

ISSUE: Certificate of Appropriateness for alterations (small cell facility)

APPLICANT: Cello Partnership dba Verizon Wireless

LOCATION: Parker-Gray District
Dominion Energy utility pole near 215 North Patrick Street

ZONE: RB/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness, as submitted.

BOARD ACTION: Deferred

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2020-00553.

CONDITIONS OF APPROVAL

None.

REASON

The Board agreed that a standalone pole could be an option for this location since there is no other existing suitable pole for small cell installation in the vicinity.

SPEAKERS

Joshua Schakola, representing Cellco Partnership dba Verizon Wireless, was available to answer any questions.

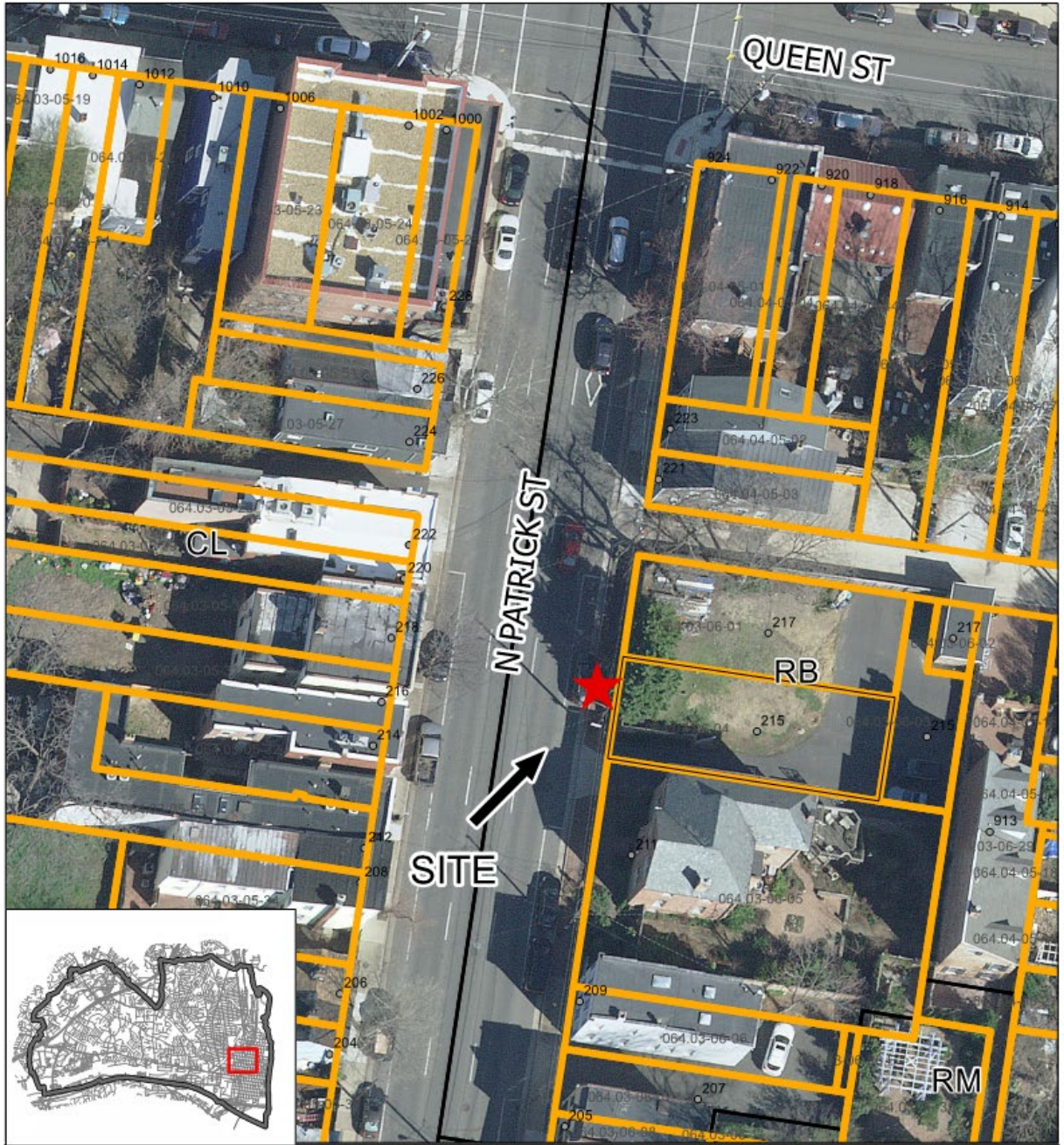
DISCUSSION

The Board acknowledged letters of concern from the public about the pole location and inquired if there was another pole that could receive the small cell facility. Mr. Schakola explained that in this location the subject pole is the only suitable pole to receive the small cell facility.

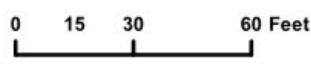
Ms. Roberts suggested that a standalone pole could be a solution for this location and advised the applicant to study the possibility and bring the findings back before the Board for evaluation. Mr. Schakola agreed and requested deferral.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2020-00553
215 North Patrick Street



Update

The application was deferred from the January 6, 2021 hearing by the applicant's request and then, again, deferred from January 21, 2021 for further study. The BAR requested the applicant to study the availability of a standalone pole at this location.

I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness to replace the existing wood utility pole in the right-of-way near the property at 215 North Patrick Street with a taller wood pole on top of which a triple band 5G small cell facility and a 4G antenna will be installed along with the associated equipment which will be mounted to the pole. The new pole will be installed adjacent to the existing pole that will be removed once the existing utilities been moved to the new one.

Certificate of Appropriateness

- Replace the existing 34'-5" tall wood utility pole with a new 39'-2" wood utility pole
- Install a triple band Nokia AirScale AEUB 5G small cell antenna facility on top of the new utility pole, the overall height of the equipment is 3'-8". The antennas will be shrouded in color to match the pole
- Install a JMA CXI60MI236 -1C 4G antenna on top of the 5G facility, the 1'-2" diameter antenna is 3'-5" tall
- Install a prop Verizon wireless Charles SHRD60 cabinet 10'-0" above grade and required cabling to be bracket mounted to the pole
- Install a prop Verizon wireless lockable load center panel on the pole at 6'-0" from grade and required cabling
- Install a prop Verizon wireless meter box on the pole at 4'-5" from grade and required cabling
- Relocate the existing overhead lines and existing light fixture from the old pole to the new pole
- Remove the existing pole

Site context

The parcel at 215 North Patrick Street is a vacant lot in the middle of the east side of the 200 block of North Patrick Street.

II. HISTORY

Not applicable.

III. ANALYSIS

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell antennas within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell

towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network.

In the past three years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions' authority. The laws can be contradictory between federal and state in some instances but do recognize that additional guidelines may be necessary in historic districts.

The City has adopted Interim Wireless Facility Aesthetic Guidelines for wireless infrastructure throughout the City which outline specific guidelines related to the replacement of existing utility poles, including:

- pole height may not increase more than 10 feet and may not exceed 50 feet without a special use permit
- replacement poles must be in the same general location as the existing pole
- replacement poles may not cause the removal of an existing tree or cause damaging impacts to trees located in the right-of-way
- wireless facilities must be shrouded, enclosing wires and equipment, and no separate ground mounted equipment is permitted
- wireless facilities must be painted to match the infrastructure

Many of the wireless carriers are working with Dominion Energy to deploy their facilities on replacement utility poles in the City right-of-way. Dominion's safety guidelines require that the existing poles be replaced with taller poles so that there is adequate separation between the utilities and the new cellular equipment. The wood poles come in 10-foot increments but must be buried deeper in the ground, so the net increase in height will be less.

A Certificate of Appropriateness is required in the historic districts under Section 10-203(A) and 203 (A) of the Zoning Ordinance, which state that "No building or structure shall be erected, reconstructed, altered or restored within the Parker-Gray District unless and until an application for a certificate of appropriateness shall have been approved..."

The overall height of the new pole including the small cell facility is 46'-9". The antennas and equipment volumes are 5.48 CU FT and 12.28 CU FT respectively. BAR staff has no objection to the taller wood pole or the installation of the small cell facility in this location and finds that painting the equipment the same color as the pole will make them less obvious. The existence of utility poles and overhead wires, street signs, and light poles are part of the urban streetscape, and staff does not believe that the installation of the taller pole with the small cell equipment will adversely impact existing viewsheds.

According to the study submitted by the applicant's representative, a standalone pole at this location is not feasible. The study shows that the east side of North Patrick Street has poles with overhead wires the entire length of the block which would be obstructed by the standalone pole therefore, not recommended by the engineers. The west side of North Patrick Street has too many trees, most mature, which would obstruct the wireless signal and the City requires that *replacement poles be not located in a manner that requires the removal of an existing tree or impacts of root*

zone. Furthermore, there are gas lines and drainage systems underground which also prevents the installation of a new standalone pole.

Therefore, staff recommends approval of the Certificate of Appropriateness as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

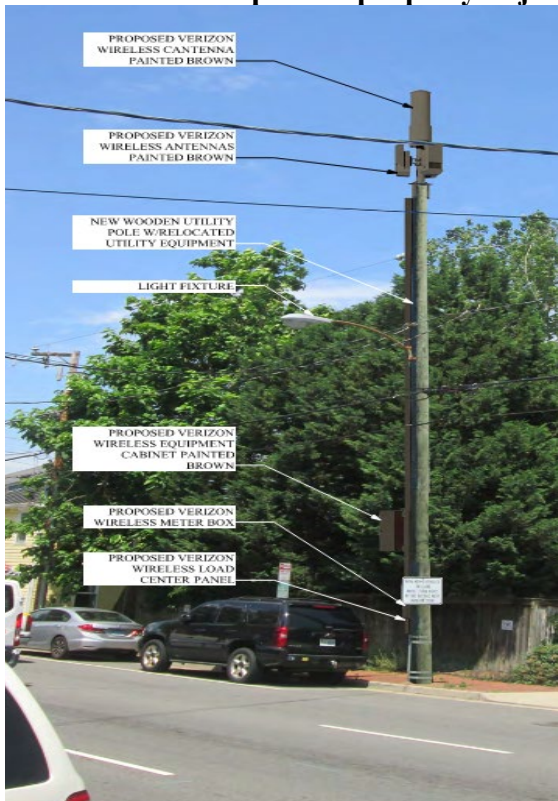
Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Height of the pole shall not exceed 50.00 feet without a Special Use Permit.
Pole height is 39' 2''' feet and overall height is 46' 9''

F-2 Pole must be in the same general location as existing pole.
In Compliance

F-3 The replacement pole is not located in a manner that requires the removal of an existing tree or impacts of root zone.
There is a tree on private property adjacent to proposed poles.



F-4 Replacement people shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel.

In Compliance

F-5 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.

Plans indicate facility to be wood pole with equipment shrouded to match wooden pole

Code Administration

Code Administration has no comments

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 The City is in the process of establishing a written policy regarding pole height for small cells. The poles will not be permitted to increase in height by more than 10-ft from the existing pole height, and not to exceed 50-ft in height. More details will be available in June 2019.

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11,

Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-6 An encroachment request will be required for projections into the public right of way. (T&ES)
- C-7 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

Please submit Insurance Certificate:

City of Alexandria

T&ES

Attn: Development Services

301 King Street, Room 4130

Alexandria, VA 22314

Alexandria Archaeology

F-1 No archaeological oversight necessary.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes** **No** Is there an historic preservation easement on this property?
- Yes** **No** If yes, has the easement holder agreed to the proposed alterations?
- Yes** **No** Is there a homeowner’s association for this property?
- Yes** **No** If yes, has the homeowner’s association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Joshua Schakola

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____ _____ *Joshua Schabola*
 Date Printed Name Signature



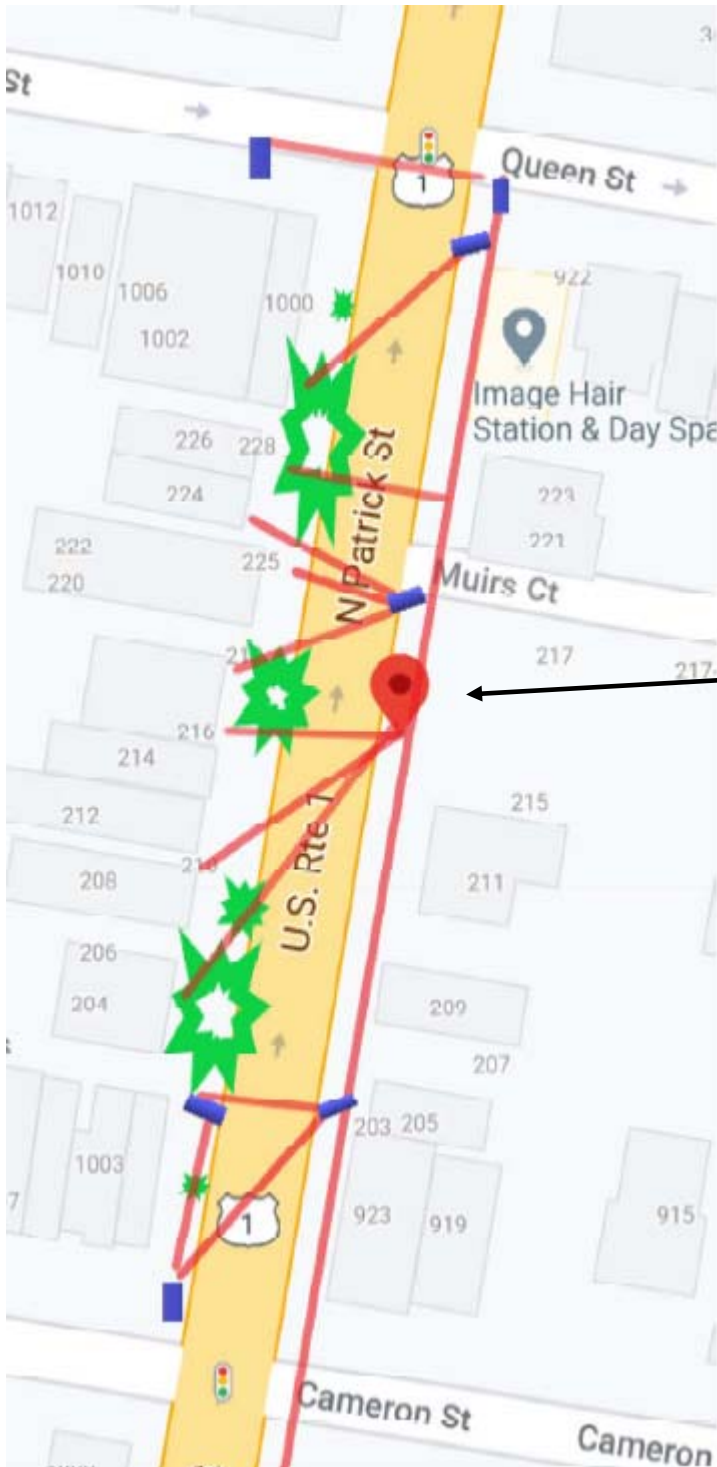
Represents Trees



Represents overhead cables







Represents utility poles



Proposed Utility Pole collocation of small cell antennas and equipment

The above sketch shows the above ground obstacles.

1. From the  utility poles the  red lines represent overhead wires.
 - a. The east side of N Patrick St will not work, because the overhead wires run the entire length of the Road.
 - i. Wires have drag and sway that has to be accounted for as they could smack into other structures
2. On the west side of N Patrick St, there is a mixture of young and mature  trees as well as  red lines representing the wires coming from across the street.
 - a. Trees are obstacles for the projection of the wireless signal in some cases, but also present challenges when we consider new structures. We don't want to disturb the roots and the branches overhead.
 - b. Overhead wires require a horizontal separation by Utility standards and Radio Signal standards from the antennas. (10 foot minimum)
 - i. There is a small footprint on the northwest end of N Patrick between the tree sapling and the crosswalk between the west-east sides of N Patrick; this could possibly have enough horizontal separation. However, there are underground obstacles that make this unacceptable (Gas Line, Water, Drain)

To summarize; the first preference for small cell projects is to locate on existing and available structures. If there no available structures, a new stand-alone structure can be considered.

At this location none of the other structures are suitable for collocation, and a new stand-alone structure has too many above ground and below ground obstacles to make this a viable option.

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVER THE LESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIAL, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DEBRIS, TRASH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. DETAILS OF EQUIPMENT TO BE INCLUDED IN RFQ PACKAGE. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. ALL UNISTRUT, HARDWARE, AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL. FOR FIELD CUTS OF GALVANIZED ITEMS FIRST COAT SHALL BE GOLD GALVANIZED AND SECOND COAT SHALL BE MARINE GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH AN RMA FORM AND PACKAGING REQUIREMENTS STIPULATED BY THE VZIA CONSTRUCTION ENGINEER.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS PROVIDED BY VERIZON, AND IS LIABLE FOR THOSE MATERIALS ONCE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A PUNCH WALK WITH VZIA CONSTRUCTION & OPERATION REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A 10LBS. DRY-CHEMICAL FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215 N PATRICK STREET
 ALEXANDRIA, VIRGINIA 22314

INDEX OF DRAWINGS

CS-1	SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS
C-1	SITE PLAN
C-2	SITE DETAILS
TMP-1	TRANSPORTATION MANAGEMENT PLAN NOTES
TMP-2	TRANSPORTATION MANAGEMENT PLAN
S-1	STRUCTURAL SECTIONS AND DETAILS
S-2	GENERAL NOTES
E-1	ROUTING SITE PLAN
E-2	SPECIFICATIONS, SYMBOLS LIST, PANEL SCHEDULE AND DETAILS
E-3	POWER PLAN, POWER RISER, DETAILS, AND NOTES
E-4	GROUNDING DIAGRAM, DETAILS, AND NOTES
E-5	DIAGRAMS

CODE ANALYSIS

APPLICABLE BUILDING CODE:	IBC 2015
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	IIB
UTILITY COMPANY:	DOMINION



PROJECT DESCRIPTION

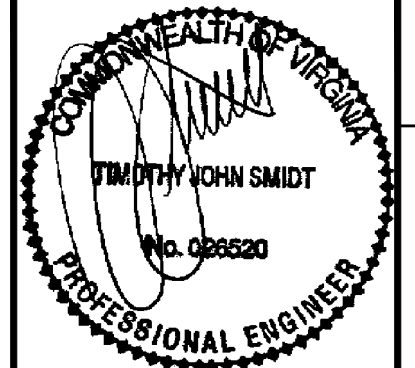
THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED UTILITY POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNA WILL BE MOUNTED ON THE PROPOSED UTILITY POLE AT A RAD CENTER OF 45'-2" AND NOKIA ANTENNAS WILL BE MOUNTED AT A RAD CENTER OF 41'-4".

DIRECTIONS TO SITE

- FROM JUNCTION DRIVE:
- TURN RIGHT ONTO DORSEY RUN ROAD
 - TAKE RAMP ON LEFT FOR MD-32 EAST
 - TAKE EXIT #10C RAMP ON RIGHT FOR BALTIMORE
 - WASHINGTON PARKWAY SOUTH
 - KEEP STRAIGHT ONTO MD-201 SOUTH
 - TAKE EXIT #1C RAMP ON RIGHT FOR I-495 SOUTH
 - TAKE EXIT #171B RAMP ON RIGHT FOR US-1 NORTH/ N PATRICK STREET
 - DESTINATION WILL BE ON THE RIGHT

VERIZON WIRELESS REVIEW

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE



verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215 N PATRICK STREET, ALEXANDRIA,
 CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:

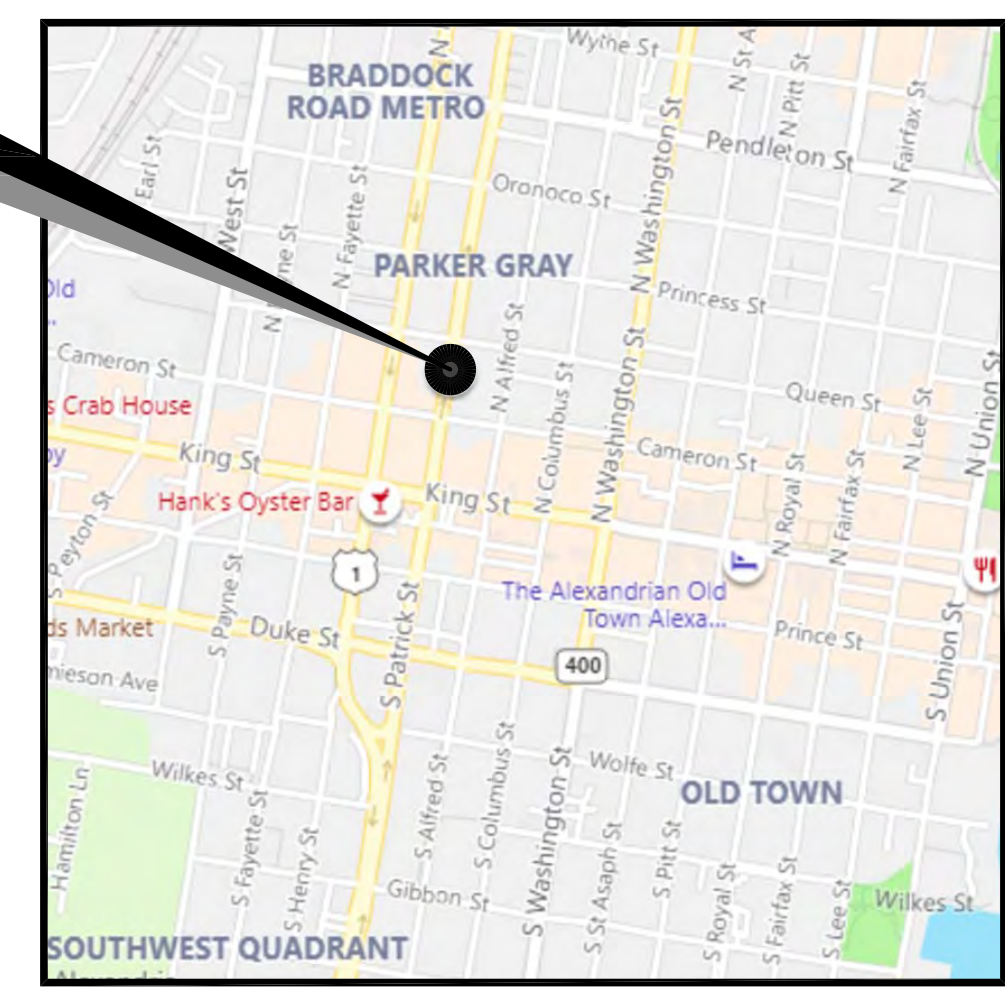
NO.	DESCRIPTION	DATE

PERMIT DWG# 7/14/20

LAST REV.:
 PROJECT NO: 20084P
 DATE: JULY 14, 2020
 SCALE: AS NOTED

TITLE:
 SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS

SHEET:
 CS-1



VICINITY MAP
SCALE: 1" = 1000'

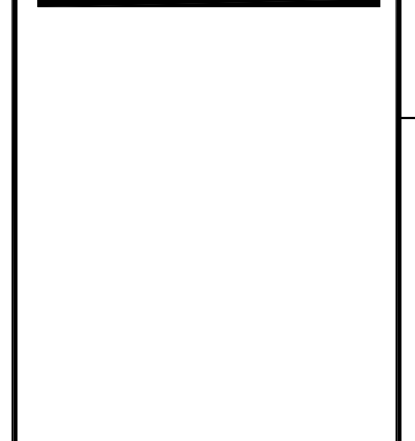
SITE NOTES:

1. APPLICANT: VERIZON WIRELESS
1012 JUNCTION DRIVE, SITE 300
ANNAPOLIS JUNCTION, MD 20701
TEL: (301) 512-2000
FAX: (301) 512-2189
- APPLICANT'S REPRESENTATIVE: JOSHUA SCHAKOLA
MASTEC NETWORK SOLUTIONS
4115 GUILFORD RD, SITE 400
COLUMBIA, MD 21046
2. STRUCTURE OWNER: DOMINION ENERGY VIRGINIA
5071 CENTERVILLE RD
HERNDON, VA 20171
(571) 203-9992
3. ADJACENT PROPERTY OWNER: PATRICK STREET ASSOCIATES LLC
415 CAMERON ST
ALEXANDRIA, VA 22314
4. ADJACENT SITE DATA: MAP-BLOCK-LOT, 064.09-06-04
ACCOUNT NUMBER, 11465000
TRACT AREA, 2.400 SF
ADDRESS, 215 N PATRICK ST
ALEXANDRIA, VA 22314
EXISTING USE, PARKING LOT
5. ZONING: RB
6. HORIZONTAL AND VERTICAL CONTROL SHOWN HEREON IS BASED ON SATELLITE IMAGERY PROGRAMS AND INFORMATION PROVIDED BY VERIZON WIRELESS.
LATITUDE: N88° 48' 23.41" (88.807281°) GROUND ELEVATION: 39.00± AMSL (AVG)
LONGITUDE: W71° 02' 54.38" (-71.04821°)
7. TOTAL DISTURBED AREA = 8 SF
8. THE PROPOSED FACILITIES WILL CONSIST OF FOUR (4) ANTENNAS WITH ASSOCIATED EQUIPMENT MOUNTED ON A REPLACEMENT UTILITY POLE, TO REPLACE EXISTING, WITH RAD CENTERS AT ELEVATIONS OF 45'-2" ABOVE GRADE LEVEL & 41'-4" ABOVE GRADE LEVEL FOR THE RECEPTION OF VERIZON WIRELESS TELECOMMUNICATIONS.
9. THE APPLICANT WILL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURE WILL MEET THE APPLICABLE DESIGN AND LOADS FOR THE REQUIREMENTS OF THE TELECOMMUNICATIONS INDUSTRY ASSOCIATION.
10. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR, THEY SHALL BE REMOVED BY THE ANTENNA OWNER AT OWNER'S EXPENSE.
11. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
12. STORMWATER MANAGEMENT NOTE: NO STORMWATER MANAGEMENT IS REQUIRED FOR THIS SITE.
13. BOUNDARY SHOWN PER COUNTY RECORDS.
14. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
15. ALL DETAILS SHOWN ARE "STANDARD" OR "TYPICAL" FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CONSTRUCTION PLANS BY OTHERS.
16. STRUCTURAL ANALYSIS/DESIGN TO BE PERFORMED BY OTHERS AT CLIENT AND/OR OWNER'S DISCRETION PRIOR TO COMMENCEMENT OF ANY WORK.
17. THE COMMUNICATION EQUIPMENT SHALL BE UNMANNED, WITH INFREQUENT VISITS (FOUR OR FEWER PER YEAR) BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HANDICAP ACCESS IS NOT REQUIRED.

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY "MISS UTILITY" (BU) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.

MRA
MORRIS & RITCHE ASSOCIATES, INC.
Civil/Structural Engineers
1320-C East Joppa Road, Suite 505
Towson, Maryland 21286
410-821-1800
410-821-1748 Fax



verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
 ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	07/14/20

DESIGNED BY: RJD
 DRAWN BY: DNT
 PROJECT NO: 10427.2424
 DATE: 07/01/2020
 SCALE: AS NOTED

TITLE:
Site Plan

SHEET:
C-1

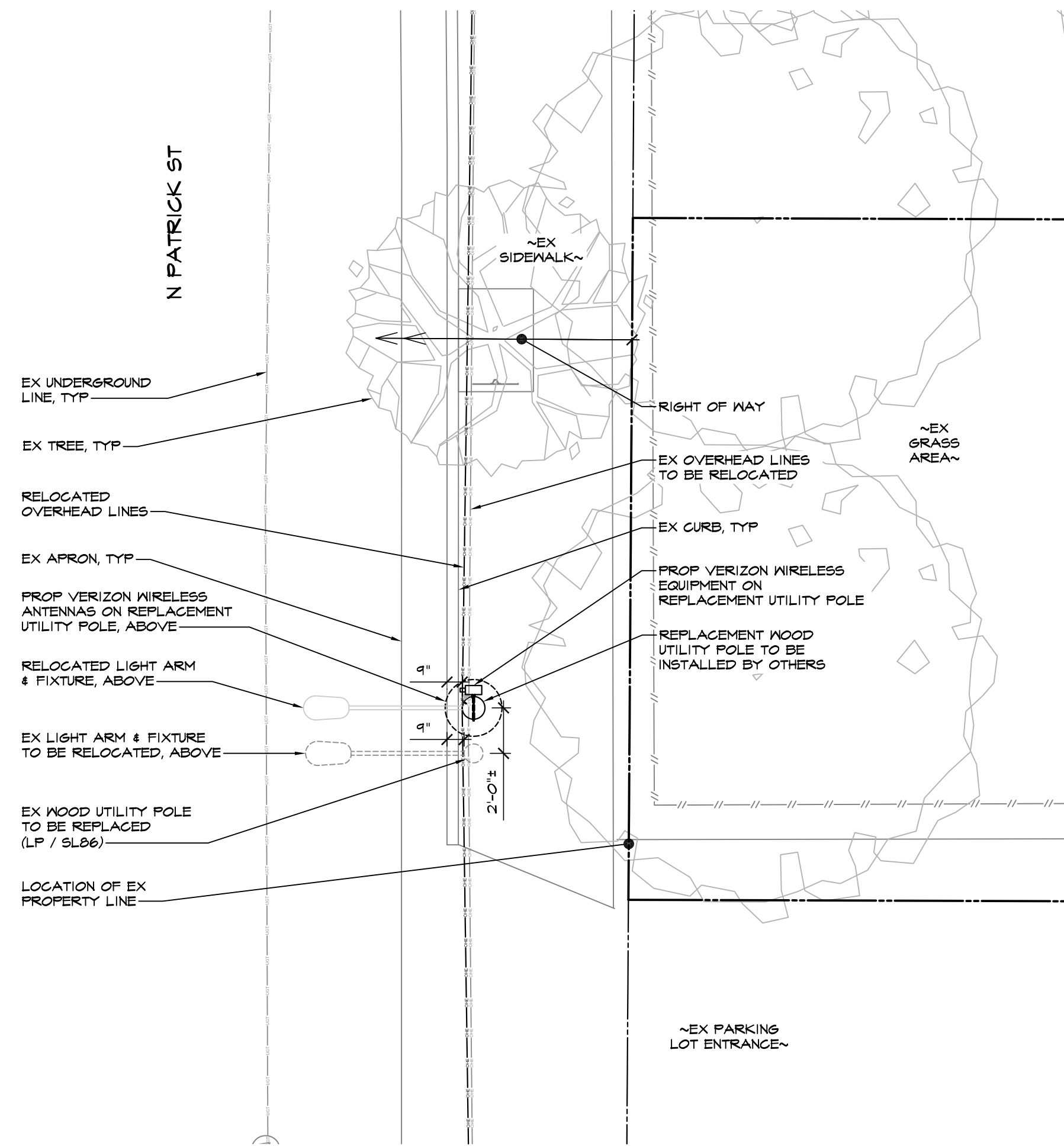


SITE PLAN
SCALE: 1" = 20'-0"

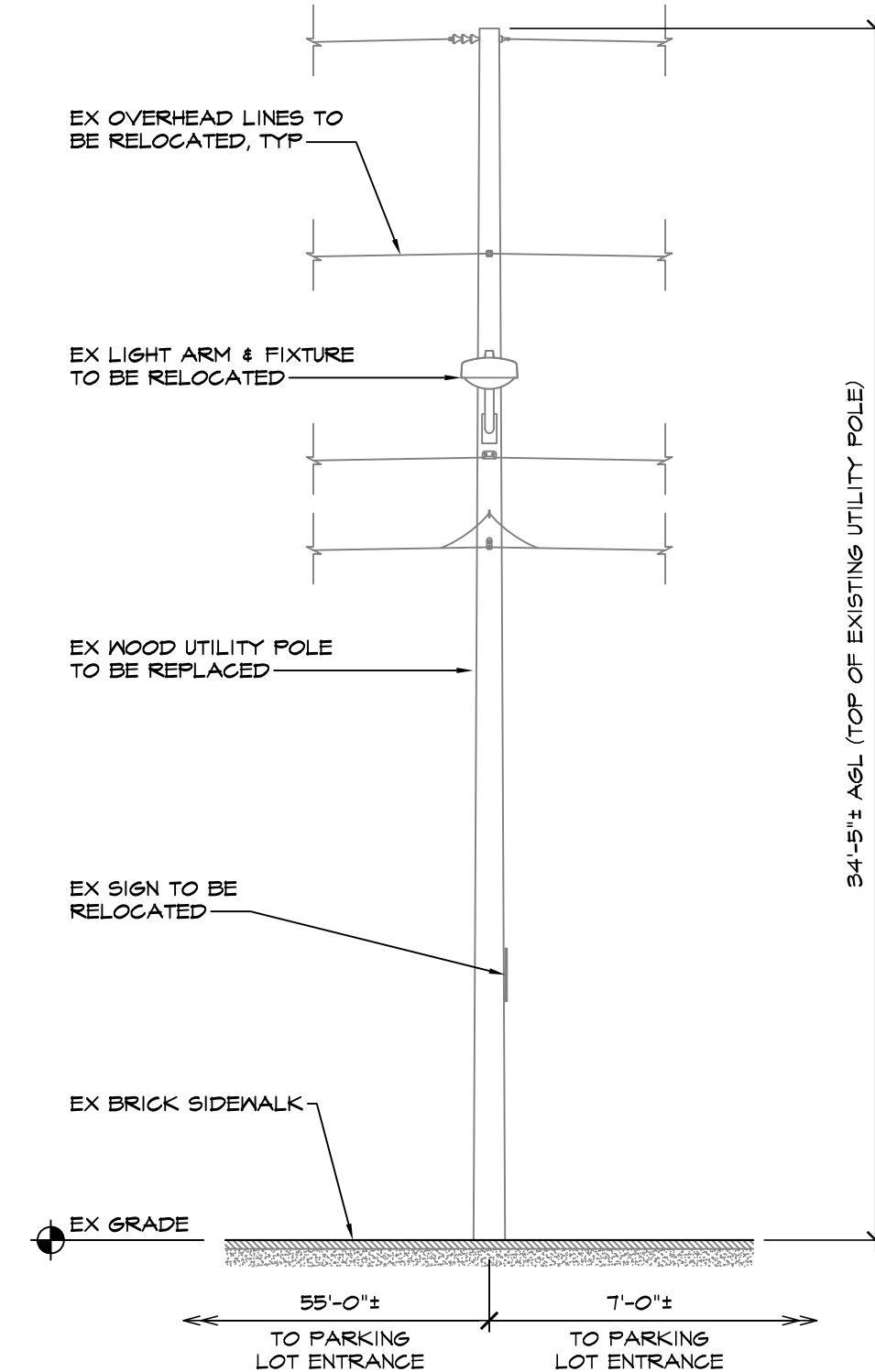


**Know what's below.
Call before you dig.**

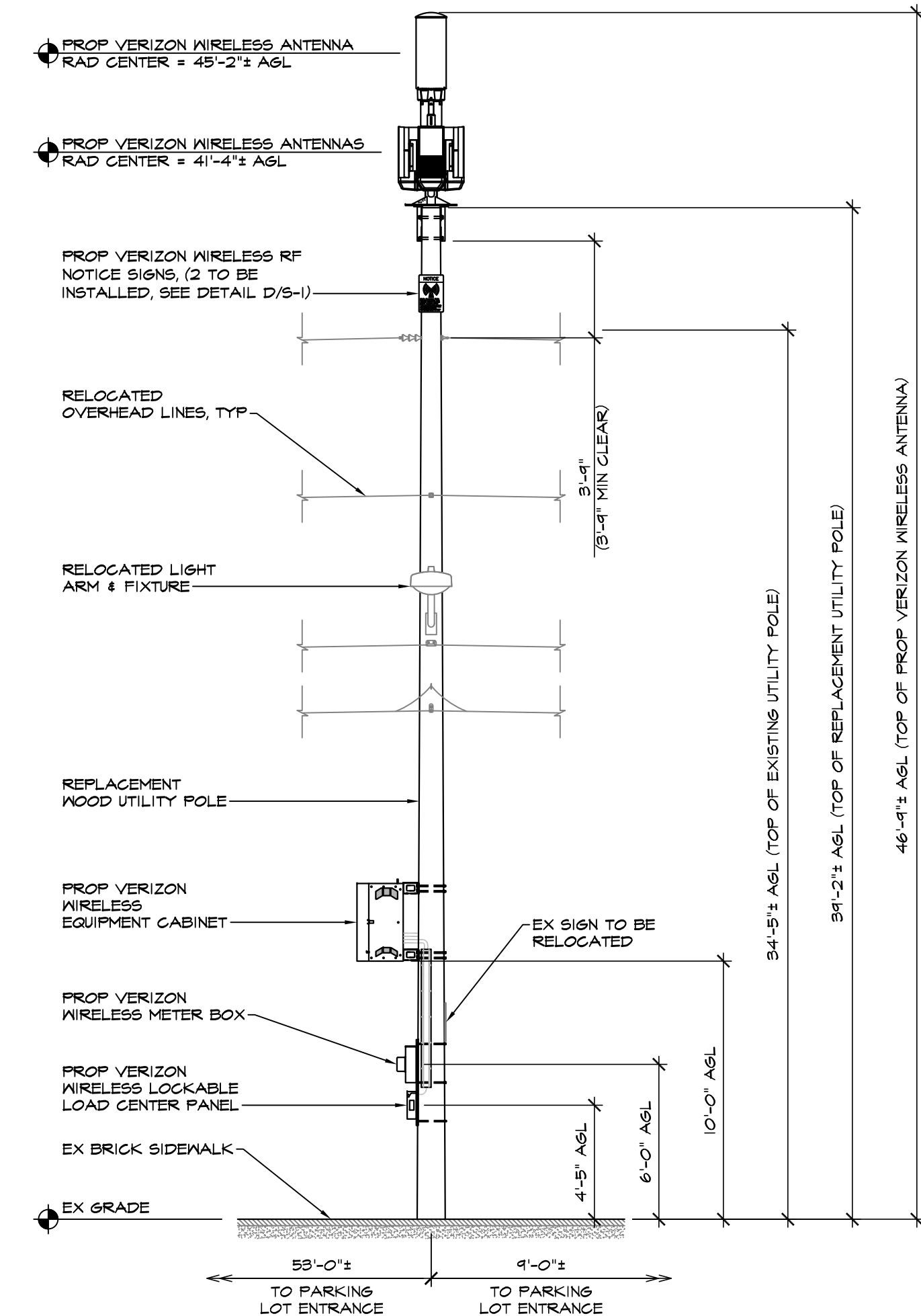
PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



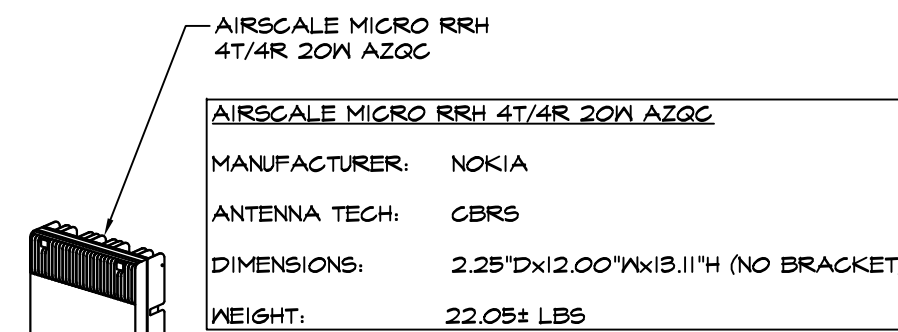
ENLARGED EQUIPMENT LAYOUT
SCALE: 1" = 5'-0"



EXISTING UTILITY POLE ELEVATION
SCALE: 1" = 5'-0"

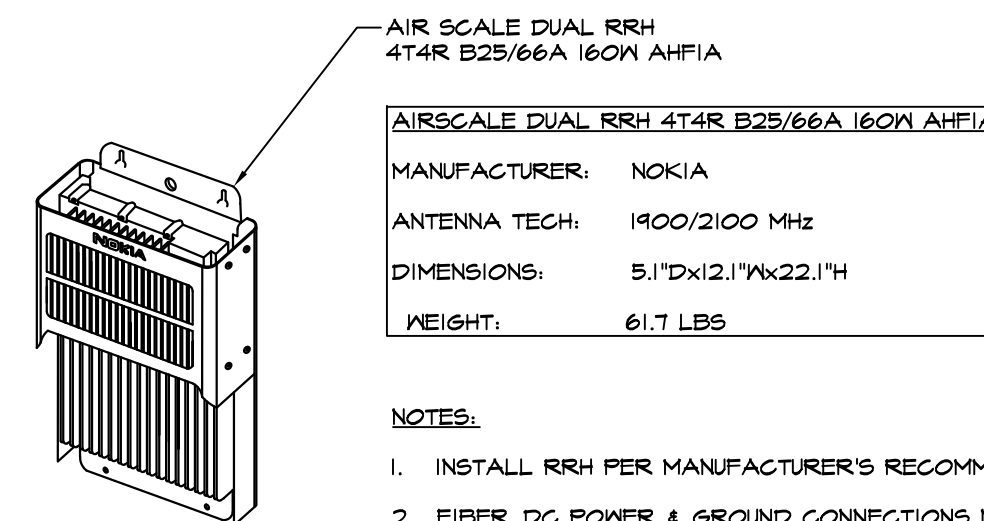


REPLACEMENT UTILITY POLE ELEVATION
SCALE: 1" = 5'-0"



- NOTES:**
1. INSTALL RRH PER MANUFACTURER'S RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

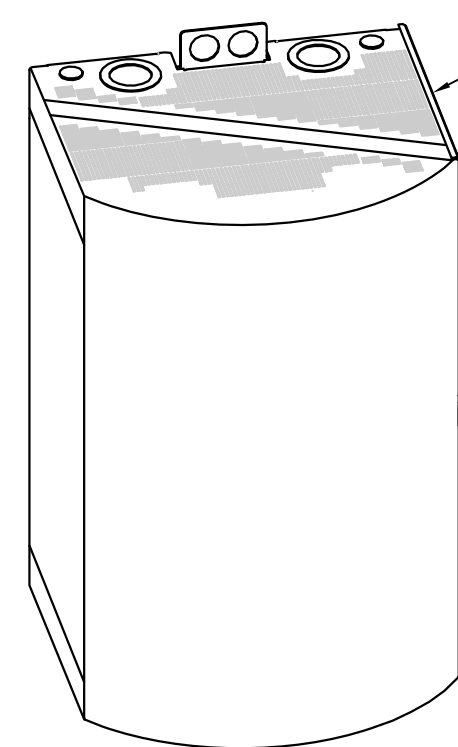
NOKIA AIRSCALE MICRO RRH 4T/4R 20W AZQC DETAIL
NOT TO SCALE



- NOTES:**
1. INSTALL RRH PER MANUFACTURER'S RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

NOKIA AIRSCALE DUAL RRH 4T4R B25/66A 160W AHFIA - DETAIL
NOT TO SCALE

ANTENNA VOLUMETRIC CALCULATION		EQUIPMENT VOLUMETRIC CALCULATION	
JMA CX160M1236-1C (1 ANTENNA, 2.98 CU FT EACH)	2.98 CU FT	CHARLES SHRD60	10.5 CU FT
NOKIA AEUB (3 ANTENNAS, 0.83 CU FT EACH)	2.50 CU FT	SQUARE D BOX No. 2R LOAD CENTER PANEL	0.28 CU FT
TOTAL	5.48 CU FT	200 AMP RINGLESS HORN OVERHEAD METER SOCKET	0.54 CU FT
		NOKIA ASODA RRH (3 UNITS, 0.82 CU FT EACH)	0.96 CU FT
		TOTAL	12.28 CU FT



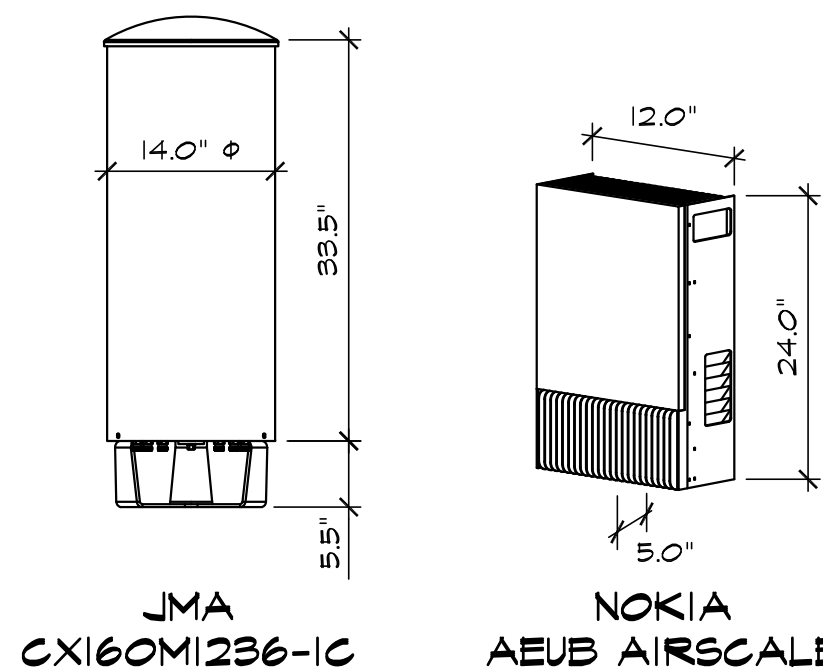
CHARLES SHRD60

CHARLES SHRD60-362322 CONCEALMENT SHROUD
MANUFACTURER: CHARLES
DIMENSIONS: 21.5"Dx22.7"Wx36.1"H

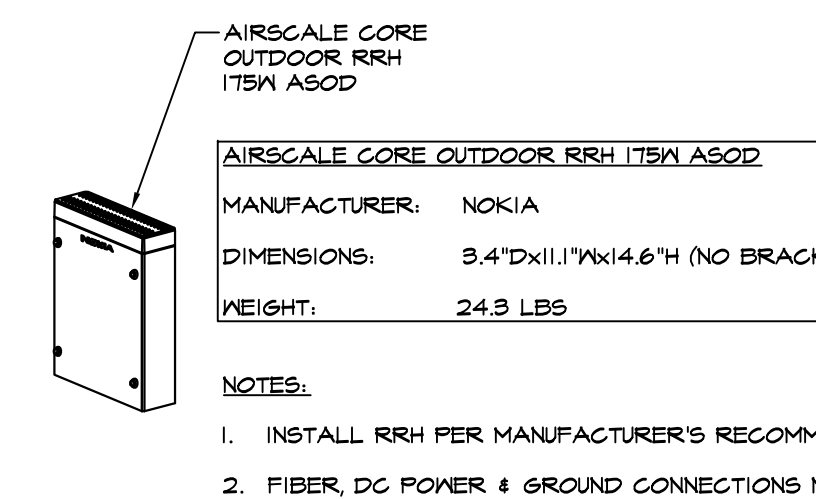
NOTES:

1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. DIMENSIONS SHOWN DO NOT INCLUDE MOUNTING BRACKETS.

EQUIPMENT CABINET DETAIL
NOT TO SCALE



VERIZON WIRELESS ANTENNA DETAILS
NOT TO SCALE



- NOTES:**
1. INSTALL RRH PER MANUFACTURER'S RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

NOKIA AIRSCALE CORE OUTDOOR RRH 175 W ASOD DETAIL
NOT TO SCALE

MRA
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verizon
ALEXOLDT 009 SC - D - SMALL CELL
RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	07/14/20

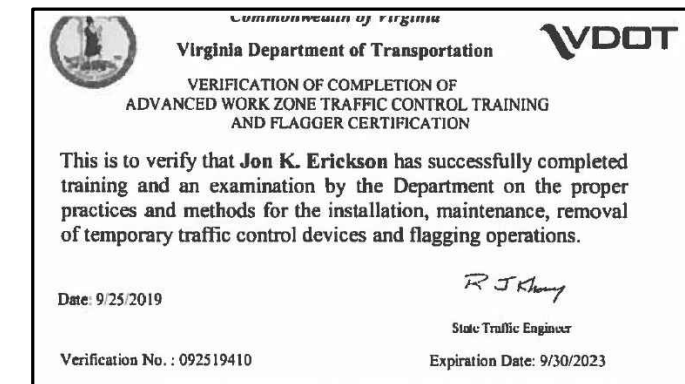
DESIGNED BY: RJD
DRAWN BY: DNT
PROJECT NO: 10427.2424
DATE: 07/01/2020
SCALE: AS NOTED

TITLE:
Site Details

SHEET:
C-2

TRANSPORTATION MANAGEMENT PLAN

TEMPORARY TRAFFIC CONTROL PLAN NOTES & WORK AREA PROTECTION MANUAL TTC'S



PROJECT INFORMATION

- THE PROJECT'S TMP PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH TMP TYPE A.
- WORK ZONE AREAS SHALL BE SETUP AS SHOWN ON TTC'S ON THIS PLAN SHEET. THE WORK ZONE LENGTHS AND WIDTHS MAY VARY BY LOCATION IN ACCORDANCE WITH APPLICABLE TTC.
- CONSTRUCTION HOURS: 9AM-3:30PM MONDAY-THURSDAY. 9AM-2PM FRIDAY. NO WORK ON NIGHTS, WEEKENDS OR HOLIDAYS. NO LANE CLOSURES WILL BE ALLOWED FROM NOON ON THE DAY BEFORE A HOLIDAY UNTIL NOON ON THE WORKDAY FOLLOWING THE HOLIDAY. HOLIDAYS INCLUDE ALL STATE AND FEDERAL HOLIDAYS.
- EXISTING INTERSECTIONS: THE NEAREST INTERSECTION IS N PATRICK ST AND MUIRS CT.
- EXISTING PEDESTRIAN ACCESS POINTS: THERE IS EXISTING SIDEWALK LOCATED WITHIN THE PROJECT LIMITS.
- EXISTING BUS STOPS: THERE ARE NO BUS STOPS NEAR THE PROJECT LIMITS.
- EXISTING ENTRANCES: THERE ARE RESIDENTIAL ENTRANCES LOCATED WITHIN THE CONSTRUCTION LIMITS.
- THE TRAFFIC ON THE ROADWAY CONSIST PRIMARILY OF PASSENGER VEHICLES AND PEDESTRIANS. THE SURROUNDING AREA IS RESIDENTIAL.
- THE CONTRACTOR SHALL:

DESIGNATE A PERSON ASSIGNED TO THE PROJECT WHO WILL HAVE THE PRIMARY RESPONSIBILITY, WITH SUFFICIENT AUTHORITY, FOR IMPLEMENTING THE TMP/SOC AND OTHER SAFETY AND MOBILITY ASPECTS OF THE PERMITTED WORK. THIS PERSON SHALL COORDINATE WITH THE INSPECTOR FOR THE DURATION OF CONSTRUCTION.

ENSURE THAT PERSONNEL IMPLEMENTING THE MOT ARE TRAINED IN TRAFFIC CONTROL TO A LEVEL COMMENSURATE WITH THEIR RESPONSIBILITY IN ACCORDANCE WITH VIRGINIA WORK ZONE TRAFFIC CONTROL TRAINING GUIDELINES.

INFORM COUNTY OF ANY WORK REQUIRING LANE SHIFTS, LANE CLOSURES, AND/OR PHASE CHANGES A MINIMUM OF TWO WORKING DAYS PRIOR TO IMPLEMENTING THIS ACTIVITY

PERFORM REVIEWS OF THE CONSTRUCTION AREA TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS AT REGULARLY SCHEDULED INTERVALS AT THE DIRECTION OF COUNTY ENGINEERS. CONTRACTOR SHALL MAINTAIN A COPY OF THE TEMPORARY TRAFFIC CONTROL PLAN AT THE WORK SITE AT ALL TIMES.

COORDINATE WITH CITY OF ALEXANDRIA POLICE DEPARTMENT AND CITY OF ALEXANDRIA FIRE/RESCUE DEPARTMENT FOR ANY LANE CLOSURES AND ANY DETOURS OF ANY NATURE, AT NO ADDITIONAL COST TO THE PROJECT.

SCHEDULE ALL PHASES OF CONSTRUCTION IN SUCH A MANNER THAT WATER, SANITARY SEWER, CABLE, FIBER CABLE/OPTIC CABLE, ANY OVERHANGING UTILITIES, AND ANY UNDERGROUND UTILITIES SERVICES WILL NOT BE INTERRUPTED.

- THIS TMP PLAN IS INTENDED AS A GUIDE. IF THE CONTRACTOR IS TO DEVIATE FROM THE APPROVED TMP, A NEW OR REVISED TMP MUST BE SUBMITTED TO COUNTY FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADD ANY ADDITIONAL TEMPORARY MEASURES NECESSARY TO FACILITATE PROPER, POSITIVE DRAINAGE FOR THE DURATION OF CONSTRUCTION.
- WHERE GROUP 2 CHANNELIZING DEVICES ARE USED TO SEPARATE THE CONSTRUCTION AREA AND TRAFFIC, A MINIMUM CLEAR ZONE AREA SUCH AS DEFINED IN THE VWPM IS TO BE MAINTAINED.
- CONTRACTOR IS TO COORDINATE WITH CITY FOR LOCATION(S) OF THE CONSTRUCTION STAGING AREA. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND/OR EASEMENTS AS NECESSARY.
- IMPLEMENTING THE TRANSPORTATION MANAGEMENT PLAN DURING THE FIRST DAY OF THE NEW WORK ZONE TRAFFIC PATTERN, THE PROJECT'S MANAGER AND CITY'S INSPECTOR SHALL INSPECT THE WORK ZONE TO ENSURE COMPLIANCE WITH THE TMP. ON THE THIRD TO FIFTH DAY OF IMPLEMENTATION OF THE TMP'S NEW WORK ZONE TRAFFIC PATTERN THE CONSTRUCTION INSPECTOR SHALL CONDUCT AN ON-SITE REVIEW OF THE WORK ZONE'S PERFORMANCE IN COORDINATION WITH COUNTY AND RECOMMEND TO THE CONTRACTOR ANY REQUIRED CHANGES TO THE TMP TO ENHANCE THE WORK ZONE'S SAFETY AND MOBILITY. ALL SUCH CHANGES SHALL BE DOCUMENTED. AN ON-SITE REVIEW OF THE PROJECT'S WORK ZONE TRAFFIC CONTROL BY THE PROJECT MANAGER AND CONTRACTOR SHALL BE CONDUCTED (WITH COORDINATION FROM COUNTY) WITHIN 48 HOURS OF ANY FATAL INCIDENT/CRASH WITHIN THE WORK ZONE.

13. PUBLIC COMMUNICATIONS PLAN

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
- NOTIFYING THE PROJECT MANAGER AND CITY INSPECTOR TWO WEEKS IN ADVANCE OF ANY SCHEDULED WORK PLANS AND TRAFFIC DELAYS.
 - NOTIFYING THE PROJECT MANAGER, CITY INSPECTOR, AND CORRESPONDING COUNTY ENGINEER OF ANY UNSCHEDULED TRAFFIC DELAYS.

16. TRANSPORTATION OPERATIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND PROVIDING THE FOLLOWING:
- NOTIFY THE REGIONAL TRANSPORTATION OPERATIONS CENTER (TOC) 1 WEEK IN ADVANCE IN ORDER TO PLAN LANE CLOSURE INFORMATION ON THE 511 SYSTEM AND VA-TRAFFIC.
 - IMMEDIATELY REPORT ANY TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE.
 - NOTIFY THE PROJECT'S CONSTRUCTION INSPECTOR AND COUNTY ENGINEER OF ANY INCIDENTS AND EXPECTED TRAFFIC DELAYS.
 - WITHIN 24 HOURS OF ANY INCIDENTS WITHIN THE CONSTRUCTION WORK ZONE, A REVIEW OF THE TRAFFIC CONTROLS SHALL BE COMPLETED AND NECESSARY ADJUSTMENT MADE TO REDUCE THE FREQUENCY AND SEVERITY OF ANY FUTURE INCIDENTS.

17. CONTACT NUMBERS

PROJECT MANAGER: TBD
 CITY INSPECTOR: TBD
 EMERGENCY CALL: 911

NON-EMERGENCY NUMBERS:
 CITY OF ALEXANDRIA POLICE: 703-746-4444
 CITY OF ALEXANDRIA FIRE & RESCUE: 703-746-4357

GENERAL CONSTRUCTION NOTES

NOTE: VWPM VIRGINIA WORK AREA PROTECTION MANUAL (2011) INCLUDING REVISION 2 DATED SEPTEMBER 1, 2019.

- THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.

Page 6H-14

September 2019

Typical Traffic Control Stationary Operation on a Shoulder (Figure TTC-4.2)

NOTES

- Standard**
- For long-term stationary work (more than 3 days) on divided highways having a median wider than 8', sign assemblies on both sides of the roadway shall be required as shown (ROAD WORK AHEAD (W20-1), RIGHT SHOULDER CLOSED AHEAD (W21-5aR), RIGHT SHOULDER CLOSED (W21-5aR)), even though only one shoulder is being closed. For operations less than 3 days in duration, sign assemblies will only be required on the side where the shoulder is being closed.
- Guidance**
- Sign spacing should be 1300'-1500' for Limited Access highways. For all other roadways, the sign spacing should be 500'-800' where the posted speed limit is greater than 45 mph, and 350'-500' where the posted speed limit is 45 mph or less.
- Option:**
- The SHOULDER WORK (W21-5) sign on an intersecting roadway may be omitted where drivers emerging from that roadway will encounter another advance warning sign prior to this activity area.
 - For short duration operations of 60 minutes or less, all signs and channelizing devices may be eliminated if a vehicle with activated high-intensity amber rotating, flashing, or oscillating lights is used.
- Standard:**
- Vehicle hazard warning signals shall not be used instead of the vehicle's high-intensity amber rotating, flashing, or oscillating lights. Vehicle hazard warning signals can be used to supplement high-intensity amber rotating, flashing, or oscillating lights.
 - Taper length (L) shall be at the following:

Speed Limit (mph)	Lane Width (Feet)				Remarks	Speed Limit (mph)	Lane Width (Feet)				Remarks
	9	10	11	12			9	10	11	12	
25	95	105	115	125	L+S/W/60	50	450	500	550	600	L-SW
30	135	150	165	180	L+S/W/60	55	495	550	605	660	L-SW
35	185	205	225	245	L+S/W/60	60	540	600	660	720	L-SW
40	240	270	295	320	L+S/W/60	65	585	650	715	780	L-SW
45	405	450	495	540	L+S/W	70	630	700	770	840	L+S/W

Limited Access highways shall use a 1000' merging taper regardless of the posted speed, for shifting taper see Table 6H.2.
 Shoulder Taper = 1/4 Minimum

- Channelizing device spacing shall be at the following:
- | Location Spacing | Speed Limit (mph) | | Location Spacing | Speed Limit (mph) | |
|------------------|-------------------|-----|----------------------|-------------------|------|
| | 0-35 | 36+ | | 0-35 | 36+ |
| Transition | 20' | 40' | Travelway | 40' | 80' |
| | | | *Construction Access | 80' | 120' |
- *Construction access spacing may be increased to this distance, but shall not exceed one access per 1/4 mile.

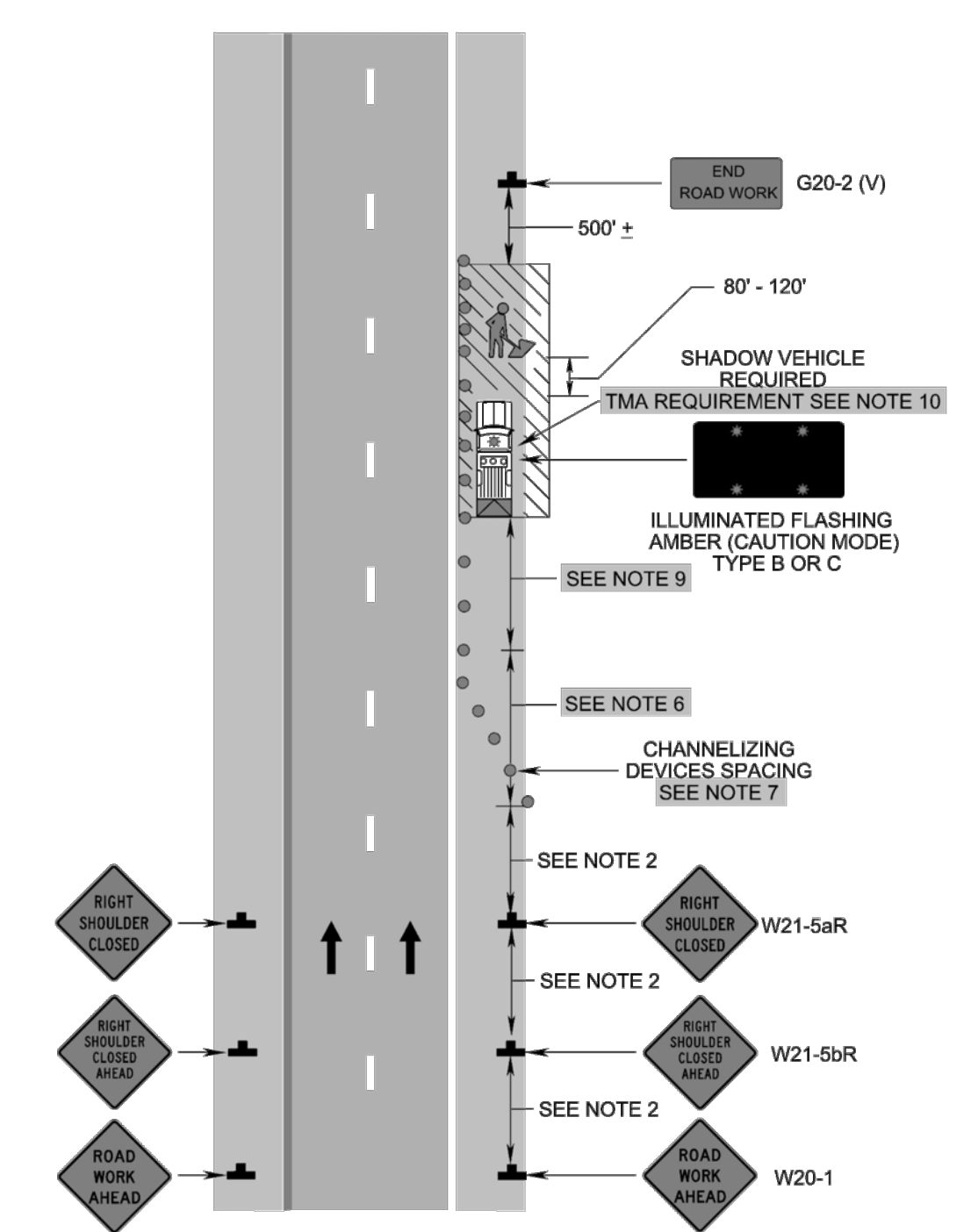
- On roadways with paved shoulders having a width of 8 feet or more, channelizing devices shall be used to close the shoulder in advance of the merging taper to direct vehicular traffic to remain within the traveled way.
- The buffer space length shall be as shown in Table 6H-3 on Page 6H-5 for the posted speed limit.
- A truck-mounted attenuator (TMA) shall be used on the shadow vehicle on Limited Access highways and multi-lane roadways with posted speed limit equal to or greater than 45 mph for operations with a duration greater than 60 minutes.
- When a side road intersects the highway within the temporary traffic control zone, additional traffic control devices shall be placed as needed.

1: Revision 1 - 4/1/2015
 2: Revision 2 - 9/1/2019

September 2019

Page 6H-15

Stationary Operation on a Shoulder (Figure TTC-4.2)



1: Revision 1 - 4/1/2015
 2: Revision 2 - 9/1/2019

Page 6H-78

September 2019

Typical Traffic Control Sidewalk Closure and Bypass Sidewalk Operation (Figure TTC-35.1)

NOTES

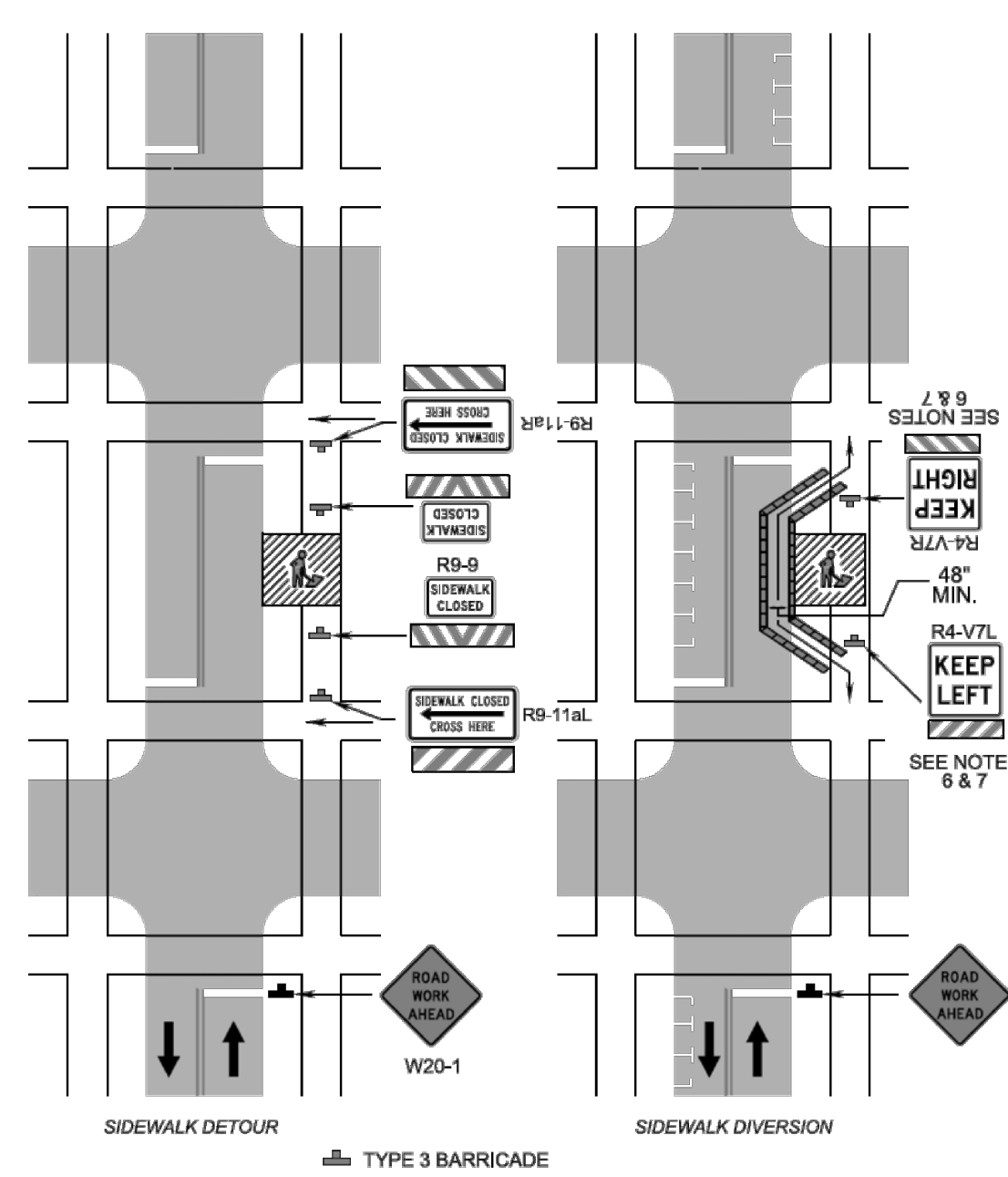
- Standard:**
- When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be detectable and shall include accessibility features consistent with the features present in the existing pedestrian facility.
- Guidance:**
- Where high speeds are anticipated, a temporary traffic barrier and, if necessary, a crash cushion should be used to separate the temporary sidewalks from vehicular traffic.
 - Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
 - Temporary markings should be considered for operations exceeding three days in duration.
- Option:**
- Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
 - For nighttime closings, Type A Flashing warning lights may be used on barricades that support signs and close sidewalks.
 - Signs, such as KEEP RIGHT (R4-VTR) and KEEP LEFT (R4-VTL), may be placed along a temporary sidewalk to guide or direct pedestrians.
- Standard:**
- All sidewalk closures shall be closed with Type 3 Barricades. The SIDEWALK CLOSED (R9-9) sign and the SIDEWALK CROSS HERE (R9-11) sign shall be installed above the Type 3 barricade. The KEEP RIGHT sign can cover the top rail of the Type 3 Barricade.

2: Revision 2 - 9/1/2019

September 2019

Page 6H-79

Sidewalk Closure and Bypass Sidewalk Operation (Figure TTC-35.1)



2: Revision 2 - 9/1/2019

verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
 ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

NO.	DESCRIPTION	DATE
	PERMIT DWGS	07/01/20

DESIGNED BY: JKE
 DRAWN BY: ML
 PROJECT NO: 10421.2924
 DATE: 01/01/2020
 SCALE: AS NOTED
 TITLE:
**TRANSPORTATION
MANAGEMENT
PLAN**

SHEET:
TMP-1

TRANSPORTATION MANAGEMENT PLAN

Commonwealth of Virginia
 Virginia Department of Transportation **VDOT**
 VERIFICATION OF COMPLETION OF
 ADVANCED WORK ZONE TRAFFIC CONTROL TRAINING
 AND FLAGGER CERTIFICATION

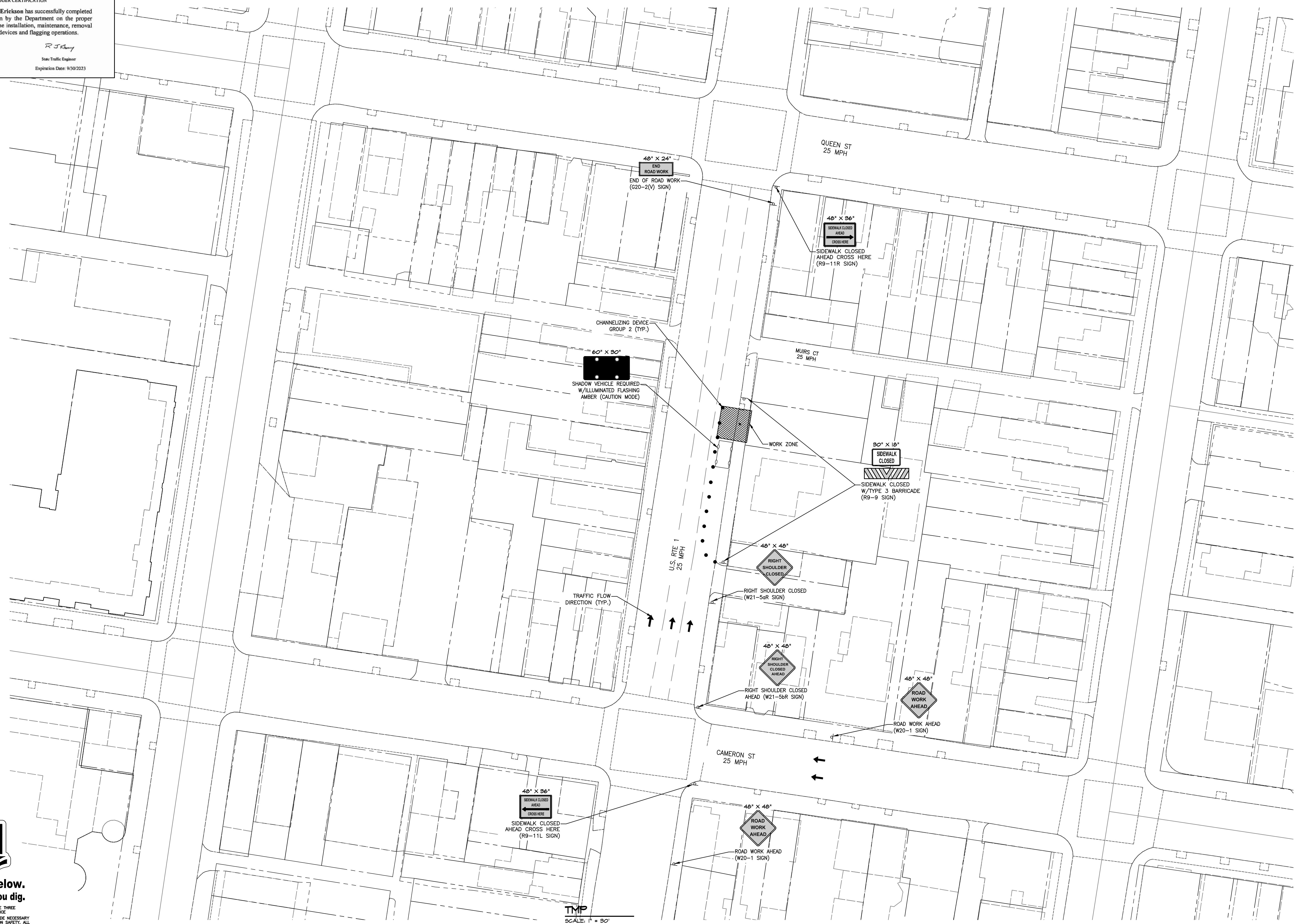
This is to verify that Jon K. Erickson has successfully completed training and an examination by the Department on the proper practices and methods for the installation, maintenance, removal of temporary traffic control devices and flagging operations.

Date: 9/25/2019
 Verification No.: 092519410

R. J. Kelly
 State Traffic Engineer
 Expiration Date: 9/30/2023

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 Civil / Structural Engineers
 1200-C East Joppa Road, Suite 606
 Towson, Maryland 21286
 410-821-1990
 410-821-1746 Fax

COMMONWEALTH OF VIRGINIA
Jon K. Erickson
 JON K. ERICKSON
 Lic. No. 32355
 07/01/2020
 PROFESSIONAL ENGINEER



verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
 ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	07/01/20

DESIGNED BY: JKE
 DRAWN BY: ML
 PROJECT NO: 10421.2424
 DATE: 07/01/2020
 SCALE: AS NOTED

TITLE:
TRANSPORTATION MANAGEMENT PLAN

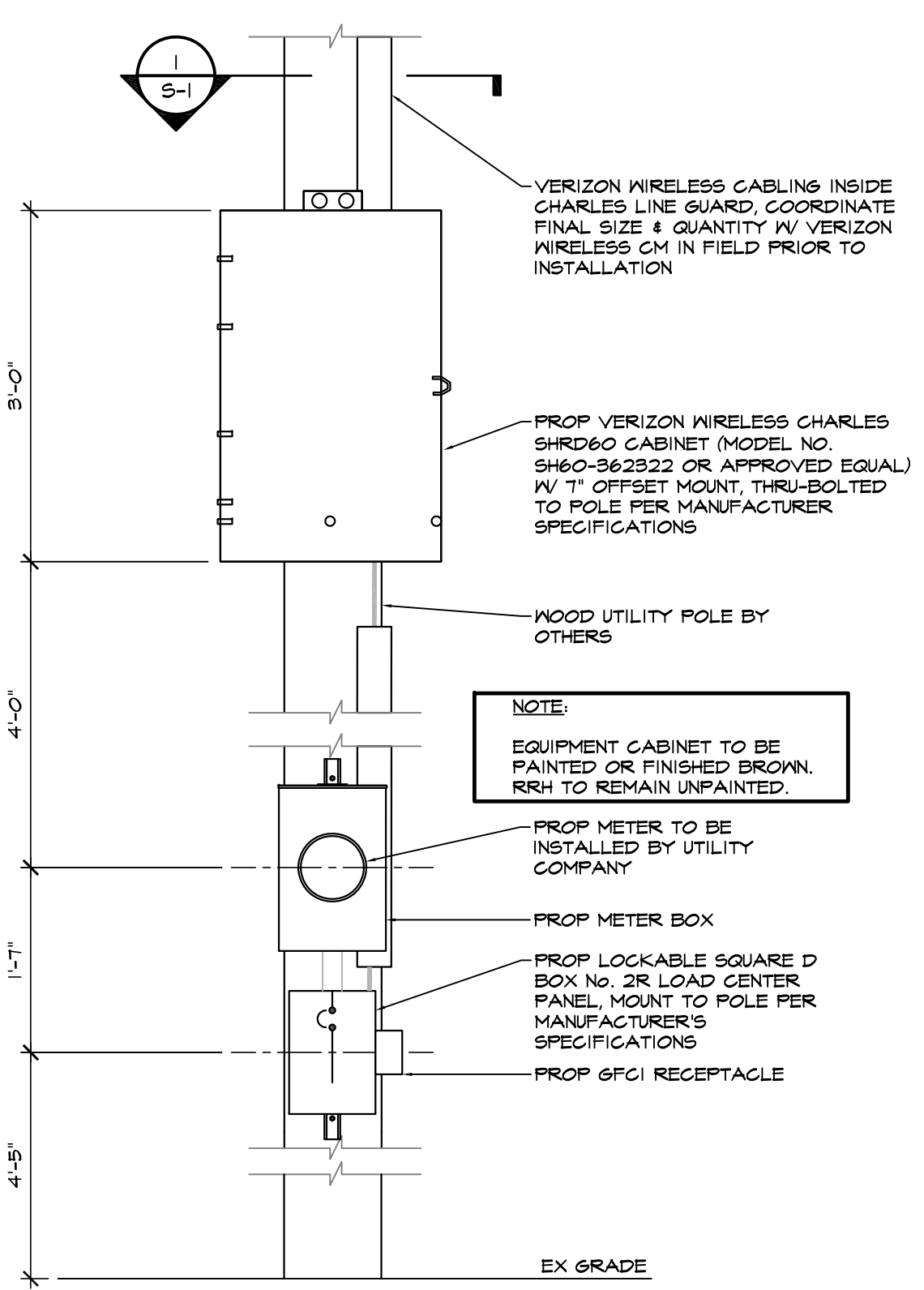
SHEET:
TMP-2



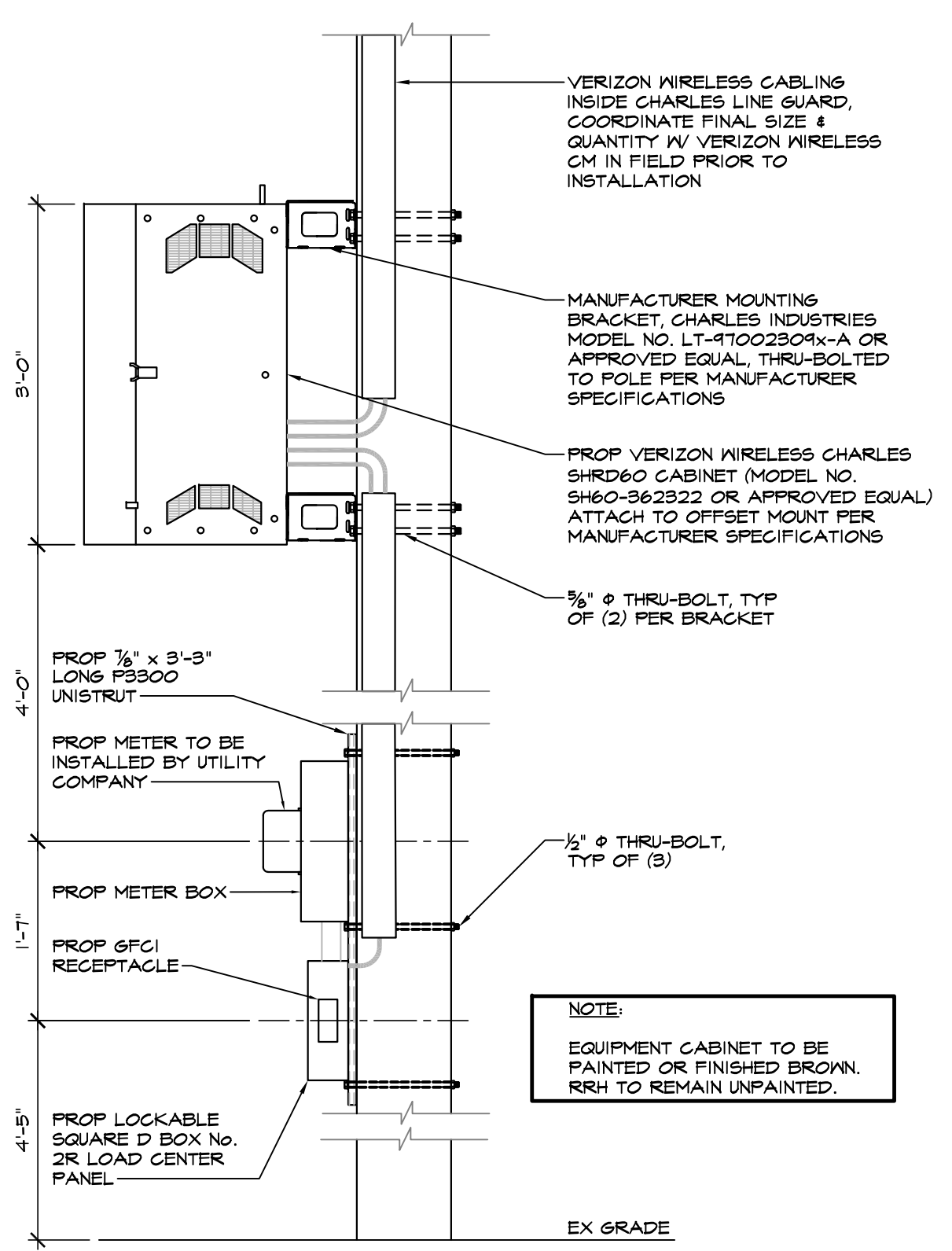
PROTECT YOURSELF. GIVE THREE WARNING DAYS NOTICE.
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

TMP
 SCALE: 1" = 30'

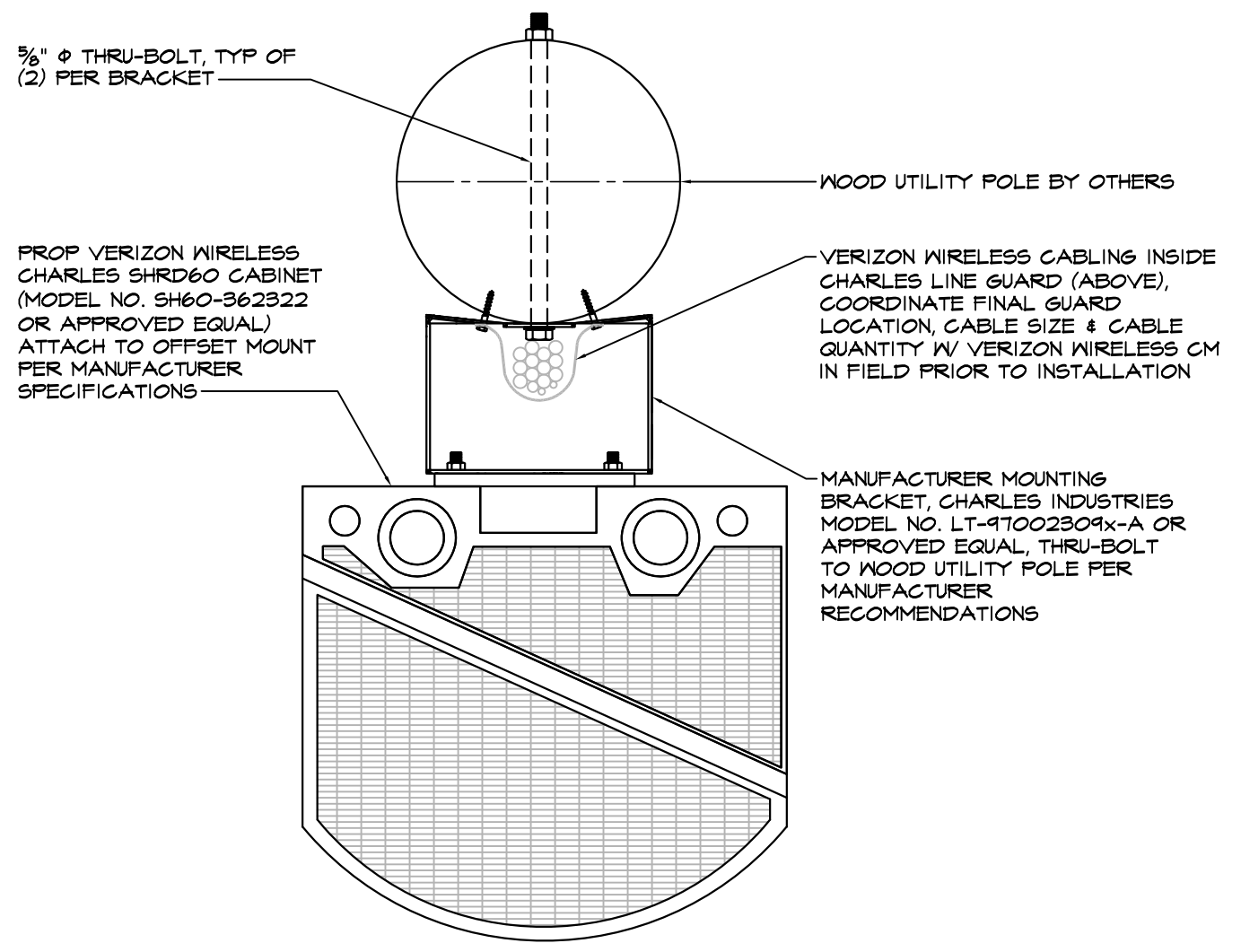
A B C D E F G H J K L M N P Q R



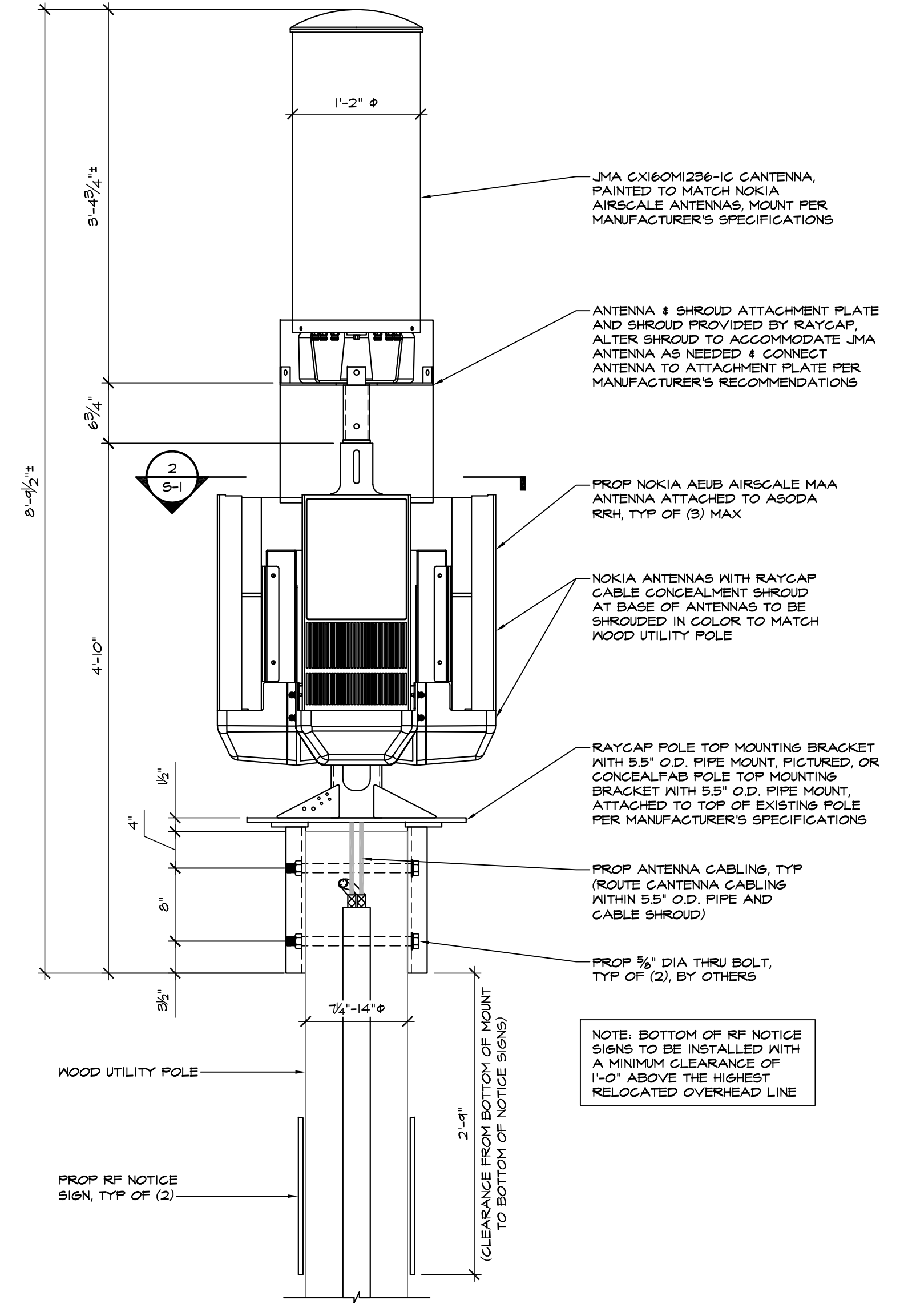
A POLE EQUIPMENT FRONT ELEVATION
SCALE: 3/4" = 1'-0"



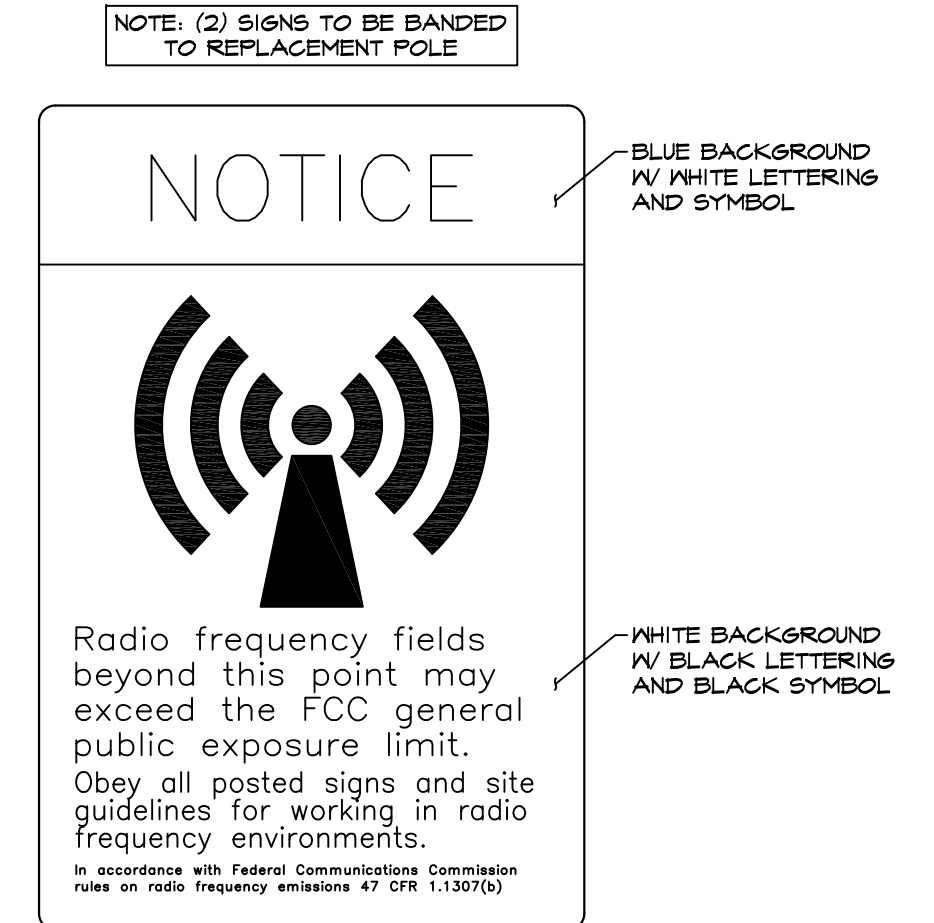
B POLE EQUIPMENT SIDE ELEVATION
SCALE: 3/4" = 1'-0"



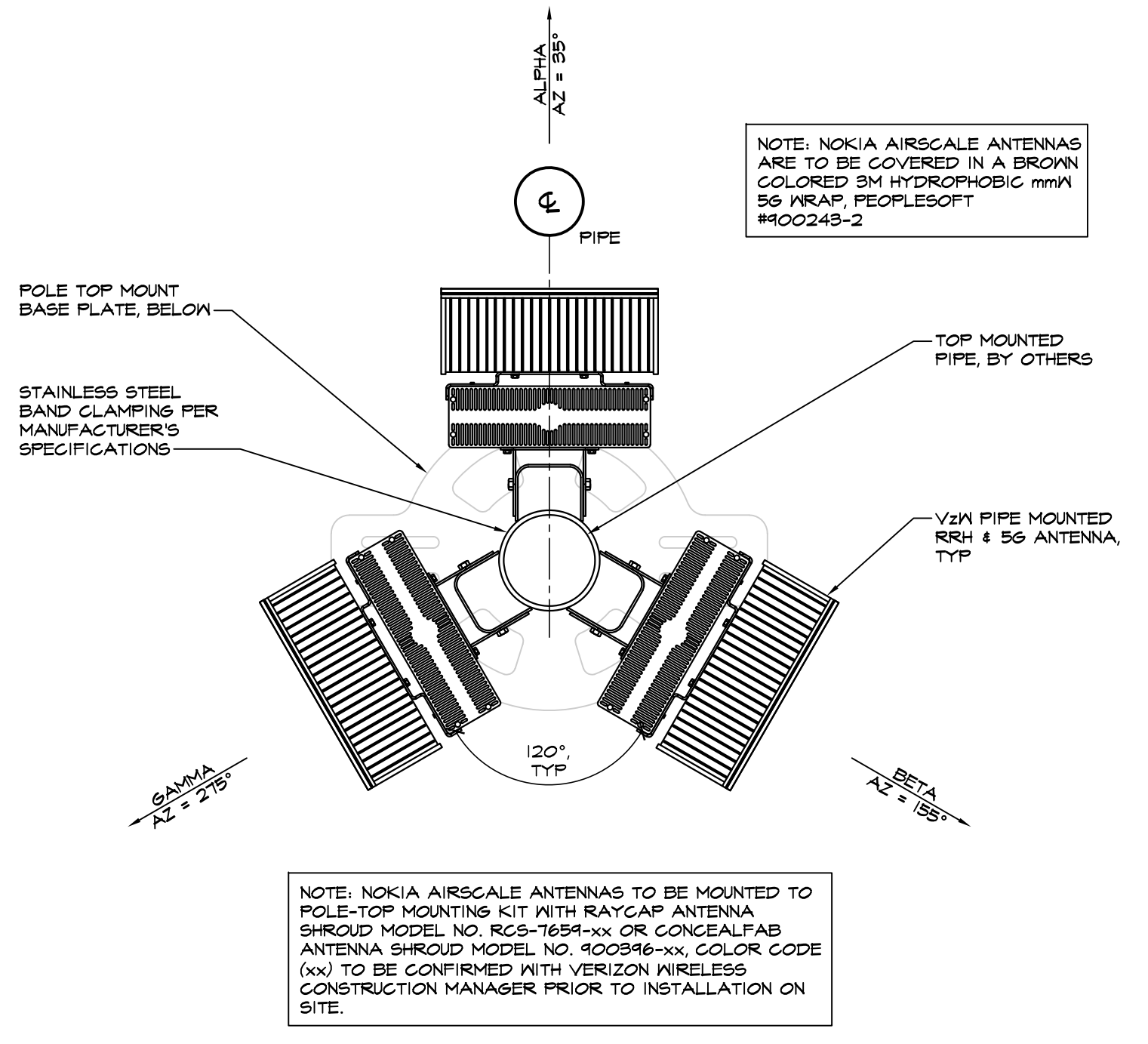
C EQUIPMENT CABINET
SCALE: 1 1/2" = 1'-0"



D ANTENNA & 5G PANEL ANTENNA MOUNT
SCALE: 1" = 1'-0"



E RF NOTICE SIGN DETAIL
SCALE: 3" = 1'-0"



F 5G PANEL ANTENNA SECTION
SCALE: 1-1/2" = 1'-0"

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
Civil/Structural Engineer
1320-C East Joppa Road, Suite 505
Towson, Maryland 21286
410-821-1800
410-821-1748 Fax



verizon
ALEXOLDT 009 SC - D - SMALL CELL
RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	07/14/20

DESIGNED BY: RJD
DRAWN BY: DNT
PROJECT NO: 10427.2424
DATE: 07/01/2020
SCALE: AS NOTED

TITLE:
Structural Sections & Details

SHEET:
S-1



GENERAL STRUCTURAL NOTES

BUILDING CODES

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2015 CONSTRUCTION CODE, THE IFA STANDARD (ITA-222-6) AND ALL SUBSEQUENT SUPPLEMENTS, THE INTERNATIONAL BUILDING CODE (IBC 2015) AND ALL SUBSEQUENT SUPPLEMENTS & DOCUMENTS.
- B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH ANY LOCAL CODES AND REQUIREMENTS.

DESIGN LOADS

- A. THE DESIGN DEAD LOADINGS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS. ALL FRAMING IS DESIGNED FOR THE WEIGHT OF THE EQUIPMENT INDICATED ON THE DRAWINGS.
- B. WIND LOAD DESIGN DATA
 BASIC WIND SPEED (ULTIMATE 3-SECOND GUST): 116 MPH
 BASIC WIND SPEED (NOMINAL 3-SECOND GUST): 90 MPH
 RISK CATEGORY: II
 WIND EXPOSURE CATEGORY: C
- C. SEISMIC LOAD DESIGN DATA
 NOT APPLICABLE: Se < 1.0

MISCELLANEOUS

- A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
- B. SEE CIVIL AND MEP CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION RELATING TO THE COORDINATION OF STRUCTURAL COMPONENTS.
- C. THE CONTRACTOR SHALL NOT SUBMIT REPRODUCTIONS OF THE STRUCTURAL CONTRACT DOCUMENTS AS SHOP DRAWINGS.
- D. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- E. APPLY DETAILS, SECTIONS AND NOTES ON THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL, DETAIL TITLE OR NOTE.

STRUCTURAL AND MISCELLANEOUS STEEL

- A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (ANSI/AISC 360) AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- B. ALL MISCELLANEOUS STEEL (CHANNELS AND PLATES) SHALL CONFORM TO ASTM A36 (F_y = 36 KSI).
- C. ALL HSS SQUARE OR RECTANGULAR SHAPES SHALL CONFORM TO ASTM A500, GRADE B (F_y = 46 KSI).
- D. ALL PIPES SHALL CONFORM TO ASTM A53, GRADE B (F_y = 35KSI)
- E. ALL THRU BOLTS SHALL CONFORM TO ASTM A307 (F_u = 60 KSI).
- F. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436.
- G. ALL SHOP WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS AND CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE INDICATED.
- H. AN INDEPENDENT INSPECTION AGENCY SHALL INSPECT ALL STRUCTURAL STEEL AND VERIFY THAT IT CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FIELD INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 5 DAYS OF THE INSPECTION. THE CONTRACTOR SHALL NOTIFY THE INSPECTION AGENCY OF ALL PHASES OF STEEL CONSTRUCTION AND WELDING.
- I. STEEL MEMBERS, FABRICATIONS AND ASSEMBLIES EXPOSED TO WEATHER OR INDICATED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER FABRICATION. ALL BOLTS, SCREWS, WASHERS & NUTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM F2324.
- J. PROVIDE HOLES IN STEEL AS REQUIRED TO PREVENT ANY ACCUMULATION OF WATER. ALL PENETRATIONS THROUGH MAIN MEMBERS SHALL NOT EXCEED 1-1/8" DIA. AND SHALL BE GROUND SMOOTH. THESE DRAINS MUST BE KEPT CLEAN AND OPEN.
- K. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE SIZES, EXTENT, AND LOCATION OF ALL STRUCTURAL AND MISCELLANEOUS STEEL FRAMING INCLUDING ALL CONNECTIONS, FASTENERS, AND BEARINGS.
- L. SHOW ALL COPES, HOLES, OPENINGS AND MODIFICATIONS REQUIRED IN STRUCTURAL STEEL MEMBERS FOR ERECTION OR THE WORK OF OTHER TRADES ON THE SHOP DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER.

DOMINION NOTES:

- A. A 4"x11" RF NOTICE SIGN MUST BE INSTALLED ON BOTH SIDES OF THE POLE A MINIMUM OF ONE FOOT ABOVE THE UPPERMOST ELECTRIC SUPPLY FACILITIES. THIS SIGN MARKS THE POINT WHERE RF EXPOSURE LEVELS MAY EXCEED FCC OET-65 APPENDIX A" LIMITS FOR UNCONTROLLED GENERAL POPULATION EXPOSURE. WORKING ABOVE THIS POINT REQUIRES DE-ENERGIZING THE ANTENNA. THIS SIGN MUST INCLUDE THE STANDARD RF SYMBOL AND STATE "NON RF WORKERS MUST POWER DOWN DEVICE WHEN WORKING ABOVE THIS POINT." THE SIGN SHALL BE 60 MIL LEXAN WITH U.V. INHIBITORS AND SIGNS SHALL ADHERE TO IEEE C45.2 STANDARDS.
- B. A POWER DISCONNECT MUST BE INSTALLED. THIS DEVICE MUST PROVIDE DISCONNECTING MEANS FOR DE-ENERGIZING AC AND DC (BATTERY BACK UP) POWER TO THE ANTENNA. THE DISCONNECT SHOULD BE A STANDARD NEMA TYPE HINGED ENCLOSURE AND IS SUBJECT TO COMPANY APPROVAL. THE DISCONNECT SHALL BE CLEARLY LABELED AS THE ANTENNA POWER DISCONNECT.
- C. AN ADDITIONAL RF LABEL ON THE EQUIPMENT MUST INCLUDE COMMUNICATION COMPANY NAME, AND A 24-HR CONTACT PHONE NUMBER. THE LABEL SHALL ADHERE TO IEEE C45.2 STANDARDS.
- D. THE ANTENNA SHALL BE MOUNTED THE GREATER VALUE OF NESC MINIMUM CLEARANCE OR THE MINIMUM CLEARANCE REQUIRED TO MEET OET UNCONTROLLED EXPOSURE GUIDELINES AT A POINT 1' ABOVE THE ELECTRIC FACILITIES. THE ANTENNA INCLUDING ATTACHING HARDWARE SHALL BE MOUNTED A MINIMUM OF 45' ABOVE PRIMARY INSTALLATIONS AND 40' ABOVE SECONDARY INSTALLATIONS. (NESC TABLE 238-I)
- E. ANTENNA EQUIPMENT IS PERMISSIBLE ON WOOD POLES ONLY.
- F. ONLY NON METALLIC ELECTRIC GRADE CONDUIT OR RIBBERS CAN BE USED FOR ROUTING THE COMMUNICATION CABLES THROUGH THE SUPPLY SPACE. THE CONDUIT INSTALLATION SHALL NOT OBSTRUCT THE CLIMBING SPACE OR WORKING SPACE ON THE POLE AND SHALL NOT OBSTRUCT SUPPLY EQUIPMENT. (NESC 234B, AND NESC 234H4).
- G. THE INSTALLATION MUST MEET ALL NESC REQUIREMENTS.
- H. A DOMINION DISTRIBUTION REPRESENTATIVE MUST APPROVE ALL ANTENNA ATTACHMENT POLES. ANTENNAS ARE NOT ALLOWED ON POLES FREQUENTLY VISITED BY OPERATIONS PERSONNEL. THESE INCLUDE EQUIPMENT POLES SUCH AS RECLOSERS, THREE PHASE TRANSFORMER BANKS, THREE PHASE TERMINALS, CAPACITORS, SWITCHES, ETC.
- I. INSTALLERS WORKING IN THE AREA OF THE POLE ABOVE THE NORMAL COMMUNICATIONS SPACE MUST MEET OSHA 1910.269 REQUIREMENTS.
- J. AN ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE.
- K. VERIZON TO LEAVE MINIMUM 3' LEADS COILED AND SECURED TO PREVENT ACCIDENTAL CONTACT WITH SECONDARY CONDUCTORS.

- L. SERVICE WILL BE CONNECTED BY VERIZON IN COMPLIANCE WITH FILED RATE PLAN.
- M. LINE ARRESTER INSTALLATIONS ARE REQUIRED ON POLES WITH PRIMARY CONDUCTORS.
- N. VERIZON'S GROUND MAY NOT BE USED TO SATISFY NEC REQUIREMENTS FOR THE EQUIPMENT BRACKET AC SERVICE GROUND. THE EQUIPMENT AND ITS AC SERVICE GROUND ARE REQUIRED TO BE BONDED TO THE COMPANY GROUND CONDUCTOR ON THE POLE AT LEAST 6" ABOVE GROUND LEVEL USING A NO. 6 CU CONDUCTOR. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT APPROVED.
- O. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLES. BOND TO THE POWER SUPPLY/SWITCH SHALL BE EXTERNAL AND VISIBLE FROM THE GROUND. WHEN A COMPANY DRIVEN GROUND EXISTS ON THE POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
- P. THE METER BASE, EQUIPMENT CABINET AND DISCONNECT SHALL BE MOUNTED AT AN OPERATIONAL HEIGHT AS DETAILED ON THE CONSTRUCTION DOCUMENTS.
 1. THE METER BASE, EQUIPMENT CABINET OR DISCONNECT SHALL NOT OBSTRUCT A WALKWAY OR BE SUBJECT TO VEHICULAR TRAFFIC.
 2. THE EQUIPMENT BRACKET SHALL NOT BE USED ALONE OR IN CONJUNCTION WITH A FENCE, PEDESTAL, ETC. AS A CLIMBING AID.
- Q. FOR SAFETY PURPOSES DEVICES WITH LEAD ACID BATTERIES SHALL NOT BE USED.
- R. DUE TO OPERATIONAL CONCERNS, SECONDARY POLES OR GUY STUB POLES ARE PREFERRED FOR ANTENNA ATTACHMENTS. PRIMARY POLES SHOULD ONLY BE CONSIDERED WHEN THERE IS NO OTHER SUITABLE POLE IN THE AREA.
- S. THE WEATHERHEAD WILL BE INSTALLED 4' ABOVE THE NEUTRAL.

POST-INSTALLATION INSPECTION

- A. A POST-INSTALLATION INSPECTION REPORT IS REQUIRED AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID. A POST-INSTALLATION INSPECTION IS A VISUAL INSPECTION OF TOWER INSTALLATIONS AND A REVIEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY THE INSTALLATION DRAWINGS.
- B. THE POST-INSTALLATION INSPECTION REPORT SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN THE JURISDICTION IN WHICH THE PROJECT IS LOCATED.
- C. THE INTENT OF THE POST-INSTALLATION INSPECTION REPORT IS TO CONFIRM INSTALLATION AND CONFIGURATION AND WORKMANSHIP ONLY AND IS NOT A REVIEW OF THE INSTALLATION DESIGN ITSELF.
- D. TO ENSURE THAT THE REQUIREMENTS OF THE POST-INSTALLATION INSPECTION REPORT ARE MET, IT IS VITAL THAT THE CONTRACTOR AND POST-INSTALLATION INSPECTOR BEGIN COMMUNICATING AND COORDINATING AS SOON AS A PO IS RECEIVED.



ALEXOLD 009 SC - D - SMALL CELL
RIGHT OF WAY ADJACENT TO 215N PATRICK STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

NO.	DESCRIPTION	DATE
	PERMIT DWGS	07/14/20

DESIGNED BY:	RJD
DRAWN BY:	DNT
PROJECT NO:	10427.2424
DATE:	07/01/2020
SCALE:	AS NOTED

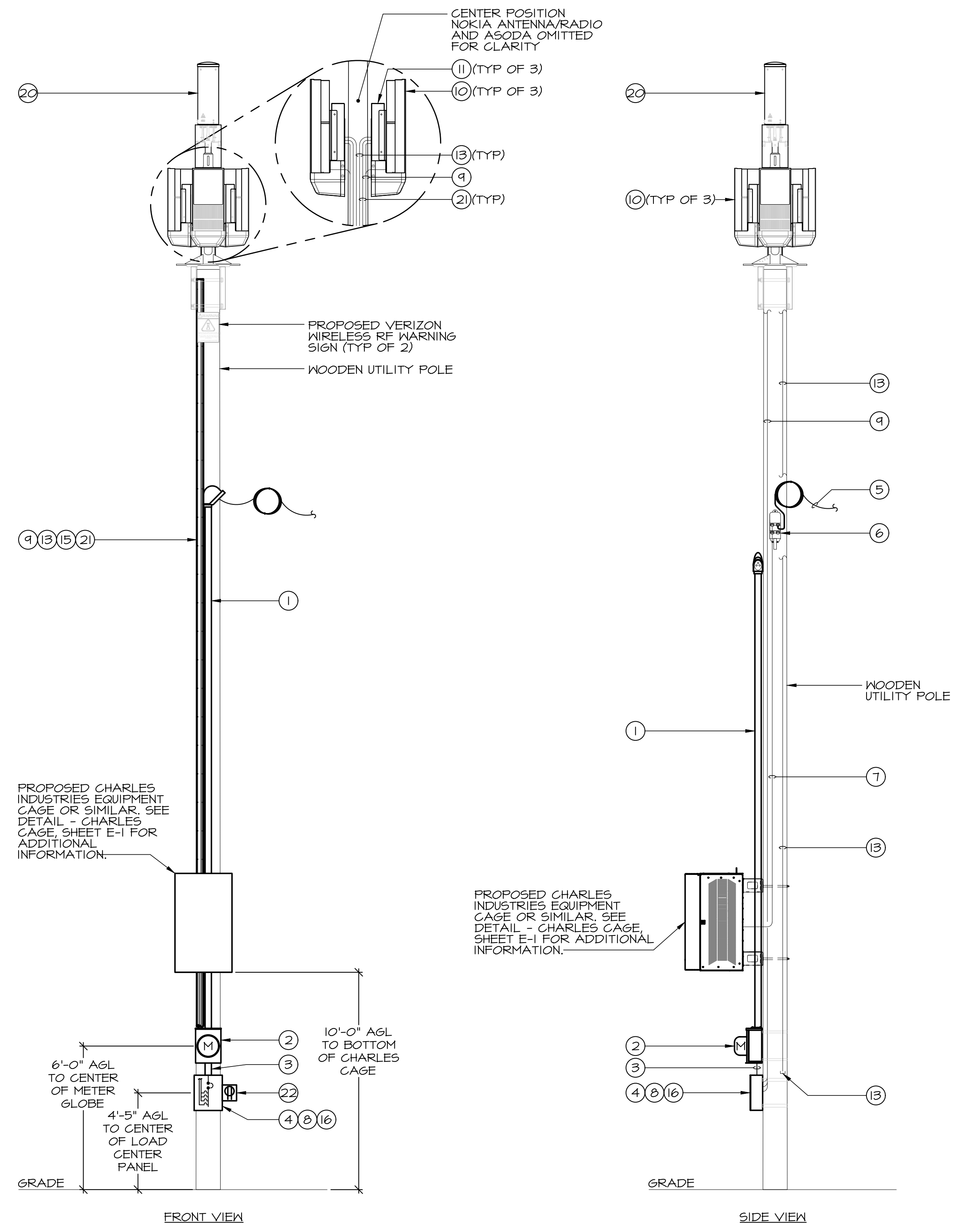
TITLE:
General Notes

SHEET:
S-2



**Know what's below.
Call before you dig.**

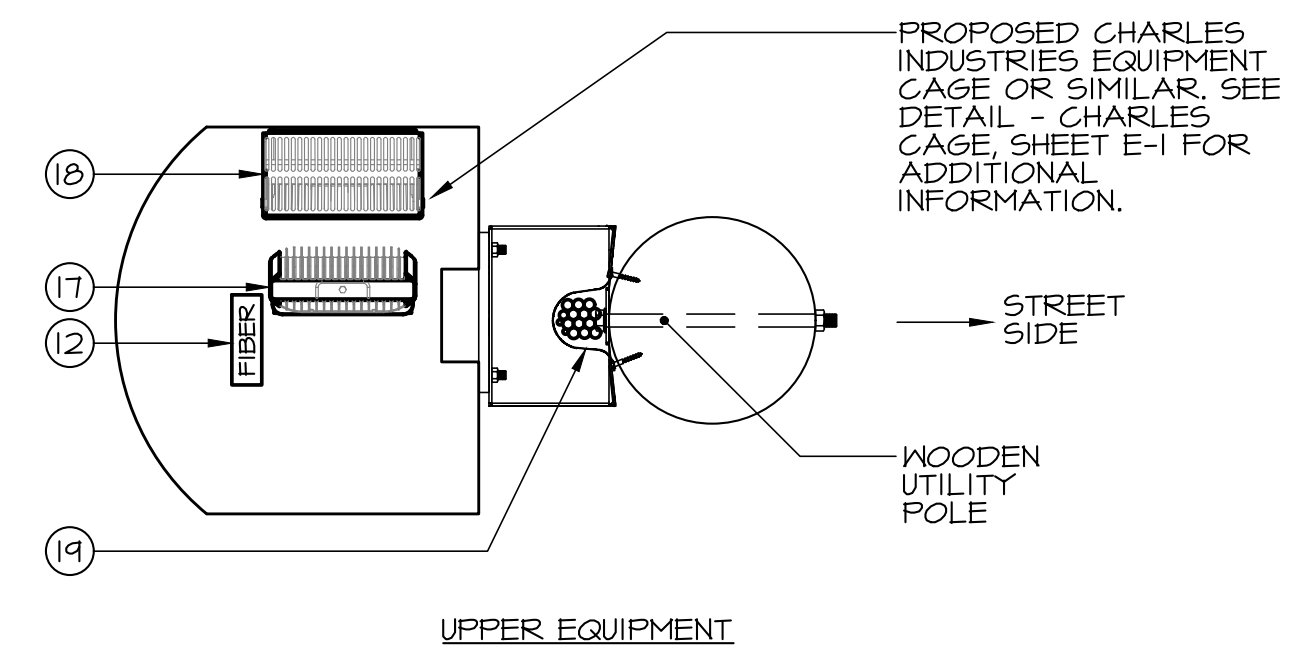
PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



14 POWER RISER DIAGRAMS
NO SCALE

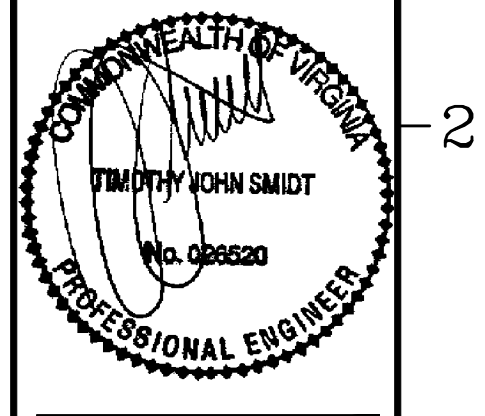
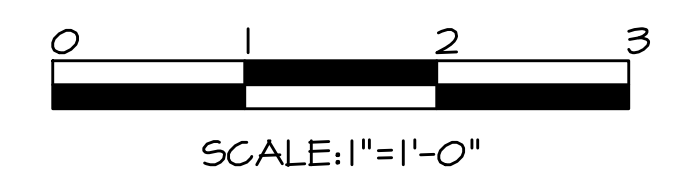
DRAWING NOTES

- 1 EXTEND 3#10 AWG + #6 GRD IN ONE (1) - 2" GRAY SCHEDULE 40 PVC CONDUIT VERTICALLY UP UTILITY POLE FROM LINE SIDE OF METER CAN FOR EXTENSION OF OVERHEAD ELECTRIC SERVICE CABLES. COORDINATE FINAL CONDUIT TERMINATION POINT WITH UTILITY REPRESENTATIVE IN THE FIELD. PROVIDE WEATHER HEAD AT TOP END OF CONDUIT. ELECTRICIAN SHALL ALLOW 3'-0" OF SLACK AT WEATHERHEAD AND METER FOR FINAL TERMINATIONS BY UTILITY COMPANY.
- 2 PROVIDE WEATHERPROOF UTILITY COMPANY 120/240V, 1Ø, 200 AMP RATED METER CAN MOUNTED ON UTILITY POLE. METER GLOBE PROVIDED AND INSTALLED BY UTILITY COMPANY. PROVIDE PHENOLIC NAMEPLATE READING "VERIZON WIRELESS".
- 3 EXTEND 3#6 AWG + #8 GRD - 1" CONDUIT FROM METER TO PANEL.
- 4 PROVIDE AND INSTALL WEATHERPROOF SERVICE ENTRANCE RATED, 120/240 VOLT, 1Ø, 3W, 100 AMP M.L.O. EIGHT (8) POSITION GO LOAD CENTER PANEL (MODEL #Q0B16L10ORB) WITH FIELD INSTALLED 2P40A MAIN CIRCUIT BREAKER MOUNTED ON UTILITY POLE. PROVIDE PHENOLIC NAMEPLATE READING, "VERIZON WIRELESS SERVICE DISCONNECT". REFER TO PANEL SCHEDULE, SHEET E-1 FOR ADDITIONAL INFORMATION.
- 5 PROPOSED ROUTE OF INCOMING OVERHEAD FIBER CABLE BY UTILITY COMPANY. EXCESS FIBER SHALL BE COILED AND SECURED TO UTILITY POLE ABOVE ALL EQUIPMENT. COORDINATE FINAL INCOMING FIBER ROUTE WITH UTILITY COMPANY.
- 6 UTILITY COMPANY PROVIDED AND INSTALLED OPTISHEATH MULTIPORT TERMINAL MOUNTED ON UTILITY POLE. EXACT MOUNTING LOCATION SHALL BE COORDINATED WITH VERIZON TELEPHONE IN FIELD.
- 7 EXTEND NECESSARY FIBER STRANDS FROM OPTISHEATH MULTIPORT TERMINAL TO TII FIBER BOX MOUNTED WITHIN CHARLES CAGE.
- 8 VERIZON CONTRACTOR SHALL COORDINATE FINAL AVAILABLE SERVICE CHARACTERISTICS (VOLTAGE, PHASE, ETC.) WITH UTILITY COMPANY PRIOR TO START OF WORK. PREFERRED VOLTAGE IS: 120/240V, 1Ø, ACCEPTABLE VOLTAGE IS: 120/208V, 1Ø.
- 9 EXTEND DAMP LOCATION RATED MC CABLE (4#12 AWG + 2#12 GRD) FROM EACH 15 AMP CIRCUIT BREAKER (TYP OF 3) IN 1" CONDUIT VERTICALLY UP UTILITY POLE TO EACH NOKIA ANTENNA/ ASODA RADIO UNIT MOUNTED ON UTILITY POLE. REFER TO PANEL SCHEDULE, SHEET E-1, FOR ADDITIONAL INFORMATION.
- 10 VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ANTENNA MOUNTED ON UTILITY POLE.
- 11 VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ASODA MOUNTED BEHIND NOKIA ANTENNA ON UTILITY POLE.
- 12 PROVIDE AND INSTALL TII OUTDOOR FIBER BOX PART #FET26-12-RLCN 12 FIBER SPLICER BOX WITHIN CHARLES CAGE FOR FIBER DISTRIBUTION.
- 13 EXTEND ONE (1) WEATHERPROOF RATED CAT 5E CABLE FROM EACH ASODA AND COIL UP AT BASE OF LOAD CENTER PANEL. PROVIDE AND INSTALL RJ45 PLUG KIT WITH CAP TO KEEP CONNECTION WEATHERPROOF.
- 14 CONTRACTOR SHALL REFER TO LATEST EDITION OF VZW FIBER DESIGN STANDARDS FOR FIBER QUANTITIES, ETC.
- 15 CONTRACTOR SHALL PROVIDE AND INSTALL 3" SCHEDULE 40 PV MOLD (POLE RISER) FOR EXTENSION OF POWER AND FIBER CONDUITS TO NOKIA ANTENNAS. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
- 16 CONTRACTOR SHALL PROVIDE AND INSTALL ONE (1) MASTER LOCK BRASS 4 DIGIT PAD LOCK SET TO STANDARD VERIZON WIRELESS COMBINATION. PAD LOCK SHALL BE PLACED THROUGH CLASP ON LOAD CENTER PANEL TO PROHIBIT COVER FROM BEING OPENED. COMBINATION FOR MASTER LOCK IS THE STANDARD VERIZON WIRELESS FOUR DIGIT CODE. CONTRACTOR CANT INSTALL THE COMBINATION LOCK ON THE LOAD CENTER PANEL UNTIL ALL INSPECTIONS ARE DONE AND FINAL.
- 17 VERIZON WIRELESS PROVIDED AND CONTRACTOR INSTALLED NOKIA AIRSCALE POWER SUPPLY UNIT FOR EXTENSION OF DC WIRING TO RRH. CONTRACTOR SHALL EXTEND 2#12 AWG + #12 GRD - 3/4" CONDUIT FROM POWER SUPPLY UNIT TO IPBA CIRCUIT BREAKER IN VERIZON WIRELESS LOAD CENTER PANEL. VERIFY FINAL LENGTH WITH EXISTING CONDITIONS IN THE FIELD. REFER TO PANEL SCHEDULE, SHEET E-1, FOR ADDITIONAL INFORMATION.
- 18 PROPOSED LOCATION OF REMOTE RADIO HEAD MOUNTED IN CHARLES CAGE ON UTILITY POLE.
- 19 EXTEND FOUR (4) COAX AND ONE (1) RET CABLE INSIDE 3" SCHEDULE 40 PV MOLD FROM REMOTE RADIO HEAD MOUNTED IN CHARLES CAGE AND TURN VERTICALLY UP TO ANTENNA MOUNTED ON TOP OF UTILITY POLE. UTILIZE PV MOLD FOR EXTENSION OF INCOMING FIBER BY VERIZON LAND LINE TO OPTISHEATH MULTIPORT TERMINAL.
- 20 VERIZON WIRELESS PROVIDED AND CONTRACTOR INSTALLED ANTENNA MOUNTED ON TOP OF UTILITY POLE.
- 21 EXTEND NECESSARY FIBER JUMPERS FROM FIBER DISTRIBUTION BOX VERTICALLY UP EXTERIOR OF POLE TO EACH NOKIA ASODA MOUNTED BEHIND NOKIA ANTENNA/RADIO UNIT ON LIGHT POLE.
- 22 CONTRACTOR SHALL PROVIDE AND INSTALL 15 AMP, DUPLEX, GFCI OUTLET IN SINGLE GANG, WEATHERPROOF, THREADED BOX WITH SINGLE GANG METAL, WEATHERPROOF COVER WHICH ACCEPTS A STANDARD VERIZON WIRELESS PAD LOCK. PROVIDE AND INSTALL PADLOCK WITH STANDARD VERIZON WIRELESS FOUR DIGIT CODE. CONTRACTOR CANT INSTALL THE COMBINATION LOCK ON THE GFCI OUTLET UNTIL INSPECTIONS ARE DONE AND FINAL.



* COORDINATE FINAL MOUNTING LOCATION OF METER WITH UTILITY COMPANY REPRESENTATIVE PRIOR TO START OF WORK.
 ** ALL VERTICAL UTILITY RUNS TO BE LOCATED IN THE SAME QUADRANT ON POLE. CONTRACTOR TO COORDINATE THE FINAL PLACEMENT OF THE CABLE SHROUD AS INDICATED ON SHEET S-1.

EQUIPMENT PLAN
SCALE: 1" = 1'-0"



verizon
 ALEXOLDT 009 SC - D - SMALL CELL
 RIGHT OF WAY ADJACENT TO 215 N PATRICK STREET, ALEXANDRIA, CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:

NO.	DESCRIPTION	DATE

PERMIT DWG: 7/14/20

LAST REV.:
 PROJECT NO: 20084P
 DATE: JULY 14, 2020
 SCALE: AS NOTED

TITLE:
**POWER RISER
 DIAGRAM,
 EQUIPMENT PLAN
 AND NOTES**

SHEET:
E-2

GROUNDING GENERAL NOTES

1. ALL GROUND CONNECTIONS BELOW GRADE SHALL BE EXOTHERMIC (CADWELD) TO NEAREST REINFORCING BAR USING ERICO CADWELD "ONE-SHOT" CONNECTIONS.
2. ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 AWG BARE, TINNED SOLID COPPER, UNLESS NOTED OTHERWISE.
3. ALL GROUND CONNECTIONS ABOVE GRADE SHALL BE TWO-HOLE COPPER COMPRESSION TYPE WITH STANDARD LENGTH BARREL (BURNDY # YA2CL- 2TC14E). SINGLE HOLE LUGS ARE NOT ACCEPTABLE.
4. ALL MOUNTING HARDWARE FOR EXTERIOR LOCATIONS SHALL BE GALVANIZED INCLUDING NUTS, BOLTS, FLAT AND LOCK WASHERS.
5. ALL EXTERIOR MECHANICAL CONNECTIONS SHALL BE MADE USING OXIDE-INHIBITING JOINT COMPOUND. THE COMPOUND SHALL BE APPLIED TO ALL SURFACES OF BOLTS, WASHERS, NUTS AND CONNECTING SURFACES OF GROUND BAR PLATES. ALL BARE COPPER SURFACES OF CONDUCTORS SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE NO-OX. KOPR-SHIELD SHALL NOT BE PERMITTED.
6. TYPICAL BI-DIRECTIONAL BONDING CONNECTIONS TO THE INTERIOR GROUND RISER SHALL BE MADE USING DOUBLE GRIMP TYPE "C" TAP CONNECTORS.
7. ALL EXOTHERMIC WELD CONNECTIONS AND FIELD CUTS OF METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE FIRST SPRAYED WITH COLD GALVANIZING (AFTER COOL DOWN) THEN BE TOPPED WITH BRUSH ON MARINE GRADE GALVANIZING.
8. ALL CONDUIT USED AS SLEEVES FOR GROUNDING OR BONDING CONDUCTORS SHALL BE PVC.
9. ALL GROUND RODS SHALL BE DRIVEN VERTICALLY USING A GROUND ROD SHIELD TO PREVENT THE ENDS FROM "MUSHROOMING".
10. JOINT COMPOUND FOR GROUNDING SHALL BE NO-OX. KOPR-SHIELD SHALL NOT BE PERMITTED.

DRAWING NOTES

- ① PROVIDE 8'-0" (MINIMUM) X 5/8" COPPER CLAD STEEL GROUND ROD.
- ② EXTEND #2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM BURIED GROUND ROD AND BOND TO EXISTING GROUND BAR PROVIDED WITH EQUIPMENT CAGE. GROUND CONDUCTOR SHALL BE HOUSED WITHIN 1/2" GROUND WIRE MOLDING. SECURE GROUND WIRE MOLDING TO UTILITY POLE VIA GALVANIZED 2"x5/8" STAPLES.
- ③ EXISTING 14X2 POSITION GROUND BAR PROVIDED WITH ENCLOSURE FOR GROUNDING OF TELECOMMUNICATIONS EQUIPMENT.
- ④ EXTEND #6 AWG, INSULATED, STRANDED, COPPER GROUND CONDUCTOR FROM POWER SUPPLY UNIT (PSU) AND BOND TO EQUIPMENT GROUND BAR.
- ⑤ EXTEND #6 AWG, INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM REMOTE RADIO HEAD AND BOND TO EQUIPMENT GROUND BAR.
- ⑥ EXTEND #2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM GROUND BAR VERTICALLY UP EXTERIOR OF POLE TO PROPOSED ANTENNA/ NOKIA ANTENNAS/ ASODA RADIO UNITS. GROUND CONDUCTOR SHALL BE HOUSED WITHIN SCHEDULE 40 FV MOLD. SECURE POLE RISER TO UTILITY POLE VIA GALVANIZED LAG BOLTS.
- ⑦ EXTEND #2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM ENCLOSURE OF PROPOSED LOAD CENTER PANEL AND BOND TO GROUND CONDUCTOR EXTENDING TO BURIED GROUND ROD. REFER TO SERVICE GROUNDING DETAIL, THIS SHEET.
- ⑧ BURIED GROUND RING SHALL BE #2 AWG, BARE, TINNED, SOLID COPPER.
- ⑨ EXTEND #6 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM EACH NOKIA ASODA AND BOND TO GROUND PIGTAIL CONDUCTOR. EXTEND GROUND PIGTAIL AND BOND TO GROUND CONDUCTOR EXTENDING DOWN EXTERIOR OF POLE TO BURIED GROUND ROD. REFER TO DIRECTIONAL SPLICE DETAIL, THIS SHEET.
- ⑩ EXTEND #6 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM EACH NOKIA ANTENNA GROUND LUG AND BOND TO NOKIA ASODA GROUND LUG.
- ⑪ REFER TO DOMINION SPECIFICATIONS FOR ADDITIONAL GROUNDING REQUIREMENTS.



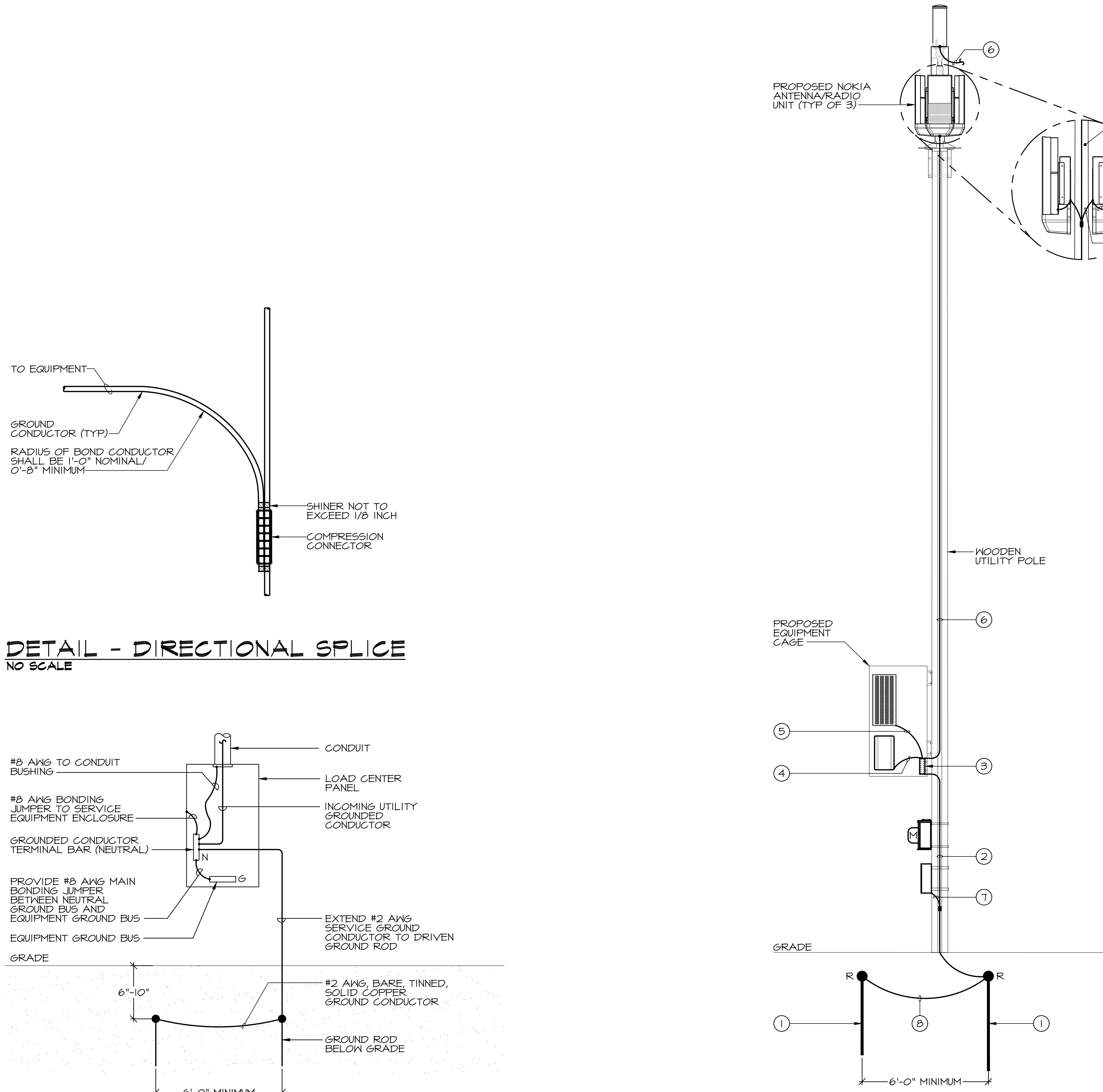
verizon
ALEXOLDT 009 SC - D - SMALL CELL
RIGHT OF WAY ADJACENT TO 215 N PATRICK STREET, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:

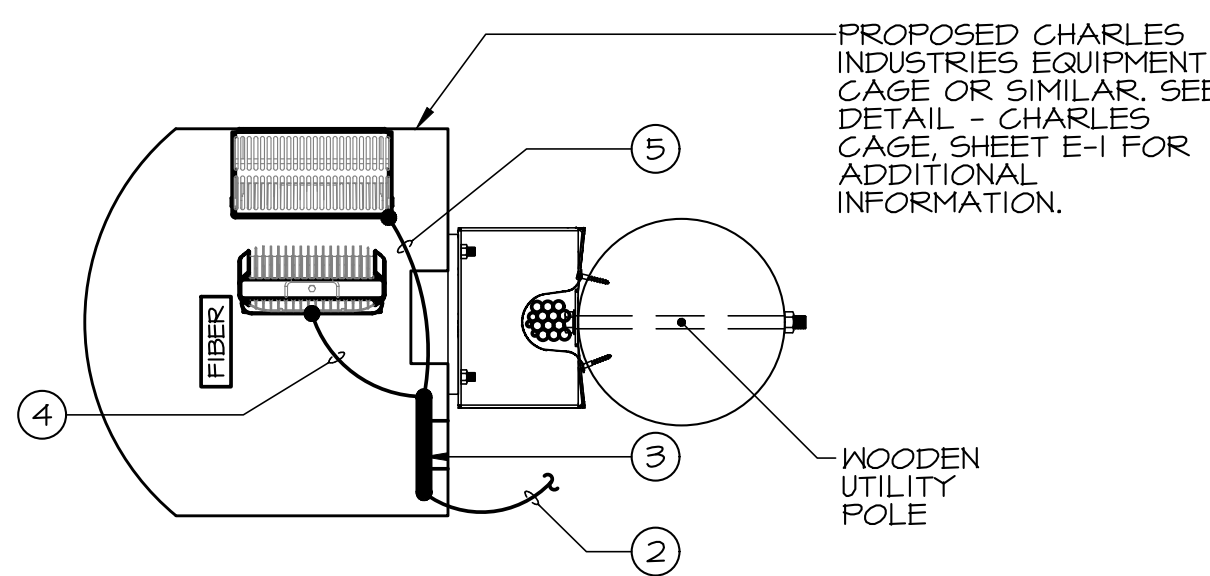
NO.	DESCRIPTION	DATE

PERMIT DWG: 7/14/20
LAST REV.:
PROJECT NO: 20084P
DATE: JULY 14, 2020
SCALE: AS NOTED
TITLE:
GROUNDING
DIAGRAM,
DETAILS AND
NOTES

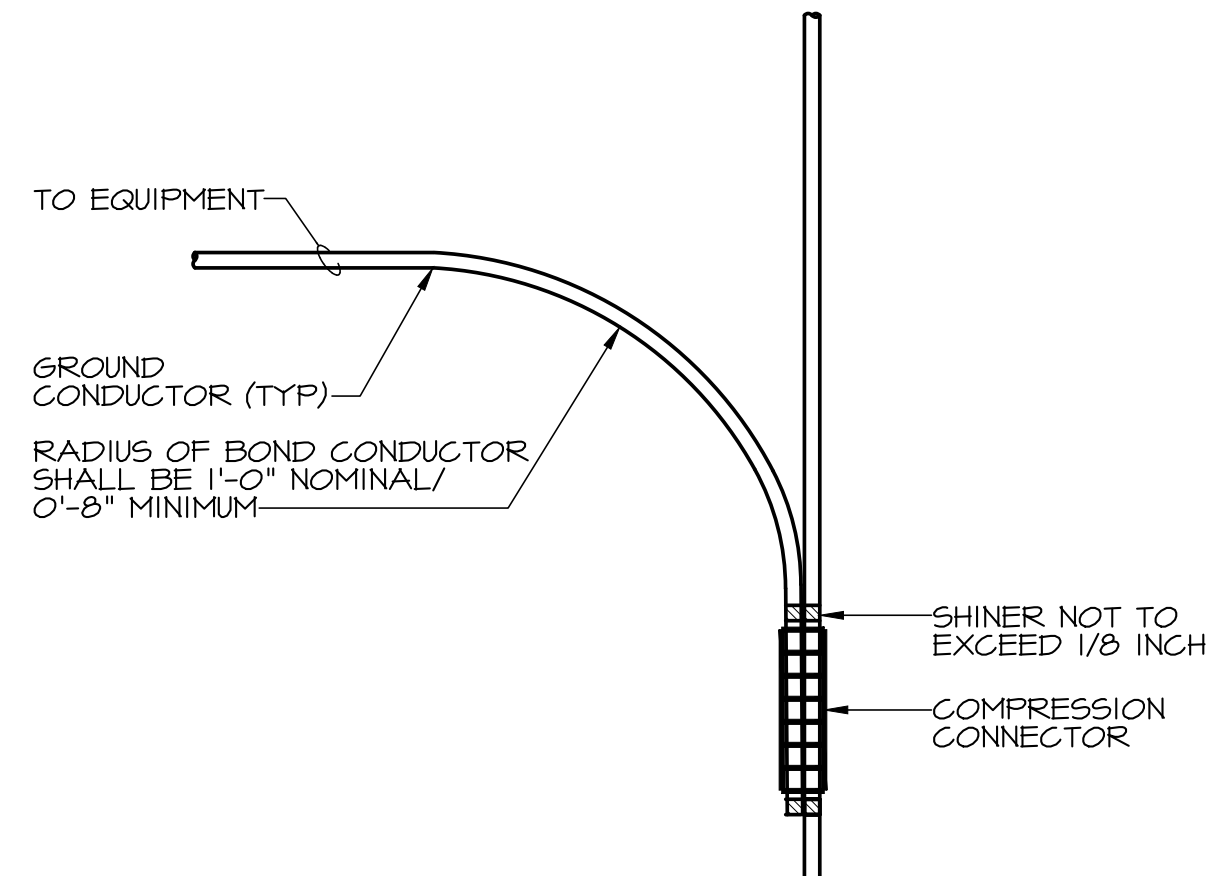
SHEET:
E-3



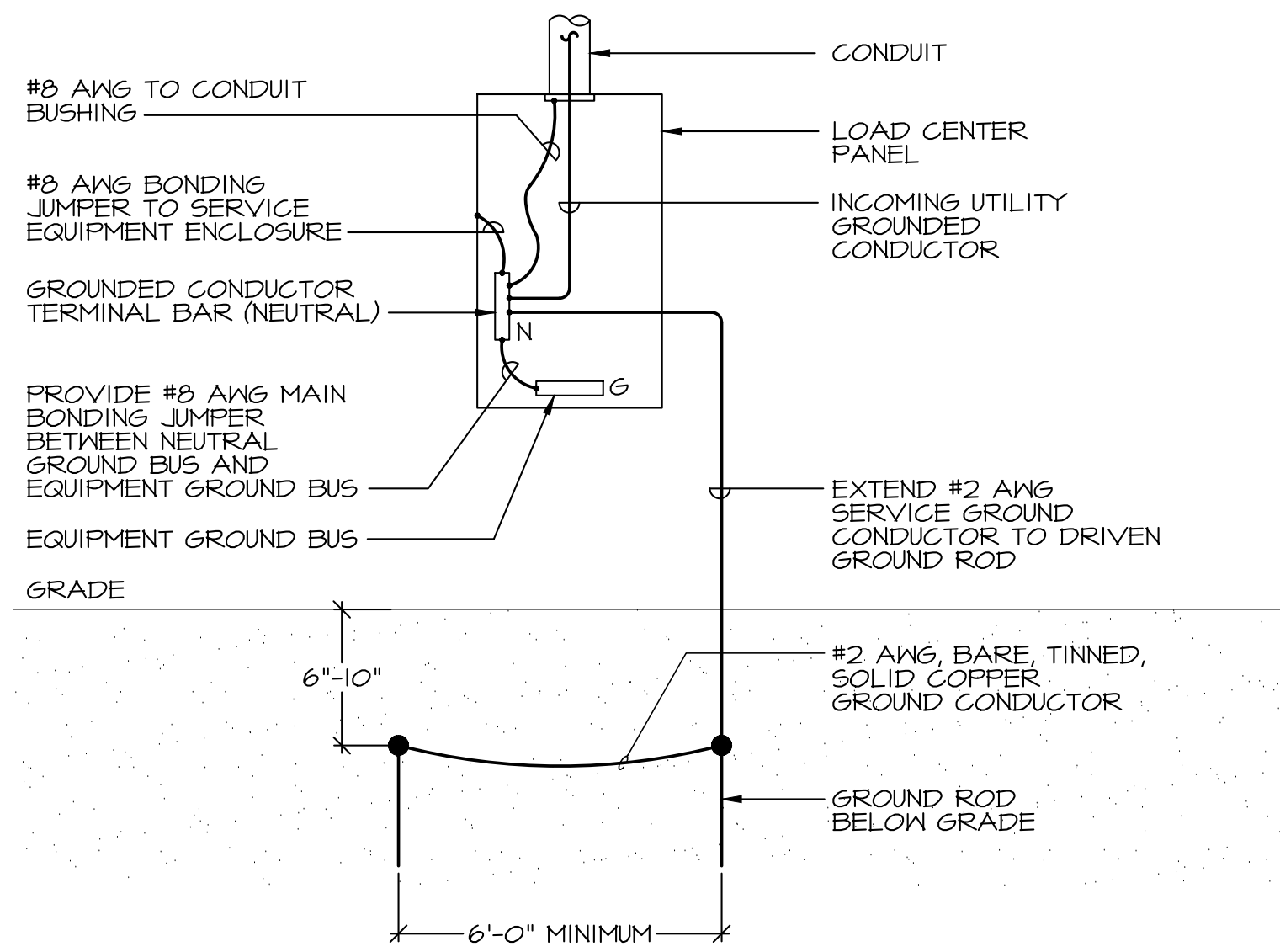
UTILITY POLE GROUNDING DIAGRAM
NO SCALE



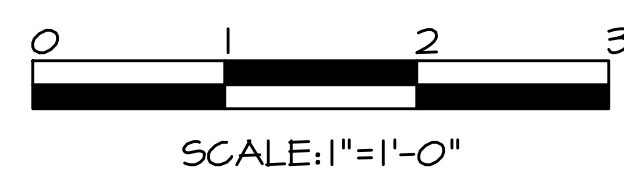
GROUNDING PLAN
SCALE: 1" = 1'-0"

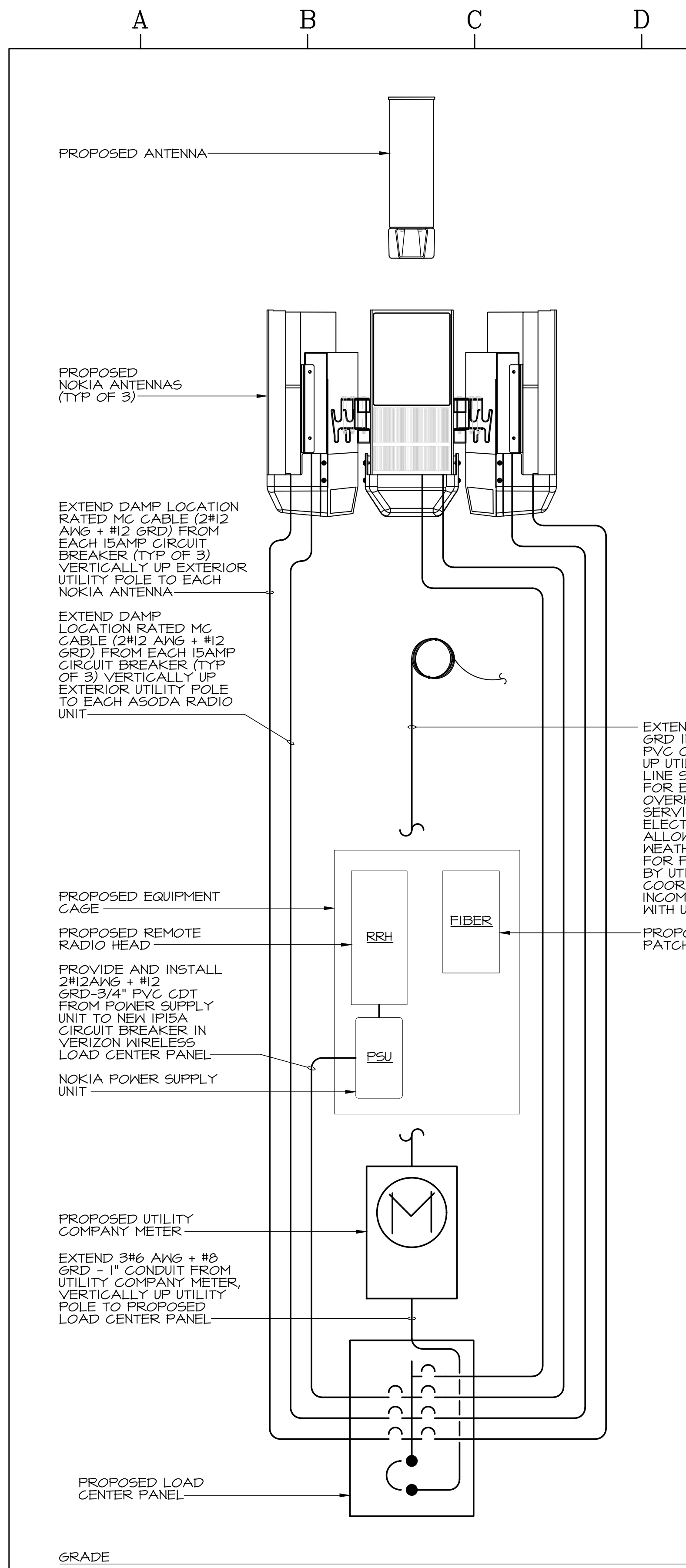


DETAIL - DIRECTIONAL SPLICE
NO SCALE

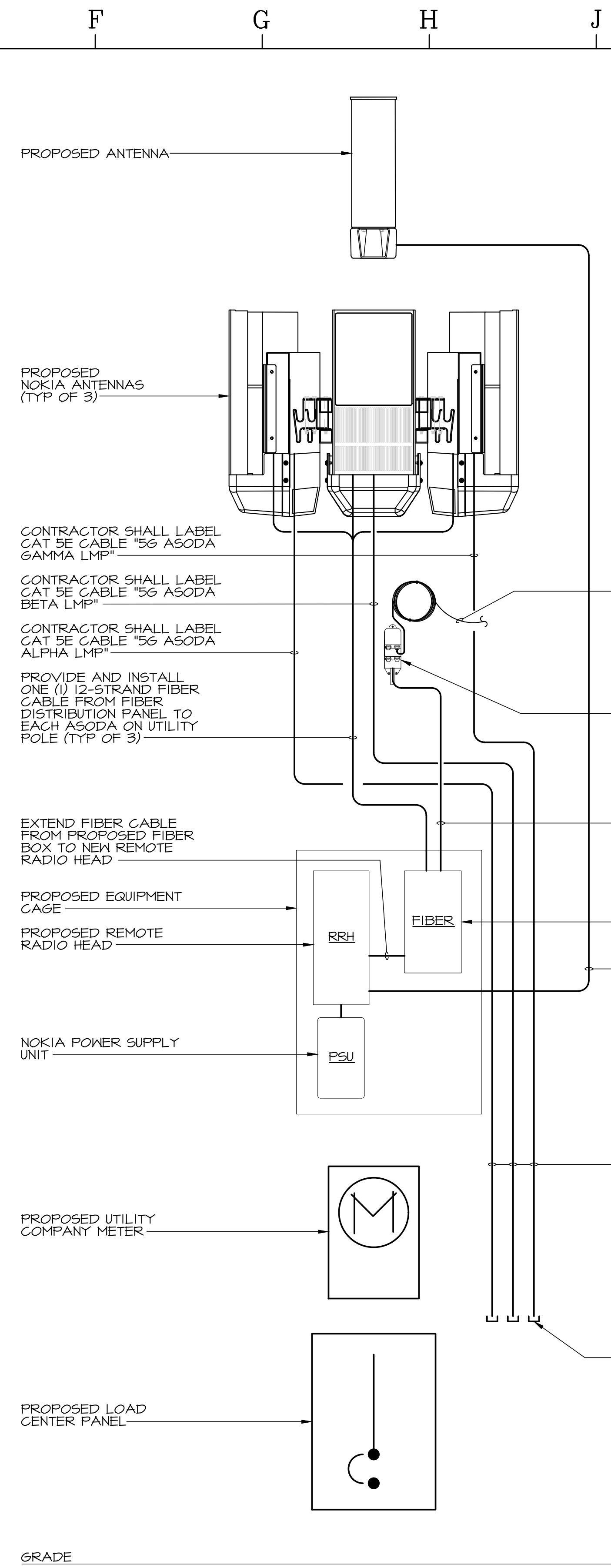


DETAIL - ELECTRIC SERVICE GROUNDING ELECTRODE
NO SCALE

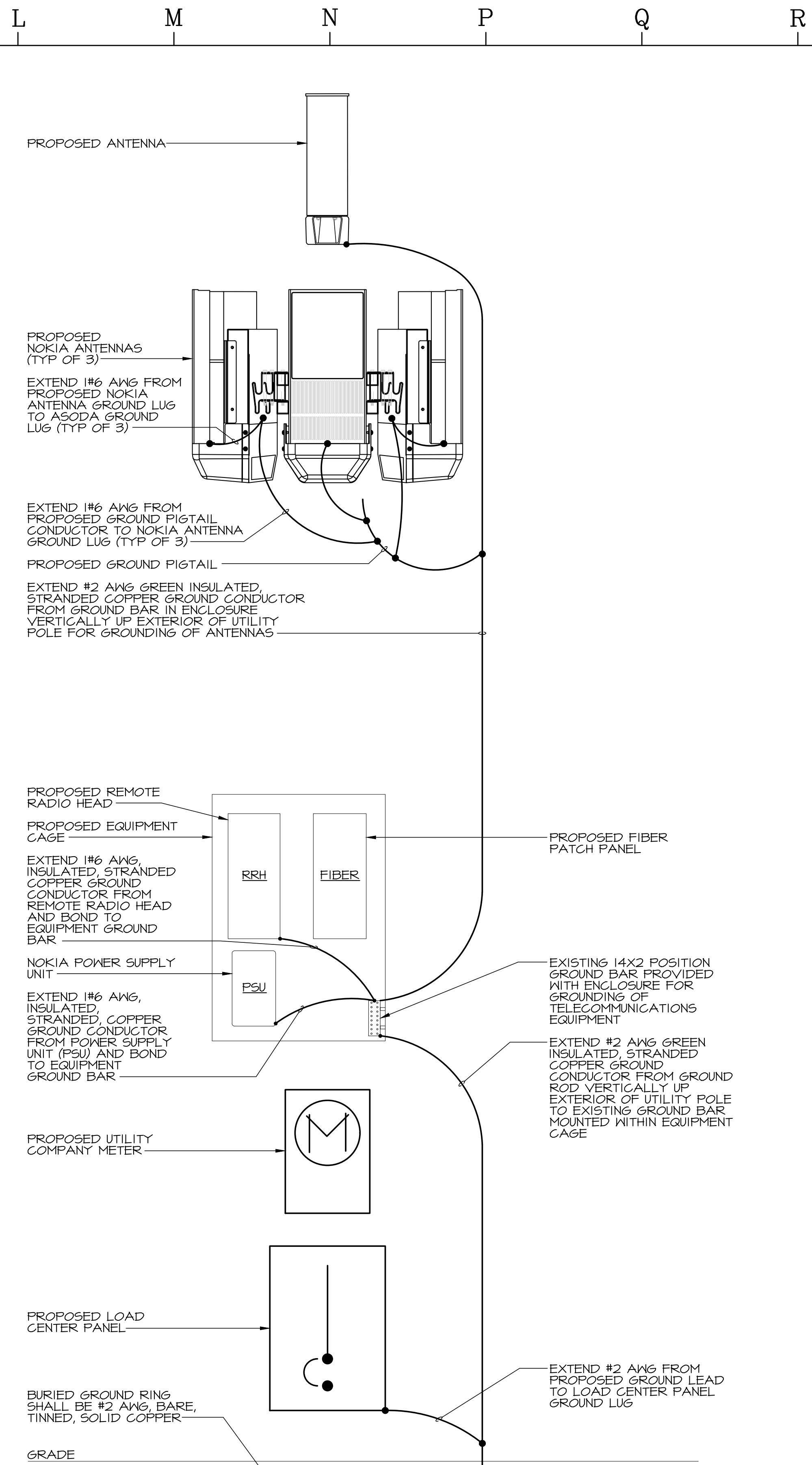




POWER ONE LINE DIAGRAM
NO SCALE

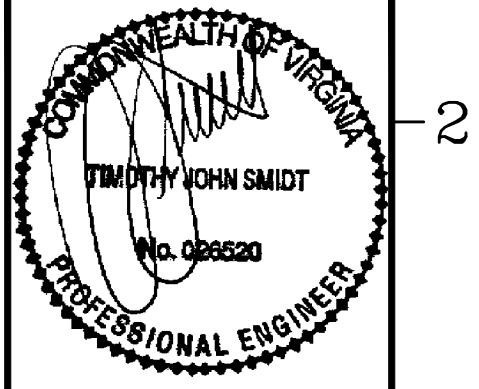
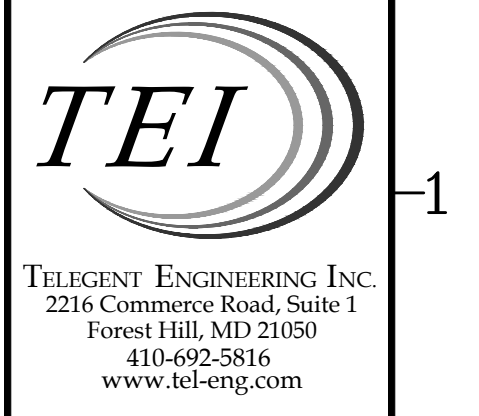


FIBER ONE LINE DIAGRAM
NO SCALE



GROUNDING ONE LINE DIAGRAM
NO SCALE

NOTE: CONTRACTOR SHALL REFER TO LATEST EDITION OF VZW FIBER DESIGN STANDARDS FOR FIBER QUANTITIES, ETC.



verizon
ALEXOLDT 009 SC - D - SMALL CELL
RIGHT OF WAY ADJACENT TO 215 N PATRICK STREET, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:		
NO.	DESCRIPTION	DATE

PERMIT DWG# 7/14/20

LAST REV.:
PROJECT NO: 20084P
DATE: JULY 14, 2020
SCALE: AS NOTED
TITLE:
DIAGRAMS

SHEET:
E-4



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Towson, Maryland 21286
410-821-1690
410-821-1748

Alexoldt 009 - D

Overall Site Layout

14 July 2020





EXISTING
WOODEN POLE
TO BE REMOVED

NOW RECYCLED
IN LANE
WHEEL TURNS RIGHT
AT THE REDUCED VELOCITY
INTERSECTION



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Alexoldt 009 - D

Existing View 1

14 July 2020





PROPOSED VERIZON
WIRELESS ANTENNA
PAINTED BROWN

PROPOSED VERIZON
WIRELESS ANTENNAS
PAINTED BROWN

NEW WOODEN UTILITY
POLE W/RELOCATED
UTILITY EQUIPMENT

LIGHT FIXTURE

PROPOSED VERIZON
WIRELESS EQUIPMENT
CABINET PAINTED
BROWN

PROPOSED VERIZON
WIRELESS METER BOX

PROPOSED VERIZON
WIRELESS LOAD
CENTER PANEL

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Proposed View 1

14 July 2020



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EXISTING
WOODEN POLE
TO BE REMOVED



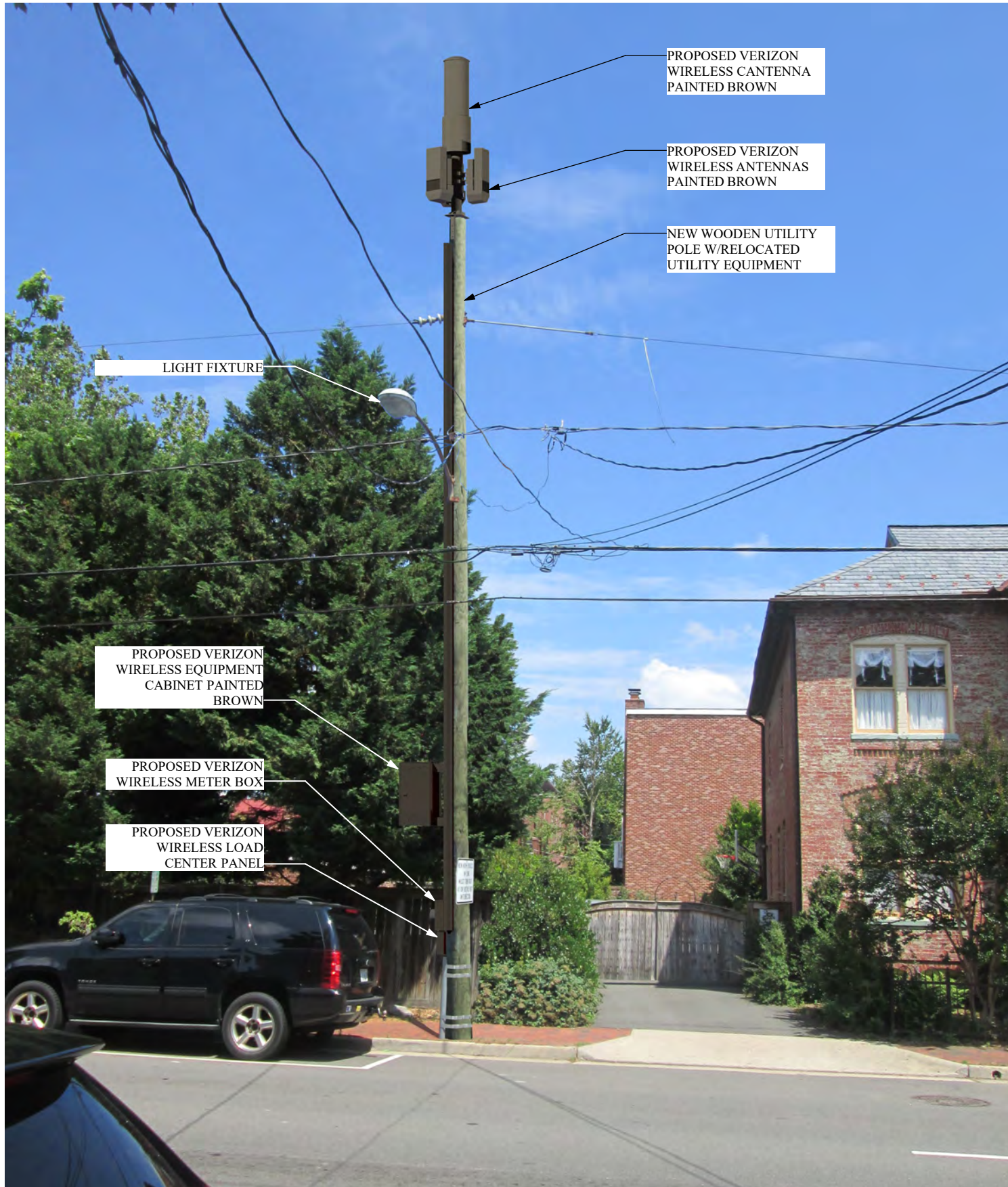
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Existing View 2

14 July 2020





PROPOSED VERIZON
WIRELESS CANTENNA
PAINTED BROWN

PROPOSED VERIZON
WIRELESS ANTENNAS
PAINTED BROWN

NEW WOODEN UTILITY
POLE W/RELOCATED
UTILITY EQUIPMENT

LIGHT FIXTURE

PROPOSED VERIZON
WIRELESS EQUIPMENT
CABINET PAINTED
BROWN

PROPOSED VERIZON
WIRELESS METER BOX

PROPOSED VERIZON
WIRELESS LOAD
CENTER PANEL

Alexoldt 009 - D

Proposed View 2

14 July 2020



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EXISTING
WOODEN POLE
TO BE REMOVED



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Existing View 3

14 July 2020





PROPOSED VERIZON
WIRELESS CANTENNA
PAINTED BROWN

PROPOSED VERIZON
WIRELESS ANTENNAS
PAINTED BROWN

NEW WOODEN UTILITY
POLE W/RELOCATED
UTILITY EQUIPMENT

LIGHT FIXTURE

PROPOSED VERIZON
WIRELESS EQUIPMENT
CABINET PAINTED
BROWN

Alexoldt 009 - D

Proposed View 3

14 July 2020



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EXISTING
WOODEN POLE
TO BE REMOVED

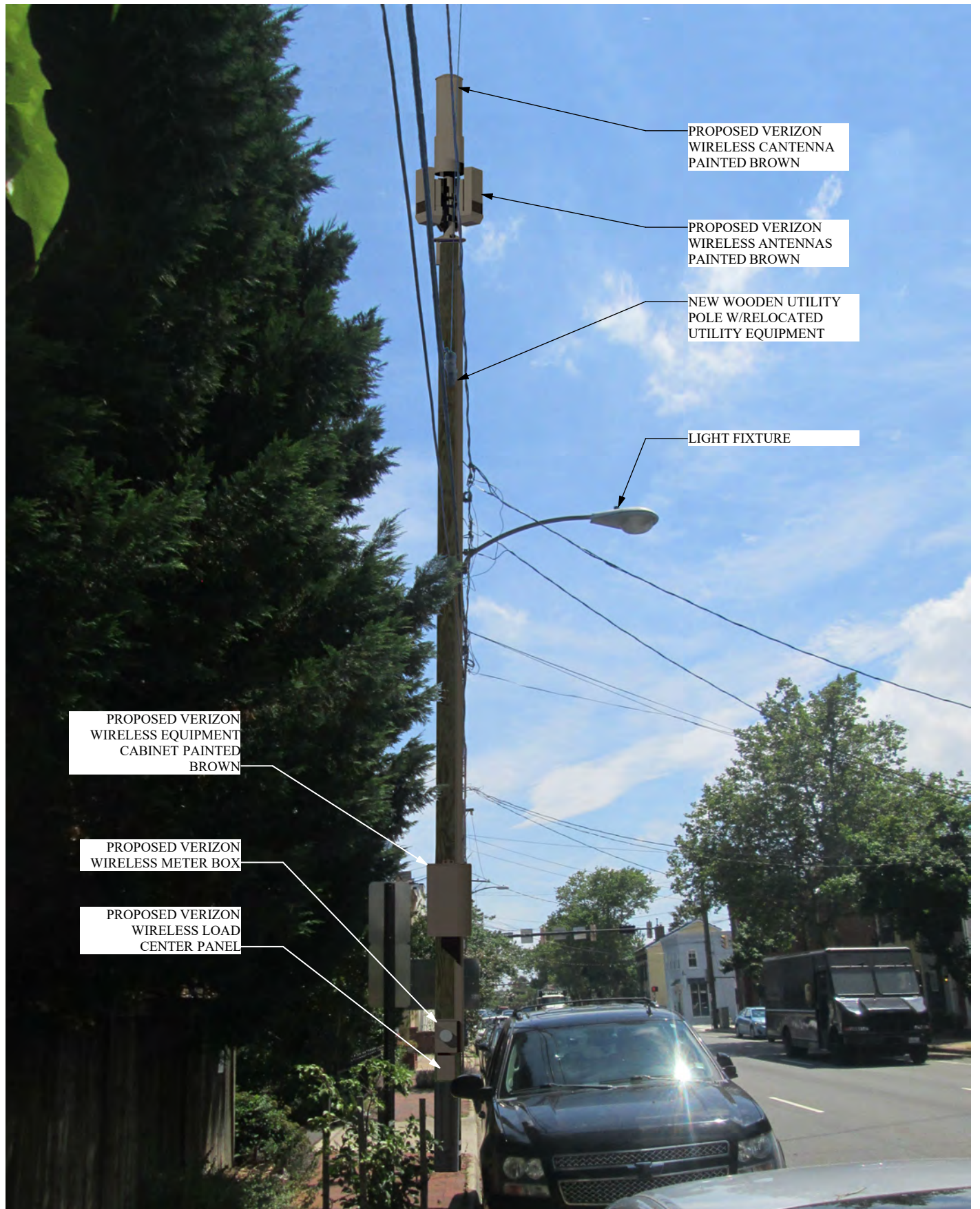
Alexoldt 009 - D
Existing View 4

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PROPOSED VERIZON
WIRELESS ANTENNA
PAINTED BROWN

PROPOSED VERIZON
WIRELESS ANTENNAS
PAINTED BROWN

NEW WOODEN UTILITY
POLE W/RELOCATED
UTILITY EQUIPMENT

LIGHT FIXTURE

PROPOSED VERIZON
WIRELESS EQUIPMENT
CABINET PAINTED
BROWN

PROPOSED VERIZON
WIRELESS METER BOX

PROPOSED VERIZON
WIRELESS LOAD
CENTER PANEL

Alexoldt 009 - D

Proposed View 4

14 July 2020



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410-821-1690
410-821-1748



From: Craig Miller <cmillerjr@comcast.net>

Sent: Monday, December 14, 2020 10:19 AM

To: Preservation <Preservation@alexandriava.gov>; Lisa Brock <IH2OCOLOR@comcast.net>

Subject: re: Historic Preservation - William Conkey - 211 North Patrick Street

Mr. Conkey,

Good morning! My name is Craig Miller and I co-own 211, 215 & 217 North Patrick Street. I see Staff has a "small cell Site" adjacent to 215 North Patrick Street on the consent calendar for this Wed, 12/16/20. I am formally requesting you pull this off the consent calendar so we can discuss with the BAR at the 12/16/20 meeting.

The history of 211 North Patrick has been difficult to research over the years so I can understand if staff had a difficult time discovering the historical significance of this property. A brief history:

- 211 North Patrick was built in ~1886 by Frederick Paff an immigrant from Germany that started a shoe and boot factory in Alexandria.
- After Paff's death in 1903, His son Frederick Paff Jr. lived at 211 North Patrick and was the Mayor of Alexandria from 1905 – 1912.
- ~1943-1945, Dr James Carpenter bought 211 North Patrick and started his medical career in Alexandria as the first African-American medical doctor in Alexandria with rights to practice at Alexandria Hospital.
- Dr. Carpenter's private medical practice was on the first floor of 211 with nurses quarters on the 2nd floor.
- 211 North Patrick is deep in Alexandria History and African American history.

We recently replaced the roof of 211 North Patrick Street according to BAR rules with an "in-kind" slate roof to preserve the property and its "site-lines." The proposed "small cell site" by Verizon is 25 feet from the physical structure at 211 North Patrick and has a vertical height in direct site-line of the slate roof. This "small cell structure" will ruin the "grandness" of this old and important home.

I am not against technology, however, there is a another telephone pole approximately 50' north on the corner of North Patrick and the common alley way that is more appropriate, in my opinion, that protects 211 North Patrick which is an important piece of Alexandria's architectural history. Please do not approve the installation of a "small cell site" at 215 North Patrick Street.

Mr. Conkey, please advise me if I need to provide you and staff with more or supporting information.

Best Regards,

Craig Miller
915 Cameron St
703-628-9574

Sent from [Mail](#) for Windows 10

Lia Niebauer

From: Craig Miller <cmillerjr@comcast.net>
Sent: Thursday, January 21, 2021 6:24 PM
To: Preservation
Cc: Lia Niebauer
Subject: RE: Historic Preservation 215 North Patrick Sreet
Attachments: 215 Patrick 1877 Atlas Map.pdf; 215 Patrick Leter from Lisa Brock - owner.pdf; Signatures opposing small cell site at 215 N Patrick.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Lia,

I would like to speak about Docket #9, 215 N Patrick proposed cell site. I have attached a list of names and signatures opposing the site as well as a letter from Lisa Brock, my wife and co-owner of the properties. I also included the 1877 Atlas map that shows the original estate of Mr. Paff.

Craig

Sent from [Mail](#) for Windows 10

2

Signatures of those in opposition to the placement of a small cell site at 215 North Patrick Street, Alexandria Virginia

- 1) NAME: Craig Miller - Chin
ADDRESS: 915 Cameron St
- 2) NAME: Lisa S Brock (Lisa S. Brock)
ADDRESS: 915 Cameron St,
- 3) NAME: Kim + David Peck Kim Peck
ADDRESS: 917 Cameron St, Alexandria Va
- 4) NAME: Jennifer Dorrance
ADDRESS: 919 King St, Alexandria
- 5) NAME: VATSANA ROSS / Vatsana
ADDRESS: 209 N. PATRICK ST, ALEXANDRIA, VA 22314
- 6) NAME: Maya Kuhnman
ADDRESS: 705 N. Patrick St. Alexandria VA 22314
- 7) NAME: Jayahl Bracey
ADDRESS: 214 N Patrick St Alexandria VA 22314
- 8) NAME: Katherine Martin
ADDRESS: 212 N Patrick St, Alex VA 22314
- 9) NAME: Richard Hayes / R Hayes
ADDRESS: 206 N Patrick St, Alexandria, VA 22314
- 10) NAME: Amranda Cernik / Amranda
ADDRESS: 221 N. Patrick St. Alexandria VA 22314
- 11) NAME: Suzanne Brock / Suzanne S. Brock
ADDRESS: 211 North Patrick St, Alex.
- 12) NAME: GINA JARMIN / Gina Jarmine
ADDRESS: 208 N. PATRICK STREET 22314 ALEXANDRIA, VA.

Board of Architectural Review
City of Alexandria

RE: Proposal for small cell site at 215 North Patrick Street

Dear Members of the Board,

My name is Lisa Brock and I co-own the properties located at 211, 215, 217 & 217A North Patrick Street, collectively known as the PAFF ESTATE.

I am asking the BAR to please OPPOSE the installation of a new telephone pole with small cell site at 215 N Patrick Street that will be approximately 46' in height and in the immediate sight-line of this historically important property. The proposed facility will be adjacent to both 211, 215 and 217 North Patrick Street and approximately 12' higher than the current utility pole. It will also include several additional protrusions closer to the sidewalk.

The history of the PAFF Estate is little known in the City of Alexandria, but none-the-less important. The history of 211 North Patrick Street, and its corresponding lots has been difficult to track down, but with the help of Rita Holtz at the Alexandria Library I offer a brief history of the property:

- Frederick Paff was born in 1837 and immigrated from Elm Hesse Castle, Germany, at the age of 14. Frederick Paff started the Paff Shoe and Boot Factory and had a shoe and boot store in Alexandria.
- Paff lived in the house at 215 North Patrick Street while the construction of 211 North Patrick Street was underway.
- The Washington Post, June 30, 1886: "the brick work on the house erected on Patrick Street, near Cameron, for Mrs. Frederick Paff, was completed yesterday evening. The house, when finished, will be one of the handsomest residences in the city."
- The "new" house at 211 North Patrick Street was completed in 1886.
- Frederick Paff lived in the residence until his death in 1903. Frederick Paff Jr, the Mayor of Alexandria from 1905 - 1912, took up residence at 211 North Patrick Street. Frederick Paff Jr, former Mayor, died in 1933.
- In 1943, the PAFF Estate was purchased by Dr. James Carpenter, MD, the FIRST African American doctor in Alexandria with rights to practice medicine at the Alexandria Hospital.
- Dr. Carpenter played a very big part in African American history in the City of Alexandria between 1943 – 1985. He was:
 - Member of the Shilo Baptist Church as well as a Board of Trustee.
 - Member of the Alexandria Medical Society & National Medical Association.
 - Clinical Instructor of Pediatrics at Howard University.
- Initially, Dr. Carpenter used the First floor of 211 N. Patrick as the doctor's office with exam rooms while he and his family lived on the 2nd floor. Eventually, the 2nd floor was used as a residence for nurses.

- Unfortunately, during the “urban renewal” of the 1960’s, Dr Carpenter had the homes at 215 & 217 razed. Dr. Carpenter’s intent was to build a bigger, newer clinic on the same site as the homes, however, the clinic was never built.
- These properties stayed in the Carpenter family until 2009 when they were purchased by my family. And began lengthy renovations.
- 211 North Patrick is still considered a valuable home and was most recently featured in the 72nd Alexandria Hospital TWIG tour of Historic Alexandria Homes.

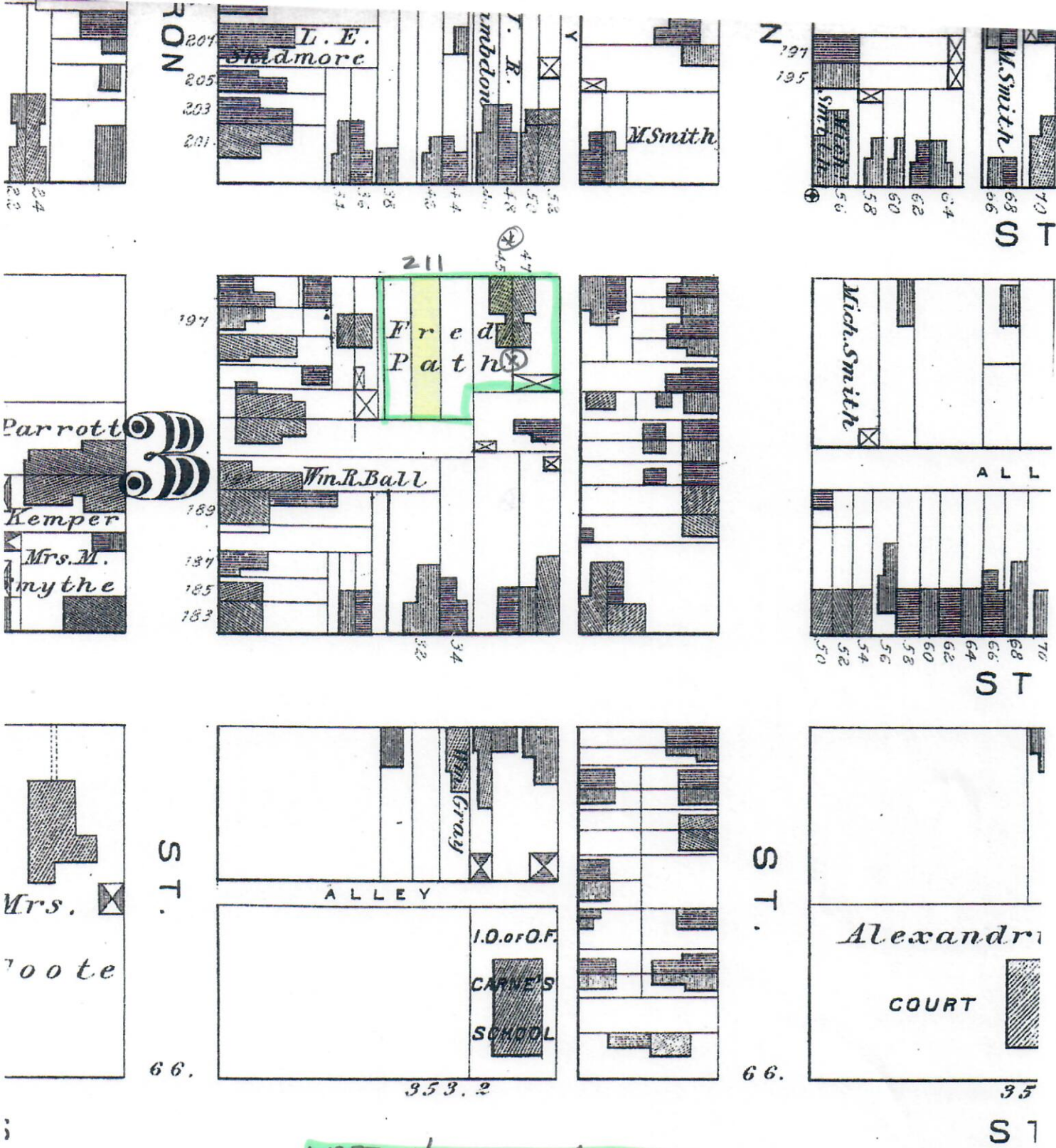
The neighbors and I oppose the small cell site facility at 215 North Patrick Street. This new 5g site would overwhelm the grandness of this house and remain in its immediate sightlines. The house has significant historical value to the City of Alexandria both as a former Mayor’s home as well as a tangible example of African American history under Dr. Carpenter’s forty years of ownership. The home at 211 North Patrick also offers a unique roof line. While the house is Victorian “style,” the roof is unique. The roof is a mixture of styles and “transitional,” To erect a 5g structure in the immediate sightlines of this house and its newly restored slate roof, would diminish the home’s great history and would be truly tragic. This historic property is well worth protecting! I ask you to please oppose the proposed 5g site at 215 North Patrick Street.

Sincerely,



Lisa Brock

211 North Patrick Street



1877 Hopkins ATLAS

* 45 WAS EVENTUALLY CONVERTED TO 215
 * PAFF WAS MISSPELLED AS PATH