

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations.

APPLICANT: Jorge Euceda

LOCATION: Old and Historic Alexandria District
221 South Alfred Street

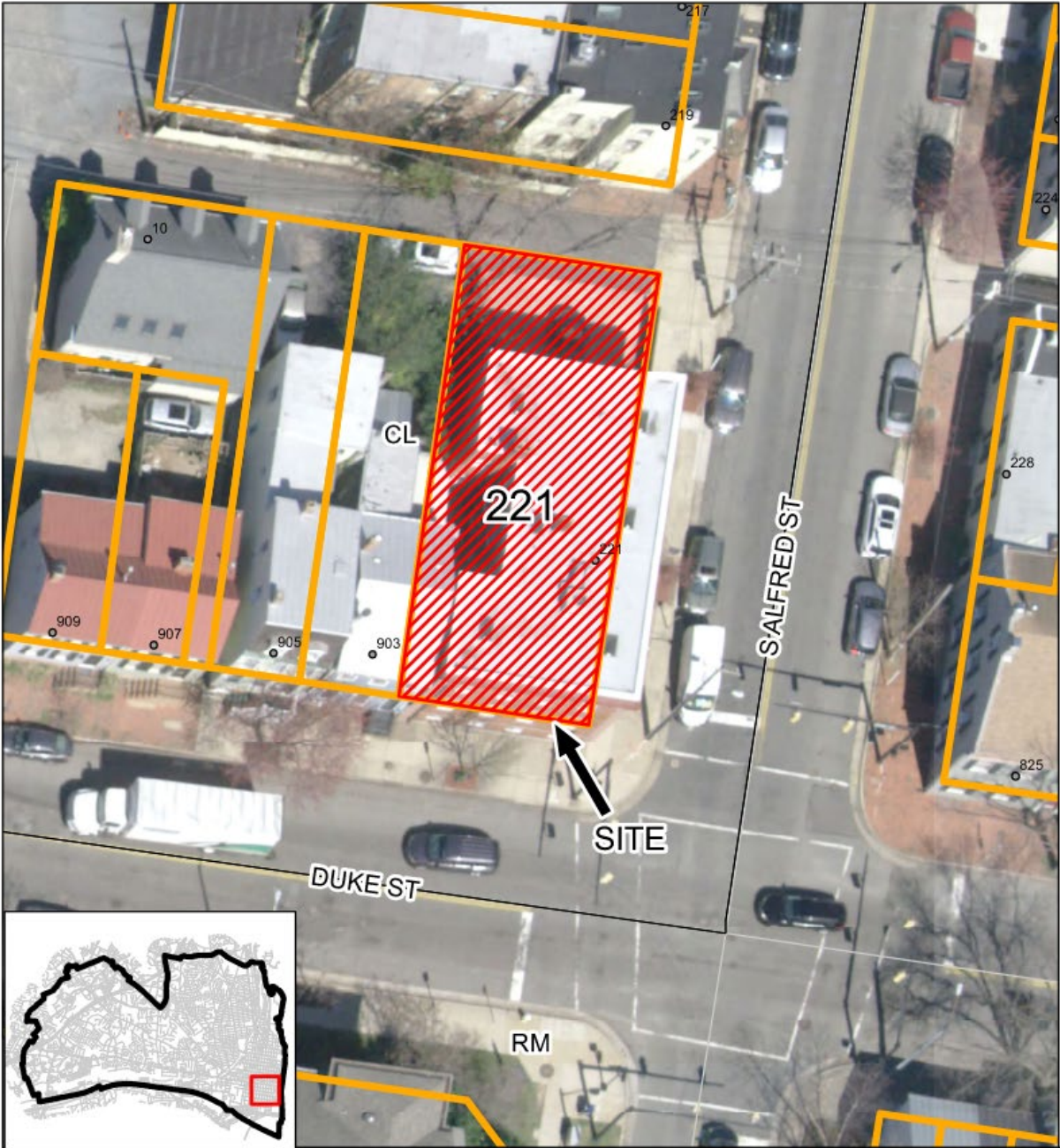
ZONE: CL/Commercial Low Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish (partial) and Certificate of Appropriateness for alterations with the condition that the new windows have colonial grid to match the originals and that they comply with the BAR window policy.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR#2024-00376 & BAR#2024-00395**
221 S Alfred Street

0 12.5 25 50 Feet

N

Note: Staff coupled the applications for a Permit to Demolish (BAR #2024-00395) and Certificate of Appropriateness (BAR #2024-00376) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, at 221 South Alfred Street.

Permit to Demolish/Capsulate

The project calls for the demolition of approximately 87.82 SF of masonry to enlarge seven basement windows for egress purposes (four on the south elevation and three on the north elevation) and to remove two existing exterior basement stairwells (one on the north elevation and one on the west elevation). The existing basement window wells will also be enlarged.

Certificate of Appropriateness

The applicant is requesting approval to replace all windows on the subject building. The existing one-over-one double-hung windows on the first and second stories (all elevations) will be replaced with Lincoln aluminum-clad one-over-one, double glazed, double-hung windows matching the existing. The existing sliding basement windows on the front/east elevation will be replaced with Lincoln aluminum-clad, double glazed awning windows (no changes on the windows' openings). And lastly, the existing sliding basement windows on the north and south elevations will be replaced with Lincoln aluminum-clad casement windows, the opening of these windows will be enlarged to comply with egress requirements.

In addition, the applicant is requesting the removal of two existing basement stairwells, one by the north elevation, visible from Alfred Street and the adjacent alley, and one on the west elevation, not visible from any public way. The north elevation stairwell will be replaced with a new window and window well to match the other proposed basement windows on this elevation.

Site context

The subject building sits on the northwest corner of South Alfred and Duke streets intersection. There is an alley of undetermined ownership running adjacent to the building's north elevation. All elevations are visible from public ways (Figures 1, 2, and 3) except for the rear/west elevation.



Figure 1 - East elevation (South Alfred Street)



Figure 2 - South elevation (Duke Street)



Figure 3 - North elevation (alley view)

II. HISTORY

The seven-bay, two-story, u-shape, masonry, Georgian Revival style building was built in **1936** (building permit # 1183 from 12/08/1936). The building was built by Mr. J. Shapiro as a “Five Family Apartment House” building. The building features quoins, dentiled cornice, jack arch windows and a fanlight transom over the four-panel door.

Previous BAR Approvals

In 1982, the BAR approved a fence and alterations. The windows “without muntins” were approved on 9/15/1982. There are no recent BAR approvals for the property.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The area proposed for demolition/capsulation is not of unusual or uncommon design and can easily be replicated. Furthermore, the Board routinely approves minor changes to historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve.

Certificate of Appropriateness

The *Design Guidelines* state that “Windows and doors are principal character defining features of a building and serve both functional and aesthetic purposes,” and that “An informed and careful analysis of the existing condition should be made before any decision to replace historic materials is made.” Staff has no objections to the proposed basement windows enlargement since the amount of building fabric to be removed is minimal and will not adversely affect the building as a whole. Furthermore, the majority of the proposed alterations are on the north elevation facing the alley, there is no fenestration changes being proposed on the east/principal elevation.

The original windows on this Late building were six-over-six (Figure 4) which were replaced to one-over-one in 1982. Therefore, staff recommends the new windows have a multi-light configuration to match the originals.

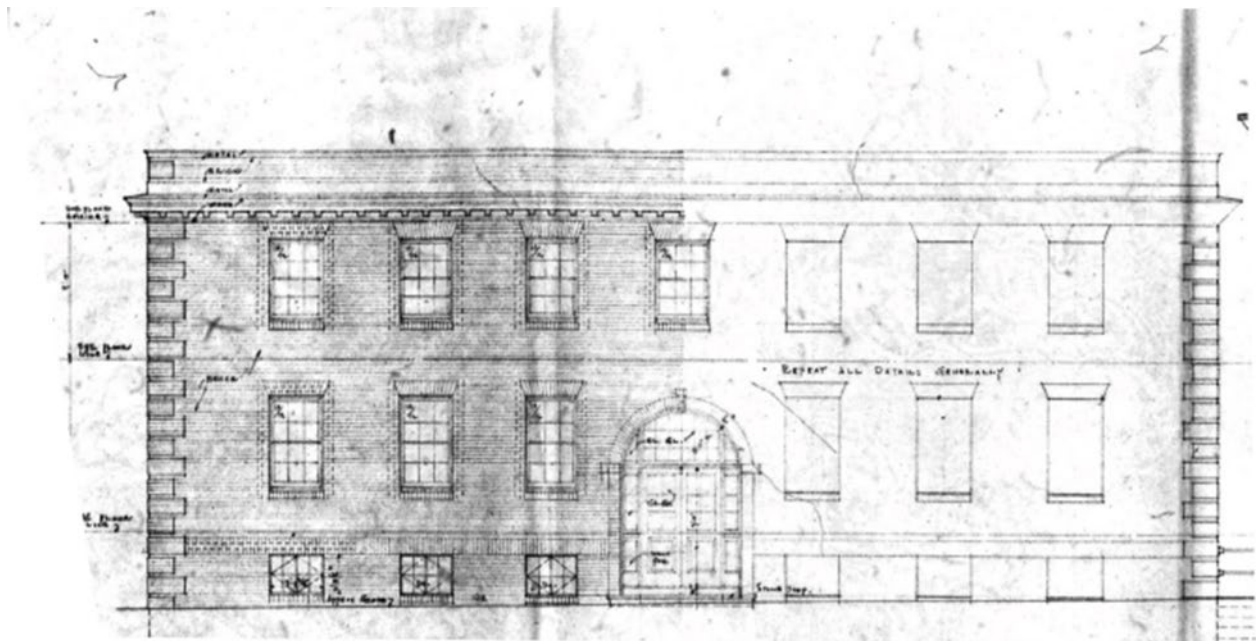


Figure 4 - original east elevation

With the conditions above, staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed window replacement and egress window expansion will comply with Zoning.

Code Administration

C-1 A building permit is required

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

Conditions:

1. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. *The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.*
 2. The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. *The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.*
- F-1 According to historic maps, the property at 221 S. Alfred St. functioned as a “marble yard” in the second half of the nineteenth century. A marble yard was a place where stonemasons carved, stored, and sold their wares, mostly headstones for graves. In the early twentieth century, the present dwelling house was built. The property has the potential to yield significant archaeological materials related to the latter nineteenth and twentieth centuries.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat
- Photographs

ADDRESS OF PROJECT: 221 SALFRED ST

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 074-01-07-15 ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: JORGE EUCEDA

Address: ██████████ EAST SIDE DRIVE

City: alexandria State: va Zip: 22306

Phone: 7035827002 E-mail: ████████████████████

Authorized Agent *(if applicable):* Attorney Architect _____

Name: Scott Sterl Phone: ██████████████████

E-mail: ████████████████████

Legal Property Owner:

Name: JORGE EUCEDA

Address: 2710 EAST SIDE DRIVE

City: alexandria State: va Zip: 2 230 6

Phone: ██████████████████ E-mail: ████████████████████

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Window replacement from sliding to awning windows.(@ Basement)

Window replacement and enlargement to meet egress requirements including window wells(@basement)

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include **all** information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Scott Sterl

Printed Name: Scott W. Sterl

Date: 10/28/2024

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 221 S ALFRED STREET

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 074-01-07-15 ZONING: CL

APPLICATION FOR: (Please check all that apply)

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Authorized Agent (if applicable): Attorney Architect _____

Name: SCOTT STERL Phone: ██████████

E-mail: SWSAIA.DRAFTER@GMAIL.COM

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 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

WINDOW REPLACEMENT FROM SLIDING TO CASEMENT TO MEET EGRESS @ BASEMENT

SUBMITTAL REQUIREMENTS:

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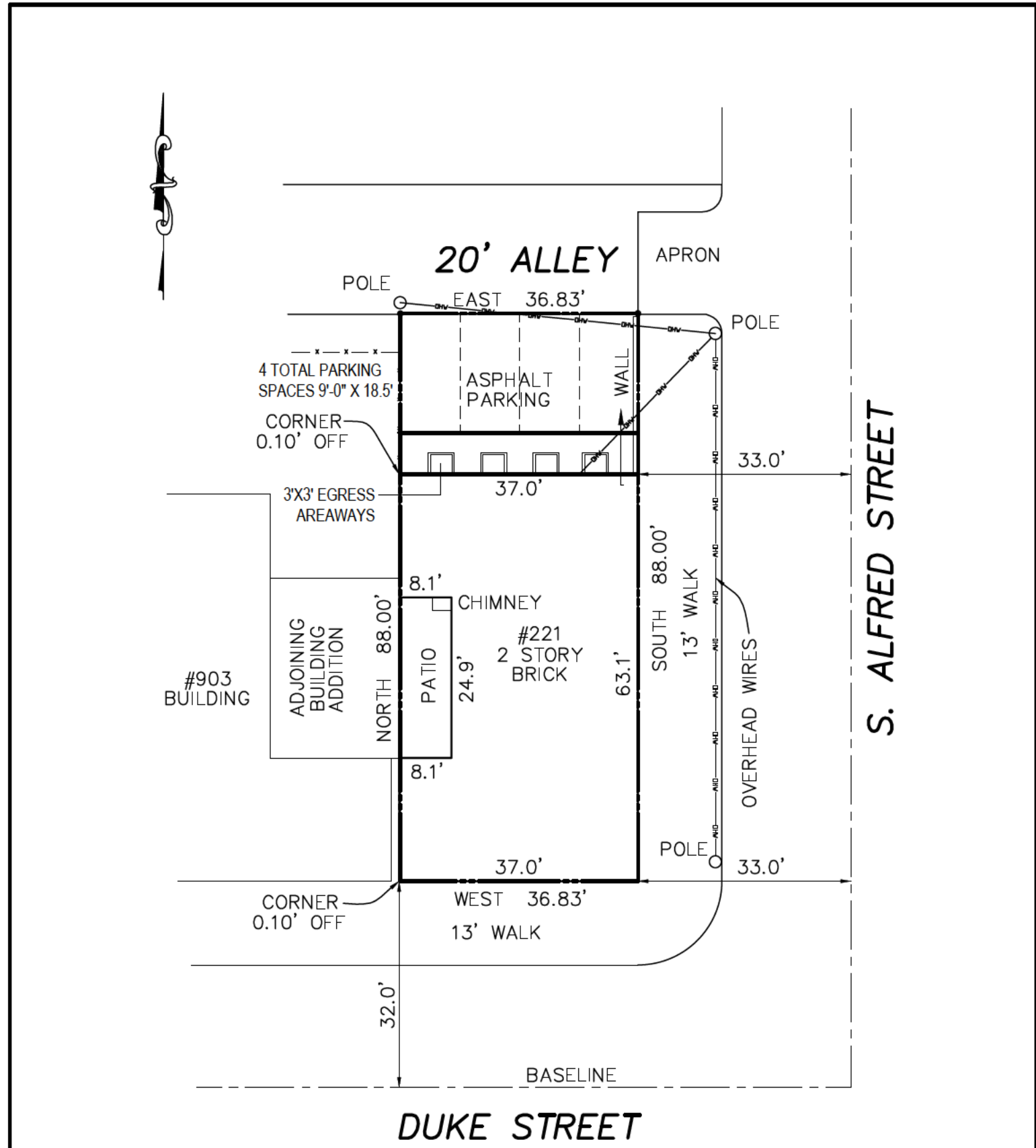
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APPLICANT OR AUTHORIZED AGENT:

Signature: Scott Sterl

Printed Name: Scott Sterl

Date: 10/14/24



LOCATION SURVEY
 #221 S. ALFRED STREET
 TM #74-01-07-15
 NW CORNER OF ALFRED & DUKE
 D.B. 1062 PG. 236
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE = 1"=20' DATE: 11-22-04



- 1.) NO TITLE REPORT FURNISHED.
- 2.) THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X" AREAS DETERMINED OUTSIDE 500 YEAR FLOOD PLAIN. PER FLOOD INSURANCE RATE MAP NO. 5155190005D FOR THE CITY OF ALEXANDRIA, VIRGINIA DATED 5-19-91.
- 3.) THIS SURVEY IS NOT TO BE USED AS A PLAT TO ESTABLISH PROPERTY LINES OR TO CONSTRUCT ANY PERMANENT STRUCTURES ON THE PROPERTY.
- 4.) NO CORNER MARKERS SET.

MERESTONE LAND SURVEYING PLLC
 LAND SURVEYING & G.P.S. SERVICES
 MERESTONE LAND SURVEYING PLLC
 95 BASALT DRIVE FREDERICKSBURG, VA 22406
 (540)752-9197 FAX (540)752-9198

BUILDING DATA

	EXISTING	PROPOSED
OCCUPANCY	B	R-2
TYPE OF CONSTRUCTION	IIIB	IIIB
No STORIES	2	2
HIGH RISE	NO	NO
COVERED MALL	NO	NO
SPRINKLERED	PATIALLY	FULLY
FIRE ALARM	NO	YES
AREA/FLOOR	2,133 SF.	2,133 SF
BUILDING DATA	6,399 SF.	6,399 SF.
BUILDING HEIGHT	25 FT.	25FT.

FIRE RATING REQUIREMENTS

PRIMARY STRUCTURAL FRAME	0 HRS.
BEARING WALLS EXTERIOR	2 HRS.
BEARING WALLS INTERIOR	0 HRS.
NON-BEARING WALLS	0 HRS.
FLOOR CONSTRUCTION	0 HRS.
ROOF CONSTRUCTION	0 HRS.
DWELLING UNIT SEPARATION(HORIZ.)	1/2 HRS.

SKETCH	BRIEF DESCRIPTION	STC
	<ol style="list-style-type: none"> 1. 8X8X16 3-CELL DENSE CONCRETE MASONRY UNITS 21 LBS/ROCK 2. RESILIENT CHANNELS @24" O.C. 3. 1/2" GYPSUM BOARD SCREWED TO CHANNELS 	53
	<ol style="list-style-type: none"> 1. 2X10 WOODEN JOISTS @16" O.C. 2. 19/32" TONGUE & GROOVE PLYWOOD 3. a. CARPET AND PAD b. VINYL TILE 4. RESILIENT CHANNELS @24" O.C. 5. 5/8" GYPSUM SCREWED 12" O.C. 6. 1" THICK SOUND ATTENUATION BLANKET 	51

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

QA FILE NO. FC 5424 GENERIC

WOOD JOISTS, GYPSUM WALLBOARD

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to 2 x 10 wood joists 16" o.c. with 8d coated nails, 1 7/8" long, 0.0913 shank, 1/4" heads, 6" o.c. Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finish floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.

	1 HOUR FIRE	35 to 36 STC SOUND
Approx. Ceiling Weight:	2.5 psf	
Fire Test:	UL R3501 6, 7, 15 62; UL R1319-2, 3, 8-6-62; UL Design L601; ULC Design M600	
Sound Test:	See FC 5410 (NGC 4024, 7-13-88)	
IIC & Test:	32 (88 C & P) NGC 6039, 7-19-88	

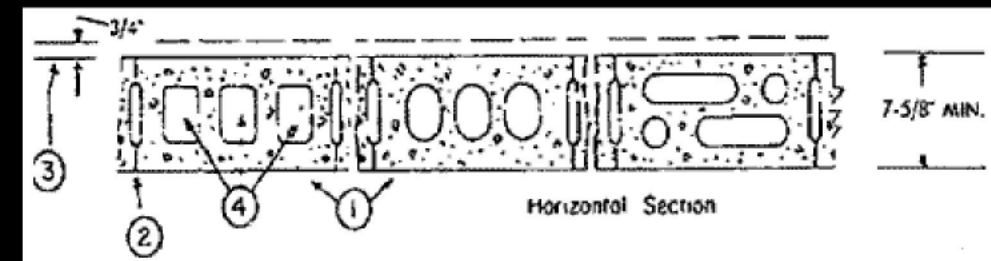
LIST OF DRAWINGS

- CO COVER SHEET
- A01 EXST. & DEMO PLANS I
- A02 EXST. & DEMO PLANS II
- A03 EXST. & DEMO PLANS III
- A04 PROPOSED PLANS I
- A05 PROPOSED PLANS II
- A06 PROPOSED PLANS III
- A07 EXISTING ELEVATIONS I
- A08 EXISTING ELEVATIONS II
- A09 PROPOSED ELEVATIONS I
- A10 PROPOSED ELEVATIONS II
- S01 FOUNDATION PLAN
- S02 FIRST FLOOR FRAMING
- S03 SECOND FLOOR FRAMING
- S04 ROOF FRAMING
- S05 SECTION

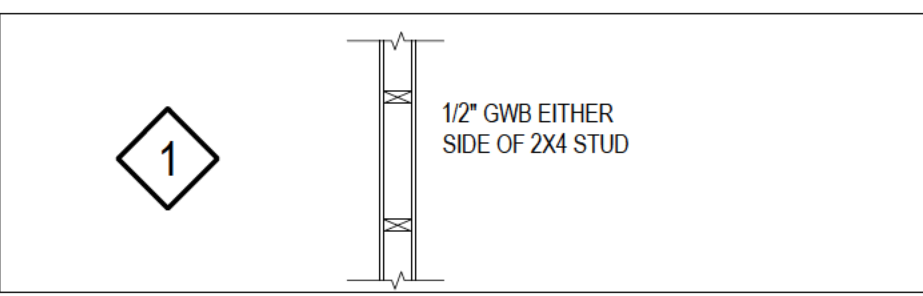
APPLICABLE CODES

- VCC 2018
- VEBC 2018
- VFGC 2018
- VMC 2018
- 2018

Bearing Wall Rating - 2 HR.
Nonbearing Wall Rating - 2 HR.
 UL FIRE RATED
 Design No. U905



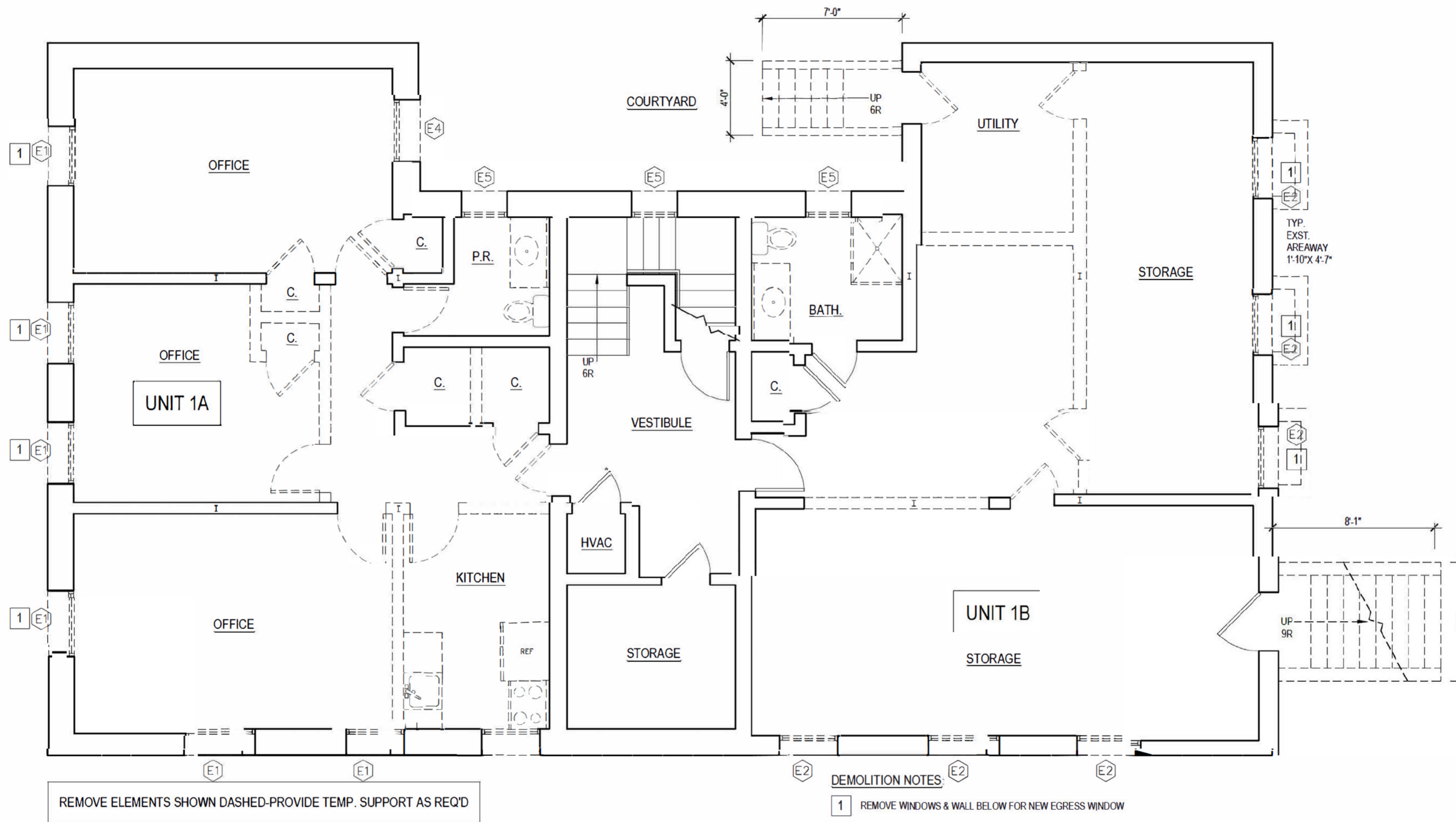
1. Concrete Blocks* - Various designs. Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (rotary kiln process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to Classification.
5. Foamed Plastic* - (Optional - not shown) 1-1/2 in thick max, 2 ft wide sheathing attached to concrete blocks (Item 1).



SCOTT W. STERL, AIA PLLC
 residential architecture
 2021 MAGARITY CT. FALLS CHURCH, VA 22043
 703-734-8246

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S. ALFRED ST. LLC

CO
 10/21/24

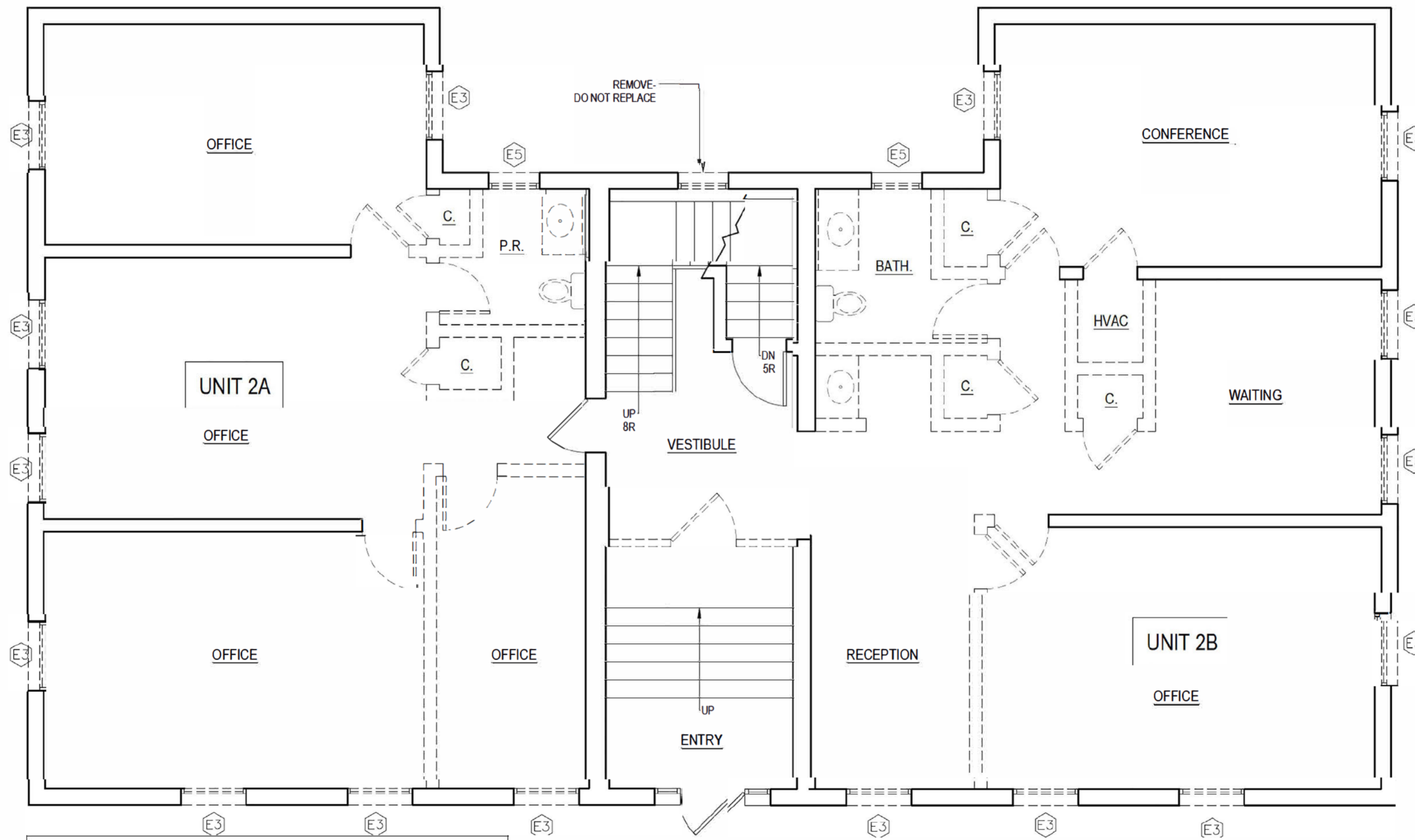


EXISTING BASEMENT & DEMO PLAN
 SCALE: 1/4"=1'-0"

SCOTT W. STERL, AIA PLLC
 residential architecture
 2021 MAGARITY CT. FALLS CHURCH, VA 22043
 703-734-8246

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 WINNER 221 S ALFRED ST LLC

A01
 10/21/24



REMOVE ELEMENTS SHOWN DASHED-PROVIDE TEMP. SUPPORT AS REQ'D

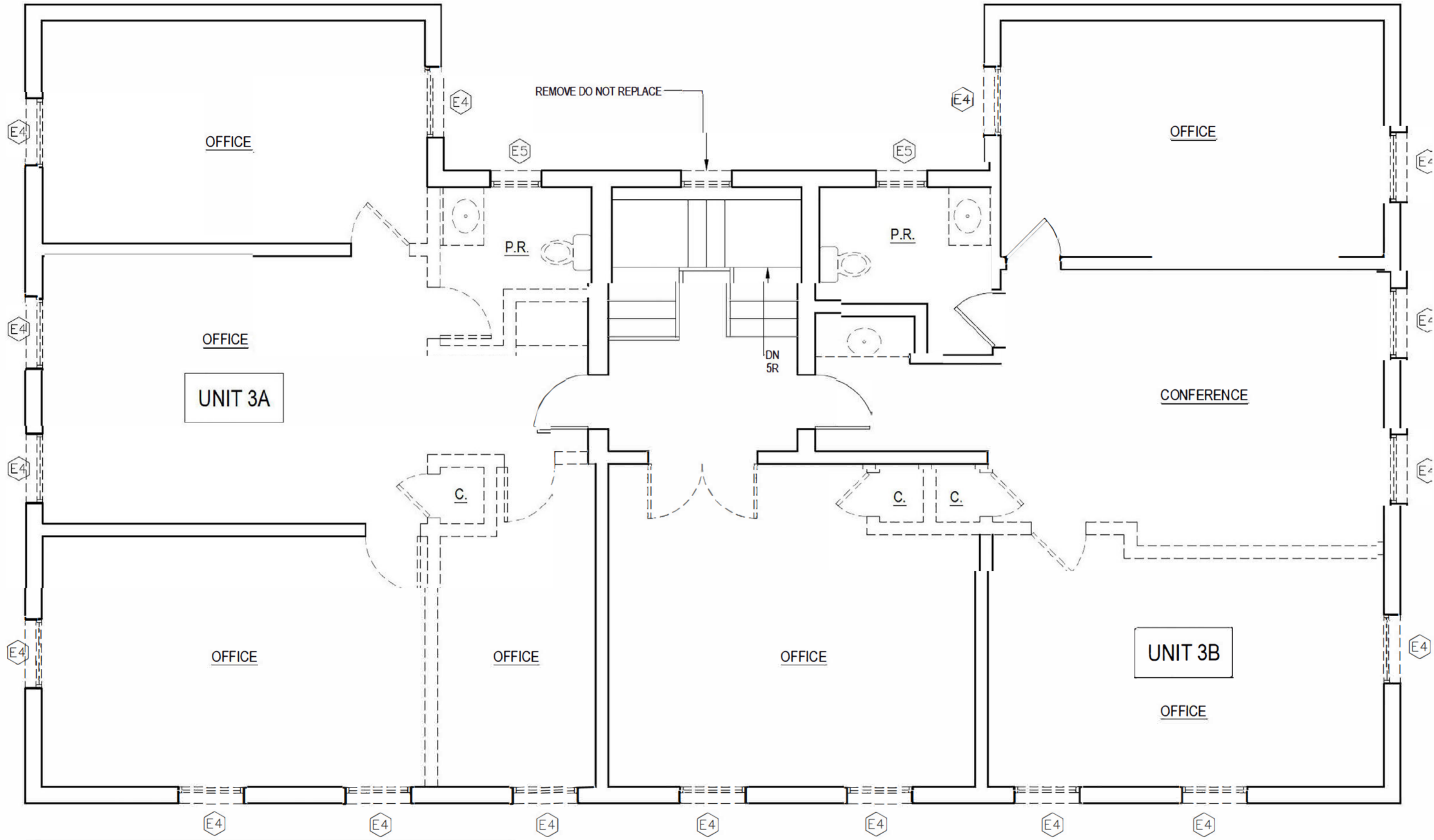
NOTE: SEE ELEVATIONS FOR EXISTING MASONRY OPENINGS.

EXISTING FIRST FLOOR & DEMO PLAN
SCALE: 1/4"=1'-0"

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residential architecture
2021 MAGARITY CT. FALLS CHURCH, VA 22043

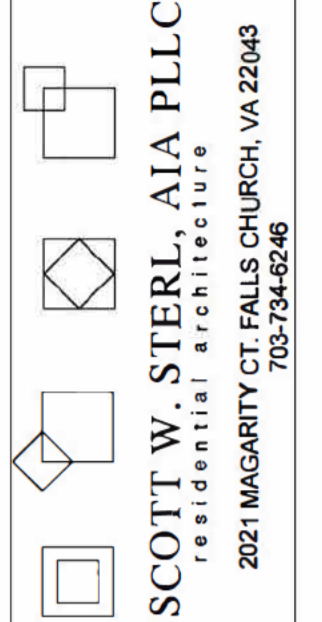
INTERIOR REMODELING:
221 S. ALFRED ST.,
ALEXANDRIA, VA 22314
OWNER: 221 S ALFRED ST LLC

A02
10/21/24



REMOVE ELEMENTS SHOWN DASHED-PROVIDE TEMP. SUPPORT AS REQ'D

EXISTING SECOND FLOOR & DEMO PLAN
SCALE: 1/4"=1'-0"



SCOTT W. STERL, AIA PLLC
 residential architecture
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 703-734-8246

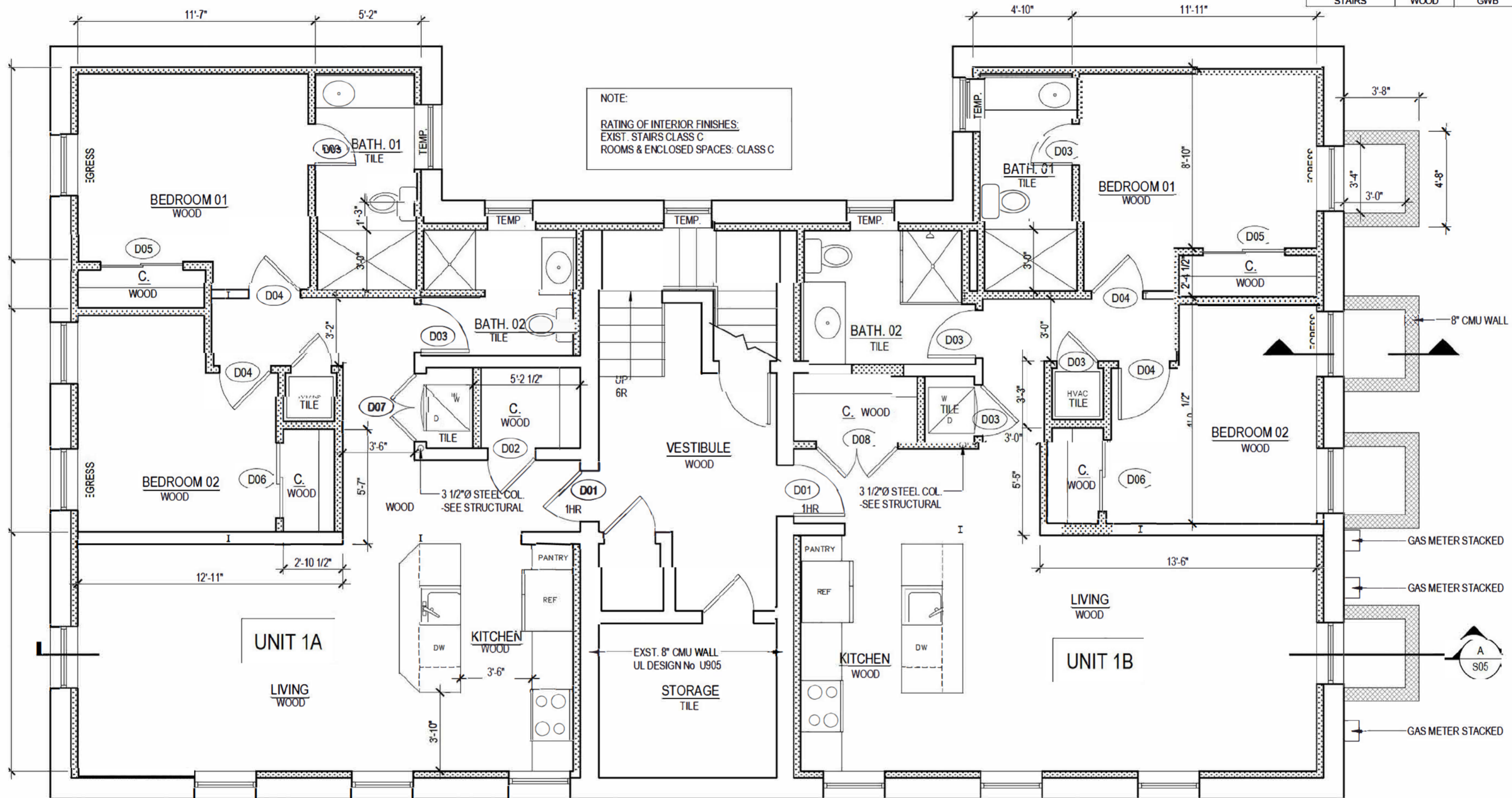
INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S. ALFRED ST. LLC

A03
 10/21/24

DOOR SCHEDULE					
DOOR ID	WIDTH(IN)	HEIGHT(IN)	TYPE	HARDWARE	REMARKS
D01	30	80	INTERIOR	1HR. RATED DOOR. W/ SELF CLOSINGDEVICE W/ SCHLAGE PRIVACY	TWO PANEL
D02	28	80	INTERIOR	HINGED, W/ SCHLAGE PASSAGE	TWO PANEL
D03	28	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D04	30	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D05	48	80	INTERIOR	BYPASS	TWO PANEL
D06	44	80	INTERIOR	BYPASS	TWO PANEL
D07	40	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL
D08	48	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL

TYPICAL UNIT FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
KITCHEN	WOOD	GWB	GWB
BR1	WOOD	GWB	GWB
BR2	WOOD	GWB	GWB
BATH 1	TILE	W.R. GWB	GWB
BATH 2	TILE	W.R. GWB	GWB
CLOSETS	WOOD	GWB	GWB
HALL	WOOD	GWB	GWB

TYPICAL COMMON AREA FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
ENTRY	TILE	GWB	GWB
VESTIBULE	WOOD	GWB	GWB
STAIRS	WOOD	GWB	GWB



NEW WALLS SHOWN DASHED

1 TYP. NEW PARTITIONS

PROPOSED BASEMENT PLAN

SCALE: 1/4"=1'-0"

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residential architecture
2021 MAGARITY CT. FALLS CHURCH, VA 22043
703-734-8246

INTERIOR REMODELING:
221 S. ALFRED ST.,
ALEXANDRIA, VA 22314
WINNER 221 S ALFRED ST LLC

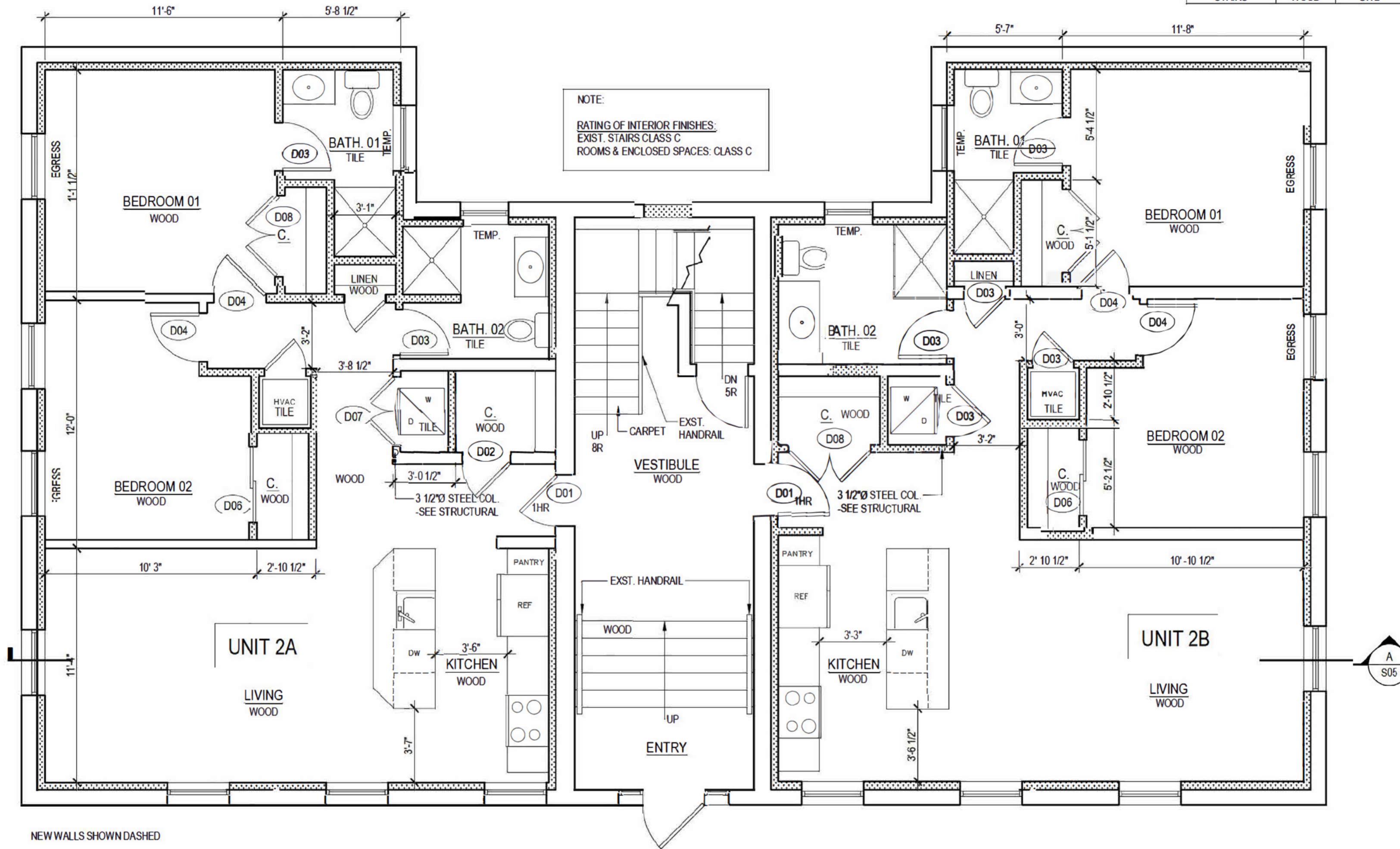
A04

10/21/24

DOOR SCHEDULE					
DOOR ID	WIDTH(IN)	HEIGHT(IN)	TYPE	HARDWARE	REMARKS
D01	30	80	INTERIOR	1HR. RATED DOOR. W/ SELF CLOSINGDEVICE W/ SCHLAGE PRIVACY	TWO PANEL
D02	28	80	INTERIOR	HINGED, W/ SCHLAGE PASSAGE	TWO PANEL
D03	28	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D04	30	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D05	48	80	INTERIOR	BYPASS	TWO PANEL
D06	44	80	INTERIOR	BYPASS	TWO PANEL
D07	40	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL
D08	48	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL

TYPICAL UNIT FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
KITCHEN	WOOD	GWB	GWB
BR1	WOOD	GWB	GWB
BR2	WOOD	GWB	GWB
BATH 1	TILE	W.R. GWB	GWB
BATH 2	TILE	W.R. GWB	GWB
CLOSETS	WOOD	GWB	GWB
HALL	WOOD	GWB	GWB

TYPICAL COMMON AREA FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
ENTRY	TILE	GWB	GWB
VESTIBULE	WOOD	GWB	GWB
STAIRS	WOOD	GWB	GWB



NOTE:
 RATING OF INTERIOR FINISHES:
 EXIST. STAIRS CLASS C
 ROOMS & ENCLOSED SPACES: CLASS C

NEW WALLS SHOWN DASHED

1 TYP. NEW PARTITIONS

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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 703-734-8246

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 WINNER 2016 ALFRED ST LLC

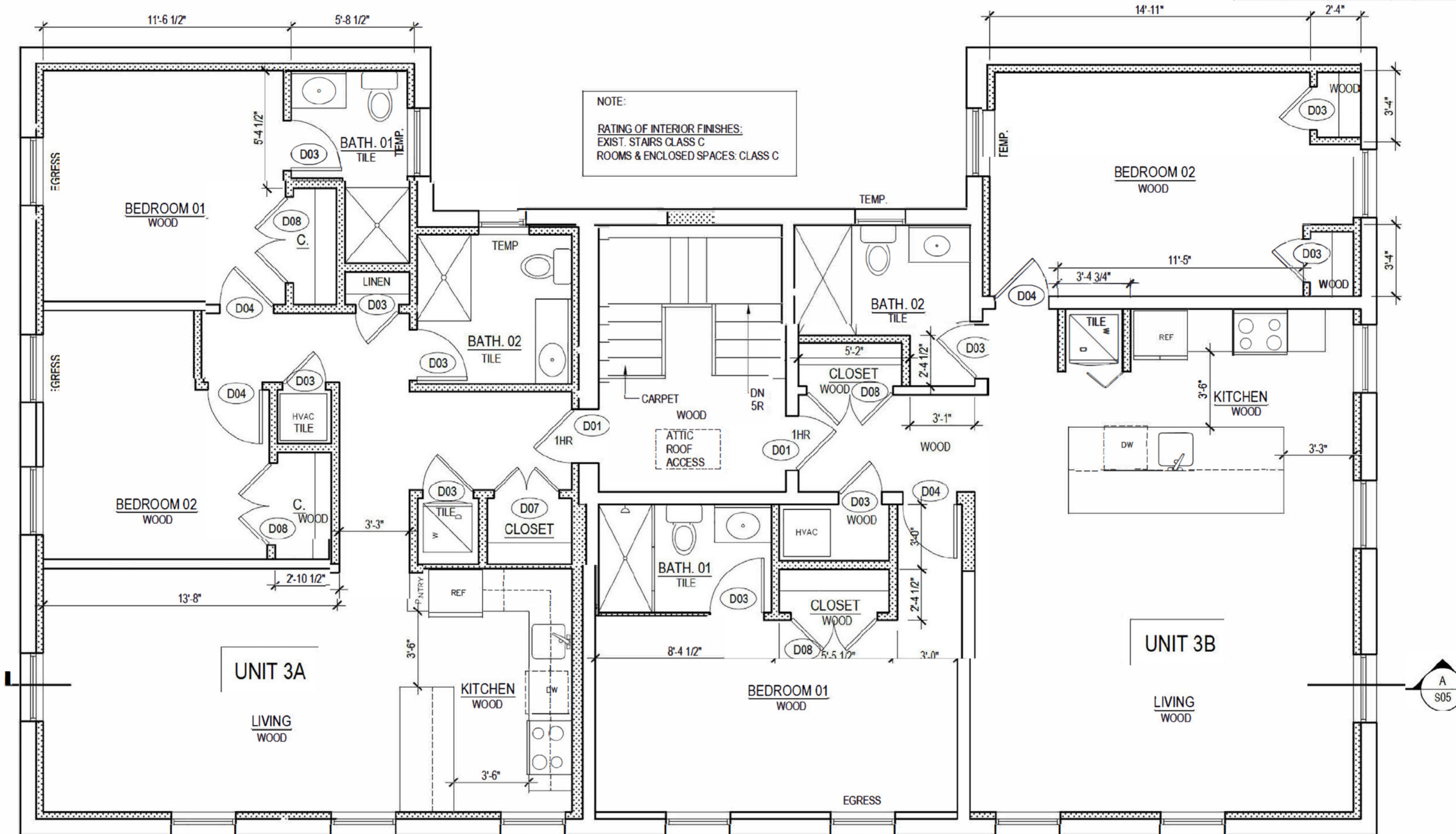
A05

10/21/24

DOOR SCHEDULE					
DOOR ID	WIDTH(IN)	HEIGHT(IN)	TYPE	HARDWARE	REMARKS
D01	30	80	INTERIOR	1HR. RATED DOOR. W/ SELF CLOSINGDEVICE W/ SCHLAGE PRIVACY	TWO PANEL
D02	28	80	INTERIOR	HINGED, W/ SCHLAGE PASSAGE	TWO PANEL
D03	28	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D04	30	80	INTERIOR	HINGED, W/ SCHLAGE PRIVACY	TWO PANEL
D05	48	80	INTERIOR	BYPASS	TWO PANEL
D06	44	80	INTERIOR	BYPASS	TWO PANEL
D07	40	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL
D08	48	80	INTERIOR	HINGED, W/ SCHLAGE DUMMY	TWO PANEL

TYPICAL UNIT FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
KITCHEN	WOOD	GWB	GWB
BR1	WOOD	GWB	GWB
BR2	WOOD	GWB	GWB
BATH 1	TILE	W.R. GWB	GWB
BATH 2	TILE	W.R. GWB	GWB
CLOSETS	WOOD	GWB	GWB
HALL	WOOD	GWB	GWB

TYPICAL COMMON AREA FINISH SCHEDULE			
SPACE	FLOOR	WALLS	CEILING
ENTRY	TILE	GWB	GWB
VESTIBULE	WOOD	GWB	GWB
STAIRS	WOOD	GWB	GWB



NEW WALLS SHOWN DASHED

1 TYP. NEW PARTITIONS

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

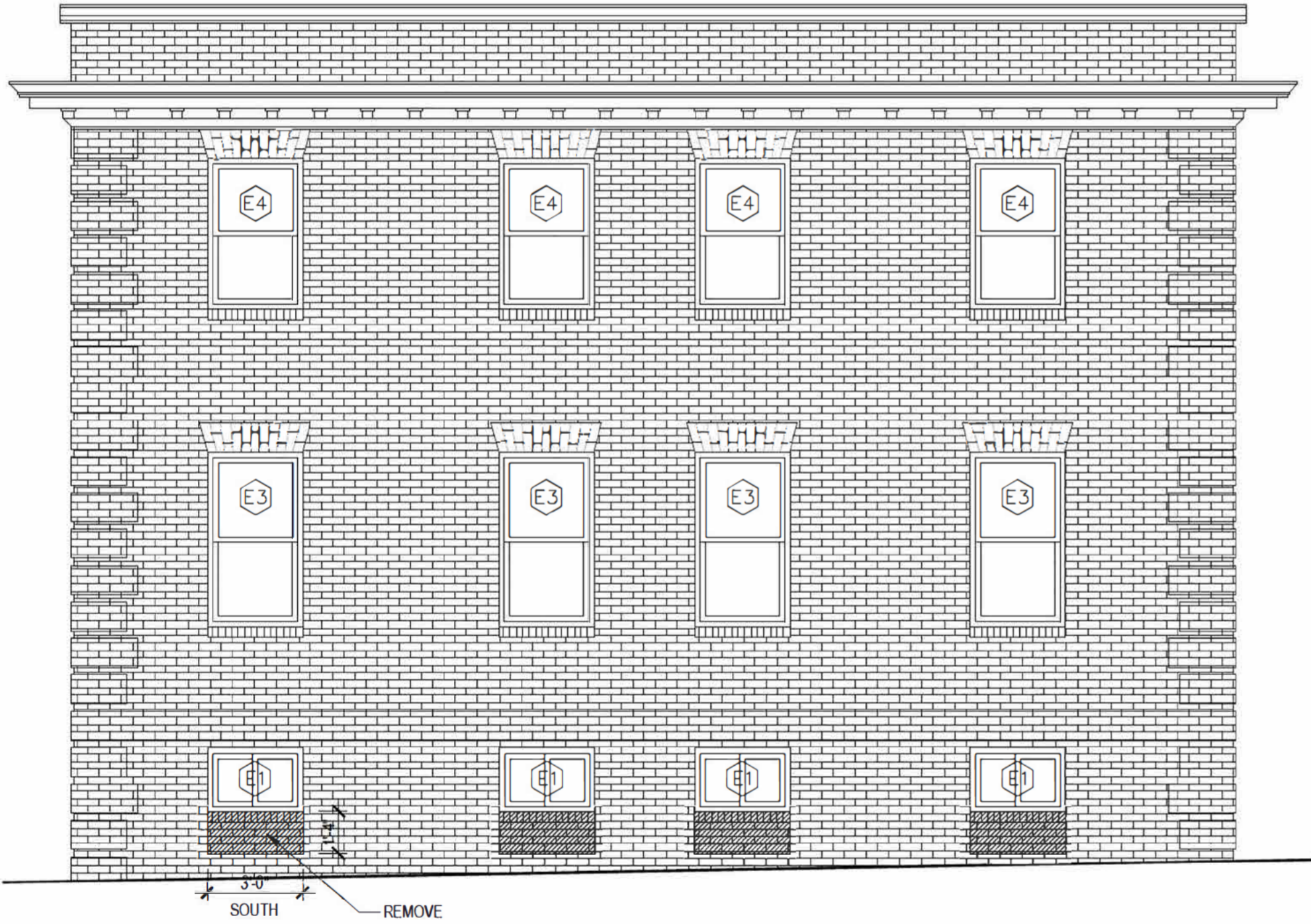
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703-734-8246

INTERIOR REMODELING:
221 S. ALFRED ST.,
ALEXANDRIA, VA 22314
OWNER: 221 S ALFRED ST LLC

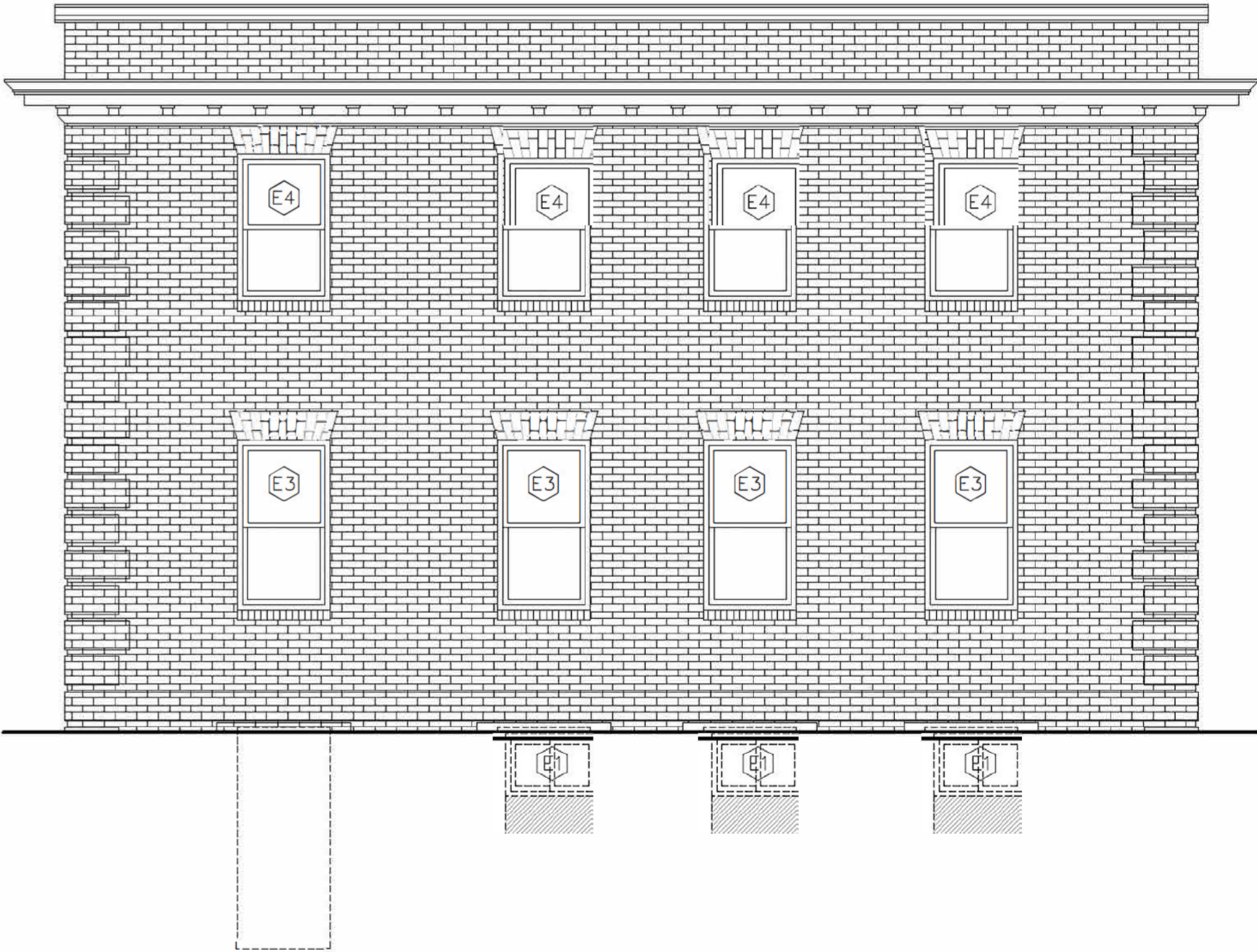
A06

10/21/24

EXISTING MASONRY OPENING		
WINDOW ID	WIDTH	HEIGHT
E1	3'-1"	2'-4"
E2	3'-1"	2'-0"
E3	3'-1"	5'-6"
E4	3'-1"	4'-9"
E5	2'-6"	3'-9"

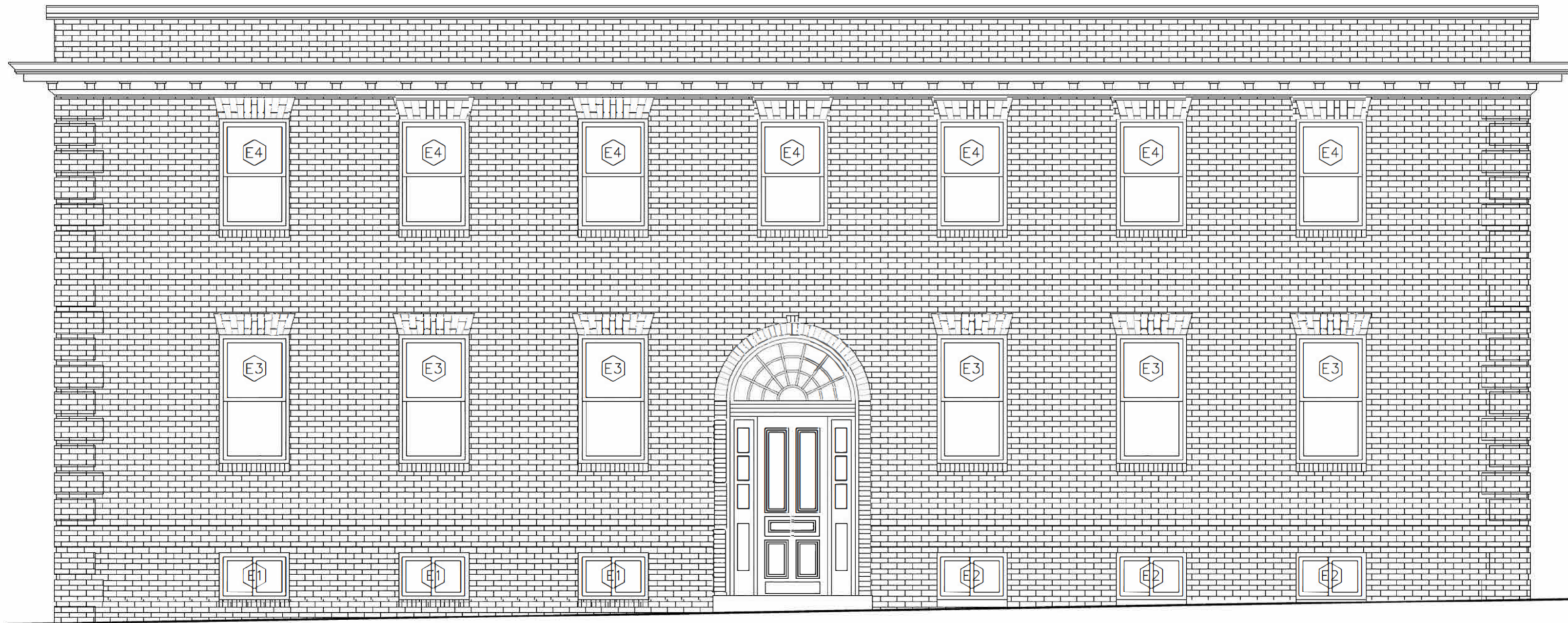


EXISTING SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



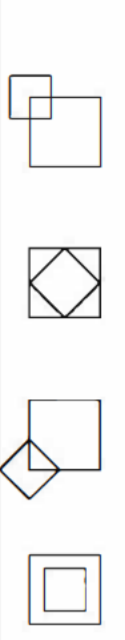
EXISTING NORTH ELEVATION
 SCALE: 1/4"=1'-0"

EXISTING MASONRY OPENING		
WINDOW ID	WIDTH	HEIGHT
E1	3' 1"	2' 4"
E2	3' 1"	2' 0"
E3	3' 1"	5' 6"
E4	3' 1"	4' 9"
E5	2' 6"	3' 9"



EXISTING EAST ELEVATION

SCALE: 1/4"=1'-0"



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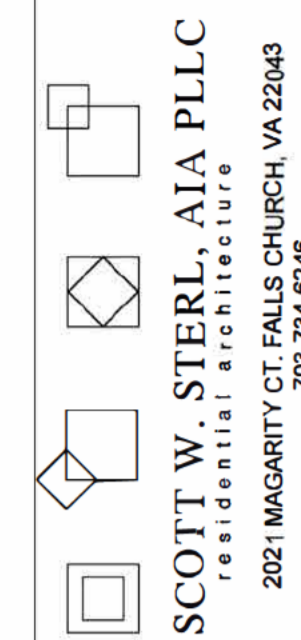
INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S. ALFRED ST. LLC

A08
 10/21/24

WINDOW SCHEDULE			
WINDOW ID	WIDTH	HEIGHT	TYPE
A	3'-0"	3'-4"	CASEMENT
B	3'-0"	2'-0"	AWNING
C	3'-0"	4'-9"	DOUBLE HUNG
D	3'-0"	5'-6"	DOUBLE HUNG
E	3'-0"	2'-4"	AWNING
F	2'-6"	3'-8"	DOUBLE HUNG@COURTYARD



PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



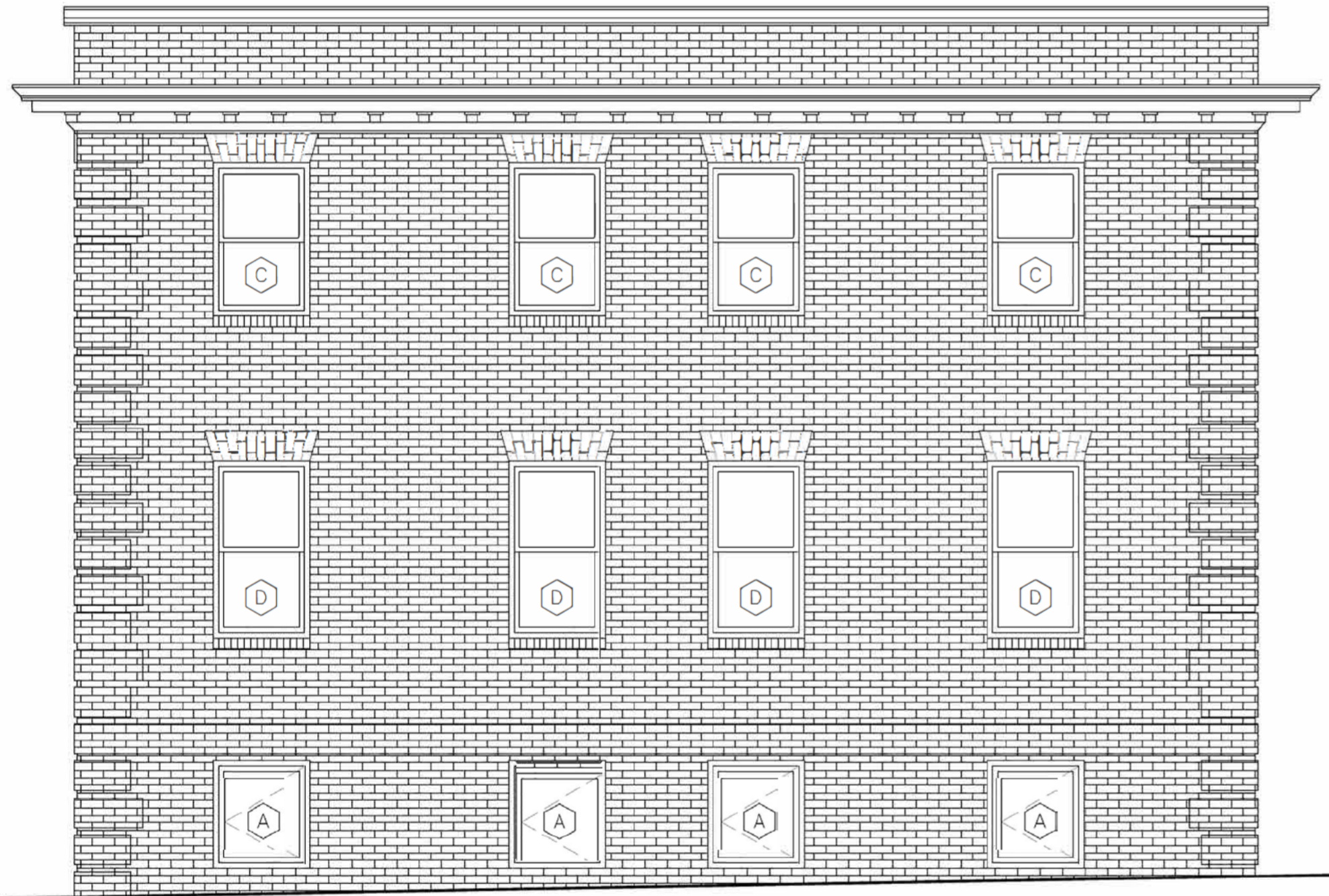
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 703-734-8246

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S. ALFRED ST. LLC

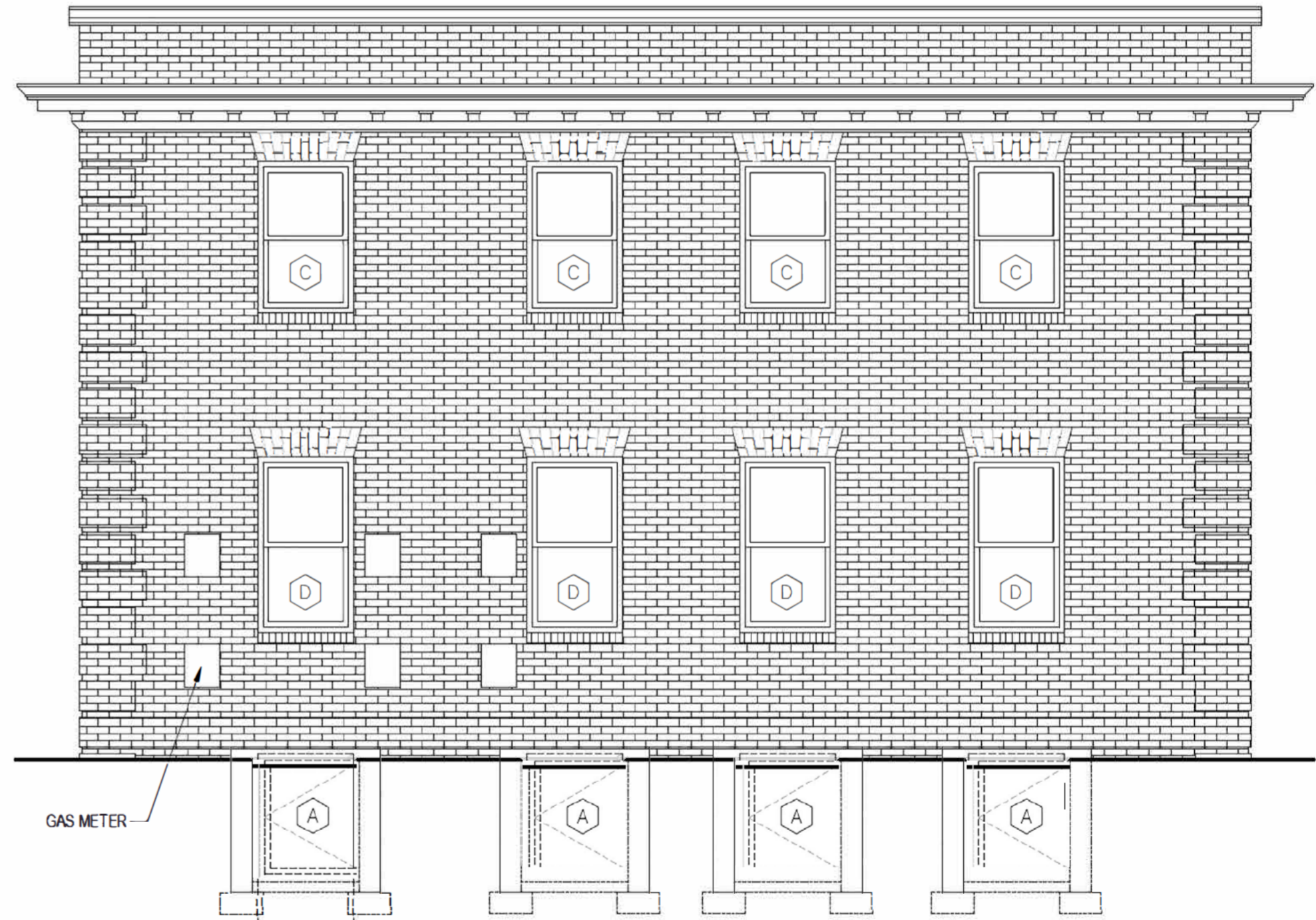
A09

10/21/24

WINDOW SCHEDULE			
WINDOW ID	WIDTH	HEIGHT	TYPE
A	3'-0"	3'-4"	CASEMENT
B	3'-0"	2'-0"	AWNING
C	3'-0"	4'-9"	DOUBLE HUNG
D	3'-0"	5'-6"	DOUBLE HUNG
E	3'-0"	2'-4"	AWNING
F	2'-6"	3'-8"	DOUBLE HUNG@COURTYARD



PROPOSED SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

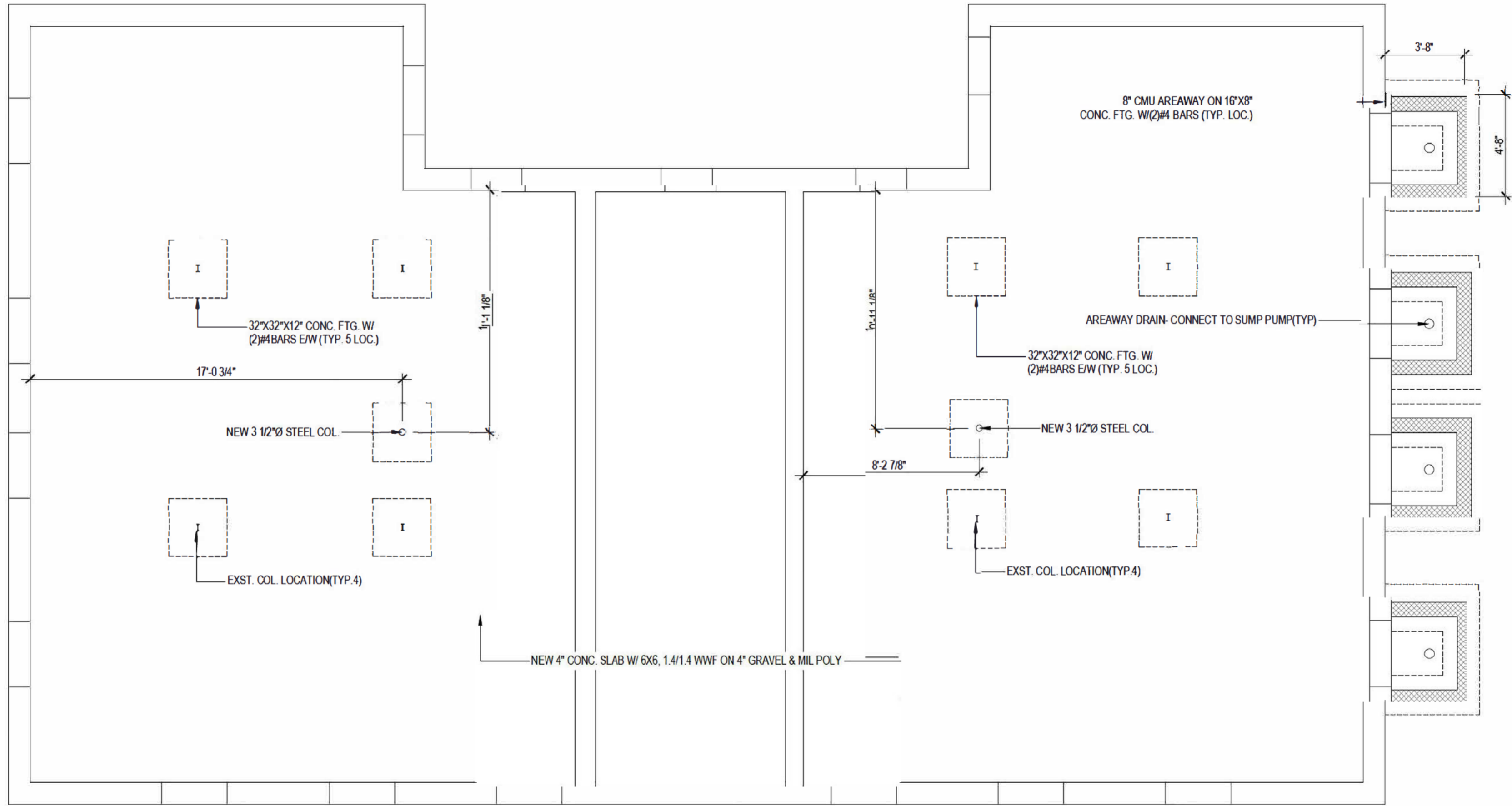


GAS METER
 EXST. DOOR OPENING W/ CMU
PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S ALFRED ST LLC

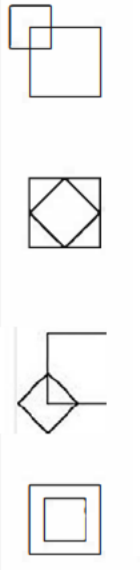
A10

10/21/24



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

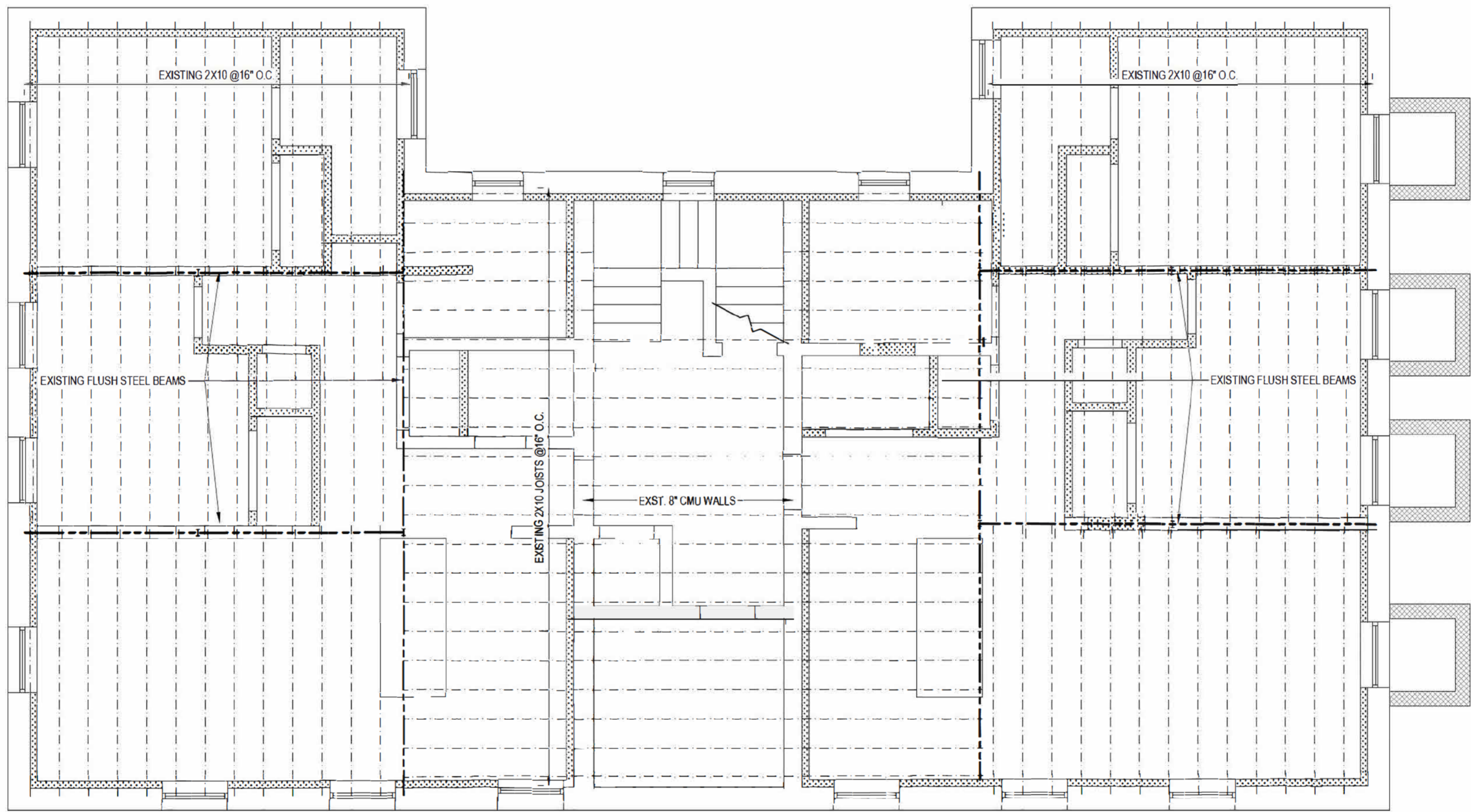


SCOTT W. STERL, AIA PLLC
 residential architecture
 2021 MAGARITY CT. FALLS CHURCH, VA 22043

INTERIOR REMODELING:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 7/21/24

S01

10/21/24

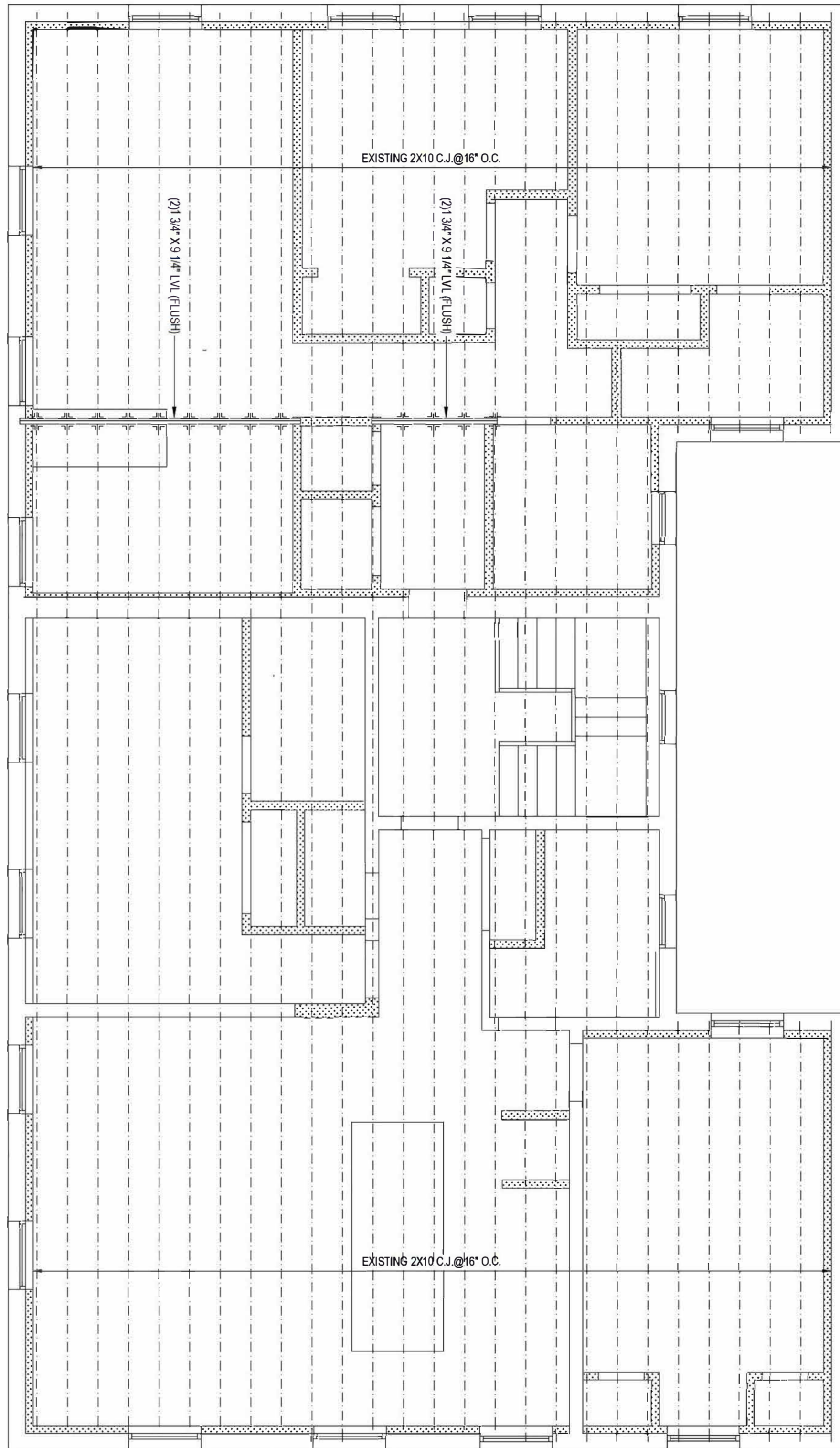


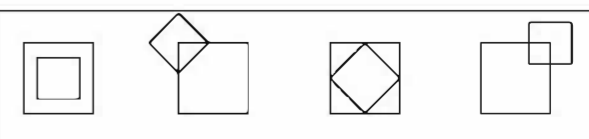
FIRST FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"

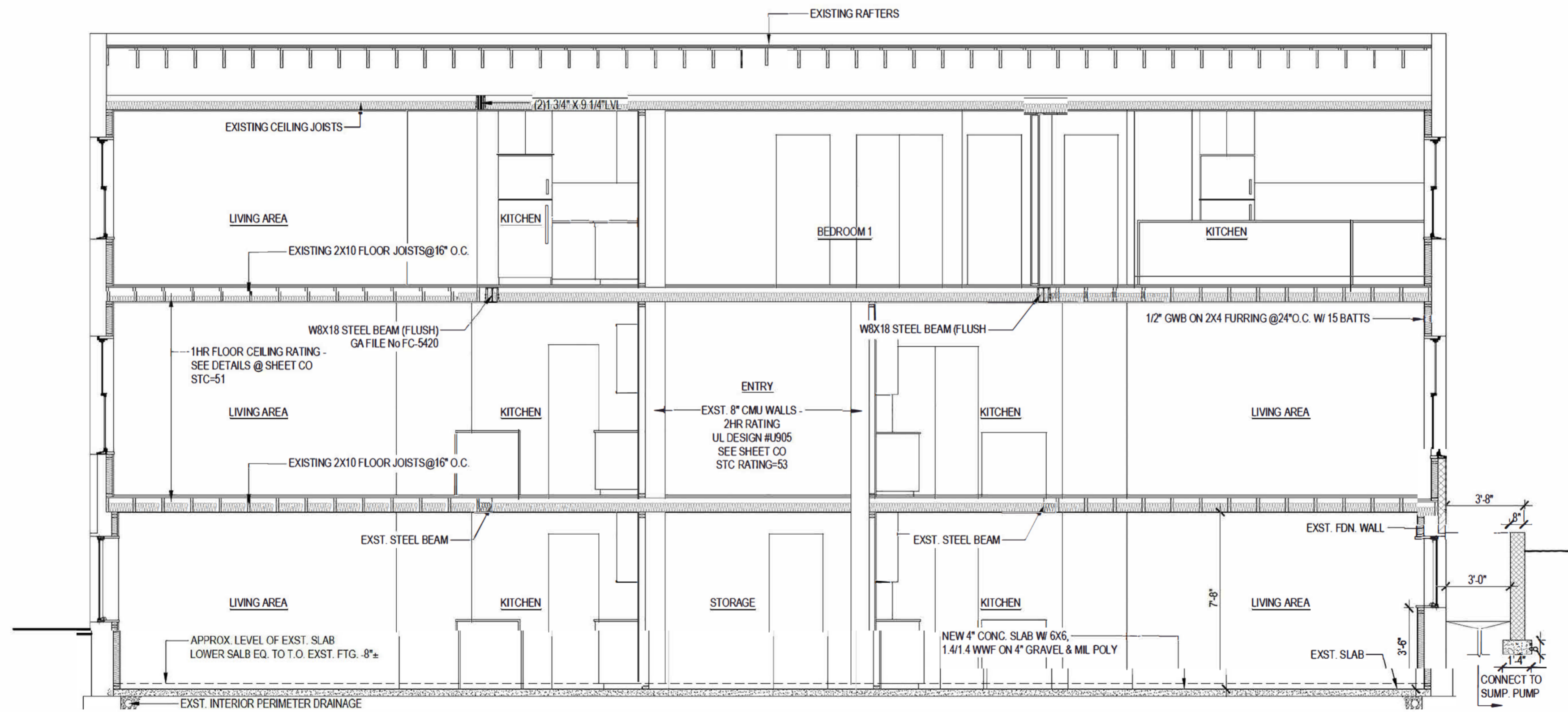


SECOND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"

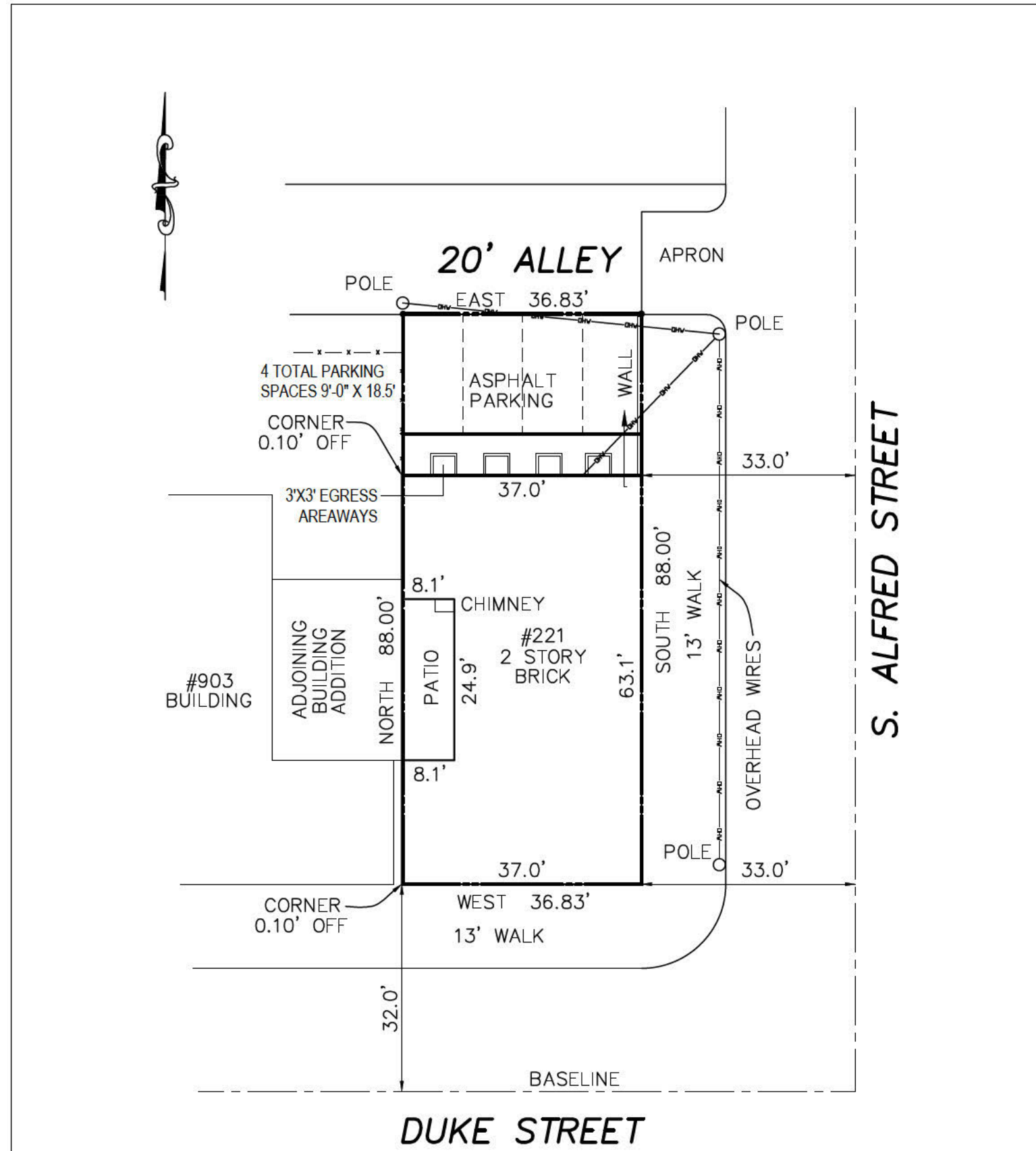
ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



<p>S04</p>	<p>INTERIOR REMODELING: 221 S. ALFRED ST., ALEXANDRIA, VA 22314</p>		 <p>SCOTT W. STERL, AIA PLLC residential architecture</p>
<p>10/21/24</p>	<p>OWNER: 221 S. ALFRED ST. LLC</p>		<p>2021 MAGARITY CT. FALLS CHURCH, VA 22043 703-734-6246</p>



SECTION AA
SCALE: 1/4"=1'-0"



LOCATION SURVEY
 #221 S. ALFRED STREET
 TM #74-01-07-15
 NW CORNER OF ALFRED & DUKE
 D.B. 1062 PG. 236
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE = 1"=20' DATE: 11-22-04



- 1.) NO TITLE REPORT FURNISHED.
- 2.) THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X" AREAS DETERMINED OUTSIDE 500 YEAR FLOOD PLAIN. PER FLOOD INSURANCE RATE MAP NO. 5155190005D FOR THE CITY OF ALEXANDRIA, VIRGINIA DATED 5-19-91.
- 3.) THIS SURVEY IS NOT TO BE USED AS A PLAT TO ESTABLISH PROPERTY LINES OR TO CONSTRUCT ANY PERMANANT STRUCTURES ON THE PROPERTY.
- 4.) NO CORNER MARKERS SET.

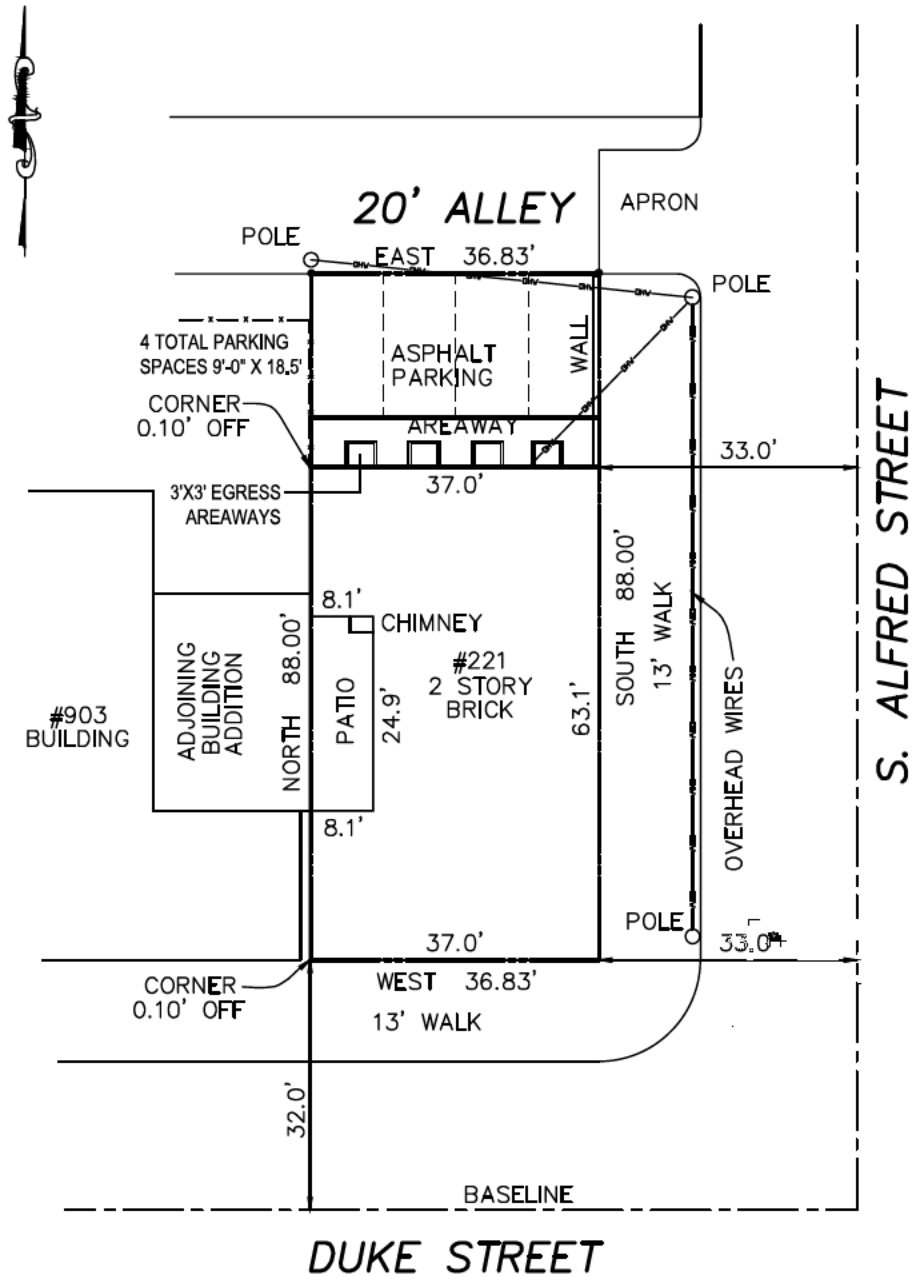
MERESTONE LAND SURVEYING PLLC
 LAND SURVEYING & G.P.S. SERVICES
 MERESTONE LAND SURVEYING PLLC
 95 BASALT DRIVE FREDERICKSBURG, VA 22406
 (540)752-9197 FAX (540)752-9198

SCOTT W. STERL, AIA PLLC
 residential architecture
 2021 MAGARITY CT. FALLS CHURCH, VA 22043
 703-734-6246

REMODELING FOR:
 221 S. ALFRED ST.,
 ALEXANDRIA, VA 22314
 OWNER: 221 S. ALFRED ST. LLC

A08

09/23/24



LOCATION SURVEY
 #221 S. ALFRED STREET
 TM #74-01-07-15
 NW CORNER OF ALFRED & DUKE
 D.B. 1062 PG. 236
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE = 1"=20' DATE: 11-22-04



- 1.) NO TITLE REPORT FURNISHED.
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- 3.) THIS SURVEY IS NOT TO BE USED AS A PLAT TO ESTABLISH PROPERTY
 LINES OR TO CONSTRUCT ANY PERMANANT STRUCTURES ON THE PROPERTY.
- 4.) NO CORNER MARKERS SET.

MERESTONE LAND SURVEYING PLLC

LAND SURVEYING & G.P.S. SERVICES
 38 MERESTONE LAND SURVEYING PLLC
 95 BASALT DRIVE FREDERICKSBURG, VA 22406
 (540)752-9197 FAX (540)752-9198

Prep By	Bid No	Rev	Job Reference
HAG	151	1	

Customer / Client Name			
JET			
Quote Date	Job / Site Name		
10/30/2024			
Phone #		Fax #	
Mobile Phone #	Other Phone #	Email Address	



Quality Craftsmanship Since 1947

LINCOLN WOOD PRODUCTS, INC.



R.O. Allowance (Width = 1/2"-Height = 1/2")

M.O. Allowance (Width = 1/4"-Height = 1/4")

SHOWN AT LIST PRICE

Line # 1



R.O. 32-1/4" x 48-1/2"
 U.D. 31-3/4" x 48"
 M.O. 32" x 48-1/4"
 O.A. Box Size 31-3/4x48"

• CSMT-1; L; White Alum Clad	947.00
AAMA.2605; LoE-272	
Box Size: 31-3/4x48	N/C
Custom Width	92.00
White Screen Applied	29.00
BetterVue Mesh	N/C
Preserve Glass	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
1-3/4" Sash Thickness	N/C
Profiled Sash Cladding	N/C
White Hardware	16.00
Primed Interior	13.00
(Glass Size: 26-3/4x43)	N/C

3 Each @ \$1,097.00 \$3,291.00

Line # 2



R.O. 33-1/2" x 23-1/2"
 U.D. 33" x 23"
 M.O. 33-1/4" x 23-1/4"
 O.A. Box Size 33x23"

• AWN-11; White Alum Clad	820.00
AAMA.2605; LoE-272	
Box Size: 33x23	N/C
Custom Width Upcharge	92.00
Custom Height Upcharge	92.00
White Screen Applied	19.00
BetterVue Mesh	N/C
Preserve Glass	N/C
Silver Spacer	N/C
Tempered Glass	70.00
4-9/16" Jamb	N/C
No Drip Cap/Nailing Fins	N/C
1-3/4" Sash Thickness	N/C
Profiled Sash Cladding	N/C
White Hardware	21.00
Primed Interior	9.00
(Glass Size: 28x18)	N/C

7 Each @ \$1,123.00 \$7,861.00

Line # 3



R.O. 37-1/4" x 27-1/2"
 U.D. 36-3/4" x 27"
 M.O. 37" x 27-1/4"
 O.A. Box Size 36-3/4x27"

• AWN-11; White Alum Clad	903.00
AAMA.2605; LoE-272	
Box Size: 36-3/4x27	N/C
Custom Width Upcharge	92.00
Custom Height Upcharge	92.00
White Screen Applied	23.00
BetterVue Mesh	N/C
Preserve Glass	N/C
Silver Spacer	N/C
Tempered Glass	97.00
4-9/16" Jamb	N/C
No Drip Cap/Nailing Fins	N/C
1-3/4" Sash Thickness	N/C
Profiled Sash Cladding	N/C
White Hardware	21.00
Primed Interior	10.00
(Glass Size: 31-3/4x22)	N/C

4 Each @ \$1,238.00 \$4,952.00

Line # 4



R.O. 37-1/4" x 28"
 U.D. 36-3/4" x 27-1/2"
 M.O. 37" x 27-3/4"
 O.A. Box Size 36-3/4x27-1/2"

• AWN-11; White Alum Clad	903.00	
AAMA.2605; LoE-272		
Box Size: 36-3/4x27-1/2	N/C	
Custom Width Upcharge	92.00	
Custom Height Upcharge	92.00	
White Screen Applied	23.00	
BetterVue Mesh	N/C	
Preserve Glass	N/C	
Silver Spacer	N/C	
Tempered Glass	99.00	
4-9/16" Jamb	N/C	
No Drip Cap/Nailing Fins	N/C	
1-3/4" Sash Thickness	N/C	
Profiled Sash Cladding	N/C	
White Hardware	21.00	
Primed Interior	10.00	
(Glass Size: 31-3/4x22-1/2)	N/C	
1 Each @	\$1,240.00	\$1,240.00

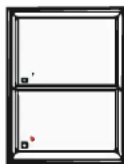
Line # 5



R.O. 37-1/4" x 65-3/4"
 U.D. 36-3/4" x 65-1/4"
 M.O. 37" x 65-1/2"
 O.A. Box Size 36-3/4x65-1/4"

• DBLH-1; White Alum Clad	1,055.00	
AAMA.2605; LoE-272		
Box Size: 36-3/4x65-1/4	N/C	
Custom Width	177.00	
Custom Height	210.00	
1 Full White Screen(s) Applied	45.00	
BetterVue Mesh	N/C	
Preserve Glass (Top)	N/C	
Silver Spacer	N/C	
Preserve Glass (Bottom)	N/C	
Silver Spacer	N/C	
4-9/16" Jamb	N/C	
White Hardware	N/C	
White Jambliners	N/C	
With White Sash Limiters	102.00	
Primed Interior	16.00	
Narrow Rail Double Hung (Glass Size:31-3/8x29-7/16)	N/C	
14 Each @	\$1,605.00	\$22,470.00

Line # 6



R.O. 37-1/4" x 51"
 U.D. 36-3/4" x 50-1/2"
 M.O. 37" x 50-3/4"
 O.A. Box Size 36-3/4x50-1/2"

• DBLH-1; White Alum Clad	921.00	
AAMA.2605; LoE-272		
Box Size: 36-3/4x50-1/2	N/C	
Custom Width	177.00	
Custom Height	210.00	
1 Full White Screen(s) Applied	38.00	
BetterVue Mesh	N/C	
Preserve Glass (Top)	N/C	
Silver Spacer	N/C	
Tempered Glass (Top)	96.00	
Preserve Glass (Bottom)	N/C	
Silver Spacer	N/C	
Tempered Glass (Bottom)	96.00	
4-9/16" Jamb	N/C	
White Hardware	N/C	
White Jambliners	N/C	
With White Sash Limiters	102.00	
Primed Interior	14.00	
Narrow Rail Double Hung (Glass Size:31-3/8x22-1/16)	N/C	
1 Each @	\$1,654.00	\$1,654.00

Line # 7



R.O. 31-1/4" x 49"
 U.D. 30-3/4" x 48-1/2"
 M.O. 31" x 48-3/4"
 O.A. Box Size 30-3/4x48-1/2"

• DBLH-1; White Alum Clad	783.00
AAMA.2605; LoE-272	
Box Size: 30-3/4x48-1/2	N/C
Custom Width	177.00
1 Full White Screen(s) Applied	35.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	13.00
Narrow Rail Double Hung (Glass Size:25-3/8x21-1/16)	N/C

2 Each @ \$1,110.00 \$2,220.00

Line # 8

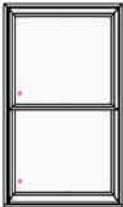


R.O. 31-1/4" x 49"
 U.D. 30-3/4" x 48-1/2"
 M.O. 31" x 48-3/4"
 O.A. Box Size 30-3/4x48-1/2"

• DBLH-1; White Alum Clad	783.00
AAMA.2605; LoE-272	
Box Size: 30-3/4x48-1/2	N/C
Custom Width	177.00
1 Full White Screen(s) Applied	35.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	13.00
Narrow Rail Double Hung (Glass Size:25-3/8x21-1/16)	N/C

2 Each @ \$1,110.00 \$2,220.00

Line # 9



R.O. 37-1/4" x 65-3/4"
 U.D. 36-3/4" x 65-1/4"
 M.O. 37" x 65-1/2"
 O.A. Box Size 36-3/4x65-1/4"

• DBLH-1; White Alum Clad	1,055.00
AAMA.2605; LoE-272	
Box Size: 36-3/4x65-1/4	N/C
Custom Width	177.00
Custom Height	210.00
1 Full White Screen(s) Applied	45.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	16.00
Narrow Rail Double Hung (Glass Size:31-3/8x29-7/16)	N/C

2 Each @ \$1,605.00 \$3,210.00

Line # 10



R.O. 33" x 48-1/2"
 U.D. 32-1/2" x 48"
 M.O. 32-3/4" x 48-1/4"
 O.A. Box Size 32-1/2x48"

• CSMT-1; L; White Alum Clad	1,010.00
AAMA.2605; LoE-272	
Box Size: 32-1/2x48	N/C
Custom Width	92.00
White Screen Applied	30.00
BetterVue Mesh	N/C
Preserve Glass	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
1-3/4" Sash Thickness	N/C
Profiled Sash Cladding	N/C
White Hardware	16.00
Primed Interior	13.00
(Glass Size: 27-1/2x43)	N/C

1 Each @ \$1,161.00 \$1,161.00

Line # 11 STAIRWAY

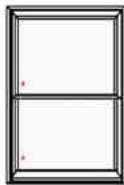


R.O. 37-1/4" x 65"
 U.D. 36-3/4" x 64-1/2"
 M.O. 37" x 64-3/4"
 O.A. Box Size 36-3/4x64-1/2"

• DBLH-1; White Alum Clad	1,009.00
AAMA.2605; LoE-272	
Box Size: 36-3/4x64-1/2	N/C
Custom Width	177.00
1 Full White Screen(s) Applied	45.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Tempered Glass (Top)	127.00
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
Tempered Glass (Bottom)	127.00
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	16.00
Narrow Rail Double Hung (Glass Size:31-3/8x29-1/16)	N/C

1 Each @ \$1,603.00 \$1,603.00

Line # 12 STAIRWAY



R.O. 37-1/4" x 57-1/4"
 U.D. 36-3/4" x 56-3/4"
 M.O. 37" x 57"
 O.A. Box Size 36-3/4x56-3/4"

• DBLH-1; White Alum Clad	979.00
AAMA.2605; LoE-272	
Box Size: 36-3/4x56-3/4	N/C
Custom Width	177.00
Custom Height	210.00
1 Full White Screen(s) Applied	41.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	15.00
Narrow Rail Double Hung (Glass Size:31-3/8x25-3/16)	N/C

17 Each @ \$1,524.00 \$25,908.00

Prepared By :

Line # 13 STAIRWAY



R.O. 31-1/4" x 49"
 U.D. 30-3/4" x 48-1/2"
 M.O. 31" x 48-3/4"
 O.A. Box Size 30-3/4x48-1/2"

• DBLH-1; White Alum Clad	783.00
AAMA.2605; LoE-272	
Box Size: 30-3/4x48-1/2	N/C
Custom Width	177.00
1 Full White Screen(s) Applied	35.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	13.00
Narrow Rail Double Hung (Glass Size:25-3/8x21-1/16)	N/C

1 Each @ \$1,110.00 \$1,110.00

Line # 14 STAIRWAY



R.O. 31-1/2" x 49-3/4"
 U.D. 31" x 49-1/4"
 M.O. 31-1/4" x 49-1/2"
 O.A. Box Size 31x49-1/4"

• DBLH-1; White Alum Clad	815.00
AAMA.2605; LoE-272	
Box Size: 31x49-1/4	N/C
Custom Width	177.00
Custom Height	210.00
1 Full White Screen(s) Applied	35.00
BetterVue Mesh	N/C
Preserve Glass (Top)	N/C
Silver Spacer	N/C
Preserve Glass (Bottom)	N/C
Silver Spacer	N/C
4-9/16" Jamb	N/C
White Hardware	N/C
White Jambliners	N/C
With White Sash Limiters	102.00
Primed Interior	13.00
Narrow Rail Double Hung (Glass Size:25-5/8x21-7/16)	N/C

1 Each @ \$1,352.00 \$1,352.00

Quoted prices are good for 30 days (Expires: 11/29/2024)
 and are subject to correction of computational errors.

TOTAL LIST PRICE	\$80,252.00
TOTAL QUOTATION PRICE	\$80,252.00