

BAR CASE# BAR2023-00268

(OFFICE USE ONLY)

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ **ZONING:** _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature

Freedom House: Exterior Restoration/Rehabilitation

Scope of Work Narrative

DRAFT 6/6/23

The project includes restoration of specified portions of the exterior of this nationally significant structure and rehabilitation/repair of those portions that are outside of the designated period of significance of 1828-1861, pursuant to its ongoing use by the City of Alexandria as a museum. The overall intent is to repair or restore each massing section of the building to the period of significance of that portion of the building, as defined in the Historic Structure Report. **The museum will remain in operation throughout the construction. The City will obtain permission from the abutting property owners to provide access and erect scaffold during construction.**

The graphics and terminology used for describing the different periods of different sections of the building in this scope of work are taken from the *1315 Duke Street Historic Structure Report* (HSR) prepared by the SMITHGROUP Architects, dated June 30, 2021 and linked here: <https://media.alexandriava.gov/content/oha/HSR1315DukeReport2021.pdf> as an appendix to this Scope of Work. Additional information is contained in the *Building and Property History, 1315 Duke Street* by Benjamin A. Skolnik, PhD for the Office of Historic Alexandria, January 2021: <https://media.alexandriava.gov/docs-archives/historic/info/archaeology/1315dukestbuildinghistoryskolnik2021.pdf>

The building is divided into four massing sections or components described in figure 2B-1 on page 62 of the HSR and this schematic building plan is copied below:

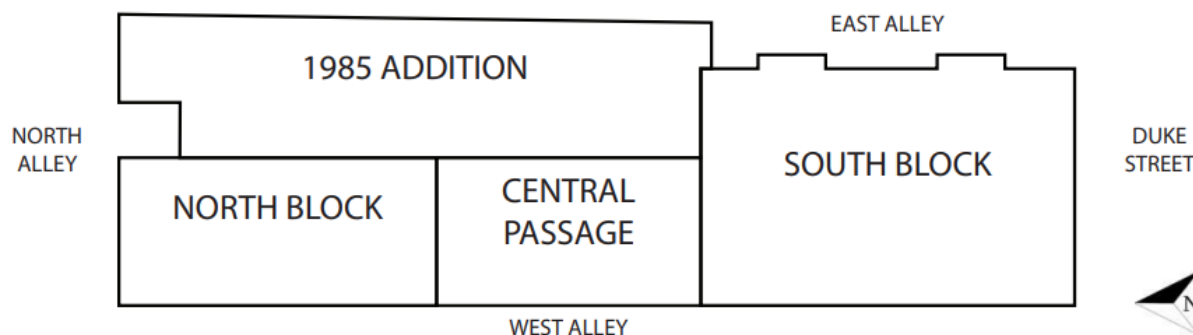


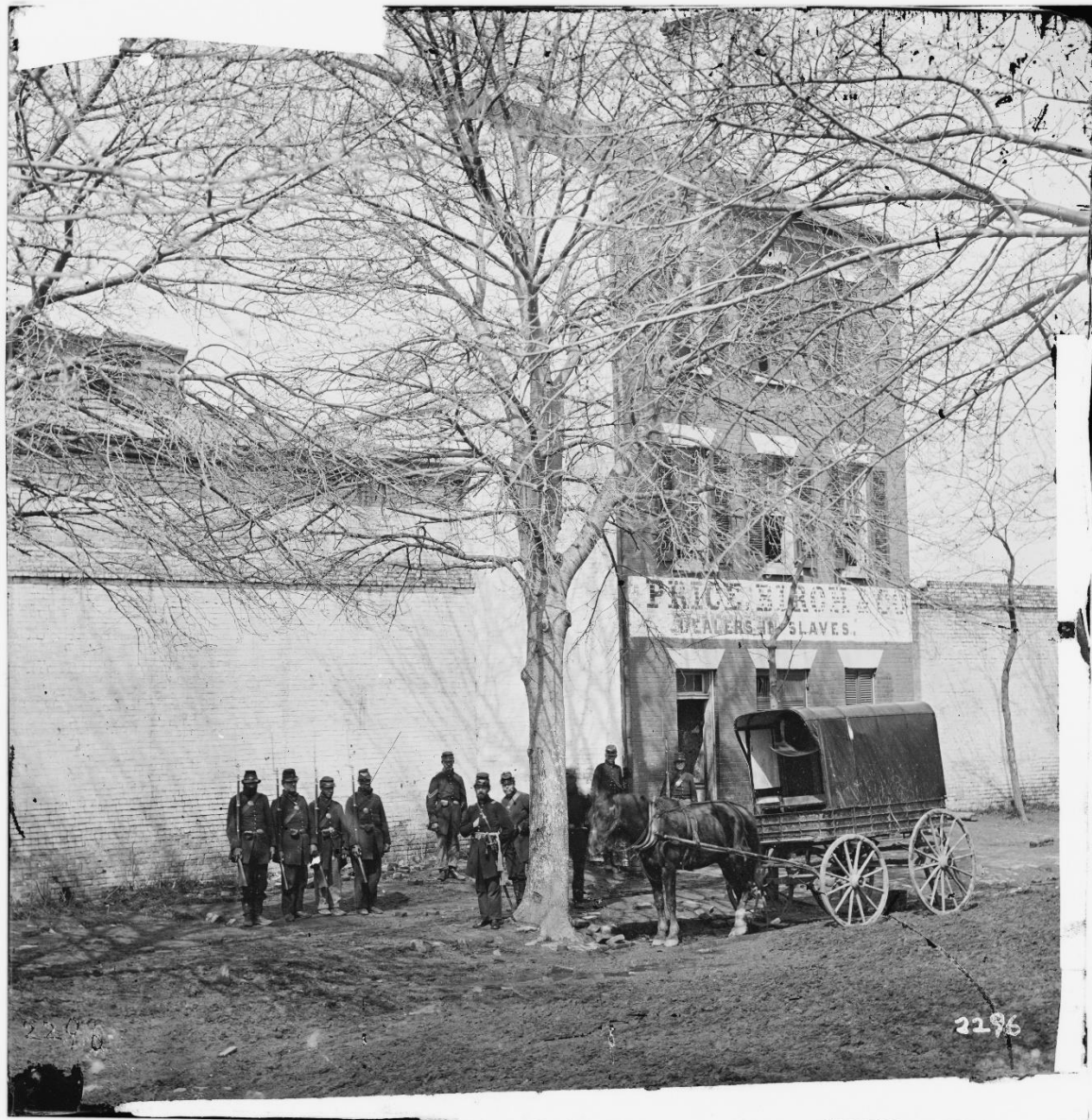
FIGURE 2B-1: Key Plan of Freedom House, including South Block, North Block, Central Passage, and 1985 Addition.

1. The South Block is **Massing #1**
2. The North Block is **Massing #2**
3. The Central Passage is **Massing #3**
4. The 1985 addition is **Massing #4**

The Periods of Development of the massing sections referenced below come from HSR Part 2B on page 53 of the report. Each section of the building is further divided into Preservation Treatment Zones shown on pages 145-152 of the HSR.



1315 Duke Street after March 1863: *Front of 'slave pen', Andrew Russell (or Mathew Brady), 1861-1865 (HSR page 559)*



Brady & Co. 1861-1865, Library of Congress (HSR page 558)

1. SOUTH BLOCK, Massing #1

The period of significance of all facades of the south block of the existing building is **Period 2** (1828 – 1861), during its use as the headquarters of a slave pen. The three Treatment Options proposed only for the South Block of the building are referenced on page 18 of the HSR (please ignore the typos on page 413) and these options for the South Block should be priced separately.

Treatment Options for the South Block

(Provide Separate Cost Estimates for Options #2, 2a, 3 & 4 on the South Block, described below)

1) Treatment Option #1: Restoration of the entire structure to the Period of Significance: 1828 - 1861

This option would require demolition of all portions of the building constructed after 1861 and is, therefore, **not** being proposed as part of this work.

Photo March 1862

2) Treatment Option #2: Restore the south block to the period of significance and remove the post-1902 mansard roof in order to restore the original side gable form.

a) DEMOLITION

- i) Remove the existing mansard roof to reconstruct the side gable roof shown in the Civil War photographs¹. Cut the masonry wall on the east and west gable ends to the historic roof slope. Assume that the height of the existing parapet and gable ridge are the same as the existing mansard ridge.²
- ii) Carefully remove all of the existing doors, windows and sills on the south, east and west elevations of the south block. These openings will be restored on the south elevation and filled with masonry on the east and west elevations.

b) CARPENTRY

- i) Remove the fourth-floor mechanical ductwork and any portion of the existing electrical and fire protection systems that are associated with the mansard roof and 4th floor framing to be removed. Retain a minimum amount of power for lighting and retain the existing mechanical unit air handler to condition the future attic storage space. Create FPS shop drawings and obtain the building permit to reinstall the fire protection system for the new attic storage layout.
- ii) Retain the existing fourth-floor interior wall locations but reduce their height to abut the bottom of the new gable roof rafters. Retain the existing flooring and stairway from the 3rd to the 4th floor.
- iii) Install a new plate on top of the north and south walls and a ridge beam and struts to support the new rafters at 16" on center. Install 3/4" plywood roof decking. Structural drawings to be provided by the City.
- iv) Insulate between the rafters with R-30 mineral wool batt insulation.
- v) On the south façade, install seven new 12/12, painted wood, single-hung, single-glazed windows, wood shutters and wood doors to match those in the Civil War photographs, using an approved wood species and period construction details. The lower sash will be held up

¹ The several images from the period of significance are included in Attachment C beginning on page 547 of the HSR.

² The existing mansard roof dates from Period 4B, ca 1905, and is considered non-contributing in the Roof Physical Description described on Pages 197 – 199 of the HSR.

- with a bird's-mouth cam. Provide a full-size sample window for approval prior by the owner's representative. Adjust the interior drywall and trim to the new opening sizes.
- vi) Install new operable, wood, louvered shutters on all seven windows of the south façade.
 - vii) On the south façade, install new wood doors to match those in the Civil War photographs.

c) ROOFING

- i) Install a continuous layer of ice and water shield on the plywood decking.
- ii) Cover the north and south slopes of the new side-gable roof with black slate shingles.³ Install shingles with copper nails and flashing. Coordinate step flashing and parapet coping with masons during their repointing and chimney reconstruction.
- iii) Install a copper coping on the parapet between the chimneys. Install new copper caps on the top of the two east chimneys 1 & 2.
- iv) Install a new half-round copper gutter and downspout. Connect the downspout to the existing drain pipe running below the sidewalk at the east end of the south façade and to the existing drainage system on the north slope.

d) MASONRY

- i) Restore the seven original window and two door opening sizes on the south façade to match the Civil War photographs.⁴ Existing Victorian period windows with segmental arch heads are taller and the openings are slightly wider at the east jamb. The west jambs appear original. Remove the existing segmental arches and install new brick jack arches. Cut to the new width and reuse the existing stone sills.
- ii) Eliminate all eight existing windows and sills on the west elevation and seven windows on the east elevation of the south block.⁵ Infill the openings with two wythes of brick. Retain the existing masonry arches and jack arches. Abut the existing jambs and do not tooth the infill to the existing walls. Anchor the infill to the abutting walls with helical stainless steel reinforcing per manufacturer's directions. Brick infill to be the same size, texture and bond pattern as the adjacent masonry, laid to align with adjacent coursing and with the face flush with the adjacent masonry wall. Frame, drywall and paint the interior of the openings to match the surrounding wall surfaces. Use wood or 2 ½" metal stud framing to match the surrounding wall.
- iii) Repoint/repair the entire east façade and chimneys. Use only lime based mortar to match the color, composition and profile of the identified original joint for each portion of the

³ "The 1902 Sanborn Atlas shows the main, three-story block and two-story kitchen addition at 1315 Duke Street, ... The roof of the main block of the building is constructed of slate or tin and the roof over the lower wing to the rear is made from wood shingles." *Building and Property History*, p. 174.

⁴ The current masonry openings date from Period 4 and are considered non-contributing in the South Block Physical Description on pages 163 – 196 of the HSR.

⁵ These Victorian windows were installed during Period 4 and are outside the period of significance of this portion of the building, according to pages 113 – 130 of the HSR and are determined to be non-contributing features in Section C, Physical Description, page 145. In addition, because the west wall of the building abuts the property line, these openings do not comply with the fire separation distance required by the Virginia Uniform Statewide Building Code and are a potential fire hazard.6/6/23

structure according to the Mortar Analysis on Section IV, page 24 of Appendix A of the HSR, typical throughout.

- iv) Repoint/repair portions of the west and south facades where designated on pages 361-375 of the Conditions Assessment section of the HSR. Remove abandoned ferrous metal anchors, etc., prior to repointing. After scaffolding is in place and the wall has been power-washed, inspect the walls in detail with the owner's representative and submit a price for any additional repair/repointing based on a previously submitted unit price.
 - v) Replace, or reverse, all brick whose face is spalled more than ¼" below the original exterior face – typical throughout. Repair designated through-joint cracks by repointing. Repair through-brick cracks by replacing damaged brick.
 - vi) Chimneys: Reconstruct the chimneys from the new roofline up, as directed by the structural engineer. Engineer to perform close inspection after the scaffold is erected. (See Silman Structural Engineering comments on page 402 of the HSR.) Restore the original three-step corbeled top to the two chimneys and the parapet, as shown in the Civil War photos.⁶ Add a low-slope, copper coping/flashing cap to the flat shoulder on each of the two chimneys.
- e) PAINTING
- i) Lightly power-wash all façades.
 - ii) Carefully strip the existing paint, on the south façade only, to remove the alligatored paint texture and create a more uniform appearance after the masonry repairs. The entire south elevation will be repainted a color specified by the owner and based on laboratory analysis.⁷ Exercise extreme caution to expose and protect the historic painted PRICE, BIRCH & CO sign for documentation and future restoration or recreation. Paint the light colored background of the sign based on recommendations in the paint analysis in the HSR and approval of the owner. The owner will paint the lettering on the sign at a later date.
 - iii) Abate lead paint runoff and dispose of waste per state and federal regulations.
 - iv) Rake the existing mortar and seal the vertical joints between all four abutting masonry building wall massing sections with architectural sealant.
 - v) Repaint the masonry and the wood trim on all facades with historic colors identified in the HSR. The west, north and east facades of the south block were originally limewashed but have been painted several times since with modern paint and will be repainted with two coats of off-white, semigloss latex paint as part of this scope.

2a) Treatment Option #2a: Restore the south block to the period of significance, as described in Treatment Option #2, above, but **replace only the south half of the post-1902 mansard roof** in order to restore the appearance of the original side gable form from Duke Street while retaining some office and storage space on the north side of the fourth floor.

- a) Remove the entirety of the mansard roof form south of the central roof ridge and remove approximately three feet of the existing mansard roof on the east and west sides of the north roof slope, so that the east and west masonry walls may be cut to restore the appearance of the

⁶ See Appendix C, pages 557 - 560 of the HSR

⁷ Refer HSR Appendix A, page 7.

original side gable roof form. Retain the existing central ridge beam and the three dormers on the north side.

- b) Remove approximately three feet of the west portion of the mansard roof on the north slope, from the masonry to the west wall of the existing dormer and recreate the original gable roof form in this area. Roof this area with slate to match the south slope and trim the west wall of the west dormer with copper. Insulate, drywall and paint the new rafter framing.
- c) Remove approximately three feet of the east portion of the mansard roof on the north slope north of the north chimney to recreate the original gable roof form in this area. Roof this area and the east wall of the east dormer with copper. Insulate, drywall and paint the new rafter
- d) Restore or replace the three dormer window sash on the north portion of the mansard roof with 2/2 painted wood windows. Retain the existing copper clad window frames.
- e) Inspect the condition of the existing copper mansard roofing, as recommended on page 397 of the HSR, and report to the owner.
- f) Retain the existing interior stair, walls and finishes below the mansard roof and the lower portions of the wall below the new south slope. Frame and install insulation and drywall at the east and west ends below the new north slope of the mansard, to match the existing wall finishes.
- g) Retain the existing mechanical, electrical and FPS system. Amend the systems as required in response to the new east and west sides of the north roof slope. The portion of the 4th floor beneath the existing mansard will remain two offices. The portion of the 4th floor beneath the new south roof slope will be used for storage. Reinstall the fire protection system, ductwork and utility lighting beneath the new south roof slope.
- h) Install drywall, tape & bed and paint below the rafters of the new south slope of the roof.

Treatment Option #3: Restore the south façade below the height of the existing cornice to the period of significance, as described in Treatment Option #2, above, and retain the existing ca 1902 mansard roof form and fourth floor interior features. In addition, perform the following:

- a) Inspect the condition of the existing copper mansard roofing, as recommended on page 397 of the HSR, and report to the owner.
- b) In addition to the new 12/12 windows referenced in Treatment Option #2, replace the five windows in the mansard roof dormers with new 2/2, painted wood sash.
- c) Eliminate all of the windows on the east and west elevation of the south block and infill with brick, as described in Treatment Option #2.

3) Treatment Option #4: Rehabilitate the three existing facades and retain the existing ca 1902 mansard roof form and fourth floor interior features. In addition, perform the following:

- a) Lightly power-wash all façades.
- b) Repair or replace all the existing windows in all of the existing masonry openings on all elevations of the South Block to match the existing 2/2 sash. Replace the windows in the five mansard roof dormers with new 2/2, painted wood sash.
- c) Repoint the entire east façade and reconstruct the portion of the chimneys above the roofline as described in Treatment Option #2.

- d) Seal the vertical joint between masonry building sections with architectural sealant.
- e) Finish all masonry, windows and wood trim on all facades with two finish coats of historic colors referenced in the HSR and selected by owner.

2. NORTH BLOCK, Massing #2

The period of significance of floors one and two of all facades of the north block of the building is **Period 2** (1828 – 1861). The wood frame third floor is **Period 4B** (1902 – 1915.)

1) Brick Walled Floors 1 & 2 -- west, north and east elevations

a) MASONRY

- i) Lightly power wash only the brick portion of the walls. Existing paint on the masonry walls to remain.
- ii) After scaffolding is in place and the wall has been power-washed but prior to beginning construction, inspect the walls in detail with the owner's representative and submit a price for any additional repair/repointing based on a previously submitted unit price.
- iii) Gently remove loose areas of parging at the base of the wall by hand and repoint 100% of the west wall below the first floor window sill.
- iv) Repoint/repair additional portions of the west, north and east facades where designated on pages 361-375 of the Conditions Assessment section of the HSR. Remove abandoned ferrous metal anchors, etc., prior to repointing.
- v) Replace, or reverse, all brick whose face is spalled more than ¼" below the original exterior face – typical throughout. Repair designated through-joint cracks by repointing. Repair through-brick cracks by replacing damaged brick.
- vi) Use only lime-based mortar to match the color, composition and profile of the identified original joint for each portion of the structure according to the Mortar Analysis on Section IV, page 24 of Appendix A of the HSR, typical throughout.
- vii) Seal the vertical joint between building massing sections with architectural sealant.
- viii) Repoint chimneys 3 and 4 above the roof line and install new copper caps.

b) CARPENTRY

- i) Restore or replace the windows in the masonry section of this block with painted wood, as described in the Opening Schedule. Install new cast stone sills, typical.

c) PAINTING

- i) Finish all masonry, windows and wood trim on all facades with two coats of primer and two finish coats of semi-gloss latex paint using historic colors referenced in the HSR and selected by owner.

2) Wood Framed 3rd floor -- west, north and east elevations⁸

a) CARPENTRY

⁸ The 3rd floor was constructed ca 1905 during period 4B, outside the period of significance of the building and is considered a Level 4 Rehabilitation Zone.

- i) Carefully remove the existing German-lap #105 profile siding from the west and north walls of the third floor.⁹ Examine each piece of siding for potential reuse. Where the owner's representative agrees that portions of the siding are beyond reasonable repair, replace these pieces with custom milled Accoya or PrimeLock German siding and trim to match. Sand and shop-prime all six sides of the existing siding, windows and trim with two coats of primer and one coat of finish paint. Inspect the existing wood stud framing and 1x6 diagonal sheathing and replace where necessary. Install continuous house-wrap per manufacturer's instructions and reinstall the siding with ring-shank stainless steel siding nails.
 - ii) Remove the small piece of abandoned, surface-mounted electrical conduit from the North wall and terminate in a surface mounted electrical box.
- b) PAINTING
- i) Apply the second, final coat of finish paint in the field after installation. Prime all cuts.
 - ii) Restore or replace all of the windows with 2/2 painted wood sash and frames.
- c) ROOFING
- i) Add and or repair existing gutter brackets and re-slope the existing copper gutter on the west elevation toward the existing underground drainage pipes. Provide two additional round copper downspouts, for a total of four, to the existing gutter and drain these into the pedestrian alley. Repair or replace the torn existing downspout at the northwest corner.
 - ii) Repair the masonry and re-anchor the existing downspout at the northeast corner. Direct water away from the well at the emergency egress door.

3. CENTRAL PASSAGE, Massing #3

The period of significance of the masonry west wall of floors one and two of Central Passage section of the building is **Period 2** (1828 – 1861). The wood framed third floor is **Period 4B** (1902 – 1915.)

- a) Apply the same scope of work and treatment described for the masonry and wood frame portions of the North Block, above, to the Central Passage.
- b) Eliminate the four existing ca 1870¹⁰ windows and wall sills on the first and second floors of the masonry wall of the central passage. Infill the openings with two wythes of brick. Retain the existing masonry arches and jack arches. Abut the existing jambs and do not tooth the infill to the existing walls. Anchor the infill to the abutting walls with helical stainless steel reinforcing per manufacturer's directions. Brick infill to be the same size, texture and bond pattern as the

⁹ The wood siding was replaced in 1937 according to building permit records noted on page 391 of the HSR and is considered non-contributing in the Physical Description on pages 191 & 194 of the HSR. While not noted on the 1984 construction drawings or in the HSR, it is assumed that the exterior wall cavity was filled with batt insulation during an earlier interior alteration.

¹⁰ HSR page 116. These Victorian windows were installed during Period 4 and are outside the period of significance of this portion of the building, according to pages 113 – 130 of the HSR and are determined to be non-contributing features in Section C, Physical Description, page 191. In addition, because the west wall of the building abuts the property line, these openings do not comply with the fire separation distance required by the Virginia Uniform Statewide Building Code and are a potential fire hazard.

adjacent masonry, laid to align with adjacent coursing and with the face flush with the adjacent masonry wall. Frame, drywall and paint the interior of the openings to match the surrounding wall surfaces.

4. 1985 ADDITION, Massing #4

The period of significance of the 1985 Addition is **Period 5A** (1984 – 2020.) This is considered a Level 5 Preservation Treatment Zone and a Non-Contributing resource in Section C, Physical Description on page 145 of the HSR.

- a) No repointing required at the existing brick walls. Existing unpainted brick to remain unpainted, typical.
- b) Remove existing ca 1985 wood siding at the east elevation and replace with pre-painted fiber-cement HardiPlank brand 1x6 clapboard siding and trim, or approved equal, on the existing furring on the CMU wall. Flash and install according to the manufacturer's directions. Eliminate the two existing circular, decorative, nonfunctional gable vents in the clapboard siding.
- c) Remove the existing circular, nonfunctional decorative wood vent in the brick wall at the north elevation. Infill the masonry opening with herringbone pattern brick.
- d) Locate and repair the leak identified by the owner at one of the two existing sloped-glass skylights on the east wall. Provide an alternate price to clad with ¾" fire retardant treated plywood decking and standing seam copper roofing to match the roof of the 1985 addition above. Insulate within the frames and clad the interior of the skylight frames with drywall.
- e) Restore or replace the windows as noted in the Opening Schedule.

1315 Duke Street

Freedom House BAR Review

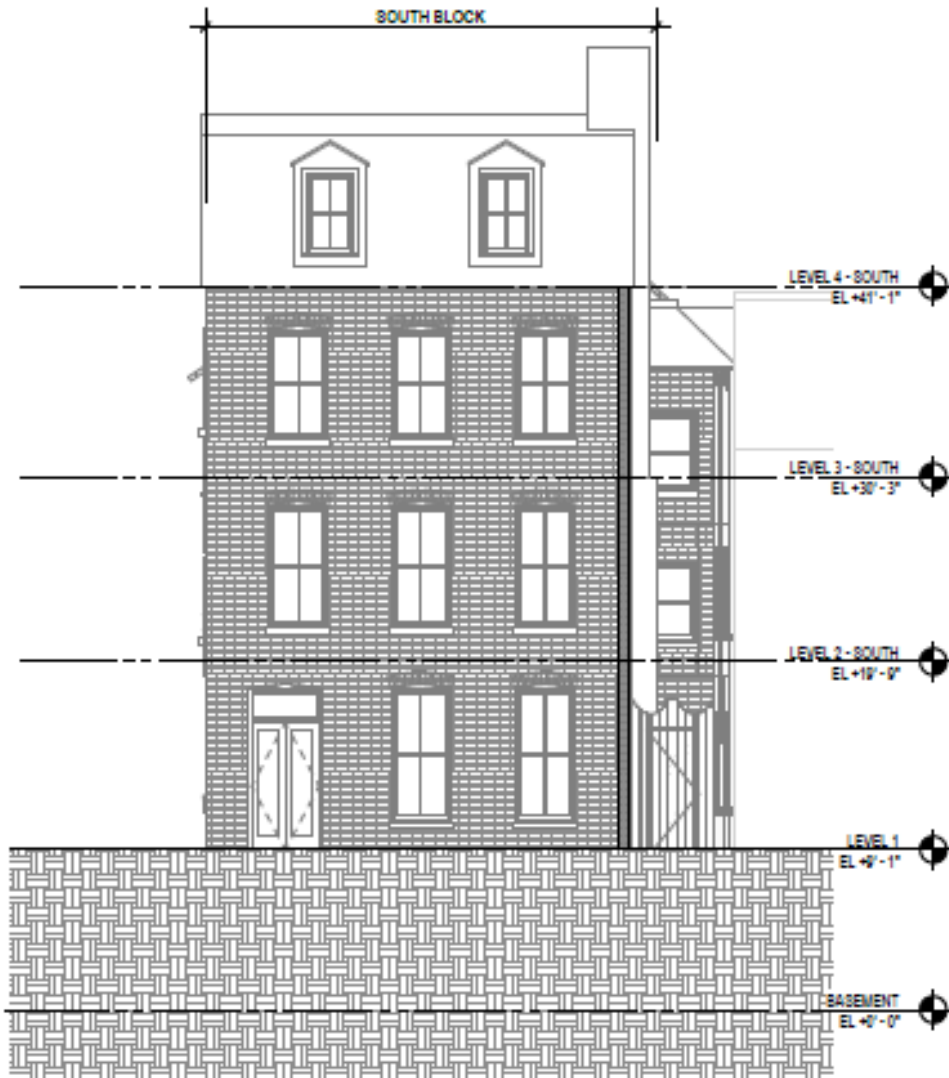
Exterior Repairs/Restoration
6/20/23



Application Received: 6/20

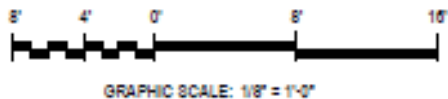
SOUTH ELEVATION

EXISTING CONDITIONS



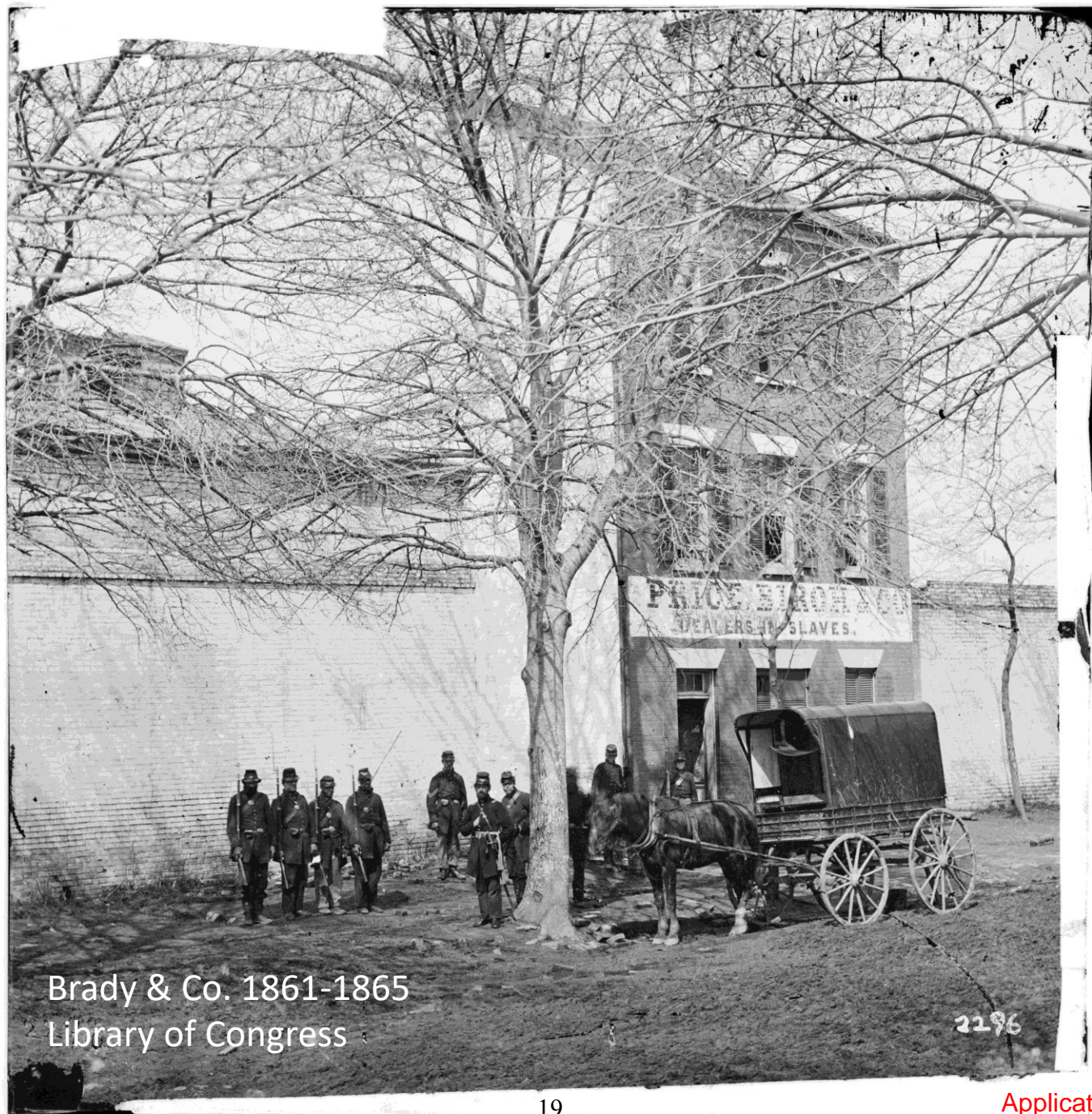
Base drawing courtesy

SMITHGROUP



South Elevation 2023





Brady & Co. 1861-1865
Library of Congress



William R. Pywell, ca 1862
Library of Congress



Andrew J. Russell (or Mathew Brady) 1861-1865
Library of Congress

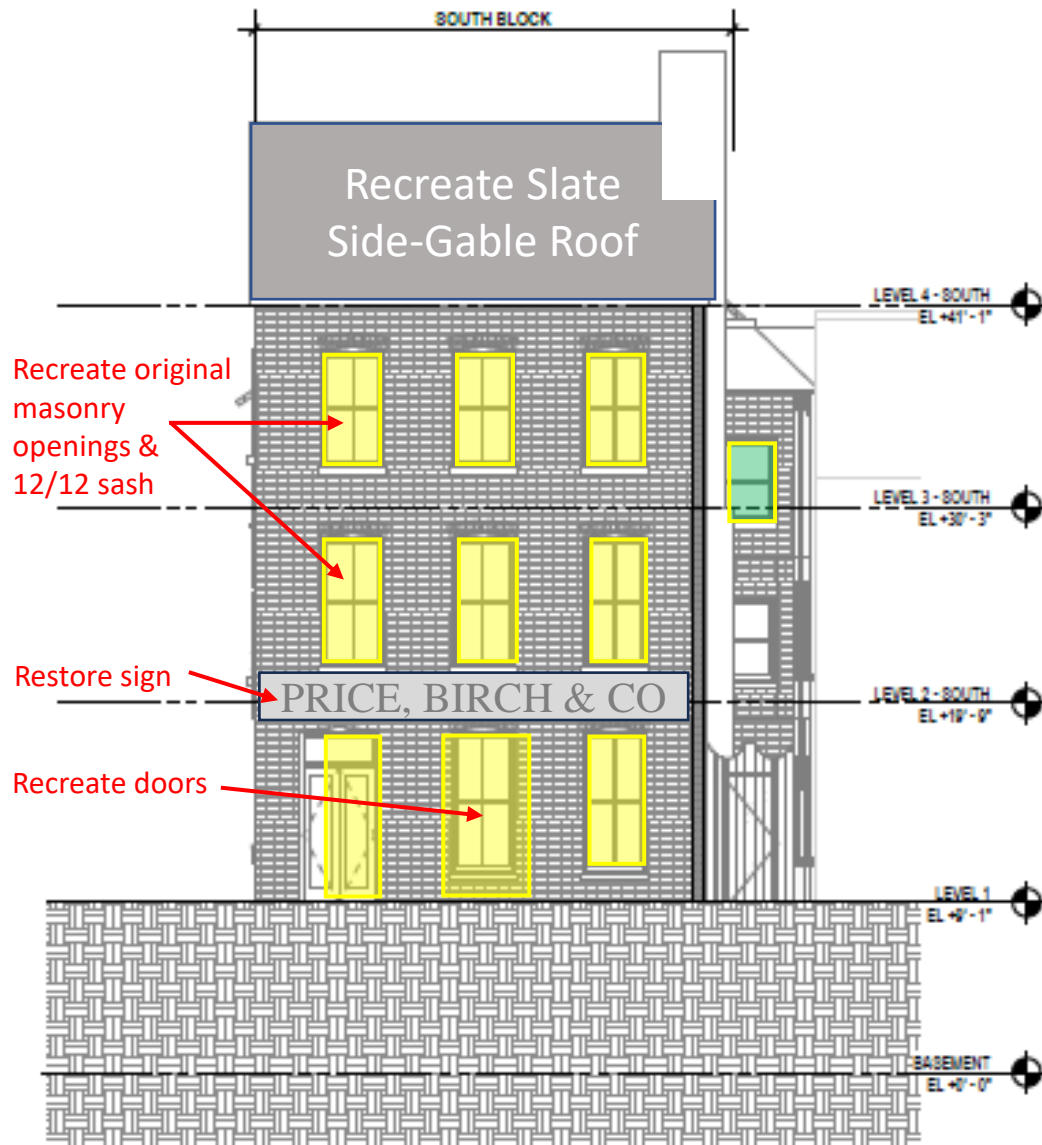
By Mrs. P. W. [illegible]



Mathew Brady ca 1861-1865
Library of Congress



Chimney detail



Opening Schedule & South Block Roof Exhibit

Base drawings from the Historic Structure Report. Refer separate Scope of Work & Opening Schedule

Opening Key

- New window in existing opening
- New window in revised masonry opening
- Fill existing masonry opening with brick

ROOF PLAN EXISTING CONDITIONS

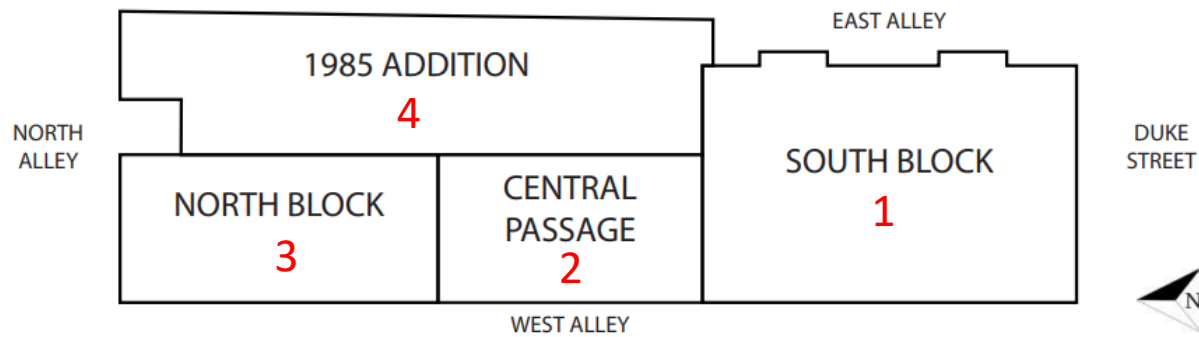
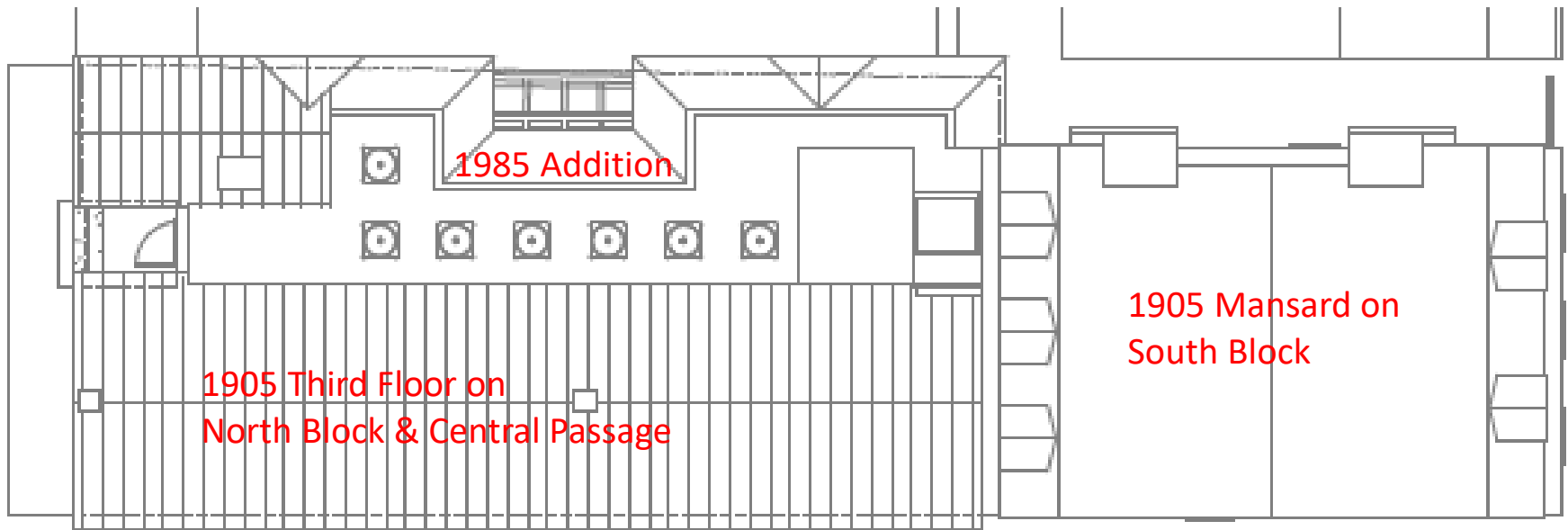
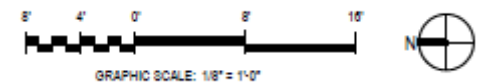


FIGURE 2B-1: Key Plan of Freedom House, including South Block, North Block, Central Passage, and 1985 Addition.

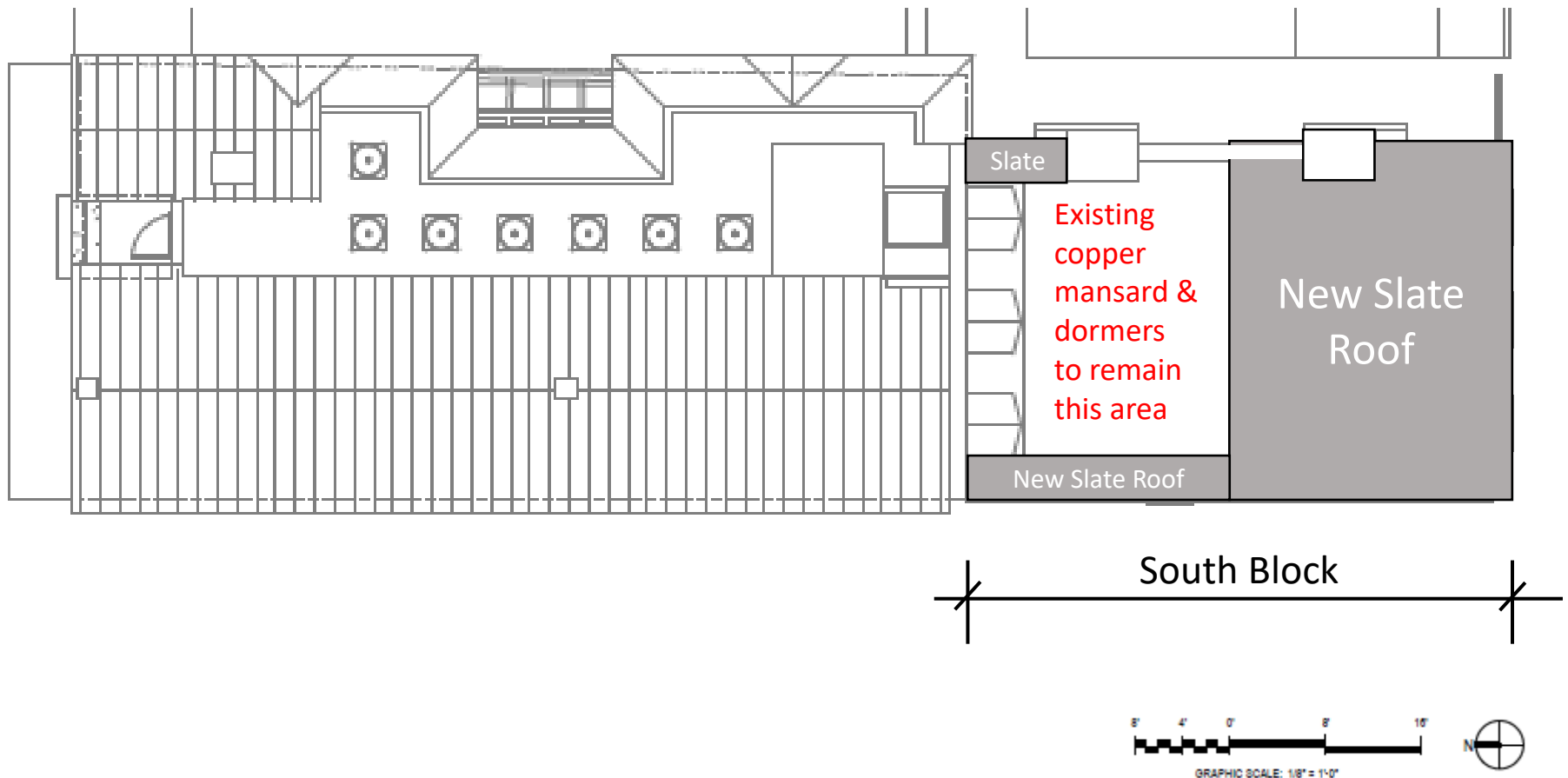
BUILDING MASSING PLAN GRAPHIC

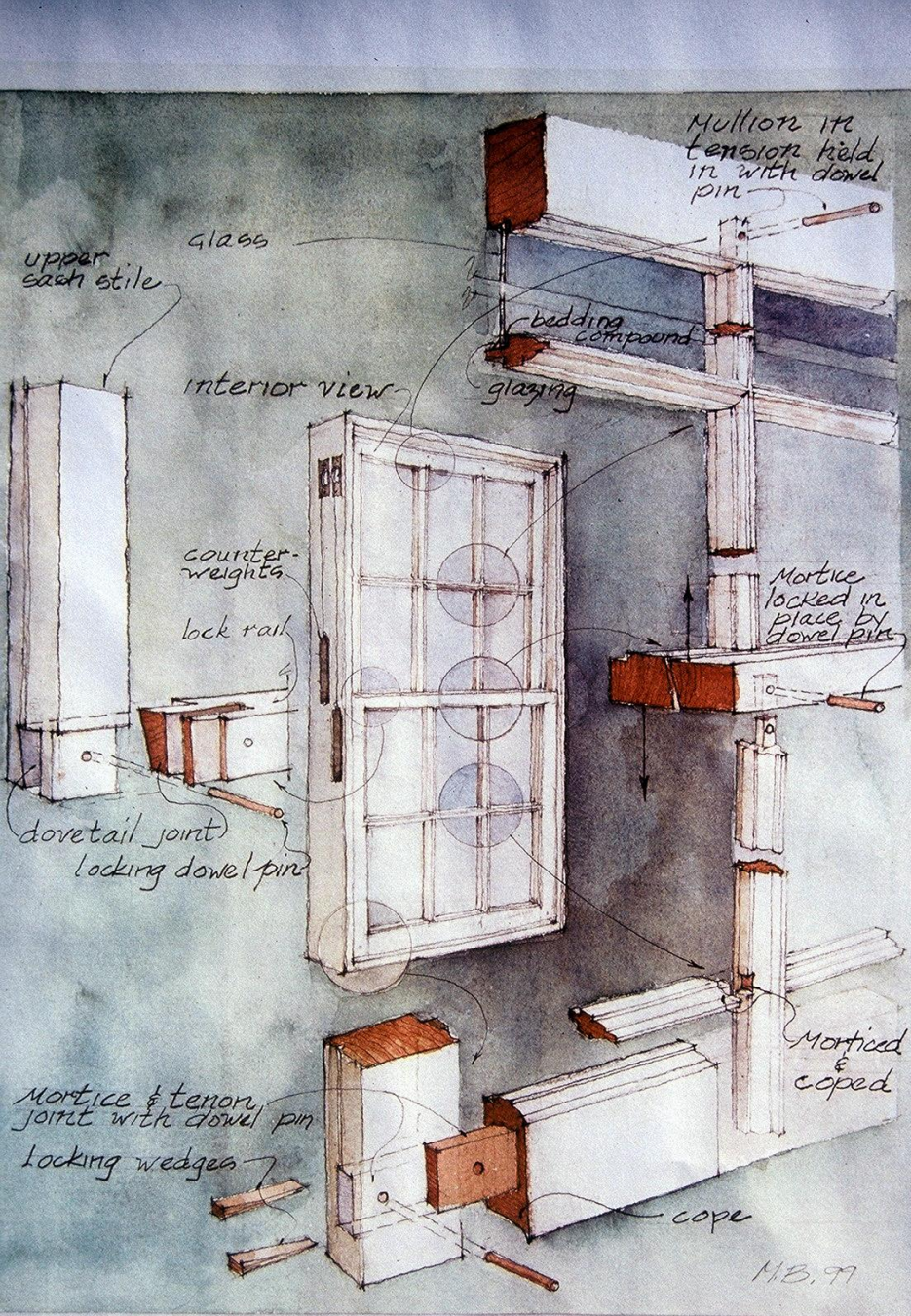


ROOF PLAN **PROPOSED**

Roof Plan: South Block Treatment Option 2a

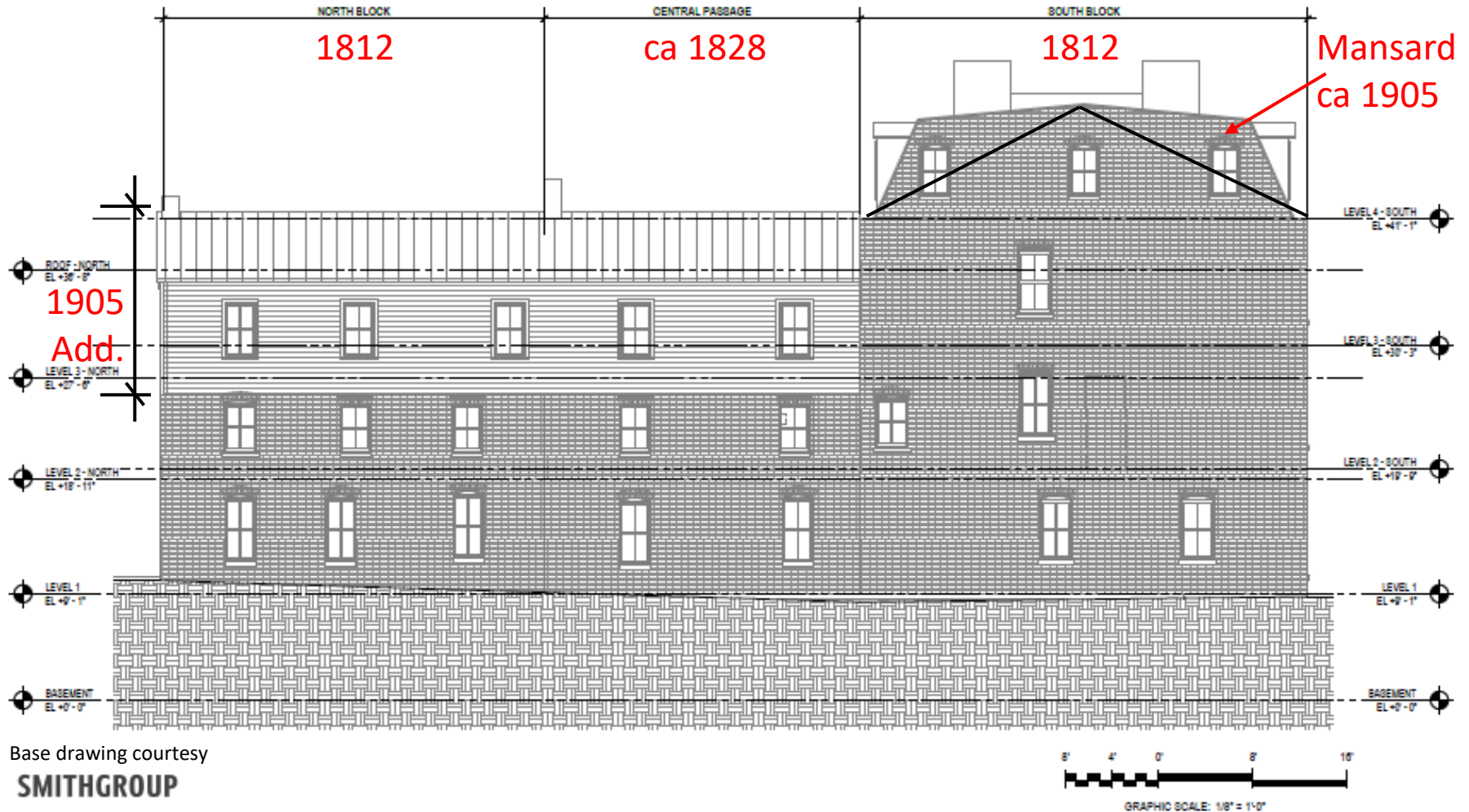
Replace the south slope and retain a portion of the mansard on the north slope





Reproduction Windows
Oak Grove Restoration
Application Received: 6/20

WEST ELEVATION EXISTING CONDITIONS









1905 Siding



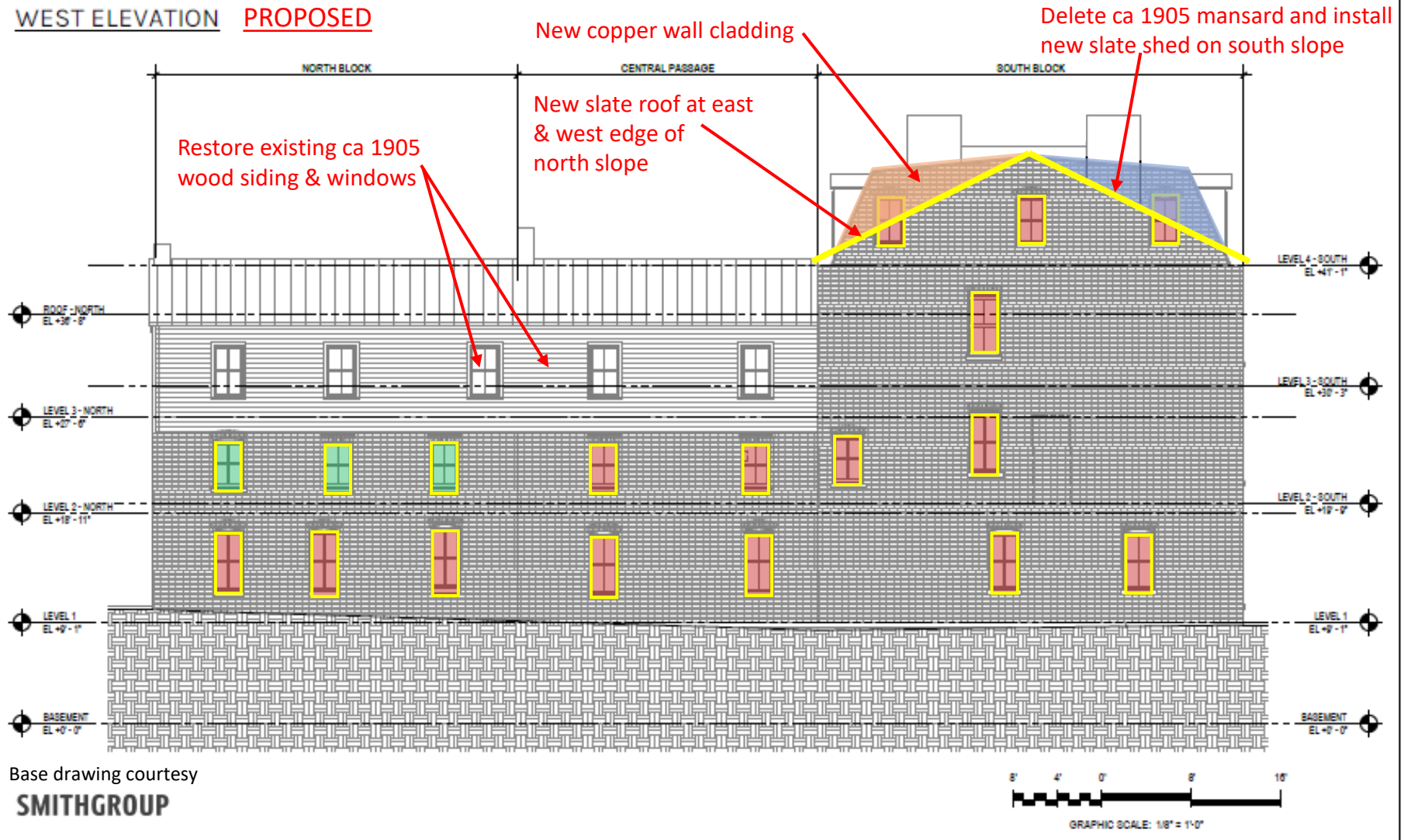
Application Received: 6/20

Joint between the
North Block & Central Passage



Application Received: 6/20

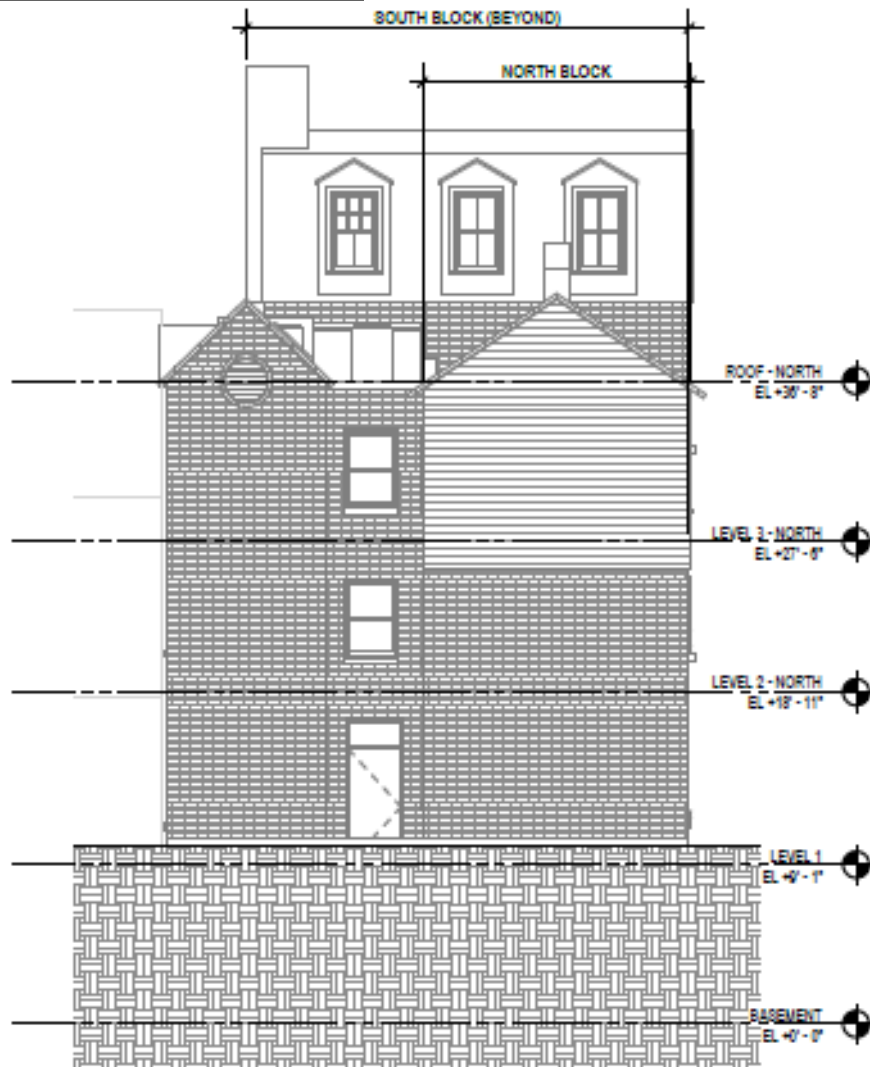
WEST ELEVATION PROPOSED



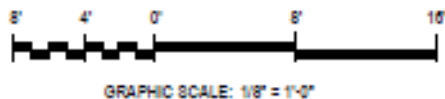
Base drawing courtesy

SMITHGROUP

NORTH ELEVATION EXISTING CONDITIONS



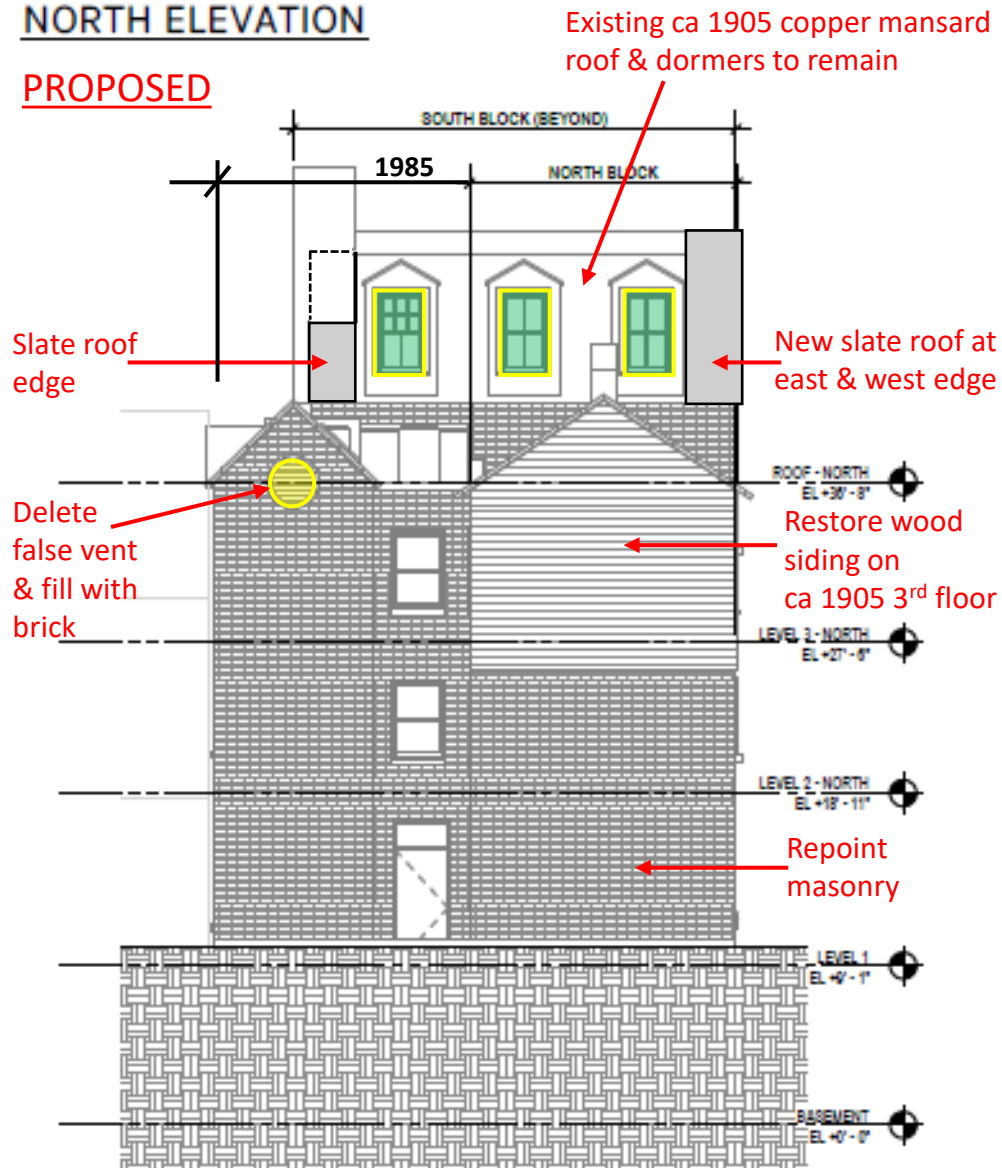
Base drawing courtesy
SMITHGROUP



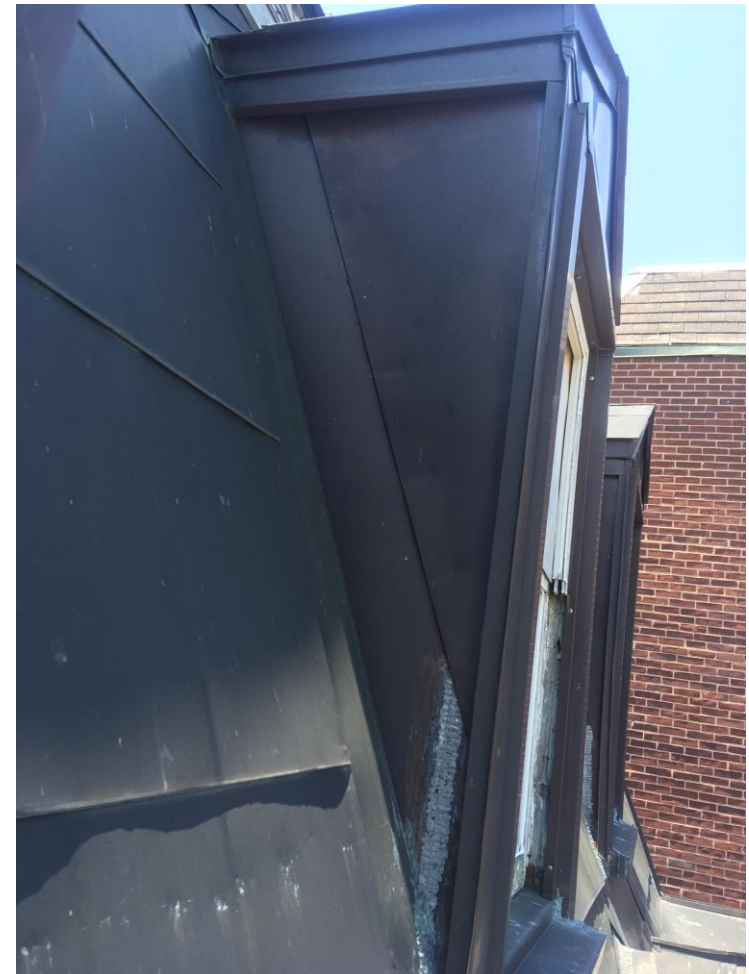
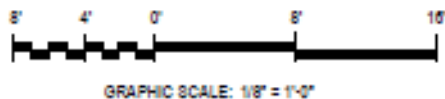
North Elevation: North Block,
1905 3rd floor & 1985 Addition
Photo: Gretchen Bulova 2021

NORTH ELEVATION

PROPOSED



Base drawing courtesy
SMITHGROUP



Copper roof and dormer cladding on north dormers of the South Block to remain

EAST ELEVATION EXISTING CONDITIONS



Base drawing courtesy
SMITHGROUP

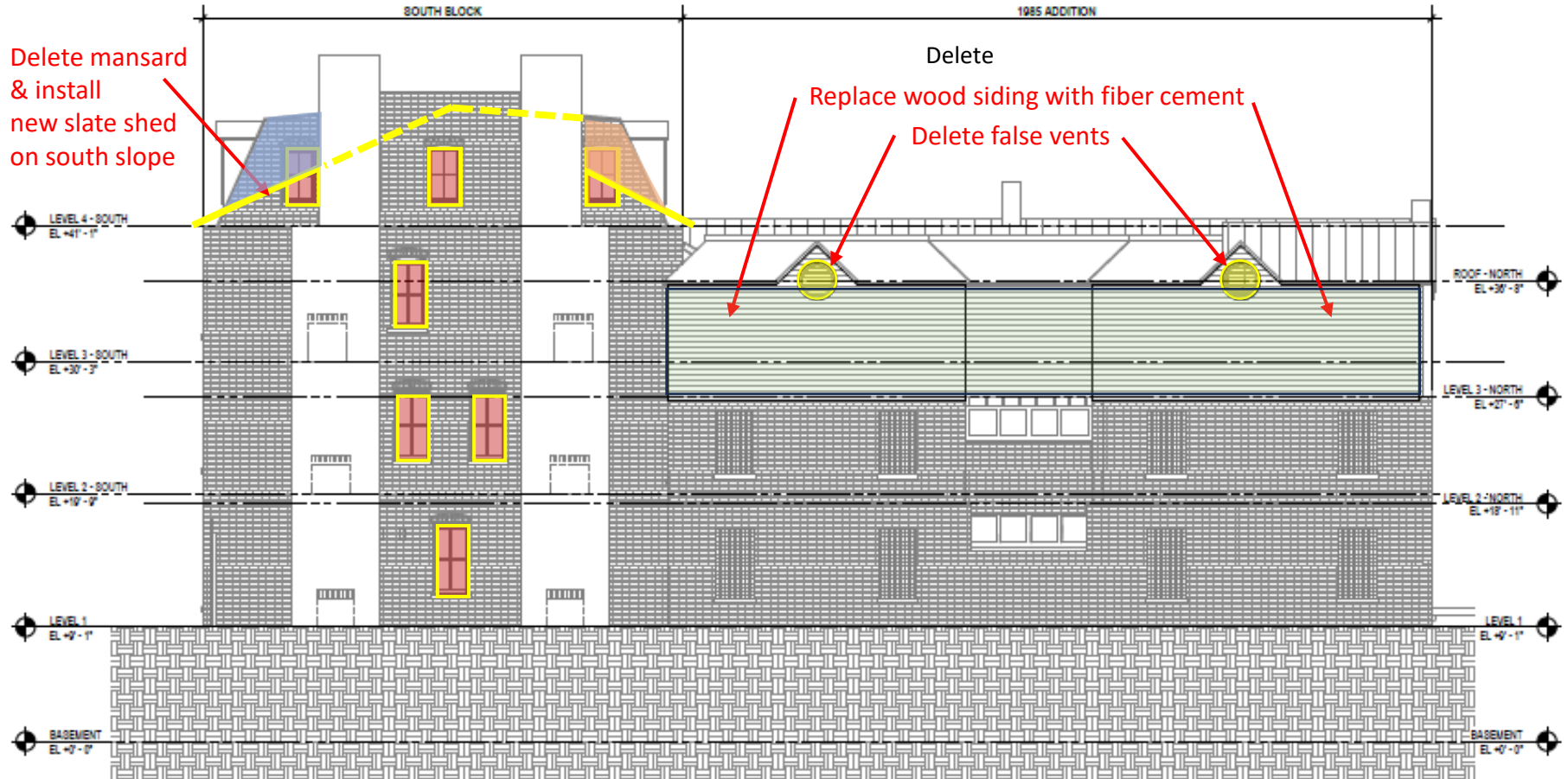


Application Received: 6/20

East Elevation 1985 Addition
Photo Gretchen Bulova 2021

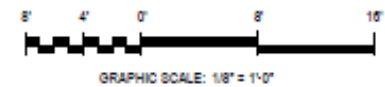
EAST ELEVATION PROPOSED

Reconstruct

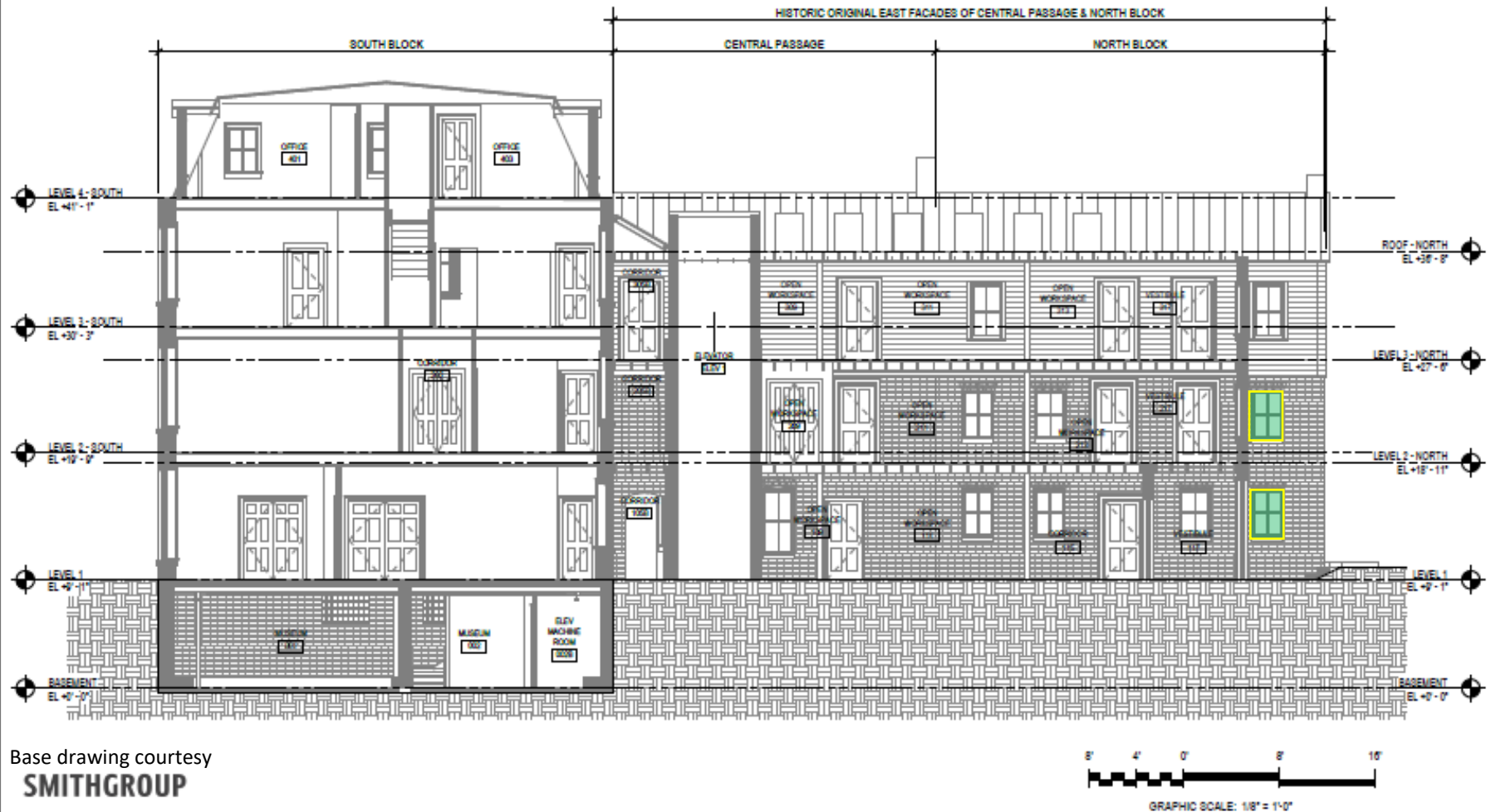


Base drawing courtesy

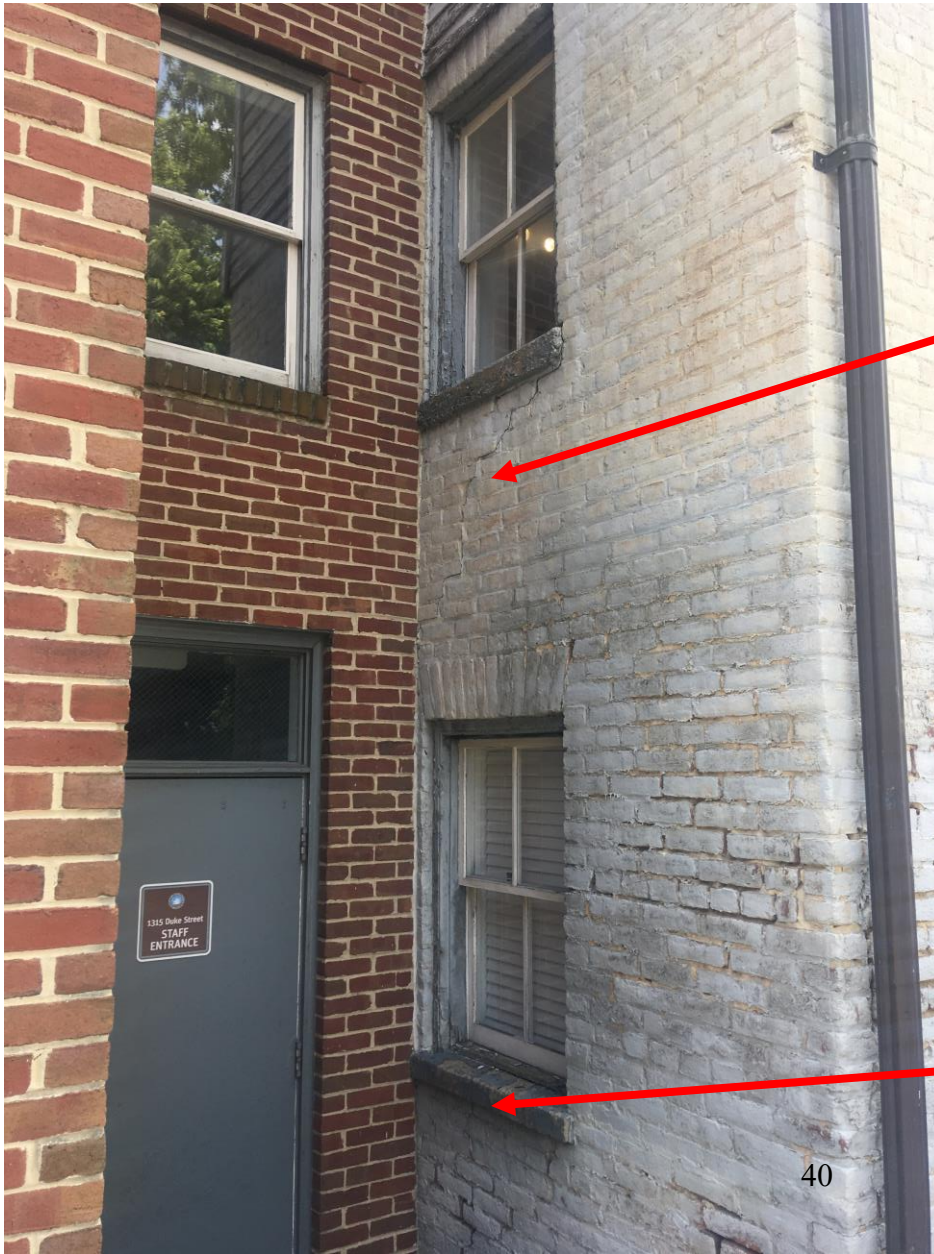
SMITHGROUP



SECTION AT SOUTH BLOCK & 1985 ADDITION
HISTORIC ORIGINAL EAST FACADES OF CENTRAL PASSAGE & NORTH BLOCK



Rear Exit at North Block & 1985 Addition:
Restore Masonry & Recreate 6/6 Windows



SURVEY NOTES:

- 1. THE PROPERTY DELINEATED HEREON IS CURRENTLY UNDER THE OWNERSHIP OF THE CITY OF ALEXANDRIA, VIRGINIA BY INSTRUMENT NUMBER 200004779, DATED MARCH 24, 2020.
- 2. ROOF EAVES AND GUTTERS ARE NOT SHOWN HEREON, AND MAY EXTEND BEYOND FACE OF BUILDING. ROOF EAVE ON WESTERN PROPERTY LINE WAS ESTIMATED TO EXTEND 1.2' BEYOND FACE OF BUILDING.
- 3. HORIZONTAL DATUM FOR PROJECT CONTROL IS BASED UPON NAD 83 VIRGINIA NORTH ZONE (MYCS2), AND WAS ESTABLISHED BY RTK GPS OBSERVATION IN JULY 2020.
- 4. VERTICAL DATUM FOR PROJECT CONTROL IS BASED UPON NAVD 88 (GEOID 18), AND WAS ESTABLISHED BY RTK GPS OBSERVATION IN JULY 2020.
- 5. SUBSURFACE UTILITY DESIGNATION (NOT INCLUDING STORM AND SANITARY SEWER) WAS PERFORMED BY MISS UTILITY AND THEIR ASSIGNS IN JULY 2020. THESE UTILITY MARKS ARE DEPICTED AT "QUALITY LEVEL B" UNLESS OTHERWISE NOTED HEREON. TICKET NUMBER IS A021001917.
- 7. THIS SURVEY WAS PREPARED FOR THE SOLE USE AND BENEFIT OF THE DEPARTMENT OF PROJECT IMPLEMENTATION, CITY OF ALEXANDRIA, VIRGINIA. OFFICIAL USE BY ANY OTHER ENTITY OR PERSON WITHOUT EXPRESS, WRITTEN PERMISSION IS PROHIBITED.
- 8. NO TITLE REPORT WAS PREPARED IN CONJUNCTION WITH THIS SURVEY. THIS SURVEY IS SUBJECT TO RESTRICTIONS OF RECORD.
- 9. PROPERTY IS ZONED CL.
- 10. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM EXISTING LAND RECORDS.

ACCESS EASEMENT FOR WALL MAINTENANCE,
REPAIR AND RECONSTRUCTION
D.B. 1126, PG. 1227

BUILDING FACE
1321 DUKE

LOT 501
NORMAN SUBDIVISION
PID 074.01-11-31
1321 DUKE STREET
HE WENT HOME TO GET IT, LLC

LOT 500
NORMAN SUBDIVISION
PID 074.01-11-30
1315 DUKE STREET
THE CITY OF ALEXANDRIA,
VIRGINIA

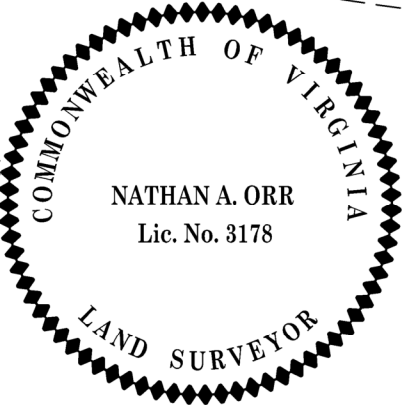
VARIABLE STORY
BRICK BUILDING:
HISTORIC SECTION: 4 STORY
W/BASEMENT
'ADDITION' SECTION: 3 STORY

PID 074.01-11-29
1311 DUKE STREET
WILLIAM B. BONVILLIAN
AND JANIS A. SPOSATOR

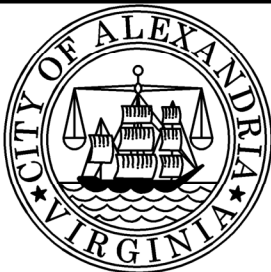
BUILDING FACE
1311 DUKE

±120' to S. West Street

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF NATHAN A. ORR, L.S., FROM ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED FROM 07/10/20 to 08/04/20; AND THAT THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.



DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
DEVELOPMENT AND RIGHT OF WAY SERVICES
SURVEY SECTION
2900-B BUSINESS CENTER DRIVE
ALEXANDRIA, VA. 22314



TOPOGRAPHIC SURVEY
LOT 500
NORMAN SUBDIVISION
D.B. 802, PG. 676
CITY OF ALEXANDRIA, VIRGINIA
DRAWN BY: TJK CHECKED BY: NAO SCALE: 1"=10'
CONTOUR INTERVAL=1' SURVEY PROJ. # 20-07-03

LEGEND

- ⊙ TREE
- GRATE INLET
- UTILITY HAND BOX
- △ TRAVERSE
- ⊗ LIGHT POLE
- SIGN
- ⊙ WATER METER
- ⊙ WATER VALVE

Freedom House: 1315 Duke

Opening Schedule, DRAFT 6/20/23

Opening numbers and survey of the age and contributing status of each opening are taken from building plans, elevations and survey spreadsheets in Section C: Physical Description, beginning on page 145 of the HSR.

Opening	Existing design	Condition	Action	Proposed design	Comments
South Block, South Elevation Recreate all of the original openings shown in the Civil War photos, typical. Install galvanized steel lintels below all new brick jack arches. Install new operable, wood, louvered shutters, as shown in the March 1862 photograph.					
101A	Double door	N/A	Recreate original single door in revised masonry opening with a brick jack arch.	Single wood door & transom	Match design in Civil War photos. Install a new cast stone door sill.
102	2/2 sash window	N/A	Recreate original double door in revised masonry opening with a brick jack arch.	Double wood door & transom	Match design in Civil War photos. Install a new cast stone door sill.
103	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
201	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
202	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
203	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
301	2/2 sash	N/A Lunette	Recreate frame & sash in new masonry opening with a brick jack	SH 12/12 wood sash,	Recreate original opening size. Cut existing stone sill to new width.

		damaged	arch. Install new wood shutters.	single glazed	
302	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
303	2/2 sash	N/A	Recreate frame & sash in new masonry opening with a brick jack arch. Install new wood shutters.	SH 12/12 wood sash, single glazed	Recreate original opening size. Cut existing stone sill to new width.
401	2/2 sash	Very poor	Delete dormer	N/A	Demolish existing mansard for new side-gable roof
402	2/2 sash	Very poor	Delete dormer	N/A	Demolish existing mansard for new side-gable roof
South Block, West Elevation Fill existing openings with brick to reflect Civil War photos, typical					
108	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
109	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
209	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
210	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
308	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
409	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
410	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
411	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
South Block, North Elevation					
406	6/2 sash	Sash very poor	New sash in existing frame	2/2 DH wood sash	Existing mansard dormer ca 1905 now clad in copper.
407	2/2 sash	Sash poor	Restore or replace sash in existing	2/2 wood	Existing mansard dormer ca 1905 now clad in copper.

			frame	sash	
408	2/2 sash ca 1985	Sash poor	Restore or replace sash in existing frame	2/2 wood sash	Existing mansard dormer ca 1905 now clad in copper. 6/6 sash shown on 1984 permit drwg. Sht. A-12.
South Block, East Elevation					
104	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
204	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
205	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
304	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Exist. segmental arch to remain.
403	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
404	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
405	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick.	N/A	Window deleted for new side-gable roof
Central Passage masonry, West Elevation					
122	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
123	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
223	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
224	2/2 sash	N/A	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.

North Block masonry, West Elevation (see Building History p. 142)					
119	2/2 sash	poor	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
120	2/2 sash	poor	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
121	2/2 sash	poor	Remove window & sill. Fill existing opening with brick	N/A	Exist. segmental arch to remain.
220	2/2 sash	poor	Replace sash, frame & install new cast stone wall sill. Remove segmental arch and restore jack arch to match adjacent windows and ca 1900 photo.	SH 6/6 wood sash	A segmental arch replaced the jack arch when the original window was converted to a door for an egress stair ca 1905. Existing brick sill added when egress door was converted back to a window prior to 1921 (HSR p. 116 - 117)
221	2/2 sash	poor	Replace sash, frame & install new cast stone sill.	SH 6/6 wood sash, single glazed	Existing concrete sill to be replaced.
222	2/2 sash	poor	Replace sash, frame & install new cast stone sill.	SH 6/6 wood sash, single glazed	Existing concrete sill to be replaced.
North Block & Central Passage, wood 3rd floor, West Elevation					
316	2/2 sash, ca 1905	Fair	Restore existing sash, frame & sill.	2/2	Retain existing cylinder glass, typical this building section. Weatherstrip, typical this building section.
317	2/2 sash, ca 1905	Fair	Restore existing sash, frame & sill	2/2	
318	2/2 sash, ca 1905	Fair	Restore existing sash, frame & sill	2/2	
319	2/2 sash, ca 1905	Fair	Restore existing sash, frame & sill	2/2	
320	2/2 sash, ca 1905	Fair	Restore existing sash, frame & sill	2/2	

North Block, East Elevation					
118	2/2 sash, recent	Poor frame	Replace sash, frame & sill	SH 6/6 wood, single glazed	Replace broken masonry sill with precast stone.
219	2/2 sash, recent	Poor frame	Replace sash, frame & sill	SH 6/6 wood, single glazed	Replace concrete sill with precast stone.
315	2/2 sash	Fair	Restore existing sash, frame & sill	2/2	
1985 Addition (South & North)					
225	1/1 wood sash	Good	Paint exterior	Existing 1/1	
321	1/1 wood sash	Very poor	Replace entire window unit to match exist.	SH 1/1	Painted wood, single hung, insulated glass.
226	1/1 wood sash	Good sash and upper frame. Broken window sill	Replace existing wood window sill. Paint exterior	Existing 1/1	
322	1/1 wood sash	Good	Paint exterior	Existing 1/1	