

## **724, 726 & 728 N Patrick Street Project Narrative**

We are seeking the Board's input and guidance for the development of five new townhomes in the Parker Gray Historic District. The new homes are proposed for the underutilized corner at N. Patrick and Madison Streets. We are across the street from the Charles Houston Recreation Center to the east and the future development of the new Samuel Madden apartment Building to the north. A four-story condominium building sits kitty corner to our site. The block we occupy has a variety of late 19<sup>th</sup> and early 20<sup>th</sup> century homes along N. Patrick Street. A new condominium building (The Aiden) on the opposite southwest corner and a grouping of warehouse structures directly to the west.

We are taking our cue for the design style from the existing warehouses and the more recent development in the surrounding blocks with their modern approach to the warehouses that this area once comprised. For inspiration we looked at historic warehouse structures in Old Town, notably Crilley Warehouse and Portner Brewery.

We are striving to honor the warehouse aesthetic without being duplicative of the historic structures but also avoiding the more abstract moves made by the larger developments. Our site is relatively small adjacent to more modest homes. We are trying to hold to a more pedestrian level of detail and texture as we punctuate the corner and step up in scale to our neighbors on the corner.

We deliberately faced the new townhouses toward N Patrick Street to complete the rhythm of residences along the more major street. Our vehicular site access will be from Madison Street just past the existing warehouses.

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See Attached		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Kirby Holdings LLC	None None	
2. Kyle Irby None		None
3. Eric Bernstein None		None

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2/27/26 Kyle Irby  
Date Printed Name

*Kyle Irby*  
Signature

1. Eric Bernstein – 50% Ownership

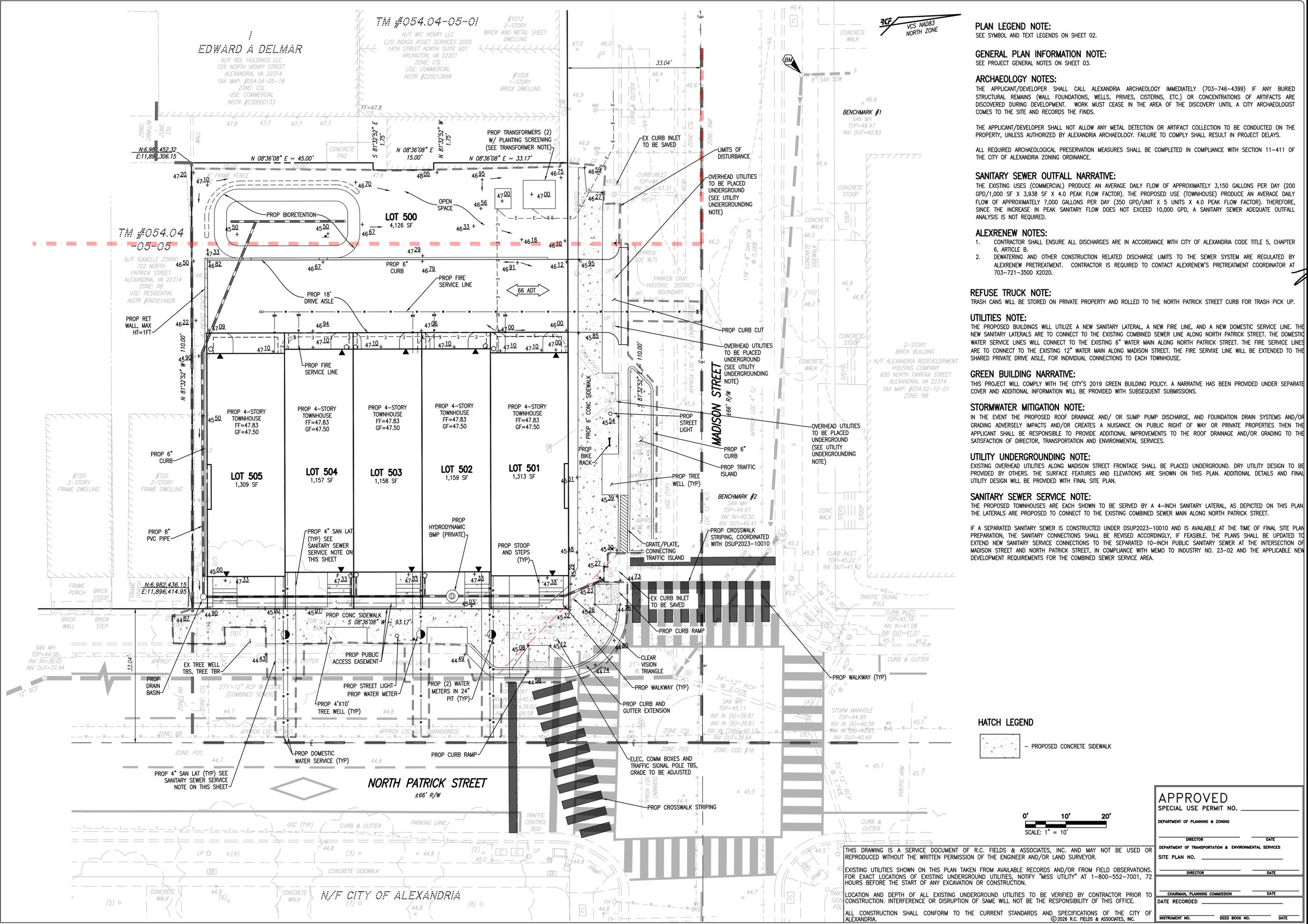
[REDACTED]

[REDACTED]

2. Kirby Holdings LLC– 50% Ownership – Single Member LLC owned by Kyle Irby

[REDACTED]

[REDACTED]



**PLAN LEGEND NOTE:**  
SEE SYMBOL AND TEXT LEGENDS ON SHEET 02.

**GENERAL PLAN INFORMATION NOTE:**  
SEE PROJECT GENERAL NOTES ON SHEET 03.

**ARCHAEOLOGY NOTES:**  
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIMES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE.

**SANITARY SEWER OUTFALL NARRATIVE:**  
THE EXISTING USES (COMMERCIAL) PRODUCE AN AVERAGE DAILY FLOW OF APPROXIMATELY 3,150 GALLONS PER DAY (200 GPD/1,000 SF X 3,938 SF X 4.0 PEAK FLOW FACTOR). THE PROPOSED USE (TOWNHOUSE) PRODUCE AN AVERAGE DAILY FLOW OF APPROXIMATELY 7,000 GALLONS PER DAY (350 GPD/UNIT X 5 UNITS X 4.0 PEAK FLOW FACTOR). THEREFORE, SINCE THE INCREASE IN PEAK SANITARY FLOW DOES NOT EXCEED 10,000 GPD, A SANITARY SEWER ADEQUATE OUTFALL ANALYSIS IS NOT REQUIRED.

**ALEXRENEW NOTES:**  
1. CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.  
2. DOWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.

**REFUSE TRUCK NOTE:**  
TRASH CANS WILL BE STORED ON PRIVATE PROPERTY AND ROLLED TO THE NORTH PATRICK STREET CURB FOR TRASH PICK UP.

**UTILITIES NOTE:**  
THE PROPOSED BUILDINGS WILL UTILIZE A NEW SANITARY LATERAL, A NEW FIRE LINE, AND A NEW DOMESTIC SERVICE LINE. THE NEW SANITARY LATERALS ARE TO CONNECT TO THE EXISTING COMBINED SEWER LINE ALONG NORTH PATRICK STREET. THE DOMESTIC WATER SERVICE LINES WILL CONNECT TO THE EXISTING 6" WATER MAIN ALONG NORTH PATRICK STREET. THE FIRE SERVICE LINES ARE TO CONNECT TO THE EXISTING 12" WATER MAIN ALONG MADISON STREET. THE FIRE SERVICE LINE WILL BE EXTENDED TO THE SHARED PRIVATE DRIVE AISLE, FOR INDIVIDUAL CONNECTIONS TO EACH TOWNHOUSE.

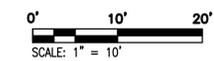
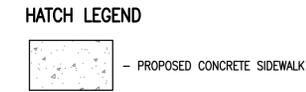
**GREEN BUILDING NARRATIVE:**  
THIS PROJECT WILL COMPLY WITH THE CITY'S 2019 GREEN BUILDING POLICY. A NARRATIVE HAS BEEN PROVIDED UNDER SEPARATE COVER AND ADDITIONAL INFORMATION WILL BE PROVIDED WITH SUBSEQUENT SUBMISSIONS.

**STORMWATER MITIGATION NOTE:**  
IN THE EVENT THE PROPOSED ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTIES THEN THE APPLICANT SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR GRADING TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.

**UTILITY UNDERGROUNDING NOTE:**  
EXISTING OVERHEAD UTILITIES ALONG MADISON STREET FRONTAGE SHALL BE PLACED UNDERGROUND. DRY UTILITY DESIGN TO BE PROVIDED BY OTHERS. THE SURFACE FEATURES AND ELEVATIONS ARE SHOWN ON THIS PLAN. ADDITIONAL DETAILS AND FINAL UTILITY DESIGN WILL BE PROVIDED WITH FINAL SITE PLAN.

**SANITARY SEWER SERVICE NOTE:**  
THE PROPOSED TOWNHOUSES ARE EACH SHOWN TO BE SERVED BY A 4-INCH SANITARY LATERAL, AS DEPICTED ON THIS PLAN. THE LATERALS ARE PROPOSED TO CONNECT TO THE EXISTING COMBINED SEWER MAIN ALONG NORTH PATRICK STREET.

IF A SEPARATED SANITARY SEWER IS CONSTRUCTED UNDER DSUP2023-10010 AND IS AVAILABLE AT THE TIME OF FINAL SITE PLAN PREPARATION, THE SANITARY CONNECTIONS SHALL BE REVISED ACCORDINGLY, IF FEASIBLE. THE PLANS SHALL BE UPDATED TO EXTEND NEW SANITARY SERVICE CONNECTIONS TO THE SEPARATED 10-INCH PUBLIC SANITARY SEWER AT THE INTERSECTION OF MADISON STREET AND NORTH PATRICK STREET, IN COMPLIANCE WITH MEMO TO INDUSTRY NO. 23-02 AND THE APPLICABLE NEW DEVELOPMENT REQUIREMENTS FOR THE COMBINED SEWER SERVICE AREA.



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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

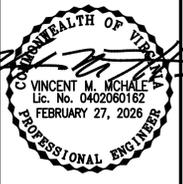
CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ DATE \_\_\_\_\_

625 N. WASHINGTON ST  
SUITE 250  
ALEXANDRIA, VA 22314  
703.549.6422  
www.rcfiassoc.com

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DEVELOPMENT CONCEPT II PLAN  
**N PATRICK ST/MADISON ST TOWNHOUSES**  
(724-728 N PATRICK STREET)  
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

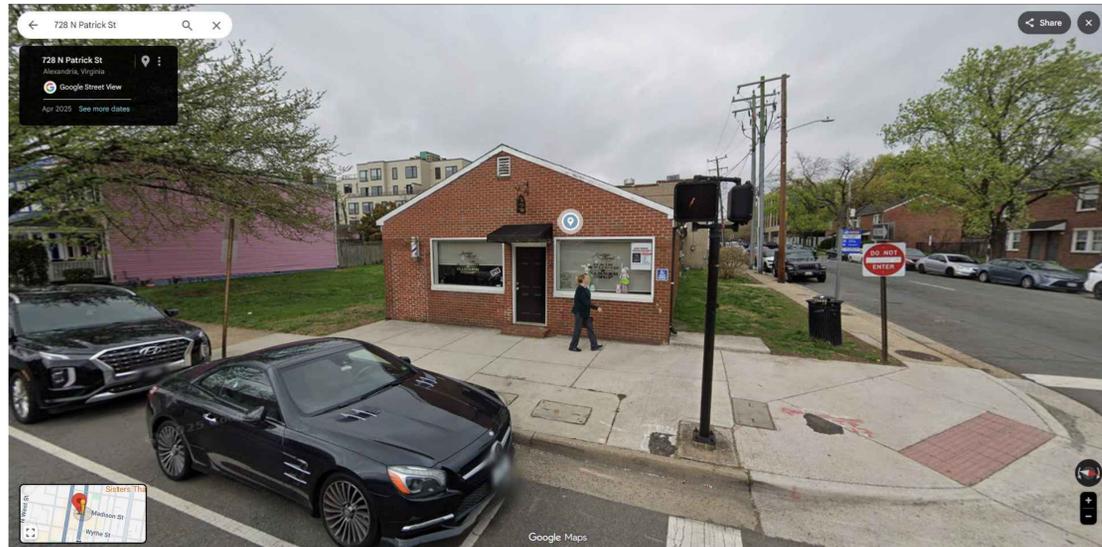
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SCALE: 1" = 10'  
DATE: FEB 27, 2026

**CONCEPT PLAN**

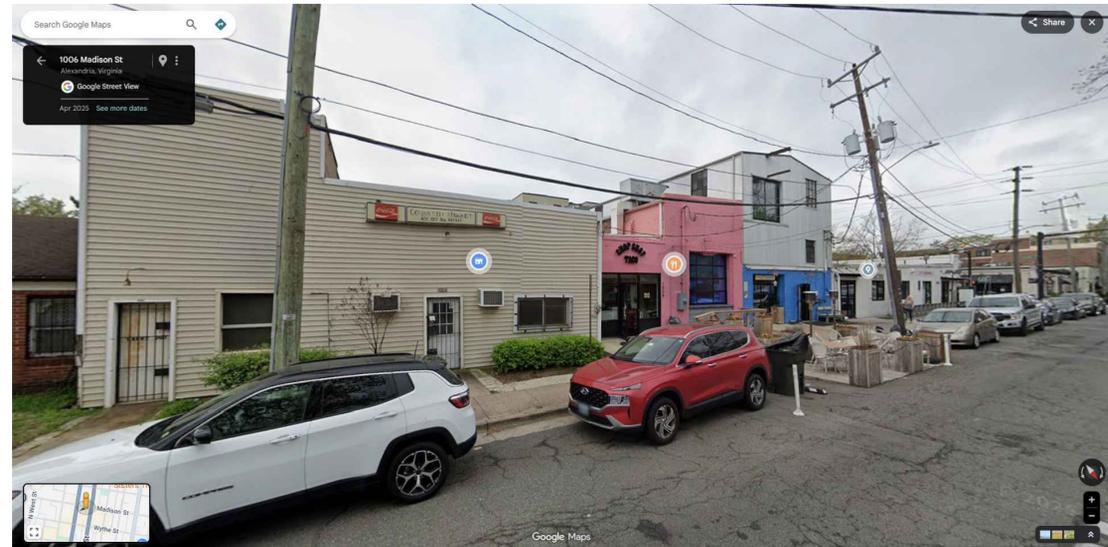
SHEET **04** OF **15**  
FILE: **25-213**

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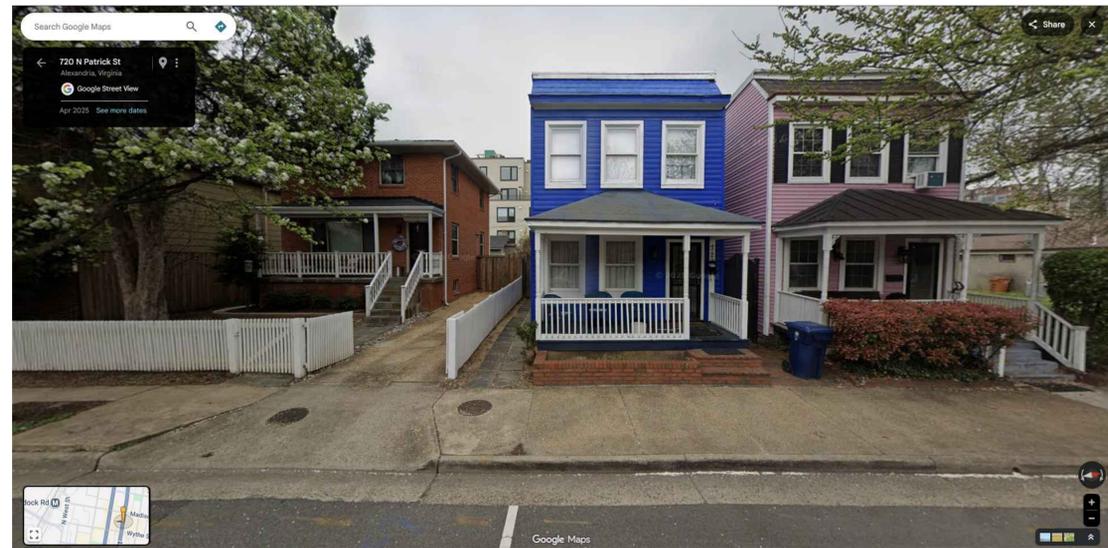
728 N PATRICK STREET  
SITE CONTEXT



1006 MADISON STREET  
SITE CONTEXT



704 - 716 N PATRICK STREET  
SITE CONTEXT - ADJACENT PROPERTIES



718 - 722 N PATRICK STREET  
SITE CONTEXT - ADJACENT PROPERTIES



218 N LEE STREET - CRILLEY WAREHOUSE  
INSPIRATION - HISTORIC OLD TOWN WAREHOUSE TYPOLOGY



1111 BELLE PRE - BELLE PRE APARTMENTS  
INSPIRATION - CONTEMPORARY OLD TOWN WAREHOUSE TYPOLOGY

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



REVISIONS		

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
	KGA	

SHEET NUMBER	EX1
	2548-BAR-CONCEPT

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625 N PATRICK STREET  
SITE CONTEXT



805 N PATRICK STREET  
SITE CONTEXT



SAMUEL MADDEN  
SITE CONTEXT



1111 - 900 N HENRY STREET - BELLE PRE APARTMENTS  
SITE CONTEXT



701 N HENRY STREET  
SITE CONTEXT



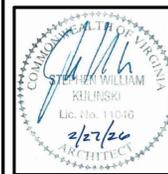
800 N HENRY STREET  
SITE CONTEXT

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

SITE CONTEXT PHOTOS



REVISIONS		

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
	KGA	

SHEET NUMBER	EX2
	2548-BAR-CONCEPT

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MODEL VIEW - A  
N.T.S.



MODEL VIEW - B  
N.T.S.



MODEL VIEW - C  
N.T.S.



MODEL VIEW - D  
N.T.S.



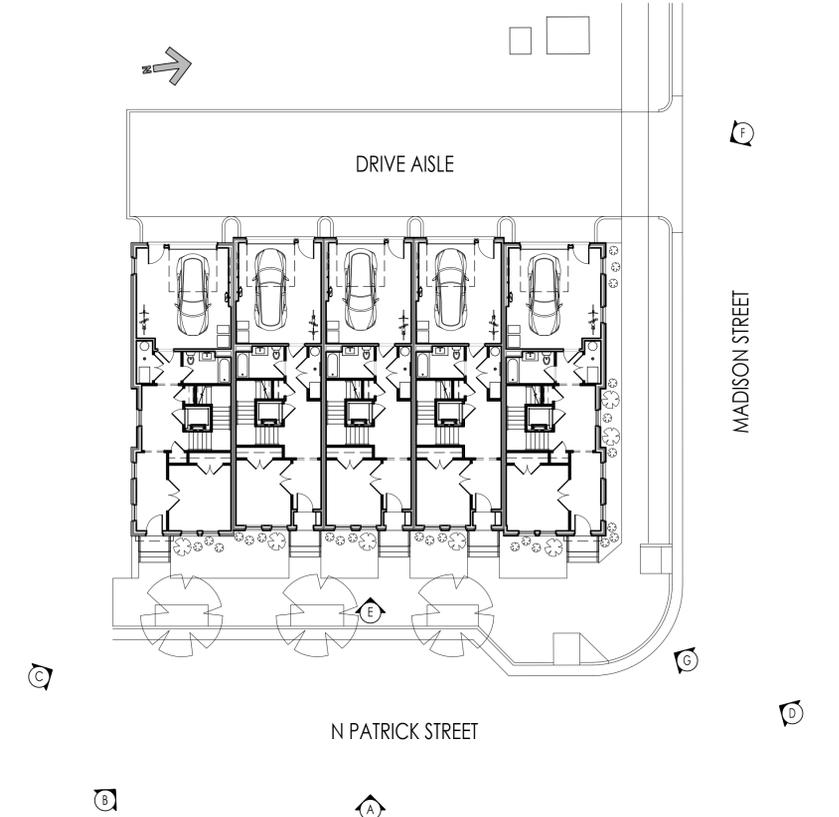
MODEL VIEW - E  
N.T.S.



MODEL VIEW - F  
N.T.S.



MODEL VIEW - G  
N.T.S.

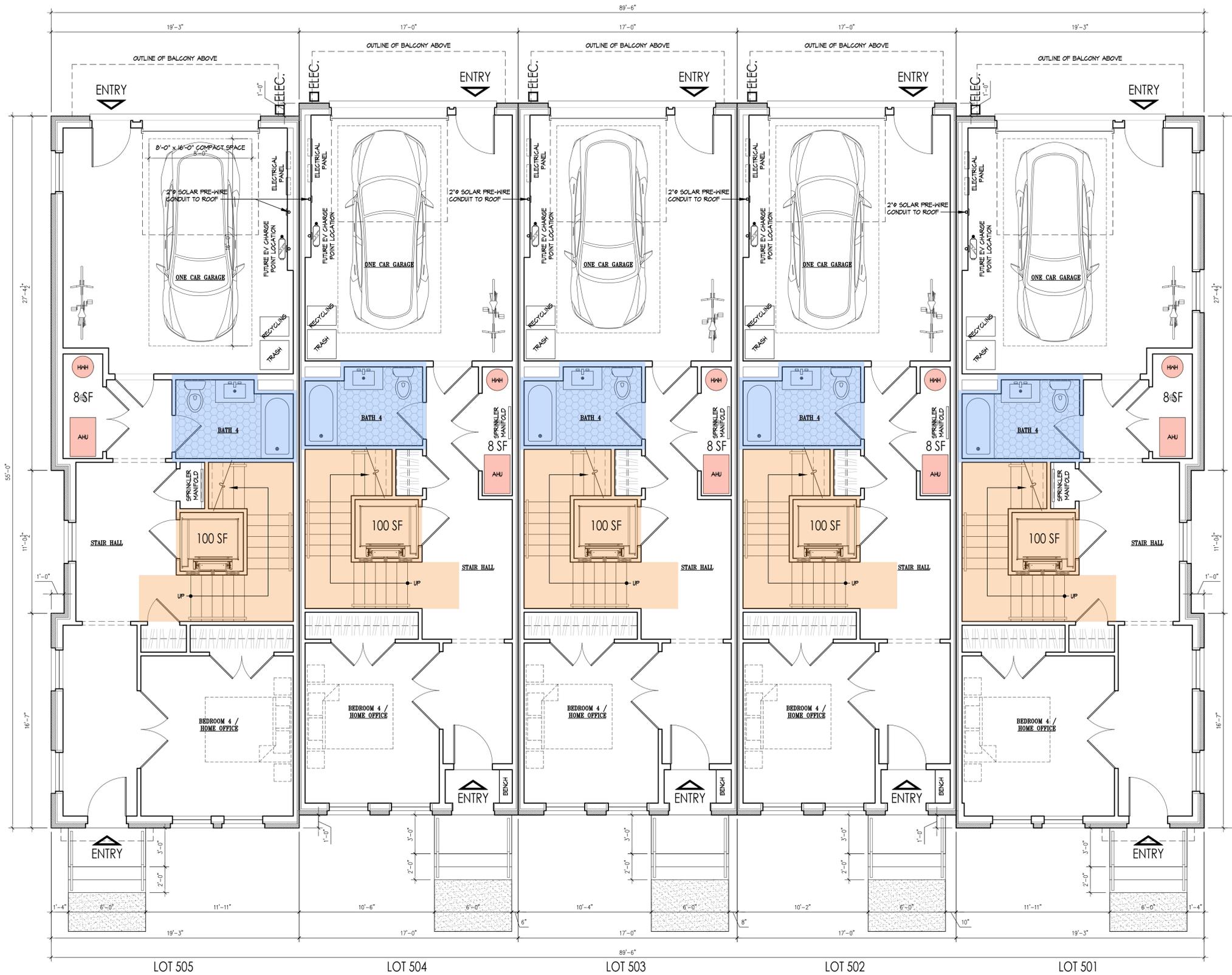


REVISIONS		

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
	KGA	

**PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION**

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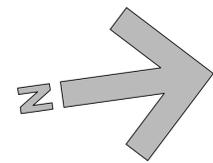


DRAWING LEGEND	
<span style="display:inline-block; width:20px; height:10px; background-color:orange;"></span>	MECH / UTILITY
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	STAIR / ELEVATOR
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen;"></span>	BATHROOM
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	ROOF DECK
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	BALCONY

LOTS 501 AND 505	
<span style="display:inline-block; width:20px; height:10px; background-color:orange;"></span> 8 SF	MECH / UTILITY
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span> 100 SF	STAIR / ELEVATOR
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen;"></span> 50 SF	BATHROOM
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	BALCONY
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span> 158 SF	TOTAL DEDUCTIONS
1,048 SF (GROSS) - 158 SF (DEDUCTIONS)	
890 SF (NET) X 2	

LOTS 502 503 AND 504	
<span style="display:inline-block; width:20px; height:10px; background-color:orange;"></span> 8 SF	MECH / UTILITY
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span> 100 SF	STAIR / ELEVATOR
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen;"></span> 50 SF	BATHROOM
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	BALCONY
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span> 158 SF	TOTAL DEDUCTIONS
935 SF (GROSS) - 158 SF (DEDUCTIONS)	
777 SF (NET) X 3	

FIRST FLOOR PLANS - LOTS 1-5  
SCALE: 1/4" = 1'-0"



REVISIONS

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
KGA	KGA	

SHEET NUMBER	A1
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PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION

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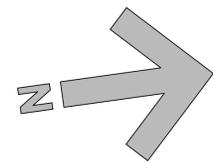


DRAWING LEGEND	
[Red Box]	MECH / UTILITY
[Orange Box]	STAIR / ELEVATOR
[Blue Box]	BATHROOM
[Yellow Box]	ROOF DECK
[Green Box]	BALCONY

LOTS 501 AND 505	
[Red Box]	MECH / UTILITY
[Orange Box]	100 SF STAIR / ELEVATOR
[Blue Box]	30 SF BATHROOM
[Green Box]	64 SF BALCONY
[White Box]	194 SF TOTAL DEDUCTIONS
1,108 SF (GROSS) - 149 SF (DEDUCTIONS)	
918 SF (NET) X 2	

LOTS 502 503 AND 504	
[Red Box]	MECH / UTILITY
[Orange Box]	100 SF STAIR / ELEVATOR
[Blue Box]	30 SF BATHROOM
[Green Box]	60 SF BALCONY
[White Box]	190 SF TOTAL DEDUCTIONS
995 SF (GROSS) - 190 SF (DEDUCTIONS)	
805 SF (NET) X 3	

SECOND FLOOR PLANS - LOTS 1-5  
SCALE: 1/4" = 1'-0"



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

PROPOSED SECOND FLOOR PLANS



REVISIONS	

PROJECT NUMBER	2548
DATE	02/21/2026
SCALE	AS NOTED
DRAWN	DESIGNED
KGA	KGA
APPROVED	

SHEET NUMBER	A2
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# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



DRAWING LEGEND	
	MECH / UTILITY
	STAIR / ELEVATOR
	BATHROOM
	ROOF DECK
	BALCONY

LOTS 501 AND 505	
	MECH / UTILITY
	100 SF STAIR / ELEVATOR
	100 SF BATHROOM
	BALCONY
	200 SF TOTAL DEDUCTIONS
1,048 SF (GROSS) - 200 SF (DEDUCTIONS)	
848 SF (NET) X 2	

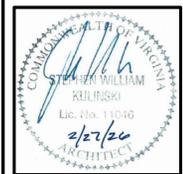
LOTS 502 503 AND 504	
	MECH / UTILITY
	100 SF STAIR / ELEVATOR
	100 SF BATHROOM
	BALCONY
	200 SF TOTAL DEDUCTIONS
935 SF (GROSS) - 200 SF (DEDUCTIONS)	
735 SF (NET) X 3	

THIRD FLOOR PLANS - LOTS 1-5  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314  
PROPOSED THIRD FLOOR PLANS



REVISIONS	

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
KGA	KGA	

SHEET NUMBER	A3
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2548-BAR-CONCEPT

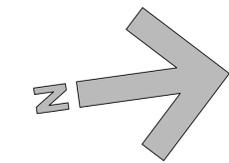


DRAWING LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	MECH / UTILITY
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	STAIR / ELEVATOR
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	BATHROOM
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	ROOF DECK
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	BALCONY

LOTS 501 AND 505	
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span> 6 SF	MECH / UTILITY
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span> 100 SF	STAIR / ELEVATOR
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span> 50 SF	BATHROOM
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	BALCONY
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span> 156 SF	TOTAL DEDUCTIONS
676 SF (GROSS) - 156 SF (DEDUCTIONS)	
520 SF (NET) X 2	
FOUR FLOOR TOTAL = 3,176 SF (NET) X 2	

LOTS 502 503 AND 504	
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span> 6 SF	MECH / UTILITY
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span> 100 SF	STAIR / ELEVATOR
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span> 50 SF	BATHROOM
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	BALCONY
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span> 156 SF	TOTAL DEDUCTIONS
664 SF (GROSS) - 156 SF (DEDUCTIONS)	
508 SF (NET) X 3	
FOUR FLOOR TOTAL = 2,825 SF (NET) X 2	

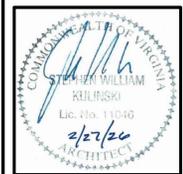
FOURTH FLOOR PLANS - LOTS 1-5  
SCALE: 1/4" = 1'-0"



# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314  
PROPOSED FOURTH FLOOR PLANS

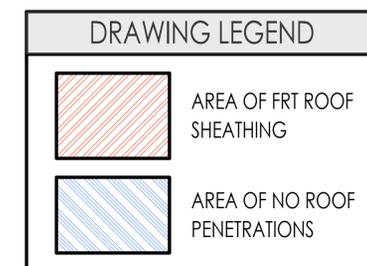
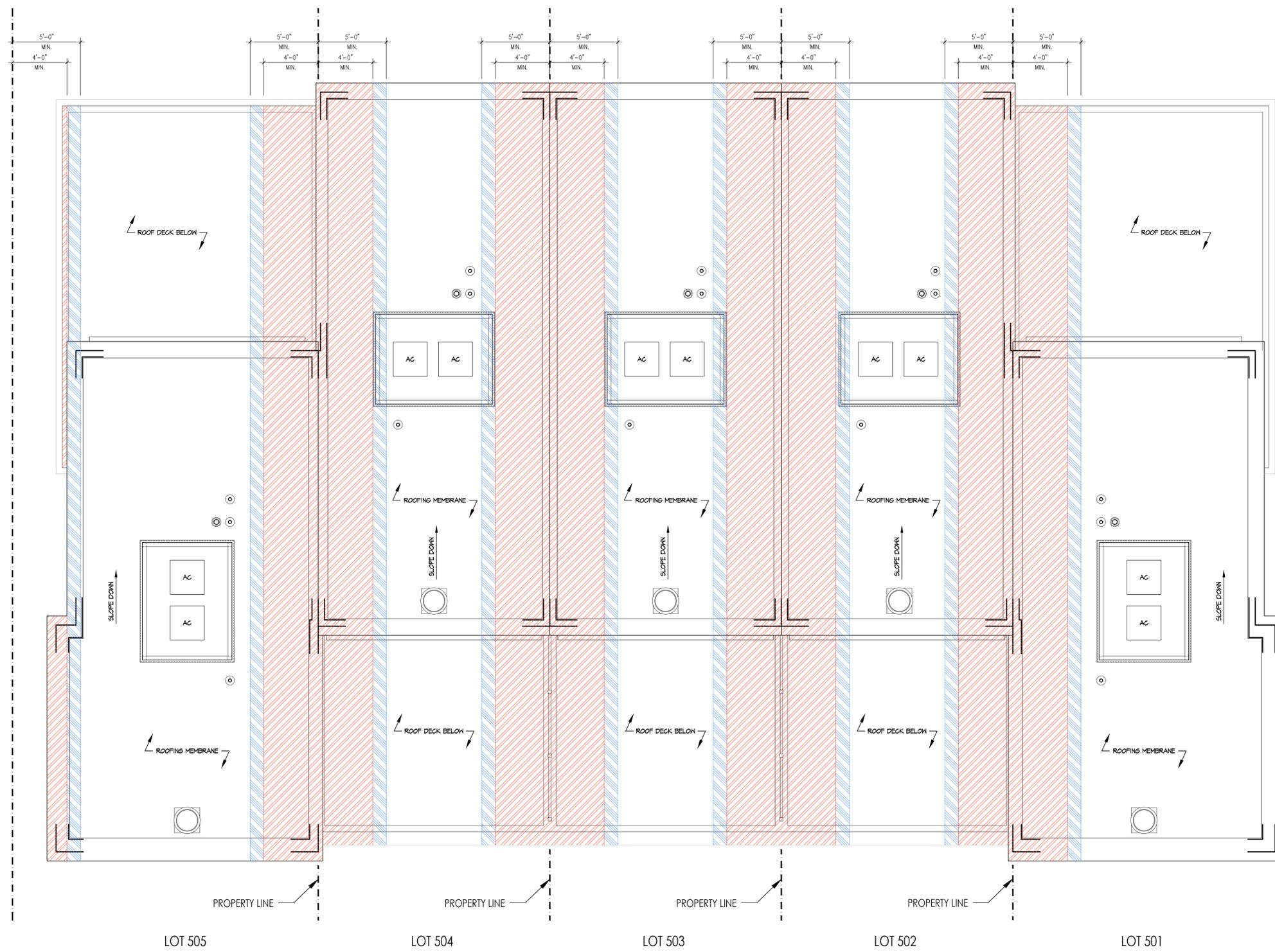


REVISIONS		

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
	KGA	

SHEET NUMBER	A4
	2548-BAR-CONCEPT

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ROOF PLANS - LOTS 1-5  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

PROPOSED ROOF PLANS



REVISIONS		

PROJECT NUMBER		
2548		
DATE		
02/21/2026		
SCALE		
AS NOTED		
DRAWN	DESIGNED	APPROVED
	KGA	

SHEET NUMBER		
A5		
2548-BAR-CONCEPT		

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DRAWING KEY - MATERIAL TAGS					
(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) PRECAST ACCENT BAND	(K) OVERHEAD GARAGE DOOR	(P) SYNTHETIC TRIM AWNING		
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) SYNTHETIC TRIM	(L) PORCH LIGHT	(Q) SYNTHETIC TRIM PRIVACY SCREEN		
(C) BRICK VENEER	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) METAL FLASHING		
(D) BRICK ACCENT BAND	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) METAL SCUPPER	(S) METAL RAIL		
(E) BRICK CORBEL	(J) ALUMINUM CLAD PATIO DOOR	(O) PRECAST STONE TREAD	(T) MAILBOX		

\*ALL SYNTHETIC TRIM TO BE SMOOTH TEXTURE, SOLID CORE AND PAINTABLE\*



FF = 47.83'  
AFG = 45.78'

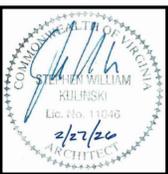
FRONT / EAST ELEVATION STREETSCAPE  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

FRONT / EAST ELEVATION - N PATRICK STREETSCAPE



REVISIONS

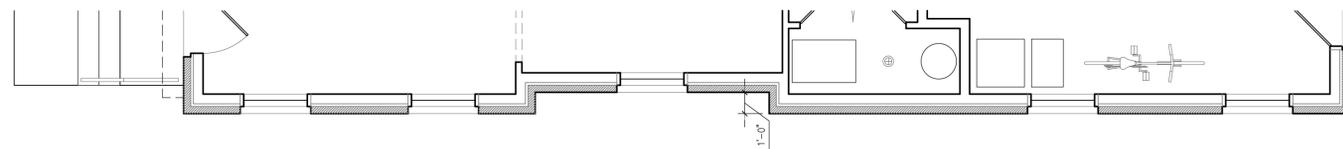
PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	A5 NOTED	
DRAWN	DESIGNED	APPROVED
KGA		

SHEET NUMBER	A6
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(A) ALUMINUM CLAD DOUBLE HUNG WINDOW	(F) PRECAST ACCENT BAND	(K) OVERHEAD GARAGE DOOR	(P) SYNTHETIC TRIM AWNING		
(B) ALUMINUM CLAD CASEMENT WINDOW	(G) SYNTHETIC TRIM	(L) PORCH LIGHT	(Q) SYNTHETIC TRIM PRIVACY SCREEN		
(C) BRICK VENEER	(H) POLY-ASH SYNTHETIC CHANNEL SIDING	(M) SYNTHETIC WOOD MECH. SCREEN	(R) METAL FLASHING		
(D) BRICK ACCENT BAND	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) METAL SCUPPER	(S) METAL RAIL		
(E) BRICK CORBEL	(J) ALUMINUM CLAD PATIO DOOR	(O) PRECAST STONE TREAD	(T) MAILBOX		

\*ALL SYNTHETIC TRIM TO BE SMOOTH TEXTURE, SOLID CORE AND PAINTABLE\*



RIGHT SIDE / NORTH ELEVATION - MADISON STREETScape  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

RIGHT SIDE / NORTH ELEVATION MADISON - STREETScape



REVISIONS

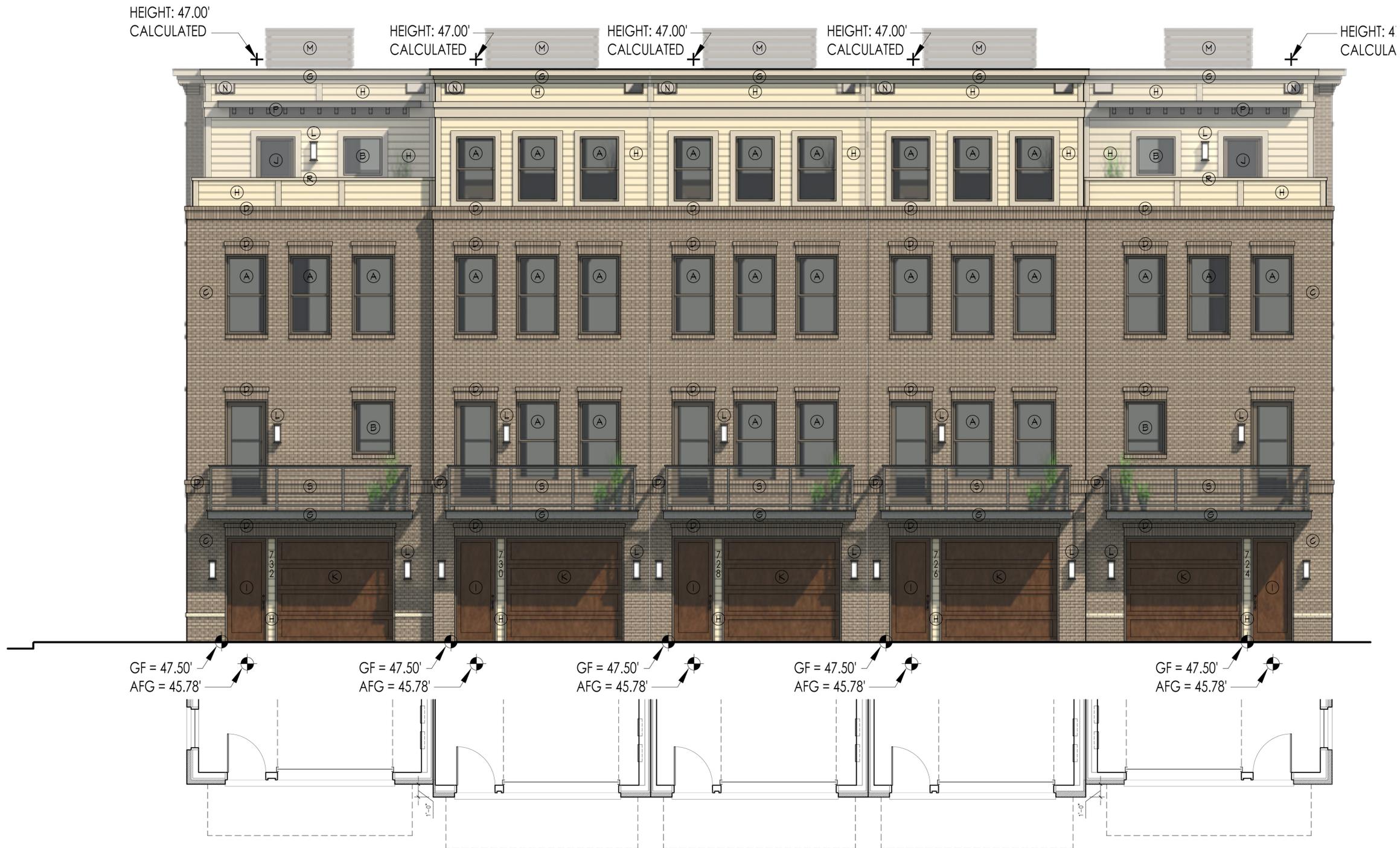
PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
KGA	KGA	

SHEET NUMBER  
**A7**  
2548-BAR-CONCEPT

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(D) BRICK ACCENT BAND	(I) PAINTED FIBERGLASS ENTRY DOOR	(N) METAL SCUPPER	(S) METAL RAIL
(E) BRICK CORBEL	(J) ALUMINUM CLAD PATIO DOOR	(O) PRECAST STONE TREAD	(T) MAILBOX

\*ALL SYNTHETIC TRIM TO BE SMOOTH TEXTURE, SOLID CORE AND PAINTABLE\*



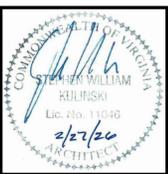
REAR / WEST ELEVATION - PRIVATE AISLE STREETSCAPE  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



724-728 N PATRICK STREET TOWNHOMES  
724-728 N PATRICK STREET ALEXANDRIA, VA 22314

REAR / WEST ELEVATION PRIVATE AISLE STREETSCAPE



REVISIONS

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
	KGA	

SHEET NUMBER	A8
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\*ALL SYNTHETIC TRIM TO BE SMOOTH TEXTURE, SOLID CORE AND PAINTABLE\*



LEFT SIDE / SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION

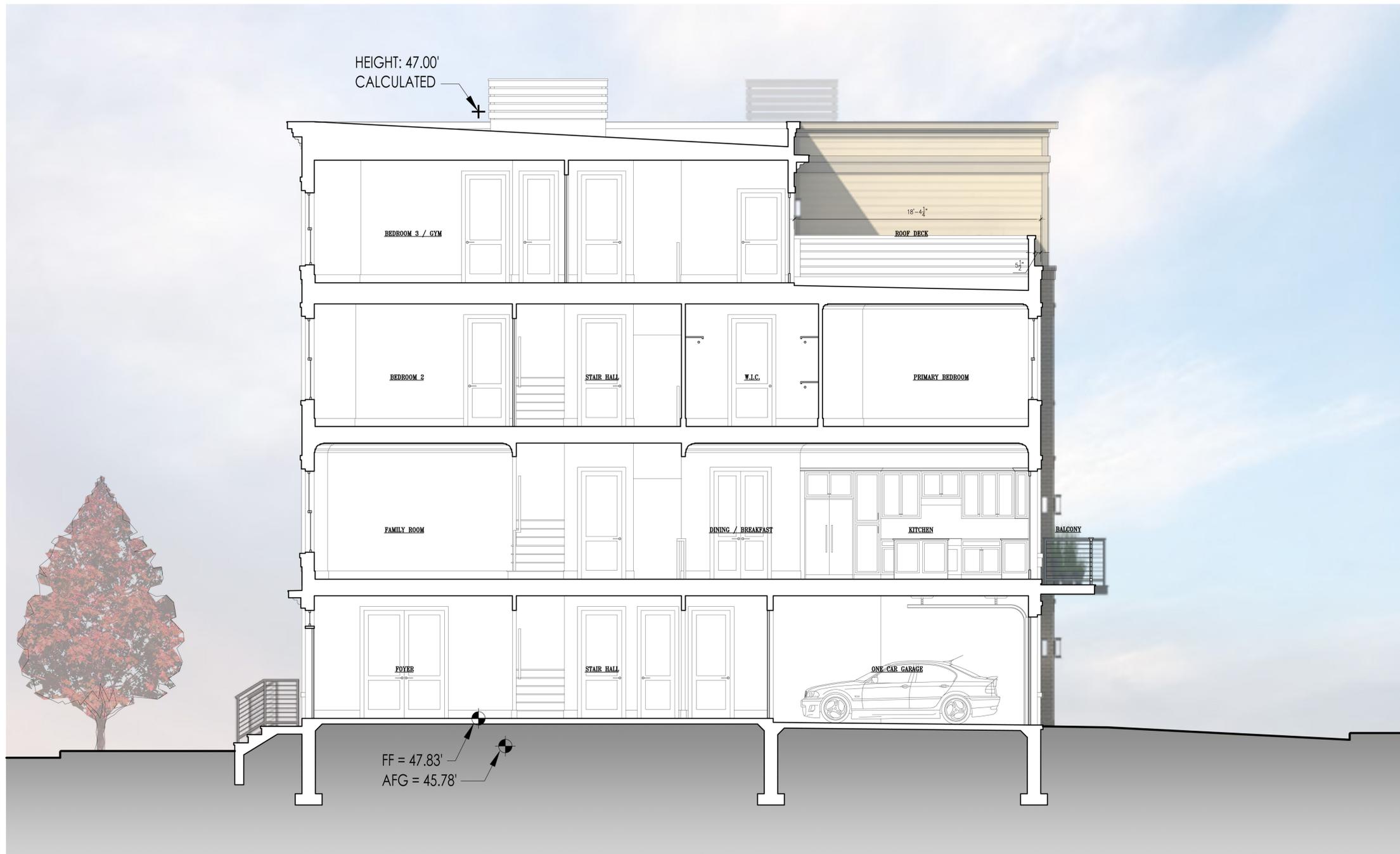


REVISIONS

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	A5 NOTED	
DRAWN	DESIGNED	APPROVED
KGA	KGA	KGA

SHEET NUMBER	A9
2548-BAR-CONCEPT	

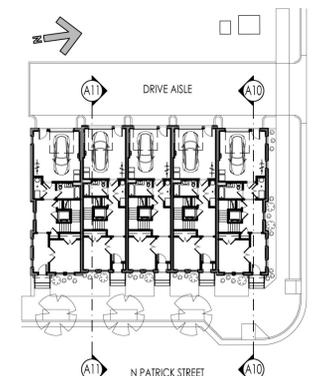
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TYPICAL BUILDING SECTION - END UNIT

SCALE: 1/4" = 1'-0"

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



KEY PLAN - SECTION CUT LOCATIONS  
N.T.S.

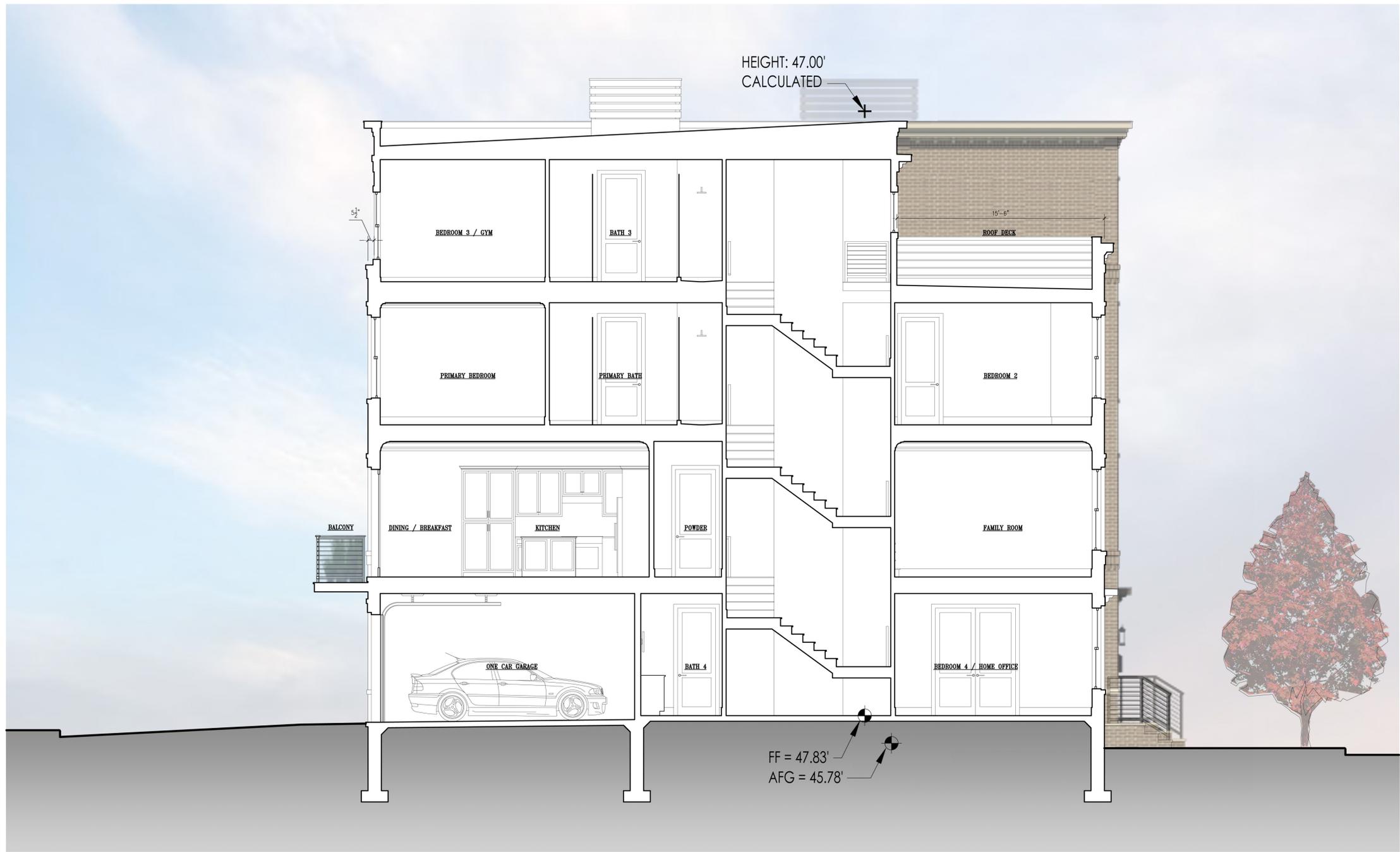


REVISIONS	

PROJECT NUMBER	2548
DATE	02/21/2026
SCALE	AS NOTED
DRAWN	DESIGNED
KGA	APPROVED

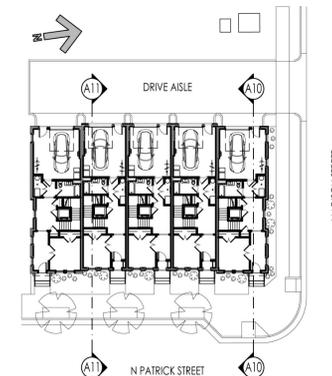
SHEET NUMBER	A10
2548-BA0-CONCEPT	

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TYPICAL BUILDING SECTION - INTERIOR UNIT

SCALE: 1/4" = 1'-0"



KEY PLAN - SECTION CUT LOCATIONS  
N.T.S.

# PARKER GRAY HISTORIC DISTRICT - CONCEPT SUBMISSION



REVISIONS

PROJECT NUMBER	2548	
DATE	02/21/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
KGA	KGA	

SHEET NUMBER	A11
2548-BAR-CONCEPT	

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# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

B

### A. Property Information

A1.  Street Address       Zone

A2.  Total Lot Area      x  Floor Area Ratio Allowed by Zone      =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

#### Existing Gross Area

Basement	<input type="text"/>
First Floor	<input type="text"/>
Second Floor	<input type="text"/>
Third Floor	<input type="text"/>
Attic	<input type="text"/>
Porches	<input type="text"/>
Balcony/Deck	<input type="text"/>
Lavatory***	<input type="text"/>
Other**	<input type="text"/>

#### Allowable Exclusions\*\*

Basement**	<input type="text"/>
Stairways**	<input type="text"/>
Mechanical**	<input type="text"/>
Attic less than 7***	<input type="text"/>
Porches**	<input type="text"/>
Balcony/Deck**	<input type="text"/>
Lavatory***	<input type="text"/>
Other**	<input type="text"/>
Other**	<input type="text"/>

B1.  Sq. Ft. Existing Gross Floor Area\*

B2.  Sq. Ft. Allowable Floor Exclusions\*\*

B3.  Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)

#### Comments for Existing Gross Floor Area

B1. **Total Gross**       B2. **Total Exclusions**

EXTERIOR COVERED AREA

### C. Proposed Gross Floor Area

#### Proposed Gross Area

Basement	<input type="text"/>
First Floor	<input type="text" value="4,651.00"/>
Second Floor	<input type="text" value="5,051.00"/>
Third Floor	<input type="text" value="4,401.00"/>
Attic	<input type="text" value="3,094.00"/>
Porches	<input type="text"/>
Balcony/Deck	<input type="text" value="308.00"/>
Lavatory***	<input type="text" value="1,150.00"/>
Other	<input type="text"/>

#### Allowable Exclusions\*\*

Basement**	<input type="text"/>
Stairways**	<input type="text" value="2,000.00"/>
Mechanical**	<input type="text" value="70.00"/>
Attic less than 7***	<input type="text"/>
Porches**	<input type="text"/>
Balcony/Deck**	<input type="text" value="308.00"/>
Lavatory***	<input type="text" value="1,150.00"/>
Other**	<input type="text"/>
Other**	<input type="text"/>

C1.  Sq. Ft. Proposed Gross Floor Area\*

C2.  Sq. Ft. Allowable Floor Exclusions\*\*

C3.  Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)

C1. **Total Gross**       C2. **Total Exclusions**

### D. Total Floor Area

D1.  Sq. Ft. Total Floor Area (add B3 and C3)

D2.  Sq. Ft. Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft. Existing Open Space

E2.  Sq. Ft. Required Open Space

E3.  Sq. Ft. Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

*Sheela K...*

Date: \_\_\_\_\_

**2/27/2026**