

Docket Item #4
BZA #2024-00002
Board of Zoning Appeals
July 8, 2024

ADDRESS: 401 Jackson Place
ZONE: R-8/Residential zone
APPLICANT: Karen Becker, Architect

ISSUE: Special exception to construct a two-story addition in the required side yard.

CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-306(A)(2)	Side Setback	10.69 feet*	10.00 feet	0.69 feet

*Based on a height of 21.38 feet measured from average pre-construction grade to the midpoint of the gable end of the roof facing the north side yard.

The staff **recommends denial** of the requested special exception because the request does not meet all of the criteria for a special exception.

If the Board decides to grant the requested special exception it is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department comments. The applicant must submit the following prior to the release of a Certificate of Occupancy: (1) a survey plat prepared by a licensed surveyor confirming building footprint, setbacks, and building height compliance from average preconstruction grade and (2) certification of floor area from a licensed architect or engineer. The special exception must also be recorded with the deed of the property in the City's Land Records Office prior to the release of the building permit.

I. Issue

The applicant requests a special exception to construct a two-story rear addition in line with the existing wall located within the required northwest side yard.

II. Background

The subject property is a corner lot of record with 75.00 feet of lot width and frontage along Jackson Place and 132.00 feet of frontage along Woodland Terrace. According to Real Estate records, the property contains 9,900 square feet of lot area. The subject property is a substandard with respect to lot frontage for a corner lot in the R-8 zone.

The property is developed with a single unit dwelling and detached garage. The dwelling is located 30.50 feet from the front property line along Jackson Place, 38.50 feet from the front property line along Woodland Terrace, 10 feet from the northwest side property line, and 57.40 feet from the northeast side property line. The garage is located 107.90 feet from the property line along Jackson Place, 46.90 feet from the property line along Woodland Terrace, 10.1 feet from the northwest side property line, 7.70 feet from the northeast side property line.

The overall height of the existing dwelling measures 28.15 feet. The height of the dwelling facing the northwest side property line is 24.96 feet, which requires a setback of 12.48 feet. The existing dwelling sits 10.00 feet from the northwest side property line. The dwelling is noncomplying as to the northwest side yard setback.

The following table provide zoning analysis of the subject property:

Table 1: Zoning Table

<i>Zone</i>	Required/Permitted	Existing	Proposed
Lot Area	9,000 square feet	9,900 square feet	9,900 square feet
Lot Width	80.00 feet	75.00 feet	75.00 feet
Lot Frontage (Jackson Place)	40.00 feet	75.00 feet	75.00 feet
Lot Frontage (Woodland Terrace)	132.00 feet	75.00 feet	75.00 feet
Primary Front Yard (Jackson Place)	30.00 feet	38.50 feet	38.50 feet
Secondary Front Yard (Woodland Terrace)	25.9 feet*	30.50 feet	30.50 feet

Side Yard (northwest)	Setback ratio 1:2, 10.69 feet**	10.00 feet	10.00 feet
Side Yard (northeast)	Setback ratio 1:2, 10.69 feet***	57.40 feet	31.46 feet
Floor Area Ratio (FAR)	3,465 square feet (0.35)	1,836 square feet (0.19)	3,052 square feet (0.31)

*Based on the range established by the front yard setbacks within the contextual block face

**Based on the proposed addition's height of 21.38 feet measured from average pre-construction grade to the midpoint of the gable end of the roof facing the northwest side yard.

***Based on the proposed addition's height of 21.38 feet measured from average pre-construction grade to the midpoint of the gable end of the roof facing the northeast side yard.

III. Description

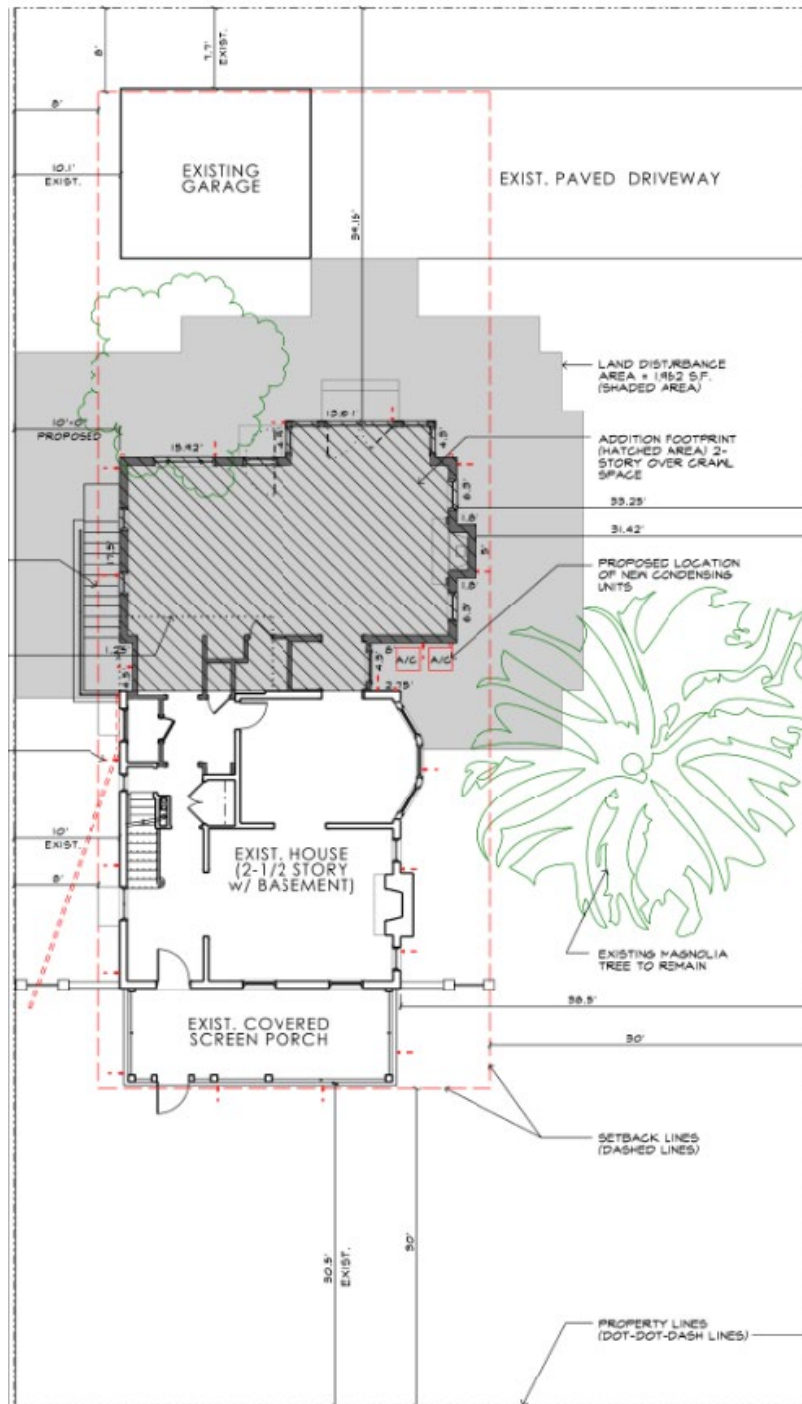
The applicant proposes to construct a two-story addition to the rear of the dwelling within the required side yard.

The proposed footprint for the two-story addition would be 608 square feet. The height of the addition would measure 21.38 feet from pre-construction grade to the midpoint of the roofline. Residential uses in the R-8 zone require a minimum side yard setback of 8.00 feet and 1:2 setback ratio. The height of 21.38 feet requires a minimum setback of 10.69 feet from the side property line. The proposed addition would be constructed 10 feet from the northwest side property line, requiring a special exception of 0.69 feet from the required side yard setback requirement.

The addition would be in compliance with maximum floor area ratio requirements, height requirements, and all other yard requirements.

Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.



WOODLAND TERRACE

JACKSON PLACE



Figure 1: Site plan of proposed addition

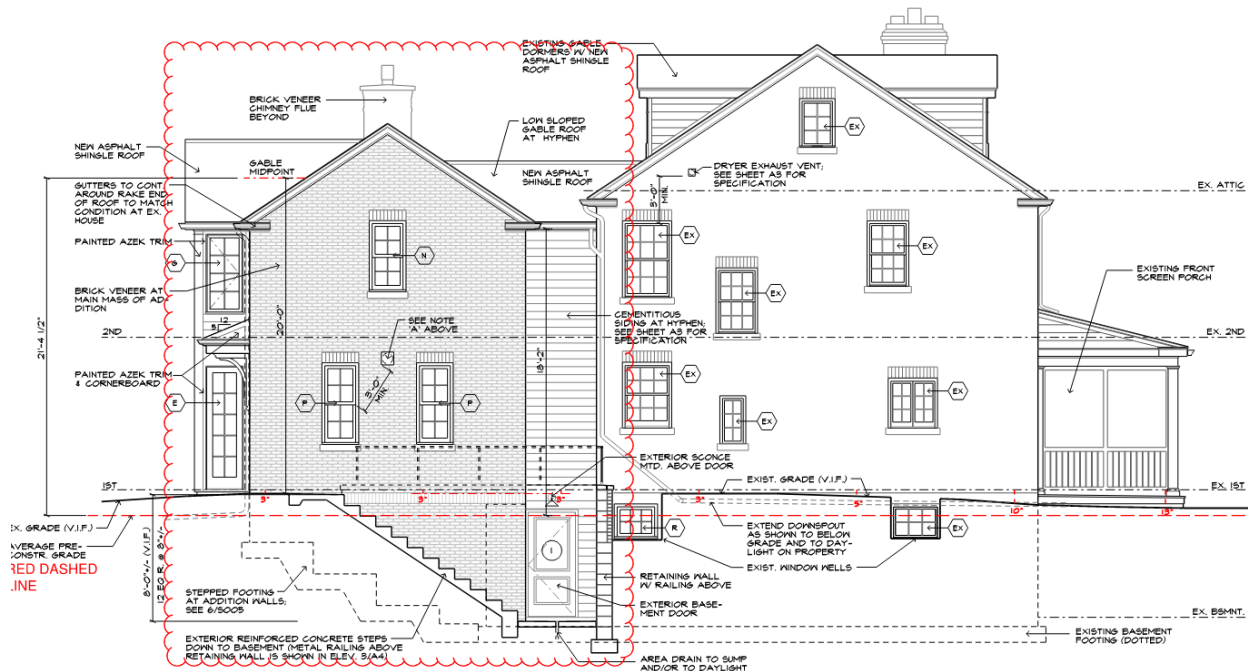


Figure 2: Elevation of proposed addition

IV. Master Plan/Zoning

The subject property is zoned R-8 and has been so zoned since adoption of the Third Revised Zoning Map in 1951 and is identified in the North Ridge/Rosemont Small Area Plan for residential use.

V. Requested Special Exception:

3-306(A)(2) Side Yard (northwest)

The applicant requests a special exception of 0.69 feet from the required 10.69-foot side yard setback requirement to construct a two-story addition 10.00 feet from the northwest side property line in line with the existing noncomplying side wall of the dwelling.

VI. Noncomplying Structure/ Substandard Lot

The existing lot at 401 Jackson Place is a substandard lot developed with a noncomplying structure with respect to the following:

<u>Requirement</u>	<u>Required</u>	<u>Existing</u>	<u>Noncompliance</u>
Lot width	80.00 feet	75.00 feet	5.00 feet
Side Yard (northwest)	12.48 feet*	10.00 feet	2.48 feet

*Based on the setback ratio of 1:2 and the existing dwelling height of 24.96 feet.

VII. Special Exceptions Standards

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The applicant proposes to construct a two-story addition along the existing noncomplying side building wall. The addition will be no closer to the side property line than the existing dwelling and complies with all other zoning requirements. The second-story addition would not be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire, or endanger the public safety.

While it is unlikely that the proposed two-story addition will impair light and air to any property as it sits on the bottom of the hill along Jackson Place, lower than other dwellings on the block, and complies with all other zoning requirements, the large addition could be minimally reduced in dimensions or height to comply with height to setback ratio which is intended to protect adjacent properties by setting taller structures further from shared property lines. The proposed addition would not increase traffic congestion, danger or the spread of fire, or endanger public safety.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

The proposed construction will not alter the character of the area or the zone. There are a mix of dwelling sizes in the neighborhood. The dwelling would continue to be two-story, similar to the rest of the properties in this neighborhood. The proposed addition would also be shorter than the existing dwelling.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

The proposed addition would be compatible with the development in the surrounding neighborhood in terms of lot development patterns and scale of

dwellings. The proposal would continue to comply with floor area ratio and front yard setbacks.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

The addition could be reconfigured or reduced to comply with all setbacks. Since the addition is not being built above an existing one-story structure, there is more flexibility to design an addition that is in compliance. The plans show there is a portion of the proposed addition where the stair entrance is located that is already setback enough to comply. The rest of the addition could align with this portion and comply with the zoning ordinance. The proposed addition could be reduced in height or reduced 0.69 feet on the side to meet the required setback ratio.

VIII. Staff Conclusion

Neighborhood Impact

There are a mix of dwelling sizes in the surrounding neighborhood. The addition complies with floor area requirements, and it is unlikely that the proposed addition will have a negative impact on the neighborhood.

Light and Air

The proposed addition will not negatively impact light and air as the property is at a lower elevation than the property to the northwest and complies with all other setbacks.

Lot Constraints

The subject property has substandard lot width and is a corner lot with two front yards.

Staff Conclusion

While the addition would have limited impact on the surrounding properties, there are other reasonable means for an addition to be constructed on the property while meeting the requirements of the Zoning Ordinance. Staff recommends denial of the requested special exception as it does not fully meet the standards and criteria as outlined within the Zoning Ordinance.

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

* The applicant is advised that if the variance is approved the following additional comments apply.

Transportation and Environmental Services:

CONDITIONS

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required.
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity.
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan.

FINDINGS:

- F-1 A released grading plan is required prior to submitting for building permits.

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99).
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1)

Code Administration:

- C-1 A building permit is required.
- C-2 Per building code, the building height is measured from grade plane. [RB] GRADE PLANE. A reference plane representing the average of the finished ground level adjoining the building at all exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than 6 feet (1829 mm) from the building between the structure and a point 6 feet (1829 mm) from the building.

Recreation (Arborist):

- F-1 If a grading plan is required, please follow the "City Landscape Guidelines" on how to provide the data for the tree(s) and consult with a private consulting arborist on the condition and health concerns with the tree.

Historic Alexandria (Archaeology):

- F-1 This property was part of the nineteenth-century estate of Richard Lloyd. Although there are no known features in the area of the proposed project, it is possible that the construction could lead to the discovery of historic materials.
- C-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
- a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.



**APPLICATION
BOARD OF ZONING APPEALS**

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:

Section 3-306(A)(2)

PART A

1. Applicant: Owner Contract Purchaser Agent

Name Karen S. Becker; Becker Architects, PLLC

Address 806 Green Street

Alexandria, VA 22314

Daytime Phone 571-236 2 82

Email Address beckerarchitects@comcast.net

2. Property Location 401 JACKSON PLACE ALEXANDRIA, VA 22302

3. Assessment Map # 033.02 Block 06 Lot 43 Zone R8

4. Legal Property Owner Name Andrew C. and Stephanie Orton Lynch

Address 401 JACKSON PLACE ALEXANDRIA, VA 22302

5. Describe request briefly:

We are seeking a special exception to the setback ratio calculation so that a rear addition to the existing house can be in line with the existing house on the NW (northwest) side. This specific site has a fairly significant grade slope which works against finding a reasonable placement for an addition using the average pre-construction grade to calculate building height at all facades.

6. If the property owner or applicant is being represented by an authorized agent,

such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- Yes — Provide proof of current City business license.
- No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Karen S. Becker

Print Name

571-236-2732

Telephone



Signature

5-22-24

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**

It allows the homeowner to have a modest 2-story addition at the rear of their existing 2-1/2 story house so that the addition on the northwest side is in line with the existing house. It allows the homeowner to have a somewhat private outdoor space at the rear of their property given that this house is on a corner lot and sits up approximately 4 to 5 feet from street level.

see attached supplemental letter

- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**

It has no harmful impact on any of the adjoining properties, most of which are on the opposite side of either Jackson Place or Woodland Terrace. In order to accomplish the proposed rear addition, a 2-story portion of the existing house at the rear will be removed. The addition will be only 15 feet beyond the extent of the portion being removed, and the roofline will be lower than the existing 2-1/2 story house.

- 3. Explain how the proposed addition will affect the light and air to any . . .**

We see no impact on the air to any adjoining properties.

We see no impact on the light to any adjoining properties with the following exception:

The property located at 403 Jackson Place may be slightly impacted in the winter months by a slight shadow cast on the rear southeast side of their property.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The addition is architecturally in keeping with the nature of the existing circa 1933 house and with the existing original houses in the neighborhood which consist of moderately sized bungalows, capes, cottage-style, and colonial revival houses of the 1930's and 40's. The existing small detached garage will remain on the property which is in keeping with the original neighborhood

5. How is the proposed construction similar to other buildings in the immediate area?

We plan to maintain the character of the existing solid masonry house, using brick veneer construction for most of the addition with brick to match the existing house. The rooflines of the addition will match the slopes of the existing rooflines. The proposed construction is similar to current additions in the immediate area both in massing and size.

6. Explain how this plan represents the only reasonable location on the lot to . . .

The location for the addition was selected due to setback requirements on the southeast side of the house (facing Woodland Terrace), the desire to maintain the existing large magnolia tree on the southeast side of the house, the relationship of the rooms in the addition to those in the existing house, the fact that there is a small existing freestanding garage at the rear of the property which will remain, and the owner's desire to have an outdoor space that is relatively private (this is difficult to accomplish given that this house is on a corner lot and sits up approximately 4-5 feet from street level).

see attached supplemental letter

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

The plans will be shown to the abutting property owners, and we will update the Board as to their support or any concerns.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Karen S. Becker Becker Architects, P.L.C.	806 Green St. Alexandria, VA 22314	100%
2.			
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 401 Jackson Place Alexandria, VA 22302 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Andrew & Stephanie Lynch	401 Jackson Place Alexandria, VA 22302	100%
2.			
3.			

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	N/A		
2.	N/A		
3.	N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

5-22-24 _____
Date Printed Name

KAREN S. BECKER


Signature

806 GREEN STREET
ALEXANDRIA, VA 22314
703-548-2253

May 30, 2024

Alexandria Department of Planning and Zoning
Room 2100
301 King Street
Alexandria, VA 22314

Re: Case: BZA #2024-00002
Address: 401 Jackson Place, Alexandria, VA 22302

To Whom It May Concern,

This letter serves to act as a supplemental document to be included with the application for special exception referenced above.

Due to the fairly steep slope of this site, and the fact that this is a corner lot with two front yard setbacks, it is mathematically challenging to get an addition of any decent size. Pushing the addition towards Woodland Terrace only exacerbates the problem as the average pre-construction grade will go lower not higher, meaning the setback will go up, not down. In other words, the slope is working against us. Using the average pre-construction grade to calculate building height on a sloping site such as this one unfairly penalizes the height calculation on the upslope side and exaggerates the calculation on the downslope side.

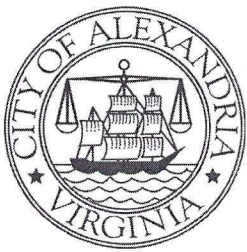
Lowering the roof is not feasible as it would reduce the ceiling height on the second floor to the point where it would be impractical. Since the height measurement is not to an actual building feature but to the midpoint of the gable roof, rotating the roof 90 degrees so that the eave is parallel to the sideyard property line, will make no difference in light and air affecting the abutting property on that side.

One other issue to note is that due to the existing grades in this neighborhood, the height of the adjacent house to the northwest of 401 Jackson Place is much higher than this proposed rear addition to the extent that an additional 9" of setback on that side of the house seems negligible.

Sincerely,



Karen S. Becker
Becker Architects, PLLC



2024 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 <http://www.alexandriava.gov/>

License Number: 119828-2024
Account Number: 119828
Tax Period: 2024
Business Name: BECKER ARCHITECTS, PLLC
Trade Name: BECKER ARCHITECTS, PLLC
Business Location: 806 GREEN ST
Alexandria, VA 22314

BECKER ARCHITECTS, PLLC
806 GREEN ST
Alexandria, VA 22314

License Classification(s):
Professional Occupations/Businesses
9-071-004
Architect

March 9, 2024

Dear Taxpayer:

This is your 2024 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit <http://www.alexandriava.gov/> or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314



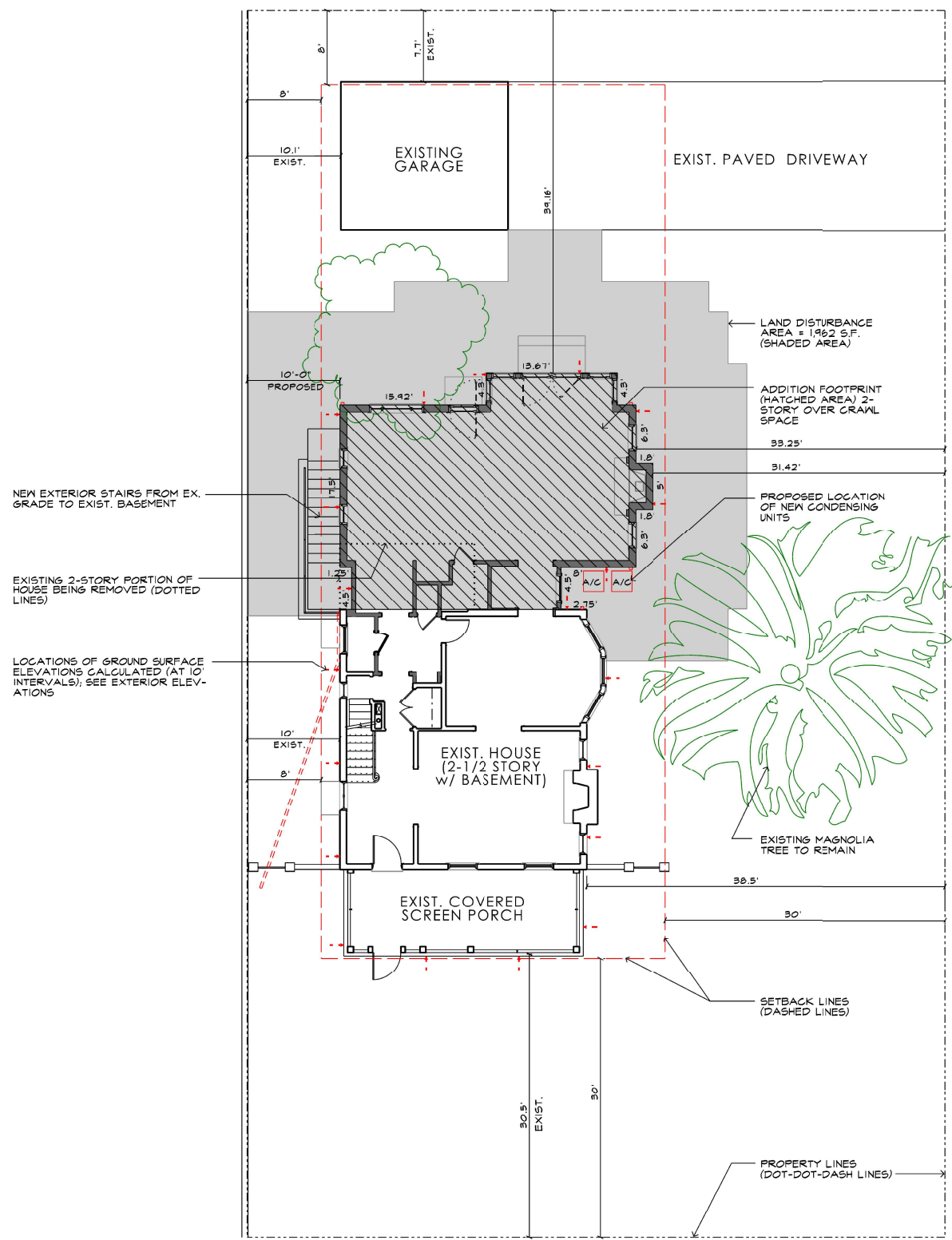
License Number: 119828-2024
Account Number: 119828
Tax Period: 2024
Business Name: BECKER ARCHITECTS, PLLC
Trade Name: BECKER ARCHITECTS, PLLC
Business Location: 806 GREEN ST
Alexandria, VA 22314

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

BECKER ARCHITECTS, PLLC
806 GREEN ST
Alexandria, VA 22314

License Classification(s): Professional Occupations/Businesses
9-071-004
Architect

WOODLAND TERRACE



JACKSON PLACE



SITE PLAN

3/32" = 1'-0"



FRONT (SOUTHWEST) ELEVATION

3/16" = 1'-0"

DATE:
BZA APPLICATION:
5-22-24

SCALE:
AS NOTED

L Y N C H R E S I D E N C E

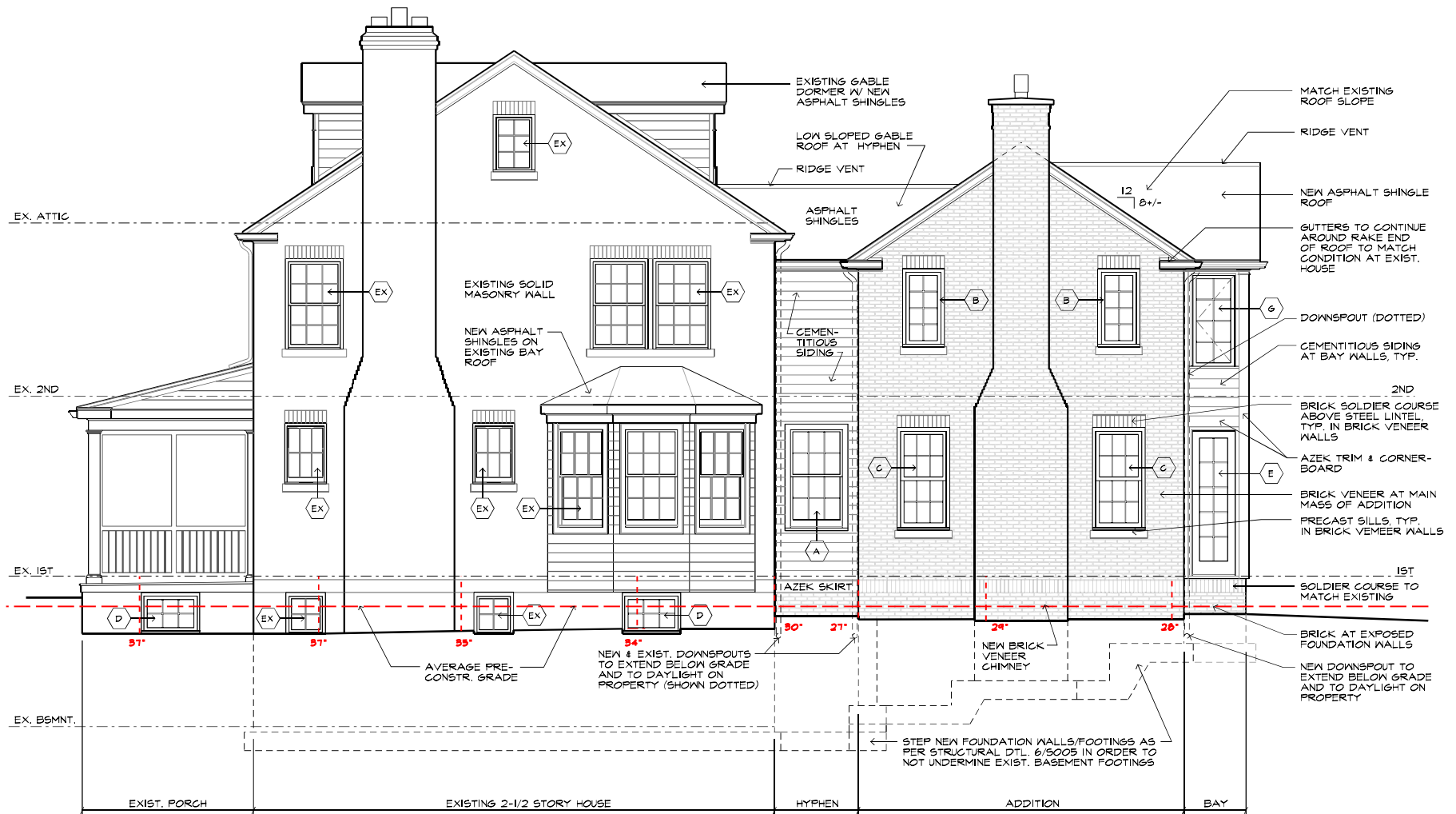
401 JACKSON PLACE

ALEXANDRIA, VA 22302

BECKER
ARCHITECTS PLLC

806 Green Street
Alexandria, VA 22314
703-548-2253
beckerarchitects@comcast.net

A 1



WOODLAND TERRACE (SOUTHEAST) SIDE ELEVATION

3/16" = 1'-0"

DATE:
BZA APPLICATION:
5-22-24

SCALE:
AS NOTED

L Y N C H R E S I D E N C E

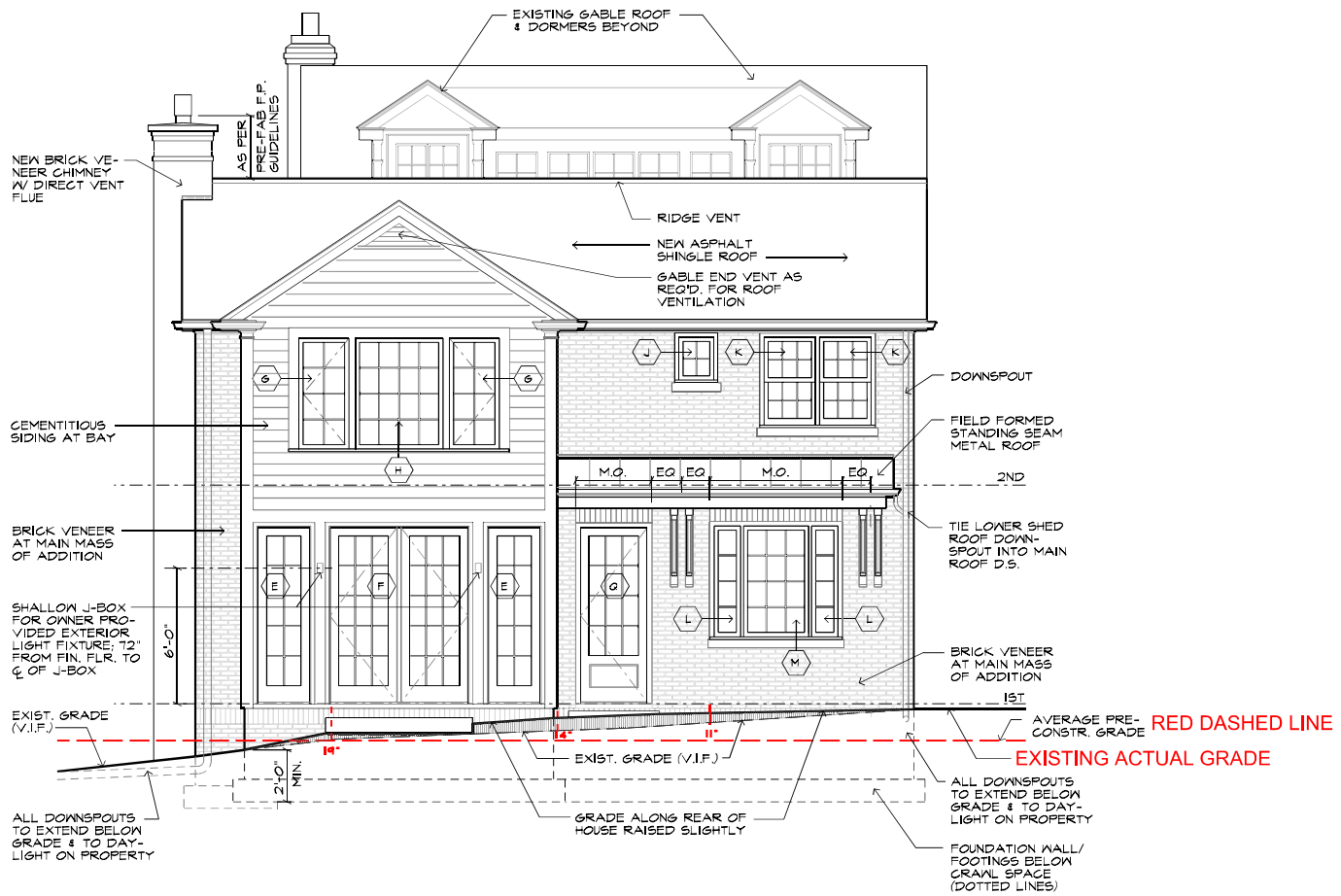
401 JACKSON PLACE

ALEXANDRIA, VA 22302

BECKER
ARCHITECTS PLLC

806 Green Street
Alexandria, VA 22314
703-548-2253
beckerarchitects@comcast.net

A 2



REAR (NORTHEAST) ELEVATION

3/16" = 1'-0"

DATE:
BZA APPLICATION:
5-22-24

SCALE:
AS NOTED

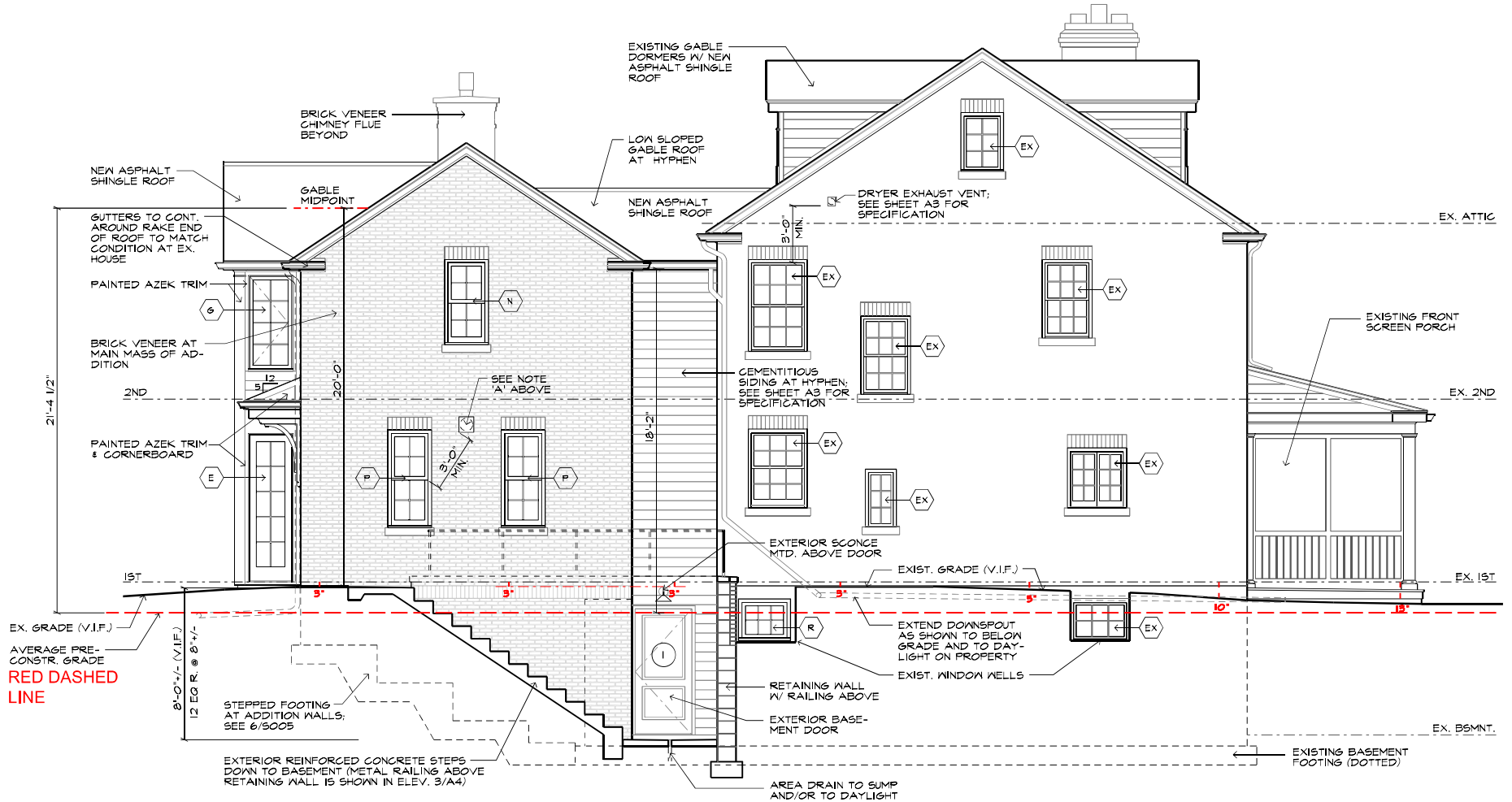
LYNCH RESIDENCE

401 JACKSON PLACE ALEXANDRIA, VA 22302

BECKER
ARCHITECTS PLLC

806 Green Street
Alexandria, VA 22314
703-548-2253
beckerarchitects@comcast.net

A 3



NORTHWEST SIDE ELEVATION

3/16" = 1'-0"

DATE:
BZA APPLICATION:
5-22-24

SCALE:
AS NOTED

LYNCH RESIDENCE

401 JACKSON PLACE

ALEXANDRIA, VA 22302

BECKER
ARCHITECTS PLLC

806 Green Street
Alexandria, VA 22314
703-548-2253
beckerarchitects@comcast.net

A 4



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 401 Jackson Place Alexandria, VA 22302 R-8
Street Address Zone

A2. 9,900.00 x 0.35 = 3,465.00
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	1,090.00	Basement**	1,090.00	B1. <input style="width: 150px;" type="text" value="3,750.00"/> Sq. Ft. Existing Gross Floor Area*
First Floor	854.00	Stairways**	72.00	B2. <input style="width: 150px;" type="text" value="1,914.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	839.00	Mechanical**		B3. <input style="width: 150px;" type="text" value="1,836.00"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	0.00	Attic less than 7***	464.00	
Attic	464.00	Porches**		
Porches	215.00	Balcony/Deck**		
Balcony/Deck	0.00	Garage**	288.00	
Garage	288.00	Other***		
Other***	0.00	Other***		
B1. Total Gross <input style="width: 100px;" type="text" value="3,750.00"/>		B2. Total Exclusions <input style="width: 100px;" type="text" value="1,914.00"/>		

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	0.00	Basement**		C1. <input style="width: 150px;" type="text" value="1,593.50"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	608.00	Stairways**		C2. <input style="width: 150px;" type="text" value="377.50"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	608.00	Mechanical**		C3. <input style="width: 150px;" type="text" value="1,216.00"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	0.00	Attic less than 7***	333.50	
Attic	333.50	Porches**	44.00	
Porches	44.00	Balcony/Deck**		
Balcony/Deck	0.00	Garage**		
Garage	0.00	Other***		
Other***	0.00	Other***		
C1. Total Gross <input style="width: 100px;" type="text" value="1,593.50"/>		C2. Total Exclusions <input style="width: 100px;" type="text" value="377.50"/>		

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

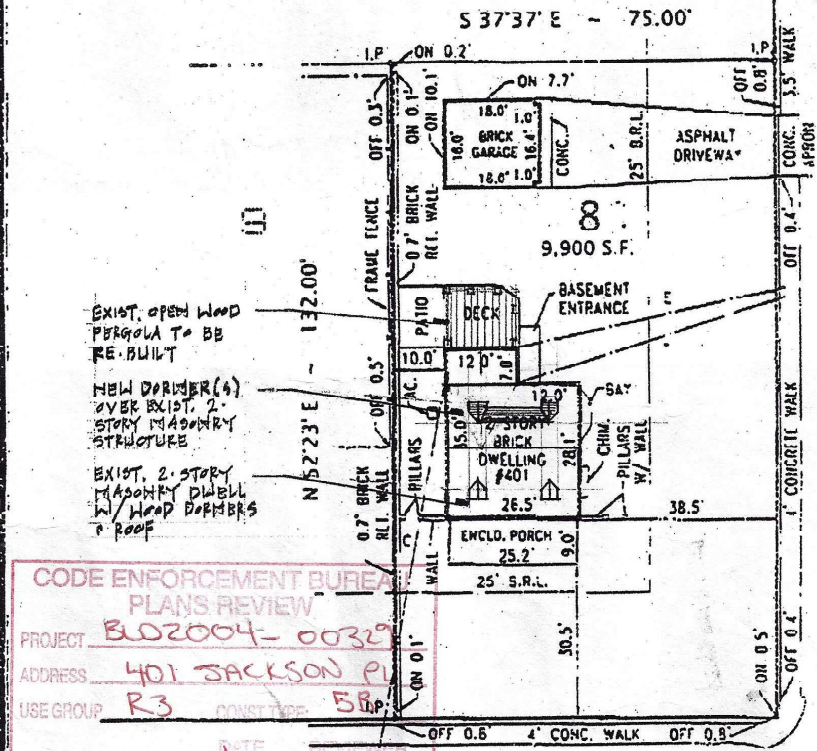
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: *Kenn S. Becker*

Date: 4-26-24 REV 5-30-24

VENTILATION AND AIR CONDITIONING,
ELEVATORS, STORAGE TANKS AND
SPECIAL EQUIPMENT.

ALL WORK SHALL COMPLY
W/ 2000 USBC W/ 2002 AMENDMENTS
& 2000 IRC



EXIST. OPEN WOOD
PERGOLA TO BE
RE-BUILT
NEW DORMER (4)
OVER EXIST. 2-
STORY MASONRY
STRUCTURE
EXIST. 2-STORY
MASONRY DWELL
W/ WOOD DORMERS
& ROOF

WOODLAND TERRACE
40' R/W

CODE ENFORCEMENT BUREAU
PLANS REVIEW

PROJECT BLDG004-00329

ADDRESS 401 JACKSON PL

USE GROUP R3 CONSTRUCTION 5B

DATE	REVISION
04/15/04	KWS
04/15/04	KWS
3/4/04	ALL
3/19/04	SS
3/19/04	JB

PLANS PROVIDED AS NOTED
SUBJECT TO FIELD CHECKS

DATE 04/15/04
BUILDER'S OFFICIAL Ant Dahlken

JACKSON PLACE
40' R/W

APPROVED:
ALEXANDRIA DEPARTMENT OF PLANNING AND ZONING
ZONING COMPLIANCE

2/12/04 E. Fogarty
DATE DIRECTOR OF PLANNING

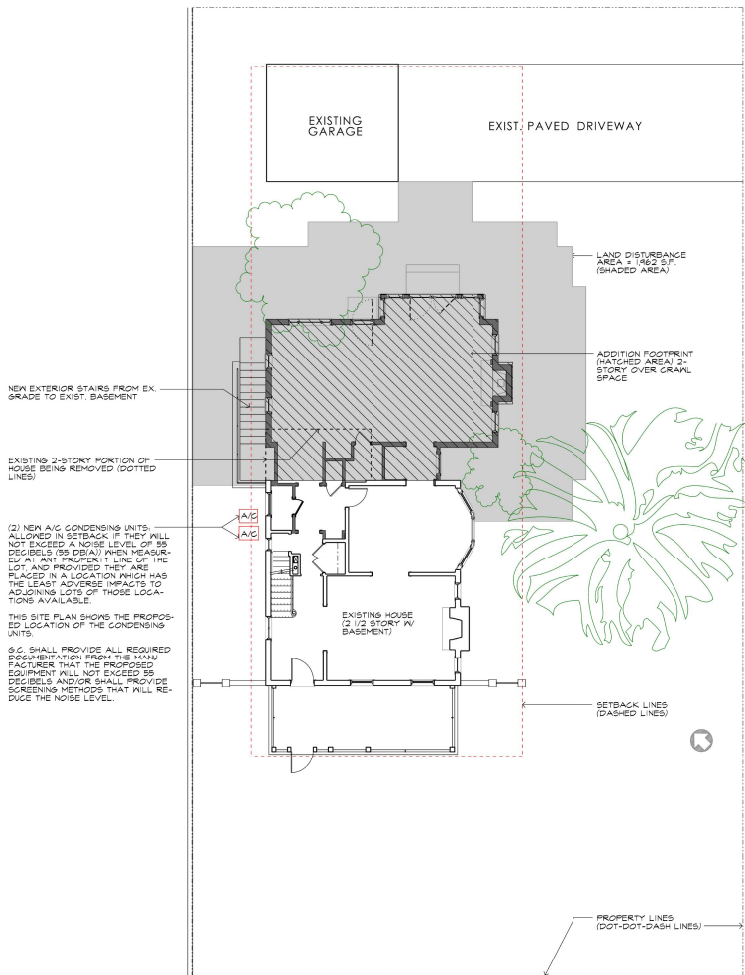
BLDG004-00329
* approved for reroof re new dormer
per submitted plans only meets
R-3 requirements.

PLAT
SHOWING HOUSE LOCATION ON
LOT 8, PART 1, BLOCK 3, SECTION 1
JEFFERSON PARK
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 30' AUGUST 26, 1999

IF WITHIN 15 FEET OF ANY
PERMITTEE MUST FIRST
E FROM THE DOMINION
OFFICE.
667-3000.

<p>THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA</p> <p>PLAT SUBJECT TO RESTRICTIONS OF RECORD</p> <p>TITLE REPORT NOT FURNISHED</p>		<p>CASE NAME</p> <p>TAYLOR LYNCH FAIRCHILD</p>
<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.</p> <p><u>Kenneth W. White</u> KENNETH W. WHITE L.S.</p>		<p>ALEXANDRIA SURVEYS, INC. 8343 SOUTH KINGS HIGHWAY ALEXANDRIA, VIRGINIA 22306 703-880-8815 FAX 703-768-7784</p>

PLAT PLAN & NOTES
5 DECEMBER 2003 ISSUED FOR PERMIT



NEW EXTERIOR STAIRS FROM EX. GRADE TO EXIST. BASEMENT

EXISTING 2-STORY PORTION OF HOUSE BEING REMOVED (DOTTED LINES)

(2) NEW A/C CONDENSING UNITS ALLOWED IN SETBACK IF THEY WILL NOT EXCEED A NOISE LEVEL OF 99 DECIBELS (95 DB(A)) WHEN MEASURED AT ANY PROPERTY LINE OF THE LOT AND PROVIDED THEY ARE PLACED IN A LOCATION WHICH HAS THE LEAST ADVERSE IMPACTS TO ADJOINING LOTS OF THOSE LOCATIONS AVAILABLE.

THIS SITE PLAN SHOWS THE PROPOSED LOCATION OF THE CONDENSING UNITS.

S.C. SHALL PROVIDE ALL REQUIRED DEMONSTRATION FROM THE MANUFACTURER THAT THE PROPOSED EQUIPMENT WILL NOT EXCEED 95 DECIBELS AND/OR SHALL PROVIDE SCREENING METHODS THAT WILL REDUCE THE NOISE LEVEL.

JACKSON PLACE
SITE PLAN
1/16" = 1'-0"

WOODLAND TERRACE

GENERAL NOTES:

- To the best of the Architect's knowledge & professional judgment, these plans are in compliance with the following current building codes: Virginia Residential Code (2018 EDITION) based on IRC 2018 International Code with amendments.
- Contractor shall do all work in accordance with all applicable federal, state, and local ordinances, regulations and codes.
- Contractor shall not make, cause to be made, or permit a Sub-Contractor to make any change to what is specified on the Drawings without specific authorization of the Architect or Owner.
- Contractor shall verify dimensions, grades, levels, boundaries, and construction indicated on Contract Drawings, before proceeding with the work. Herein shall report any discrepancies to the Architect immediately.
- Drawings at larger scale shall take precedence over drawings at a smaller scale, except for any inconsistencies that may be found in the Drawings. Report any inconsistencies to the Architect immediately.
- In the case of conflicts within the documents, the more costly and/or time intensive item/process shall prevail.
- Dimensions and notes for a given condition are typical for all similar conditions unless otherwise noted.
- Contractor shall repair, replace, and/or refinish any damage to the existing conditions caused by new construction.
- Do not scale drawings as a means of determining dimensions.
- Interior wall finish and window trim shall be provided by owner.
- Run all electrical wiring to be concealed behind future wall finishes. Note that underside of roof structure shall remain exposed. Run circuits to ceiling fans in diff. (ceiling parallel) with building lines.

CONSULTANTS:

STRUCTURAL ENGINEER:
JZ Structural Consulting, Inc.
4318D Amberwood Plaza St. 205
Chantilly, VA 20152
Office: (703) 521-1412
jz@jzstructure.com
http://www.jzstructure.com

GENERAL CONTRACTOR:

Marks-Woods Construction Services
205 S Union Street
Alexandria, VA 22314
(703) 939-1750
(703) 428-2513
www.markswoods.com



ABBREVIATIONS:

A.F.F.	Above Finished Floor	MFR.	Manufacturer
ADJ.	Adjustable	MTD.	Mounted
ANGL.	Angular/functional	MTL.	Metal
BLK(G)	Blocking	N.O.	Necessary Opening
BD.	Board	NEC.	Necessary
BLDS.	Building	N.I.C.	Not in Contract
CLB.	Ceiling	N.T.S.	Not To Scale
C.L.	Center Line	O.C.	On Center
C.T.	Ceramic Tile	OPNS.	Opening
CLR.	Clear	PTD.	Painted
CONC.	Concrete	P.T.	Pressure Treated
CONT.	Continuous	REINF.	Reinforce(d)ing
DEM(D)	Demolitionish	REQ.	Required
DIA.	Diameter	R.	Riser
DIM.	Dimension	RM.	Room
DBL.	Double	R.O.	Rough Opening
DN.	Down	SIM.	Similar
DRWS.	Drawing	SPEC.	Specification, Specified
EA.	Each	SQ.	Square
ELEC.	Electric(al)	S.S.	Stainless Steel
EQ.	Equip.	STND.	Standard
EXIST.	Existing	STL.	Steel
EX.	Existing	STOR.	Storage
EXT.	Exterior	STRUCT.	Structure(al)
FIN.	Finish(es)	TEL.	Telephone
FLR.	Floor	THRESH.	Threshold
F.R.	Fire-Retardant	TIS	Tongue and groove
FUR.	Furring	T.	Tread
GYP.BD.	Gypsum Board	TYP.	Typical
INSUL.	Insulation	U.O.N.	Unless Otherwise Noted
INT.	Interior	V.I.F.	Verify in Field
LAM.	Laminate(al)	WD.	Wood
MECH.	Mechanical		

ZONING/CODE INFORMATION:

ADDRESS: 401 JACKSON PLACE
ALEXANDRIA, VA 22302

MAP-BLOCK-LOT: 039.02-08-43

LEGAL DESCRIPTION: LOT 8 BLK 5 PT 1 SEC 1 JEFFERSON PARK

JURISDICTION: CITY OF ALEXANDRIA

ZONE: RB

REQUIRED LOT AREA: 8,000 S.F.

ACTUAL LOT AREA: 4,900 S.F.

HEIGHT LIMIT: 30 FT.

FRONT YARD SETBACK: 30 FT. MIN.

SIDE YARD SETBACK: 1:12 RATIO WITH 8 FT. MIN.

REAR YARD SETBACK: 1:11 RATIO WITH 8 FT. MIN.

F.A.R.: 0.35

OCCUPANCY CLASSIFICATION: R-5

CONSTRUCTION CLASSIFICATION: 2B

EXISTING HOUSE SF: 1,408 S.F. GROSS ABOVE GRADE

AREA OF ADDITION: 608 S.F. GROSS (1ST FLOOR), 608 S.F. GROSS (2ND FLOOR)

AREA OF RENOVATION: 1,216 S.F. GROSS TOTAL ABOVE GRADE

BUILDING TYPE: DETACHED SINGLE-FAMILY RES.

YEAR BUILT: 1933

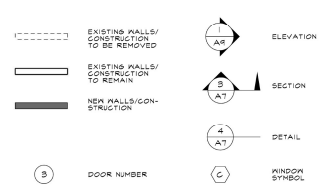
INDEX OF DRAWINGS:

- G5 COVER SHEET
- D1 EXISTING CONDITIONS/DEMOLITION PLANS, FIRST FLOOR, SECOND FLOOR AND ROOF; EXISTING CONDITIONS, ATTIC PLAN
- A1 NEW WORK PLANS: BASEMENT AND FIRST FLOOR
- A2 NEW WORK PLANS: SECOND FLOOR AND ROOF
- A3 FRONT AND SOUTHEAST SIDE ELEVATIONS
- A4 REAR AND NORTHWEST SIDE ELEVATIONS
- A5 REFINISHED CEILING/LIGHTING PLANS: BASEMENT AND FIRST FLOOR
- A6 REFINISHED CEILING/LIGHTING PLAN: SECOND FLOOR; SYMBOLS LEGEND
- AT BUILDING SECTIONS
- AS DETAILS
- AS SCHEDULES
- A10 INTERIOR ELEVATIONS
- A11 EXTERIOR ELEVATIONS
- S001 STRUCTURAL NOTES AND DETAILS
- S002 FOUNDATION AND 1ST FLOOR FRAMING PLANS
- S003 2ND FLOOR FRAMING PLAN
- S004 1ST AND 2ND FLOOR RIND BRACING PLANS
- S005 STRUCTURAL DETAILS
- S006 BRACED WALL DETAILS

SCOPE OF WORK:

NEW 2-STORY ADDITION WITH CRAWL SPACE BELOW. ADDITION TO INCLUDE RELOCATED KITCHEN, FAMILY ROOM AND PRIMARY BEDROOM SUITE. SCOPE OF WORK INCLUDES MINOR INTERIOR REVISIONS TO EXISTING HOUSE AT BASEMENT, FIRST AND SECOND FLOORS.

SYMBOLS LEGEND



BECKER ARCHITECTS PLLC
806 Green Street, Suite 2314
703-948-2253
beckerarchitects@comcast.net

LYNCH RESIDENCE
401 JACKSON PLACE
ALEXANDRIA, VA 22302

DATE: PERMIT SET: 4-25-24

SCALE: AS NOTED

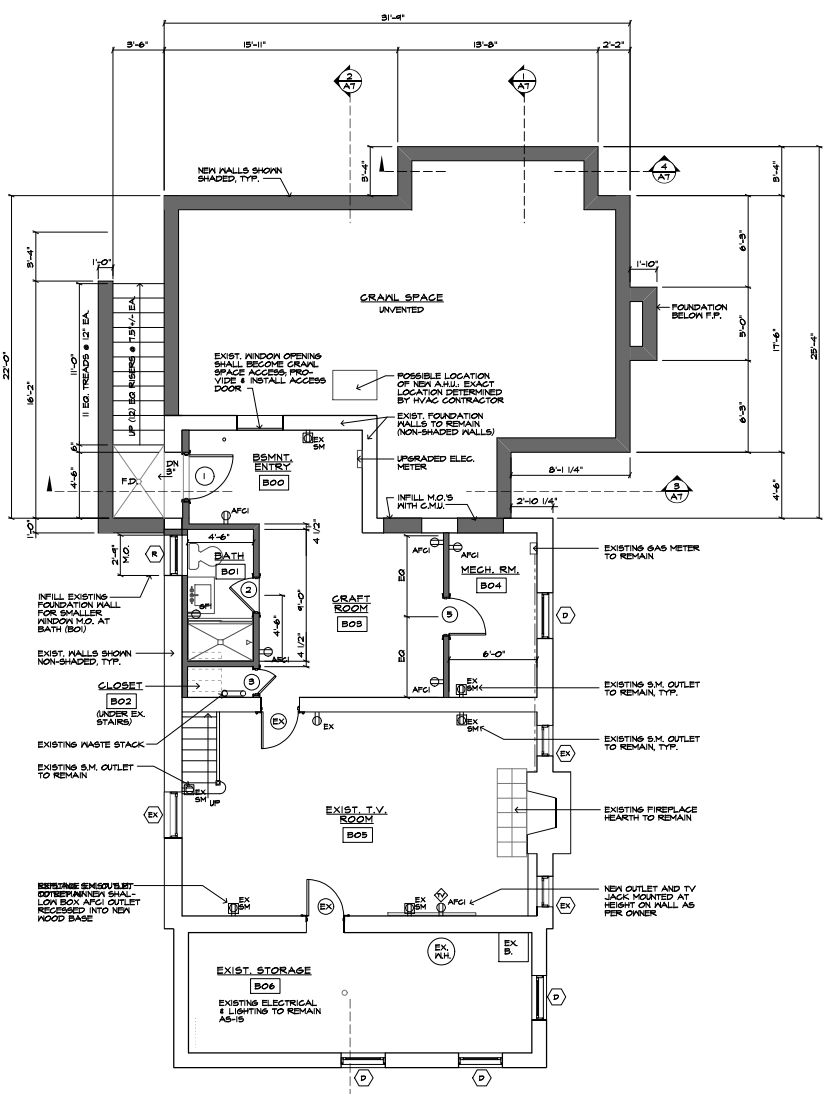
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GENERAL FLOOR PLAN NOTES:

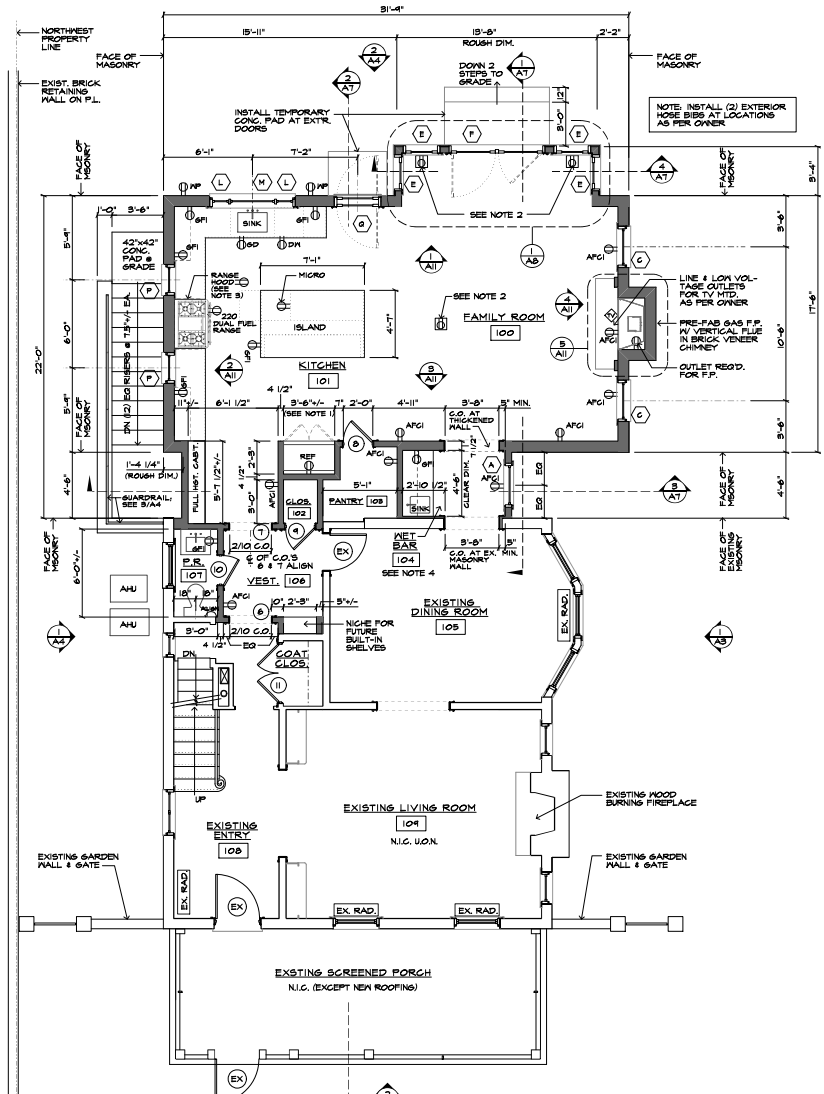
- A.) ALL DIMENSIONS SHOWN ARE FINISH DIMENSIONS UNLESS OTHERWISE NOTED.
- B.) ALL NEW INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C. WITH 1/2" GYP. BD. ON EACH SIDE U.O.N. INSTALL SOUND BATT INSULATION BETWEEN STUDS AT BOTH POWDER ROOM AND WATER CLOSET SURROUNDING WALLS.

KEYED FIRST FLOOR PLAN NOTES:

- 1.) CONFIRM EXACT SIZE OF FINISHED ALCOVE WIDTH AND DEPTH REQUIRED FOR RECESSED REFRIGERATOR BASED ON CLEARANCE REQUIREMENTS OF OWNER SELECTED/PROVIDED REFRIGERATOR/FREEZER.
- 2.) CONFIRM EXACT LOCATION OF ALL FLOOR OUTLETS WITH OWNER PRIOR TO ROUGH-IN.
- 3.) HOOD EXHAUST DUCT SHALL RUN THROUGH EXTERIOR WALL AS SHOWN ON ELEVATION 1/4A. TOP SASH OF ADJACENT SINGLE-HUNG WINDOWS (WINDOW 1P) SHALL BE FIXED.
- 4.) IN MET BAR, PURR OUT EXISTING EXTERIOR MASONRY WALL (5/8" WALL) WITH 1/2" GYP. BD. ON 1x FLOORING STRIPS.



2 BASEMENT NEW WORK PLAN
 REFER TO SHEET A2 FOR ELECTRICAL SYMBOLS LEGEND
 1/4" = 1'-0"



1 FIRST FLOOR NEW WORK PLAN
 REFER TO SHEET A2 FOR ELECTRICAL SYMBOLS LEGEND
 1/4" = 1'-0"

BECKER ARCHITECTS PLLC
 906 Green Street, #2384
 Alexandria, VA 22304
 703-548-2255
 beckerarchitects@comcast.net

WOODLAND TERRACE
 LYNCH RESIDENCE
 401 JACKSON PLACE
 ALEXANDRIA, VA 22302

DATE:
 PERMIT SET:
 4-28-24

SCALE:
 AS NOTED

SHEET:
A1

EXTERIOR MATERIALS SPECIFICATIONS/NOTES

FOUNDATION WATERPROOFING AND PARASING:

PARASING ALL ABOVE-GRADE EXPOSED FOUNDATION WALLS NOT SCHEDULED TO RECEIVE SIDING OR BRICK VENEER. PROVIDE WATERPROOFING AT ALL BELOW GRADE PORTIONS OF NEW FOUNDATION WALLS. PARASING SHALL BE 3/8" INCH FLEXIBLE GROUT PARASING APPLIED DIRECTLY TO CMU.

WATERPROOFING SHALL BE PER GRADE BITUMENE ROOF FEEEL AND STICK MEMBRANE AND SHALL EXTEND FROM FACE OF FOOTING UP TO GRADE. TERMINATE TOP EDGE IN METAL RESULT AT TRANSITION TO PARASING. PROVIDE PROTECTION BOARD BETWEEN MEMBRANE AND BACK-FILL.

BRICK:

BRICK AT EXISTING WALLS TO BE DEMOLISHED SHALL BE SALVAGED, AND SHALL BE CLEANED OF MORTAR. AT AREAS WHERE EXISTING BRICK IS TO BE REPIECED (AS POSSIBLE) FULL BOARDS UNITS FREE OF BLEMISHES AND DAMAGE TO ACCEPT NEW CONSTRUCTION AND MATCH EXISTING COURSE AND MORTAR COLOR. TOOTH NEW INTO EXISTING FOR SEAMLESS TRANSITION. ALL BRICK SHALL BE LAID IN A RUNNING BOND PATTERN TO MATCH EXISTING HOUSE (UNLESS OTHERWISE NOTED). ALL NEW BRICK SHALL MATCH THAT AT EXISTING HOUSE IN SIZE, MODULE, COLOR AND TEXTURE. PLAN LAYOUT DIMENSIONS AND DETAILS ARE BASED ON A 3 5/8" INCH BRICK THICKNESS. MORTAR SHALL BE TINTED TO MATCH EXISTING, AND JOINTS SHALL BE TOOLED CONCAVE.

PROVIDE PRECAST SILLS TO MATCH EXISTING SILLS AT BASES OF WINDOW OPENINGS. COORDINATE SIZE OF SILL WITH SIZE OF MASONRY OPENINGS SO THAT NEW OPENINGS CAN BE INSTALLED AT BRICK COURSE HEIGHTS TO MATCH EXISTING.

KEEPS SHALL BE PROVIDED AT BASES OF ALL CAVITIES & ABOVE ALL FLASHINGS, AND SPACED AT 24" O.C. MAX. KEEPS SHALL BE 10MMAN # 8 BARRIARD QUADRO-VENT TYPE (OR EQUAL) IN HEIGHT TO MATCH BRICK AND IN COLOR TO MATCH MORTAR. PROVIDE MORTAR NET TYPE CAVITY DRAINAGE MATERIAL ABOVE ALL FLASHINGS.

SIDING AND TRIM:

EXTERIOR QUADRO-VENT SIDING SHALL BE 1/2" HARDY PLANK FACTORY-PRIME FIBER-CEMENT LAP SIDING BY JAMES HARDIE. SIDING SHALL BE SMOOTH WITH 6" EXPOSURE 1/2" X 1/2" WIDTH. SIDING SHALL BE INSTALLED OVER APPROPRIATE WATER-RESISTIVE BARRIER AS PER ALL MANUFACTURER'S INSTALLATION GUIDELINES AND SHALL BE BLIND NAILED. SIDING SHALL BE FIELD PAINTED.

UNLESS OTHERWISE NOTED ON ELEVATIONS AS AZEK, CORNER BORDERS FOR HARDY PLANK SIDING INSTALLATION SHALL BE HARDIE TRIM 4/4 BOARDS IN 1/2" WIDTH ON EACH FACE OF OUTSIDE CORNER, AND SHALL BE PAINTED TO MATCH THE HARDY PLANK LAP SIDING.

AZEK SIDING SHALL BE FROM 1/2" INCH THICK SMOOTH-FACED AZEK SHEET IN FULL SIZE PIECES WITHOUT ANY EXPOSED INTERMEDIATE JOINTS. INSTALL WITH FASTENERS AND ADHESIVE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

AZEK TRIM SHALL BE IN SIZES AND PROFILES INDICATED WITH SMOOTH SIDE FACING OUT. PROVIDE IN LONGEST LENGTHS PRACTICAL, WITH MITERED EDGES AND CORNERS, AND SQUARE JOINTS AT 90° RUN BRIGLES. WHERE SCAMP JOINTS OCCUR IN ADJACENT PIECES OFFSET JOINTS A MINIMUM OF 2'-0". INSTALL TRIM IN ACCORDANCE WITH AZEK INSTRUCTIONS. ALL FASTENERS AT SIDING AND TRIM SHALL BE GALVANIZED OR STAINLESS STEEL.

METAL ROOFING:

METAL ROOFING SHALL BE FIELD FORMED STANDING SEAM, POLYURETHANE TOP OR PAINTED TERMI II ROOFING PANELS (OR EQUAL) OVER 1/4" GRADE ICE AND WATER SHIELD. FORM ROOF PANELS FROM 20 BY 28 INCH SHEETS WITH INTERLOCKING EDGES FOR CONCEALED GLEATS AND FASTENERS.

ASPHALT SHINGLE ROOFING:

U/LM ROOFING AT NEW AND EXISTING ROOFS SHALL BE ARCHITECTURAL GRADE ASPHALT SHINGLES. SHINGLES SHALL BE APPLIED WITH 11 GA GALVANIZED ROOFING NAILS OVER 1/4" ASPHALT FELT UNDERLAYER AS FOLLOWS: 1. LAYER ASPHALT FELT UNDERLAYER AT ROOF PITCH GREATER THAN 4:12. 2. LAYERS ASPHALT FELT UNDERLAYER AT ROOF PITCH GREATER THAN 2:12 AND LESS THAN 4:12. VALLEYS SHALL BE OF CLOSED TYPE CONFIGURATION. PROVIDE GRADE ICE AND WATER SHIELD AT ALL ROOF EDGES AND AT ALL ROOF VALLEY LOCATIONS. AT ALL VALLEY LOCATIONS EXTEND 8 INCHES ON EITHER SIDE OF VALLEY. EXTEND 12 INCHES UP UNDER SIDING WHERE ROOF ADJUTS SIDING. COORDINATE ROOF INSTALLATION METHODS WITH SHINGLE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS REQUIRED.

FLASHINGS:

AT ALL RAKE EDGES OF ROOFING, PROVIDE 22 GAUGE PREFINISHED ALUMINUM EDGE FLASHING WITH 3 INCH DECK FLANGE AND 1/2 INCH FACE WITH 3/8 INCH HEMMED EDGE DRIP. PROVIDE 22 GAUGE ALUM EAVE FLASHING AT TRANSITION BETWEEN GUTTER AND ROOF UNDERLAYMENT WITH 3 INCH DECK FLANGE AND VERTICAL LEG OF SUFFICIENT LENGTH TO LAP GUTTER BY 1 INCH.

WHETHER OR NOT SPECIFICALLY INDICATED, PROVIDE 22 GAUGE ALUMINUM FLASHING AT ANY ROOF FRAMED WALL INTERSECTION, ALL DOOR AND WINDOW HEADS AND SILLS IN FRAMED WALLS. EXTEND 8 INCHES UP BEHIND SOING, LAPPED UNDER ASPHALT FELTS, AND PROVIDE HEMMED METAL DRIP AT BOTTOM EDGE.

WHETHER OR NOT SPECIFICALLY INDICATED, PROVIDE 22 GAUGE STAINLESS STEEL FLASHING AT ALL JOINTS BETWEEN MASONRY WALLS AND ROOF CONSTRUCTION. STEP FLASHING AS REQUIRED WITH BRICK COURSE TO FOLLOW ROOF SLOPE. RAKE OUT MASONRY JOINTS AND RETURN TOP EDGE OF FLASHING INTO RAKE JOINT WITH SEALANT.

PROVIDE FLEXIBLE TYPE FLASHING (W/ GRADE FERRA-BARRIER) WITH PREFORMED STAINLESS STEEL DRIP EDGE BELOW ALL ROOF/DECK SILLS AND HALL CAPS. FORM SILL FLASHING WITH END DRAIN TO DIRECT WATER TO EXTERIOR. EXTEND HALL CAP FLASHING THROUGH FULL WIDTH OF HALL, SEALING TIGHT AROUND REINFORCING. AT BOTH SILL AND CAP LOCATIONS, LAP FLASHING OVER CONTINUOUS STAINLESS STEEL DRIPS, WITH LAP JOINT OCCURRING INSIDE FACE OF HALL.

GUTTERS AND DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM IN SIZES AND PROFILES TO MATCH EXISTING. PROVIDE TURN-OUTS AND SPLASH BLOCKS AT DOWNSPOUT ENDS, WHERE INDICATED, AND WHERE REQUIRED, PROVIDE SUBTERRANEAN PVC DRAIN-TILE EXTENSION FOR REMOTE DISCHARGE.

PROVIDE CONTINUOUS 22 GA STAINLESS STEEL TERMI SHIELD FLASHING WHERE INDICATED AND WHERE REQUIRED. WHETHER OR NOT SPECIFICALLY INDICATED, TERMI SHIELD SHALL BE FULL WIDTH OF WALL IN CONTINUOUS RUNS ACROSS HORIZONTAL AND STEPPED LOCATIONS AND SHALL BE PROVIDED WITH HEMMED DRIP EDGES.

EXTERIOR PAINTS AND SEALANTS:

ALL EXTERIOR SEALANTS SHALL BE NON-BLEEDING/NONSTAINING ONE PART SILICONE SEALANT. PAINTABLE AT ALL SURFACES TO BE PAINTED AND COLOR TO MATCH ADJACENT SURFACES WHERE ADJACENT SURFACES ARE NOT TO BE PAINTED. SEAL JOINTS WHERE INDICATED AND AS FOLLOWS. PROVIDE SEALANT BETWEEN SIDING AND TRIM TRIM AND BRICK. FLASHING AND BRICK. PROVIDE SEALANT AT WALLS AND BETWEEN ADJACENT TRIM PIECES. PROVIDE BARRIER ROOFS WHERE REQUIRED AND MARK ALL ADJACENT SURFACES PRIOR TO APPLICATION OF SEALANT; TOOL JOINTS TO A SMOOTH EVEN UNIFORM WIDTH.

PAINT ALL EXTERIOR SURFACES WITH THE EXCEPTION OF: BRICK, PARASING, CONCRETE, PRESSURE TREATED LUMBER, STAINLESS STEEL FLASHING AND TRIM. EXTERIOR ROOFING, HARDWARE, GLASS AND LIGHT FIXTURES. ALL EXISTING WINDOWS, TRIM AND SIDING TO REMAIN SHALL BE SCRAPPED SMOOTH AND REPAINTED. EXTERIOR PAINT SYSTEMS ARE AS FOLLOWS:

- EXTERIOR TRIM, SIDING, DOORS AND WINDOWS. (SEMI-GLOSS FINISH) ONE COAT PRIMER PLUS TWO FINISH COATS ACRYLIC LATEX BENJAMIN MOORE MOOROLO 100% ACRYLIC HOUSE AND TRIM PAINT OR EQUAL. COLOR AS SELECTED BY OWNER.
- EXTERIOR FERROUS METALS. (SEMI-GLOSS FINISH) ONE COAT ZINC RICH PRIMER PLUS TWO COATS ACRYLIC LATEX BENJAMIN MOORE MOOROLO 100% ACRYLIC OR EQUAL. HOUSE AND TRIM PAINT. NON-GLAZED GLASS AS SELECTED BY OWNER.
- ROOF PAINT (IF METAL). 1:1:2.

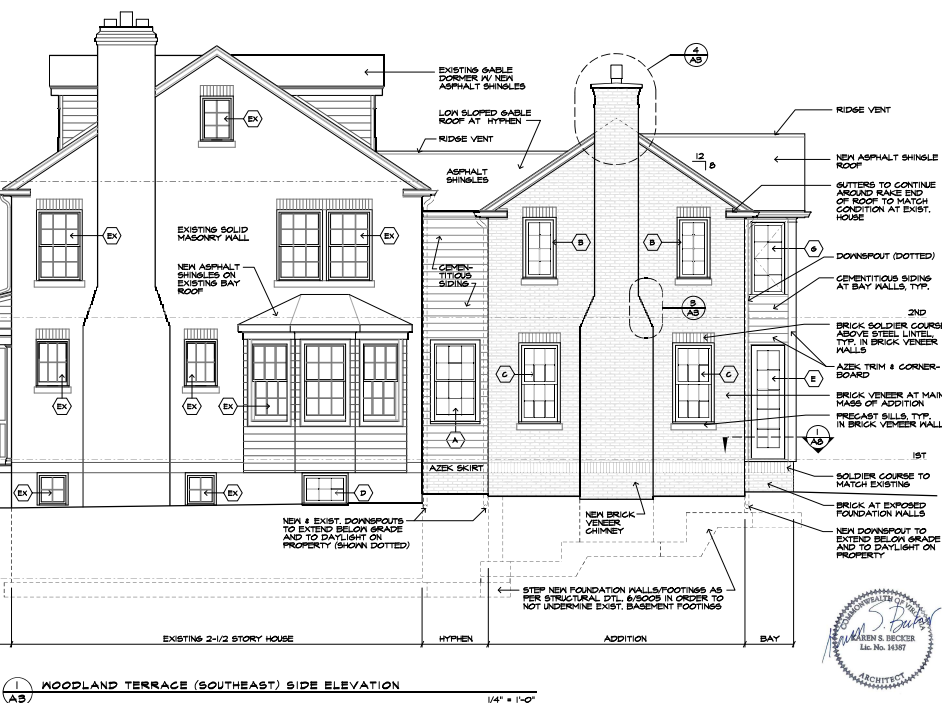
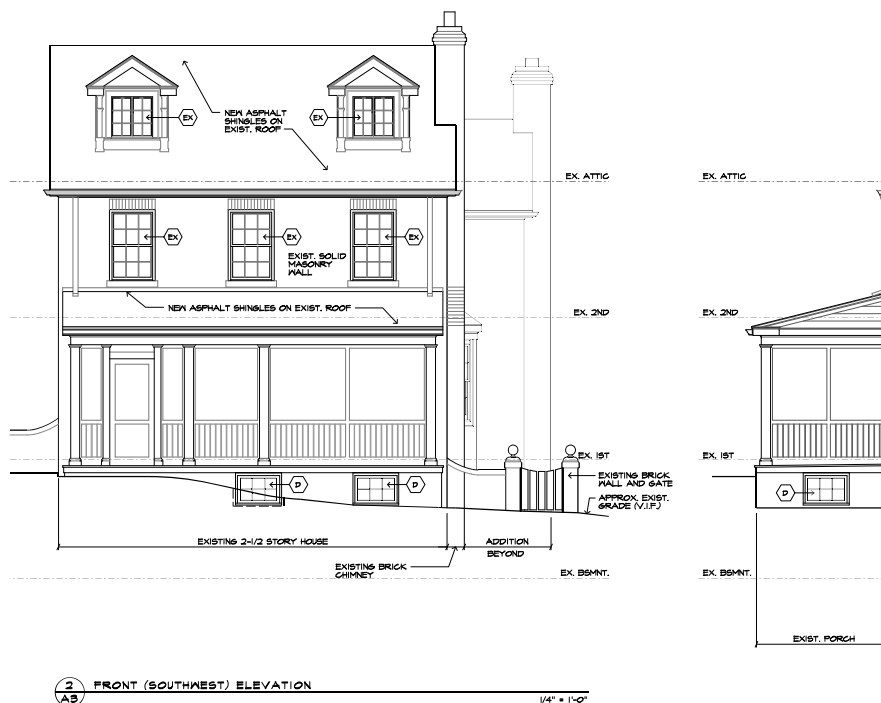
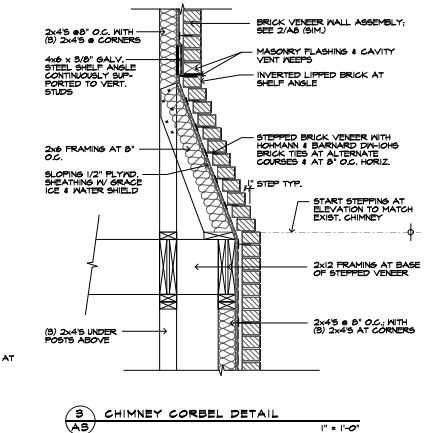
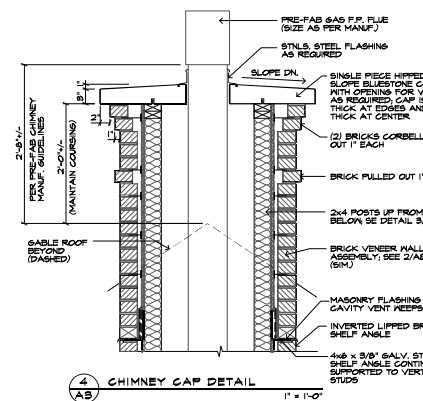
GUARDRAIL:

GUARDRAIL AT EXTERIOR STAIRS TO BASEMENT SHALL MEET ALL CODE MANDATED LOADING REQUIREMENTS AS FOLLOWS:

GUARDRAIL AND HANDRAIL 200 LB SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

GUARDRAIL INFILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL) APPLIED IN 3 PANEL FILLING SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 LB PER LINEAL FEET, EQUAL TO 1 SQUARE FOOT. LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

TOP OF GUARDRAILS SHALL BE AT 36" ABOVE ADJACENT WALKING SURFACE. ALL GUARD INFILL COMPONENTS SHALL BE LAYED OUT SO THAT A 2" SPHERE CANNOT PASS THROUGH AT ANY AREA OF THE GUARDRAIL. 6" C. AND RAILING FABRICATORS SHALL VERIFY THAT THE DESIGN SHOWN IN THE EXTERIOR ELEVATIONS MEETS ALL ABOVE REQUIREMENTS, AND SHALL MAKE NECESSARY MODIFICATIONS IF REQUIRED.



BECKER C.T.S. PLLC
906 Green Street, #238
783-454-2233
beckercntr@comcast.net

L Y N C H R E S I D E N C E
401 JACKSON PLACE
ALEXANDRIA, VA 22302

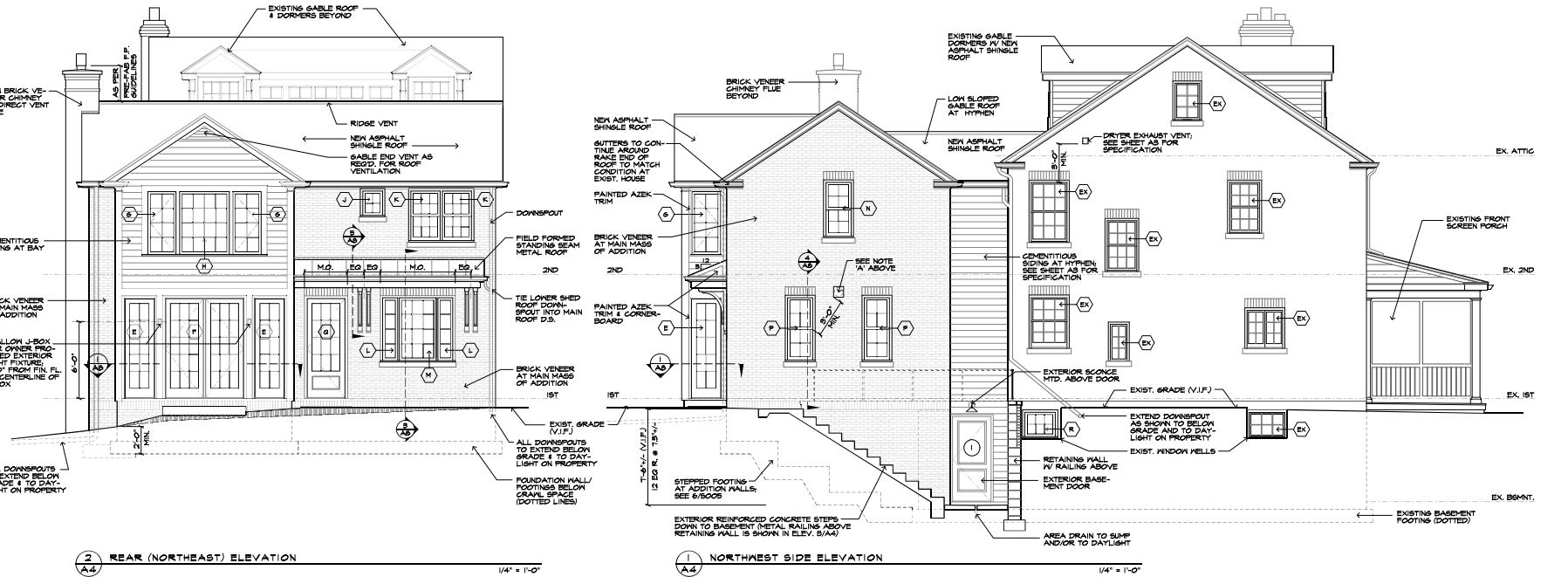
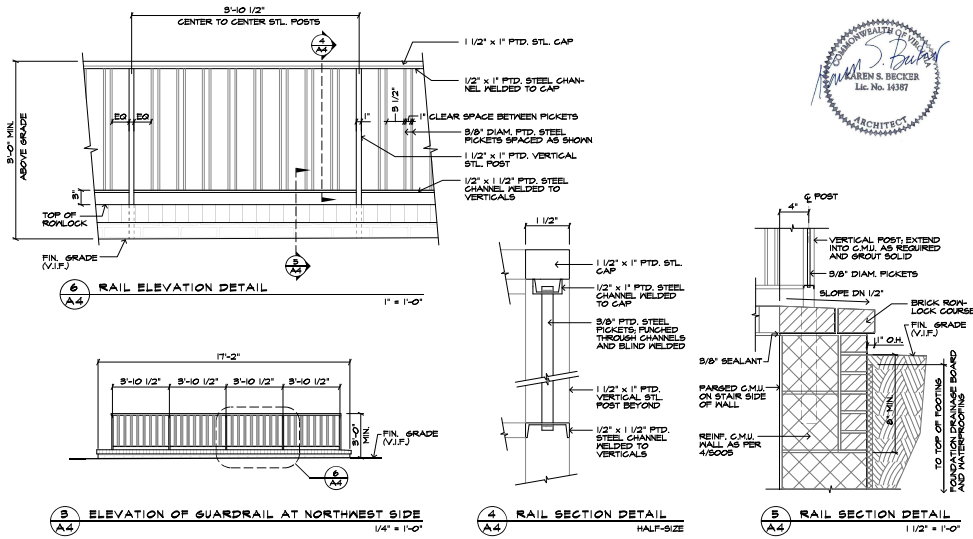
DATE: PERMIT SET: 4-28-24
SCALE: AS NOTED
SHEET: **A 3**

WINDOW SCHEDULE					
TYPE	MANUF.	MODEL #	R.O. DIM'S (W. x H.)	FUNCTION	REMARKS
(A)	REUSE EXIST. WINDOW	EXISTING	EXISTING	DOUBLE HUNG	INSTALL EXIST. DOUBLE-HUNG WINDOW REMOVED FROM DINING ROOM IN NEW ROOF FRAMED WALL.
(B)	JELD-WEN SITELINE	SWC2448	24 3/4" x 48 3/4"	FIXED CASEMENT	
(C)	JELD-WEN SITELINE	SWD2864	52 1/8" x 64 3/4"	DOUBLE HUNG	
(D)	JELD-WEN SITELINE	SWA3624	36 3/4" x 24 3/4"	AWNING	WINDOW TO BE INSTALLED IN EXIST. M.O. ORDER WITHOUT TRIM AND VERIFY EXACT M.O. IN FIELD.
(E)	JELD-WEN SITELINE	FRW19W2680	80 3/8" x 46"	FIXED PATIO DOOR	NIDE STYLE WIDTH; STANDARD BOTTOM RAIL.
(F)	JELD-WEN SITELINE	FRW19W480	76" x 46"	PAIR INSULATING PATIO DOORS	NIDE STYLE WIDTH; STANDARD BOT. RAIL; SEE NOTE II
(G)	JELD-WEN SITELINE	SWC2860	28 3/4" x 60 3/4"	CASEMENT	1/2" AND 1" WINDOWS AT REAR FACADE MAY BE FACTORY MULLED WITH 2" SOLID SPREAD MULL; SEE NOTE IO
(H)	JELD-WEN SITELINE	SWC4860	48 3/4" x 60 3/4"	FIXED CASEMENT	1/2" AND 1" WINDOWS AT REAR FACADE MAY BE FACTORY MULLED WITH 2" SOLID SPREAD MULL.
(J)	JELD-WEN SITELINE	SWC2024	20 3/4" x 24 3/4"	FIXED CASEMENT	
(K)	JELD-WEN SITELINE	SWD2448	30 1/8" x 48 3/4"	DOUBLE HUNG	
(L)	JELD-WEN SITELINE	QST70M	16 1/4" x 60 3/4"	FIXED CASEMENT	FIXED WINDOW SHALL HAVE SAME R.O. HEIGHT AS WINDOW # 4 R.O. WIDTH AS SHOWN; SEE NOTE BELOW
(M)	JELD-WEN SITELINE	SWC3660	36 3/4" x 60 3/4"	FIXED CASEMENT	1" AND 1" WINDOWS AT REAR FACADE MAY BE FACTORY MULLED FRAME TO FRAME; TO 1/2" M.O. WIDTH
(N)	JELD-WEN SITELINE	SWD2852	28 1/8" x 52 3/4"	DOUBLE HUNG	
(P)	JELD-WEN SITELINE	SWD2560	26 1/8" x 60 3/4"	SINGLE HUNG*	* WINDOW SHALL HAVE FIXED TOP SASH; OPERABLE BOTTOM SASH MORE THAN 30" FROM VENT
(Q)	JELD-WEN SITELINE	FRW19W2820	58 3/8" x 46"	INSULATING PATIO DOOR	NIDE STYLE WIDTH; CUSTOMIZED TO INCLUDE BOTTOM PANEL; SEE NOTE 7
(R)	JELD-WEN SITELINE	SWA3624	30 3/4" x 24 3/4"	AWNING	EXISTING FOUNDATION WALL SHALL BE INFILLED FOR SMALLER M.O. WIDTH THAN EXIST. WINDOW.
(EX)	EXISTING WINDOW TO REMAIN				

WINDOW SCHEDULE NOTES:

- ALL WINDOWS SHALL BE ROOF WINDOWS WITH INSULATED, ARGON-FILLED, LOW-E GLASS AND SIMULATED DIVIDED LITES WITH 5/8" MANTIN BARS. EXTERIOR MANTIN BARS SHALL BE PRIMED ROOF WITH 3/8" PUTTY PROFILE. GRILLE PATTERNS SHALL MATCH THOSE SHOWN IN EXTERIOR ELEVATIONS.
- ALL OPERABLE WINDOWS SHALL BE INSTALLED WITH SCREENS. VERIFY SCREEN STYLE WITH OWNER BASED ON WINDOW MANUFACTURER'S OPTIONS.
- ALL OPERABLE CASEMENT WINDOWS SHALL BE PUSH-OUT WITH JELD-WEN PUSH-OUT HANDLES EXCEPT WINDOW #9 (SEE NOTE IO BELOW). FINISH ON ALL WINDOW HARDWARE SHALL BE ANTIQUE BRASS. FINISH ON ALL PATIO DOOR HARDWARE SHALL BE ANTIQUE BRASS.
- ALL SIZES IN SCHEDULE ABOVE ARE BASED ON JELD-WEN SITELINE COLLECTION ALL-WOOD WINDOWS. INTERIOR FINISH SHALL BE PRIME PINE.
- AT AREAS WHERE NEW WINDOWS WILL BE INSTALLED IN EXISTING MASONRY OPENINGS, E.G. SHALL FIELD VERIFY EXISTING MASONRY OPENINGS TO VERIFY THAT SPECIFIED WINDOWS WILL FIT IN EXISTING MASONRY OPENINGS.
- GLAZING IN ALL INSULATING PATIO DOORS, IN FIXED SIGHTLIGHTS, IN WINDOWS ABOVE MAIN BATH SOAKING TUB AND WINDOW IN MAIN BATH SHOWER SHALL BE TEMPERED SAFETY GLASS AS PER 2018 IRC SECTION R602.4.
- AT PATIO DOOR #2 PROVIDE JELD-WEN STANDARD CRAFTSMAN PANEL OPTION WITH HORIZONTAL LOGORAIL AT 2-1/2" APF TO TOP OF RAIL; WITH GLASS ABOVE AND FLAT PANEL BELOW. PROVIDE AND INSTALL ROOF EXTERIOR SCREEN DOOR.
- ALL WINDOWS INSTALLED IN BRICK VENEER WALLS SHALL HAVE 6 7/8" JAMB WIDTH, JELD-WEN STANDARD SILL NOSE, AND BRICKMOULD. ALL WINDOWS INSTALLED IN ROOF FRAMED WALLS SHALL HAVE STANDARD 4 7/8" JAMB DEPTHS AND NO ATTACHED EXTERIOR TRIM. EXTERIOR TRIM SHALL BE ADDED IN THE FIELD (SIZES AS PER EXTERIOR ELEVATIONS AND BAY DETAILS).
- DISTRIBUTOR'S WINDOW QUOTE DETAILING EACH WINDOW SPECIFIED ABOVE SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING WINDOWS.
- WINDOW #9 WINDOWS IN MAIN BEDROOM SHALL BE PROVIDED WITH JELD-WEN EGRESS HINGE IN ORDER TO MEET VIBS EMERGENCY EGRESS REQUIREMENTS. EGRESS HINGE SHALL BE HANDLED AS REQUIRED.
- AT PATIO DOORS #7, SCREEN DOORS SHALL BE DOUBLE DOOR SCREENS WITH MESHLOCK & LATCHING HANDLES, BY PHANTOM SCREENS. SCREEN FRAME COLOR SHALL BE CLASSIC WHITE OR CALICO LINEN (E.G. SHALL PROVIDE COLOR SAMPLES TO OWNER FOR FINAL SELECTION). SCREEN MESH SHALL BE PHIFER 1/4" INSECT MESH - CHARCOAL.

KEYED EXTERIOR ELEVATION NOTES:
 A) RANGE HOOD EXHAUST FAN SHALL VENT THROUGH THE EXTERIOR WALL WITH WALL VENT CAP. VENT CAP SHALL BE AT LEAST 8'-0" MINIMUM FROM ANY OPERABLE WINDOW. WINDOW #1 SHALL BE SINGLE-HUNG WITH TOP SASH FIXED AND BOTTOM SASH OPERABLE IN ORDER TO MEET THE 3'-0" REQUIREMENT. AS PER WISCONSIN STATE DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE. SHALL BE AIRTIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. WALL VENT CAP SHALL BE DWVCS OR DWVCO COPPER CAP BY LUXURY METALS OR EQUAL. SIZE SHALL BE DETERMINED BY THE DIAMETER OF THE RANGE HOOD DUCT.



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 4-28-24

SCALE:
 AS NOTED

SHEET:
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REFLECTED CEILING/LIGHTING PLAN SYMBOLS LEGEND

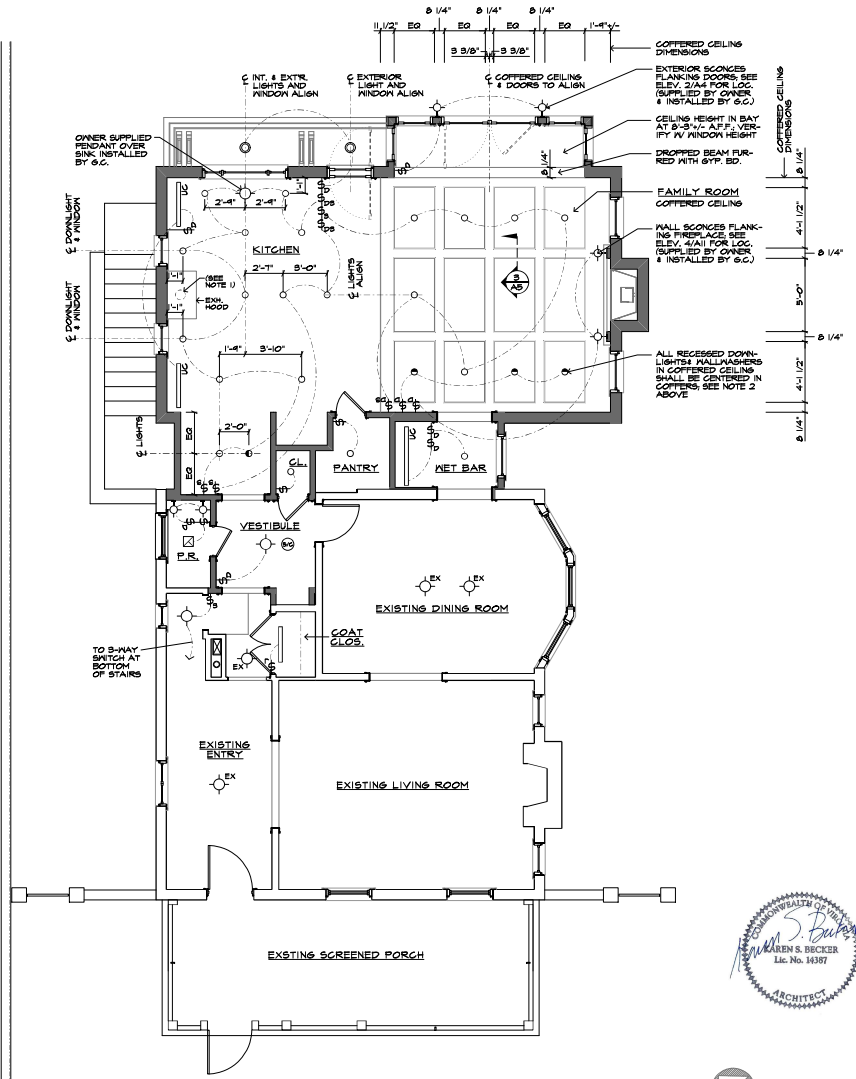
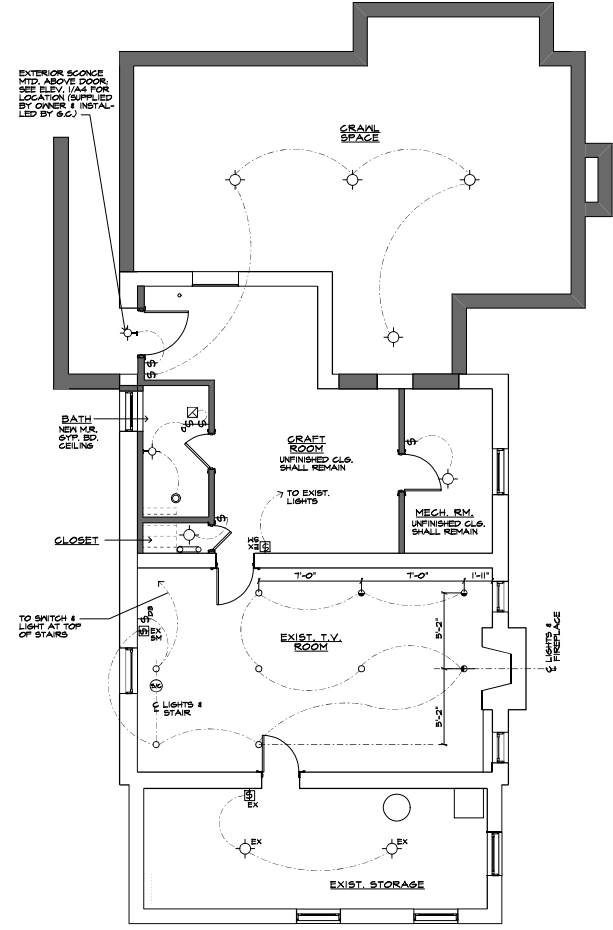
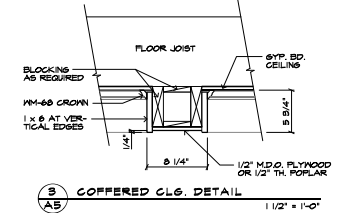
EX	EXISTING FIXTURE TO REMAIN AS-IS	§	SINGLE POLE SWITCH
○	RECESSED LED DOWNLIGHT	§§	2-WAY SWITCH
○	RECESSED LED ADJUSTABLE DOWNLIGHT OR WALLWASHER	§§	4-WAY SWITCH
○	RECESSED LED RECESSED DOWNLIGHT OR PENDANT LIGHT	§§	DIMMER SWITCH
○	RECESSED LED PENDANT LIGHT FOR NET LOC.	§§	CEILING FAN SWITCH
○	SURFACE MOUNTED FIXTURE, PENDANT OR CHANDELIER	§§	JAMB SWITCH
○	WALL MOUNTED FIXTURE/SCENGE	§§	COMBINATION SMOKE ALARM/ CARBON MONOXIDE ALARM
—	LINEAR LED LED LIGHTING	§	JUNCTION BOX
—	LINEAR LED LED UNDER-CABINET LIGHTING	§	SPEAKER
⊠	EXHAUST FAN	§	
⊠	CEILING FAN (WITH OR WITHOUT LIGHT AS PER OWNER)		

R.C.P./LIGHTING NOTES:

- 1) ALL INTERIOR AND EXTERIOR LIGHTS DESIGNATED WITH A 'D' SHALL BE ON DIMMER SWITCHES. AT LOCATIONS SHOWN WITH MULTIPLE SWITCHING LOCATIONS, CONFIRM WITH OWNER WHICH SWITCH LOCATION SHALL HAVE DIMMING CAPABILITY.
- 2) ANY LIGHT FIXTURES SHOWN IN SHOWER OR BATHUB/SHOWER LOCATIONS SHALL BE UL RATED FOR NET LOCATION USE.
- 3) ALL EXISTING SMOKE DETECTORS SHALL REMAIN. ALL DETECTORS SHOWN ON PLANS SHALL BE COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS INSTALLED AS PER ALL CURRENT BUILDING CODES.
- 4) ANY LIGHT FIXTURES RECESSED INTO CEILINGS WITH INSULATION SHALL BE I.C. RATED. ANY LIGHT FIXTURES IN CLOSETS SHALL BE LENSED.
- 5) ANY LIGHT FIXTURES SHOWN ON EXTERIOR OF HOUSE SHALL BE UL RATED FOR NET LOCATION USE.
- 6) ALL NEW ELECTRICAL DEVICES AND LIGHT SWITCHES, DIMMER SWITCHES AND COVERPLATES SHALL BE BY LITRON (DYVA DESIGN WHITE FINISH U.O.N). ALL DIMMER SWITCHES SHALL BE COMPATIBLE WITH LED LAMPING IN EXA FIXTURE.

KEYED FIRST FLOOR R.C.P. NOTES:

- 1) HOOD EXHAUST DUCT SHALL EXTEND THROUGH EXTERIOR WALL TO EXTERIOR WALL CAP AS PER ELEVATION 1/4. VENT CAP SHALL BE AT LEAST 3'-0" MINIMUM FROM ANY OPERABLE WINDOW. ADJACENT TO WINDOW SHALL BE SINGLE-HING WITH TOP SASH FIXED AND BOTTOM SASH OPERABLE IN ORDER TO MEET THE 6'-0" REQUIREMENT.
- 2) S.C. SHALL COORDINATE LOCATION OF 2ND FLR JOISTS WITH 1ST FLR COFFERS SO THAT ALL RECESSED DOWNLIGHTS CAN BE CENTERED IN EACH COFFER.



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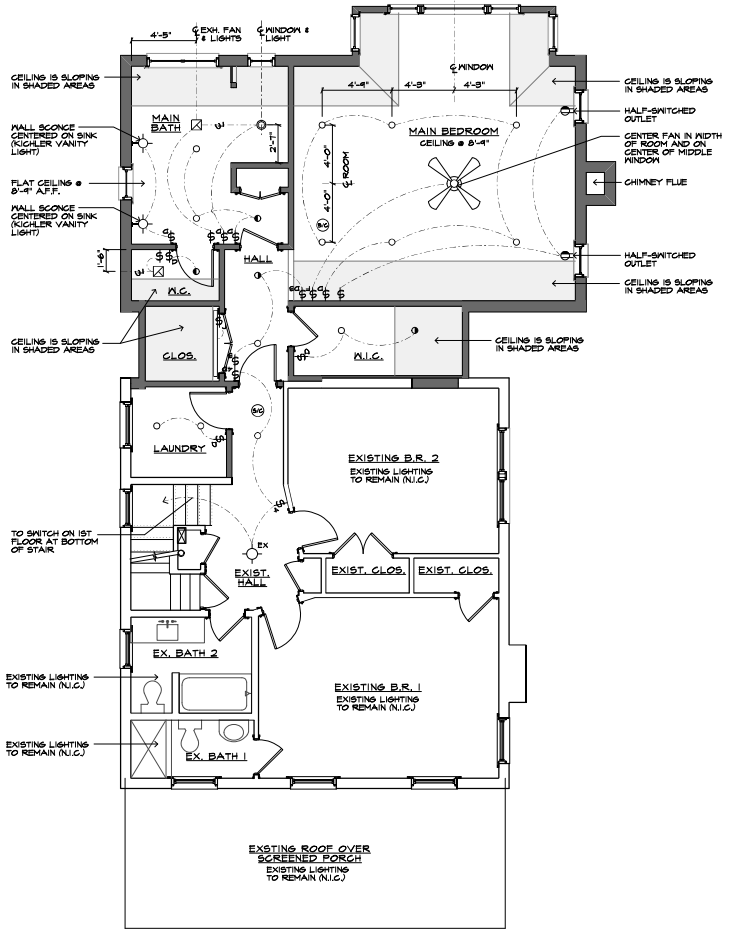
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REFLECTED CEILING/LIGHTING PLAN SYMBOLS LEGEND			
EX	EXISTING FIXTURE TO REMAIN AS-IS	⚡	SINGLE POLE SWITCH
○	RECESSED LED DOWNLIGHT	⚡	3-WAY SWITCH
○	RECESSED LED ADJUSTABLE DOWNLIGHT OR WALLWASHER	⚡	4-WAY SWITCH
○	RECESSED LED WATERPROOF FIXTURE RATED FOR WET LOC.	⚡	DIMMER SWITCH
○	RECESSED LED WATERPROOF PENDANT OR CHANDELIER	⚡	CEILING FAN SWITCH
○	SURFACE MOUNTED FIXTURE PENDANT OR CHANDELIER	⚡	JAMB SWITCH
○	HALL MOUNTED FIXTURE/SCONCE	⚡	COMBINATION SMOKE ALARM/ CARBON MONOXIDE ALARM
—	LINEAR LEDDED LED LIGHTING	⚡	JUNCTION BOX
—	LINEAR LEDDED LED UNDER-CABINET LIGHTING	⚡	SPEAKER
☒	EXHAUST FAN		
⊗	CEILING FAN WITH OR WITHOUT LIGHT AS PER OWNER		

R.C.P./LIGHTING NOTES:

- 1) ALL INTERIOR AND EXTERIOR LIGHTS DESIGNATED WITH A 'D' SHALL BE ON DIMMER SWITCHES. AT LOCATIONS SHOWN WITH MULTIPLE SWITCHING LOCATIONS, CONFORM WITH OWNER PREFER SWITCH LOCATION SHALL HAVE DIMMING CAPABILITY.
- 2) ANY LIGHT FIXTURES SHOWN IN SHOWER OR BATHTUB/SHOWER LOCATIONS SHALL BE UL RATED FOR WET LOCATION USE.
- 3) ALL EXISTING SMOKE DETECTORS SHALL REMAIN. ALL DETECTORS SHOWN ON PLANS SHALL BE COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS INSTALLED AS PER ALL CURRENT BUILDING CODES.
- 4) ANY LIGHT FIXTURES RECESSED INTO CEILINGS WITH INSULATION SHALL BE I.C. RATED. ANY LIGHT FIXTURES IN CLOSETS SHALL BE LENSED.
- 5) ANY LIGHT FIXTURES SHOWN ON EXTERIOR OF HOUSE SHALL BE UL RATED FOR WET LOCATION USE.
- 6) ALL NEW ELECTRICAL DEVICES AND LIGHT SWITCHES, DIMMER SWITCHES AND COVERPLATES SHALL BE BY LITTON (DVA DESIGN, WHITE FINISH UGN). ALL DIMMER SWITCHES SHALL BE COMPATIBLE WITH LED LAMPING IN EX. FIXTURE.



1 AB SECOND FLOOR REFLECTED CEILING/LIGHTING PLAN 1/4" = 1'-0"



1608C SECTION R406.3 INVENTED CRAWL SPACE

FOR INVENTED UNDER-FLOOR SPACES, THE FOLLOWING ITEMS SHALL BE PROVIDED:

1. EXPOSED EARTH SHALL BE COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND SHALL BE SEALED ON TAPER. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.

2. ONE OF THE FOLLOWING SHALL BE PROVIDED FOR THE UNDER-FLOOR SPACE:

2.1. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M²) OF CRAWL SPACE FLOOR AREA, INCLUDING AIR PATHWAYS TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION 1102.2.1 OF THE 2008 IBC.

2.2. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M²) OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION 1102.2.1 OF THE 2008 IBC.

2.3. FLENUM IN EXISTING STRUCTURES COMPLYING WITH SECTION 1102.2.1 OF UNDER-FLOOR SPACE IS USED AS A FLENUM.

2.4. DEMINERALIZATION SIZED TO PROVIDE TO MINUS (20 LITERS) OF MOISTURE REMOVAL PER DAY FOR EVERY 1,000 SQUARE FEET (93 M²) OF CRAWL SPACE FLOOR AREA.

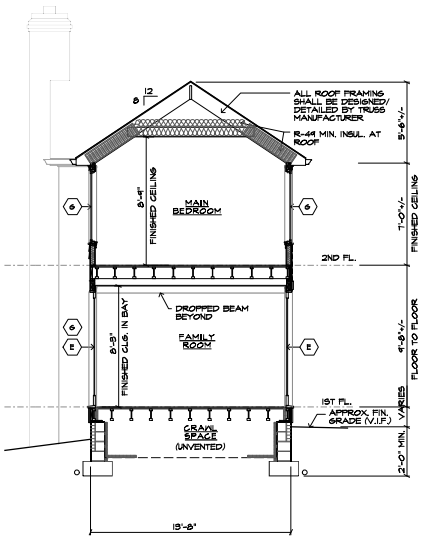
3. G.C. SHALL PROVIDE AND INSTALL 2" XPS RIGID INSULATION AT CRAWL SPACE WALLS AS PER 1102.2.1 (R402.2.1) BELOW.

1608C SECTION 1102.2.1 (R402.2.1) CRAWL SPACE WALLS

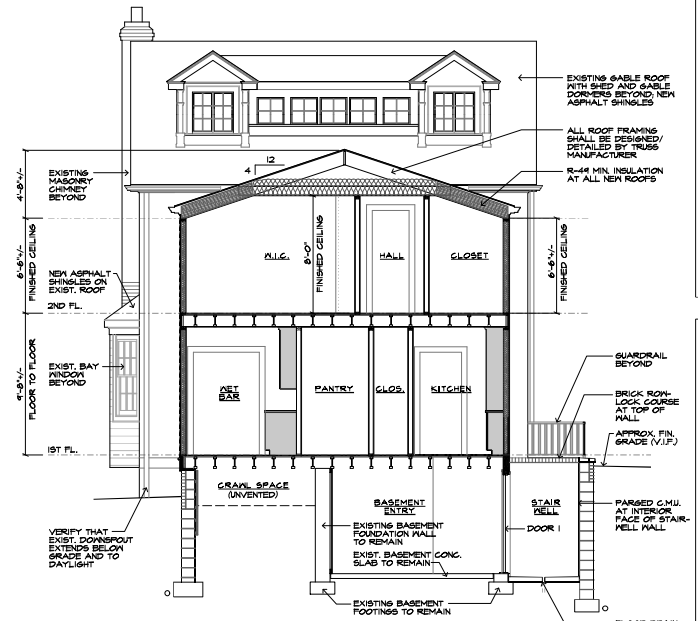
AS AN ALTERNATIVE TO INSULATING FLOORS OVER CRAWL SPACES, CRAWL SPACE WALLS SHALL BE INSULATED PROVIDED THAT THE CRAWL SPACE IS NOT VENTED TO THE OUTDOORS. CRAWL SPACE WALL INSULATION SHALL BE PERMANENTLY FASTENED TO THE WALL AND SHALL EXTEND DOWNWARD FROM THE FLOOR TO THE FINISHED GRADE ELEVATION AND THEN VERTICALLY OR HORIZONTALLY FOR NOT LESS THAN AN ADDITIONAL 24 INCHES (609 MM). EXPOSED EARTH IN INVENTED CRAWL SPACE FOUNDATIONS SHALL BE COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER IN ACCORDANCE WITH THE JOINT JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND BE SEALED ON TAPER. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALLS AND SHALL BE ATTACHED TO THE STEM WALLS.

1608C SECTION R406.3.1 TERMITE INTERSECTION

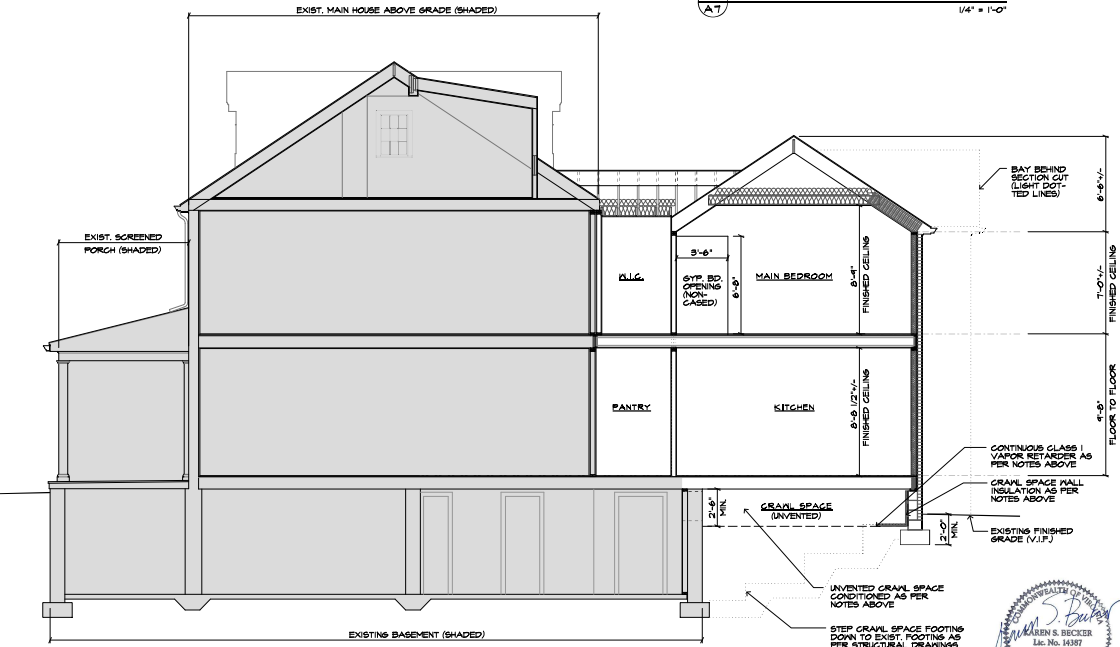
WHERE AN INVENTED CRAWL SPACE IS INSTALLED AND MEETS THE CRITERIA IN SECTION R406.3, THE VERTICAL FACE OF THE BULL PLATE SHALL BE CLEAR AND UNOBSTRUCTED AND AN INSPECTION GAP SHALL BE PROVIDED BELOW THE BULL PLATE ALONG THE TOP OF ANY INTERIOR FOUNDATION WALL COVERING. THE GAP SHALL BE A MINIMUM OF 1 INCH (25.4 MM) AND A MAXIMUM OF 3 INCHES (76.2 MM) IN WIDTH AND SHALL EXTEND THROUGHOUT ALL PARTS OF ANY FOUNDATION THAT IS EXPOSED. JOINTS BETWEEN THE BULL PLATE AND THE TOP OF ANY INTERIOR WALL COVERING MAY BE SEALED.



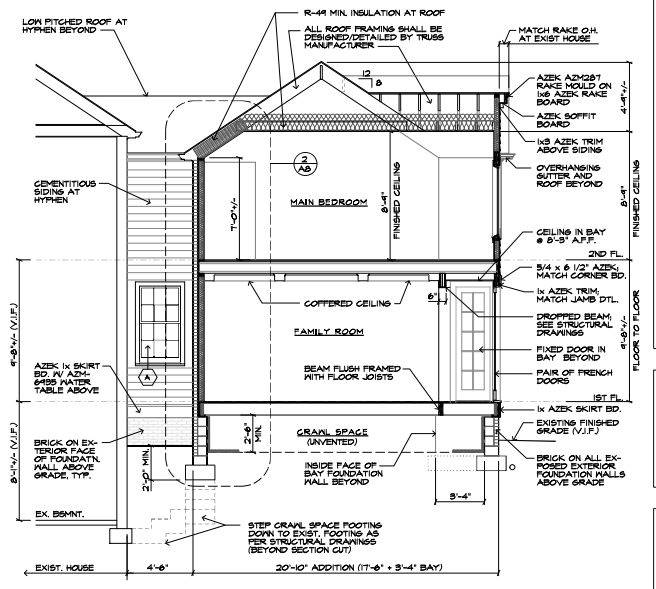
4 BUILDING SECTION THROUGH BAY
1/4" = 1'-0"



3 BUILDING SECTION THROUGH HYPHEN
1/4" = 1'-0"



2 BUILDING SECTION THROUGH EXISTING HOUSE AND ADDITION
1/4" = 1'-0"



1 BUILDING SECTION THROUGH ADDITION/ELEV. AT HYPHEN
1/4" = 1'-0"



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DOOR SPECIFICATIONS/NOTES:

- 1) ALL NEW INTERIOR STILE AND RAIL DOORS SHALL BE REED PR6020 PRIMED DOORS WITH 3/8" MDF FLAT PANEL AND CYCLO STICKING.
- 2) CONTRACTOR SHALL SALVAGE ALL DOORS & HARDWARE REMOVED DURING DEMOLITION PHASE AND REUSE TO FULFILL REQUIREMENTS OF DOOR SCHEDULE.
- 3) NEW EXTERIOR BASEMENT DOOR (DOOR 1) SHALL BE 2-PANEL THERMA-TRU SMOOTH-STAR FIBERGLASS DOOR, MODEL 6220 (OR EQUAL).
- 4) NEW EXTERIOR WOOD 4 6LASS AND FRENCH DOORS ARE SCHEDULED ON WINDOW SCHEDULE AND SHALL BE BY JELD-WEN.
- 5) ALL NEW AND EXISTING DOORS, FRAMES AND CASING SHALL BE PAINTED WITH LATEX SEMI-GLOSS ENAMEL IN COLORS SELECTED BY OWNER.

HARDWARE SCHEDULE

HOW SET A:
 - ENTRANCE FUNCTION WITH KNOBS, SINGLE CYLINDER, EMTEK 'PROVIDENCE' KEY-IN KNOB WITH REGULAR ROSETTE (UNLAQUERED BRASS FINISH)
 - DEADBOLT, EMTEK LOW PROFILE KEVED DEADBOLT SINGLE CYLINDER (UNLAQUERED BRASS FINISH)
 - 1 1/2 PAIR SQUARE EDGED FULL MORTISE, BALL BEARING BUTT HINGES (UNLAQUERED BRASS FINISH)
 - SPRING BRONZE FEATHERSTRIPPING
 - THRESHOLD

OPERATION:
 - DOOR IS OPEVABLE FROM INSIDE WITH THUMBTURNS AND SHALL UNLOCK AT OUTSIDE WITH KEY.

HOW SET B:
 - PRIVACY FUNCTION, EMTEK 'ASTORIA' CRYSTAL KNOBS WITH REGULAR ROSETTE (UNLAQUERED BRASS FINISH)
 - 1 1/2 PAIR SQUARE EDGED, FULL MORTISE, BALL BEARING BUTT HINGES (UNLAQUERED BRASS FINISH)
 - SILENCERS

OPERATION:
 - DOOR IS OPEVABLE FROM INSIDE WITH THUMBTURN AND SHALL UNLOCK AT OUTSIDE WITH EMERGENCY KEY.

HOW SET C:
 - PASSAGE FUNCTION WITH KNOBS, EMTEK 'ASTORIA' CRYSTAL KNOBS WITH REGULAR ROSETTE (UNLAQUERED BRASS FINISH)
 - 1 1/2 PAIR SQUARE EDGED, FULL MORTISE, BALL BEARING BUTT HINGES (UNLAQUERED BRASS FINISH)
 - SILENCERS

OPERATION:
 - DOOR IS OPEVABLE FROM INSIDE AND OUTSIDE AT ALL TIMES

HOW SET D:
 - PAIR OF DUMMY KNOBS, EMTEK 'ASTORIA' CRYSTAL KNOBS WITH REGULAR ROSETTE (UNLAQUERED BRASS FINISH)
 - 3 PAIR SQUARE EDGED FULL MORTISE, BALL BEARING BUTT HINGES (UNLAQUERED BRASS FINISH)
 - 1 PAIR ROLLER BALL CATCHES AT HEAD (UNLAQUERED BRASS FINISH)
 - SILENCERS

HARDWARE NOTES:

- 1) PROVIDE WALL BUMPERS AS NECESSARY AT ALL DOORS (UNLAQUERED BRASS FINISH)
- 2) FINISH ON ALL HARDWARE SPECIFIED ABOVE SHALL BE UNLAQUERED BRASS. IF UNLAQUERED BRASS IS NOT AVAILABLE ON THE PRE-HANG DOOR HINGES OFFERED BY REED DOORS, PLEASE PROVIDE FINISH SAMPLES TO OWNER/ARCHITECT SO THAT AN ALTERNATE FINISH MAY BE SELECTED.

INTERIOR FINISH & MATERIALS NOTES/SPECIFICATIONS:

- 1) ALL INTERIOR WALLS SHALL BE 1/2" PAINTED GYP. BD. ON 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED ON DRAWINGS AND WITH THE FOLLOWING EXCEPTIONS:
 - a) ALL TUB/SHOWER WALLS SHOWN ON INTERIOR ELEVATIONS AS CERAMIC TILE SHALL BE TILE OVER CEMENTITIOUS TILE BACKER BOARD.
- 2) ALL NEW WOOD BASE AND NEW WOOD WINDOW AND DOOR CASING SHALL MATCH EXISTING, INCLUDING EXIST. PLINTH BLOCKS. B.C. TO VERIFY WHETHER STANDARD PROFILES ARE AVAILABLE THAT MATCH EXISTING OR WHETHER CUSTOM PROFILES ARE REQUIRED. B.C. SHALL INFORM OWNER AND ARCHITECT OF ANY UPCHARGE DUE TO CUSTOM PROFILES.
- 3) IN MAIN BATH AND BASEMENT SHOWER CERAMIC TILE SHALL BE INSTALLED OVER WATERPROOF SHOWER PAN AS PER APPROPRIATE TCA METHOD FOR WOOD OR CONCRETE SUBFLOOR.
- 4) ALL FLOORING CALLED OUT ON PLANS AND IN FINISH SCHEDULE AS HARDWOOD FLOOR SHALL BE OAK STRIP FLOORING TO MATCH EXISTING STRIP FLOORING, IN SPECIES, SIZE AND FINISH.
- 5) ALL EXISTING HARDWOOD (OAK STRIP) FLOORING SHALL BE SANDED DOWN AND REFINISHED, INCLUDING ALL CLOSETS, HALLWAYS AND STAIRS.
- 6) ALL KITCHEN APPLIANCES SHOWN ON FLOOR PLANS SHALL BE SUPPLIED BY OWNER AND INSTALLED BY O.C.

DOOR SCHEDULE								
NO.	TYPE	MAT.	W	H	THK	HW		REMARKS
1	EXTERIOR STILE AND RAIL DOOR	PAINTED FIBERGLASS	3'-0"	6'-8"	1 3/4"	A		
2	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-4"	6'-8"	1 3/8"	B		
3	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	1'-8"	6'-8"	1 3/8"	C		
4	REUSE EXIST. PAINTED MOOD STILE & RAIL SWINGING DOOR	EXISTING	2'-6"	6'-8"	1 3/8"	EX		RE-INSTALL EXISTING DOOR AS IN SWINGING INTO EXISTING STORAGE
5	REUSE EXIST. PAINTED MOOD STILE & RAIL SWINGING DOOR	EXISTING	2'-6"	6'-8"	1 3/8"	EX		RE-USING EXIST. DOOR, VERIFY EXACT DOOR SIZE IN FIELD
6	CASED OPENING	N/A	2'-10"	6'-8"	N/A	N/A		
7	CASED OPENING	N/A	2'-10"	6'-8"	N/A	N/A		
8	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-0"	6'-8"	1 3/8"	C		
9	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-0"	6'-8"	1 3/8"	C		
10	REUSE EXIST. PAINTED MOOD STILE & RAIL SWINGING DOOR	EXISTING	2'-0"	6'-8"	1 3/8"	EX		RE-USING EXIST. DOOR, VERIFY EXACT DOOR SIZE IN FIELD
11	PAIR OF INTERIOR STILE AND RAIL DOORS	PTD. MDF	(2) 2'-0"	6'-8"	1 3/8"	D		
12	REUSE EXIST. PAINTED MOOD STILE & RAIL SWINGING DOOR	EXISTING	2'-6"	6'-8"	1 3/8"	EX		RE-USING EXIST. DOOR, VERIFY EXACT DOOR SIZE IN FIELD
13	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-6"	6'-8"	1 3/8"	B		
14	PAIR OF INTERIOR STILE AND RAIL DOORS	PTD. MDF	(2) 2'-0"	6'-8"	1 3/8"	D		
15	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-6"	6'-8"	1 3/8"	B		
16	PAIR OF INTERIOR STILE AND RAIL DOORS	PTD. MDF	(2) 1'-4"	6'-8"	1 3/8"	D		
17	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-6"	6'-8"	1 3/8"	B		INSTALL OAK THRESHOLD
18	INTERIOR STILE AND RAIL SWINGING DOOR	PTD. MDF	2'-4"	6'-8"	1 3/8"	C		

FINISH SCHEDULE								
ROOM NAME	RM. NO.	FLOORS	WALLS	BASE	CEILING	CLG. HGT.		REMARKS
BASEMENT ENTRY	800	L.V.T.	EXIST. & NEW PTD. G.P.B.	N/A	EXISTING	7'-2 1/2"		
BATH	801	CERAMIC TILE ON CONC. SLAB	PTD. G.P.B. & CER. TILE	PTD. MD.	PTD. M.R. G.P.B.	7'-2 1/2"		SEE NOTE 1 BELOW
CLOSET	802	L.V.T.		N/A	EXISTING	7'-2 1/2"		
CRAFT ROOM	803	L.V.T.	EXIST. & NEW PTD. G.P.B.	N/A	EXISTING	7'-2 1/2"		
MECHANICAL ROOM	804	CONCRETE SLAB	EXIST. & NEW PTD. G.P.B.	N/A	EXISTING	7'-2 1/2"		
EXIST. TV ROOM	805	L.V.T.	EXISTING*	PTD. MD.	PTD. G.P.B.	7'-4 1/2"		* EXIST. WALLS SHALL BE PARSED FOR SMOOTH FINISH
EXISTING STORAGE	806	EXISTING CONCRETE SLAB	EXISTING	N/A	EXISTING	7'-4 1/2"		
FAMILY ROOM	100	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8 1/2"		CEILING IS COFFERED; REFER R.C.P. AND INT. ELEV'S.
KITCHEN	101	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8 1/2"		
CLOSET	102	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8 1/2"		
PANTRY	103	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8 1/2"		
NET BAR	104	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8 1/2"		
EXIST. DINING ROOM	105	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE REFINISHED	PTD. G.P.B.	EXIST. MD.	PTD. G.P.B.	8'-8"		
VESTIBULE	106	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE PATCHED AS REQ'D.	EXIST. & NEW PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-8"		
POWDER ROOM	107	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE PATCHED AS REQ'D.	PTD. G.P.B.	PTD. MD.	EXISTING	8'-8"		
EXISTING ENTRY	108	NEW STAINED STRIP WOOD FLOOR TO MATCH EXIST. IN D.R.	EXISTING	EXIST. MD.	EXISTING	8'-8"		
EXIST. LIVING ROOM	109	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE PATCHED AS REQ'D.	EXISTING	EXIST. MD.	EXISTING	8'-8"		
MAIN BEDROOM	200	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	7'-0 1/4" TO 8'-4"		
MAIN BATH	201	CERAMIC TILE	PTD. M.R. G.P.B. & CER. TILE	PTD. MD.	PTD. M.R. G.P.B.	8'-6 1/4" TO 8'-0"		INSTALL CEMENTITIOUS BACKER BRD. ON ALL SHOWER WALLS TO RECEIVE CERAMIC TILE; SEE NOTE 1 BELOW
WATER CLOSET	202	CERAMIC TILE	PTD. M.R. G.P.B.	PTD. MD.	PTD. M.R. G.P.B.	8'-6 1/4" TO 8'-0"		SEE NOTE 1 BELOW
CLOSET	203	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-6 1/4" TO 8'-0"		
HALL	204	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-0"		
HALL-IN-CLOSET	205	NEW STAINED STRIP WOOD FLOOR TO MATCH EXISTING	PTD. G.P.B.	PTD. MD.	PTD. G.P.B.	8'-6 1/4" TO 8'-0"		
EXISTING B.R. 2	206	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE REFINISHED	EXISTING	EXIST. MD.	EXISTING	8'-4 1/2"		
EXISTING HALL	207	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE REFINISHED	EXIST. & NEW PTD. G.P.B.	EXIST. & NEW PTD. MD.	EXISTING	8'-4 1/2"		
LAUNDRY	208	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE PATCHED AS REQ'D.	EXIST. & NEW PTD. G.P.B.	PTD. MD.	EXISTING	8'-4 1/2"		
EXISTING BATH 2	209	EXISTING CERAMIC TILE	EXISTING	EXIST. C.T.	EXISTING	8'-4 1/2"		
EXISTING B.R. 1	210	EX. STAINED STRIP MD. FLOOR TO REMAIN & BE REFINISHED	EXISTING	EXIST. MD.	EXISTING	8'-4 1/2"		
EXISTING BATH 1	211	EXISTING CERAMIC TILE	EXISTING	EXIST. C.T.	EXISTING	8'-4 1/2"		

FINISH SCHEDULE NOTES:

- 1) NEW CERAMIC TILE ON FLOORS IN ALL ROOMS SCHEDULED ABOVE SHALL BE INSTALLED OVER CRACK ISOLATION MEMBRANE.
- 2) IN ALL EXISTING ROOMS SCHEDULED ABOVE CEILING HEIGHTS ARE APPROXIMATE, B.C. SHALL V.I.F.
- 3) IN ALL ROOMS SCHEDULED ABOVE, WALL FINISHES SHOWN ARE FOR NEW WALLS; EXISTING WALLS ARE EITHER PAINTED G.P.B. OR PAINTED PLASTER.



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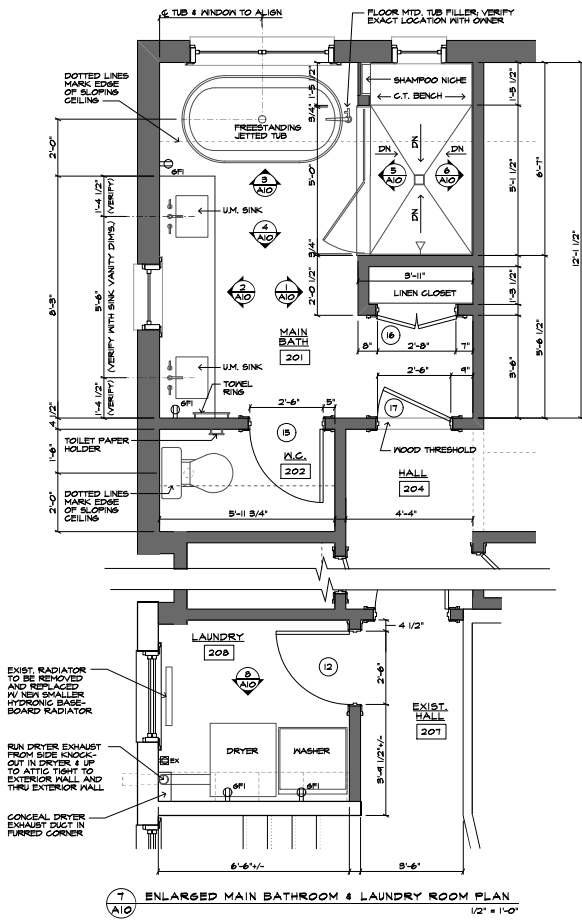
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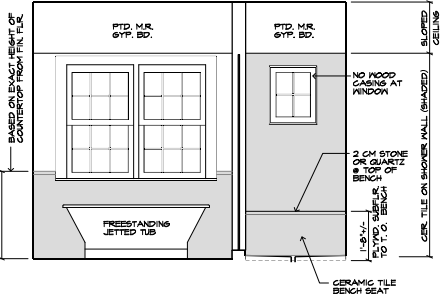
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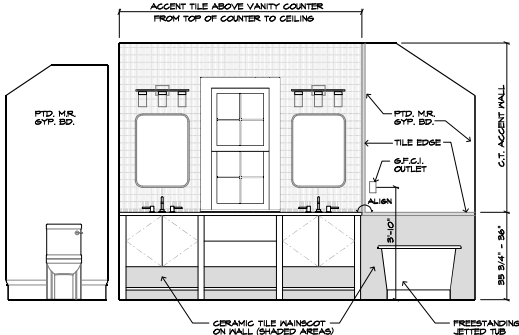
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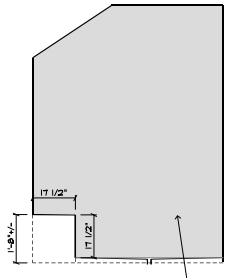
7 ENLARGED MAIN BATHROOM & LAUNDRY ROOM PLAN
1/2" = 1'-0"



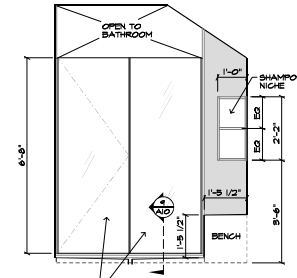
3 ELEVATION AT TUB AND SHOWER INTERIOR
1/2" = 1'-0"



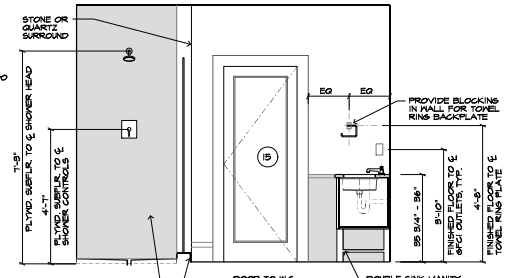
2 ELEVATION AT M.C. AND SINK VANITY
1/2" = 1'-0"



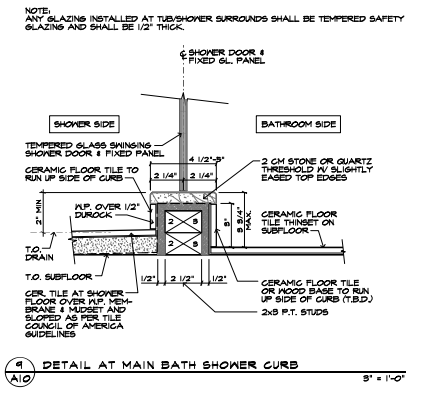
6 ELEV. AT SHOWER INTERIOR
1/2" = 1'-0"



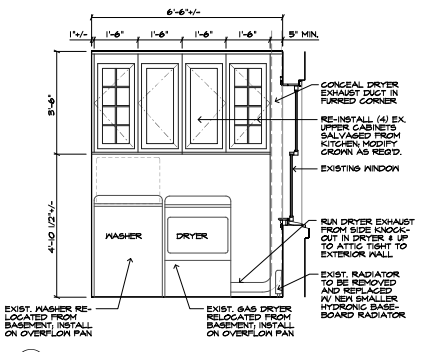
5 ELEV. AT SHOWER INTERIOR
1/2" = 1'-0"



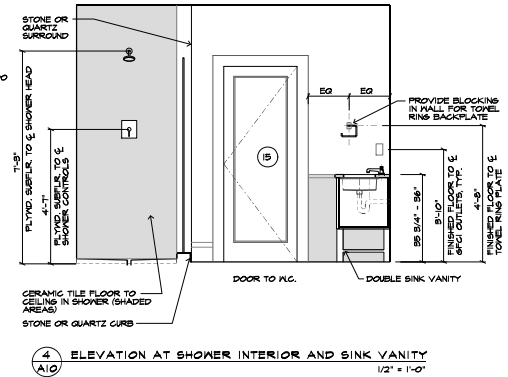
4 ELEVATION AT SHOWER INTERIOR AND SINK VANITY
1/2" = 1'-0"



9 DETAIL AT MAIN BATH SHOWER CURB
3" = 1'-0"



8 ELEV. AT LAUNDRY ROOM
1/2" = 1'-0"



1 ELEVATION AT SHOWER ENCLOSURE
1/2" = 1'-0"

NOTE: ANY GLAZING INSTALLED AT TUB/SHOWER SURROUNDS SHALL BE TEMPERED SAFETY GLAZING AND SHALL BE 1/2" THICK.

NOTE: CERAMIC TILE AT MAIN BATH FLOOR SHALL BE INSTALLED OVER CRACK ISOLATION MEMBRANE.

EXIST. WASHER RELOCATED FROM BASEMENT; INSTALL ON OVERFLO PLAN

NOTE: CHANGE DRYER EXHAUST OUTLET FROM REAR TO SIDE OF DRYER AND INFLU OLD KNOCK-OUT WITH MANUFACTURER'S EXHAUST COVER KIT; EXHAUST DUCT MUST VENT THROUGH EXTERIOR WALL AS SHOWN ON ELEV. 1/4A.

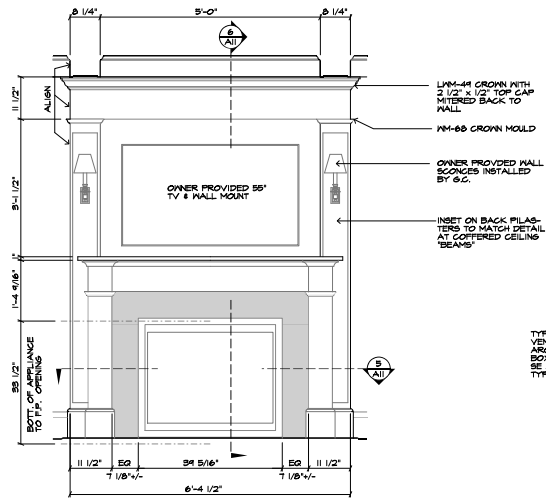
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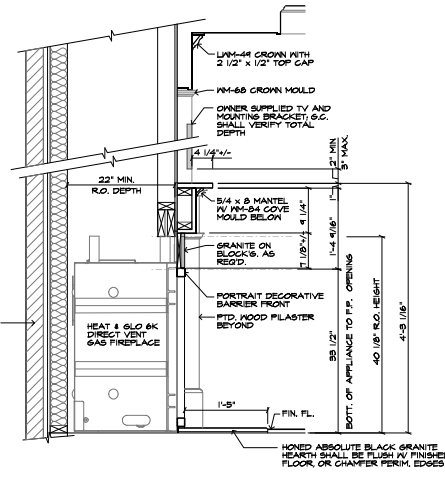
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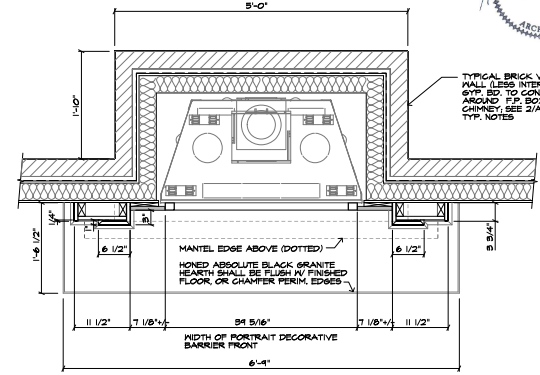




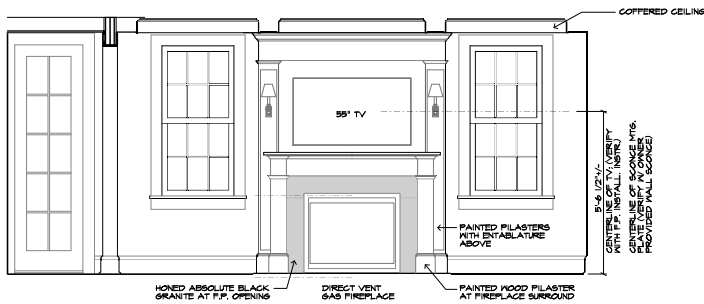
1 ENLARGED FIREPLACE ELEVATION
3/4" = 1'-0"



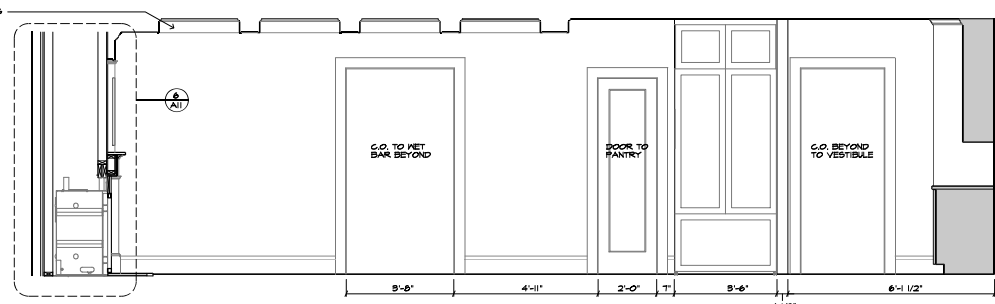
6 FIREPLACE SECTION DETAIL
1" = 1'-0"



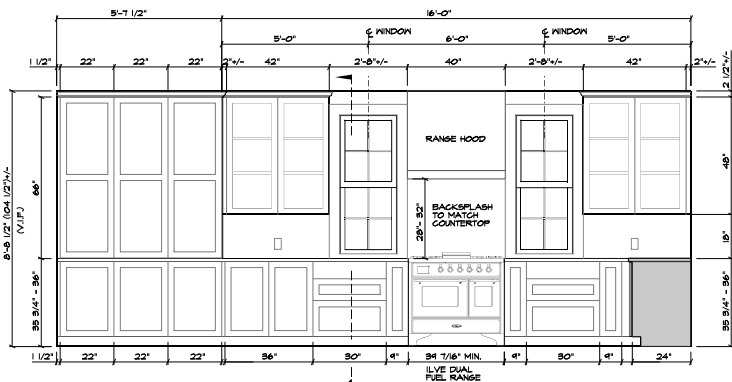
5 FIREPLACE PLAN DETAIL
1" = 1'-0"



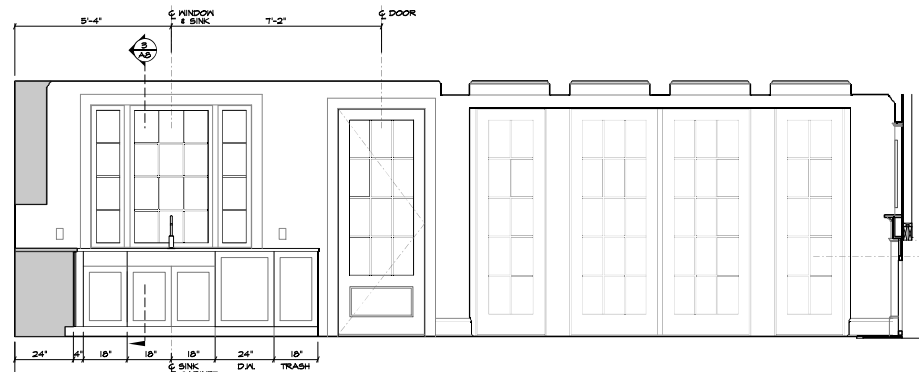
4 ELEVATION AT FAMILY ROOM FIREPLACE WALL
1/2" = 1'-0"



3 ELEVATION AT FAMILY ROOM AND KITCHEN
1/2" = 1'-0"



2 ELEVATION AT KITCHEN
1/2" = 1'-0"



1 ELEVATION AT KITCHEN AND BAY WINDOWS
1/2" = 1'-0"



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STRUCTURAL NOTES

1. GENERAL
 - A. THE ADDITION IS DESIGNED UNDER THE PROVISIONS OF THE 2018 VIRGINIA UNIFORM STATEwide BUILDING CODE (UASBC).
 - B. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:
 - ROOF FLOOR 30 PSF
 - ROOF SNOW LOAD 40 PSF
 - GROUND SNOW LOAD (Pg) 25 PSF
 - WIND LOAD
 - BASIC WIND SPEED (V₃₀) 115 MPH
 - IMPORTANCE FACTOR (I_w) 1.0
 - WIND EXPOSURE B
 - DEAD LOAD ARE USED AS FOLLOWS UNLESS NOTED OTHERWISE:
 - ROOF 17 PSF
 - FLOOR 10 PSF
 - C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUTS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.
 - D. BASEMENT AND FOUNDATION WALLS ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF FLOORS FOR THEIR STABILITY. CONTRACTOR SHALL NOT PLACE BACKFILL UNTIL THESE ELEMENTS ARE COMPLETELY INSTALLED, OR CONTRACTOR HAS PROVIDED SHORING AND BRACING TO ADEQUATELY RESTRAIN WALL.
 - E. THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF BRACING UNTIL PERMANENTLY SECURED TO OTHER STRUCTURAL MEMBERS. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.
2. EARTHWORK
 - A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERTISED IN SOIL ENGINEERING OR BY A QUALIFIED INSPECTOR.
 - B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH EXTERIOR GRADE, UNLESS OTHERWISE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL, TO 1 VERTICAL.
 - C. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIALS MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, WOOD, CONCRETE, ASPHALT OR OTHER EXCESSIVE SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 90% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.
 - D. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 60 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERMEABLE DRAINAGE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.
3. CONCRETE
 - A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (f'_c) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. ALL CONCRETE IS TO BE Poured IN ACCORDANCE WITH AND NOT SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
 - B. ALL REINFORCING STEEL TO MEET ASTM A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. TURNUP SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.I.S.I. STANDARDS. ALL REINFORCING TO BE SPICED A MINIMUM OF 30 BAR DIAMETERS.
 - C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
 - PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH:
 - BEAMS EXPOSED TO WEATHER 2"
 - FOOTINGS (BOTTOM) 3"
 - WALLS 1-1/2"
 - D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS.
4. MASONRY
 - A. APPLICABLE BUILDING CODE AND THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY STRUCTURES AC-530/AC-530L LATEST EDITIONS.
 - B. MASONRY TO CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - HOLLOW LOAD-BEARING CMU ASTM C270, TYPE M OR S
 - MORTAR ASTM C476
 - C. MASONRY ASSEMBLIES SHALL HAVE COMPRESSIVE STRENGTH (f'_m) GREATER THAN OR EQUAL TO 1350 PSI.
 - D. ALL VERTICAL REINFORCING SHALL BE GROUDED IN PLACE WITH TIE OR MORTAR OR PER BRICK/STONE CONCRETE.
 - E. PROVIDE CONTINUOUS HORIZONTAL JOINT REINFORCING IN MASONRY WALLS AT 16" O.C. PROVIDE AT 4" AT PARAPETS.
 - F. CAVITY WALL OF BRICK/STONE AND BLOCK SHALL BE CONSTRUCTED WITH JOINT REINFORCING IN MASONRY AND ADJUSTABLE METAL ANCHORS TO BRICK/STONE.
 - G. REINFORCING STEEL SHALL CONFORM TO ASTM A615-6060. LAP BARS A MINIMUM OF 48 BAR DIAMETERS. GROUT ALL REINFORCED CORES SOLID.
 - H. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTED SOLID MASONRY.
 - I. PROVIDE DOWELS FROM ALL FOOTINGS TO MASONRY WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

5. DEMOLITION
 - A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION.
 - B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.
 - C. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (LESS SAWING AND GRINDING INSTEAD OF HAMMERS AND CHOPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.
 - D. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
6. WOOD
 - A. ALL FRAMING LUMBER SHALL BE WDM-FIR, GRADE #2, OR SPRUCE-PINE-FIR GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
 - BENDING STRESS F_b = 850 PSI FOR SINGLE MEMBER USE
 - HORIZONTAL SHEAR F_v = 135 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN F_c = 405 PSI
 - COMPRESSION PARALLEL TO GRAIN F_c111 = 1,150 PSI
 - MODULUS OF ELASTICITY E = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NALS.

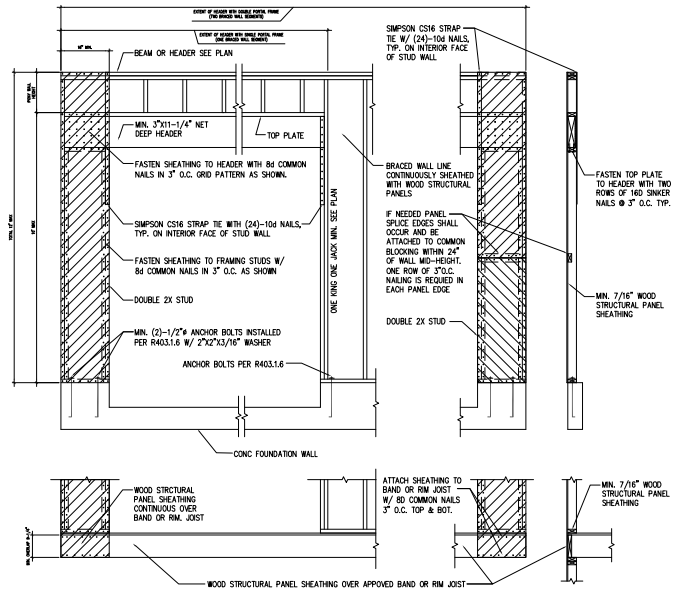
- B. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CS-A AND CA-B), NOT SODIUM BORATE (SBO), LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):
 - BENDING STRESS F_b = 120 PSI FOR SINGLE MEMBER USE
 - HORIZONTAL SHEAR F_v = 90 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN F_c = 565 PSI
 - COMPRESSION PARALLEL TO GRAIN F_c111 = 1,250 PSI
 - MODULUS OF ELASTICITY E = 1,400,000 PSI
- C. PLYWOOD LAMINATED (MCDOLAM OR LVL) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 - BENDING STRESS F_b = 2600 PSI
 - HORIZONTAL SHEAR F_v = 250 PSI
 - MODULUS OF ELASTICITY E = 1,900,000 PSI
- D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
 - COMPRESSION PARALLEL TO GRAIN F_c111 = 625 PSI
 - BENDING STRESS F_b = 725 PSI FOR SINGLE USE MEMBERS
 - MODULUS OF ELASTICITY E = 1,900,000 PSI
- E. UNLESS NOTED OTHERWISE, FASTENERS FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE R602.3.1).
- F. CUTTING AND NOTCHING OF CONVENTIONAL 2X FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:
 - NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTHS OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRD MOUTH CUTS).
 - NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
 - THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.
 - HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.
- G. PROVIDE BLOCKING BETWEEN ALL JOISTS 2X12 OR GREATER IN DEPTH AT INTERVALS NOT TO EXCEED 8 FEET TRUSS JOIST AND TIE SHALL HAVE BRIDGING BETWEEN JOISTS DESIGNED BY THE MANUFACTURER TO CONFORM BUILDING CODE REQUIREMENTS.

- H. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST, UNLESS:
 - L. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATIONS. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 GALVANIZING.
 - J. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.
 - K. HOLES THROUGH WOOD JOISTS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS. NO CUTS OR HOLES ARE ALLOWED THROUGH TOP OR BOTTOM CHORDS.
 - L. TRUSS FLOOR JOISTS & 1" FLOOR JOISTS SHALL BE PER DEPTH AS SHOWN ON DRAWINGS. SPACING OF THE FLOOR JOISTS AS SHOWN ON DRAWINGS ARE MAXIMUM ACCEPTABLE SPACING.
 - M. PROVIDE 1/2" BAND BEAMS IN WOOD 1" FLOOR JOIST SYSTEMS AT ALL PERIMETER BEARING WALLS. PROVIDE SQUASH BLOCKS AND STIFFENERS AS REQUIRED TO DISTRIBUTE LOADINGS AS REQUIRED BY MANUFACTURER. PROVIDE SOLID BLOCKING AT INTERIOR JOIST SUPPORTS WITH BEARING WALLS ABOVE.
 - N. MULTIPLE STUDS SHALL BE NAILED WITH 10# NAILS AT 24" O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.
 - O. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.
 - P. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF TWO FEET.
 - Q. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAUGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

7. SHEATHING
 - A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STUD-OR-HUDR, TONGUE AND GROOVE, PLYWOOD, OR EQUAL. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 8# NALS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, UNLESS NOTED OTHERWISE. PANEL EDGES NEED NOT BE BLOCKED.
 - B. ROOF SHEATHING SHALL BE 15/32 (1/2) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 8# NALS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. GREAT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.
 - C. ALL EXTERIOR WALL SHEATHING SHALL BE BRACED IN ACCORDANCE R602.10.4 IRC 2018 AS FOLLOWS:
 - 1) UNLESS EXTERIOR SHEATHING SHALL BE AS FOLLOWS:
 - 2X4 MIN. SPF (STUD GRADE) SPACED @ 16" O.C. MAX.
 - EXTERIOR WALL SHEATHING - 1/2" OSB OR PLYWOOD
 - FASTENERS - 8# X 2 1/2" LONG NALS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORTS
 - 2) WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS ABOVE, AND ALL EDGES OF BRACED WALL PANELS (BSP OR CS-WSP) SHALL BE BLOCKED WITH 2X4 BLOCKING AND THE SAME EDGE NAILING AS ABOVE.
 - 3) WHEN CONTINUOUS SHEATHING METHODS (CS-WSP OR CS-FF) ARE SPECIFIED ON THE PLANS, ALL EXTERIOR SHEATHABLE SURFACES ON THE SPECIFIED BRACED WALL LINE SHALL BE SHEATHED THE SAME AS NOTE 1) & SHALL BE BLOCKED WITH 2X4 BLOCKING.
 - 4) GYPSUM BOARD (GB) BRACED WALL, WHEN INSTALLED VERTICALLY, SHALL BE BLOCKED WITH 2X4 BLOCKING & FINISHED AS FOLLOWS: INTERIOR WALL FINISH - F; EXTERIOR WALL FINISH - 64 X 2" COMMON NAL @ 17" O.C. @ EDGES & 7" IN FIELD OR NO. 6 1-1/4" SCREWS @ 4" O.C. @ EDGES & IN FIELD
 - 5) MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.4

ABBREVIATIONS & LEGEND:

- CS-WSP CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL
- WSP CONTINUOUSLY SHEATHED PORTAL FRAME
- CS-FF GYPSUM BOARD
- GB



TYPICAL PORTAL FRAME CS-FF BRACE DETAIL

SECTION 1 S001
SCALE: NTS

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NOTES & DETAILS

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S001

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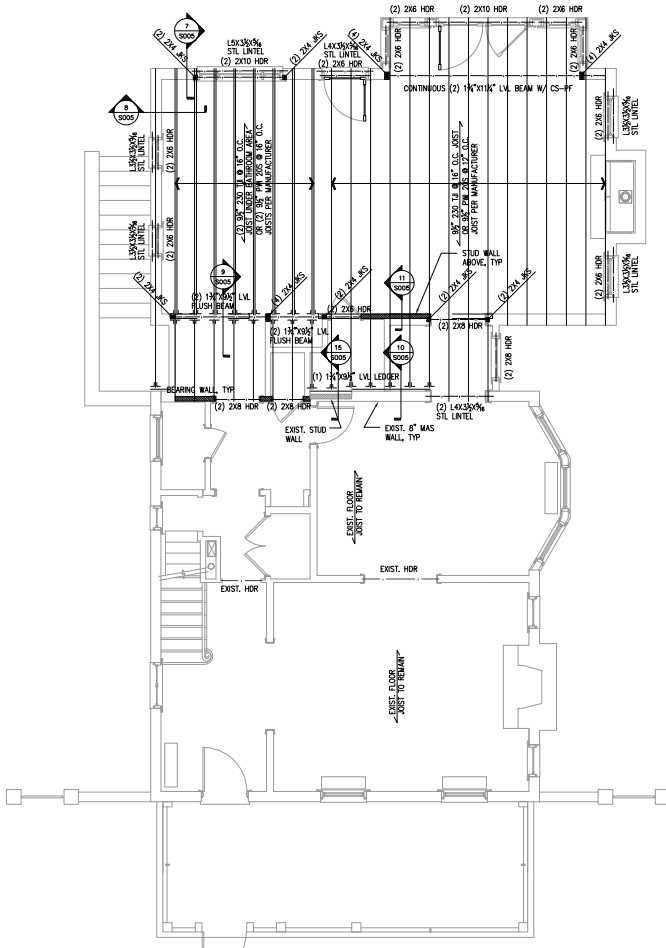
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2ND FLOOR & ROOF FRAMING PLANS

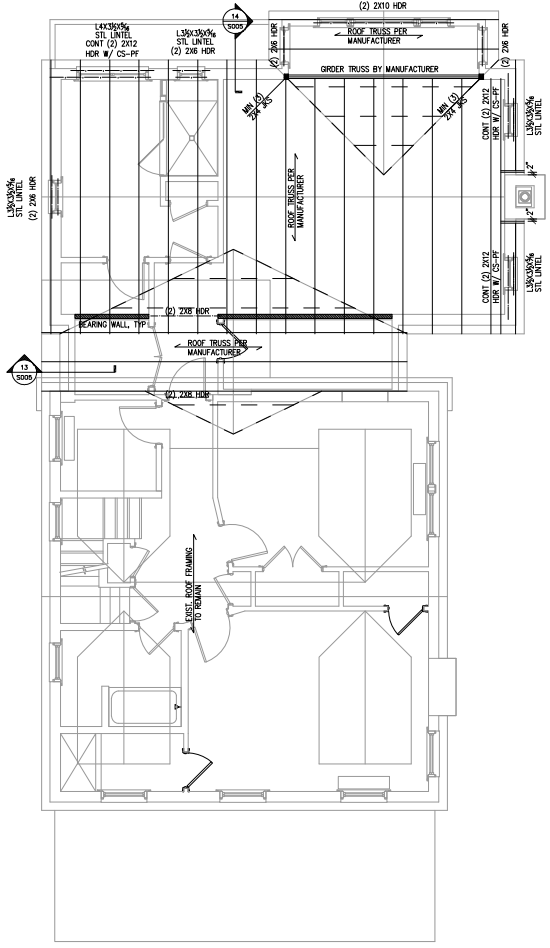
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S003



2ND FLOOR FRAMING PLAN
 1/4" = 1'-0"

- NOTES:
- UNO, ALL BEAMS AND HEADERS TO BE DROPPED.
 - UNO, ALL BEARING WALLS TO BE 2x4 STUDS @ 16" O.C.
 - UNO, PROVIDE (2) 2x4 (ONE KING & ONE JACK) @ EACH END OF HEADER.
 - UNO, PROVIDE 4" MINIMUM BEARING AT EACH END OF EACH STEEL UNTEL.



ROOF FRAMING PLAN
 1/4" = 1'-0"

- NOTES:
- UNO, ALL BEAMS AND HEADERS TO BE DROPPED.
 - UNO, ALL BEARING WALLS TO BE 2x4 STUDS @ 16" O.C.
 - UNO, PROVIDE (2) 2x4 (ONE KING & ONE JACK) @ EACH END OF HEADER.
 - UNO, PROVIDE 4" MINIMUM BEARING AT EACH END OF EACH STEEL UNTEL.

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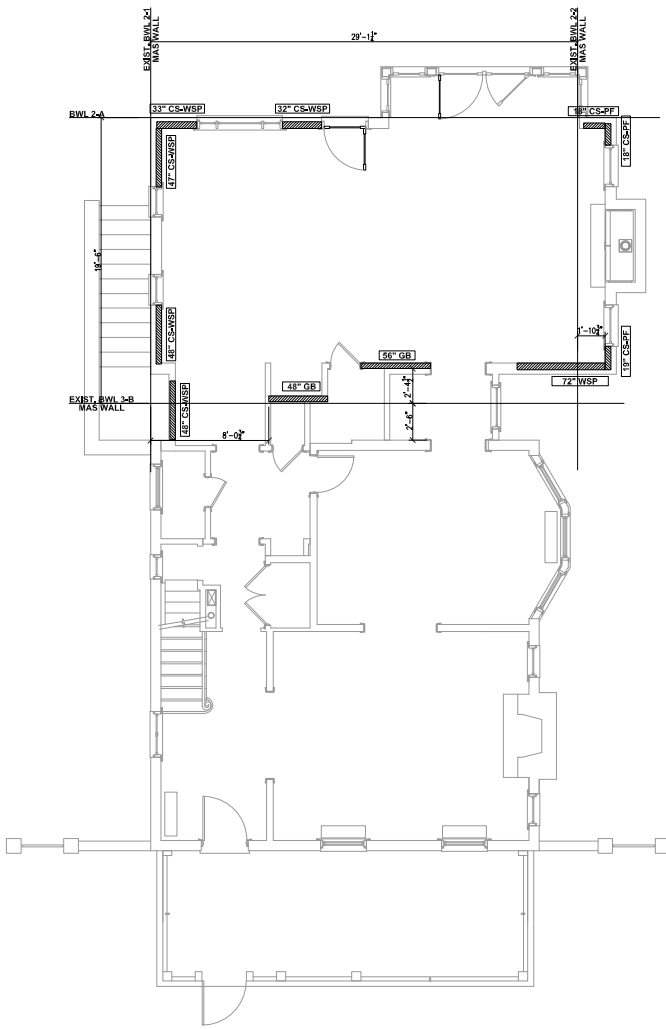
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1ST & 2ND FLOOR WIND BRACING PLANS

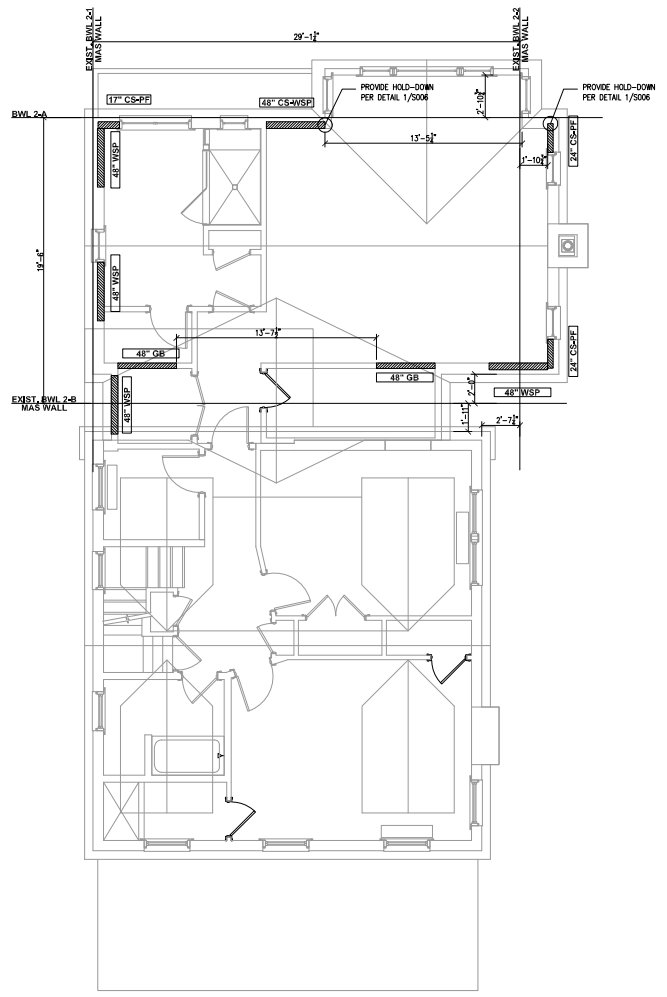
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S004



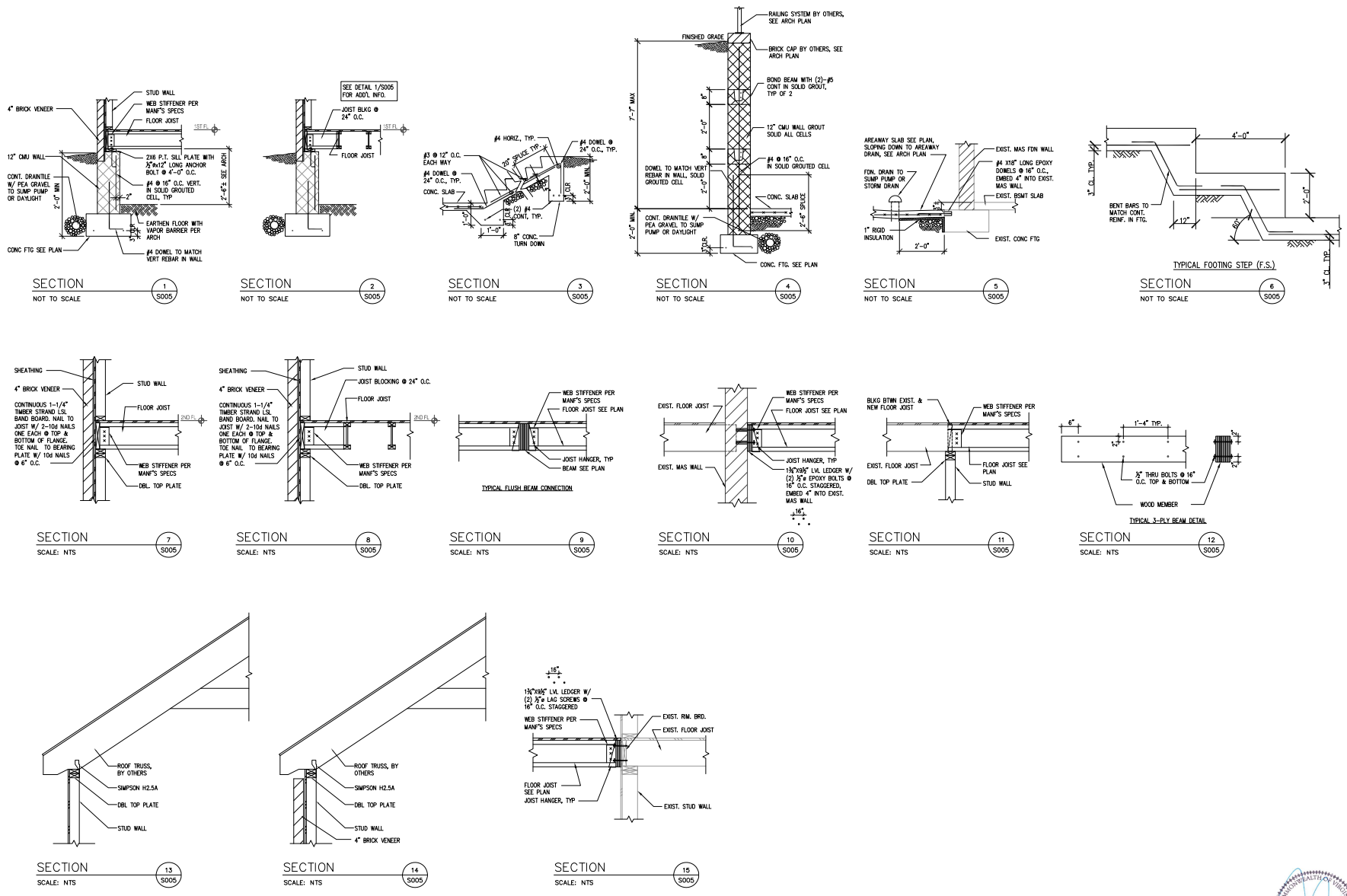
1ST FLOOR WIND BRACING PLAN
1/4" = 1'-0"

- NOTES:
1) SEE DETAIL 1/5001 FOR CONTINUOUS PORTAL FRAME CS-PF
2) SEE S006 FOR BRACED WALL DETAILS



2ND FLOOR WIND BRACING PLAN
1/4" = 1'-0"

- NOTES:
1) SEE DETAIL 1/5001 FOR CONTINUOUS PORTAL FRAME CS-PF
2) SEE S006 FOR BRACED WALL DETAILS



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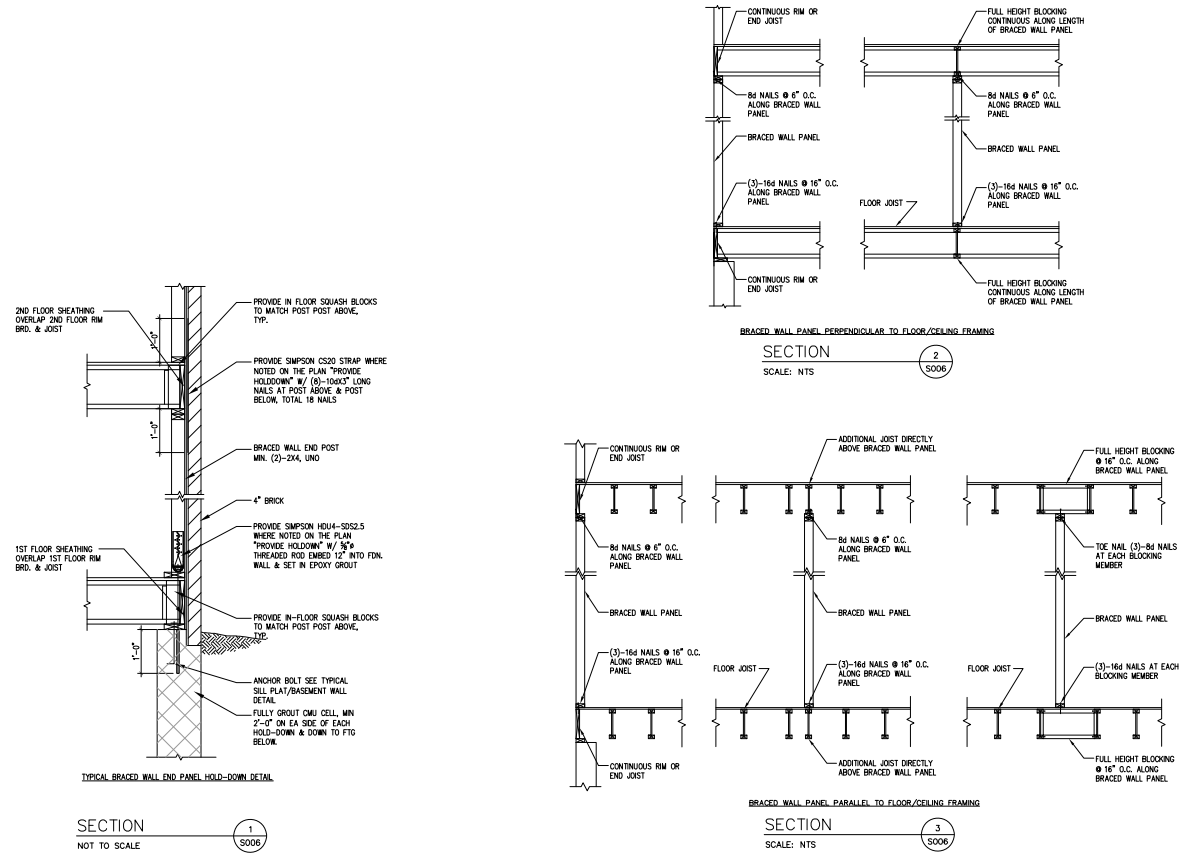
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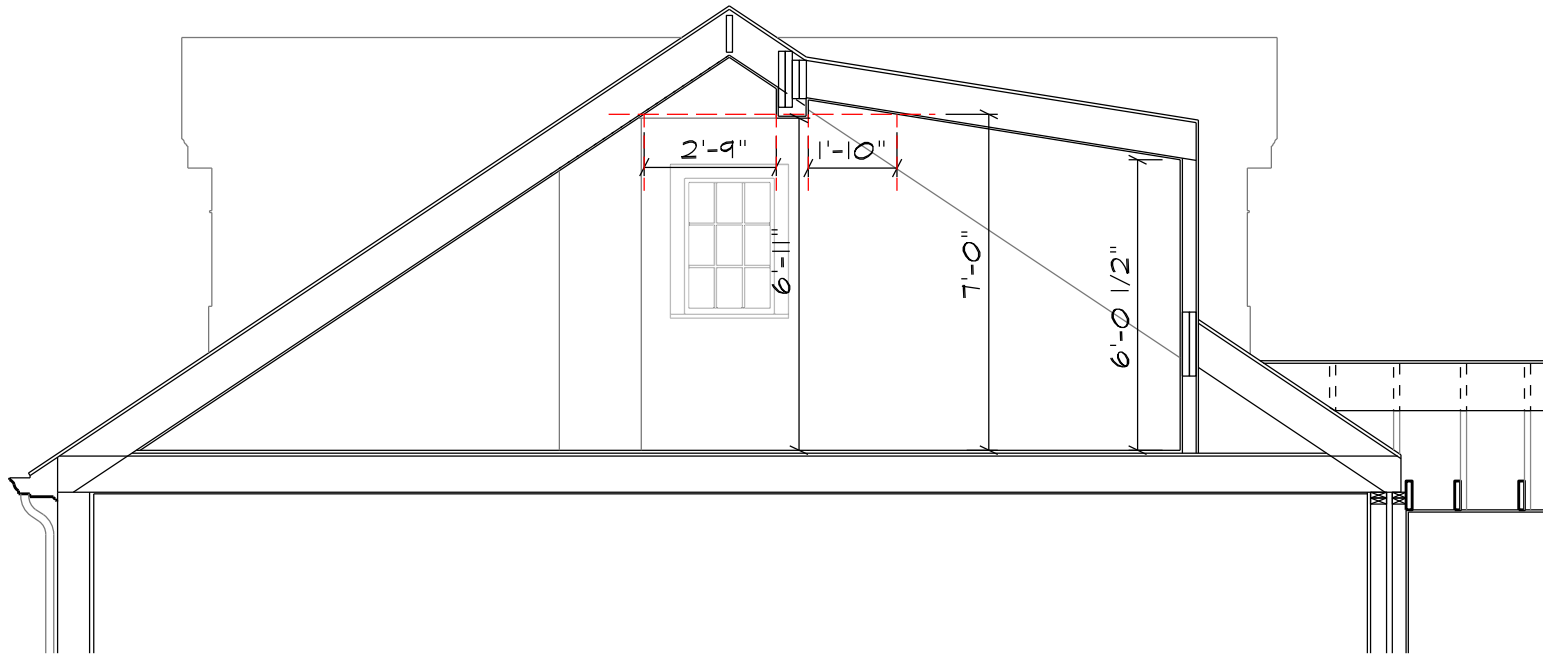


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401 JACKSON PLACE

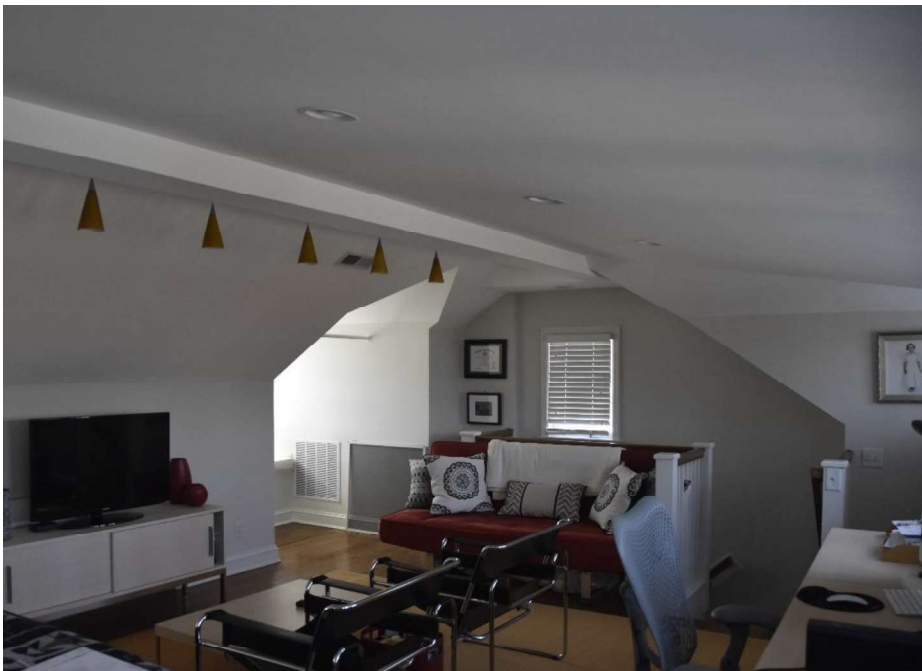
ALEXANDRIA, VA 22302

401 Jackson Place

EXISTING ATTIC PHOTOGRAPHS



Existing Attic (looking at existing rear shed/double gable dormer)



Existing Attic (looking northwest)



Existing Attic (looking at existing front gable dormer)

401 Jackson Place

EXISTING EXTERIOR PHOTOGRAPHS



Existing South Corner of House
(with 403 Jackson Place seen in the background)



Existing Front of House
(southwest side)



Existing South Corner of Property
(showing large magnolia tree to remain)



Existing Rear Yard
(showing relationship of house to existing garage)



Existing North Corner of House
(showing existing setback and relationship to brick retaining wall and fence)

CONTEXTURAL PHOTOGRAPHS



306 Woodland Terrace

310 Woodland Terrace



401 Jackson Place garage

307 Woodland Terrace



403 Jackson Place

401 Jackson Place