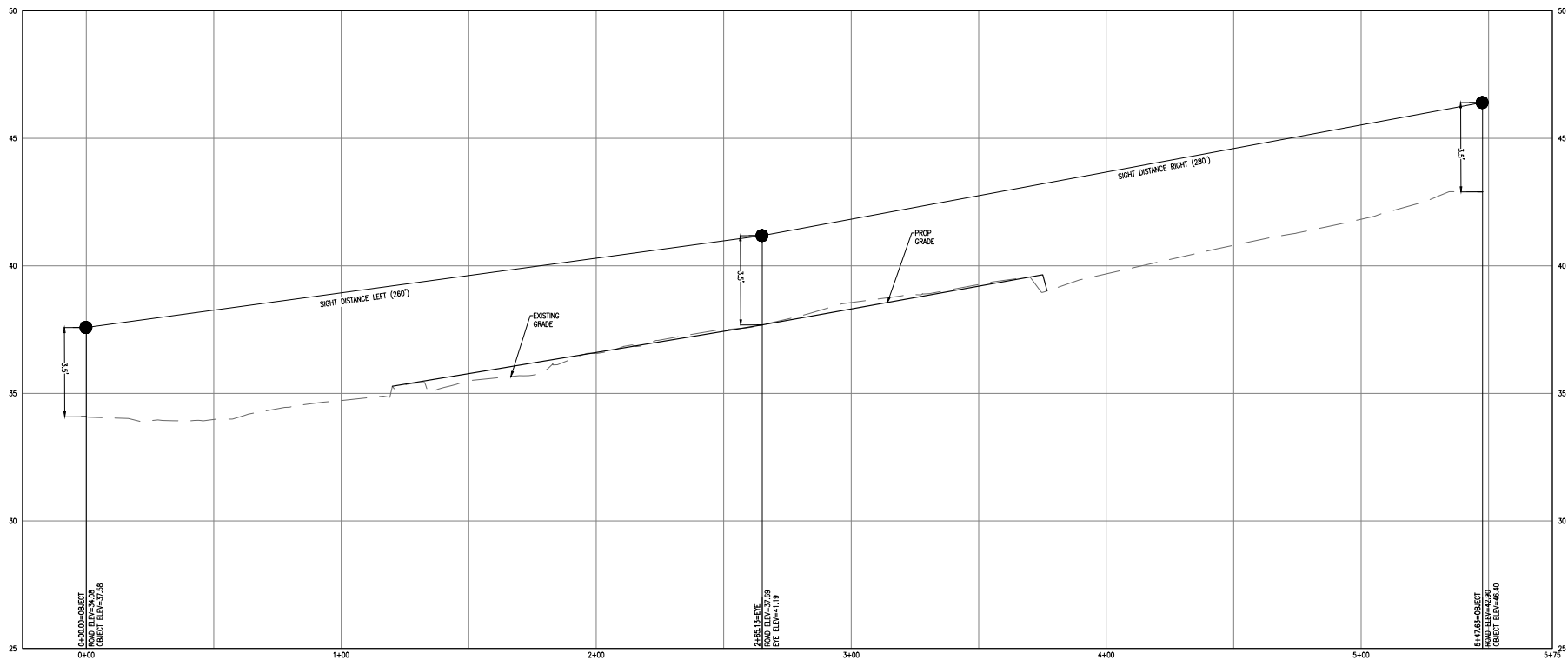
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CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

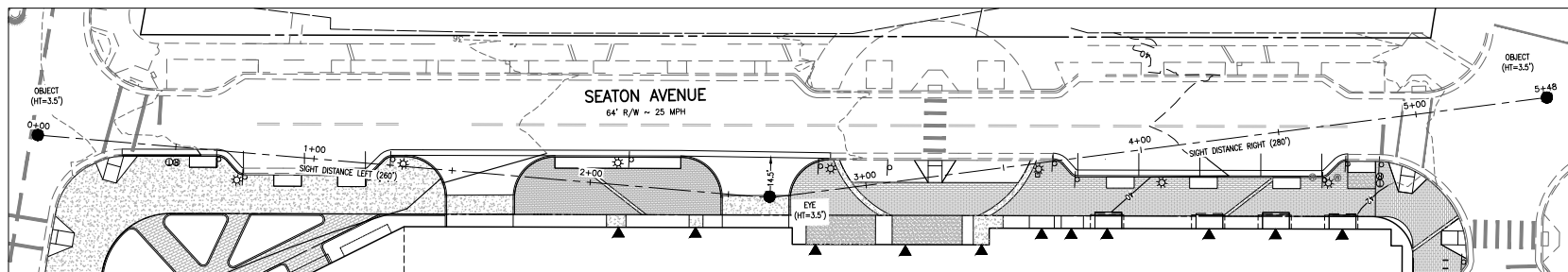
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SCALE: 1"=20'  
DATE: SEPT, 2025

GARAGE LAYOUT

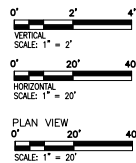
SHEET **C22A** OF **29**  
FILE: **22-125**



GARAGE ENTRANCE SIGHT DISTANCE PROFILE  
SCALE - HORIZ: 1" = 20', VERT. 1" = 2'



GARAGE ENTRANCE SIGHT DISTANCE PLAN VIEW  
SCALE: 1" = 20'



<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
ENGINEERING PLANNING DIVISION	
DATE RECORDED _____	DATE _____
INVESTMENT NO. _____	DEPT. BOOK NO. _____
DAY _____	

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ALEXANDRIA, VA 22304  
703.548.6422  
www.rcfassoc.com

TAYLOR L. FOSTER  
P.E. No. 0000000000  
SEPTEMBER 15, 2025

PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

DATE: \_\_\_\_\_

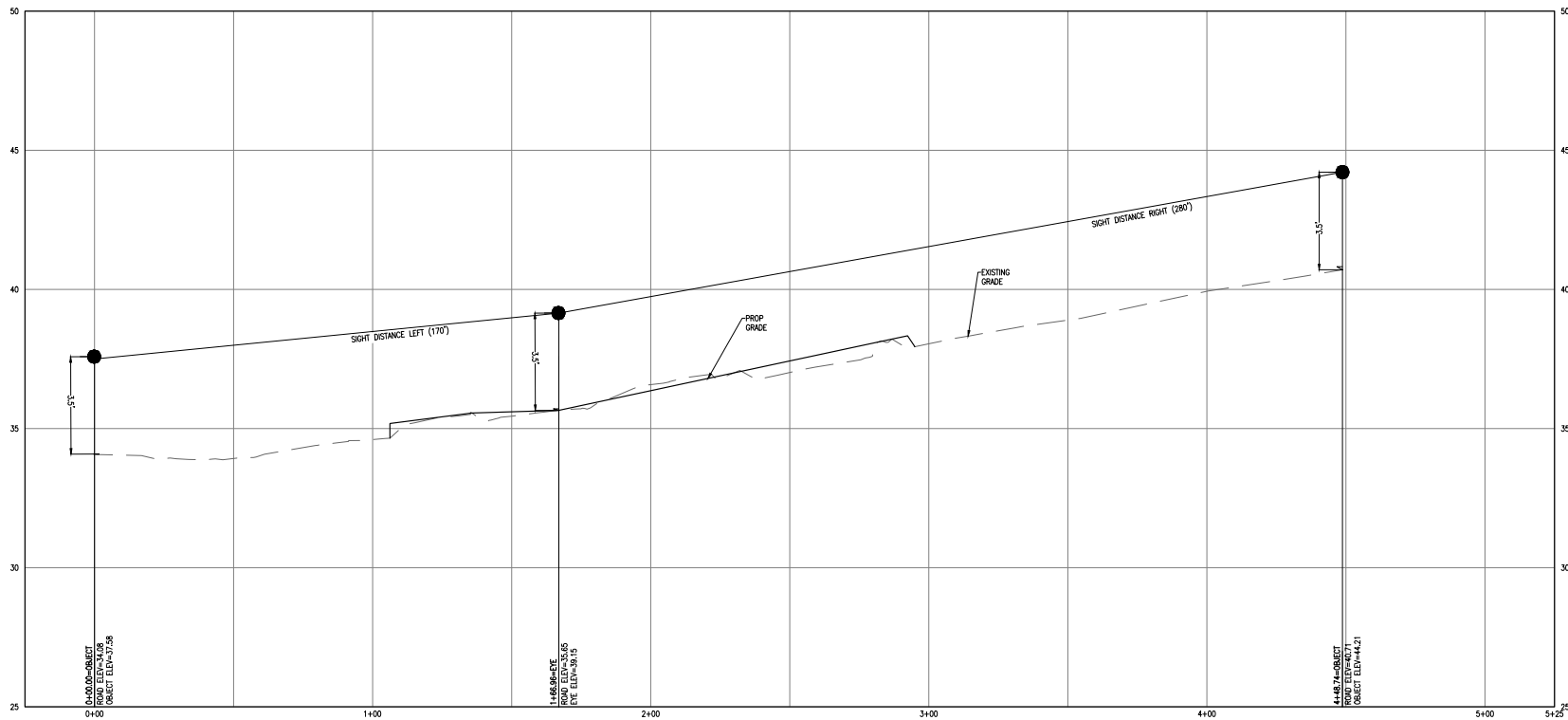
REVISION: \_\_\_\_\_

DESIGN: ARO  
CHECKED: TJD  
SCALE: AS NOTED  
DATE: SEPT, 2025

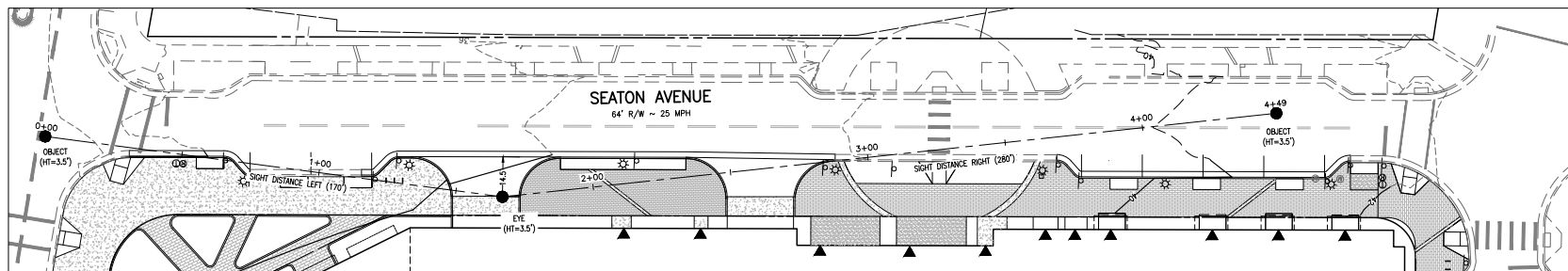
SIGHT DISTANCE  
PLAN AND  
PROFILE  
(1 OF 2)

SHEET **C23** OF **29**

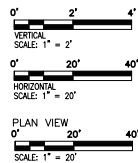
FILE: **22-125**



LOADING ENTRANCE SIGHT DISTANCE PROFILE  
SCALE - HORIZ: 1" = 20', VERT: 1" = 2'



LOADING ENTRANCE SIGHT DISTANCE PLAN VIEW  
SCALE: 1" = 20'



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DEPARTMENT OF PLANNING & ZONING

DESIGNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DESIGNING PLANNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEPT. BOOK NO. \_\_\_\_\_ DAY: \_\_\_\_\_

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**RCF**

ENGINEERING LAND SURVEYING PLANNING

PROFESSIONAL SEAL  
TAYLOR L. FOSTER  
SEPTEMBER 15, 2005  
PROFESSIONAL ENGINEER

PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

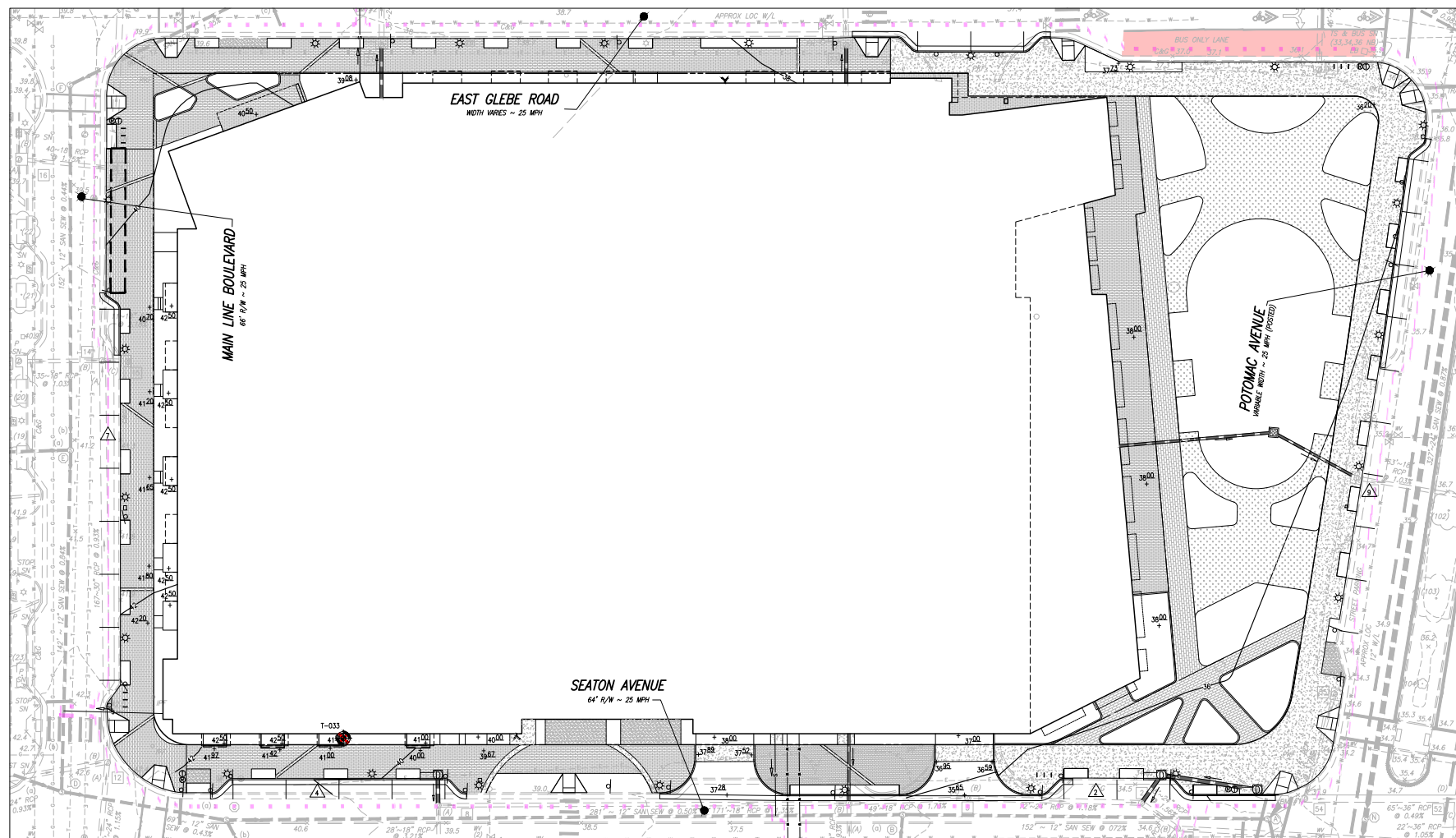
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SCALE: AS NOTED  
DATE: SEPT, 2025

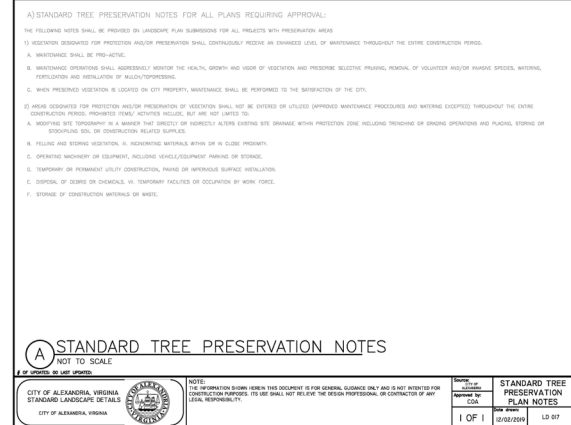
SIGHT DISTANCE  
PLAN AND  
PROFILE  
(2 OF 2)

SHEET **C24** OF **29**  
FILE: **22-125**









<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION	
_____ DATE	_____ DATE
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
_____	DATE _____

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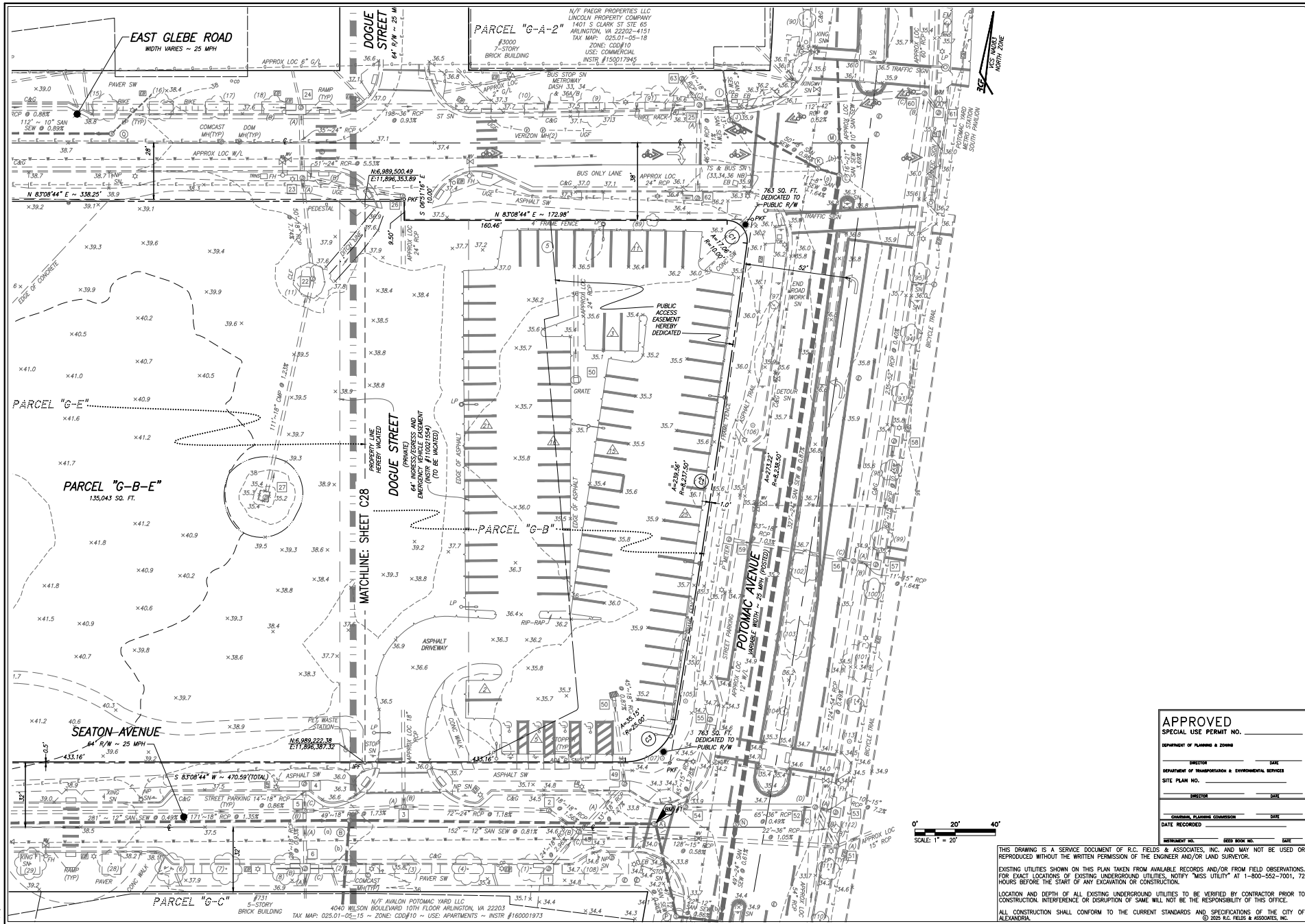
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO ANY INTERFERENCE OR DISRUPTION OF SAME. WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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PRELIMINARY DEVELOPMENT SPECIAL  
USE PERMIT WITH SITE PLAN  
**LANDBAY G-B/E**  
2900 POTOMAC AVENUE & 2901 MAIN LINE BOULEVARD  
CITY OF ALEXANDRIA, VIRGINIA

DATE: \_\_\_\_\_

REVISION: \_\_\_\_\_

DESIGN: ARO  
CHECKED: TJD  
SCALE: 1"=20'  
DATE: SEPT, 2025

PRELIMINARY  
SUBDIVISION -  
CONSOLIDATION  
PLAN (2 OF 2)

SHEET **C29** OF **29**  
FILE: **22-125**

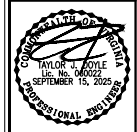
APPROVED  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
CHIEF PLANNING ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
RECORD NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ DATE \_\_\_\_\_

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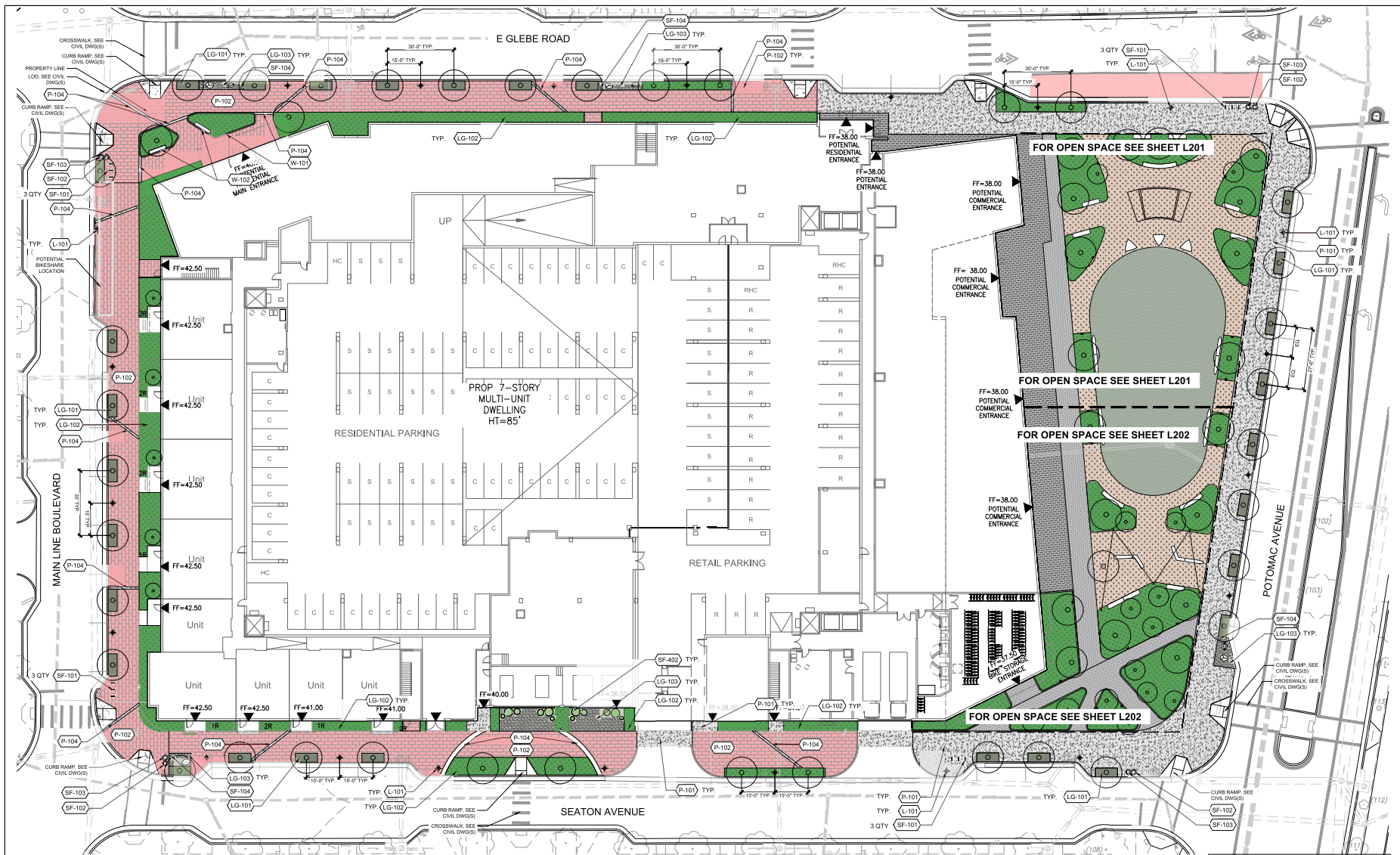
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## REFERENCE NOTES SCHEDULE

CODE DESCRIPTION

### LIGHTING & ELECTRICAL

(L-101) CITY STANDARD POLE LIGHT

### LANDSCAPE GROUND

(LG-101) CITY STANDARD TREE WELL SEE NOTE 1

(LG-102) PLANT BED

(LG-103) PET RELIEF AREA

### PAVING & CURBS

(H) CITY STANDARD CONC. SIDEWALK

(H) CITY STANDARD BRICK SIDEWALK

(H) FLUSH CONCRETE BAND

### FURNISHINGS

(F) CITY STANDARD BIKE RACK

(F) CITY STANDARD WASTE RECEPTACLE

(F) CITY STANDARD RECYCLING RECEPTACLE

### WALLS & STAIRS

(W-101) PLANTER CURB - TYPE 1

(W-102) PLANTER SEATING

### NOTE:

1. LG-101 CITY STANDARD TREE WELL TO HAVE STONE OR MULCH UNDERNEATH TO BE FINALIZED AT FSP.

## APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**LandDesign**

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REAL



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**LANDBAY G - B/E**

2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

20240159A

## REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POBUP SUBMISSION	08/05/2025
3	POBUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=20'

SHEET TITLE: MATERIALS PLAN - SITE LEVEL

SHEET NUMBER


**L101**

ORIGINAL SHEET SIZE: 36" X 36"




<u>CODE</u>	<u>DESCRIPTION</u>
-------------	--------------------


**CUSTOM**

 SHADE STRUCTURE


**LIGHTING & ELECTRICAL**


 BOLLARD LIGHT


**LANDSCAPE GROUND**


 PLANT BED

**PAVING & CURBS**


 PAVING TYPE 2


 PAVING TYPE 3

 PAVING TYPE 4


 LAWN

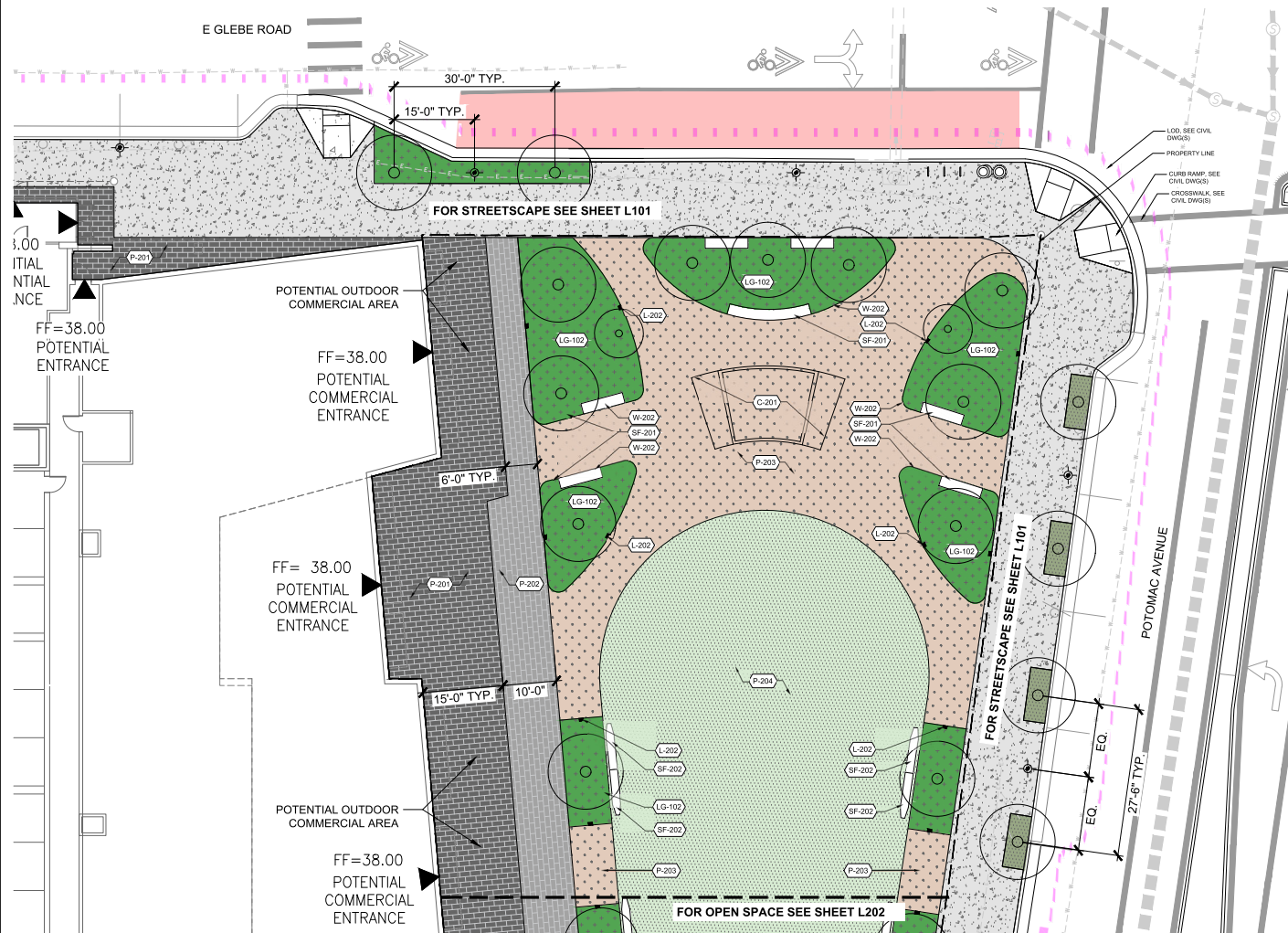
**FURNISHINGS**

 SEATING ELEMENT TYPE 1

 SEATING ELEMENT TYPE 2

**WALLS & STAIRS**

 RAISED PLANTER WALL



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ORIGINAL SHEET SIZE: 24" X 36"

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LANDBAY G - B/E


2900 POTOMAC AVE & 2901 MIAN  
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CITY OF ALEXANDRIA, VA

LANDSCAPE PHOTOGRAPH 2024019A

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	PDSUP SUBMISSION	08/05/2025
3	PDSUP WITH SITE PLAN	09/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORZ: 1"=10'

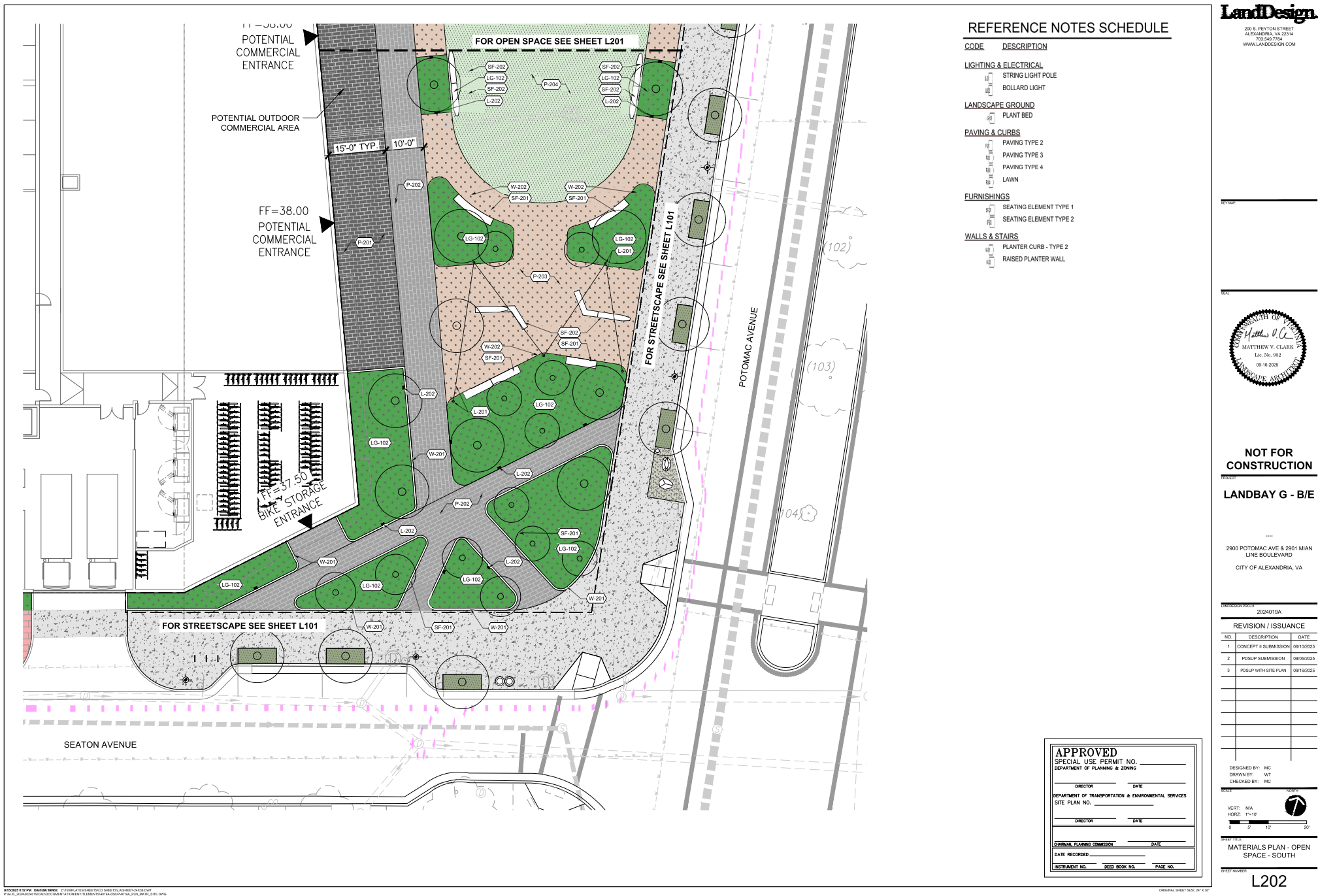


SHEET TITLE:

MATERIALS PLAN - OPEN  
SPACE - NORTH

SECRET NUMBER

L201





PROJECT \_\_\_\_\_



2900 POTOMAC AVE & 2901 MIAN  
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2024019A

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSUP SUBMISSION	08/05/2025
3	POSUP WITH SITE PLAN	09/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORZ: 1"=20'



CONTENT TITLE: MATERIALS PLAN -  
COURTYARDS +  
LANDSCAPED ROOF

HEET NUMBER

L301

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ORIGINAL SHEET SIZE: 24" X 36"





1/11/20

SCALE



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**LANDBAY G - B/E**

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2024015A

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POBUP SUBMISSION	08/09/2025
3	POBUP WITH SITE PLAN	08/16/2025

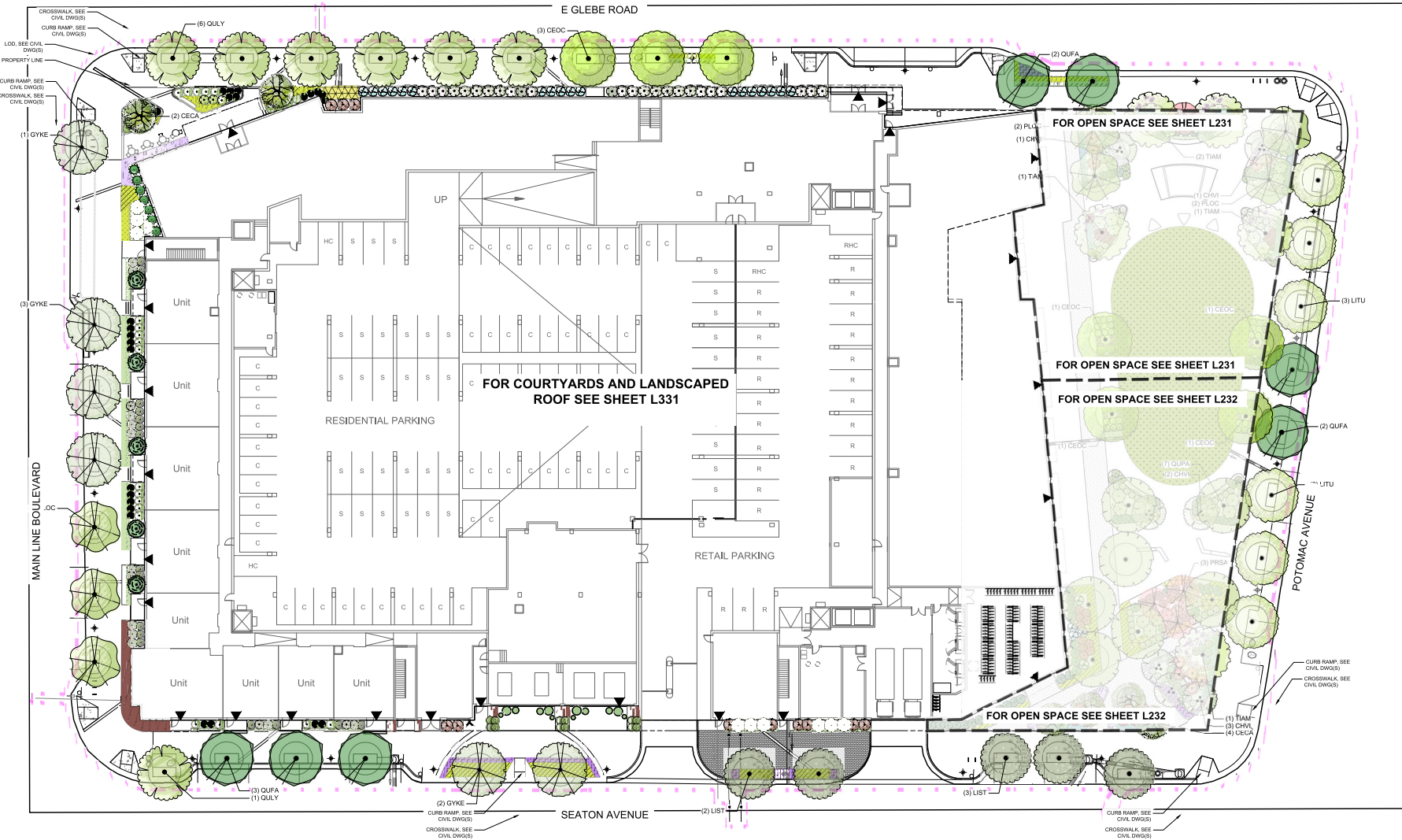
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DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=20'  
0 10 20 40'

PROJECT TITLE  
PLANNING PLAN - SITE LEVEL

SHEET NUMBER

**L131**



**PLANT SCHEDULE STREETSCAPE**

SYMBOL CODE BOTANICAL / COMMON NAME

**DECIDUOUS TREES**

- CEOC CELTIS OCCIDENTALIS / COMMON HACKBERRY
- GYKE GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
- LIST LIQUIDAMBAR STYRACIFLUA / SWEET GUM
- LITU LIRIODENDRON TULIPIFERA / TULIP POPLAR

- PLOC PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE
- QUFA QUERCUS FALCATA / SOUTHERN RED OAK
- QULY QUERCUS LYRATA 'QLRS10' / RESILIENCE OVECUP OAK
- EVERGREEN TREES**
- JUEA JUNIPERUS VIRGINIANA / EASTERN REDCEDAR
- ORNAMENTAL TREES**
- CECA CERCIS CANADENSIS / EASTERN REDBUD

**DECIDUOUS SHRUBS**

- CEAM CEANOTHUS AMERICANUS / NEW JERSEY TEA
- FTBU FOTHERGILLA GARDENII 'BLUE MIST' / BLUE MIST FOTHERGILLA
- HDLE HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME PANICLE HYDRANGEA
- HYGE HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA
- ITVI ITEA VIRGINICA 'HENRY'S GARNET' / VIRGINIA SWEETSPICE HENRY'S GARNET

**EVERGREEN SHRUB**

- ABGR ABELIA X GRANDIFLORA / GLOSSY ABELIA
- BUBO BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD
- CODA COTONEASTER DAMMERI / BEARBERRY COTONEASTER
- ILYG ILEX X GLABRA 'SHAMROCK' / SHAMROCK INKBERRY

- PIJA PIERIS JAPONICA / JAPANESE PIERIS
- TABA TAXUS BACCATA 'FASTIGIATA' / ENGLISH YEW
- ZEPU ZENOBIA PULVERULENTA / HONEYCUP
- ORNAMENTAL GRASSES / SEDGES**
- CAPY CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE
- DECA DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS
- PASH PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS
- PERENNIALS**
- ECWH ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER
- NERA NEPETA RACEMOSA 'WALKER'S LOW' / WALKER'S LOW CATMINT
- RUDI RUDBECKIA FULGIDA DEAMII / DEAMII CONEFLOWER

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

## PLANT SCHEDULE OPEN SPACE

SYMBOL CODE BOTANICAL / COMMON NAME

### DECIDUOUS TREES

- CEOC CELTIS OCCIDENTALIS / COMMON HACKBERRY
- PLOC PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE
- QUFA QUERCUS PALUSTRIS / PIN OAK
- TIAM TILIA AMERICANA / AMERICAN BASSWOOD

### ORNAMENTAL TREES

- CECA CERCIS CANADENSIS / EASTERN REDBUD
- CHVI CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
- PRSA PRUNUS SARGENTII / SARGENT CHERRY

### DECIDUOUS SHRUBS

- ADMN ARONIA MELANOCARPA 'UCCONAM185' / BLACK CHOKEBERRY LOW SCAPE MOUND
- CLAL CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET
- COSE CORNUS SERICEA 'CARDINAL' / CARDINAL RED TWIG DOGWOOD
- DEGR DEUTZIA GRACILIS 'NIKKO' / NIKKO DEUTZIA
- HYMA HYDRANGEA MACROPHYLLA 'HORTFIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA
- HYQE HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA
- ITVI ITEA VIRGINICA 'HENRY'S GARNET' / VIRGINIA SWEETSPICE HENRY'S GARNET

### EVERGREEN SHRUB

- BUBO BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD
- CODA COTONEASTER DAMMERI / BEARBERRY COTONEASTER
- ILVO ILEX VOMITORIA 'NANA' / DWARF YALPON HOLLY
- ILYG ILEX X GLABRA 'SHAMROCK' / SHAMROCK INKBERRY
- SAHO SARCOCOCCA HOOKERIANA HUMILIS / TRAILING SWEETBOX
- ZEPU ZENOBIA PULVERULENTA / HONEYCUP

### ORNAMENTAL GRASSES / SEDGES

- CAPY CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE
- CLAL CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET
- DECA DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS
- PASH PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS

### PERENNIALS

- ECWH ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER
- NERA NEPETA RACEMOSA 'WALKER'S LOW' / WALKER'S LOW CATMINT
- RUDI RUDBECKIA FULGIDA DEAMII / DEAM'S CONEFLOWER

### GROUND COVERS

- LAWN



<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
COMMUNITY PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

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**NOT FOR CONSTRUCTION**

LANDBAY G - B/E

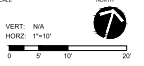
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CITY OF ALEXANDRIA, VA

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSLUP SUBMISSION	08/05/2025
3	POSLUP WITH SITE PLAN	08/16/2025

VERT: N/A  
HORIZ: 1"=10'



PLANTING PLAN - OPEN SPACE - NORTH

LANDBAY G - B/E

L231



## PLANT SCHEDULE OPEN SPACE

SYMBOL CODE BOTANICAL / COMMON NAME

### DECIDUOUS TREES

	CEOC	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	PLOC	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE
	QUPA	QUERCUS PALUSTRIS / PIN OAK
	TIAM	TILIA AMERICANA / AMERICAN BASSWOOD

### ORNAMENTAL TREES

	CECA	CERCIS CANADENSIS / EASTERN REDBUD
	CHVI	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
	PRSA	PRUNUS SARGENTII / SARGENT CHERRY

### DECIDUOUS SHRUBS

	ADMN	ARONIA MELANOCARPA 'UCONNAMI65' / BLACK CHOKEBERRY LOW SCAPE MOUND
	CLAL	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET
	COSE	CORNUS SERICEA 'CARDINAL' / CARDINAL RED TWIG DOGWOOD
	DEGR	DEUTZIA GRACILIS 'NIKKO' / NIKKO DEUTZIA
	HYMA	HYDRANGEA MACROPHYLLA 'HOTTIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA
	HYGE	HYDRANGEA QUERCIFOLIA 'PEE WEE' / OAKLEAF HYDRANGEA
	ITVI	ITEA VIRGINICA HENRY'S GARNET / VIRGINIA SWEETSPICE HENRY'S GARNET

### EVERGREEN SHRUB

	BUBO	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD
	CODA	COTONEASTER DAMMERI / BEARBERRY COTONEASTER
	ILVO	ILEX VOMITORIA 'NANA' / DWARF YALPON HOLLY
	SAHO	SARCOCOA HOOKERIANA HUMILIS / TRAILING SWEETBOX
	ZEPU	ZENOBIA PULVERULENTA / HONEYCUP

### ORNAMENTAL GRASSES / SEDGES

	DECA	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS
	PASH	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS

### PERENNIALS

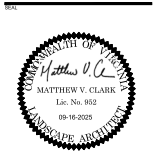
	ECWH	ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER
	RUDI	RUDBECKIA FULGIDA DEAMII / DEAM'S CONEFLOWER

### GROUND COVERS

	LAWN	
--	------	--



NOT FOR CONSTRUCTION



**NOT FOR CONSTRUCTION**

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MIAN LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024015A

### REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSLUP SUBMISSION	08/05/2025
3	POSLUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=10'  
0 5 10 20

PLANTING PLAN - OPEN SPACE - SOUTH

SHEET NUMBER

L232

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
COMMUNITY PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



## PLANT SCHEDULE COURTYARDS + LANDSCAPED ROOF

### SYMBOL CODE BOTANICAL / COMMON NAME

#### DECIDUOUS SHRUBS

CEAM	CEANOTHUS AMERICANUS / NEW JERSEY TEA
CLAL	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET
HYMA	HYDRANGEA MACROPHYLLA 'HORTFIRE' / SEASIDE SERENADE® FIRE ISLAND HYDRANGEA
RHAT	RHODODENDRON ATLANTICUM / COAST AZALEA

#### EVERGREEN SHRUB

CEPR	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA' / PROSTRATE PLUM YEW
CODA	COTONEASTER DAMMERI / BEARBERRY COTONEASTER
DIST	DISTYLUM X 'PIDIST-IT' TM / BLUE CASCADE DISTYLUM
ILGL	ILEX GLABRA / INKBERY HOLLY
ILPA	ILLICUM PARVIFLORUM / ANISE TREE
LEAX	LEUCOTHOE AXILLARIS / COASTAL LEUCOTHOE

#### ORNAMENTAL GRASSES / SEDGES

CAPY	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE
DECA	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS TUFTED HAIR GRASS
PASH	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS

#### PERENNIALS

ECWH	ECHINACEA PURPUREA 'WHITE SWAN' / WHITE SWAN CONEFLOWER
RUDI	RUDECKIA FULGIDA DEAMII / DEAM'S CONEFLOWER

#### GROUND COVERS

	LANDSCAPED ROOF
--	-----------------



**NOT FOR  
CONSTRUCTION**

**LANDBAY G - B/E**

2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024015A

NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSLUP SUBMISSION	08/05/2025
3	POSLUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=20'

PLANTING PLAN -  
COURTYARDS +  
LANDSCAPED ROOF

SHEET NUMBER

**L331**

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
COMMUNITY PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____





PLANT TYPE	PLAN INFORMATION			BOTANIC/COMMON NAME		SIZE	NOTES	CROWN COVER ALLOWANCE (CCA)		NATIVE PLANTS PROVIDED					
URBAN TREES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CAULPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	CROC	3	CELTIS	OCCIDENTALIS		COMMON HACKBERRY	2"-3" CAL / 12'-14" H	ROW tree	N/A		3	3			
	GVEE	6	GYMNOCLADUS	DIOICA		KENTUCKY COFFEE TREE	2"-3" CAL / 12'-14" H	ROW tree	N/A		3	3			
	LUST	5	LIQUIDAMBAR	STYRACIFLUA		SWEET GUM	2"-3" CAL / 12'-14" H	ROW tree	N/A		5	5			
	LUTU	6	LIRODENDRON	TULIPIFERA		TULIP POPLAR	2"-3" CAL / 12'-14" H	ROW tree	N/A		6	6			
	PLDC	3	PLATANUS	OCCIDENTALIS		AMERICAN SYCAMORE	2"-3" CAL / 12'-14" H	ROW tree	N/A		3	3			
	QUFA	7	QUERCUS	FALCATA		SOUTHERN RED OAK	2"-3" CAL / 12'-14" H	ROW tree	N/A		7	7			
	QULY	7	QUERCUS	LYRATA	'QUISLOT'	RESILIENCE OVEGLUP OAK	2"-3" CAL / 12'-14" H	ROW tree	N/A		7	7			
	TOTALS	37									37	0	37		
									URBAN TREE CCA:	0		100.0%	0.0%	100.0%	
STANDARD TREES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CAULPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	CEOC	4	CELTIS	OCCIDENTALIS		COMMON HACKBERRY	2"-3" CAL / 12'-14" H	8.8%	1250	5,000	4				
	PLDC	4	PLATANUS	OCCIDENTALIS		AMERICAN SYCAMORE	2"-3" CAL / 12'-14" H	8.8%	1250	5,000	4				
	QUFA	7	QUERCUS	PALUSTRIS		PIN OAK	2"-3" CAL / 12'-14" H	8.8%	1250	8,750	7				
	TIAM	5	TIILIA	AMERICANA		AMERICAN BASSWOOD	2"-3" CAL / 12'-14" H	8.8%	1250	6,250	5				
	JUEA	5	JUNIPERUS	VIRGINIANA		EASTER RED CEDAR	1.5"-1.75" CAL / 6'-10" H	8.8%	250	1,250	5				
	CECA	6	CERCIS	CANADENSIS		EASTERN REDBUD	1.5"-1.75" CAL / 6'-10" H	8.8%	500	3,000	6				
	CHVI	7	CHIONANTHUS	VIRGINICUS		WHITE FRINGE TREE	1.5"-1.75" CAL / 6'-10" H	8.8%	500	3,500	7				
	PRISA	4	PRUNUS	SARGENTII		SARGENT CHERRY	1.5"-1.75" CAL / 6'-10" H	8.8%	500	2,000	N/A	N/A			
TOTALS	42									38	0	38			
									STANDARD TREE CCA:	34,750		90.5%	0.0%	90.5%	
EVERGREEN SHRUBS	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	HEIGHT		CCA PER SHRUB (SF)	TOTAL CROWN COVER (SF)	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	ABUR	15	ABUTILA	X GRANDIFLORA		GLOSSY ABELIA	18" - 24"	10	150	n/a					
	BUXO	44	BUXUS	MICROPHYLLA		LITTLELEAF BOXWOOD	18" - 24"	2	88	n/a					
	CEPR	50	CEPHALOTAXUS	HARRINGTONIA	PROSTRATA	PROSTRATE PUMPEY	12" - 24"	25	1,250	n/a					
	COTD	70	COTONEASTER	DAMMERI		BEARBERRY COTONEASTER	10" - 12"	10	700	n/a					
	DIST	16	DIESTYLUM	X PHIDIST-II-TM		BLUE CASCADE DISTYLUM	24" - 30"	0	0	n/a					
	ILGL	41	ILEX	GLABRA		INKBERRY HOLLY	21" - 24"	25	1,025	n/a					
	ILVO	59	ILEX	VOMITORIA	'NANA'	DWARF YALPOM HOLLY	18" - 24"	25	1,475	59					
	ILVG	25	ILEX	X GLABRA	'SHAMROCK'	SHAMROCK INKBERRY	18" - 24"	25	625	25					
	ILPA	8	ILICUM	PANIFLORUM		ANISE TREE	36" - 48"	10	80	n/a	8				
	LEAX	35	LEUCOTHOE	AXILLARIS		COASTAL LEUCOTHOE	18" - 30"	25	875	35					
	PIJA	11	PIERIS	JAPONICA		JAPANESE PIERIS	24" - 36"	25	275	n/a					
	SAHO	60	SARCOCOCCA	HOKERIANA	'HUMBUS'	TRAILING SWEETBOX	18" - 24"	10	600	n/a					
	TABA	7	TAXUS	BACATA	'YASTIGATA'	ENGLISH YEW	24" - 36"	25	175	n/a					
	ZIFU	23	ZENOBIA	PULVERULENTA		HONEYCUP	15" - 18"	25	575	n/a	23				
	TOTALS	464									160	31	191		
									EVERGREEN SHRUB CCA (NOT COUNTED TOWARDS OVERALL CANOPY COVERAGE):	7,893		34.5%	6.7%	41.2%	
DECIDUOUS SHRUBS	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	HEIGHT		CCA PER SHRUB (SF)	TOTAL CROWN COVER (SF)	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	ACIN	70	ARONIA	MELANOCARPA	UCONNAMI65	BLACK CHOKEBERRY LOW SCAPE MOUND	30" - 36"	10	700	70					
	CEAM	27	CEANOTHUS	AMERICANUS		NEW JERSEY TEA	18" - 24"	10	270	27					
	CLAL	64	CLETHRA	ALNIFOLIA	'HUMMINGBIRD'	SUMMERSWEET	18" - 24"	10	640	64					
	COSL	18	CORNUS	SERICEA	'CARDINAL'	CARDINAL RED TWIG DOGWOOD	24" - 36"	25	450	18					
	DEGR	8	DEUTZIA	GRACILIS	'NIKKO'	NIKKO DEUTZIA	12" - 18"	10	80	n/a					
	FTBU	27	FOTHERGILLIA	GARDENII	'BLUE MIST'	BLUE MIST FOTHERGILLIA	18" - 24"	2	54	n/a	27				
	HVMA	31	HYDRANGEA	MACROPHYLLA	'NORTFIRE'	SEASIDE SERENADE FIRE ISLAND HYDRAN	18" - 24"	10	310	n/a					
	HOLE	15	HYDRANGEA	PANICULATA	'LITTLE LIME'	LITTLE LIME PANICLE HYDRANGEA	24" - 30"	25	375	n/a					
	HYQE	29	HYDRANGEA	QUERCIFOLIA	'PEE WEE'	OAKLEAF HYDRANGEA	30" - 36"	25	725	n/a	29				
	ITVI	24	ITEA	VIRGINICA	'HENRY'S GARNET'	VIRGINIA SWEETSPICE HENRY'S GARNET	30"	10	240	n/a					
	RHAT	27	RHODODENDRON	ATLANTICUM		COAST AZALEA	18" - 24"	10	270	27					
	TOTALS	340									230	56	286		
										DECIDUOUS SHRUB CCA (NOT COUNTED TOWARDS OVERALL CANOPY COVERAGE):	4,114		67.6%	16.5%	84.1%
										TOTAL PROPOSED CCA (SF) [STANDARD TREES ONLY]:	34,750				
	GROUND COVERS	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.		N/A	<th>LOCAL/ REGIONAL (#)</th> <th>EASTERN U.S. (#)</th> <th>TOTAL</th>	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL	
TOTALS		#									#	#	%		
PERENNIALS, FERNS, ORNAMENTAL GRASSES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.		N/A	<th>LOCAL/ REGIONAL (#)</th> <th>EASTERN U.S. (#)</th> <th>TOTAL</th>	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	ECVH	532	ECHEINACEA	PURPUREA		WHITE SWAN	WHITE SWAN CONEFLOWER	#1			532				
	NERA	112	NEPETA	RACEMOSA		WALKER'S LOW	WALKER'S LOW CATMINT	#1			n/a	n/a			
	RUDI	242	RUBROCEIA	FULGIDA		DEAN'S	DEAN'S CONEFLOWER	#1			242				
	CAPY	1166	CAREX	PENNSYLVANICA		PENNSYLVANIA SEDGE		#1			1166				
	DECA	426	DESCHAMPSIA	CESTROTA		NORTHERN LIGHTS	TUFTED HAIR GRASS	#1			n/a	426			
	PASH	548	PANICUM	VIRGATUM		'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#1			548				
TOTALS	3026									2488	426	2914			
											82.2%	14.1%	96.3%		
VINES	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.		N/A	<th>LOCAL/ REGIONAL (#)</th> <th>EASTERN U.S. (#)</th> <th>TOTAL</th>	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL		
	TOTALS	#									#	#	%		

BIO-DIVERSITY TABULATIONS									
TREES (URBAN AND STANDARD)									
TOTAL NUMBER OF TREES PROPOSED: 79									
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED		
CELTIS	7	8.9%	33%	DIOICA	7	8.9%	10%		
GYMNOCLADUS	6	7.6%	33%	DIOICA	6	7.6%	10%		
LIQUIDAMBAR	5	6.3%	33%	STYRACIFLUA	5	6.3%	10%		
LIRODENDRON	6	7.6%	33%	TULIPIFERA	6	7.6%	10%		
PLATANUS	7	8.9%	33%	OCCIDENTALIS	7	8.9%	10%		
QUERCUS	21	26.6%	33%	FALCATA	7	8.9%	10%		
				LYRATA	7	8.9%	10%		
				PALUSTRIS	7	8.9%	10%		
TIILIA	5	6.3%	33%	AMERICANA	5	6.3%	10%		
JUNIPERUS	5	6.3%	33%	VIRGINIANA	5	6.3%	10%		
CERCIS	6	7.6%	33%	CANADENSIS	6	7.6%	10%		
CHIONANTHUS	7	8.9%	33%	VIRGINICUS	7	8.9%	10%		
PRUNUS	4	5.1%	33%	SARGENTII	4	5.1%	10%		
SHRUBS									
TOTAL NUMBER OF SHRUBS PROPOSED: 804									
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED		
EVERGREEN SHRUBS									
ABELIA	15	1.9%	33%	X GRANDIFLORA	15	1.9%	10%		
BUXUS	44	5.5%	33%	MICROPHYLLA	44	5.5%	10%		
CEPHALOTAXUS	50	6.2%	33%	HARRINGTONIA	50	6.2%	10%		
COTONEASTER	70	8.7%	33%	DAMMERI	70	8.7%	10%		
DISTYLUM	16	2.0%	33%	X PHIDIST-II-TM	16	2.0%	10%		
ILEX	125	15.5%	33%	GLABRA	41	8.2%	10%		
				GLABRA SHAMROCK	25		10%		
				VOMITORIA	59	7.3%	10%		
ILICUM	8	1.0%	33%	PANIFLORUM	8	1.0%	10%		
LEUCOTHOE	35	4.4%	33%	AXILLARIS	35	4.4%	10%		
PIERIS	11	1.4%	33%	JAPONICA	11	1.4%	10%		
SARCOCOCCA	60	7.5%	33%	HOKERIANA	60	7.5%	10%		
TAXUS	7	0.9%	33%	BACATA	7	0.9%	10%		
ZENOBIA	23	2.9%	33%	PULVERULENTA	23	2.9%	10%		
DECIDUOUS SHRUBS									
ARONIA	70	8.7%	33%	MELANOCARPA	70	8.7%	10%		
CEANOTHUS	27	3.4%	33%	AMERICANUS	27	3.4%	10%		
CLETHRA	64	8.0%	33%	ALNIFOLIA	64	8.0%	10%		
CORNUS	18	2.2%	33%	SERICEA	18	2.2%	10%		
DEUTZIA	8	1.0%	33%	GRACILIS	8	1.0%	10%		
FOTHERGILLIA	27	3.4%	33%	GARDENII	27	3.4%	10%		
HYDRANGEA	75	9.3%	33%	MACROPHYLLA	31	3.9%	10%		
				PANICULATA	15	1.9%	10%		
				QUERCIFOLIA	29	3.6%	10%		
ITEA	24	3.0%	33%	VIRGINICA	24	3.0%	10%		
RHODODENDRON	27	3.4%	33%	ATLANTICUM	27	3.4%	10%		

NATIVE PLANT TABULATIONS				
BEGINNING JANUARY 2, 2024				
PLANT TYPE	QUANTITY	NATIVE TYPE	REQUIRED	PROVIDED
			%	QTY.
Urban Trees	37	Regional/Local	20%	37 100.0%
		Total Native	50%	37 100.0%
Standard Trees	42	Regional/Local	40%	38 90.5%
		Total Native	80%	38 90.5%
Evergreen Shrubs	464	Regional/Local	10%	160 34.5%
		Total Native	40%	191 41.2%
Deciduous Shrubs	940	Regional/Local	20%	290 30.9%
		Total Native	80%	286 84.2%
Groundcovers		Regional/Local	10%	
		Total Native	20%	
Perennials, Ferns, Ornamental Grass	3026	Regional/Local	22% (perennials) 30% (Ferns & grasses)	2488 82.2%
		Total Native	62% (perennials) 80% (Ferns & grasses)	2914 96.3%
Vines		Total Native	100%	
TOTALS				
TOTAL PLANTS SPECIFIED		TOTAL SUM OF REGIONAL/LOCAL	TOTAL SUM OF NATIVE PLANTS	
	8909	2953	3466	
		75.5%	88.7%	



OPEN SPACE SOIL VOLUME

EXTENTS OF 3' DEPTH OF  
UNCOMPACTED SOIL VOLUME FOR  
TREES.  
ALL OTHER PLANT BEDS HAVE MIN 24"  
SOIL DEPTH



SEAL



**SYNOPSIS**


2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

LANDSCAPE PHOTOGRAPH 2024019A

[illegible]

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORZ: 1"=10'

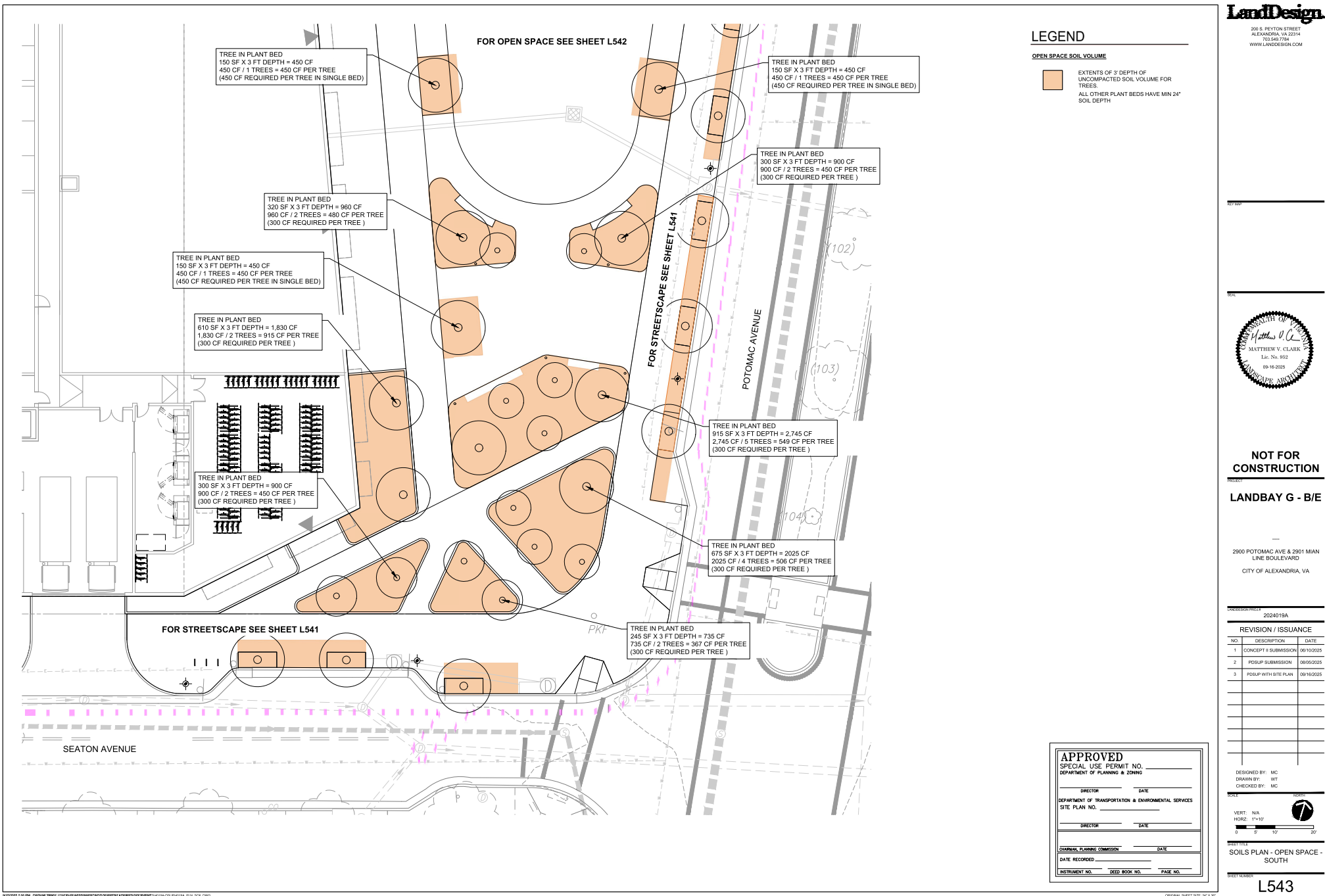


SOILS PLAN - OPEN SPACE -  
NORTH

2248 BT 00154

L542

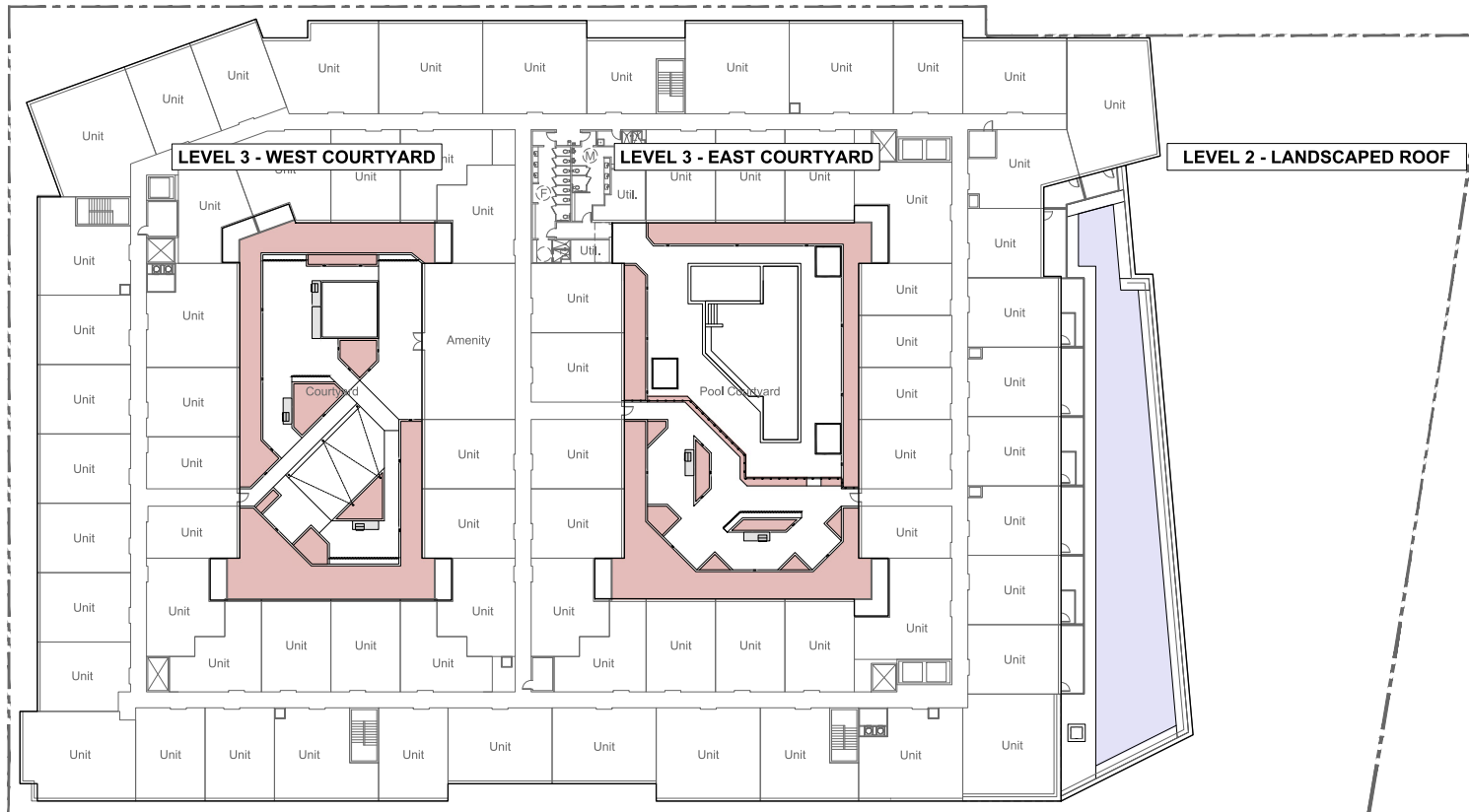




# LEGEND

## COURTYARDS AND GREEN ROOF SOIL VOLUME

- ALL PLANT BEDS HAVE MIN 24" SOIL DEPTH
- MIN. 4" SOIL DEPTH FOR LANDSCAPED ROOF



NOTED

RECALL



**NOT FOR CONSTRUCTION**

**LANDBAY G - B/E**

2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024019A

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POSLUP SUBMISSION	08/05/2025
3	POSLUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=20'  
0 10 20 40'

SHEET TITLE  
**SOILS PLAN - COURTYARDS  
+ LANDSCAPED ROOF**

SHEET NUMBER

**L544**

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

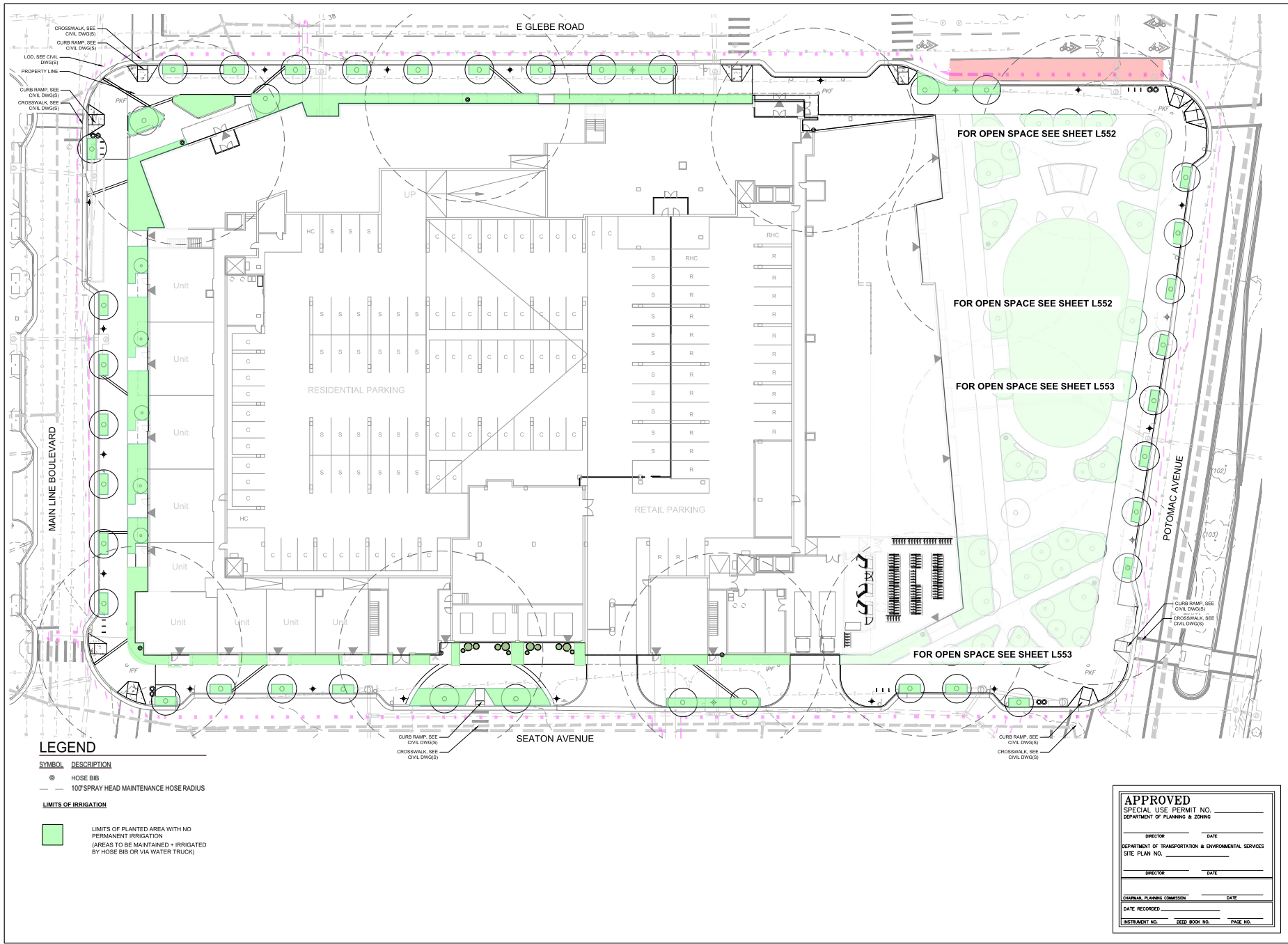
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

COMMUNITY PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



**NOT FOR CONSTRUCTION**

**LANDBAY G - B/E**

2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024019A

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORIZ: 1"=20'

0 10 20 40

IRRIGATION PLAN - SITE LEVEL


**L551**

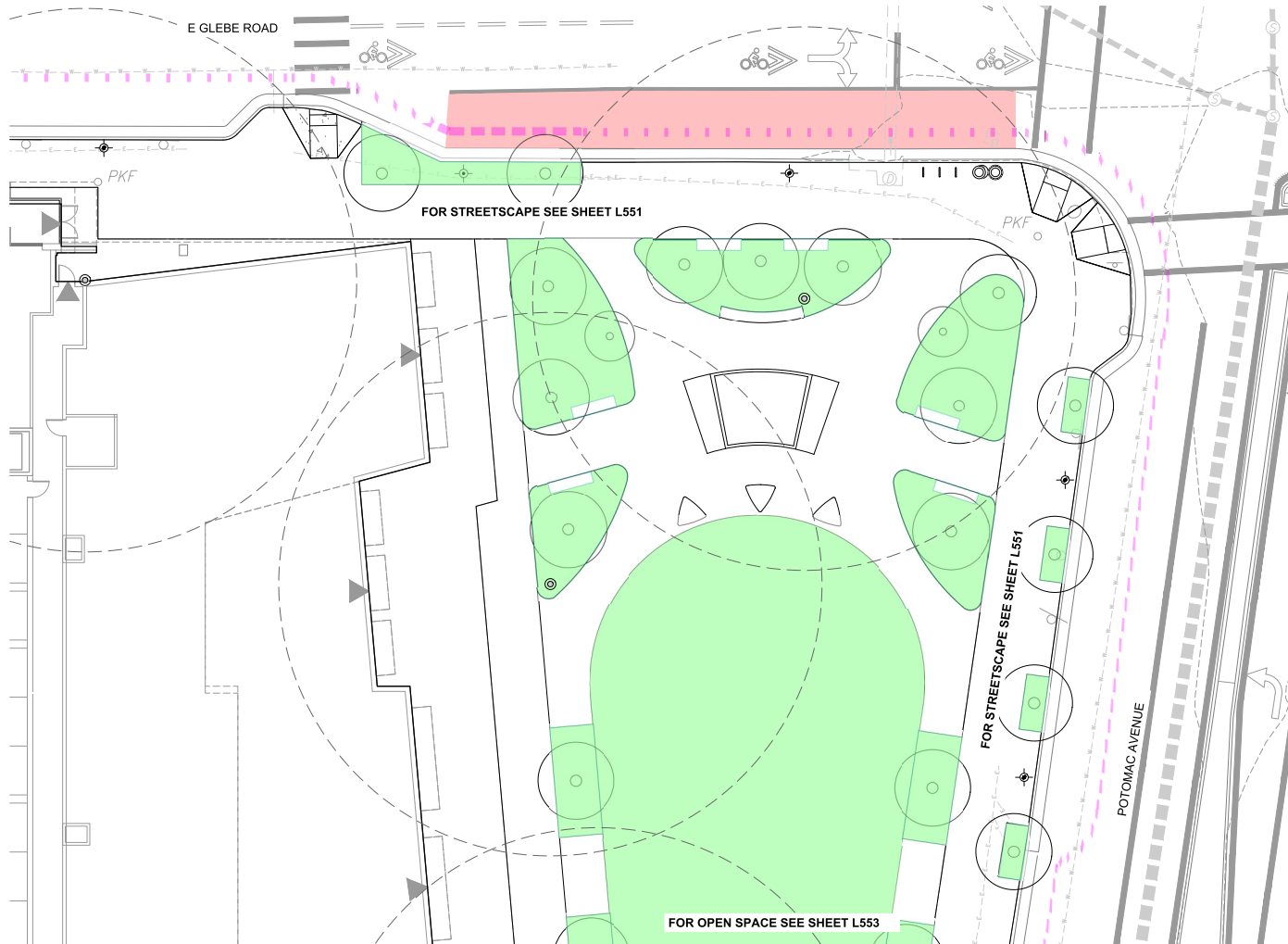


## LEGEND

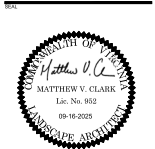
SYMBOL	DESCRIPTION
⊙	HOSE BIB
---	100' SPRAY HEAD MAINTENANCE HOSE RADIUS

### LIMITS OF IRRIGATION

	LIMITS OF PLANTED AREA WITH NO PERMANENT IRRIGATION (AREAS TO BE MAINTAINED + IRRIGATED BY HOSE BIB OR VIA WATER TRUCK)
---	---



NOT FOR CONSTRUCTION



**NOT FOR CONSTRUCTION**

**LANDBAY G - B/E**

2900 POTOMAC AVE & 2901 MIAN  
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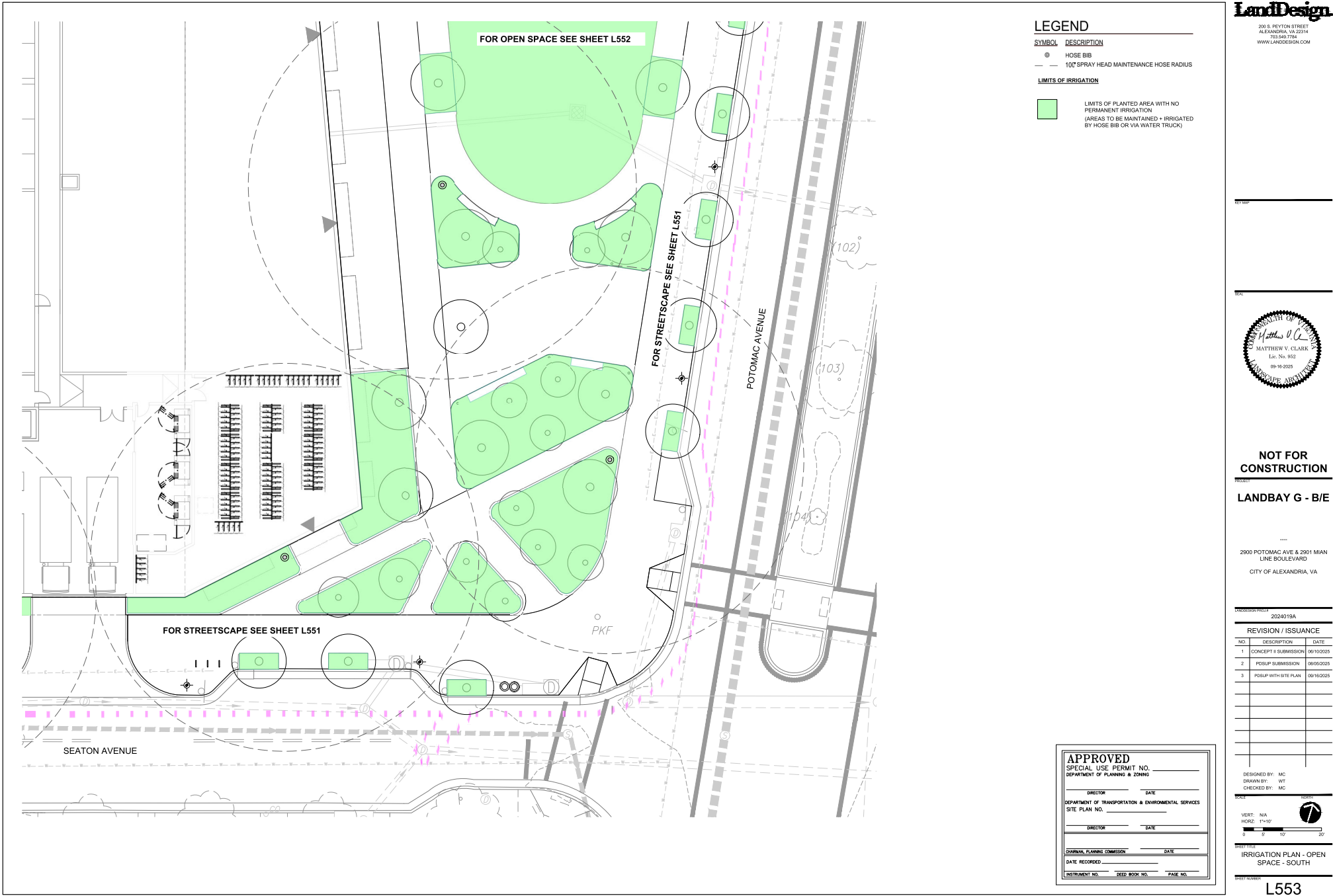
VERT: N/A  
HORIZ: 1"=10'  
0 5 10 20

IRRIGATION PLAN - OPEN SPACE - NORTH

LANDSCAPE ARCHITECT

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR _____	DATE _____
COMMUNITY PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____


ORIGINAL SHEET SIZE: 24" X 36"




<u>SYMBOL</u>	<u>DESCRIPTION</u>
---------------	--------------------

© HOSE BIB  
 — — 100' SPRAY HEAD MAINTENANCE HOSE RADIUS

### LIMITS OF IRRIGATION

 LIMITS OF PLANTED AREA WITH NO PERMANENT IRRIGATION  
(AREAS TO BE MAINTAINED + IRRIGATED BY HOSE BIB OR VIA WATER TRUCK)

 LIMITS OF AREA WITH DRIP IRRIGATION



## PART ONE

SEAL



**NOT FOR  
CONSTRUCTION**

LANDBAY G - B/E



2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

LANDGROSS/IN PAGE 18  
2024019A

[illegible]

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORZ: 1"=20'



PROJECT TITLE  
IRRIGATION PLAN -  
COURTYARDS +  
LANDSCAPED ROOF

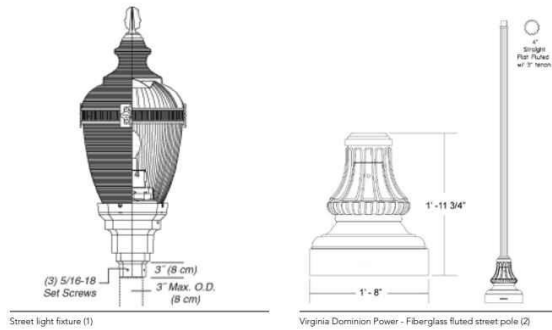
SECRET NUMBER

L554





STREET LIGHT:  
FIXTURE TO BE SINGLE LUMINAIRE  
COLOR: STANDARD BLACK



### STREET LIGHT

SHOWN FOR INFORMATIONAL PURPOSES ONLY

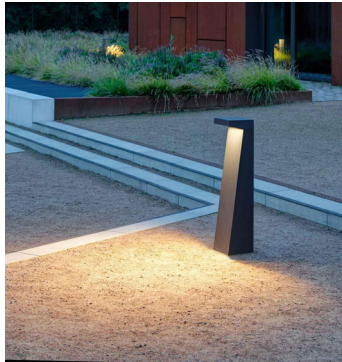
#### NOTES:

1. LIGHT POST TO ABIDE BY CITY OF ALEXANDRIA STANDARDS, SHOP DRAWINGS TO BE APPROVED BY CITY PRIOR TO PROCUREMENT AND INSTALLATION
2. LIGHT SPECIFICATIONS AND LOCATIONS TO BE REVIEWED AND FINALIZED BY A QUALIFIED LIGHTING ENGINEER
3. INSTALL PER MANUFACTURER'S SPECIFICATIONS ALL STRUCTURAL CROSS SECTIONS, INCLUDING FOOTINGS, SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.
4. STREET LIGHTS ALONG ROUTE 1 TO ABIDE BY CITY OF ALEXANDRIA STREET GUIDELINES

### 1 STREET LIGHT - CITY STANDARD (L-101)

L601 PICTORIAL

NTS



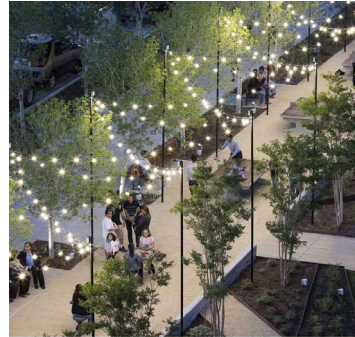
#### NOTES:

1. ON APPROVED EQUAL
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
3. LIGHTING PRODUCT AND DESIGN TO BE FINALIZED AT FSP

### 2 BOLLARD LIGHT (L-202)

L601 PICTORIAL

NTS



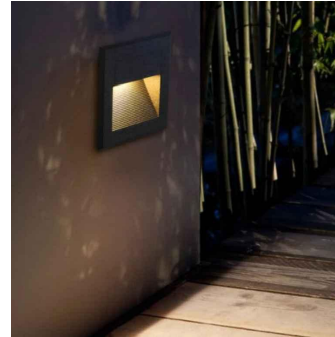
#### NOTES:

1. ON APPROVED EQUAL
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
3. LIGHTING PRODUCT AND DESIGN TO BE FINALIZED AT FSP

### 3 STRING LIGHT POLE (L-201)

L601 PICTORIAL

NTS



#### NOTES:

1. ON APPROVED EQUAL
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
3. LIGHTING PRODUCT AND DESIGN TO BE FINALIZED AT FSP

### 4 WALL LIGHT

L601 PICTORIAL

NTS

001100

001



NOT FOR  
CONSTRUCTION

PROJECT

LANDBAY G - B/E

2900 POTOMAC AVE & 2901 MIAN  
LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024015A

#### REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	CONCEPT SUBMISSION	06/10/2025
2	POSLUP SUBMISSION	08/09/2025
3	POSLUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: N/A  
HORZ: AS NOTED

DETAILS - HARDSCAPE

001100

L601

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
COMMUNITY PLANNING COMMISSION	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

ORIGINAL SHEET SIZE: 24" X 36"

NOTED

NOTED



**NOT FOR CONSTRUCTION**

**LANDBAY G - B/E**

2300 POTOMAC AVE & 2301 MIAN LINE BOULEVARD  
CITY OF ALEXANDRIA, VA

2024015A

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	CONCEPT & SUBMISSION	06/10/2025
2	POBUP SUBMISSION	08/05/2025
3	POBUP WITH SITE PLAN	08/16/2025

DESIGNED BY: MC  
DRAWN BY: WT  
CHECKED BY: MC

VERT: NA  
HORIZ:

DETAILS - PLANTING

DETAILS - PLANTING

L701

NTS

**PLANT SPACING D.C. PER SQ. FT.**

PLANT SPACING D.C.	ROW "A" PLANTS PER SQ. FT.
5"	4.00
6"	3.33
8"	2.25
10"	1.78
12"	1.50
15"	1.11
18"	0.83

**NOTES:**

1. PLANTING WELL / TRENCH SHALL BE DUG TO ALLOW TOP OF ROOT BALL TO SET FLUSH WITH EXISTING GRADE.
2. SET PLANTS IN DIRECT, STABLE, AND UNIFORM POSITIONS. ORIENT BEST FACE OF PLANT TO BE MOST VISIBLE.
3. GROUND COVERS AND PERENNIALS SHALL BE INSTALLED WITH TRIANGULAR SPACING, REFER TO CHART.
4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
5. DO NOT PLACE MULCH IN CONTACT WITH STEM OR CROWN OF PLANTS.
6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, PER THE SPECIFICATIONS.

**GROUNDCOVER & PERENNIAL PLANTING**

NOT TO SCALE

NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL, OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

**GROUNDCOVER & PERENNIAL PLANTING**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

**SHRUB PLANTING**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

**SHRUB PLANTING**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

**DECIDUOUS TREE PLANTING**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

**DECIDUOUS TREE PLANTING**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 001

L701 SECTION

**A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:**

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES:

- 1) THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
- 2) THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
- 3) THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OF IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN. ANY CHANGES, ALTERATIONS OR WORKAROUNDS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
- 4) INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
- 5) IN LIEU OF MORE STRINGENT SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA, GAITHERSBURG, MARYLAND.
- 6) SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
- 7) MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSORS AND/OR ASSIGNS IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDONED BY PROJECT APPROVAL, AS APPLICABLE.

**B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:**

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DUP/OSUP PROJECTS:

- 1) THE APPROVED METHODS OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (PAZ) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
- 2) THE APPLICANT MUST CONTRACT THE PAZ PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PAINTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE PAZ PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
- 3) THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE PAZ PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TACKING FOR THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT; AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
- 4) ALL CONSTRUCTION SHALL BE REMOVED PRIOR TO PLANTING.
- 5) AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION REGULATIONS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATIONS AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- 6) AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY.

**A) STANDARD LANDSCAPE PLAN NOTES**

NOT TO SCALE

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CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS  
CITY OF ALEXANDRIA, VIRGINIA

APPROVED BY: COA  
DATE: 08/09/19  
LD 006

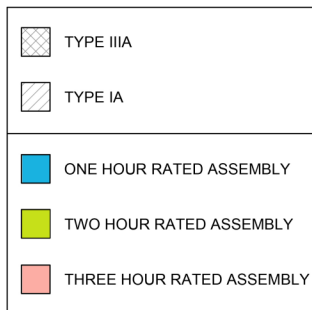
## Alexandria, VA

[illegible]

## Building Analysis

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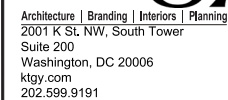
## A0.2



BUILDING CODE ANALYSIS									
APPLICABLE CODES (CITY OF ALEXANDRIA, VA)									
2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2021 ICC Family of codes with incorporated Virginia amendments)									
BUILDING WEST									
FLOOR	AREA(SF)	USE GROUP	TYPE OF CONSTRUCTION	ALLOWABLE No. OF STORIES	ALLOWABLE HEIGHT (FT)	ALLOWABLE AREA PER FLOOR (INCLUDING FRONTAGE INCREASE)	FIRE PROTECTION	ALLOWABLE TOTAL BUILDING AREA (SF)	
Level 7	23,674	R2	IIIA	5	85'	84,000	NFPA-13		
Level 6	24,535	R2	IIIA	5	85'	84,000	NFPA-13		
Level 5	24,535	R2	IIIA	5	85'	84,000	NFPA-13		
Level 4	24,535	R2	IIIA	5	85'	84,000	NFPA-13		
Level 3	24,535	R2	IIIA	5	85'	84,000	NFPA-13		
TOTAL AREA	121,814							252,000	
BUILDING EAST									
FLOOR	AREA(SF)	USE GROUP	TYPE OF CONSTRUCTION	ALLOWABLE No. OF STORIES	ALLOWABLE HEIGHT (FT)	ALLOWABLE AREA PER FLOOR (INCLUDING FRONTAGE INCREASE)	FIRE PROTECTION	ALLOWABLE TOTAL BUILDING AREA (SF)	
Level 7	48,208	R2	IIIA	5	85'	90,000	NFPA-13		
Level 6	49,360	R2	IIIA	5	85'	90,000	NFPA-13		
Level 5	49,360	R2	IIIA	5	85'	90,000	NFPA-13		
Level 4	49,360	R2	IIIA	5	85'	90,000	NFPA-13		
Level 3	49,447	R2 / A3	IIIA	5	85'	90,000	NFPA-13		
TOTAL AREA	245,735								270,000
** 3-HOUR HORIZONTAL BUILDING SEPARATION									
BUILDING LOWER									
FLOOR	AREA(SF)	USE GROUP	TYPE OF CONSTRUCTION	ALLOWABLE No. OF STORIES	ALLOWABLE HEIGHT (FT)	ALLOWABLE AREA PER FLOOR	FIRE PROTECTION	ALLOWABLE TOTAL BUILDING AREA (SF)	
Level 1	94,250	R2 / S2	IA	UNLIMITED	UNLIMITED	UNLIMITED	NFPA-13		
Level 2	102,070	R2, S2, *** A2, A3, B, H	IA	UNLIMITED	UNLIMITED	UNLIMITED	NFPA-13		
TOTAL AREA	196,320							UNLIMITED	
<p>* Unseparated Use: Total area of A3 Use Group &lt; 10% of floor area, therefore A3 is an accessory to the R2 use.</p> <p>** Horizontal building separation located above level 2 (Type IA Construction), below upper 5 stories of Type IIIA Construction.</p> <p>*** Unseparated Use Groups, Type IA Construction, unlimited area.</p> <p>**** Potential retail tenant Use Groups, final Use Groups to be determined at time of tenant fit out.</p>									

<h1 style="margin: 0;">APPROVED</h1> <h2 style="margin: 0;">SPECIAL USE PERMIT NO. _____</h2>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
MAILING LABEL NO. _____	REEL ROOM NO. _____





Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

## Alexandria, VA

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor, through diligent knowledge of the building codes and methods of construction, should be made by the architect. Written instructions, such as perceived errors or omissions, shall be received from the architect prior to the client or clients subcontractor proceeding with the work. The client will be responsible for any defects in construction if these omissions are not followed.

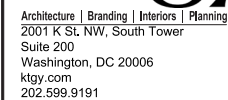


**Floor 1**



09/16/2025

## A2.0



Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

## Alexandria, VA

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor reasonably knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

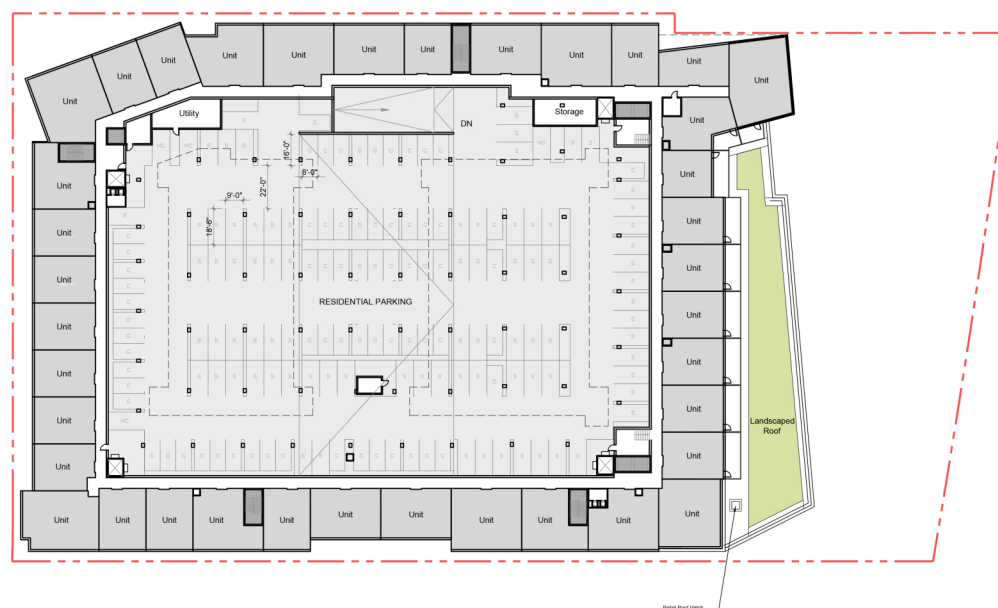


Floor 2

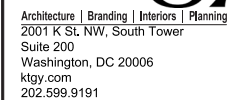


09/16/2025

## A2.1



APPROVED			
SPECIAL AGENT IN CHARGE			
DEPARTMENT OF _____			
DIRECTOR _____		DATE _____	
DEPARTMENT OF _____ ENVIRONMENTAL SERVICES			
SITE PLAN NO. _____		DATE _____	
DIRECTOR _____		DATE _____	
DATE RECORDED _____			



Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

## Alexandria, VA

[illegible]

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**Floor 3**

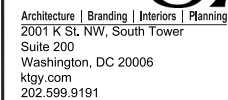


09/16/2025

## A2.2



APPROVED			
SPECIAL AGENT IN CHARGE			
DEPARTMENT OF _____			
_____ DIRECTOR		_____ DATE	
DEPARTMENT OF _____ ENVIRONMENTAL SERVICES			
SITE PLAN NO. _____		_____	
_____ DIRECTOR		_____ DATE	
_____ CHIEF OF POLICE		_____ DATE	
DATE RECORDED _____			



Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

## Alexandria, VA

[illegible]

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**Floor Typical (4-6)**



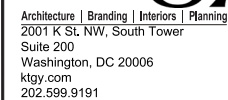
09/16/2025

### A2.3



APPROVED			
SPECIAL AGENT IN CHARGE			
REMARKS: <u>See memo to Bureau 4/22/68</u>			
_____ DIRECTOR		_____ DATE	
DEPARTMENT OF ENVIRONMENTAL SERVICES			
SITE PLAN NO. _____			
_____ DIRECTOR		_____ DATE	
CHIEF OF BUREAU OF ENVIRONMENTAL SERVICES			
_____ DATE RECORDED		_____ DATE	





Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

Alexandria, VA

[illegible]

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## Floor 7

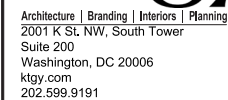


09/16/2025

## A2.4



APPROVED			
SPECIAL USE PERMIT NO.			
SEPARATION OF DUTIES			
DIRECTOR		DATE	
SEPARATION OF DUTIES		PERMANENT SERVICES	
SITE PLAN NO.			
DIRECTOR		DATE	
SEPARATION OF DUTIES		DATE	
DATE RECORDED			



Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

## Alexandria, VA

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor, through diligent knowledge of the building codes and methods of construction, should be made by the architect. Written instructions, such as perceived errors or omissions, shall be received from the architect prior to the client or clients subcontractor proceeding with the work. The client will be responsible for any defects in construction if these omissions are not followed.

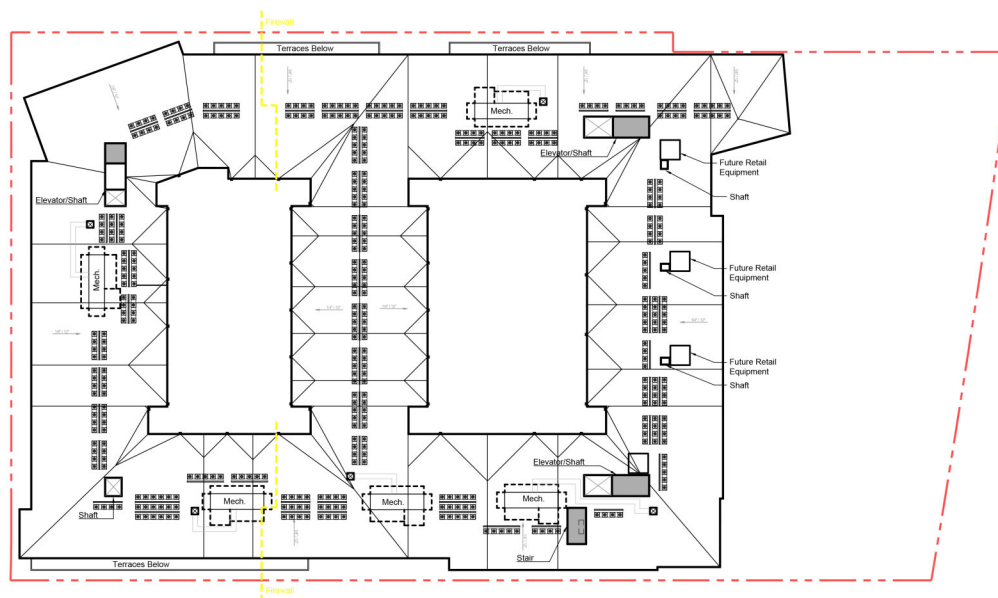


### Roof Plan



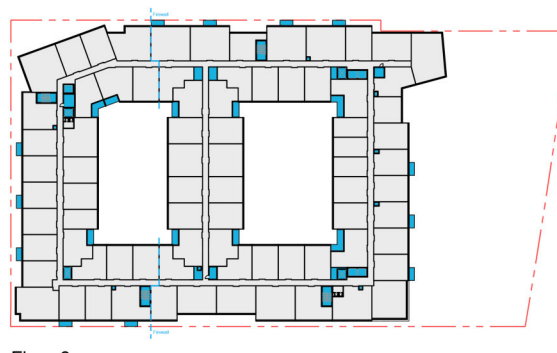
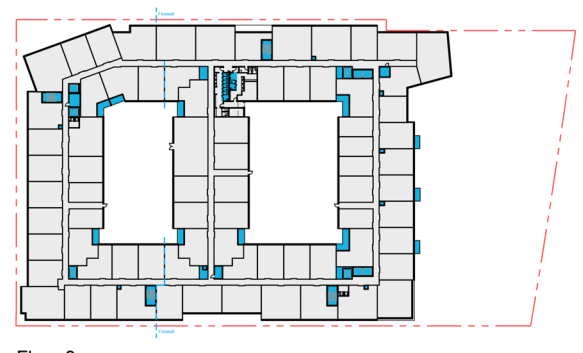
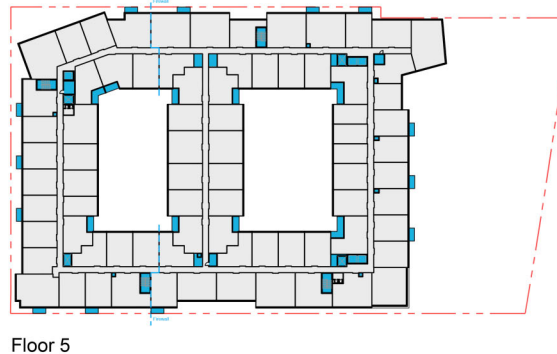
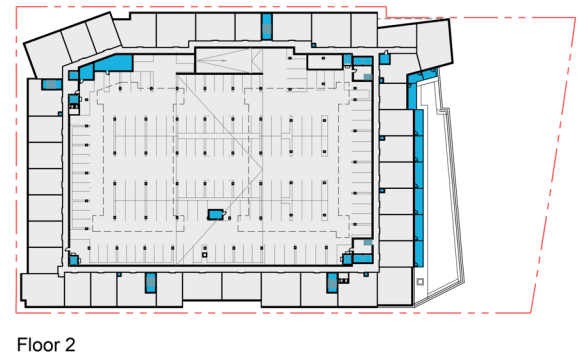
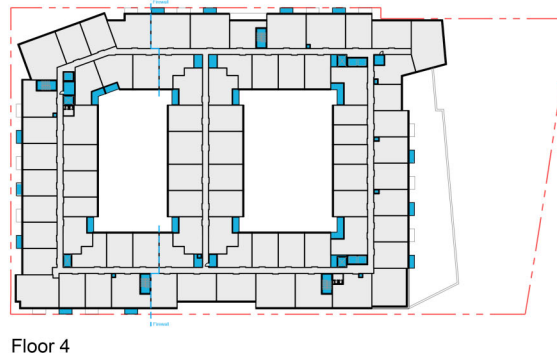
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## A2.5



NOTE: ILLUSTRATIVE. SUBJECT TO CHANGE.

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DEPARTMENT OF Planning & Zoning	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	



Floor	Gross Area	Excluded		Floor Area
		Other	Lavatories*	
Floor 1	103,852 sf	11,441 sf	950 sf	91,711 sf
Floor 2	94,912 sf	3,144 sf	2,550 sf	89,218 sf
Floor 3	75,213 sf	3,016 sf	5,100 sf	67,097 sf
Floor 4	74,937 sf	3,854 sf	4,750 sf	66,333 sf
Floor 5	74,937 sf	3,854 sf	4,750 sf	66,333 sf
Floor 6	74,937 sf	3,854 sf	4,750 sf	66,333 sf
Floor 7	73,849 sf	5,745 sf	4,750 sf	63,354 sf
<b>Total</b>	<b>572,637 sf</b>	<b>34,908 sf</b>	<b>27,600 sf</b>	<b>510,129 sf</b>

Gross Floor Area  
Mechanical, Circulation, and Balcony Area Exclusions per City of Alexandria  
Zoning Ordinance 2-145

Total Lavatory Area = 27,600 SF, 4.8% of Building's Gross Area 572,637 SF

<u>Lavatories</u>		
536 Unit Lavatories x 50 sf	=	26,800 sf
16* Amenity Lavatories x 50 sf	=	800 sf
<b>Total</b>	<b>=</b>	<b>27,600</b>

\* Amenity Lavatory count subject to change per code

ktgy

Architecture | Branding | Interiors | Planning  
2001 K St. NW, South Tower  
Suite 200  
Washington, DC 20006  
ktgy.com  
202.599.9191

**KTGY Project No:** 240516

Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

---

Land Bay G B+E

Alexandria, VA

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



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## Area Plans

<h1 style="margin: 0;">APPROVED</h1> <h2 style="margin: 0;">SPECIAL USE PERMIT NO. _____</h2>	
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SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
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DATE RECORDED _____	
RECORDED BY _____	CITY BOOK NO. _____
_____	_____

09/16/2025

### A3.0



1. Potomac Ave Elevation

## MATERIAL LIST

1.1	Brick 1 - White Brick
1.2	Brick 2 - Medium Gray
1.3	Brick 3 - Black/Charcoal(Graphite)
1.4	Brick 4/CMU - TBD
1.5	Mural (To be designed before FSP Approval)
2.1	Cementitious Panelized Facade Lap Type 1 - Light Gray/White Panel
2.2	Cementitious Panelized Facade Lap Type 2 - Espresso
2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing

**APPROVED**

SPECIAL USE PERMIT NO. \_\_\_\_\_

PROJECT OF PLANNING & DESIGN

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

STATEMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

ORIGINAL PLANNING COMMISSION

RECORDED \_\_\_\_\_ DATE \_\_\_\_\_

PERMIT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ DATE \_\_\_\_\_

## Land Bay G B+E

Alexandria, VA

No.	Date	Description

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed changes or variations to the plans and specifications of which a complete description, including drawings, with the building codes and materials of construction should be submitted to the architect. The architect is not responsible for any errors or omissions, and he is not bound by the architect's price to the client or clients in construction proceeding with the work. The client will be responsible for any effects or construction if these provisions are not followed.



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**Elevations**

0 8 16 32

09/16/2025

**A4.0**



## Land Bay G B+E

Alexandria, VA

No.	Date	Description

It is the client's responsibility prior to or during construction to notify the architect in writing of any potential errors or omissions in the plans and specifications of which a contractor should be made aware. The architect is not responsible for errors or omissions in the plans and specifications of which a contractor should be made aware. The client is responsible for any errors or omissions in the plans and specifications of which a contractor should be made aware. The client is responsible for any errors or omissions in the plans and specifications of which a contractor should be made aware.



License Stamp

**Elevations**

0 8 16 32

09/16/2025

**A4.1**



2. East Glebe Rd & Main Line Blvd Corner Elevation

Avg. Finished Grade - 39.3'



3. East Glebe Rd Elevation

Avg. Finished Grade - 39.3'

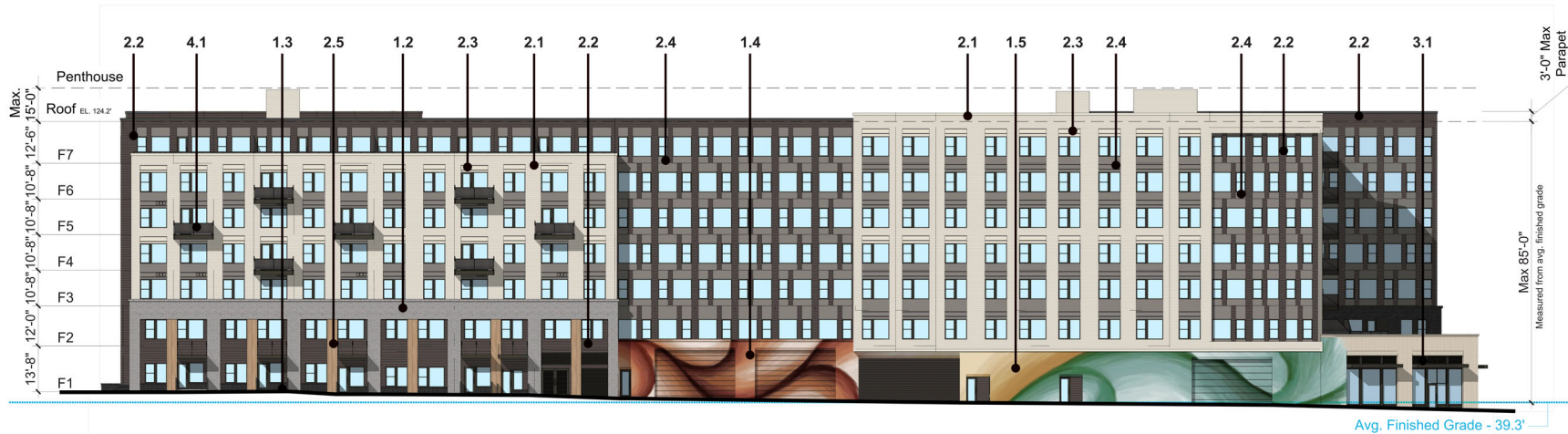
1.1	Brick 1 - White Brick
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1.3	Brick 3 - Black/Charcoal(Graphite)
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1.5	Mural (To be designed before FSP Approval)
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2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing



<b>APPROVED</b>	
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PROJECT OF PLANNING & DESIGN	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
PLAN NO.	DATE
DIRECTOR	DATE
SPECIAL PLANNING COMMISSION	
RECORDED	DATE
CLIENT NO.	DEED BOOK NO.
DATE	



4. Main Line Blvd Elevation

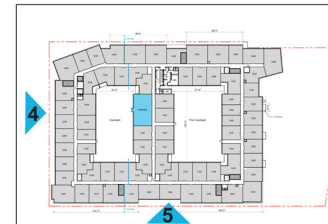


5. Seaton Ave Elevation

#### MATERIAL LIST

1.1	Brick 1 - White Brick
1.2	Brick 2 - Medium Gray
1.3	Brick 3 - Black/Charcoal(Graphite)
1.4	Brick 4/CMU - TBD
1.5	Mural (To be designed before FSP Approval)
2.1	Cementitious Panelized Facade Lap Type 1 - Light Gray/White Panel
2.2	Cementitious Panelized Facade Lap Type 2 - Espresso
2.3	Cementitious Panelized Facade Type 3 - Light Gray/White Panel
2.4	Cementitious Panelized Facade Type 4 - Medium Gray
2.5	Cementitious Panelized Facade Type 5 (Wood Accent)
3.1	Canopy
4.1	Metal Railing

**NOTE: MURAL IS ILLUSTRATIVE, TO BE FINALIZED AT FINAL SITE PLAN**



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RECORDED _____	DATE _____
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# ktgy

Architecture | Branding | Interiors | Planning  
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**KTGY Project No:** 240516

Project Contact: Ben Kasdan  
Email: bkasdan@ktgy.com

Principal: Ben Kasdan  
Project Designer: Federico Soifer

Land Bay G B+E  
Alexandria, VA

No.	Date	Description

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed changes or variations to the plans and specifications of which a comparison of any proposed changes or variations with the building codes and standards of construction should be made. The architect shall be responsible for any errors or omissions in the construction of the building and shall be held liable for any damages or losses resulting therefrom. The client shall be responsible for any errors or omissions in the construction of the building and shall be held liable for any damages or losses resulting therefrom.



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**Elevations**

0 8 16 32

09/16/2025

**A4.2**

## Alexandria, VA

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specification of which a contractor reasonably knowledgeable with the building codes and methods of construction reasonably be aware. Written instructions acknowledging such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if procedures are not followed.



09/16/2025

## A5.0



- Amenity
- Units
- Garage
- Retail

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DIRECTOR _____	DATE _____
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SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
MAILING NAME _____	REG. BOOK NO. _____
PLAN _____	



