

Docket Item #8
Subdivision #2014-0002
309 West Alexandria Avenue

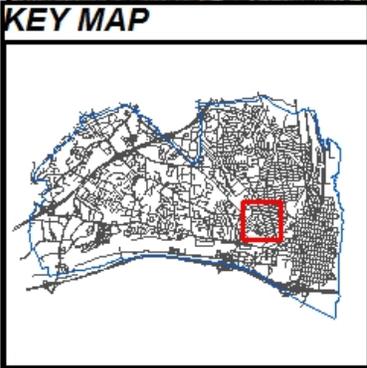
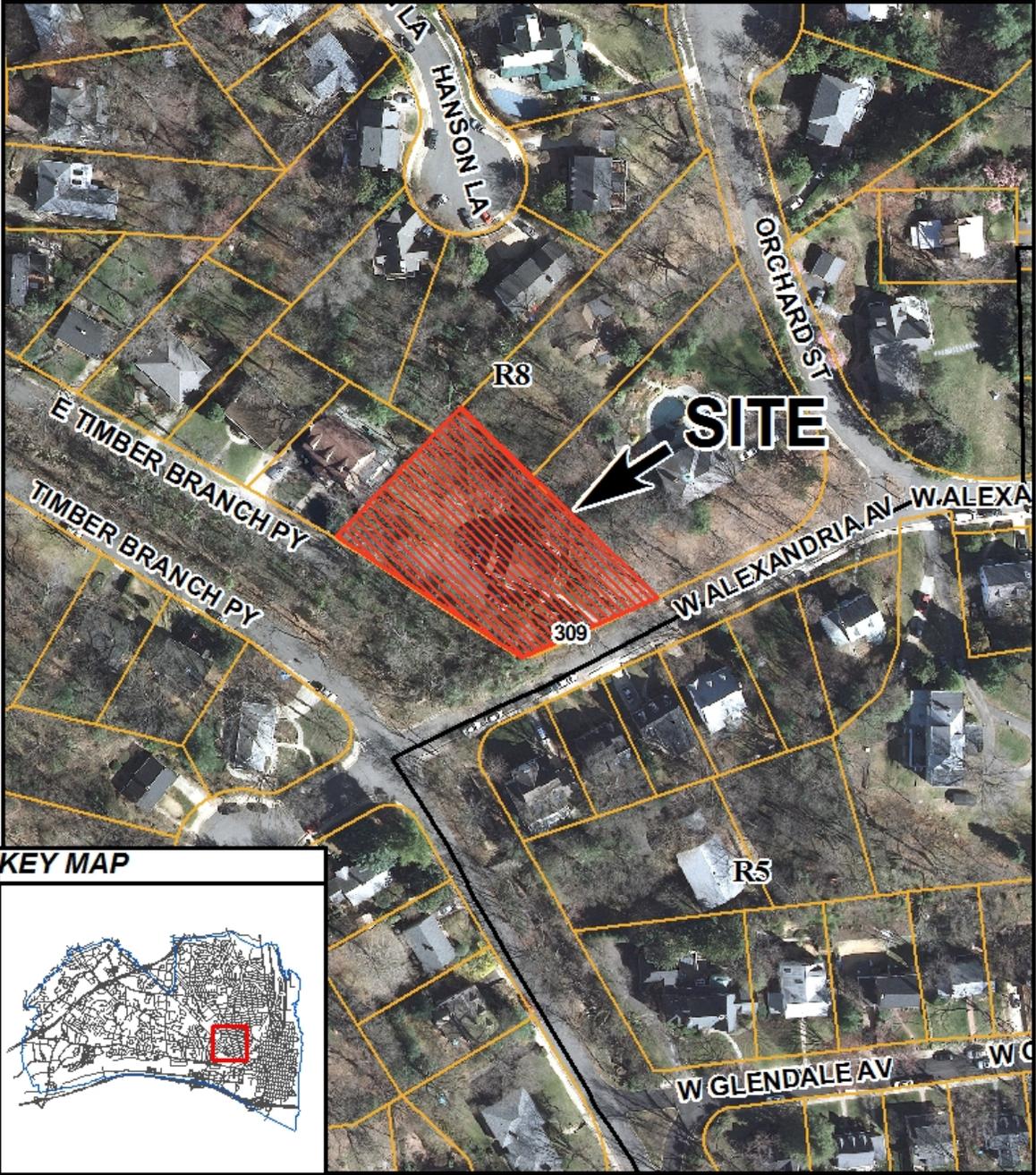
CONSENT AGENDA ITEM

If no one asks to speak about this case prior to the hearing, it will be approved without discussion as part of the Consent Agenda.

Application	General Data	
Request: Consideration of a subdivision request to divide one parcel into two lots.	Planning Commission Hearing:	April 1, 2014
	Approved Plat must be recorded by:	October 1, 2015
Address: 309 West Alexandria Avenue	Zone:	R-8 / Single-Family zone
Applicant: Paul Almeter by M. Catharine Puskar, attorney	Small Area Plan:	North Ridge/Rosemont

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Nathan Randall nathan.randall@alexandriava.gov



 **SUB #2014-0002**
309 West Alexandria Avenue



I. DISCUSSION

The applicant, Paul Almeter represented by M. Catharine Puskar, attorney, requests subdivision approval to divide one parcel of land into two lots at 309 West Alexandria Avenue.

SITE DESCRIPTION

The subject property is one lot of record with 116 feet of frontage on West Alexandria Avenue, 180 feet of frontage on Timber Branch Parkway and a total lot area of 24,765 square feet. The site is developed with a two-story single-family dwelling.

Although occupying one combined right-of-way, Timber Branch Parkway is split into two roadway sections in front of the subject property. These sections are occasionally referred to as East and West Timber Branch Parkway in this location. A stream known as Timber Branch runs between the two sections of the street. The “East” Timber Branch Parkway section of pavement dead-ends at the existing driveway for the subject property. Despite its West Alexandria address, access to the existing house is from this eastern portion of Timber Branch Parkway only.

All other uses in the immediate vicinity are single-family dwellings.

PROPOSAL

The applicant proposes to subdivide the existing one parcel into two lots as shown on the following page. A new property line, oriented parallel to West Alexandria Avenue, would be added in the central portion of the existing parcel. Proposed **Lot 500** would be irregularly-shaped and 13,699 square feet in size, whereas proposed **Lot 501** would be slightly smaller (11,066 square feet) and rectangular-shaped. The existing dwelling will remain on proposed Lot 500, and would be accessed via a new driveway and curb cut on West Alexandria Avenue. The existing driveway is expected to be mostly, if not entirely, removed. A new single-family dwelling is expected to be constructed in the future on proposed Lot 501, which would be accessed from a smaller and reconfigured driveway via the existing curb cut on Timber Branch Parkway.



ZONING / MASTER PLAN DESIGNATION

The property is located within the R-8 / Single-Family zone. As shown in the table below, the proposed subdivision meets the minimum lot size, width and frontage requirements for the R-8 zone. The existing dwelling would also meet minimum side yard and maximum FAR requirements if the subdivision is approved. The property is located in the North Ridge / Rosemont Small Area Plan chapter of the Alexandria Master Plan, which designates the property for uses consistent with the R-8 zone, including single-family residences.

	Minimum Required	Existing Lot	Lot 500 Proposed	Lot 501 Proposed
Lot Size	8,000 Sq. Ft. (Interior Lot)			11,066 Sq. Ft.
	9,000 Sq. Ft. (Corner Lot)	24,765 Sq. Ft.	13,699 Sq. Ft.	
Lot Width	65' (Interior Lot)			83.07'
	80' (Corner Lot)	126' (W. Alexandria) 195' (Timber Branch)	126' (W. Alexandria) 113' (Timber Branch)	
Lot Frontage	40'	116.34' (W. Alexandria) 180.15' (Timber Branch)	116.34' (W. Alexandria) 97.08' (Timber Branch)	83.07'

SUBDIVISION STANDARDS

In addition to a series of technical requirements (Sections 11-1706 and 11-1709) and a general requirement that all lots meet zoning requirements (11-1710(D)), the Zoning Ordinance requires that every subdivided lot be consistent with the character of other lots in the subdivision and the area and specifically “of substantially the same character as to suitability for residential use and structures, lot areas, orientation, street frontage, alignment to streets and restrictions...” Section 11-1710(B).

RESOURCE PROTECTION AREA

A portion of the property, varying in width between 23 feet and 47 feet as measured from the front property line, is located within a Resource Protection Area (RPA) given its proximity to Timber Branch.

II. STAFF ANALYSIS

Staff supports the applicant's subdivision request. The proposed lots meet all technical zoning requirements regarding minimum lot size, frontage and width. They are also consistent with the character of the other lots in the vicinity regarding matters such as lot size, frontage, shape, and orientation.

Staff does have some concern regarding the future loss of trees on the front/central portions of the wooded Lot 501 upon construction of a new dwelling. Although some loss of trees is inevitable at such time that the property is eventually developed, the removal of several non-specimen trees here would not advance the City's goal of preserving its tree canopy. Staff has considered whether the applicant could shift the future dwelling from the prevailing setback on the block face in order to minimize tree loss. However, bringing the dwelling farther forward is undesirable because it brings it closer to the RPA, and pushing the dwelling farther back would likely result in a house placement inconsistent with the rather uniform setback found at the dwellings along this side of Timber Branch Parkway.

The applicant already does not plan to remove any trees in the rear portions of the property. Staff has memorialized the intent to save these trees in Condition #9, which stipulates that all trees within the "preliminary tree protection area" shall be protected during construction. Nonetheless, ten trees are expected to be removed during construction of the single-family dwelling. Staff therefore recommends in Condition #8 that the applicant install one new tree for every one tree lost, resulting in a total of ten new trees. Five of these trees would need to be four-inch caliper in size and the remaining five trees could be as small as two-inch caliper in size. Ultimately, the condition stipulates that the size and species of the new trees need to be appropriate for the site conditions and consistent with the City's Landscape Guidelines.

Given various allowances in RPA regulations, existing site conditions, and the location of the RPA at the front portion of the lots, it appears possible for the applicant to build a new single-family dwelling on the new proposed Lot 501 pending various approvals, including the proposed subdivision and a future grading plan. Staff has included Conditions #3-6 in this report to reinforce the existing grading plan and RPA regulations as they would apply to this lot. Staff also recommends in Condition #2 that the applicant install curb and gutter improvements, consistent with City design standards and at its expense, for approximately 110 feet along the West Alexandria Avenue frontage of proposed Lot 500. The installation of these improvements would fill a gap on the street and improve stormwater flow.

Subject to the conditions contained in Section III of this report, staff recommends approval of the applicants' request.

III. RECOMMENDED CONDITIONS

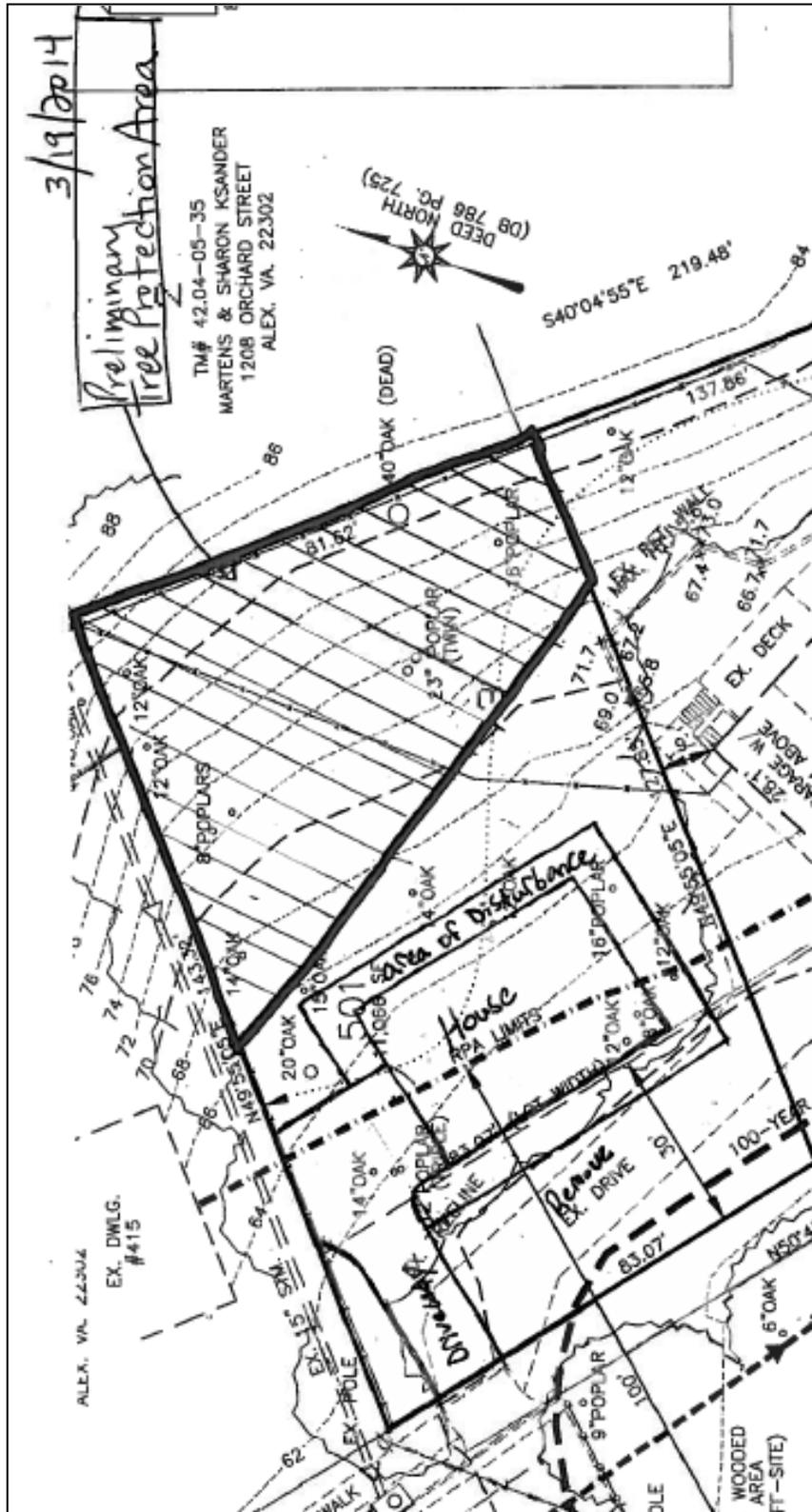
Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The final subdivision plat shall comply with the requirements of Section 11-1709 of the Zoning Ordinance. (P&Z) (T&ES)
2. The applicant shall complete curb and gutter improvements pursuant to City of Alexandria standards along the West Alexandria Avenue frontage of Lot 500 with the development/redevelopment of the first sub-divided lot. (T&ES)
3. No increase in impervious area is permitted within the RPA for each parcel should they redevelop. (T&ES)
4. Resource Protection Area Encroachments shall be mitigated according to the guidelines suggested in the “Riparian Buffers Modification & Mitigation Guidance Manual” by the Chesapeake Bay Local Assistance Department. (T&ES)
5. The locations of all easements and reservations shall be depicted on the final subdivision plat. No permanent structure may be constructed over any existing private and/or public utility easements. (P&Z)(T&ES)
6. An approved grading plan showing all improvements and alterations to the site for proposed Lot 501 must be attached to the building permit application for that lot. (T&ES)
7. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements. (T&ES)
8. The applicant shall install one replacement tree for each tree removed on proposed Lot 501 as part of the anticipated future development of a single-family dwelling on that lot. The species and size of the replacement trees shall be to the satisfaction of the Director of Planning & Zoning and shall be installed prior to the issuance of the Certificate of Occupancy permit. (P&Z)
9. The applicant shall provide, implement and follow a tree protection program for those trees located in the “preliminary tree protection area” illustration dated March 19, 2014 to the satisfaction of the Director of Planning & Zoning. The final tree protection area shall be depicted on the final subdivision plat and on the future grading plan. Tree protection measures shall be determined by the Director of Planning & Zoning consistent with the City of Alexandria Landscape Guidelines. Replacement trees or a monetary fine commensurate with the value of replacement trees shall be required for each tree identified for protection that is destroyed if the approved tree protection methods have not been followed. The replacement trees shall be installed and, if applicable, the fine shall be paid prior to the issuance of the Certificate of Occupancy permit. (P&Z)

STAFF: Alex Dambach, Division Chief, Department of Planning and Zoning;
Nathan Randall, Urban Planner.

Staff Note: This plat will expire 18 months from the date of approval (October 1, 2015) unless recorded sooner.

Proposed Lot 501 Preliminary Tree Protection Area 3/19/2014



IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- F-1 Signature block must be provided on the final plat. (T&ES)
- F-2 A separate application will be required for approval of a curb cut to provide off-street parking for Lot 500. (T&ES)
- R-1 The applicant shall complete curb and gutter per the City of Alexandria standards along West Alexandria Avenue with the development/redevelopment of the first sub-divided lot. (T&ES)
- R-2 No increase in impervious area is permitted within the RPA for each parcel should they redevelop. (T&ES)
- R-3 Resource Protection Area Encroachments shall be mitigated according to the guidelines suggested in the “Riparian Buffers Modification & Mitigation Guidance Manual” by the Chesapeake Bay Local Assistance Department. (T&ES)
- R-4 The locations of all easements and reservations shall be depicted on the final subdivision plat. No permanent structure may be constructed over any existing private and/or public utility easements. (P&Z)(T&ES)
- R-5 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements. (T&ES)
- R-6 An approved GRADING PLAN showing all improvements and alterations to the site for proposed Lot 501 must be attached to the building permit application for that lot. (T&ES)
- C-1 The final subdivision plat shall comply with the provisions of Section 11-1709 of the City’s Zoning Ordinance. (T&ES)
- C-2 Any future development/redevelopment on either of the subdivided lots shall provide adequate stormwater outfall per the requirements of Article XI of Alexandria Zoning Ordinance. (T&ES)
- C-3 Any future development/redevelopment on either of the subdivided lots shall comply with the requirements of City of Alexandria Zoning Ordinance Article XIII or the relevant laws of the Commonwealth of Virginia applicable at the time of submission of the first final plan for storm water management regulations regarding water quality and quantity control. (T&ES)

- C-4 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-5 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-6 Pay sanitary sewer tap fee prior to release of Grading Plan. (Sec. 5-6-25.1) (T&ES)
- C-7 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61) (T&ES)

Code Enforcement:

F-1 No comments received

Fire Department:

F-1 No comments

Historic Alexandria (Archeology)

F-1 No archaeological action is required.

Parks and Recreation:

F-1 No comments received

Police Department:

F-1 No comments received

Real Estate Assessments:

F-1 No comments



APPLICATION

SUBDIVISION OF PROPERTY

SUB # 204-00022

PROPERTY LOCATION: 309 Alexandria Ave West

TAX MAP REFERENCE: 042.04-05-55 ZONE: R8

APPLICANT:

Name: Paul Almetes

Address: 4022 Toney Ave Alexandria VA 22304

PROPERTY OWNER:

Name: Rebecca L Buskin

Address: 309 Alexandria Ave West

SUBDIVISION DESCRIPTION Subdivide to leave existing house and create 1 new lot.

THE UNDERSIGNED hereby applies for Subdivision in accordance with the provisions of Section 11-700 of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Paul Almetes
Print Name of Applicant or Agent

4022 Toney Ave
Mailing/Street Address

Alexandria, VA 22304
City and State Zip Code

Paul Almetes
Signature

703-674-9589
Telephone # Fax #

Paulalmetes@yahoo.com
Email address

1/7/2014
Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

Application Received: _____ Fee Paid and Date: _____

ACTION - PLANNING COMMISSION: _____

ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is: (check one)

the Owner Contract Purchaser Lessee or Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

~~Paul Almeto, 4072 Toney Ave, Alexandria, VA 22304 100%~~
~~100%~~
Paul Almeto, 4072 Toney Ave, Alexandria VA 22304 100%

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes.** Provide proof of current City business license.
- No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Paul Almetes	4022 Toney Ave Alexandria, VA 22304	100%
2.	Paul Almetes	4022 Toney Ave Alexandria, VA 22304	100%
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 309 Alexandria Ave West (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Rebecca L Ruskin	309 Alexandria Ave West Alexandria, VA	100%
2.			
3.			

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity below and "None" in the corresponding fields)**

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Paul Almetes	None None	
2. Rebecca L Ruskin	None	
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/7/2014
Date
Paul Almetes
Printed Name
Paul Almetes
Signature

WAIVER OF RIGHT TO AUTOMATIC APPROVAL

**SUBMITTED TO
THE DEPARTMENT OF PLANNING AND ZONING
CITY OF ALEXANDRIA, VIRGINIA**

PROJECT NAME: 309 Alexandria Ave West

PROJECT ADDRESS: 309 Alexandria Ave West

DESCRIPTION OF REQUEST:
Divide 309 Alexandria into 2 lots and keep
Existing House

THE UNDERSIGNED hereby waives the right to the 45 day automatic approval provision of Section 11-1708 (B)(2) of the Zoning Ordinance of the City of Alexandria, Virginia, for the application stated above.

Date: 4/7/14

Applicant Paul Almeter

Agent

Signature: Paul Almeter

Printed Name: Paul Almeter