

ADDRESS: 3106 HOLLY STREET
ZONE: R-8/RESIDENTIAL ZONE
APPLICANT: CODY STABLER, APPLICANT

ISSUE: Special exception to construct two-story addition and open deck in the required side yard.

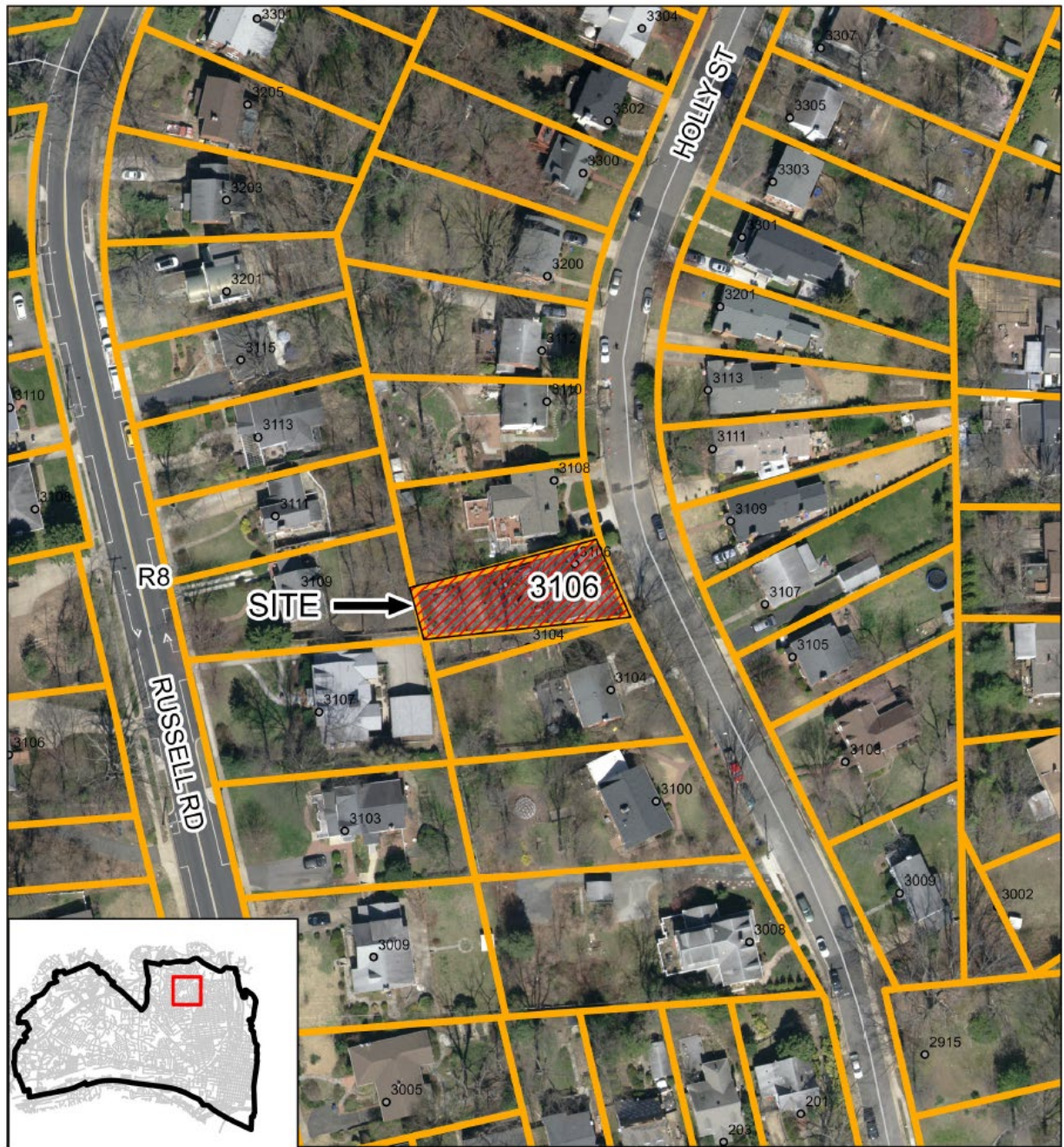
CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-306(A)(2)	Side Yard Setback (North-Addition)	9.27 feet*	5.09 feet	3.36 feet
3-306(A)(2)	Side Yard Setback (North-Deck)	8.00 feet**	5.09 feet	2.91 feet

* Based the side yard setback ratio of 1:2, the two-story addition measuring 18.53 feet in height from average pre-construction grade to the eave of the gable roof facing the north side yard requires a side yard setback of 9.27 feet.

** The deck must comply with an 8.00 foot minimum side yard setback.

The staff **recommends approval** of the requested special exception because the request meets all the criteria for a special exception with the condition that the properties addressed at 3104-A and 3106 Holly Street must be consolidated prior to the submission of a building permit.

If the Board grants the requested special exception, it is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department comments. The applicant must submit a survey plat prepared by a licensed surveyor confirming building footprint and setbacks prior to final inspection. The special exception must also be recorded in the City’s Land Records Office prior to the release of the building permit.



BZA2025-00006
3106 Holly Street



0 40 80 160 Feet

I. Issue

The applicant requests a special exception to construct a two-story addition and open deck in the required north side yard at 3106 Holly Street.

II. Background

The subject property is comprised of two lots of record addressed as 3106 and 3104A Holly Street. Combined the lots have 55.09 feet of frontage along Holly Street, a depth of 132.97 feet along the south side property line, 125.01 feet along the north side property line and a total lot area of 6,731.00 square feet of lot area according to their survey. The applicant will be required to consolidate these lots prior to submitted for any building permits. The analysis contained in this staff report is based on the consolidated lot configuration. The consolidated lot will comply with the minimum lot area, and lot width requirements but does meet the frontage requirement for the R-8 zone.



Figure 1 Subject Property

The following table provides zoning analysis of the subject property:

R-8 zone	Required/Permitted	Existing	Proposed
Lot Area	8000.00 sq. ft.	6,731.00 sq. ft.	6,731.00 sq. ft.
Lot Frontage	40.00 ft.	55.09 ft.	55.09 ft.
Lot Width	65.00 ft.	42.50 ft.	42.50 ft.
Front Yard	25.00 ft.*	27.20 ft.	27.20 ft.
Rear Yard	1:2 Min. 8.00 ft.	60.00 ft.	60.00 ft.
Side Yard (north)	1:2 Min. 8.00 ft.	5.09 ft.	5.09 ft.
Side Yard (south)	1:2 Min. 8.00 ft.	8.00 ft.	8.00 ft.
Building Height	30.00 ft.	22.54 ft.**	20.75 ft.***
Floor Area Ratio	2355.85 sq ft	1,600.20 sq. ft (.24)	1841.80 sq. ft. (.27)

* Based on the established contextual blockface.

** Existing building height measured from average pre-construction grade to the midpoint of gable roof of the dwelling.

*** Proposed height of the addition measured from average pre-construction grade to the midpoint of the gable roof of the addition.

III. Description

The applicant proposes to construct a two-story addition with screened patio at the basement level in the required north side yard in line with the noncomplying plane established by the existing noncomplying north side wall of the two-story dwelling 5.09 feet from the north side property line. The addition would measure 9.00 feet by 13.42 feet for a total of 120.78 square feet on each floor. The proposed addition will measure 18.53 feet to the eave of the roof facing the north side property line when measured from average pre-construction grade. Based on a setback ratio of 1 to 2, a 9.27 feet setback is required

from the north side property line. The addition requires a special exception of 4.18 feet to be located 5.09 feet from the north side property line. The addition complies with the required rear and south side yard requirements.

The applicant also proposes to construct an open deck on the rear of the dwelling measuring a total of 439.34 square feet. The proposed open deck will measure 4.00 feet in height measured from average pre-construction grade to top of the railing and requires a special exception of 2.91 feet to construct the deck 5.09 feet from the north side property line.

Upon completion of the work, proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

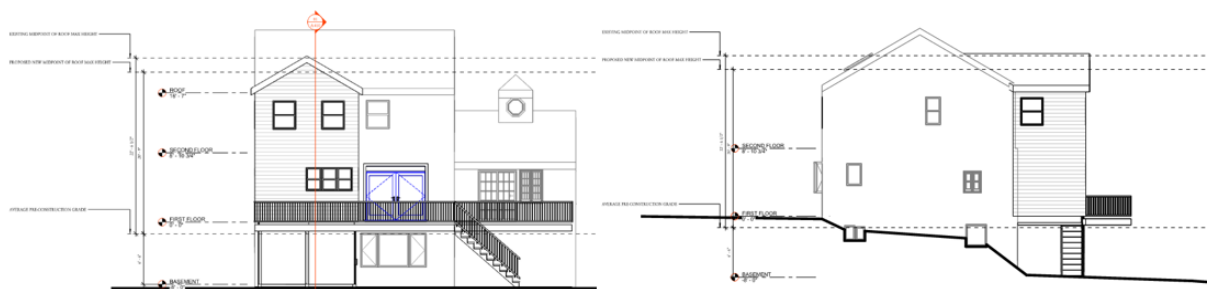


Figure 2: Proposed Rear and Side (north) addition and deck

IV. Master Plan/Zoning

The subject property is zoned R-8 and has been so zoned since adoption of the Third Revised Zoning Map in 1952 and is identified in the Potomac West Small Area Plan for residential use.

V. Requested Special Exceptions:

3-1106(A)(3) Side Yard (north)

The applicant proposes to construct a two-story addition 5.09 feet from the north side property line. A special exception of 4.91 feet from the required 9.27 foot side yard setback.

3-1106(A)(3) Side Yard (north)

The applicant proposes to construct a deck 5.09 feet from the north side property line. A special exception of 2.91 feet from the required 8.00 foot side yard setback.

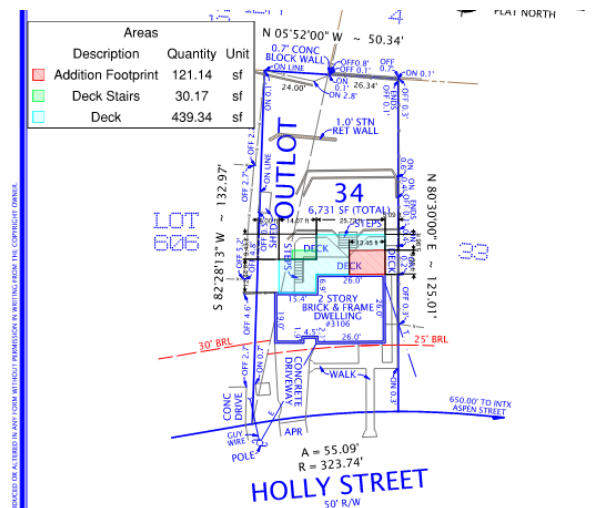


Figure 3: Proposed Survey

VI. Substandard Lot and Noncomplying Structure

The subject property is substandard lot developed with a noncomplying structure with respect to the following:

	<u>Required/Permitted</u>	<u>Provided</u>	<u>Noncompliance</u>
Lot Area	8,000 sq. ft.	6,731 sq. ft.	1,269 sq. ft.
Lot Width	65.00 ft.	42.50 ft.	22.50 ft.
Side Yard (north)	11.27 ft.*	5.09 ft.	6.18 ft.

VII. Exceptions Standards

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The applicant proposes to construct a two-story addition with screened basement level and open rear deck in line with the existing noncomplying north side building wall and within the plane established by that side wall. The addition will be no closer to the side property line than the existing dwelling, will not exceed the height of the existing dwelling and comply with all other zoning requirements. The two-story addition and deck located at the rear of the property would not be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.

The modest two-story addition and open deck will not impair light or air to any property as they will be located below the height of the existing two-story structure and will comply with the other required setbacks and height requirements. This proposal will not negatively affect pedestrian or vehicular traffic or impair public safety as the construction is proposed at the rear of the property.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

The proposed two-story addition and open deck will not alter the character of the area or surrounding community. The proposed design is architecturally compatible with other properties in the area and is modest in size.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

Rear additions are common throughout the surrounding neighborhood. The placement and scale of the addition and deck are compatible with the development in the neighborhood.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

The topography and narrowness of the lot, along with the placement of the existing house on the lot, make locating the proposed addition and deck in compliance with both required side yard setbacks challenging. The proposed location represents the most reasonable location for the construction.

VII. Staff Conclusion

In conclusion, staff **recommends approval** of the requested special exception because it meet all the standards for a special exception as outlined above with the condition that the properties addressed at 3104-A and 3106 Holly Street must be consolidated prior to the submission of a building permit.

Staff

Sean Killion, Urban Planner, sean.killion@alexandriava.gov

Mary Christesen, Principal Planner, mary.christesen@alexandriava.gov

Tony LaColla, AICP, Division Chief, tony.lacolla@alexandriava.gov

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation and Environmental Services (Transportation Planning):

No comments.

Development Right of Way (Planning and Zoning)

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

C-1 A building permit is required.

Recreation (Arborist):

No comments.

Archaeology:

- R-1 Call Alexandria Archaeology immediately 703-746-4399 if you discover any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts during development. Cease work in the discovery area until a City archaeologist inspects the site and records the finds. Include the preceding text on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology) *
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failing to comply shall result in project delays. Include the preceding text on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology) *
- F-1 According to historic maps and aerial photographs, the dwelling on this property was built in the mid 20th century. The property has the potential to contain significant archaeological information pertaining to the development of Del Ray.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.



**APPLICATION
BOARD OF ZONING APPEALS**

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:

PART A

1. Applicant: Owner Contract Purchaser Agent

Name _____

Address [REDACTED] _____

[REDACTED] _____

Daytime Phone [REDACTED] _____

Email Address [REDACTED] _____

2. Property Location _____

3. Assessment Map # _____ Block _____ Lot _____ Zone _____

4. Legal Property Owner Name _____

Address [REDACTED] _____

[REDACTED] _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>Lauren Claire Thompson</i>	[REDACTED]	<i>100%</i>
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at *3100 Hill St, Alexandria, VA* (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>Lauren Claire Thompson</i>	[REDACTED]	<i>100%</i>
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. <i>None</i>		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

07/28/2025
Date

Lauren Thompson
Printed Name

Lauren Thompson
Signature

5. Describe request briefly:

6. If the property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

Yes — Provide proof of current City business license.

[] No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Print Name


Signature

Telephone

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.
2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.
3. Explain how the proposed addition will affect the light and air to any

- 4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.**

- 5. How is the proposed construction similar to other buildings in the immediate area?**

- 6. Explain how this plan represents the only reasonable location on the lot to**

- 7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.**



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		B1. Sq. Ft.
First Floor		Stairways**		Existing Gross Floor Area*
Second Floor		Mechanical**		B2. Sq. Ft.
Third Floor		Attic less than 7'**		Allowable Floor Exclusions**
Attic		Porches**		B3. Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions
Balcony/Deck		Garage**		(subtract B2 from B1)
Garage		Other***		Comments for Existing Gross Floor Area
Other***		Other***		
B1. <u>Total Gross</u> B2. <u>Total Exclusions</u>				

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		C1. Sq. Ft.
First Floor		Stairways**		Proposed Gross Floor Area*
Second Floor		Mechanical**		C2. Sq. Ft.
Third Floor		Attic less than 7'**		Allowable Floor Exclusions**
Attic		Porches**		C3. Sq. Ft.
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions
Balcony/Deck		Garage**		(subtract C2 from C1)
Garage		Other***		
Other***		Other***		
C1. <u>Total Gross</u> C2. <u>Total Exclusions</u>				

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

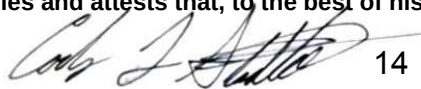
*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____



14

Date: _____

*****ATTENTION APPLICANTS*****

At the time of application for a Special Use Permit, Rezoning, Vacation, Encroachment, Variance, Special Exception or Subdivision, you must provide a draft of the description of your request you intend to use in the property owner's notice. You must be thorough in your description. Staff will review the draft wording to confirm its completeness.

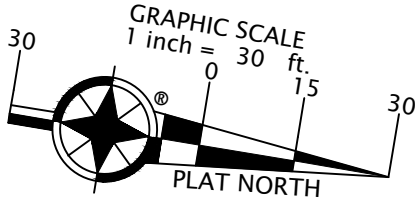
The example illustrates a detailed description:

"Special exception to construct a one-story addition in the required side yard on _____ Street."

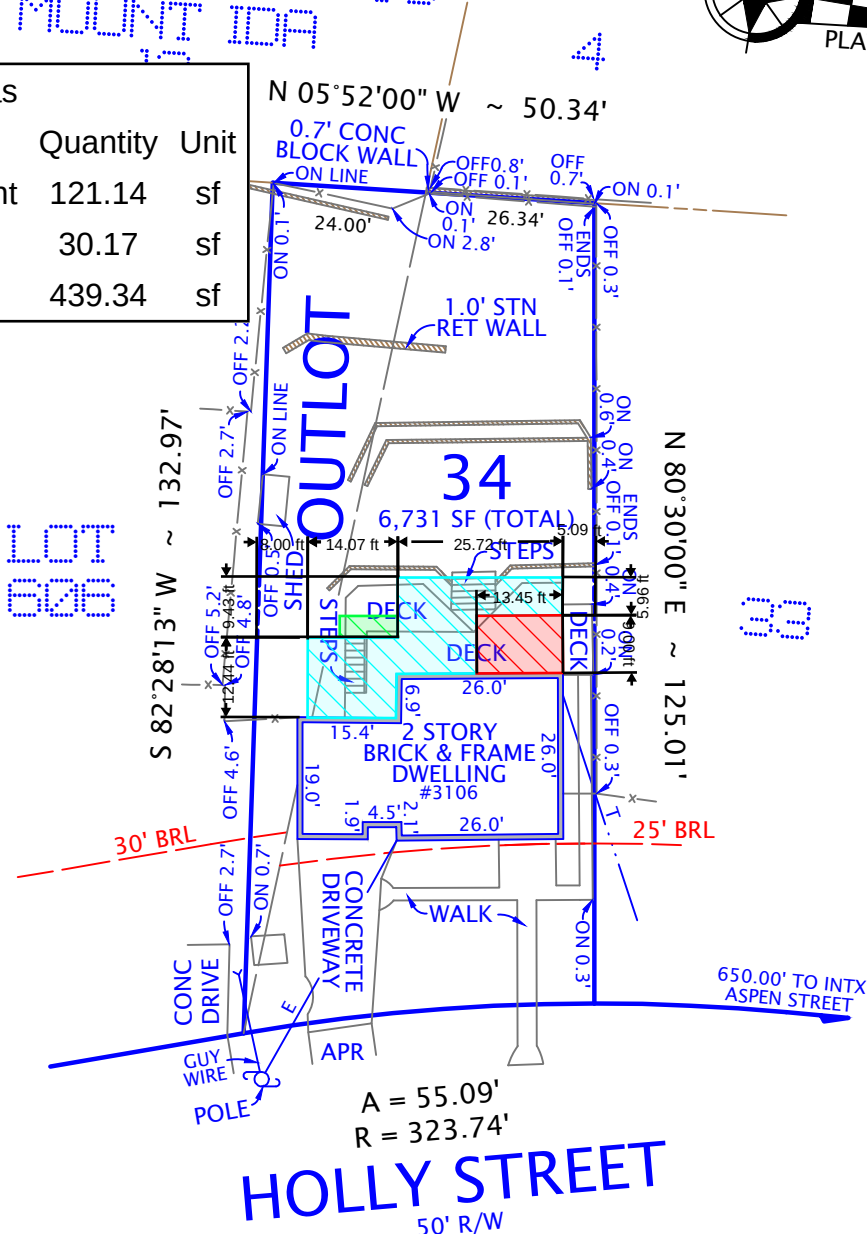
If you fail to submit draft language at the time of the application filing deadline, the application will be determined to be incomplete and may be deferred by staff.

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.
3. RETAINING WALLS ARE 0.5' FRAME UNLESS NOTED.

ELIZABETH B.
GARRETT ADDN TO
MOUNT IDA



Areas		
Description	Quantity	Unit
 Addition Footprint	121.14	sf
 Deck Stairs	30.17	sf
 Deck	439.34	sf



PLAT
SHOWING HOUSE LOCATION ON
LOT 34
R.R. DYE'S ADDITION TO
MOUNT IDA
(DEED BOOK 121, PAGE 188)
AND OUTLOT
OF A RESUBDIVISION OF LOT 506
HOGGE'S ADDITION TO
MOUNT IDA
(DEED BOOK 482, PAGE 248)

CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 30' MARCH 28, 2025

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A CURRENT FIELD
SURVEY AND UNLESS SHOWN THERE ARE NO
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO
RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



ORDERED BY:

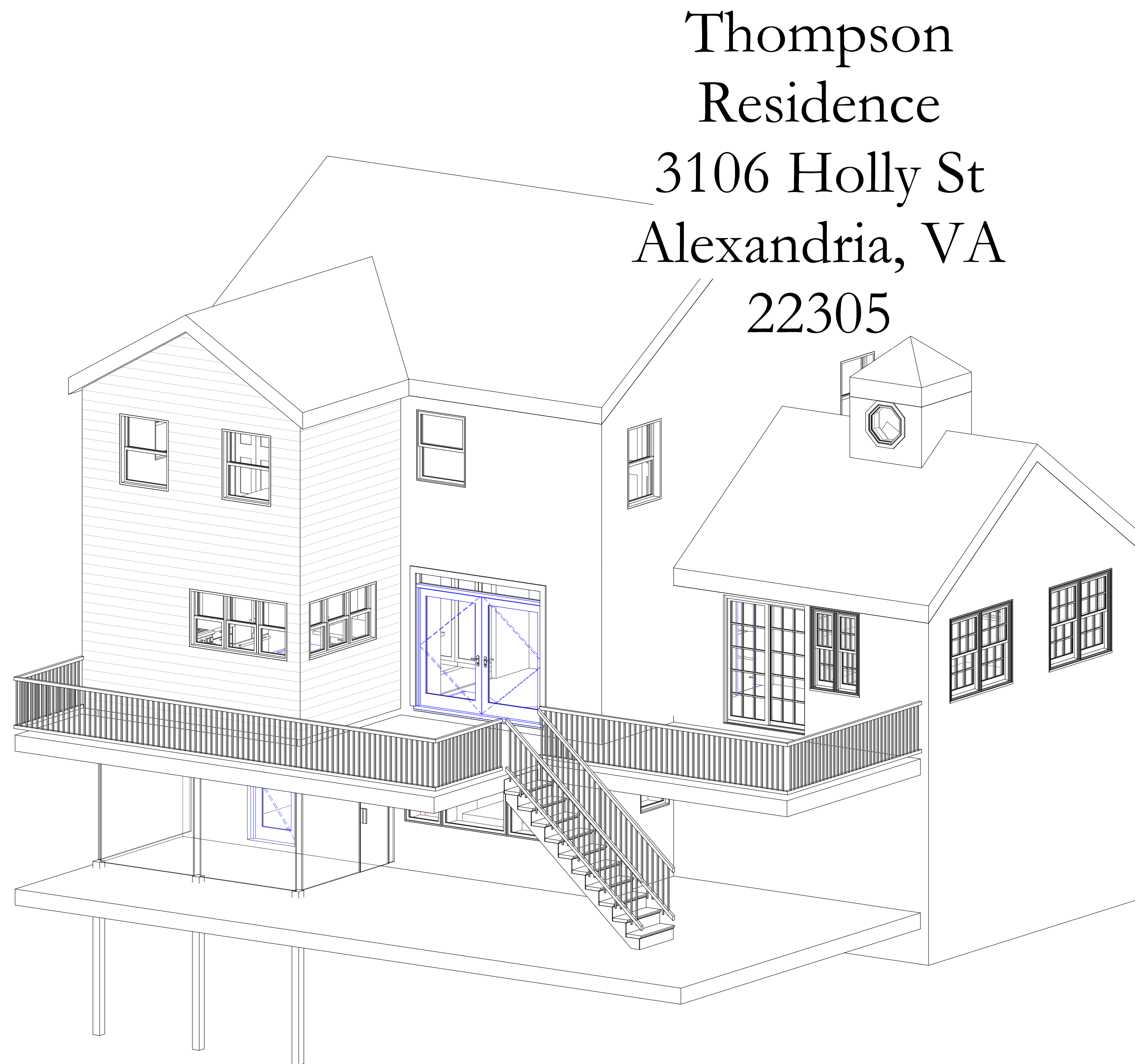
LAUREN THOMPSON



DOMINION

Surveyors
Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
www.dominionsurveyors.com



Thompson
Residence
3106 Holly St
Alexandria, VA
22305

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

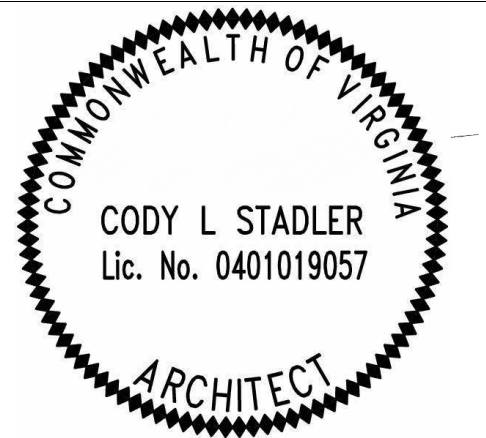
Issued For:

No.: Description: Date:

1	ISSUE FOR PERMIT	06/10/2025
---	------------------	------------

Key Plan:

Seal & Signature:



Sheet Name:

COVER AND
DRAWING
INDEX

Project No:

Sheet No:

19001

G-000

Scale:

SHEET INDEX

GENERAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
G-000	COVER AND DRAWING INDEX	ISSUE FOR PERMIT
G-001	PROJECT INFORMATION	ISSUE FOR PERMIT

ARCHITECTURAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
AX-100	BASEMENT - EXISTING	ISSUE FOR PERMIT
AX-101	FIRST FLOOR - EXISTING	ISSUE FOR PERMIT
AX-102	SECOND FLOOR - EXISTING	ISSUE FOR PERMIT
AX-103	ROOF - EXISTING	ISSUE FOR PERMIT
AD-100	BASEMENT - DEMO	ISSUE FOR PERMIT
AD-101	FIRST FLOOR - DEMO	ISSUE FOR PERMIT
AD-102	SECOND FLOOR - DEMO	ISSUE FOR PERMIT
A-100	BASEMENT	ISSUE FOR PERMIT
A-101	FIRST FLOOR	ISSUE FOR PERMIT
A-102	SECOND FLOOR	ISSUE FOR PERMIT
A-103	ROOF	ISSUE FOR PERMIT
A-200	BASEMENT RCP	ISSUE FOR PERMIT
A-201	FIRST FLOOR RCP	ISSUE FOR PERMIT
A-202	SECOND FLOOR RCP	ISSUE FOR PERMIT
A-400	BUILDING ELEVATIONS	ISSUE FOR PERMIT
A-401	BUILDING ELEVATIONS	ISSUE FOR PERMIT
A-410	BUILDING SECTION	ISSUE FOR PERMIT
A-500	WALL SECTIONS	ISSUE FOR PERMIT
A-700	WINDOW AND DOOR SCHEDULES	ISSUE FOR PERMIT

STRUCTURAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
S100	STRUCTURAL SPECIFICATIONS, DRAWING INDEX & CALCULATIONS	ISSUE FOR PERMIT
S200	FOUNDATION PLAN	ISSUE FOR PERMIT
S201	FIRST FLOOR FRAMING PLAN	ISSUE FOR PERMIT
S202	SECOND FLOOR FRAMING PLAN	ISSUE FOR PERMIT
S203	ROOF FRAMING PLAN	ISSUE FOR PERMIT
S301	FIRST FLOOR WINDBRACING PLAN	ISSUE FOR PERMIT
S302	SECOND FLOOR WIND BRACING PLAN	ISSUE FOR PERMIT

GENERAL NOTES

1. General Conditions of the Contract (AIA Document A-201) apply to this project.
2. All work shall comply with State and local Building Codes, fire department regulations, utility company standards, and the best trade practices.
3. The General Contractor shall arrange all inspections and tests as specified or required by the building department and shall pay all costs and fees for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the Owner a Certificate of Occupancy or Use from the building department.
4. All plumbing and electrical work shall be performed by State licensed contractors. Contractors shall submit all required permits, certificates, and sign-offs to Owner and Architect for their records.
5. The General Contractor shall verify all dimensions, be familiar with the existing conditions, and bring any discrepancies to the attention of the Architect prior to submission of construction proposal and before beginning work. The Drawings reflect conditions reasonably inferred from the existing visible conditions but cannot guaranteed by the Architect. Drawings may be scaled for estimating purposes and for general reference only. For all other dimensions or locations consult the Architect or refer to dimensions on Drawings. Verify all dimensions in the field.
6. The General Contractor shall lay out all work and be responsible for all dimensions and conditions for trades such as electrical, plumbing, etc.
7. The General Contractor shall provide and maintain access to the premises at all times.
8. The Construction Manager shall make the premises secure from the elements and trespass on a daily basis.
9. The General Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of Work, the entire construction area is to be thoroughly cleaned and prepared for occupancy by Owner. All materials and debris resulting from the Contractor's work shall be removed from the site and disposed of properly. Care shall be taken during construction that no debris or materials are deposited in any Right of Way area.
10. The General Contractor shall be responsible for protecting all existing and new conditions and materials on the site. Any damage caused by or during the execution of the Work is the Contractor's responsibility and shall be repaired to the Owner's satisfaction at the Contractor's expense.
11. No cutting or damage to building structural components will be allowed without written authorization from the Architect.
12. All utilities shall be connected to provide gas, electric, and water to all equipment whether said equipment is in Contract or not. Equipment shall be guaranteed to function properly upon completion.
13. Manufacturer's standard specifications and materials approved for project use are hereby made part of these Notes with same force and effect as if written out in full herein. All appliances, fixtures, equipment, hardware, etc. shall be installed in accordance with Manufacturer's specifications and procedures.
14. Written words take precedence over drawn lines. Large-scale details and plans take precedence over smaller details and plans. Should a conflict arrive between the Specifications and Drawings, the requirements deemed most stringent shall be used.
15. Minor details not usually shown or specified but necessary for proper and acceptable construction, installation, or operation of any part of the Work as determined by the Architect shall be included in the Work as if it were specified or indicated on the Drawings.
16. All architectural drawings and construction notes are complimentary. What is indicated and called for by one shall be binding as though called for by all.
17. No deviation from the Drawings or Specifications or intent of same shall be made without the Architect's written authorization.
18. All Work shall be guaranteed for one year after final approval. The General Contractor shall sign the written guarantee as provided by the Owner. The guarantee shall cover all general and subcontractor work. All defects discovered during this period shall be repaired to the Owner's satisfaction at the Contractor's expense.
19. All dimensions are to face of stud or centerline of structure unless otherwise noted (UON).
20. Door and window details are indicated on the Door and Window Schedules.
21. Door and window dimensions are to centerlines of units UNO.

LEGEND

- Wall Type (see wall type schedule)
- Door Type (see door schedule)
- Window Type (see window schedule)
- Building Section
- Wall Section
- Detail Number
- Building Elevation
- Interior Elevation
- Elevation Mark
- Room Name / Number
- Column Line
- Centerline
- Revision Tag

- A.C.I.

BLDG.

CONC.

C.J.

COL.

DET.

DIA.

DN.

EL/ELEV.

ELEC.

EQ.

FIN.

FLR.

GALV.

GYP.

I.D.

JT.

MECH.

MIN.

N.T.S.

NO.

O.C.

OPG.

O.D.

U.N.O.

REF.

R.

R.O.

RM.

S/STL.

STRUCT.

SPEC.

T.O.

T.O.CONC.

.

T.O.F.

T.O.STL.

T.O.W.

T.

TYP.

@

+

BD.

A.F.F.

U.N.O.

V.I.F.
- AMERICAN CONCRETE INSTITUTE

BUILDING

CONCRETE

CONTROL JOINT

COLUMN

DETAIL

DIAMETER

DOWN

ELEVATION

ELECTRICAL

EQUAL

FINISH

FLOOR

GALVANIZED

GYPSUM

INSIDE DIAMETER

JOINT

MECHANICAL

MINIMUM

NOT TO SCALE

NUMBER

ON CENTER

OPENING

OUTSIDE DIAMETER

UNLESS NOTED OTHERWISE

REFERENCE

RISER

ROUGH OPENING

ROOM

STAINLESS STEEL

STRUCTURAL

SPECIFICATIONS

TOP OF (...)

TOP OF CONCRETE

TOP OF FRAMING

TOP OF STEEL

TOP OF WALL

TREAD

TYPICAL

AT

AND

BOARD

ABOVE FINISHED FLOOR

UNLESS OTHERWISE NOTED

VERIFY IN FIELD

BUILDING CODE

- BUILDING CODE REFERENCES

2021 VIRGINIA RESIDENTIAL CODE

(BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE)

1. BUILDING/DWELLING CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

2. STRUCTURAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

3. PLUMBING & GAS CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

4. MECHANICAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

5. ELECTRICAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

6. ENERGY CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021
- STRUCTURAL

LIVE LOADS

DEAD LOADS

ROOF TRUSSES: 30PSF

10PSF

RAFTERS: 30PSF

12PSF

ATTIC FLOORS: 30PSF

12PSF

FLOORS: 40PSF

12PSF

GARAGE FLOORS: 50PSF

50PSF

DECKS: 40PSF

10PSF

BALCONIES: 60PSF

10PSF

STAIRS: 40PSF

20PSF

GROUND SNOW LOAD: 30LBS

DESIGN WIND SPEED: 115MPH (ULTIMATE)

SEISMIC DESIGN CATEGORY: B

FROST LINE: 24"

SOIL BEARING PRESSURE: 1500PSF
- ENVIRONMENTAL

DECAY PROT REQUIRED: SLIGHT TO MODERATE

TERMITE PROT REQUIRED: MODERATE TO HEAVY

CLIMATE ZONE: 4-NON MARINE

ENERGY CODE: 2018 IECC CODE REQUIRED

WINDOWS: MINIMUMS

SKYLIGHTS: U-VALUE: 0.32

CEILING: U-VALUE: 0.55

WALLS: R49

FLOOR: R15 (CAVITY)

CRAWLSPACE: R19

SLAB: R10 (CONTINUOUS)

R10 (CONTINUOUS)

stadlerdesign
architecture | interiors

2000 Duke Street | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued

No.	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet

Name:

PROJECT
INFORMATION

Project No.:

Sheet

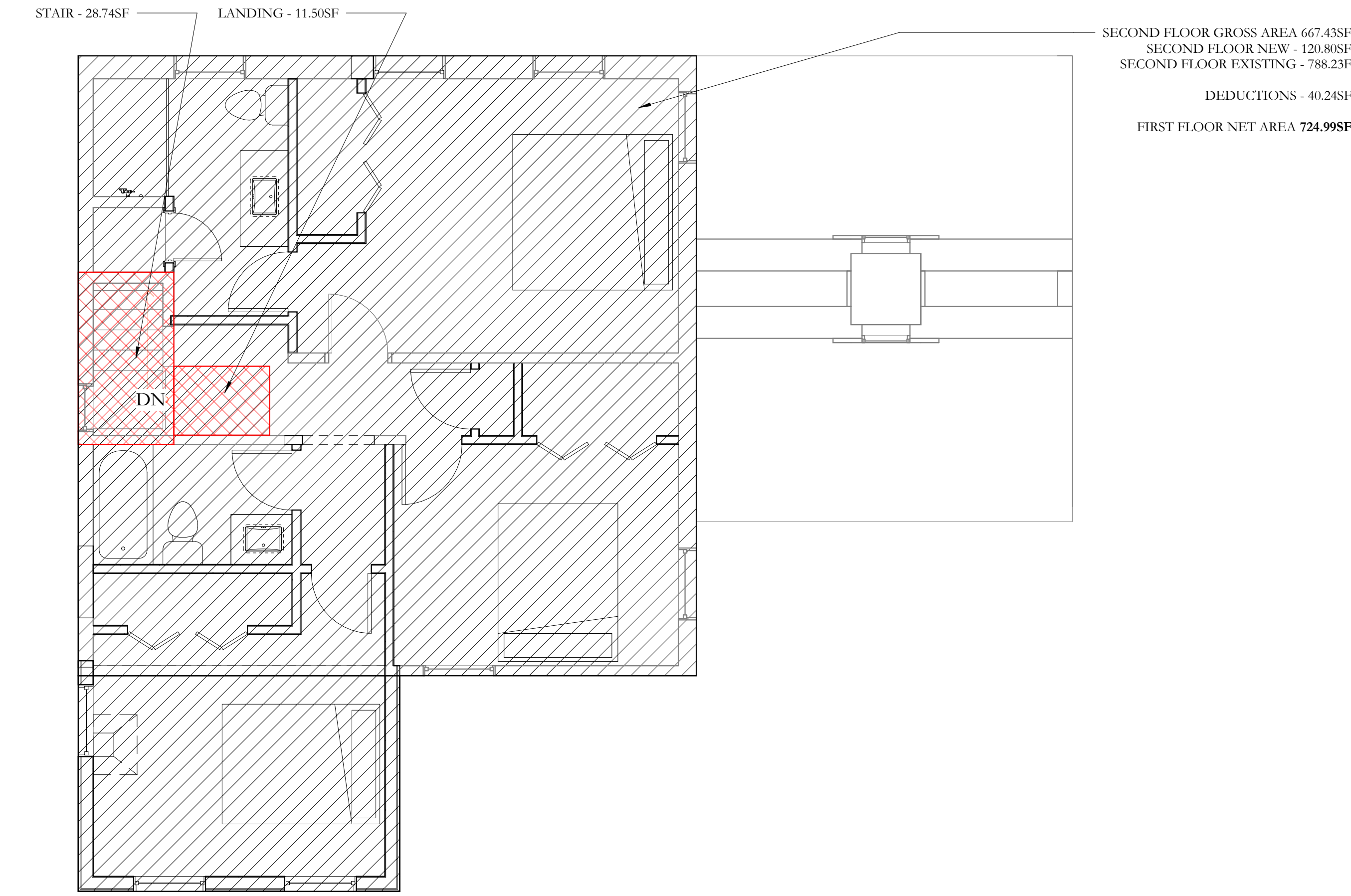
No.:

19001

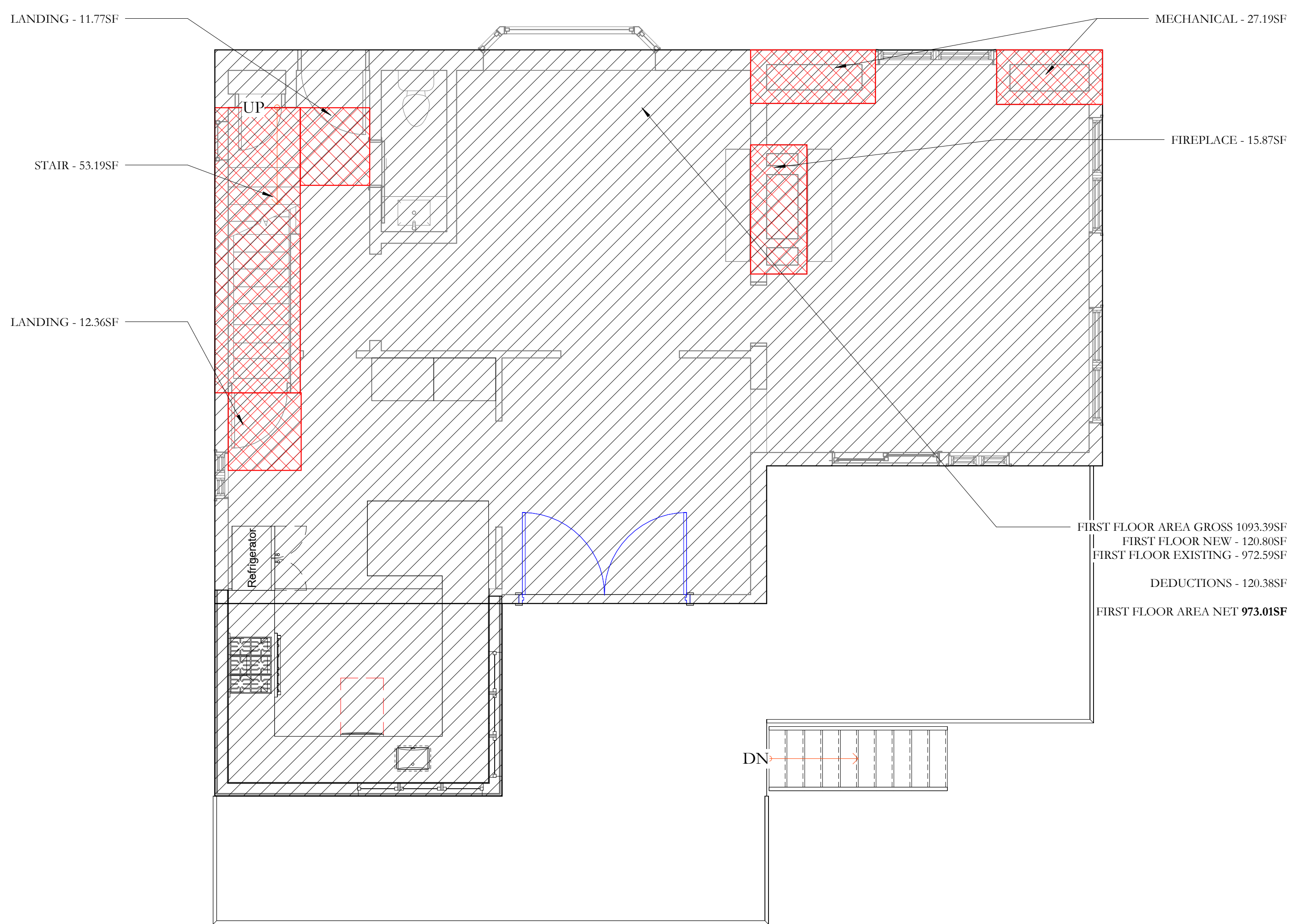
G-001

Scale:

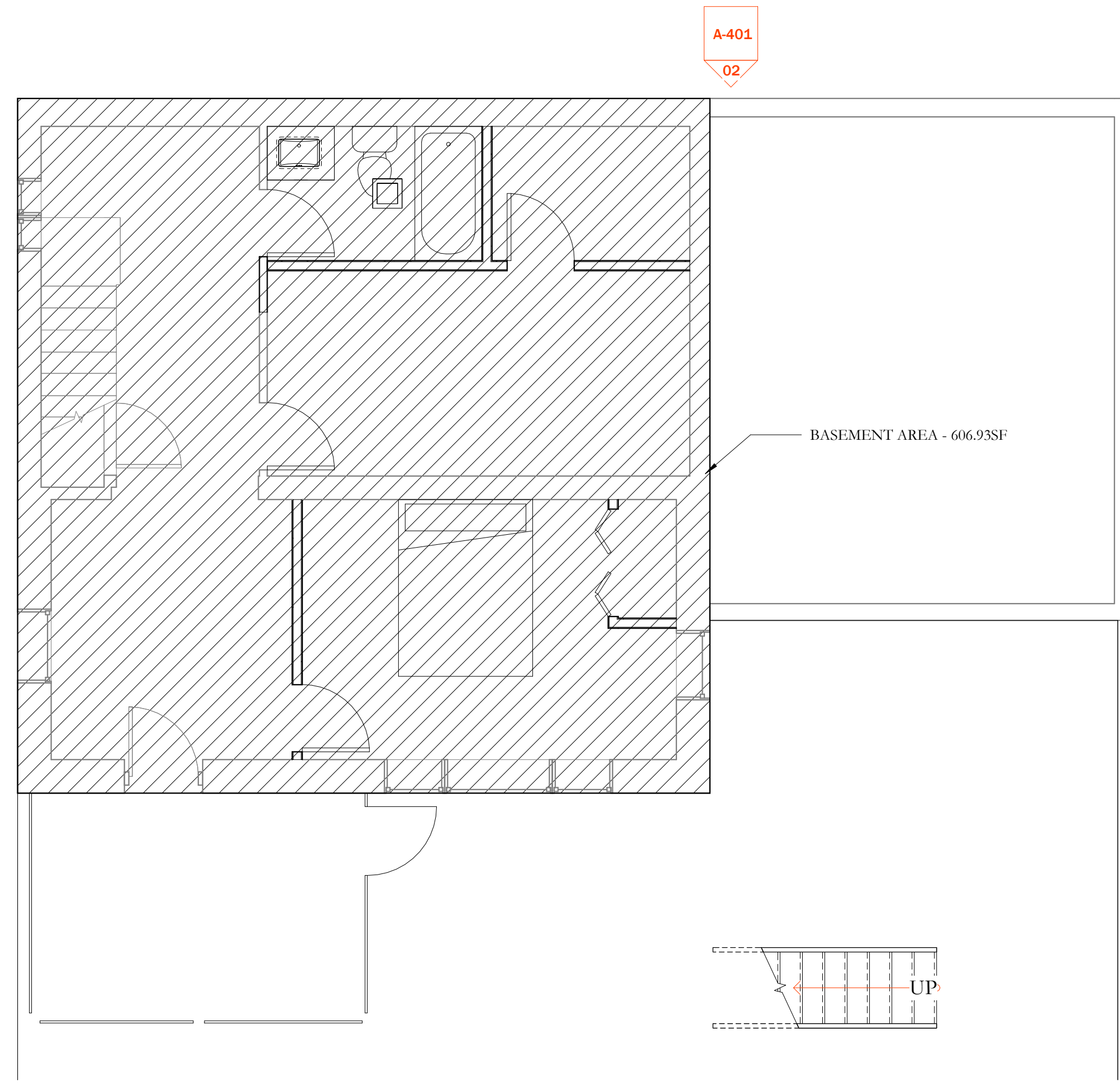
1/4" = 1'-0"



03 SECOND FLOOR AREAS
1/4" = 1'-0"



02 FIRST FLOOR AREAS
1/4" = 1'-0"



01 BASEMENT AREAS
1/4" = 1'-0"

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.: Description: Date:

Key Plan:

Seal & Signature:



Sheet Name:

BUILDING AREAS

Project No.:

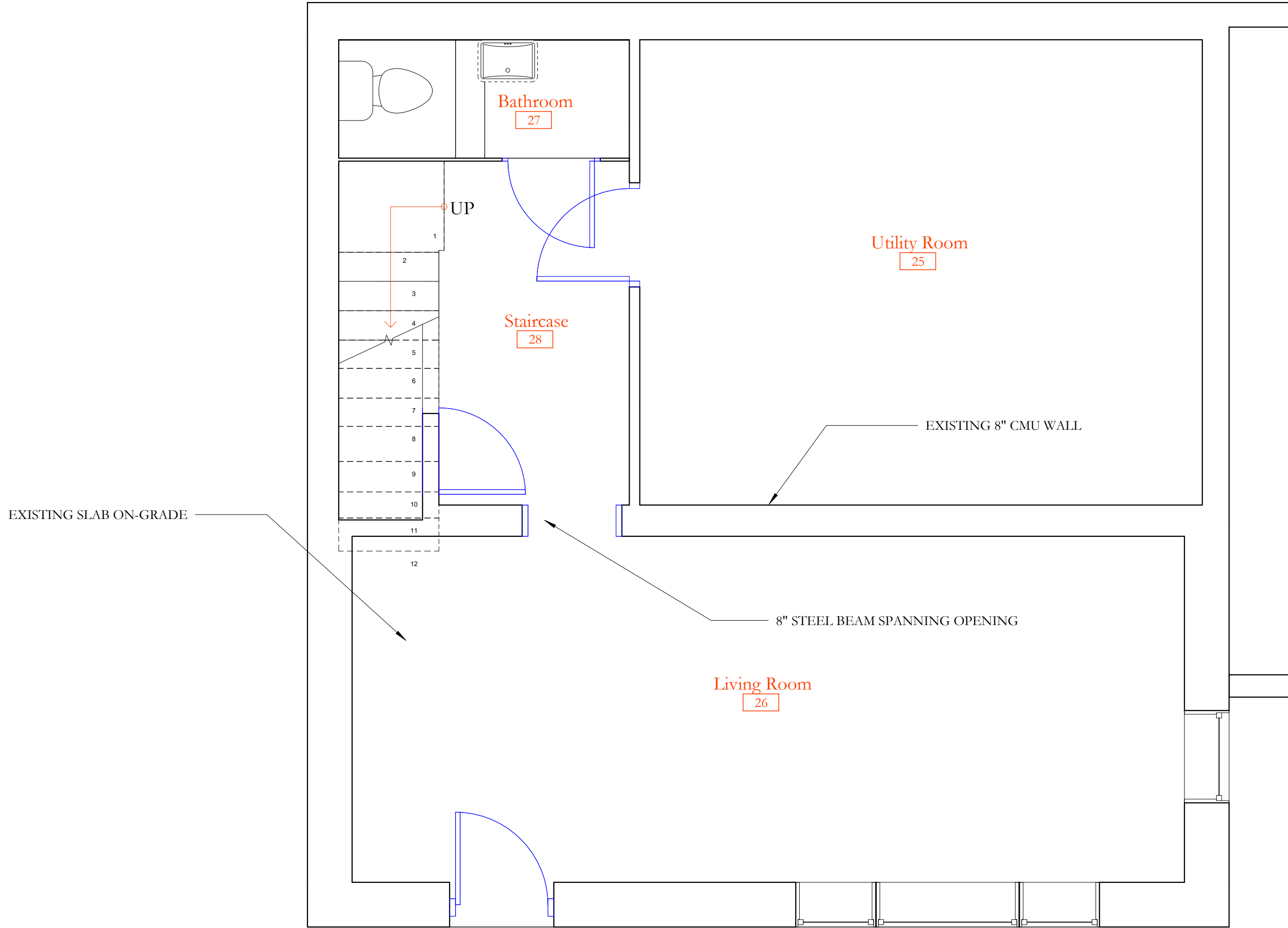
19001

Sheet No.:

G-101

Scale:

1/4" = 1'-0"



1 BASEMENT FLOOR - EXISTING
3/8" = 1'-0"

GENERAL NOTES

LEGEND

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.:	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BASEMENT -
EXISTING

Project No.:

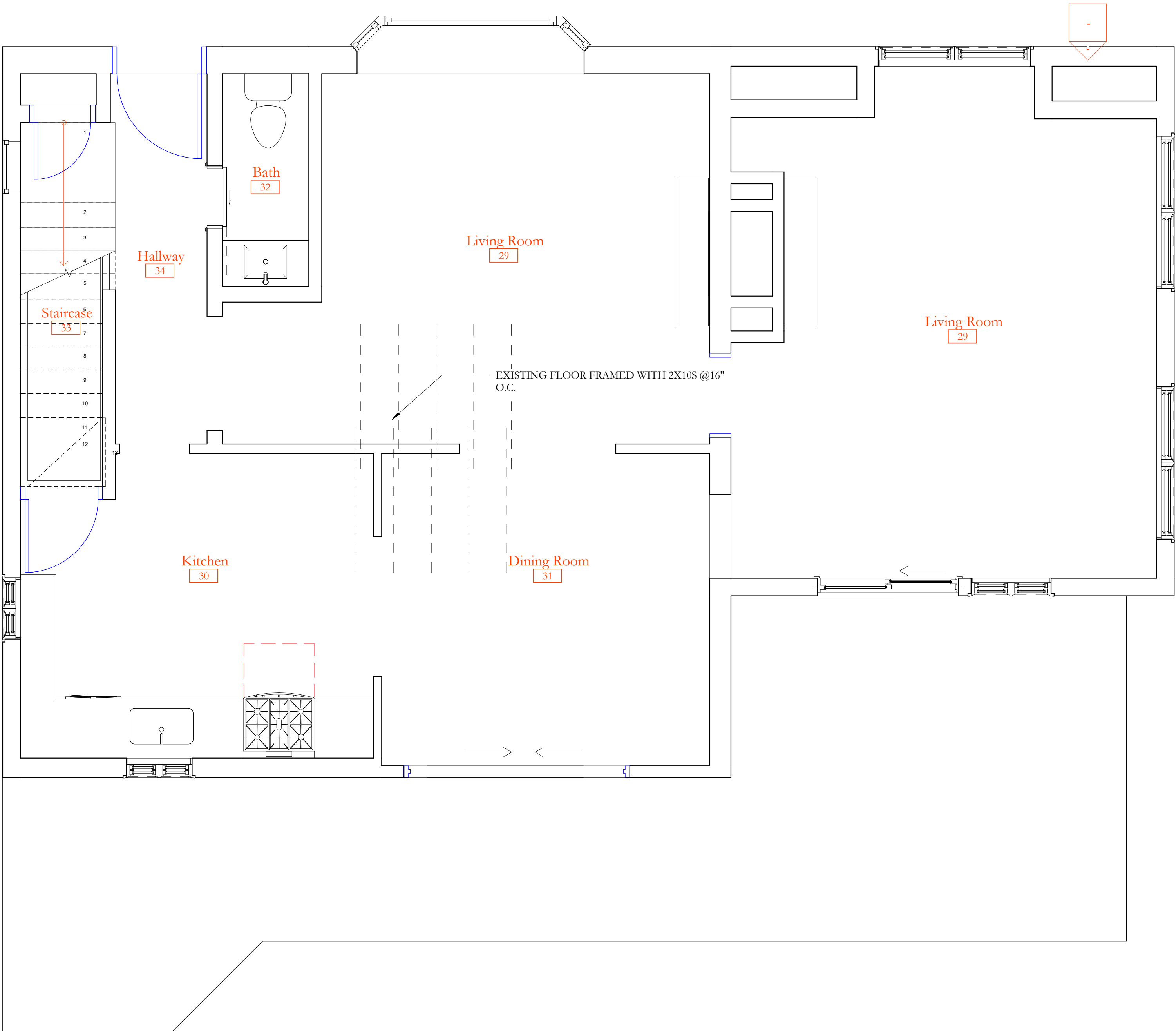
19001

Sheet No.:

AX-100

Scale:

3/8" = 1'-0"



1 FIRST FLOOR - EXISTING
3/8" = 1'-0"

GENERAL NOTES

LEGEND

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

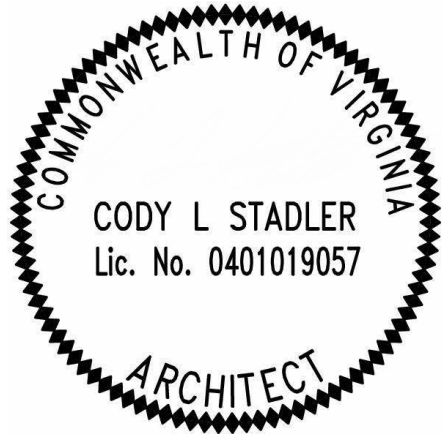
Consultants:

Issued For:

No.	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

FIRST FLOOR -
EXISTING

Project No.:

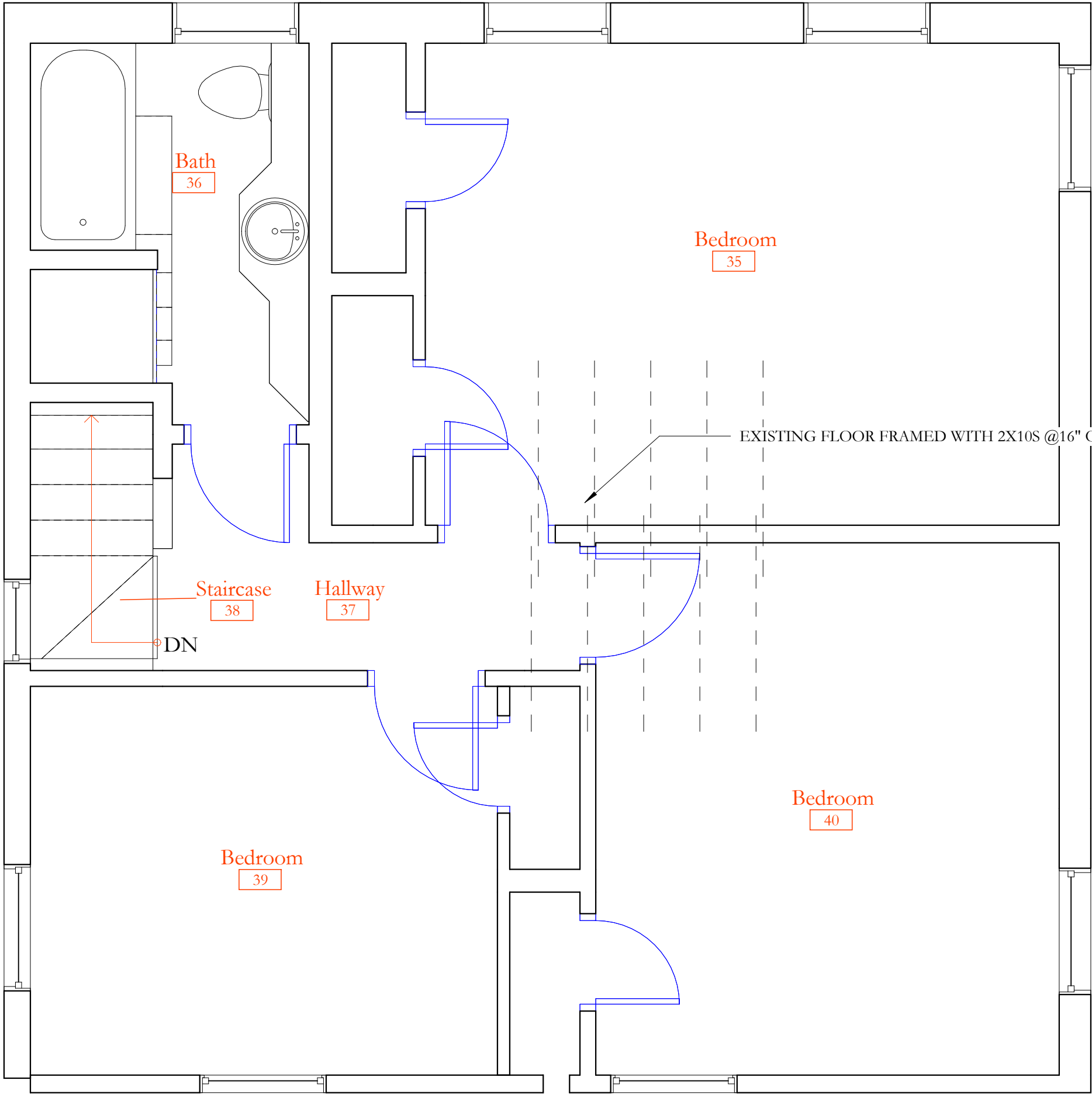
19001

Sheet No.:

AX-101

Scale:

3/8" = 1'-0"



1 SECOND FLOOR - EXISTING
3/8" = 1'-0"

GENERAL NOTES

LEGEND

stadlerdesign
architecture / design
2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:		
No.:	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

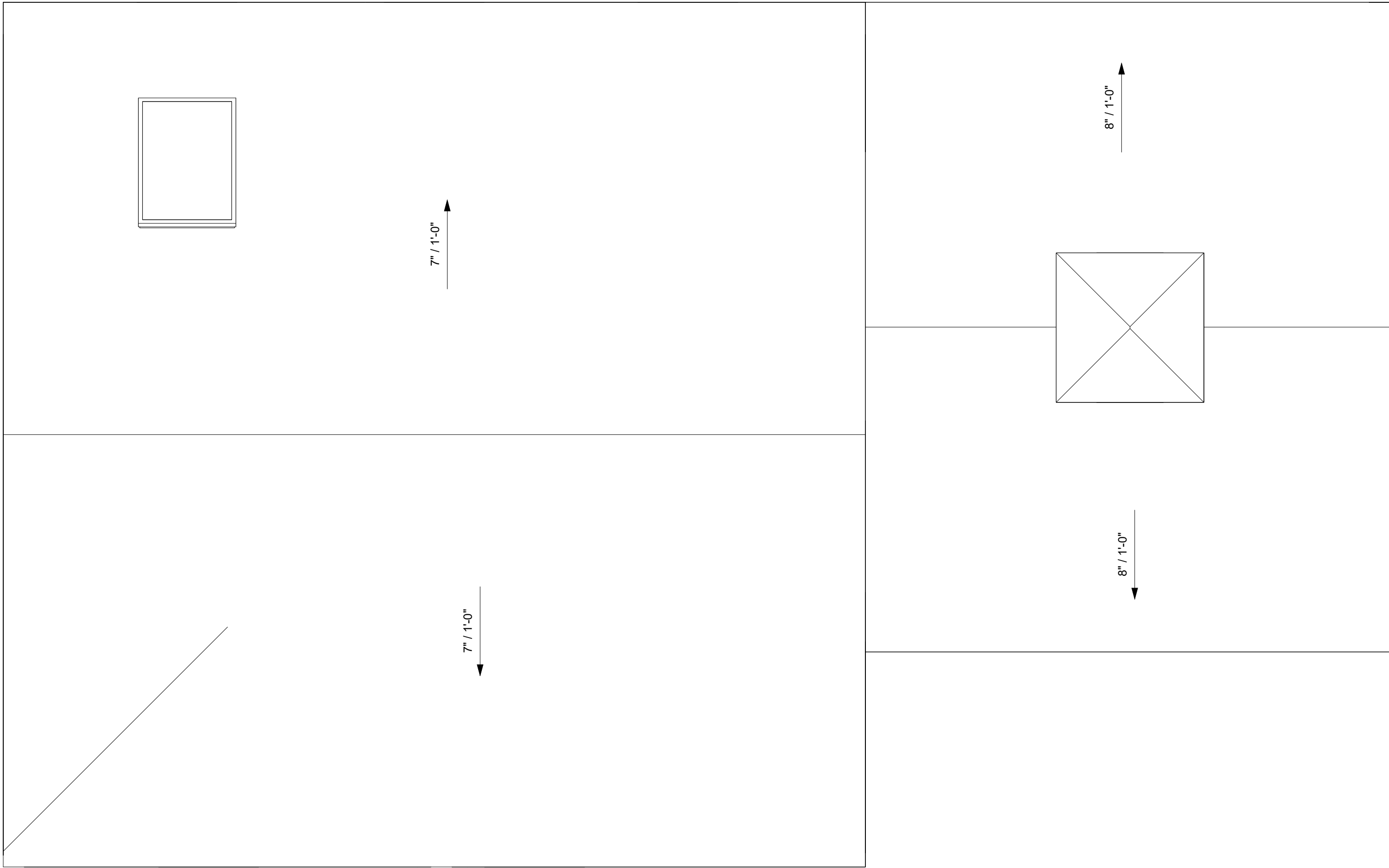
Seal & Signature:

Sheet Name:
**SECOND FLOOR -
EXISTING**

Project No.:
19001

Scale:
3/8" = 1'-0"

Sheet No.:
AX-102



1 Level 04 - Floor Plan
3/8" = 1'-0"

GENERAL NOTES

LEGEND

stadlerdesign

architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:		
No.:	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

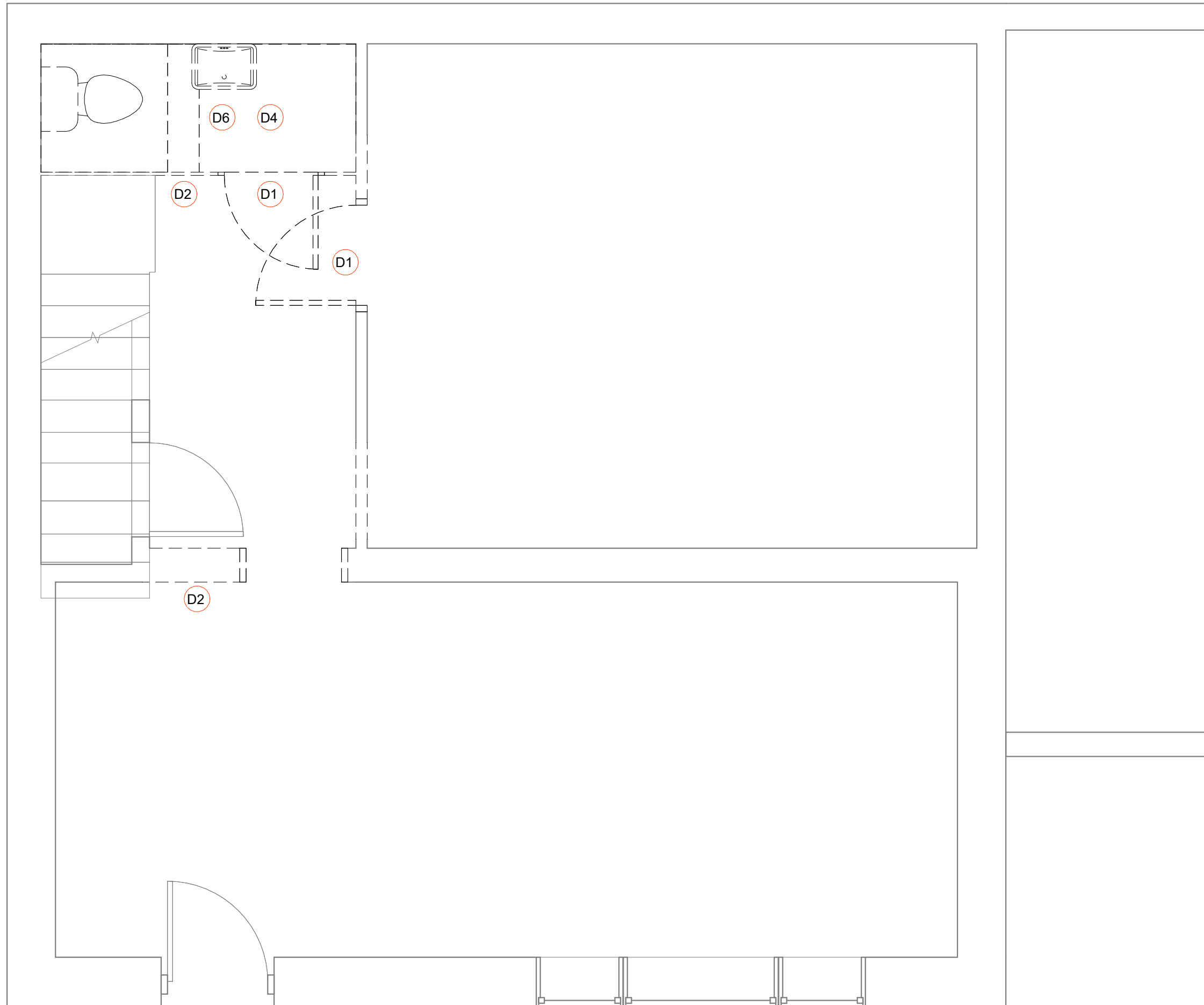
Key Plan:

Seal & Signature:

Sheet Name:
ROOF - EXISTING

Project No.: 19001	Sheet No.: AX-103
Scale: 3/8" = 1'-0"	

7/17/2025 2:59:18 PM



01 BASEMENT - DEMO

3/8" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS, QUANTITIES AND LOCATIONS BEFORE BEGINNING DEMOLITION.
2. VERIFY ALL OPENINGS, DOORS AND EXISTING WATERPROOFING BEFORE DEMOLITION OF WINDOWS AND EXTERIOR DOORS.
3. PROTECT ALL EXISTING FINISHES NOT TO BE DEMOLISHED.

LEGEND

- EXISTIN G
- TO BE DEMOLISHED
- FINISH TO BE DEMOLISHED
- NEW PARTITION

- NEW FINISH
- QUART Z
- TIL E
- WOO D

- D1 DEMO EXISTING DOOR AND FRAME.
- D2 DEMO EXISTING WALL.
- D3 DEMO EXISTING WINDOW AND FRAME.
- D4 DEMO EXISTING CABINETY AND COUNTERTOP
- D5 DEMO EXISTING PLUMBING FIXTURES
- D6 DEMO EXISTING RAISED FLOOR

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

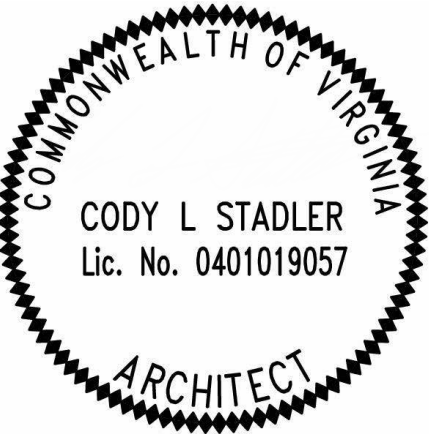
Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BASEMENT -
DEMO

Project No.:

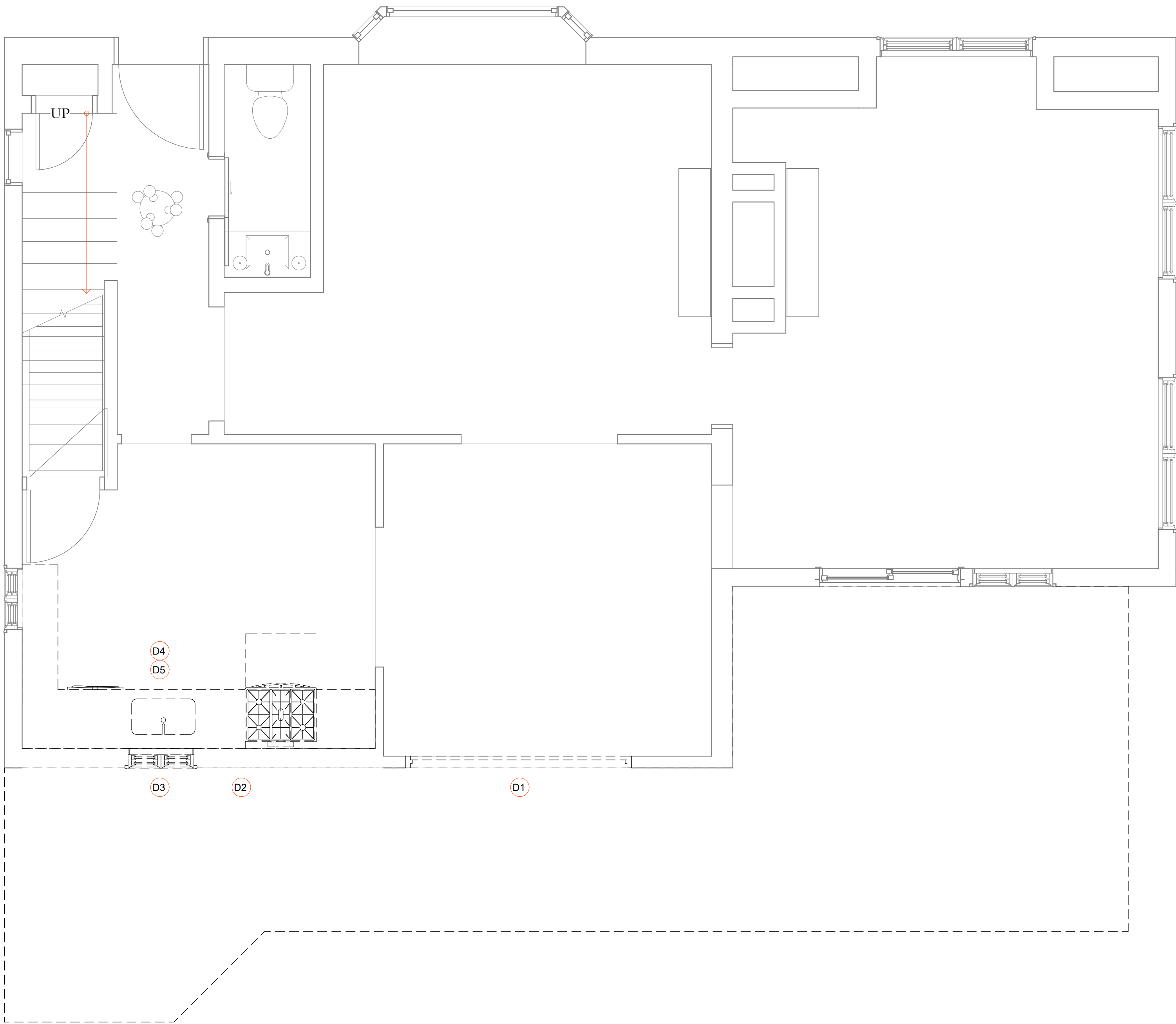
19001

Sheet No.:

AD-100

Scale:

As indicated



01 FIRST FLOOR - DEMO

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS, QUANTITIES AND LOCATIONS BEFORE BEGINNING DEMOLITION.
2. VERIFY ALL OPENINGS, DOORS AND EXISTING WATERPROOFING BEFORE DEMOLITION OF WINDOWS AND EXTERIOR DOORS.
3. PROTECT ALL EXISTING FINISHES NOT TO BE DEMOLISHED.

LEGEND

- EXISTIN G
- TO BE DEMOLISHED
- FINISH TO BE DEMOLISHED
- NEW PARTITION

- NEW FINISH
- QUART Z
- TIL E
- WOO D

- D1 DEMO EXISTING DOOR AND FRAME.
- D2 DEMO EXISTING WALL.
- D3 DEMO EXISTING WINDOW AND FRAME.
- D4 DEMO EXISTING CABINETY AND COUNTERTOP
- D5 DEMO EXISTING PLUMBING FIXTURES
- D6 DEMO EXISTING RAISED FLOOR

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

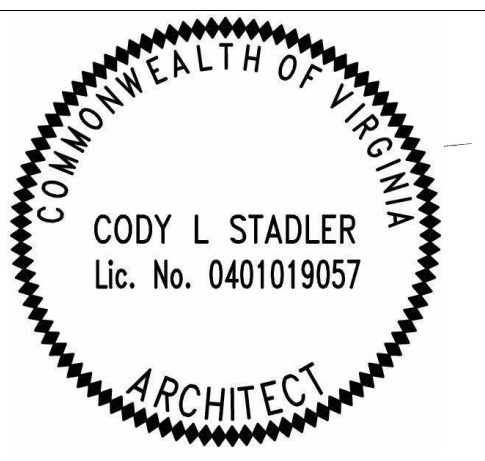
Consultants:

Issued For:

No.:	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

FIRST FLOOR -
DEMO

Project No.:

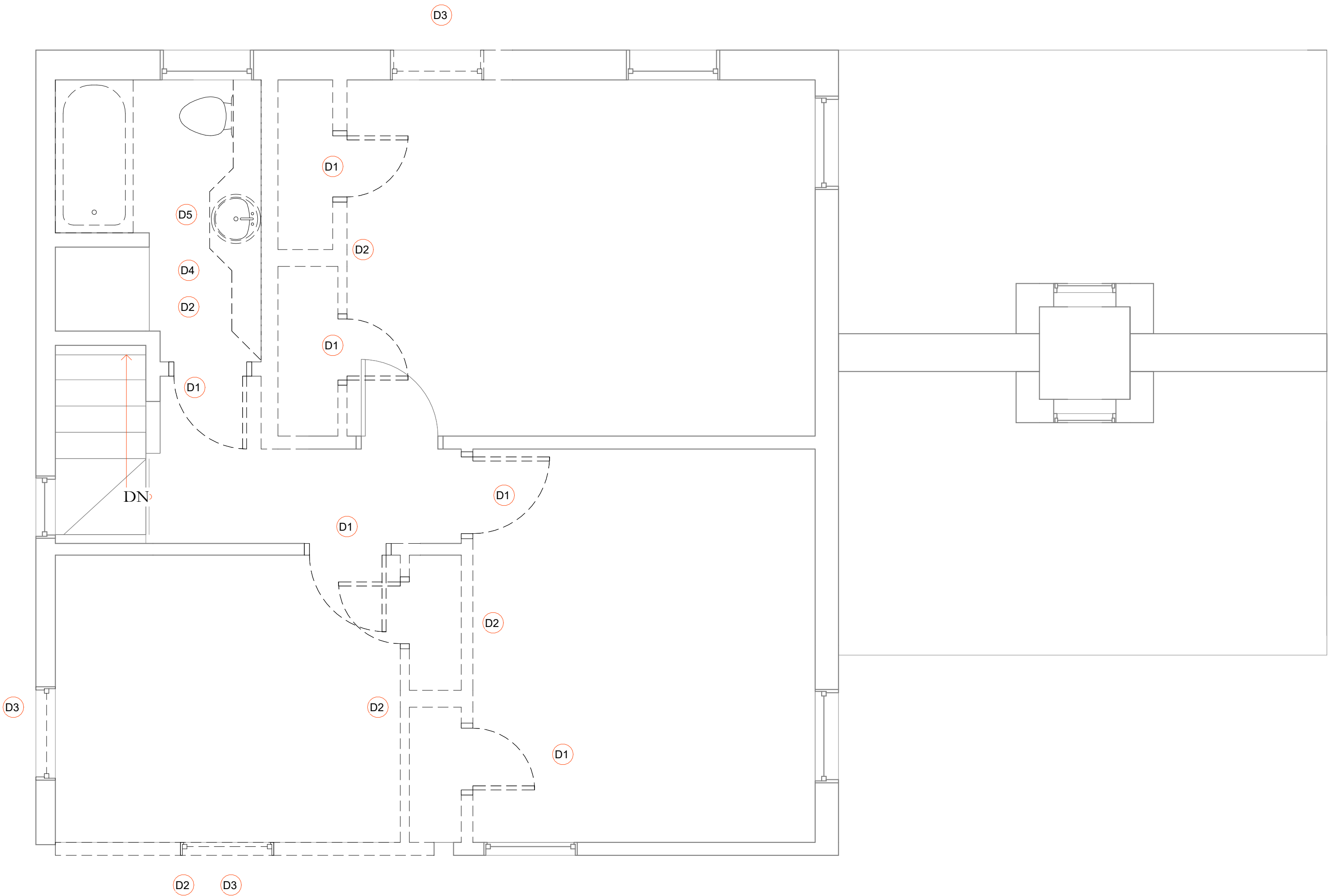
19001

Sheet No.:

AD-101

Scale:

As indicated



01 SECOND FLOOR - DEMO

3/8" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS, QUANTITIES AND LOCATIONS BEFORE BEGINNING DEMOLITION.
2. VERIFY ALL OPENINGS, DOORS AND EXISTING WATERPROOFING BEFORE DEMOLITION OF WINDOWS AND EXTERIOR DOORS.
3. PROTECT ALL EXISTING FINISHES NOT TO BE DEMOLISHED.

LEGEND

- EXISTING
- TO BE DEMOLISHED
- FINISH TO BE DEMOLISHED
- NEW PARTITION

- NEW FINISH
- QUARTZ
- TILE
- WOOD

- D1 DEMO EXISTING DOOR AND FRAME.
- D2 DEMO EXISTING WALL.
- D3 DEMO EXISTING WINDOW AND FRAME.
- D4 DEMO EXISTING CABINERY AND COUNTERTOP
- D5 DEMO EXISTING PLUMBING FIXTURES
- D6 DEMO EXISTING RAISED FLOOR

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

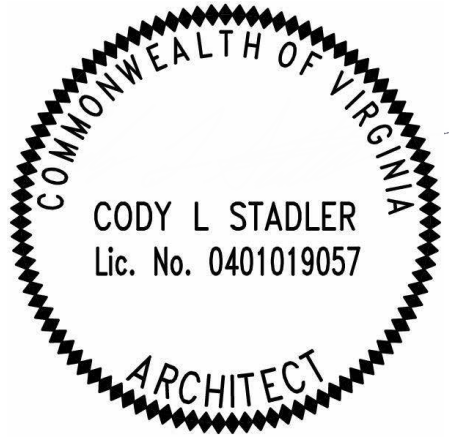
Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

SECOND FLOOR -
DEMO

Project No.:

19001

Sheet No.:

AD-102

Scale:

As indicated

7/17/2025 2:39:19 PM

01 BASEMENT

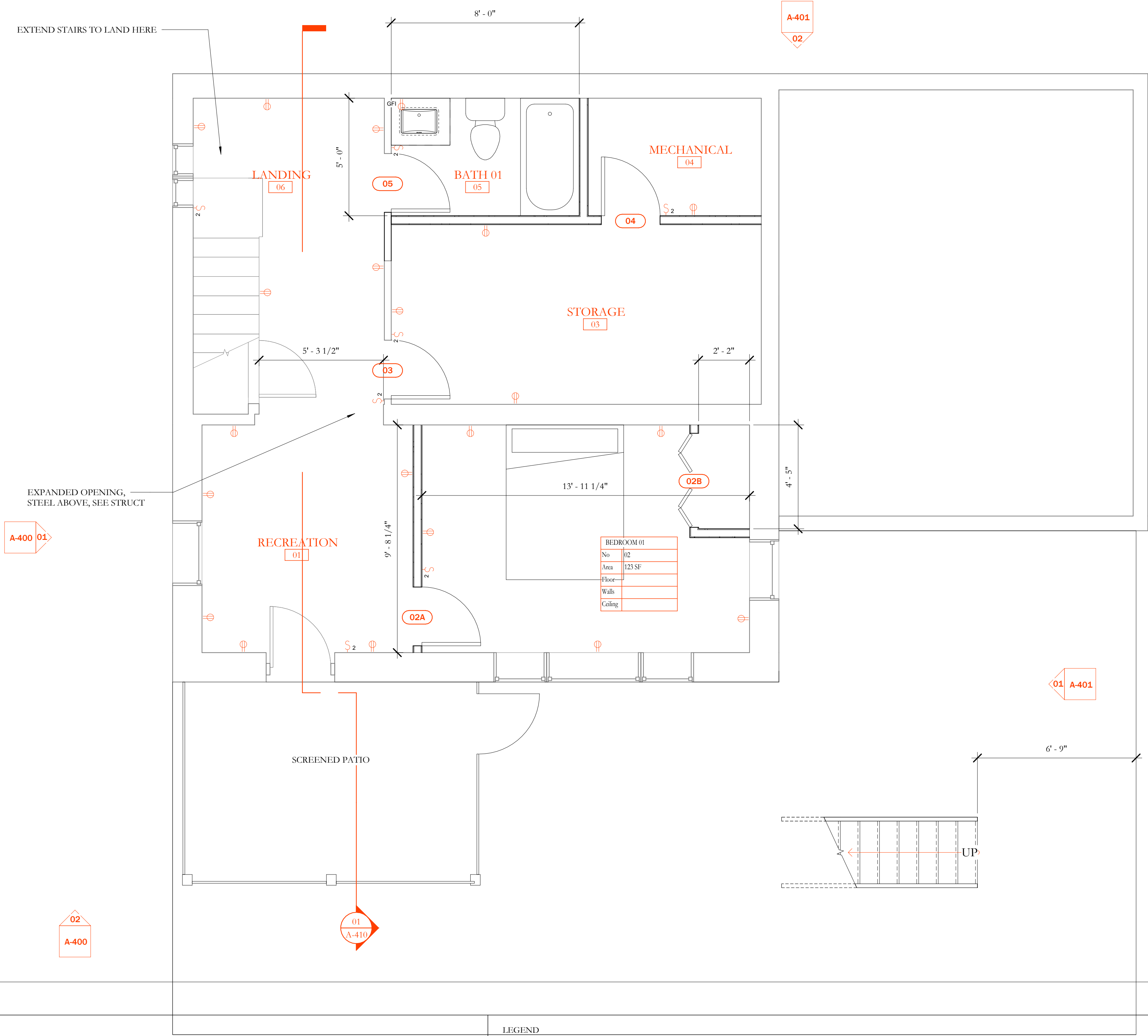
3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTING		NEW FINISH
	TO BE DEMOLISHED		QUARTZ
	FINISH TO BE DEMOLISHED		TILE
	NEW PARTITION		WOOD



stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

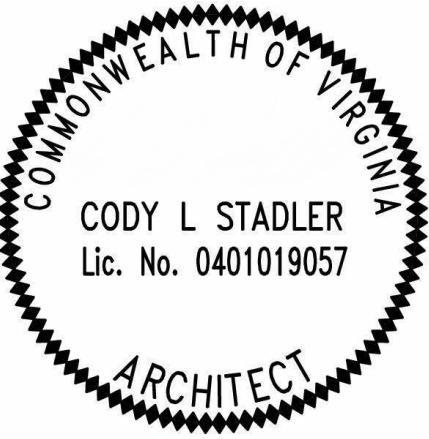
Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BASEMENT

Project No.:

19001

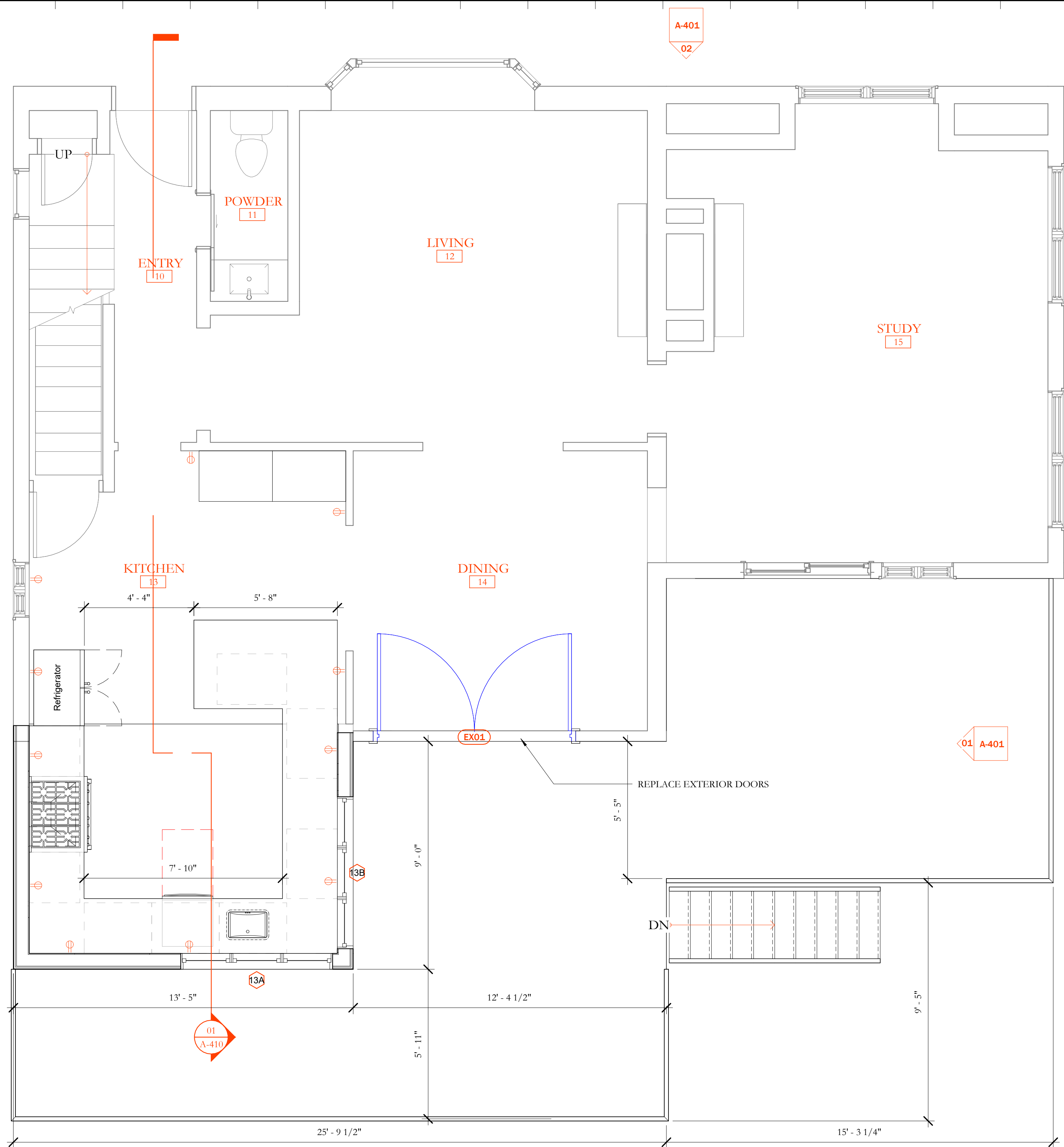
Sheet No.:

A-100

Scale:

As indicated

7/17/2025 2:39:20 PM



01 FIRST FLOOR

3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTING		NEW FINISH
	TO BE DEMOLISHED		QUARTZ
	FINISH TO BE DEMOLISHED		TILE
	NEW PARTITION		WOOD

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

FIRST FLOOR

Project No.:

19001

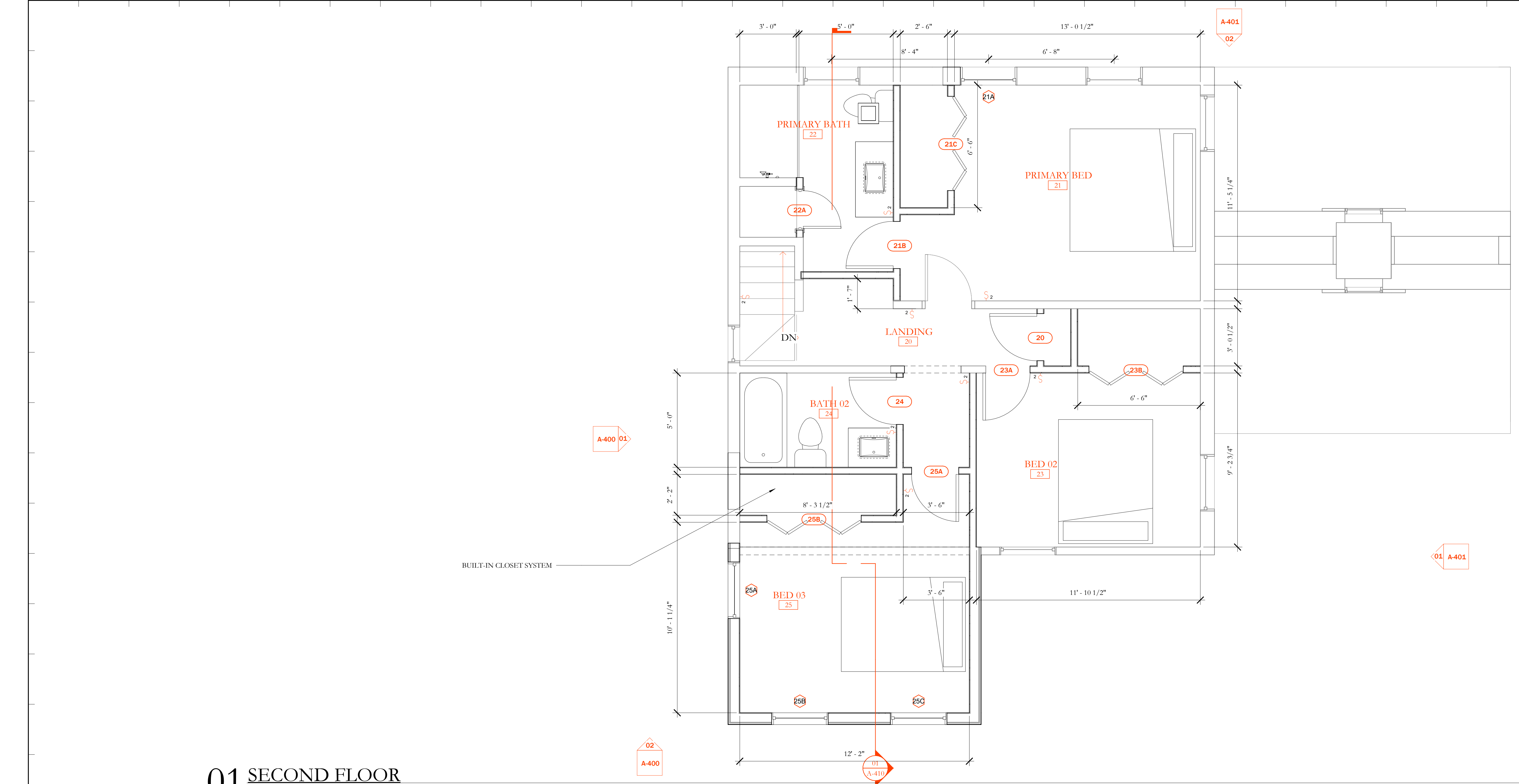
Sheet No.:

A-101

Scale:

As indicated

7/17/2025 2:39:20 PM



01 SECOND FLOOR

3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTIN G		NEW FINISH
	TO BE DEMOLISHED		QUART Z
	FINISH TO BE DEMOLISHED		TIL E
	NEW PARTITION		WOO D

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

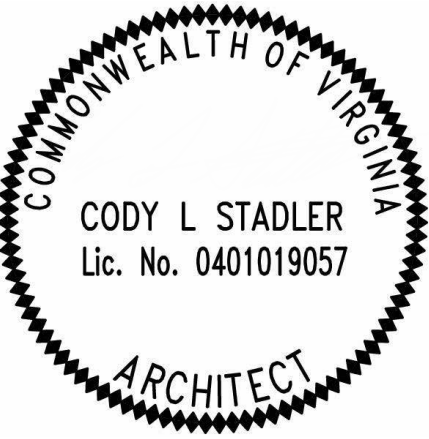
Issued For:

No.: Description: Date:

1	ISSUE FOR PERMIT	06/10/2025
---	------------------	------------

Key Plan:

Seal & Signature:



Sheet Name:

SECOND FLOOR

Project No.:

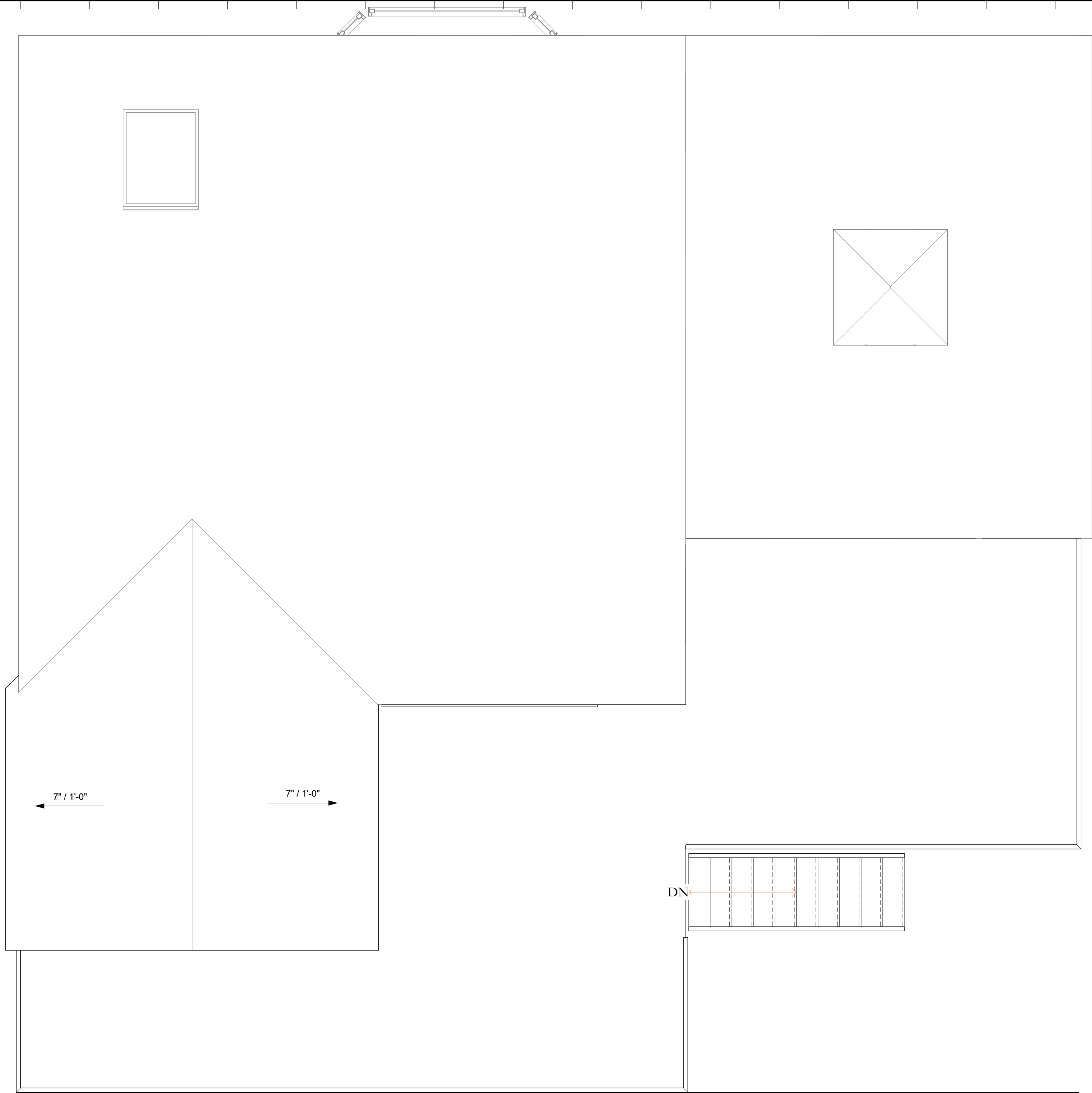
19001

Sheet No.:

A-102

Scale:

As indicated



01 ROOF

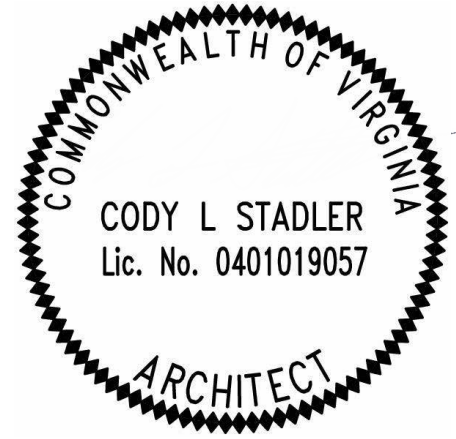
3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTIN G		NEW FINISH
	TO BE DEMOLISHED		QUART Z
	FINISH TO BE DEMOLISHED		TIL E
	NEW PARTITION		WOO D



Sheet Name:

ROOF

Project No.:

19001

Sheet No.:

A-103

Scale:

As indicated

7/17/2025 2:39:21 PM

01 BASEMENT

3/8" = 1'-0"

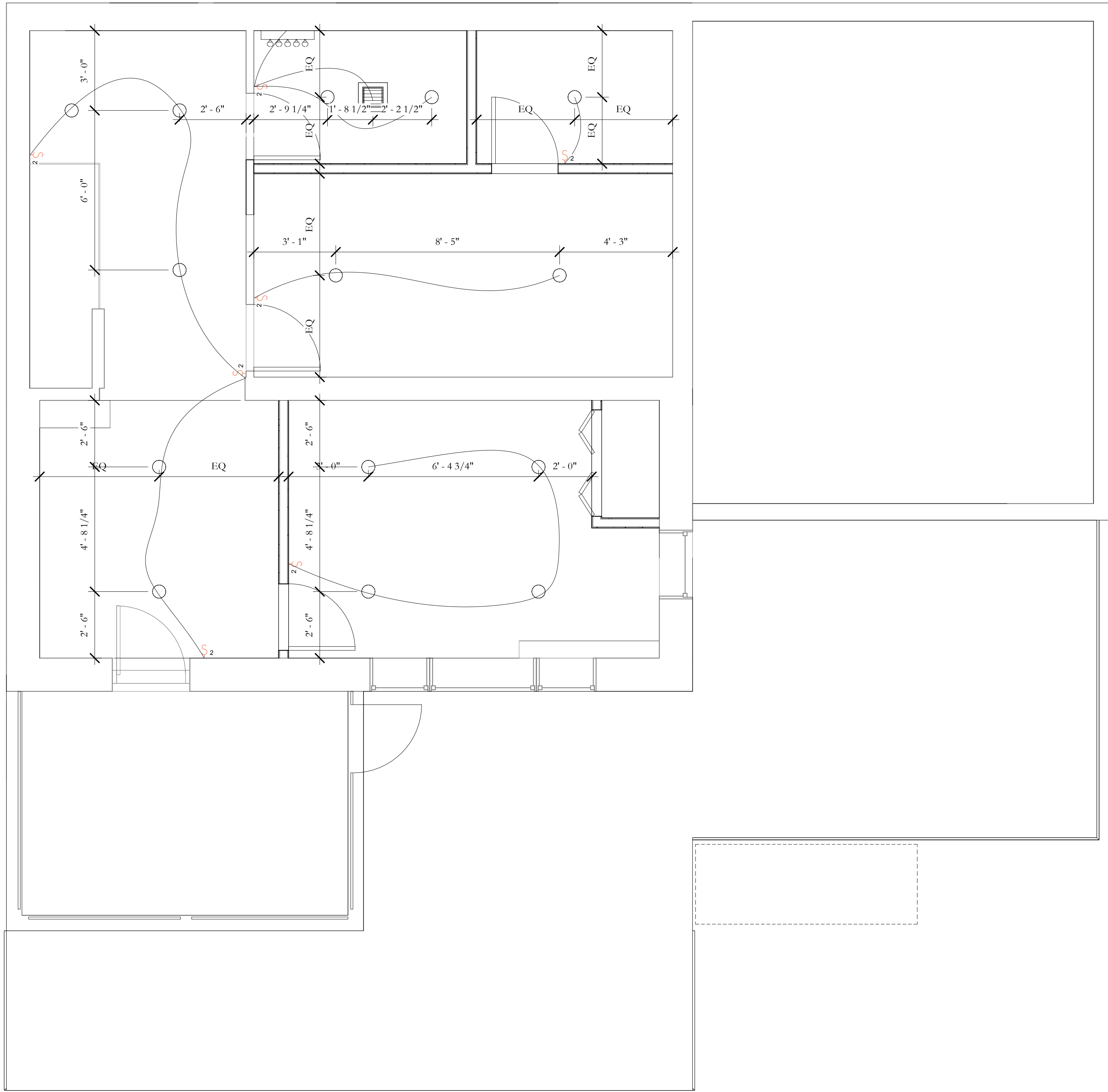
GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

- A. INSTALL ALL RECEPTACLES AT (INSERT HEIGHT)" A.F.F. (HORIZONTALLY/VERTICALLY), U.N.O.
B. INSTALL ALL ABOVE COUNTER OUTLETS (HORIZONTALLY/VERTICALLY) WITH A CENTERLINE OF(INSERT HEIGHT)" A.F.F., U.N.O.
C. INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT)"A.F.F. INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.
D. MOUNT CENTERLINE OF THERMOSTATS + KEYPADS AT (INSERT HEIGHT) A.F.F. CENTER ON SWITCHES BELOW IF APPLICABLE.
E. ALL SWITCHES TO BE ON DIMMING CIRCUITS. NOTIFY ARCHITECT PRIOR TO ROUGH-IN OF ANY FIXTURE LOCATIONS THAT ARE NOT ABLE TO BE ON A DIMMING CIRCUIT SO ALTERNATE PLANS CAN BE MADE.
F. ALL EXPOSED SWITCHES AND OUTLETS TO BE *(INSERT SERIES) SERIES WITH (INSERTCOVERPLATES) COVERPLATES BY (INSERT MANUF).
G. DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES.**COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
H. ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.
I. INSTALLATION SHALL CONFORM TO CURRENT ADOPTED (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND ARCHITECT AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.
J. COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ANY INTERIOR ELEVATIONS.
K. NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

LEGEND

- | | | | | | |
|---|---|---|--|---|------------------------------|
|  | TV HOOK-UP (LIST CABLING REQ'D: CAT6, STRUCTURED CABLING, ETC. KEYPAD |  | THERMOSTAT |  | PLUG-IN FIXTURE |
|  | ETHERNET / PHONE (LIST JACK REQUIREMENTS) |  | EXHAUST FAN |  | PENDANT |
|  | SWITCH (DIMMING CIRCUIT) |  | HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR |  | CEILING MOUNTED SPEAKER |
|  | DUPLEX RECEPTABLE (USB INDICATES CHARGING OUTLET/STATION) |  | SMOKE/CO DETECTOR |  | IN-WALL SPEAKER |
|  | QUAD RECEPTACLE |  | REMOTE TRANSFORMER |  | LED STRIP LIGHT |
|  | GFCI DUPLEX RECEPTACLE |  | FIXTURE TYPE, SEE SCHEDULE |  | STEP LIGHT |
|  | FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE) |  | RECESSED LIGHT (ARROW = DIRECTIONAL) |  | IN-GROUND/WELL LIGHT |
|  | WALL MOUNTED LIGHT |  | MONOPOINT |  | TRACK/HEADS |
| | | | |  | WALL MOUNTED SWING-ARM LIGHT |
| | | | |  | ELECTRICAL PANEL |



stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

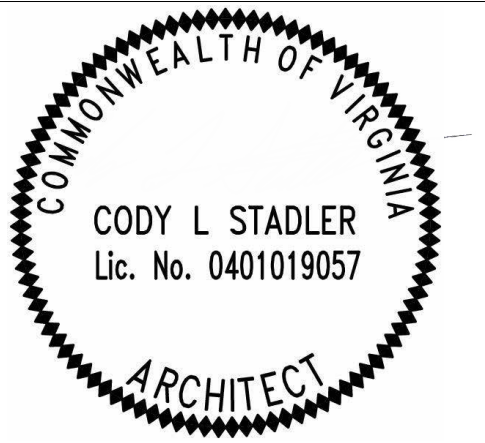
Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

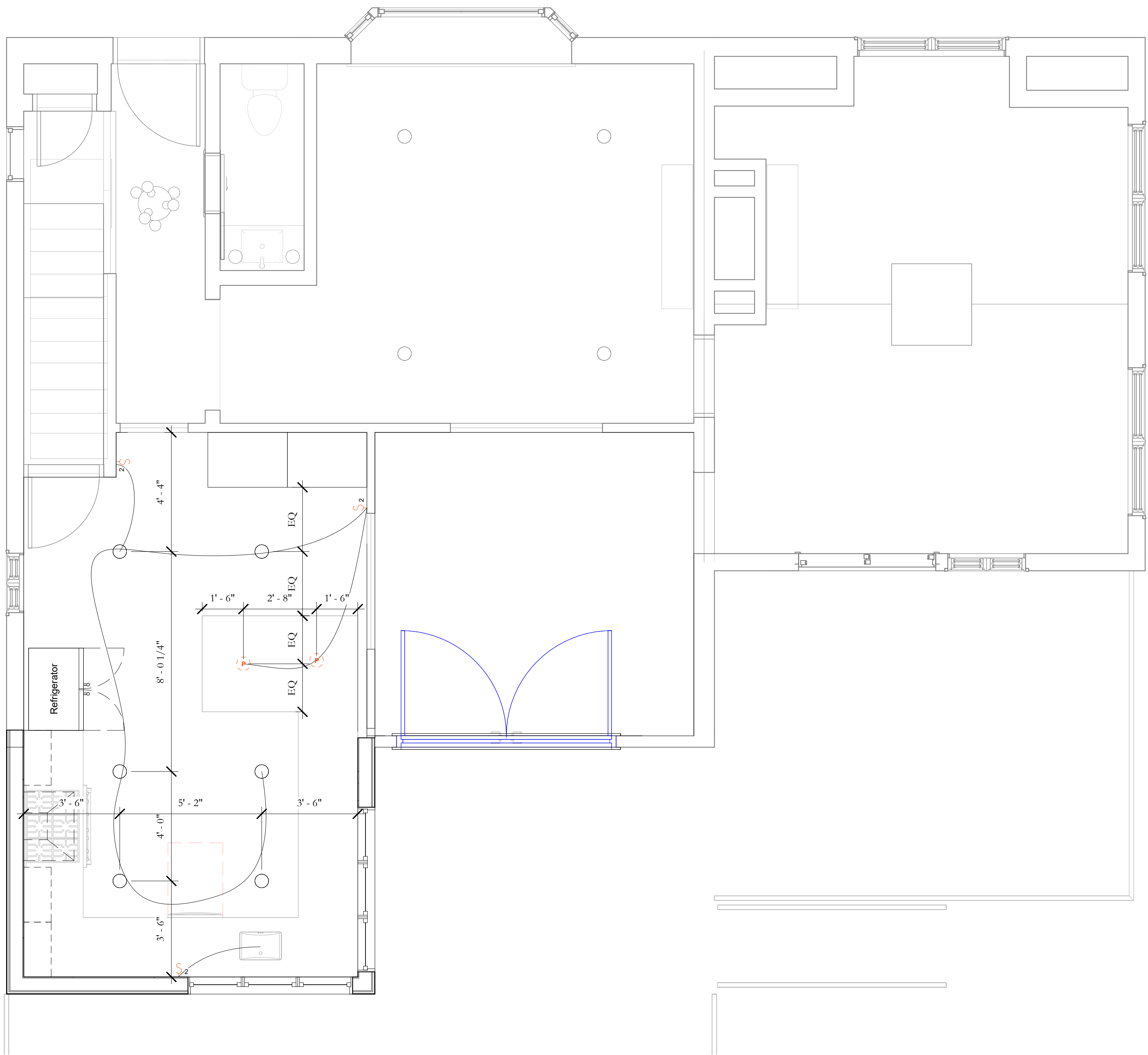
BASEMENT RCP

Project No.:
19001

Sheet No.:

A-200

Scale:
As indicated



01 FIRST FLOOR

3/8" = 1'-0"

GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

- INSTALL ALL RECEPTACLES AT (INSERT HEIGHT)" A.F.F. (HORIZONTALLY/VERTICALLY), U.N.O.
- INSTALL ALL ABOVE COUNTER OUTLETS (HORIZONTALLY/VERTICALLY) WITH A CENTERLINE OF (INSERT HEIGHT)" A.F.F., U.N.O.
- INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT)" A.F.F.
- INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.
- MOUNT CENTERLINE OF THERMOSTATS + KEYPADS AT (INSERT HEIGHT)" A.F.F. CENTER ON SWITCHES BELOW IF APPLICABLE.
- ALL SWITCHES TO BE ON DIMMING CIRCUITS. NOTIFY ARCHITECT PRIOR TO ROUGH-IN OF ANY FIXTURE LOCATIONS THAT ARE NOT ABLE TO BE ON A DIMMING CIRCUIT SO ALTERNATE PLANS CAN BE MADE.
- ALL EXPOSED SWITCHES AND OUTLETS TO BE *(INSERT SERIES) SERIES WITH (INSERT COVERPLATES) COVERPLATES BY (INSERT MANUF).
- DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES.**COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
- ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.
- INSTALLATION SHALL CONFORM TO CURRENT ADOPTED (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND ARCHITECT AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.
- COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ANY INTERIOR ELEVATIONS.
- NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

LEGEND

- | | | |
|---|---|------------------------------|
| TV HOOK-UP (LIST CABLING REQ'D: CAT6, STRUCTURED CABLING, ETC.) | THERMOSTAT | PLUG-IN FIXTURE |
| KEYPAD | EXHAUST FAN | PENDANT |
| ETHERNET / PHONE (LIST JACK REQUIREMENTS) | HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR) | CEILING MOUNTED SPEAKER |
| SWITCH (DIMMING CIRCUIT) | SMOKE/CO DETECTOR | IN-WALL SPEAKER |
| DUPLEX RECEPTACLE (USB INDICATES CHARGING OUTLET/STATION) | REMOTE TRANSFORMER | LED STRIP LIGHT |
| QUAD RECEPTACLE | FIXTURE TYPE, SEE SCHED. INTD. LIGHT | STEP LIGHT |
| GFCI DUPLEX RECEPTACLE | RECESSED LIGHT (ARROW = DIRECTIONAL) | IN-GROUND/WELL LIGHT |
| FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE) | WALL MOUNTED LIGHT | TRACK/HEADS |
| | MONOPOINT | WALL MOUNTED SWING-ARM LIGHT |
| | | ELECTRICAL PANEL |

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.	Description	Date
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

FIRST FLOOR RCP

Project No.:

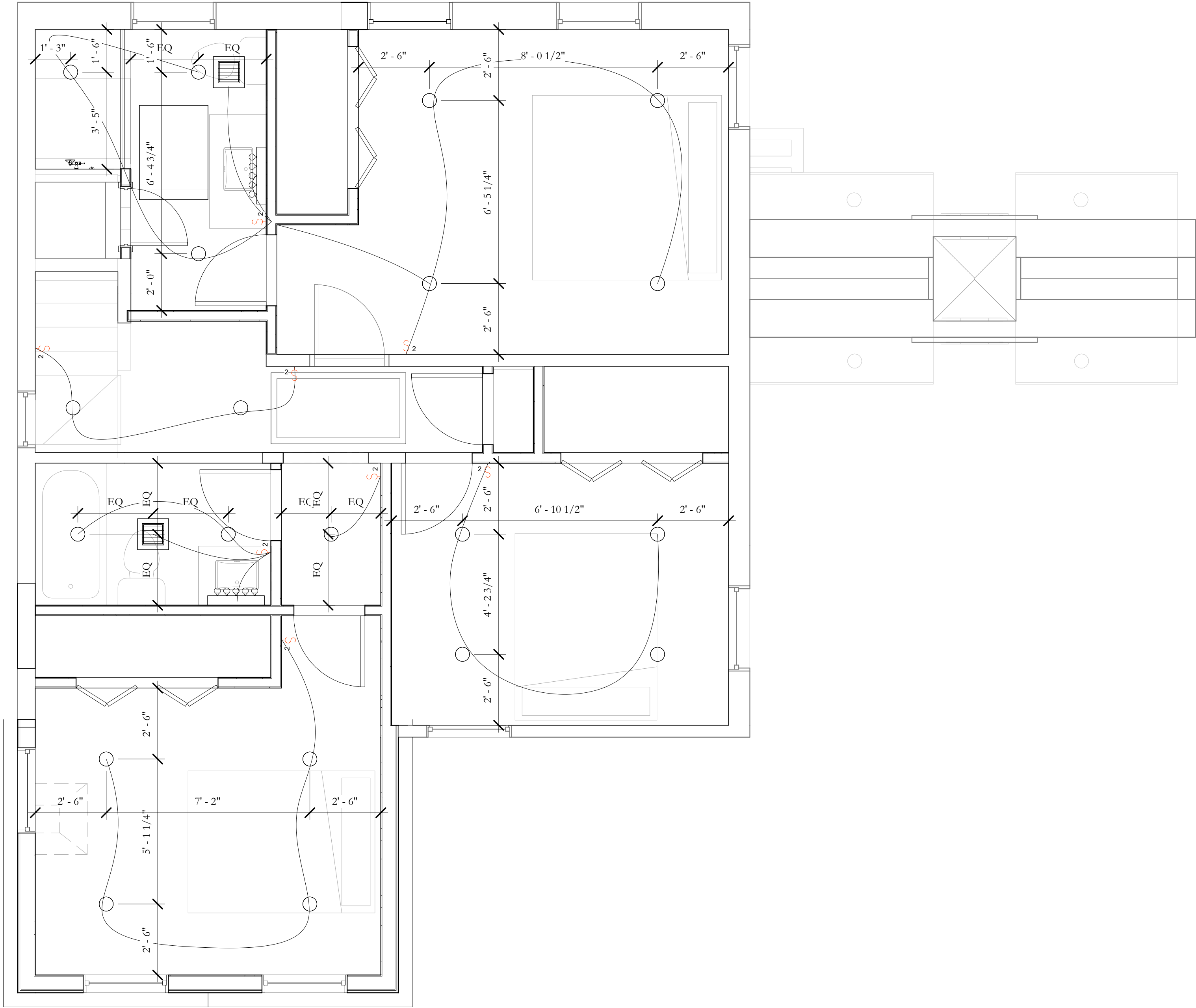
Sheet No.:

19001

A-201

Scale:

As indicated



01 SECOND FLOOR

3/8" = 1'-0"

GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

- A. INSTALL ALL RECEPTACLES AT (INSERT HEIGHT)" A.F.F. (HORIZONTALLY/VERTICALLY), U.N.O.
B. INSTALL ALL ABOVE COUNTER OUTLETS (HORIZONTALLY/VERTICALLY) WITH A CENTERLINE OF(INSERT HEIGHT)" A.F.F., U.N.O.
C. INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT)A.F.F. INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.
D. MOUNT CENTERLINE OF THERMOSTATS + KEYPADS AT (INSERT HEIGHT) A.F.F. CENTER ON SWITCHES BELOW IF APPLICABLE.
E. ALL SWITCHES TO BE ON DIMMING CIRCUITS. NOTIFY ARCHITECT PRIOR TO ROUGH-IN OF ANY FIXTURE LOCATIONS THAT ARE NOT ABLE TO BE ON A DIMMING CIRCUIT SO ALTERNATE PLANS CAN BE MADE.
F. ALL EXPOSED SWITCHES AND OUTLETS TO BE *(INSERT SERIES) SERIES WITH (INSERTCOVERPLATES) COVERPLATES BY (INSERT MANUF).
G. DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES.**COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
H. ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.
I. INSTALLATION SHALL CONFORM TO CURRENT ADOPTED (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITTING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND ARCHITECT AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.
J. COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ANY INTERIOR ELEVATIONS.
K. NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

LEGEND

- TV HOOK-UP (LIST CABLING REQ'D: CAT6, STRUCTURED CABLING, ETC.
KEYPAD
- ETHERNET / PHONE (LIST JACK REQUIREMENTS)
- SWITCH (DIMMING CIRCUIT)
- DUPLEX RECEPTACLE (USB INDICATES CHARGING OUTLET/STATION)
- QUAD RECEPTACLE
- GFCI DUPLEX RECEPTACLE
- FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE)
- THERMOSTAT
- EXHAUST FAN
- HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR)
- SMOKE/CO DETECTOR
- REMOTE TRANSFORMER
- FIXTURE TYPE, SEE SCHED. INTD. LIGHT
- RECESSED LIGHT (ARROW = DIRECTIONAL)
- WALL MOUNTED LIGHT
- MONOPOINT
- PLUG-IN FIXTURE
- PENDANT
- CEILING MOUNTED SPEAKER
- IN-WALL SPEAKER
- LED STRIP LIGHT
- STEP LIGHT
- IN-GROUND/WELL LIGHT
- TRACK/HEADS
- WALL MOUNTED SWING-ARM LIGHT
- ELECTRICAL PANEL

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.	Description	Date
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

SECOND FLOOR
RCP

Project No.:

Sheet No.:

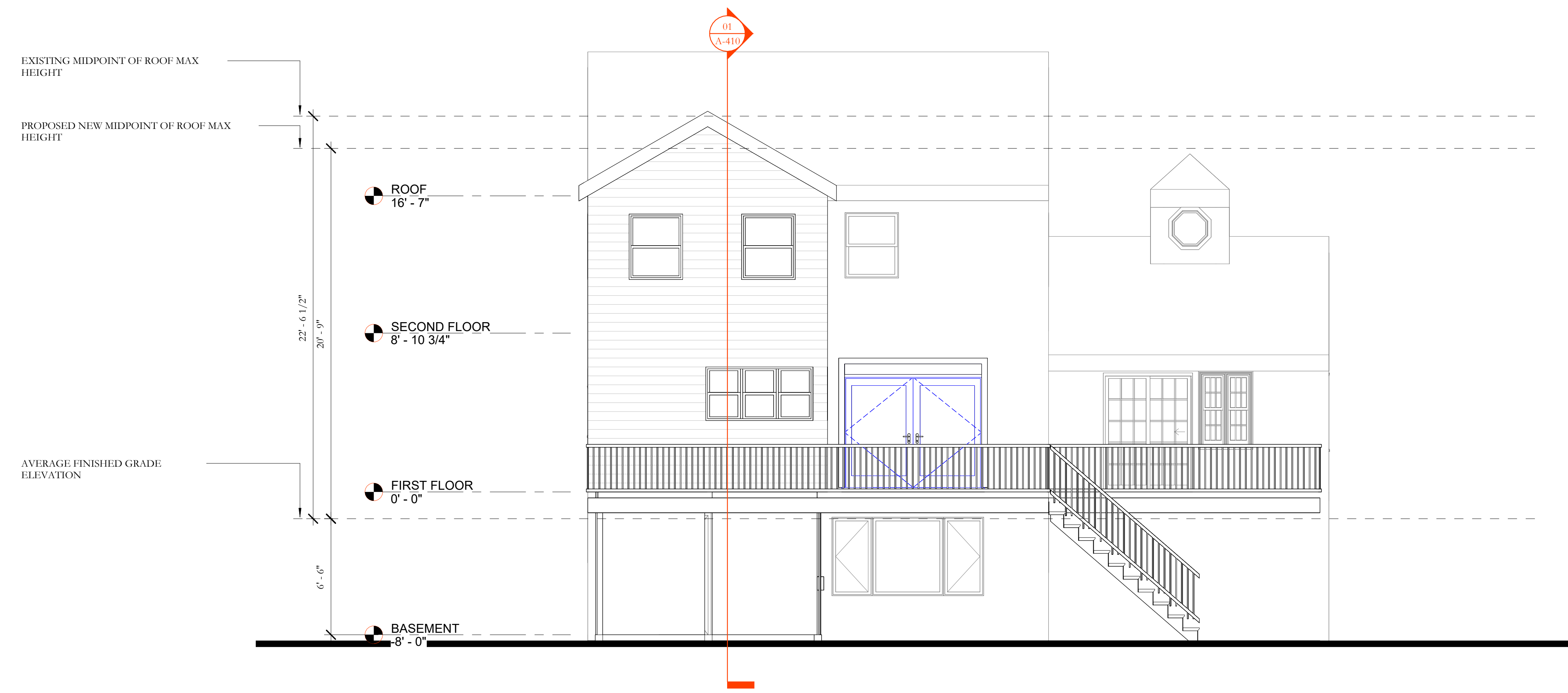
19001

A-202

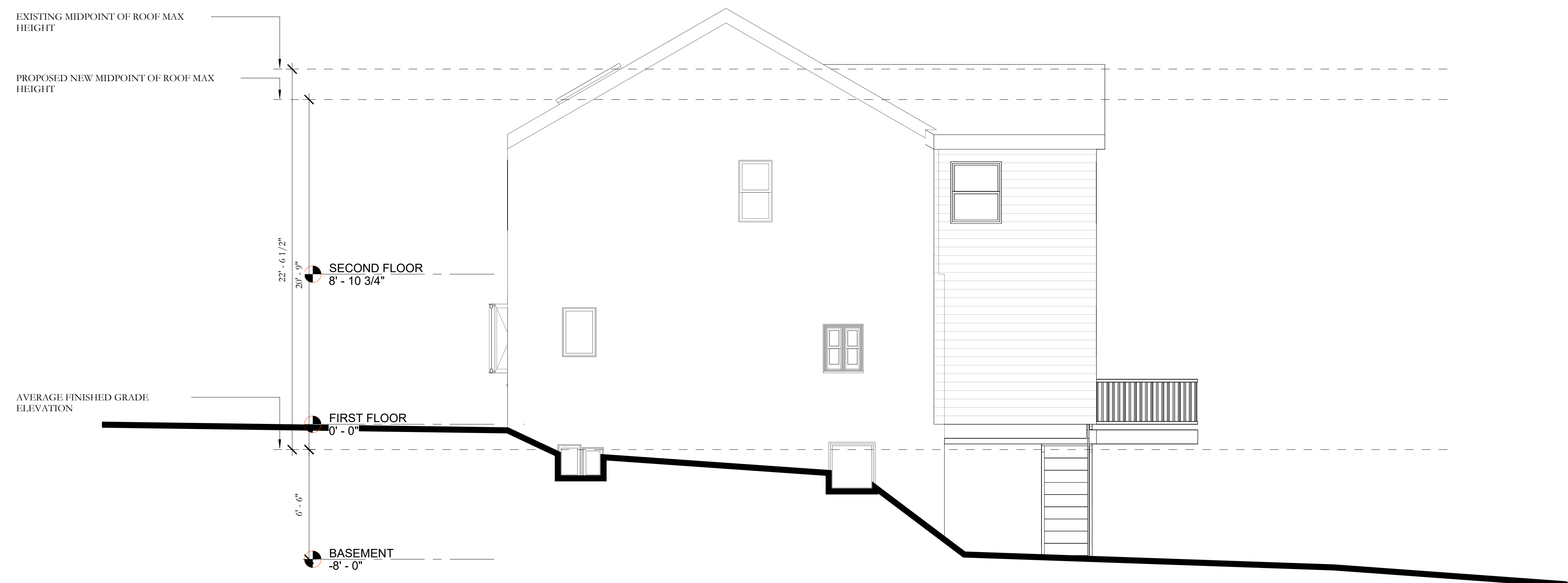
Scale:

As indicated

7/17/2025 2:39:23 PM



02 SOUTH BUILDING ELEVATION
1/4" = 1'-0"



01 WEST BUILDING ELEVATION
1/4" = 1'-0"

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

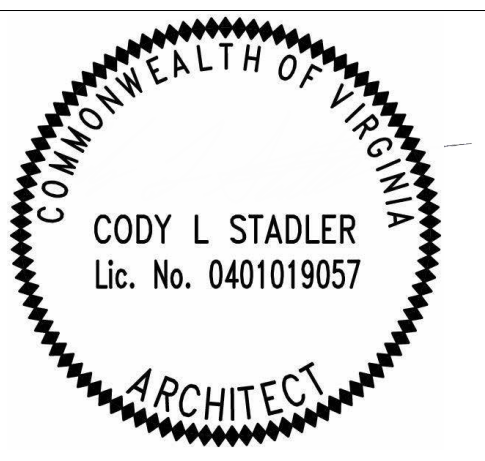
Consultants:

Issued For:

No.:	Description:	Date:
1	ISSUE FOR PERMIT	06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BUILDING
ELEVATIONS

Project No.:

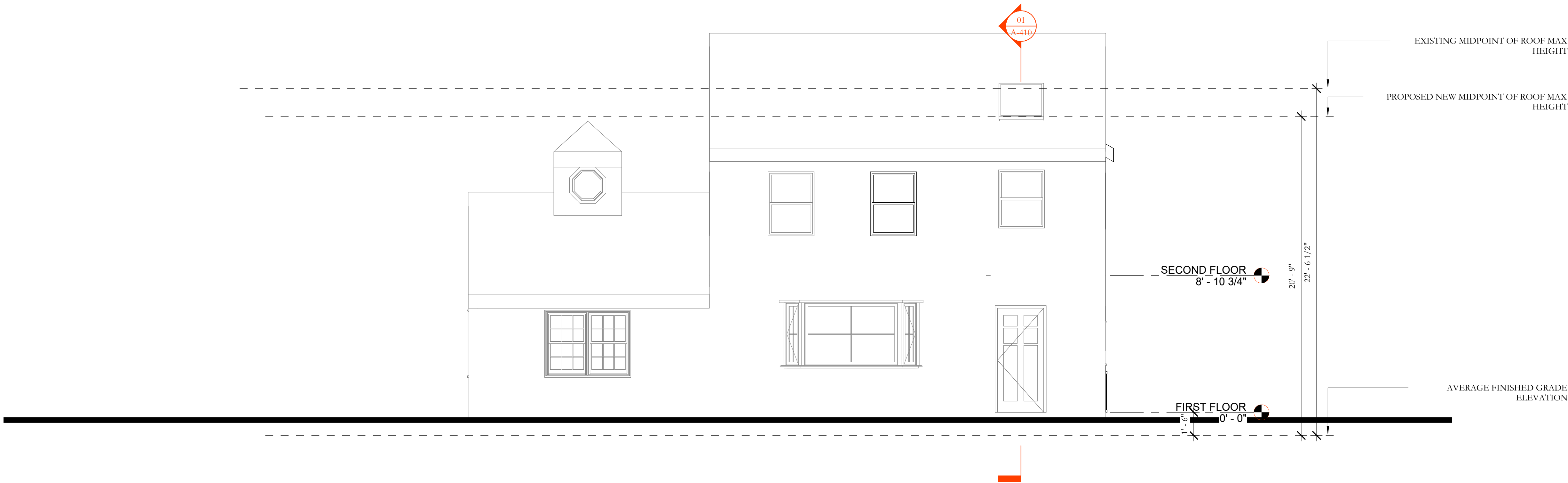
19001

Sheet No.:

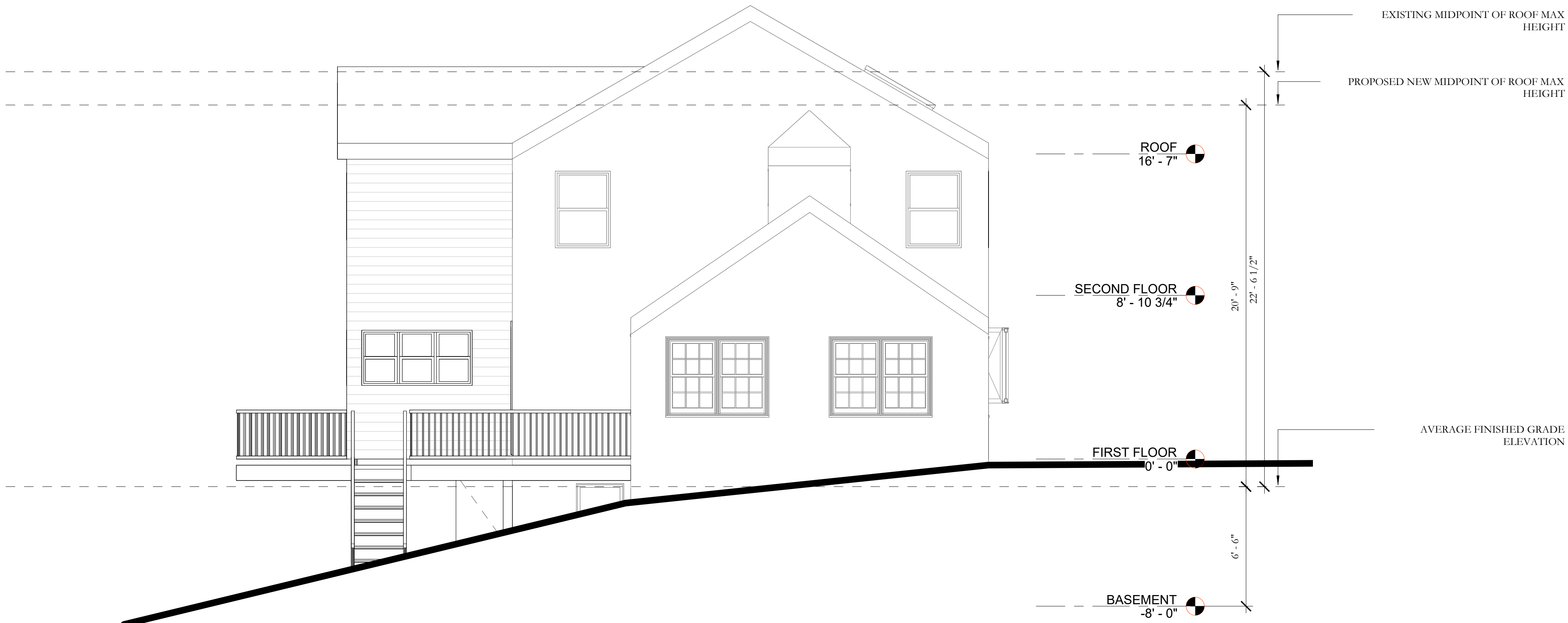
A-400

Scale:

1/4" = 1'-0"



02 NORTH BUILDING ELEVATION
1/4" = 1'-0"



01 EAST BUILDING ELEVATION
1/4" = 1'-0"

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

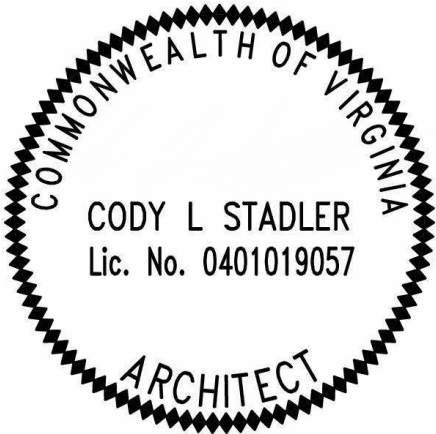
Issued For:

No.: Description: Date:

1 | ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BUILDING
ELEVATIONS

Project No.:

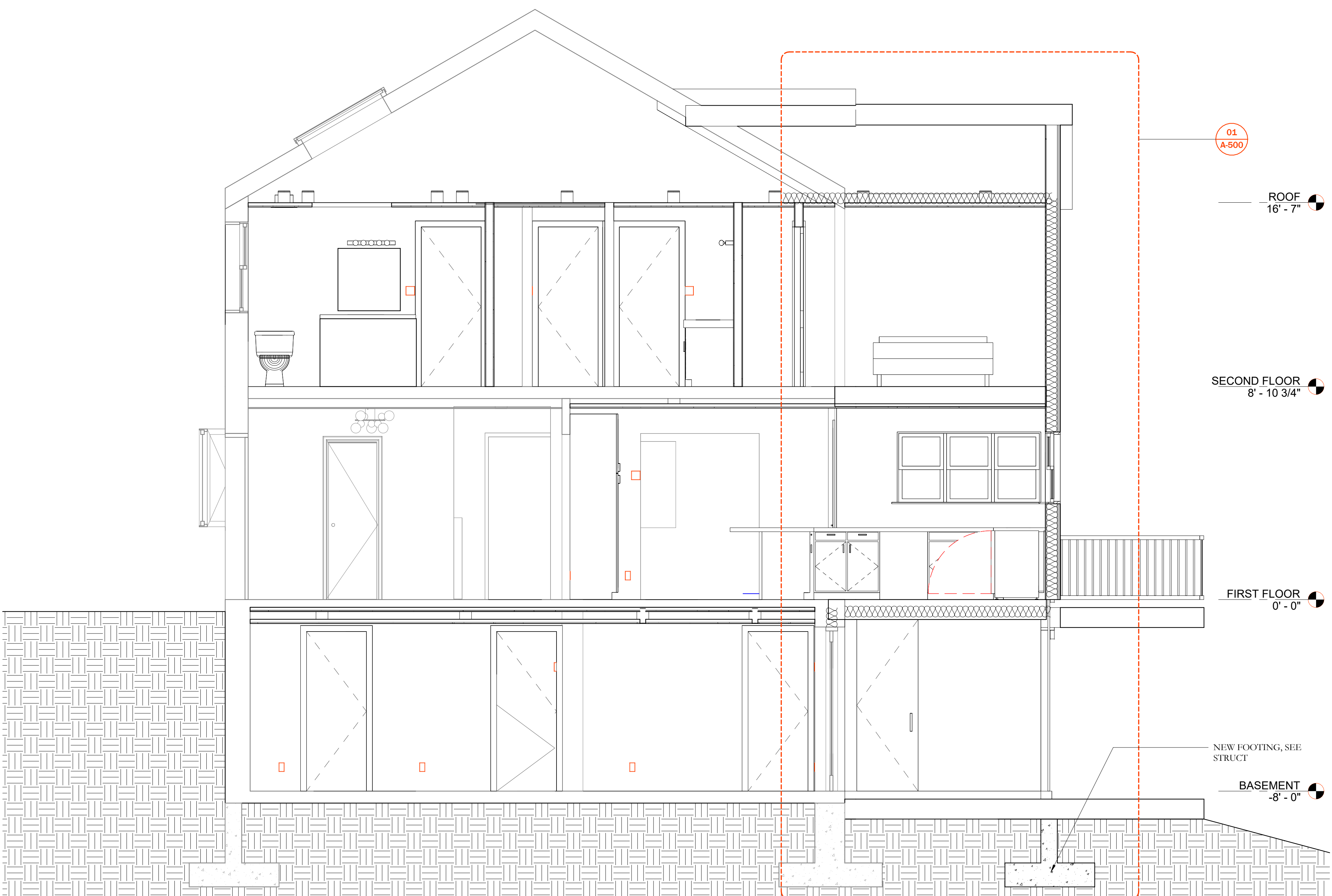
19001

Sheet No.:

A-401

Scale:

1/4" = 1'-0"



01 BUILDING SECTION 1
3/8" = 1'-0"

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.: Description: Date:

1 ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

BUILDING
SECTION

Project No:

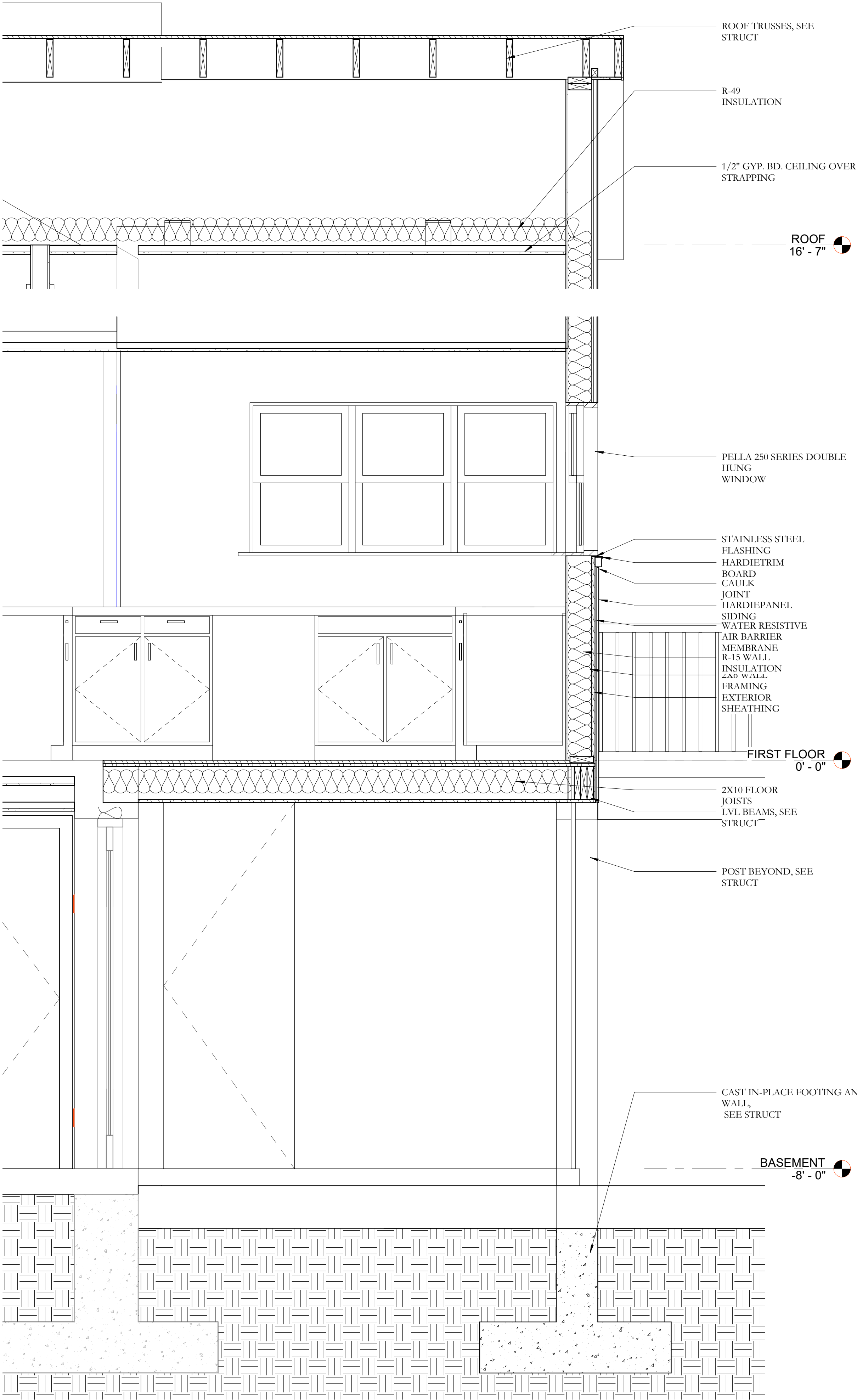
Sheet No:

19001

A-410

Scale:

3/8" = 1'-0"



01 TYPICAL WALL SECTION
3/4" = 1'-0"

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

Issued For:

No.	Description	Date
-----	-------------	------

1	ISSUE FOR PERMIT	06/10/2025
---	------------------	------------

Key Plan:

Seal & Signature:



Sheet Name:

WALL SECTIONS

Project No.:

19001

Sheet No.:

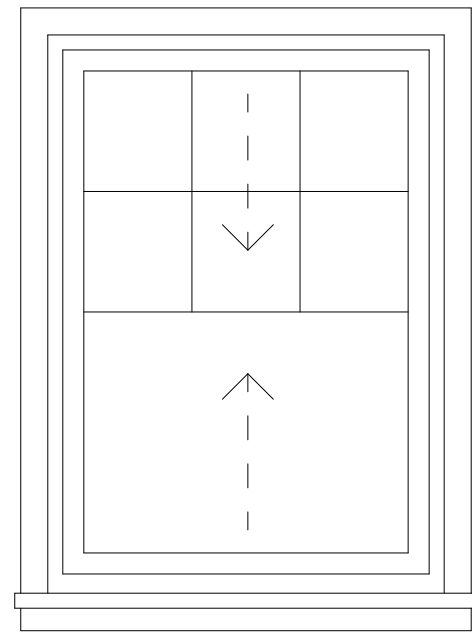
A-500

Scale:

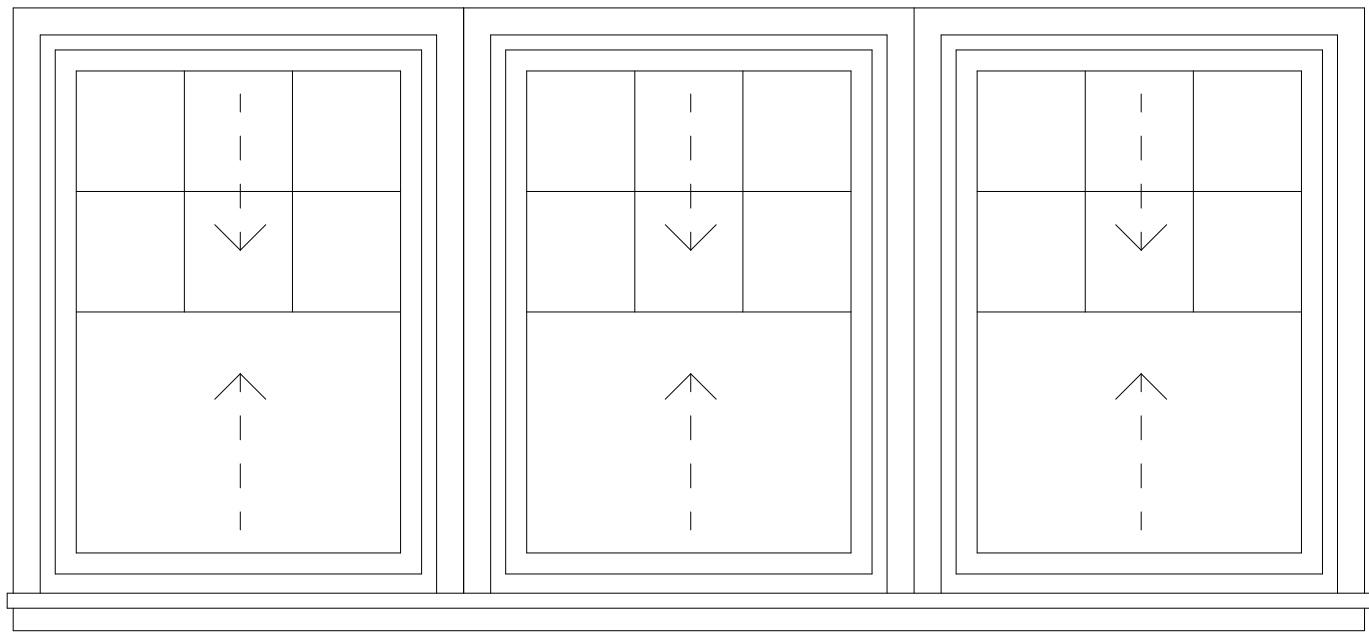
3/4" = 1'-0"

7/17/2025 2:39:25 PM

WINDOW SCHEDULE								
WD No.	Type	Level	Width	Height	Sill Height	Head Height	Manufacturer	Description
13A	A	FIRST FLOOR	6' - 0"	3' - 0"	4' - 0"	7' - 0"	PELLA	
13B	A	FIRST FLOOR	6' - 0"	3' - 0"	4' - 0"	7' - 0"	PELLA	
21A	B	SECOND FLOOR	3' - 0"	4' - 2"	2' - 7"	6' - 9"	PELLA	
21B	3	FIRST FLOOR	7' - 8"	0' - 7"				
25A	B	SECOND FLOOR	3' - 0"	3' - 8"	3' - 0"	6' - 8"	PELLA	
25B	B	SECOND FLOOR	3' - 0"	3' - 8"	3' - 0"	6' - 8"	PELLA	
25C	B	SECOND FLOOR	3' - 0"	3' - 8"	3' - 0"	6' - 8"	PELLA	

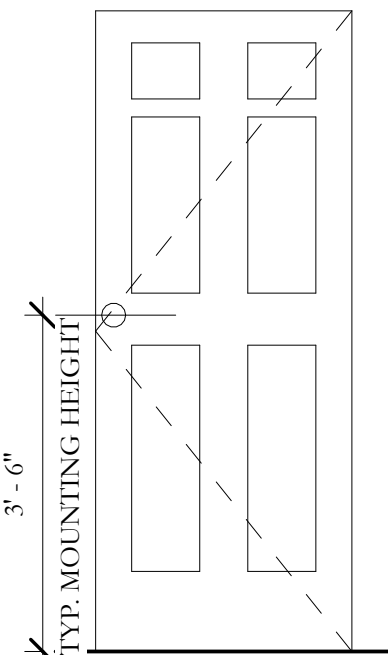


TYPE A
DOUBLE-
HUNG

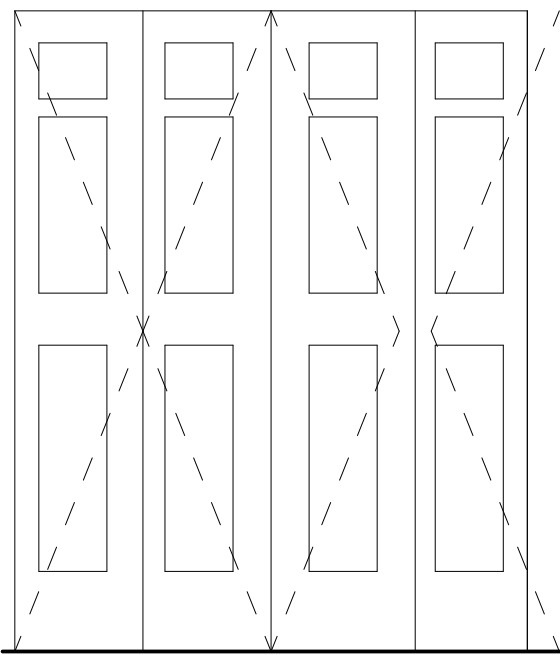


TYPE B - TRIPLE
DOUBLE-HUNG

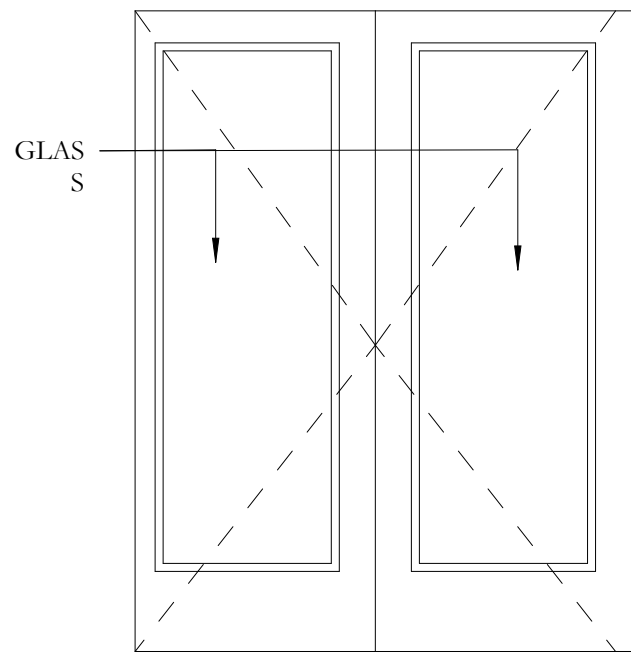
DOOR SCHEDULE								
Mark	Level	Height	Width	Door Type	Finish	Frame Material	Thickness	Comments
02A	BASEMENT	6' - 8"	2' - 6"	A			0' - 1 3/4"	
02B	BASEMENT	6' - 8"	4' - 0"	B			0' - 1 1/2"	
03	BASEMENT	6' - 8"	2' - 6"	A			0' - 1 3/4"	
04	BASEMENT	6' - 8"	2' - 6"	A			0' - 1 3/4"	
05	BASEMENT	6' - 8"	2' - 6"	A			0' - 1 3/4"	
20	SECOND FLOOR	6' - 8"	2' - 6"	A			0' - 1 3/4"	
21B	SECOND FLOOR	6' - 8"	2' - 6"	B			0' - 1 3/4"	
21C	SECOND FLOOR	6' - 8"	5' - 0"	B			0' - 1 1/2"	
22A	SECOND FLOOR	6' - 8"	2' - 0"	A			0' - 1 1/2"	
23A	SECOND FLOOR	6' - 8"	2' - 6"	A			0' - 1 3/4"	
23B	SECOND FLOOR	6' - 8"	5' - 0"	B			0' - 1 1/2"	
24	SECOND FLOOR	6' - 8"	2' - 6"	A			0' - 1 3/4"	
25A	SECOND FLOOR	6' - 8"	2' - 6"	A			0' - 1 3/4"	
25B	SECOND FLOOR	6' - 8"	5' - 0"	A			0' - 1 1/2"	
EX01	FIRST FLOOR	6' - 2"	7' - 8"	EX01			0' - 1 1/2"	



TYPE A



TYPE B (BI-FOLDING)



TYPE EXF (FRENCH DOORS)

stadlerdesign
architecture / design

2000 Duke St | 3rd Floor
Alexandria, VA 22314

Thompson

3106 Holly St
Alexandria, VA 22306

Consultants:

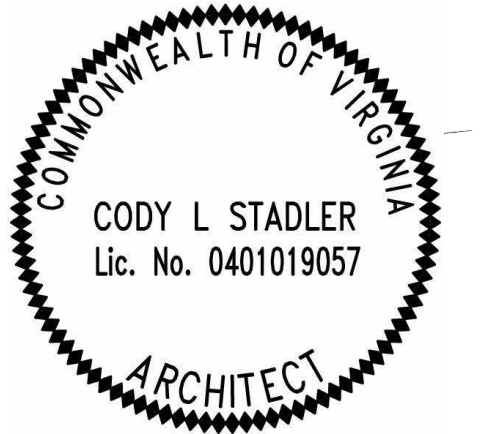
Issued For:

No.: Description: Date:

1 | ISSUE FOR PERMIT 06/10/2025

Key Plan:

Seal & Signature:



Sheet Name:

WINDOW AND
DOOR
SCHEDULES

Project No.:
19001

Sheet No.:

A-700

Scale:
As indicated



Front Elevation



Front Elevation



Basement Walkout

Basement Walkout with Adjacent Property





Side Elevation On Side of Property Seeking Exception

University of Virginia
Alexandria, VA

Opposite Side Elevation

