ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness

for alterations

APPLICANT: Demaine Funeral Home

LOCATION: Old and Historic Alexandria District

520 South Washington Street

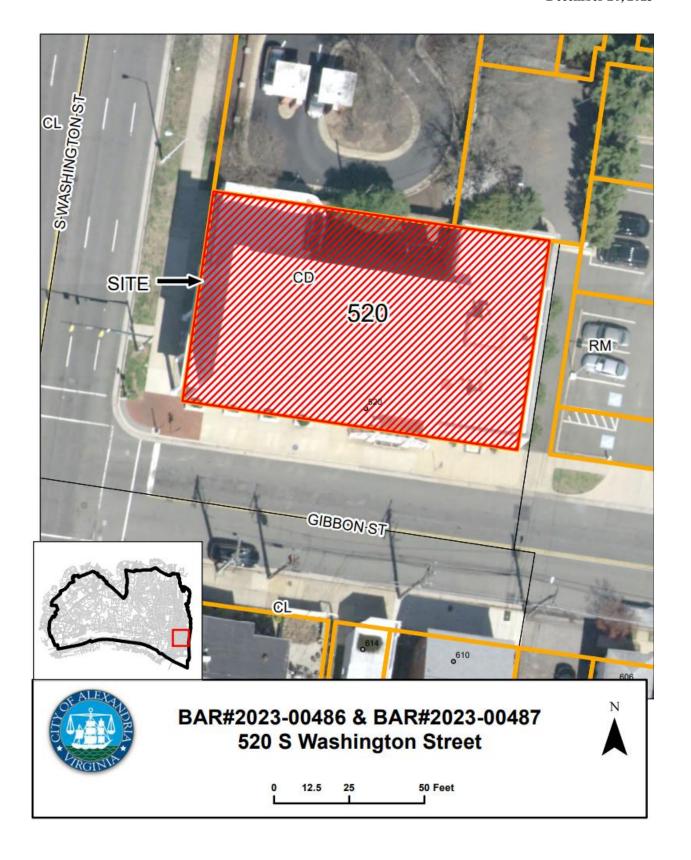
ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, with the condition that the applicant work with Staff to choose an appropriate design for the light fixture above the garage door.

GENERAL NOTES TO THE APPLICANT

- 1. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
- 2. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
- 3. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (<u>including signs</u>). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
- 4. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
- 5. EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
- 6. HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the <u>Virginia Department of Historic Resources (VDHR)</u> prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2023-00486) and Certificate of Appropriateness (BAR #2023-00487) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. <u>APPLICANT'S PROPOSAL</u>

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations to repair the north masonry wall that was damaged by a vehicle impact, demolish an existing rear masonry staircase on the north elevation, and add a new pedestrian door, vehicular garage door, bollards, light fixture, and concrete driveway to the north elevation. All alterations will take place on the one-story addition that dates from 1975.

Site context

The parcel containing Demaine Funeral Home is bounded by a Capital One Bank drive-through to the north, South Washington Street to the west, Gibbon Street to the south, and a surface parking lot to the east. Due to the massing of the building, which consists of a historic structure and two modern additions, the project area is separated from the nearest public right of way, South Saint Asaph Street, by a large surface parking lot and an existing porte-cochère (Figure 1). Therefore, the proposed alterations to the rear of the 1975 addition (the northwest massing bounded by South Washington Street) will be very minimally visible from South Saint Asaph Street. The repaired masonry wall on the north elevation of the addition, as well as the removal of the masonry staircase, will be visible from South Washington Street.



Figure 1. The yellow star indicates the project area, which is set back from South Saint Asaph Street by a 1994 addition and a surface parking lot.

II. <u>HISTORY</u>

520 South Washington Street houses the Demaine Funeral Home. It is a four and a half story brick building that was originally constructed in **1902** as the Paff Shoe Factory. When the building was remodeled in 1947 it won high praise from the *Gazette*. In a front page picture and article, the newspaper said the building had been "rebuilt to maintain the historic atmosphere of the city" and "The building is of colonial design with large white columns and portico in soft gray and white."

On **June 18, 1975**, the Board approved a new addition on the north elevation of the main massing.

On October 19, 1994, the Board approved a new addition on the east elevation of the main massing (BAR94-0119 & 94-0177). The applicant proposes alterations to the 1975 addition only; the other two massings will be unaffected.

Previous BAR Approvals

7/8/70 Lighting at parking area

 4/21/71
 Signage

 6/16/71
 New fence

 6/18/75
 New addition

BAR94-0119 & BAR94-0177 Partial rear demolition & new addition

BAR98-0202 Replacement of windows

BAR2002-00249 Replacement of front porch columns

BAR2016-00073 Repair of mortar and siding; replacement of window sashes

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design.

The demolition involved in this project, all on the east elevation, involves the removal of an exterior masonry staircase and the removal of portions of the masonry wall to create openings for a new pedestrian and vehicular doorway. The masonry staircase proposed for demolition was constructed in 1975 to provide access to a roof terrace which is no longer in use (Figure 2). The staircase is not a historic feature, and its removal will not adversely affect the historic integrity of Demaine Funeral Home. Additionally, the amount of masonry wall removed to create the pedestrian and vehicular doorways will be very minimally visible from the nearest public right of way. The applicant has indicated that after demolition, the affected masonry walls will be repaired in-kind and painted to match the existing masonry.



Figure 2. The masonry staircase proposed for demolition.

Staff therefore has no objection to the proposed demolition and recommends approval of the Permit to Demolish/Capsulate, as submitted.

Certificate of Appropriateness

On the north elevation, a large portion of the exterior masonry wall has been damaged by a vehicular collision (Figures 3 and 4). The applicant proposes to repair the damaged wall in-kind and paint the new brick to match the existing masonry.



Figures 3 & 4. The masonry wall on the north elevation was damaged by a collision.

On the east elevation, after demolishing the masonry staircase, the applicant proposes to create openings for a new pedestrian door and vehicular garage door (Figure 5). The garage door will be a Clopay Reserve wood style door with PVC trim. Both the door and trim will be painted to match the existing trim. The pedestrian door will be a flush style wood door painted to match the adjacent masonry wall. Additionally, there will be two stainless steel bollards flanking the garage door, and an LED wall-mounted light fixture above the garage.

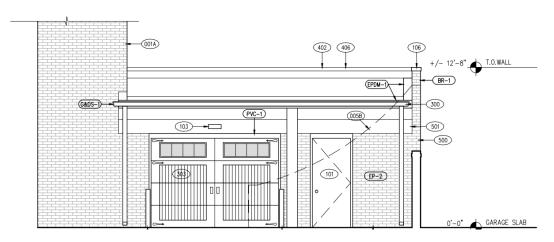


Figure 5. Proposed east elevation showing the design of the pedestrian and vehicular doors, bollards, and lighting.

To provide vehicular access to the garage, the applicant proposes a new concrete driveway connecting the porte-cochère of the 1994 addition to the new garage door (Figure 6). Because the driveway will be accessed from an existing surface parking lot and through the porte-cochère, there are no new curb cuts proposed in this project.

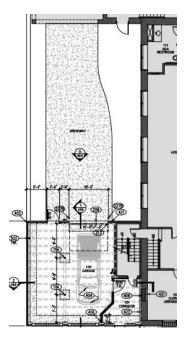


Figure 6. Proposed concrete driveway connecting the porte-cochère to the 1975 addition.

Figures 7 and 8 below show the minimal visibility of the alterations when standing on South Saint Asaph Street.



Figure 7. The existing masonry staircase can be seen through the porte-cochere.

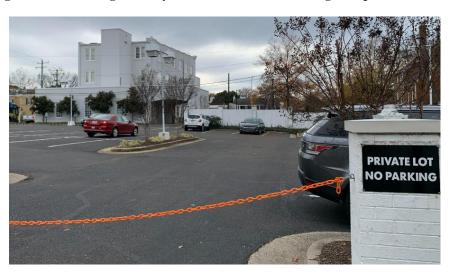


Figure 8. The project area is separated from the public right of way by a large private surface parking lot.

According to the *Design Guidelines*, "Exterior doors...constitute prominent visual details of the main façade of a building. In addition to the door itself, details surrounding the doorway are also important visual elements of a building...Exterior doors should complement the architecture of the structure and not detract from it." The proposed pedestrian and vehicular garage doors will be located on a modern addition and the proposed designs and materials are compatible with the architecture of the addition. Additionally, the doors will be very minimally visible from the public right of way. Overall, the proposed alterations will not have a significant impact on the history or integrity of Demaine Funeral Home.

Staff therefore recommends approval of the Certificate of Appropriateness for alterations, with the condition that the applicant work with Staff to choose an appropriate design for the light fixture above the garage door.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. <u>CITY DEPARTMENT COMMENTS</u>

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed wall repair and new garage door will comply with zoning.

Code Administration

C-1 A building permit is required for review.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-

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6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight is required for this project.

V. <u>ATTACHMENTS</u>

- 1 Application Materials
- 2 Supplemental Materials

BAR CASE#
ADDRESS OF PROJECT: 520 S. WASHINGTON ST.
DISTRICT: ☑Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building
TAX MAP AND PARCEL: 080. 02-02-02 ZONING:
APPLICATION FOR: (Please check all that apply)
☑ CERTIFICATE OF APPROPRIATENESS
PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH (Required if more than 25 square feet of a structure is to be demolished/impacted)
WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)
Applicant: Property Owner Business (Please provide business name & contact person)
Name: DEMAINE FUNERAL HOME
Address: 520 S. WASHINGTON ST.
City: ALEXANDRIA State: VA Zip: 22314
Phone: 703.549.0074 E-mail: CARRIE. HARE@ DIGNITYMEMORIAL.COM
Authorized Agent (if applicable): Attorney Architect
Name: TOM FLANAGAN Phone: 301-652-4811
E-mail: TFLANAGAN @ FLANAGANARCHITECTS, COM
Legal Property Owner:
Name: SCI OHIO FUNERAL SERVICES, INC.
Address: 1929 AUTN PARKWAY
City: HOUSTON State: TX Zip: 17019
Phone: 404.725.4767 E-mail: JOE. MAXWELL @SCI-US. COM

BAR CASE#
(OFFICE USE ONLY)
NATURE OF PROPOSED WORK: Please check all that apply
NEW CONSTRUCTION ✓ EXTERIOR ALTERATION: Please check all that apply. □ awning □ fence, gate or garden wall □ HVAC equipment □ shutters ☑ doors □ windows □ siding □ shed □ lighting □ pergola/trellis □ painting unpainted masonry □ other □ ADDITION ☑ ADDITION ☑ DEMOLITION/ENCAPSULATION SIGNAGE
DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).
EXTERIOR ALT REPAIR OF EXIGNING MASONRY WALLS DAMAGED
BY A VEHICLE IMPACT. NEW GARAGE DOOR AT REAR WALL
OF AN EXISTING I-STORY SPACE.
DEMOLITION ENCAPSULATION - DEMOLITION OF AN EXISTING MASONRY STAIR ON THE EXTERIOR OF THE BUILDING (REAR) THAT ONE LED UP TO A ROOPTOP TERRACE THAT IS NO LONGER IN USE.
SUBMITTAL REQUIREMENTS:
☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.
Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the <i>Design Guidelines</i> for further information on appropriate treatments.
Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.
Demolition/Encapsulation: All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.
N/A Survey plat showing the extent of the proposed demolition/encapsulation. Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. Description of the reason for demolition/encapsulation.
Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR CASE#	
	(OFFICE USE ONLY)

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

	N/A	
		Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
		FAR & Open Space calculation form. Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
		Existing elevations must be scaled and include dimensions.
Ш	Ц	Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
		Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
		For development site plan projects, a model showing mass relationships to adjacent properties and structures.
illun	ninat	& Awnings: One sign per building under one square foot does not require BAR approval unless ed. All other signs including window signs require BAR approval. Check N/A if an item in this section does y to your project.
		Linear feet of building: Front:Secondary front (if corner lot): Square feet of existing signs to remain: Photograph of building showing existing conditions. Dimensioned drawings of proposed sign identifying materials, color, lettering style and text. Location of sign (show exact location on building including the height above sidewalk). Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable). Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.
Alt	erat	tions: Check N/A if an item in this section does not apply to your project.
Ø	NA	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows,
V		doors, lighting, fencing, HVAC equipment and walls. Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
	P	An official survey plat showing the proposed locations of HVAC units, fences, and sheds. Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR	CASE#	
		(OFFICE USE ONLY)

- ALA FOLFLANAGON ARCHITECTS, P.C.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.

I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

I, the applicant, or an authorized representative will be present at the public hearing.

I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:

ted Name: Tom FLANGEAN

Date: 11.09.2023

OWNERSHIP AND DISCLOSURE STATEMENT Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership		
1. MICHAEL L. DECELL	1929 ALLEN PARKWAY HOUSTON, TX 77019			
2.				
3.				

2. <u>Property.</u> State the name, address and percent of ownership of any person or entity owning an interest in the property located at <u>520 5. WASHINGTON ST.</u> (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MICHAEL L. DECELL	HOUSTON, TX 77019	
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)		
1. N/A				
2.				
3.	3.00			

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant	t or the applicant's	authorized agen	t, I hereby	attest t	to the be	est of my	ability	that
the information	provided above is	true and correct.		1	1			

Date Printed Name

Signature

OWNERSHIP AND DISCLOSURE STATEMENT Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MICHAEL L. DECELL	1929 ALLEN PARKWAY HOUSTON, TX 77019	
2.		
3.		

2. <u>Property.</u> State the name, address and percent of ownership of any person or entity owning an interest in the property located at <u>520 5. Washington</u> (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Address	Percent of Ownership
1929 ALLEN PARKWAY LLOUSTON TX 77019	
	,

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.	46.5	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicar	nt or the applicant's authoriz	zed agent, I hereby attest to the best of my ability that
the information	provided above is true and	correct.
11.09.23	TOM FLANAGAN	Monny -ALA

Printed Name

Date

REPAIR OF EXISTING WALLS DAMAGED BY A VEHICLE IMPACT AT

DEMAINE FUNERAL HOME OF ALEXANDRIA

520 S. WASHINGTON STREET ALEXANDRIA, VA 22314

GENERAL CONDITIONS

OWNER WILL RETAIN, AT HIS EXPENSE, INSPECTORS ACCEPTABLE TO THE COUNTY AUTHORITIES WHERE INDEPENDENT NSPECTORS ARE REO'D. CONTRACTOR SHALL COORDINATE AND FACILITATE INSPECTIONS ON A TIMELY BASIS SO AS NOT O DELAY PROGRESS OF THE WORK. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING REQ'D INSPECTIONS WITH

SUBMIT SCHEDULE OF VALUES ON AIA FORM G703, OR APPROVED EQUIVALENT, IN DUPLICATE, WITHIN 15 DAYS OF START

SUBMIT FOUR (4) COPIES OF EACH APPLICATION FOR PAYMENT ON AIA FORM G702, MONTHLY, USING SCHEDULE OF VALUES OF LISTING ITEMS ALTERNATIVE FORMS MAY BE USED IF ACCEPTABLE TO ARCHITECT

OWNER RESERVES THE RIGHT TO IMPLEMENT CHANGES VIA CHANGE ORDER FORM, AIA G701.

ALTERNATES AND SUBSTITUTIONS ARE TO BE CLEARLY IDENTIFIED AS SUCH WHEN PROPOSED AND SUBMITTED BY THE CONTRACTOR AND WILL BE REVIEWED AND ACCEPTED OR REJECTED AT THE OWNER'S OPTION.

CONTRACTOR SHALL COORDINATE SCHEDULING, SUBMITTALS AND WORK OF VARIOUS SUBCONTRACTORS TO ASSURE FFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF INTERDEPENDENT CONSTRUCTION ELEMENTS. VERIFY UTILITY EQUIREMENTS OF OPERATING EQUIPMENT ARE COMPATIBLE WITH SITE UTILITIES. COORDINATE SPACE REQUIREMENTS AND NSTALLATION OF MECHANICAL AND ELECTRICAL WORK WHICH ARE INDICATED DIAGRAMATICALLY ON DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPES, DUCTS AND CONDUIT AS CLOSELY AS PRACTICABLE. IN FINISHED AREAS CONCEAL PIPES,

DUCTS AND WIRING WITHIN THE CONSTRUCTION. 1.07 FIELD ENGINEERING (WHERE REQUIRED) OWNER WILL EMPLOY A LÀND SURVEYOR OR EXPERIENCED INSTRUMENT TECHNICIAN TO LOCATE A REFERENCE DATUM AND

PROTECT SURVEY CONTROL AND REFERENCE POINTS. CONTRACTOR SHALL ESTABLISH ELEVATIONS, LINES AND LEVELS AND CERTIFY THAT ELEVATIONS AND LOCATIONS OF THE WORK CONFORM WITH CONTRACT DOCUMENTS. CONTRACTOR SHALL EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING NEW WORK; RESTORE WORK WITH

NEW PRODUCTS. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERING STRUCTURAL OR BUILDING ENCLOSURE ELEMENTS. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING AND FLOOR CONSTRUCTION; COMPLETELY SEAL VOIDS. REFINISH SURFACES TO MATCH ADJACENT FINISHES.

1.09 PROGRESS MEETINGS, CONFERENCES CONTRACTOR WILL SCHEDULE AND CONDUCT A PRE-CONSTRUCTION CONFERENCE, PERIODIC PROGRESS MEETINGS AND. WHERE REQUIRED IN SPECIFICATIONS OR BY PRODUCT MANUFACTURER, PRE-INSTALLATION CONFERENCES. RECORD WINUTES OF MEETINGS AND DISTRIBUTE WITHIN TWO DAYS TO ARCHITECT, ATTENDEES AND THOSE AFFECTED BY DECISIONS

COVER EACH SUBMITTAL WITH A TRANSMITTAL IDENTIFYING PROJECT, CONTRACTOR, SUBCONTRACTOR OR SUPPLIER RESPONSIBLE FOR PREPARING SUBMITTAL, AND PERTINENT CONTRACT DOCUMENT REFERENCES. EACH SUBMITTAL SHALL HAVE CONTRACTOR'S STAMP, SIGNED OR INITIALS, CERTIFYING THAT PRODUCT, FIELD DIMENSIONS, ADJACENT CONSTRUCTION AND COORDINATION OF INFORMATION IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS. HIGHLIGHT SPECIFIC ITEMS SUBMITTED ON DOCUMENTS WHICH SHOW MULTIPLE ITEMS. CLEARLY

IDENTIFY ALTERNATES AND PROPOSED SUBSTITUTIONS INCLUDING COMPARISONS WITH ITEMS SPECIFIED AND COST

BUBMIT NUMBER OF COPIES CONTRACTOR NEEDS PLUS THREE COPIES (FOR ARCHITECT, ENGINEER AND OWNER) OF SHOP DRAWINGS AND PRODUCT DATA AND AT LEAST TWO ORIGINALS OF COLOR CHARTS, SAMPLES, MANUFACTURER'S NSTRUCTIONS AND MANUFACTURER'S CERTIFICATES REQUIRED BY SPECIFICATIONS.

APPROVED FIELD SAMPLES AND MOCKUPS MAY BE INCORPORATED INTO THE FINAL WORK.

1.11 Construction Progress Schedules

ADDITION OR DEDUCTION IF SUBSTITUTION IS ALLOWED.

SUBMIT INITIAL PROGRESS SCHEDULE (HORIZONTAL BAR CHART) IN DUPLICATE WITHIN 15 DAYS AFTER START OF CONSTRUCTION AND REVISED SCHEDULES WITH EACH APPLICATION FOR PAYMENT. INDICATE ESTIMATED PERCENTAGE COMPLETION FOR EACH ITEM OF WORK AT EACH SUBMISSION.

1.12 PROPOSED PRODUCTS LIST WITHIN 15 DAYS AFTER START OF CONSTRUCTION, SUBMIT COMPLETE LIST OF MAJOR PRODUCTS PROPOSED FOR USE, WITH

NAME OF MANUFACTURER, TRADE NAME AND MODEL NUMBER OF EACH PRODUCT. .13 TEMPORARY UTILITIES

PROVIDE AND MAINTAIN TEMPORARY ELECTRICAL POWER, SITE AND BUILDING LIGHTING, WEATHER-TIGHT FIELD OFFICE WITH HEAT, LIGHTING AND DRAWING DISPLAY TABLE, HEAT INCLUDING TEMPORARY WEATHER-TIGHT CLOSURES AS REQUIRED. VENTILATION. TELEPHONE AND FAX SERVICE TO FIELD OFFICE COMMENCING AT TIME OF PROJECT MOBILIZATION. SECURITY. PARKING, WATER CONTROL OF EXCAVATIONS, POTABLE WATER AND SANITARY FACILITIES THROUGH TO OCCUPANCY. REMOVE TEMPORARY UTILITIES, AND RESTORE DAMAGE CAUSED BY THEM, PRIOR TO FINAL APPLICATION FOR PAYMENT. CONTRACTOR SHALL PAY COST OF TEMPORARY UTILITIES WHEN UTILITIES ARE NOT ALREADY AVAILABLE.

1.14 CONTRACT CLOSE-OUT PROCEDURES SUBMIT WRITTEN CERTIFICATION THE CONTRACT DOCUMENTS HAVE BEEN REVIEWED, WORK HAS BEEN INSPECTED AND WORK IS COMPLETE IN ACCORDANCE WITH CONTRACT DOCUMENTS AND READY FOR ARCHTECT/ENGINEER'S INSPECTION. ENGINEER AND ARCHITECT WILL EACH VISIT THE SITE AND PREPARE DETAILED PUNCH LISTS OF ITEMS REQUIRED TO BE COMPLETED. WHEN ALL ITEMS ON THE TWO PUNCH LISTS HAVE BEEN COMPLETED, CONTRACTOR SHALL WRITE THE ARCHITECT A LETTER STATING SUCH AND ARCHITECT WILL MAKE FINAL INSPECTION.

1.15 FINAL CLEANING PRIOR TO FINAL INSPECTION, CLEAN ALL INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW. VACUUM CARPETED AREAS AND SOFT SURFACES, MOP AND WAX RESILIENT FLOORS. CLEAN DEBRIS FROM SITE, FLOORS, GUTTERS AND DOWN—SPOUTS AND DRAINAGE SYSTEMS. REPLACE FILTERS OF OPERATING EQUIPMENT. ADJUST, TEST AND BALANCE PERATION PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH, UNHINDERED OPERATION.

MAINTAIN ON SITE ONE SET OF CONTRACT DOCUMENTS, SPECIFICATIONS, SUBMITTALS AND SHOP DRAWINGS LEGIBLY IARKED TO RECORD ACTUAL CONSTRUCTION. SUBMIT DOCUMENTS TO ARCHITECT WITH CLAIM OF FINAL APPLICATION FOR

.17 MANUALS, WARRANTIES AND SPARE PARTS PRIOR TO FINAL INSPECTION, SUBMIT TWO SETS OF OPERATION AND MAINTENANCE DATA AND NOTARIZED WARRANTIES. PROJECT DOCUMENTS AND CERTIFICATES BOUND IN 8 1/2 X 11 INCH THREE-RING BINDERS LABELED "OPERATION AND MAINTENANCE INSTRUCTIONS", AND TITLE OF PROJECT. INCLUDE DIRECTORY LISTING NAMES, ADDRESSES, AND TELEPHONE IUMBERS OF ARCHITECT, ENGINEERS, CONTRACTOR, SUB-CONTRACTORS AND MAJOR EQUIPMENT SUPPLIERS.

ERIFY THAT SURFACE AND BUILDING COMPONENTS ARE READY TO RECEIVE WORK PRIOR TO COMMENCEMENT. BEGINNING F INSTALLATION CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS.

THE CONTRACTOR AND SUBCONTRACTORS SHALL CONTAIN ALL MATERIALS, EQUIPMENT, FIXTURES, MERCHANDISE HIPPING CONTAINERS AND DEBRIS WITHIN THE BOUNDARIES OF THE SPACE. DURING THE DELIVERY OF FIXTURES AND IERCHANDISE, SIDEWALKS, PARKING LOTS, ROADWAYS AND THE EXTERIOR OF THE BUILDING SHALL BE CLEAR OF TRASH

21 TRASH REMOVAL HE CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING THEIR TRASH TO SPECIFICALLY DESIGNATED TRASH PICK-UP REAS. LOCATIONS WILL BE DISCUSSED AT THE PRE—CONSTRUCTION MEETING. TRASH REMOVAL WILL BE HANDLED BY

ILL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

LL EQUIPMENT, MATERIAL, AND ARTICLES INCORPORATED INTO THE PROJECT SHALL BE NEW AND/OR THE MOST SUITABLE GRADE FOR THE PURPOSE INTENDED.

HE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS AND UTILITIES ON ALL ADJACENT AREAS. HE CONTRACTOR SHALL REPAIR AND PAY FOR ALL DAMAGE TO THE PROPERTY RESULTING FROM FAILURE TO COMPLY

1.24 REQUESTS FOR INFORMATION (RFI'S) ILL REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED TO THE ARCHITECT ON THE STANDARD RFI FORM.

.25 ENGLISH SPEAKING REPRESENTATIVE

AT ALL TIMES WHEN PERFORMANCE OF THE WORK IS BEING CONDUCTED BY AN EMPLOYEE OF THE CONTRACTOR OR ITS SUBCONTRACTORS. THE CONTRACTOR SHALL HAVE A REPRESENTATIVE PRESENT WHO HAS THE CAPABILITY OF RECEIVING HE INSTRUCTIONS IN THE ENGLISH LANGUAGE. FLUENTLY SPEAKING THE ENGLISH LANGUAGE AND EXPLAINING THE WORK PERATIONS TO PERSONS PERFORMING THE WORK IN THE LANGUAGE THAT THOSE PERFORMING THE WORK ARE CAPABLE UNDERSTANDING. THE OWNER SHALL HAVE THE RIGHT TO DETERMINE WHETHER THE PROPOSED REPRESENTATIVE HAS JFFICIENT TECHNICAL AND LINGUAL CAPABILITIES, AND ANY INDIVIDUAL NOT ACCEPTABLE TO OWNER SHALL BE

E CONTRACTOR SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG ITS EMPLOYEES AND SUBCONTRACTORS THE JOB SITE. THE CONTRACTOR SHALL NOT EMPLOY ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE WORK THAT

THE CONTRACTOR SHALL PROVIDE TEMPORARY DUST BARRIERS, RODENT, & PEST PROTECTION AND SECURITY MEASURES. CONTRACTOR TO PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION.

CLEARANCES WITH ALL OTHER TRADES. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS

PROJECT TEAM

SCI OHIO FUNERAL SERVICES, INC. C/O JOE MAXWELL 1929 ALLEN PARKWAY HOUSTON, TX 77019 TEL: (404) 725-4767 E: joe.maxwell@sci-us.com

MR. THOMAS D. FLANAGAN, AIA

8120 WOODMONT AVENUE, SUITE 107

E: tflanagan@flanaganarchitects.com

CODE REVIEW

JURISDICTION: CITY OF ALEXANDRIA, VIRGINIA

VIRGINIA CONSTRUCTION CODE 2018 EDITION

VIRGINIA MAINTENANCE CODE. 2018 EDITION

VIRGINIA BUILDING AND FIRE REGULATIONS

VIRGINIA REHABILITATION CODE, 2018 EDITION

A-3 (ASSEMBLY-STANDING)

A-3 (ASSEMBLY-STANDING)

FIRE RESISTANCE RATING OF STRUCTURE ELEMENTS

B (BUSINESS)

B (BUSINESS)

AFFECTED SQUARE FOOTAGES CALCULATION:

A-3 (ASSEMBLY-UNCONC SEATING)

ICC/ANSI A117.1. 2018 EDITION

BUILDING CLASSIFICATIONS

USE GROUP: CONST. TYPE:

BLDG. HEIGHT:

PERIMETER:

FRONTAGE:

HIGH RISE:

NO. OF STORIES:

COVERED MALL:

FLOOR AREA:

PROPOSED USES:

FIRST FLOOR

SECOND FLOOR

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

TYPE VB CONSTRUCTION STRUCTURAL FRAME

NON BEARING WALLS

ROOF CONSTRUCTION

CS COVER SHEET

BEARING WALLS

EXTERIOR _.

INTERIOR _

EXTERIOR _ INTERIOR FLOOR CONSTRUCTION

FULLY SPRINKLERED:

APPLICABLE BUILDING USES

VIRGINIA ENERGY CONSERVATION CODE, 2018 EDITION VIRGINIA STATEWIDE FIRE PREVENTION CODE, 2018 EDITION

VIRGINIA ENERGY CONSERVATION CODE, 2018 EDITION

NATIONAL ELECTRICAL CODE, NFPA 70, 2017 EDITION

VIRGINIA PLUMBING CODE, 2018 EDITION VIRGINIA FUEL GAS CODE, 2018 EDITION

HISTORIC DISTRICT OR RESOURCE: OLD AND HISTORIC ALEXANDRIA

THE FOLLOWING DOCUMENTS WERE PREPARED BASED ON THE FOLLOWING CODES:

EXISTING BUILDING | PROPOSED ALTER

NO CHANGE

NO CHANG

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

832

718

1.692

TOTAL SQ FT:

LOAD FACTOR

AFFECTED SQ. FT.

1:15

1:100

1:100

1:7

GARAGE DOOR OPENING AND DRIVEWAY

VARIANCE: NOT APPLICABLE

GOVERNING CODES

THIS PROJECT CONSISTS OF REPAIRS TO MASONRY WALLS THAT WERE DAMAGED WHEN A VEHICLE RAN THROUGH THEM, THE DEMOLITION OF AN EXISTING MASONRY STAIR AND A NEW

FLANAGAN ARCHITECTS, PC

BETHESDA, MD 20814

TEL: (301) 652-4811

HAGERSTOWN, MD 21742 TEL: (240) 818-5712 E: w@snyder-e.com

STRUCTURAL ENGINEER

MR. WILLIAM D SNYDER

SNYDER ENGINEERING, LLC

GENERAL CONTRACTOR

PROFESSIONAL CERTIFICATION: certify that these documents were prepared or approved by me, and that I am a duly

licensed architect under the laws of the State of Virginia, license #0401 007912, exp. date 31 December 2024."

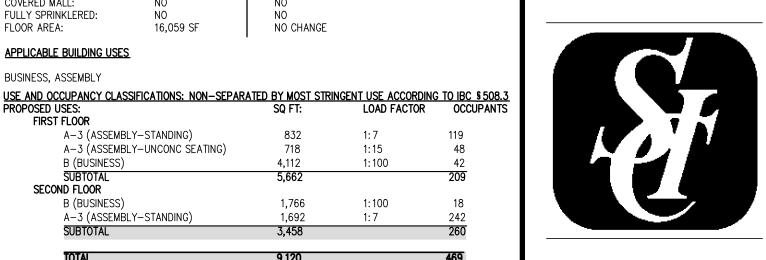
8120 WOODMONT AVE. SUITE 107

BETHESDA, MD 20814

TEL: (301) 652-4811

SCI - DEMAINE **FUNERAL HOME** OF ALEXANDRIA

520 S. WASHINGTON STREET ALEXANDRIA, VA 22314

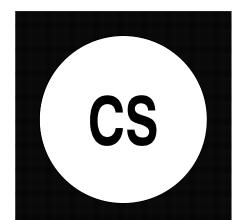


COVER SHEET

INDEX OF DRAWINGS

STRUCTURAL		
S-1		
S-2		
S-3		
ARCHITECTURAL		
D1.0	DEMOLITION PLAN	
A1.0	FLOOR PLAN AND ROOF PLAN	
A1.1	REFLECTED CEILING PLAN	
A2.0	ELEVATIONS	
A3.0	BUILDING SECTIONS	
A4.0	WALL SECTIONS	
A4.1	WALL SECTIONS	
A5.0	DETAILS	

08 NOV. '23 ALEXANDRIA B.A.F



SYMBOLS AND MATERIALS DRAWING STANDARDS

WOOD

BRICK

CONCRETE

EARTH

GYPSUM

PLYWOOD

UNDISTURBED

RIGID INSULATION

WOOD (ROUGH)

GRAVEL/STONE

BATT INSULATION

ELVATION (HEIGHT) MECH. ALTERNATING CURRENT MECHANICAL SANITARY ADDITION MEMBRANE **SCHEDULE** ELEVATION (FACADE) ABOVE FINISHED FLOOR METAL EMERGENCY AIR HANDLING UNIT MEZZANINE SPECIFICATION(S) ENGINEER ALUMINUM MANUFACTURED FQUIPMENT APPROX. APPROXIMATE MANUFACTURER STAINLESS STEEL EXISTING ARCH'T. **STANDARD** EXHAUS1 AVERAGE MASONRY OPENING STORAGE **EXPANSION** EXTERIOR STEEL NORTH STRUCT'L STRUCTURAL NOT IN CONTRACT FLOOR DRAIN BITUMINOUS NUMBER STORY BUILDING FINISH NOMINAL FIXTURE SUPPLY **BEARING** SUSP. SUSPENDED ON CENTER BASEMENT FLUORESCENT SYSTEM OPENING F.P.M. FEET PER MINUTE BRITISH THERMAL UNIT OPPOSITE THERMOSTAT OPP OVERHEAD DOOR 0.H.D. TONGUE AND GROOVE COURSE(S) TO BE DETERMINED GAUGE CURB AND GUTTER GALLON CEMENT(IOUS) PLATE TECHNICAL G.B. GYPSUM WALLBOARD CUBIC FEET PER MINUTI PROPERTY LINE **TERMPERATURE** GENERAL PLASTIC LAMINATE GLASS THICK(NESS) CENTER LINE PLASTER TOPOGRAPHY(ICAL) GLASS/TEMPERED CEILING PLYWOOD GROUND CAULKING GYPSUM TYPICAL PREFABRICATED HOSE BIB PRESSURE PRESS. CONCRETE MASONF PROJECT HEIGHT U/S UNDERSIDE CLEANOUT HOLLOW METAL Prop'd

HORSEPOWER

HOT WATER

INCLUDE(ING)

INSULATION

INTERIOR

JOIST

JOINT

KITCHEN

LAMINATE

LAVATORY

POUND

LIGHTING

INSIDE DIAMETER

HEATING

HEATER

INCH

HTG.

H.W.

KIT.

ABBREVIATIONS

COLUMN

COMMON

CONCRETE

CORRIDOR

CONNECTION

CONSTRUCTION

CERAMIC TILE

DIRECT CURRENT

COLD WATER

DEGREE

DETAIL

DIAMETER

DIAGONAL

DIFFUSER

DIMENSION

DISCONNECT

DISTANCE

DOWNSPOU^{*}

DISHWASHER DRAWING

DOWN

DOOR

CONC. CONN. CONSTR.

PROPOSED POUNDS PER SQUARE INCH V. VACUUM PAINTED VARIABI F PRESSURE TREATED QUANTITY VENTILATION **VERTICAL** RISER RFFFR(FNCF REFRIGERATOR REGISTER

REINFORCEMENT(ING)

REQUIRED

RETURN

REVISION

REQ'D

VAPOR BARRIER VINYL COMPOSITION TILE VERIFY IN FIELD VENT THRU ROOF

V.W.C VINYL WALL COVERING WITHOUT WATER CLOSET WATER HEATER

WAINSCOT

WELDED WIRE MESH

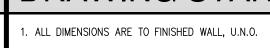
WELDED WIRE FABRIC

DOOR TYPE WINDOW TYPE 101 — ROOM NUMBER KITCHEN T___ROOM NAME ELEVATION ENLARGED DETAIL

ELEVATION # KEYNOTE ✓ A ➤ WALL TYPE, SEE SCHEDULES

MATERIAL, SEE FINISH SCHEDULE EQUIPMENT, SEE EQUIPMENT SCHEDULE FURNITURE, SEE FURNITURE SCHEDULE

MILLWORK, SEE DETAIL / ELEVATION



CONTRACTOR TO COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC ROUTING THROUGH CONCEALED SPACES. CONTRACTOR SHALL COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. DRAWINGS PROVIDE SCHEMATIC

CONTRACTOR SHALL NOTIFY ARCHITECT TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED BY THE CONTRACTOR. . PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE CLEARANCES

: ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

T.B.D. (TO BE DETERMINED) INDICATES AN ITEM TO BE SELECTED BY THE APPROPRIATE PARTY AT A LATER DATE. **V.I.F.** (VERIFY IN FIELD) INDICATES AN ITEM OR DIMENSION THAT IS ASSUMED TO EXIST BUT REQUIRES VERIFICATION DURIN CONSTRUCTION. CONSULT ARCHITECT IF DISCREPANCY EXISTS.

D.I.F. (DETERMINE IN FIELD) INDICATES A DIMENSION WHICH IS DETERMINED BY OTHER CONDITIONS SPECIFIED ON

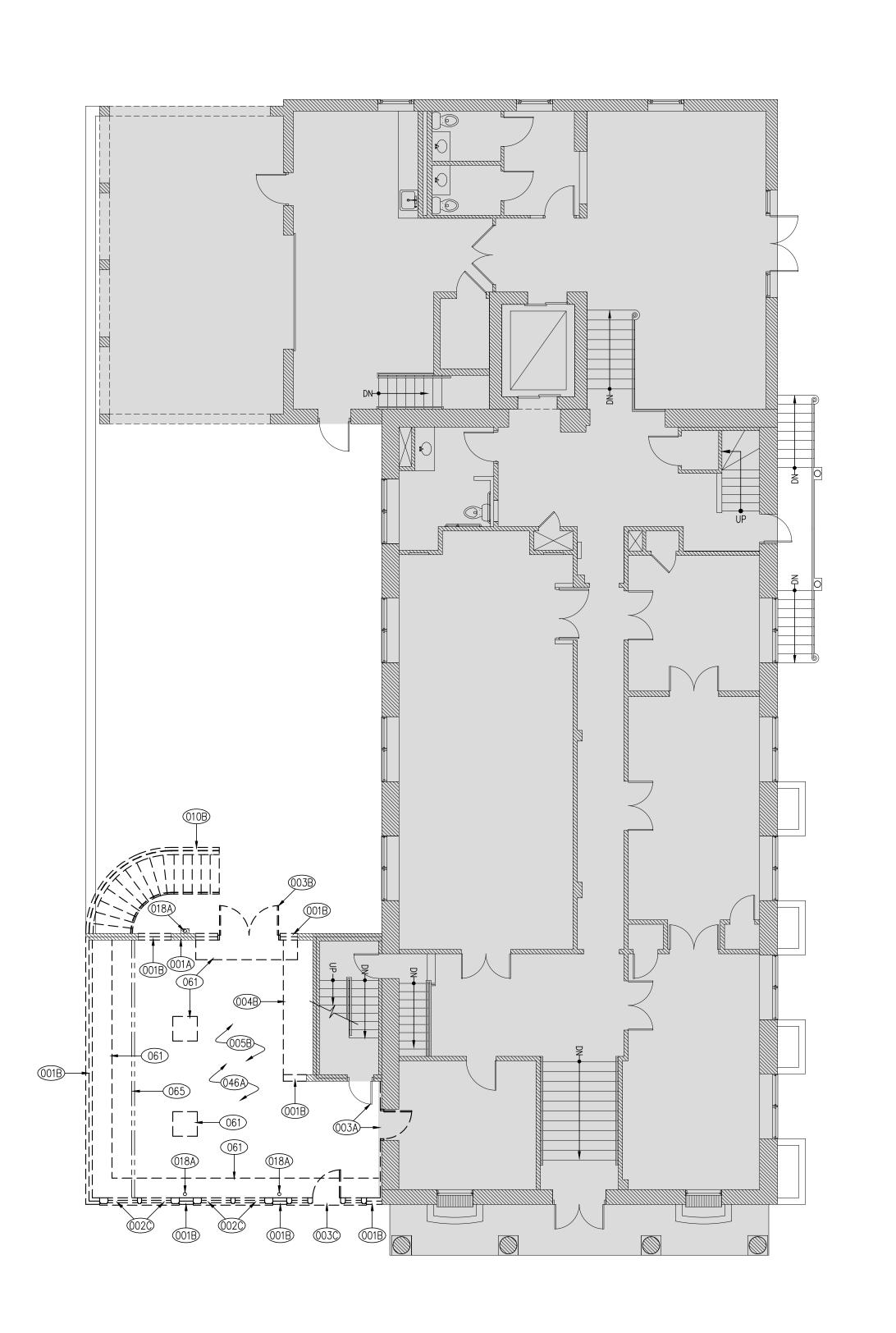
9. A DIMENSION LABELED "CLR." INDICATES THAT THE SPECIFIED CRITICAL DIMENSION BE MAINTAINED

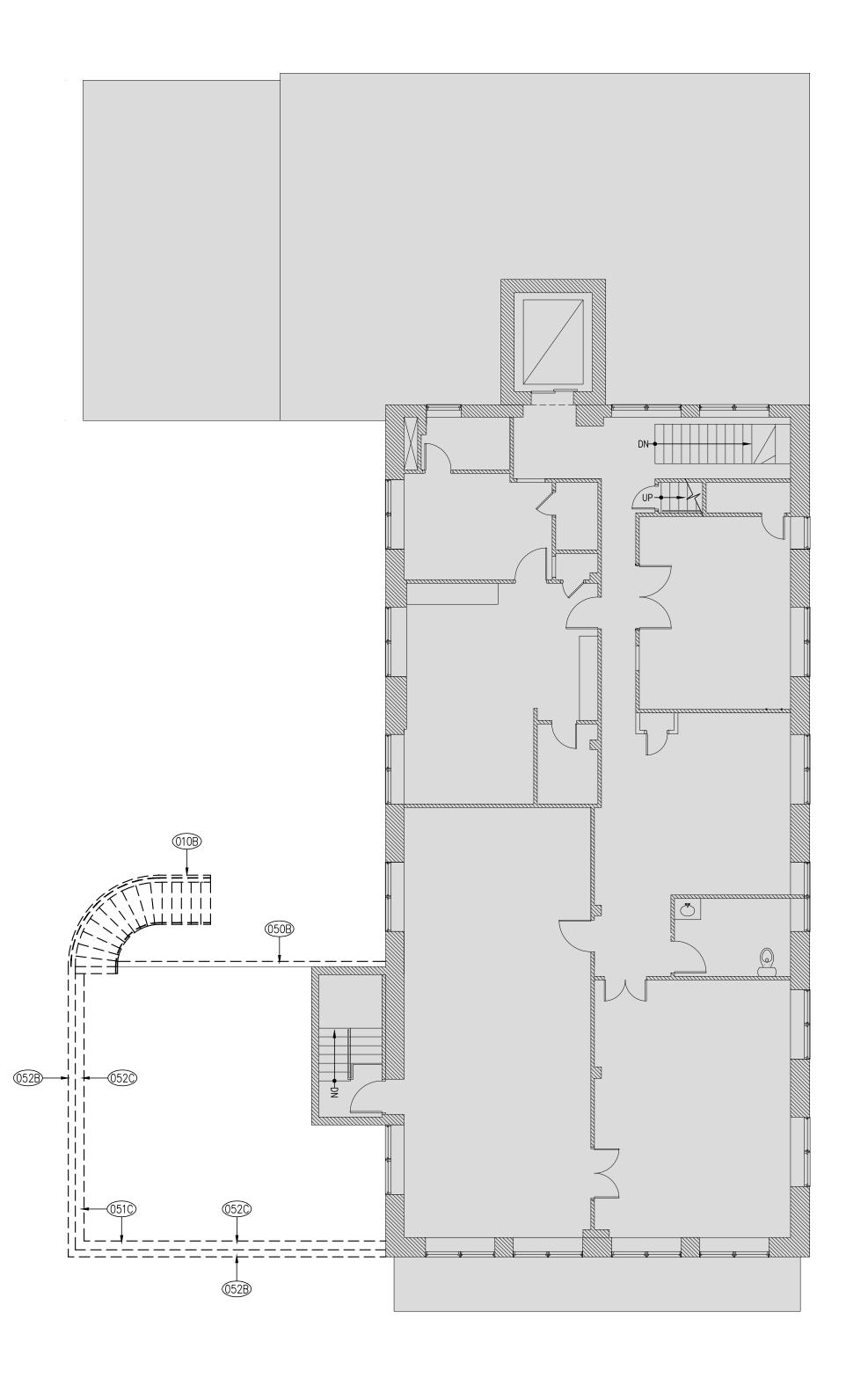
). A DIMENSION LABELED "<u>MIN."</u> INDICATES THAT THE REQUIRED DIMENSION MAY NOT BE LESS THAN THE SPECIFIED DIMENSION



DAMAGE PHOTO

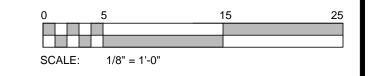
PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE HALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.





1 FIRST FLOOR DEMOLITION PLAN D1.0 SCALE: 1/8"= 1'-0"





KEYNOTES

EX'G ITEMS (001-099)

- 001) EX'G WALL TO:

 A. REMAIN B. BE REMOVED, PROVIDE TEMPORARY BRACING AS REQ'D
 C. BE PARTIALLY REMOVED AS REQ'D. FOR NEW OPENING, PROVIDE TEMPORARY BRACING AS
- 002 EX'G WINDOW TO:

 A. REMAIN B. BE REMOVED C. BE REMOVED, SAVE FOR RE-USE
- 003) EX'G DOOR AND FRAME TO:
 A. REMAIN B. BE REMOVED C. BE REMOVED, SAVE FOR RE-USE
- 004 EX'G CABINETS/MILLWORK TO:
 A. REMAIN B. BE REMOVED C. BE REMOVED, STORE ON SITE AS DIRECTED BY OWNER
- 005 EX'G FLOORING TO:

 A. REMAIN, PROTECT AS REQ'D

 B. BE REMOVED, PREPARE FOR NEW FINISH AS REQ'D
- 010 EX'G STAIR TO:
 A: REMAIN B: BE REMOVED
- 018 EX'G COLUMN/POST TO:
 A: REMAIN B: BE REMOVED, PROVIDE TEMPORARY SUPPORT
- 046 EX'G ROOF STRUCTURE:
 A: REMAIN B: BE REMOVED, SEE PLANS FOR EXTENT
- 050 EX'G GUTTER AND DOWNSPOUTS:
- A: REMAIN B: BE REMOVED

 051 EX'G MEMBRANE ROOFING:
- A: REMAIN B: BE REMOVED C: BE MODIFIED AT NEW WORK
- 052) EX'G PARAPET WALL:
 A: REMAIN B: BE REMOVED C: BE MODIFIED AT NEW WORK
- (061) REMOVE EX'G CONCRETE SLAB FOR NEW FOOTING, SEE STRUCTURAL DRAWINGS
- PROVIDE TEMPORARY WALL/BRACING PRIOR TO DEMOLITION OF EXTERIOR MASONRY BEARING WALL



8120 WOODMONT AVE. SUITE 107 BETHESDA, MD 20814 TEL: (301) 652-4811

PROFESSIONAL CERTIFICATION:

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license #0401 007912, exp. date 31 December 2024."

Job Name

SCI - DEMAINE FUNERAL HOME OF ALEXANDRIA

520 S. WASHINGTON STREET ALEXANDRIA, VA 22314



DEMOLITION PLAN

Project #: 234100

08 NOV. '23 ALEXANDRIA B.A.R.

DEMOLITION NOTES

- ALL ITEMS LISTED TO BE SAVED SHALL BE STORED ON SITE AS DIRECTED BY OWNER. SEE LIST OF ITEMS ON THIS SHEET. CONTRACTOR SHALL CLEAN AND CHECK ALL EXISTING COMPONENTS AND SYSTEMS TO BE REUSED IN THE NEW WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCY IN CONDITION. CONTRACTOR SHALL REINSTALL ONLY THOSE ELEMENTS WHICH ARE REASONABLY SUITABLE FOR INCORPORATION INTO THE NEW WORK.
- 2. CONTRACTOR SHALL EXERCISE CARE IN THE REMOVAL AND STORAGE OF ALL MATERIALS TO BE REMOVED AND SAVED FOR REUSE. CONTRACTOR SHALL ALSO USE CARE IN ALL WORK AREAS WHICH INVOLVE PORTIONS OF THE EXISTING CONSTRUCTION TO REMAIN.
- 3. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR EXTENT OF DEMOLITION AND NEW WORK. WHERE PLUMBING FIXTURES ARE REMOVED CAP LINES BELOW SUBFLOOR OR REMOVE BACK TO SOURCE. PATCH EX'G CONSTRUCTION AS REQ'D AT REMOVED LINES.
- 4. ALL PENETRATIONS, BOTH NEW AND EXISTING, THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRESTOPPING MATERIAL.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS OF PROVIDING TEMPORARY BRACING FOR STRUCTURAL MEMBERS AS REQUIRED DURING DEMOLITION. THE DEMOLITION WORK SHALL BE
- CARRIED OUT IN A MANNER THAT THE EXISTING STRUCTURE SHALL NOT BECOME UNSAFE.

 6. CONTRACTOR TO KEEP JOB SITE FREE AND CLEAR OF DEBRIS AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE ON A REGULAR BASIS. JOB SITE SHALL BE BROOM SWEPT DAILY.
- 7. CONTRACTOR TO PROVIDE TEMPORARY DUST BARRIERS, RODENT PEST PROTECTION, AND SECURITY MEASURES.
- CONTRACTOR TO PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION.
- 8. SCOPE OF DEMOLITION SHALL INCLUDE WORK REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN.9. THE OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL ITEMS AT THIS SITE.
- 10. ALL CONSTRUCTION, DEMO, AND REPAIRS SHALL BE CONDUCTED PER IBC CHAPTER 33, NFPA 101 SECTION 4.6.10

ITEMS TO BE SAVED

THE OWNER RESERVES THE RIGHT OF FIRST REFUSAL FOR ALL ITEMS REMOVED OR FOUND DURING THE PROJECT. THE FOLLOWING ITEMS SHALL BE REMOVED WITH CARE DURING DEMOLITION. THESE ITEMS SHALL BE STORED ON SITE AS DIRECTED BY THE OWNER OR REINSTALLED IN THE NEW WORK AS IDENTIFIED BY THE DRAWINGS. CONTRACTOR SHALL WALK SITE WITH OWNER PRIOR TO DEMOLITION TO DETERMINE ADDITIONAL ITEMS TO BE SAVED.

1. DOORS AND WINDOWS FACING S. WASHINGTON STREET ARE TO BE SAVED AND REPAIRED FOR RE-USE.

LEGEND

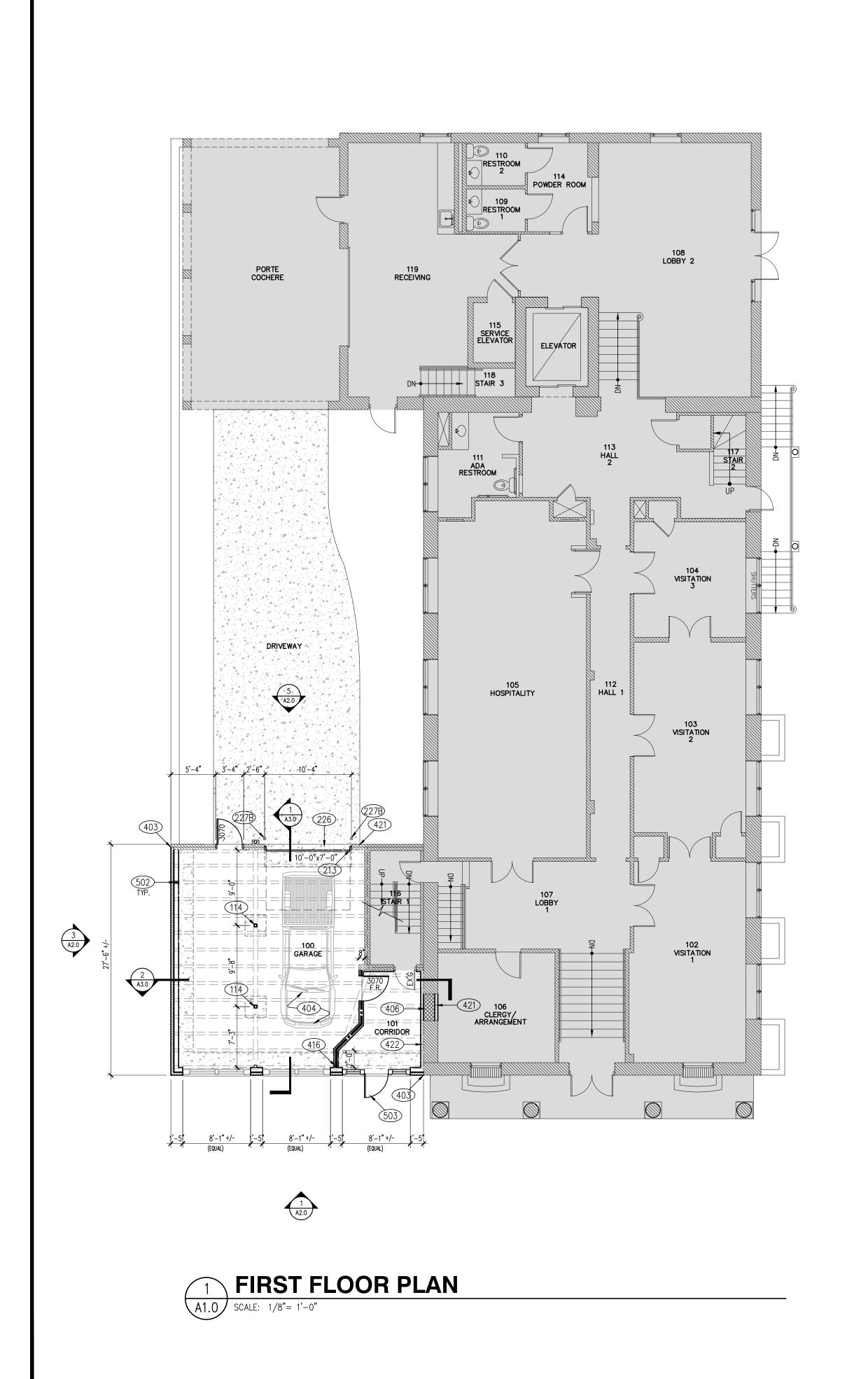
EXISTING ITEMS TO BE DEMOLISHED

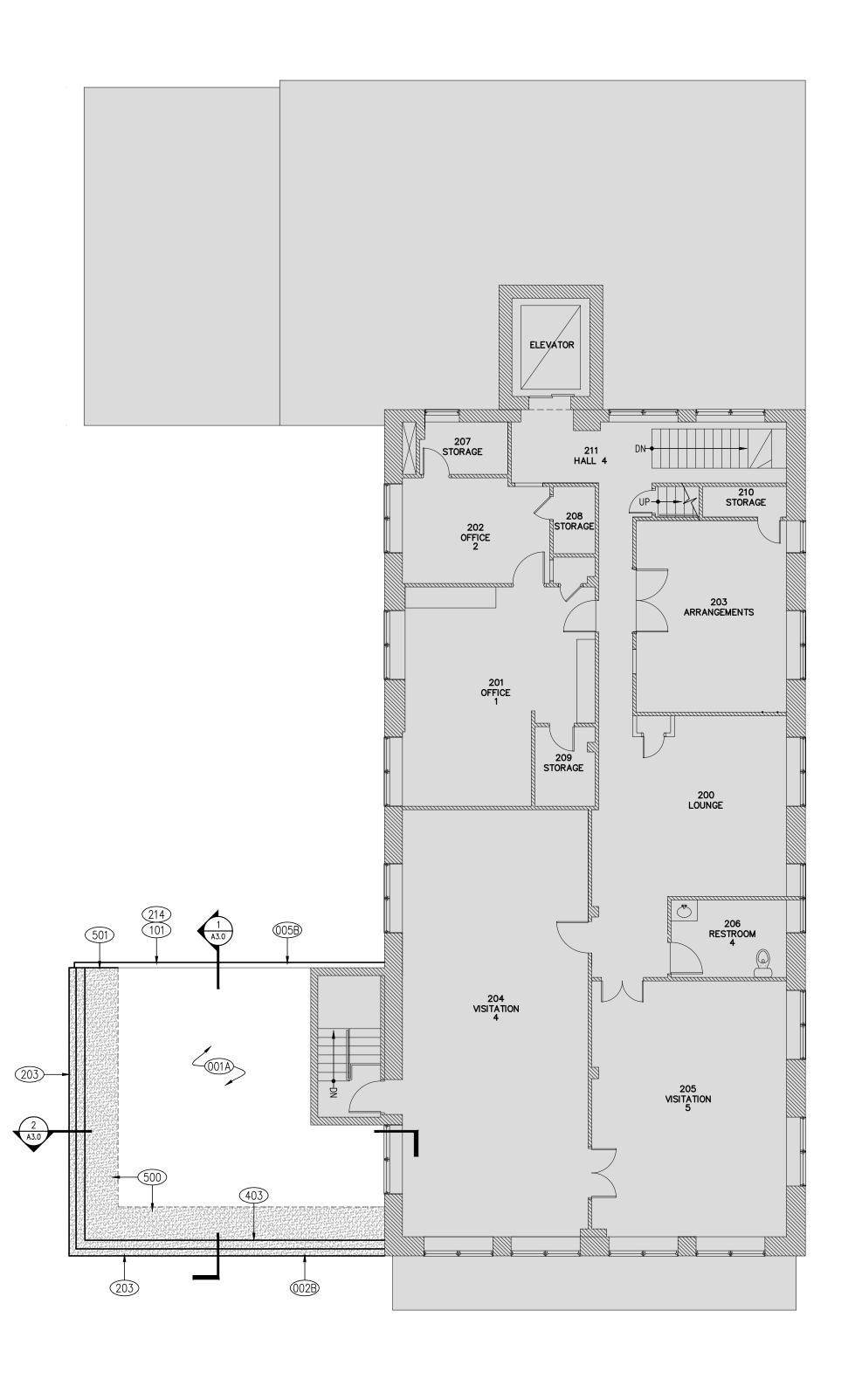
EXISTING WALL TO REMAIN

NEW WALL

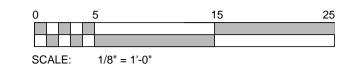
TEMPORARY WALL







2 ROOF/SECOND FLOOR PLAN A1.0 SCALE: 1/8"= 1'-0"



PLAN KEYNOTES

MATERIALS (100-199)

114) NEW STL. COLUMN, SEE STRUCTURAL DRAWINGS.

DETAILED ITEMS (200-299)

213) SPECIALIZED JAMB DETAIL AT:

A. OVERHEAD DOOR, SEE DETAIL 1/A5.0
B. WOOD CASING AT DOOR FRAME, SEE DETAIL -/---.
C. CASED OPENING, SEE DETAIL -/---.

D. STEEL-CASED OPENING, SEE DETAIL -/---.

226 OVERHEAD DOOR THRESHOLD, TYP. SEE DETAIL 2/A5.0

227 BOLLARD, SEE DETAIL 3/A5.0
A. STAINLESS STEEL B. STEEL, PAINTED

INSTRUCTIONS (400-499)

403 TOOTH IN MASONRY TO MATCH EX'G WALL

404 FLASHPATCH EX'G FLOOR AS REQ'D FOR FINISH

406 INFILL EX'G OPENING WITH CONSTRUCTION TO MATCH EX'G.

416 COLUMN TO BE CONCEALED WITHIN WALL.

421) PATCH EX'G WALL AS REQ'D BY NEW WORK; TOOTH IN MASONRY AS REQ'D.

JOB SPECIFIC INSTRUCTIONS (500-599)

502) PROVIDE (2) STUDS BELOW EACH STEEL BEAM/PURLIN ABOVE.

422) FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORD. WITH NFPA.

503) EX'G DOOR TO BE MODIFIED AS REQUIRED TO BE AN OUTSWING DOOR.

PLAN NOTES

1. ALL DIMENSIONS ARE TO FINISHED WALL, UNLESS NOTED OTHERWISE (U.N.O.).

2. CONTRACTOR TO PROVIDE SEALANT @ ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.

3. CONTRACTOR SHALL PATCH AND PREPARE ALL SURFACES AS REQUIRED FOR NEW FINISHES.

4. OUTSIDE EDGE OF ALL DOOR FRAMES SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLANE ON HINGED SIDE, U.N.O. <u>NOTE:</u> CENTER DOOR ON WALL IF LESS THAN 6" ON EACH SIDE OF DOOR.

5. PROVIDE SOLID F.R.T. WOOD BLOCKING IN WALLS FOR CABINETRY, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER.

6. ALL FLOOR MATERIAL CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE W/ DISSIMILAR MATERIALS,

7. ALL FLOOR ELEVATIONS ARE MEASURED TO TOP OF FLOOR SLAB/ SHEATHING, U.N.O.

8. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE @ ALL CRACKS AND CONTROL JOINTS IN

CONCRETE SLAB. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK ON EACH SIDE.

9. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE W/NFPA 10. VERIFY LOCATION IN FIELD W/ OWNER AND/OR FIRE DEPT.

10. WHEN A RADIUS IS NOTED THAT EXTENDS BEYOND THE PHYSICAL SPACE AVAILABLE, CONTRACTOR SHALL PREPARE A TEMPLATE OFFSITE TO MATCH INDICATED DIMENSION.

11. PROVIDE GREENBOARD FOR BATHROOM WALL SHEATHING. PROVIDE TILE BACKER BOARD UNDER ALL WALL

12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE OWNER AND/OR ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BEFORE PROCEEDING. ALL WORK SHALL BE COMPLETED IN A SATISFACTORY MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT EVEN IF DISCREPANCIES ARE DISCOVERED AT ANY POINT, AND NOT DISCLOSED TO THE OWNER AND ARCHITECT, CONTRACTOR SHALL COORDINATE THE DRAWINGS BETWEEN THE SUBCONTRACTORS FOR CONFLICTS AND NOTIFY THE ARCHITECT PRIOR TO FINAL BIDS.

13. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE

14. ALL FLOORS SHALL BE LEVELED AND FREE OF IRREGULARITIES TO ASSURE ONE CONSTANT FLOOR HEIGHT.

15. CONTRACTOR TO COORDINATE SITE DEMOLITION WITH NEW CONSTRUCTION.

16. DRYWALL CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE

US GYPSUM ASSOC.. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO PROCEEDING.

17. ALL MISCELLANEOUS WOOD BLOCKING, SILLS, PLYWOOD, ETC., TO BE FIRE RETARDED.

18. ALL MATERIALS ARE TO BE STORED PROPERLY. GC IS RESPONSIBLE FOR THE SAFEKEEPING OF MATERIALS INCLUDING THOSE SUPPLIED BY THE OWNER.

19. THE CONTRACTOR WILL OBTAIN AND PAY FOR MECHANICAL, ELECTRICAL AND PLUMBING PERMITS. THE CONTRACTOR WILL FILE FOR THE CERTIFICATE OF OCCUPANCY AND COORDINATE ALL THE NECESSARY INSPECTIONS AND APPROVALS THROUGH FINAL COMPLETION.

20. THE GC MAY SUBSTITUTE MATERIALS, FINISHES AND/OR EQUIPMENT UPON WRITTEN SUBMITTAL AND

21. THE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY AND SHALL BE EQUAL IN AUTHORITY. ANY CONFLICTS DISCOVERED BETWEEN THEM SHALL REFLECT THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK AND PRICING. THERE SHALL NOT BE ANY CREDIT FOR ALL COSTS SAVED ACCRUING TO THE OWNER IF THE CONTRACT DOCUMENTS AND ANY DUPLICATIONS SPECIFIED SHALL NOT BECOME THE BASIS FOR EXTRA COST TO THE OWNER. THE APPROPRIATE METHOD OF PERFORMING THE WORK SHALL BE RECOMMENDED BY THE ARCHITECT.

22.UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS CONTRACTOR AGREES TO DELIVER ALL CERTIFICATES TO THE OWNER BEFORE THE PROJECT WILL BE DEEMED TO BE SUBSTANTIALLY COMPLETE.

ROOF KEYNOTES

EX'G ITEMS (001-099)

OO1 EX'G ROOF:

A: TO REMAIN B: TO BE REMOVED C: TO BE REPLACED W/ NEW ROOFING

002 EX'G CAP FLASHING:
A: TO REMAIN
B: TO BE REMOVED
C: TO BE REPLACED W/ NEW CAP FLASHING

005) EX'G GUTTER:
A: TO REMAIN B: TO BE REMOVED

MATERIALS (100-199)

(101) CONTINUOUS GUTTER, SEE BUILDING ELEVATIONS.

DETAILED ITEMS (200-299)

203) PARAPET WALL CAP FLASHING, SEE DETAIL 4/A5.0

214 CON'T. PREFINISHED GUTTER W/ DOWNSPOUTS TO SPILL ONTO SPLASHBLOCKS AT GRADE.

INSTRUCTIONS (400–499)

WRAP ROOF MEMBRANE UP WALL AND UNDER CAP FLASHING. EXTEND COMPLETELY OVER TOP OF WALL AND TERMINATE AT EXTERIOR FACE.

JOB SPECIFIC INSTRUCTIONS (501-599)

500 PATCH/MODIFY EX'G MEMBRANE ROOFING AS REQ'D AT NEW PARAPET WALL

501) PATCH/MODIFY EX'G WALL/ROOF AS REQ'D AT NEW WORK

LEGEND

— — ITEMS ABOVE, OR EQUIPMENT

WALL TO BE DEMOLISHED

WALL TO BE DEMO

FIRE RATING LINE

Flanagan
ARCHITECTS, AIA

8120 WOODMONT AVE. SUITE 107
BETHESDA, MD 20814
TEL: (301) 652-4811

State of Virginia, license #0401 007912, exp. date 31 December 2024."

PROFESSIONAL CERTIFICATION:

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520 S. WASHINGTON STREET ALEXANDRIA, VA 22314



Sheet Description

FLOOR PLAN

Project #: 234100

Date(s):

08 NOV. '23 ALEXANDRIA B.A.R.

A1.0





EX'G ITEMS (001-099)

013 EX'G EXPOSED STRUCTURE AT CEILING TO: A. REMAIN B. BE REMOVED

MATERIALS (100-199)

103 GYP. BD. CEILING AS FOLLOWS:

B: SUSPENDED FROM STRUCTURE WITH HANGER WIRE, CRC AND LT GA. FRAMING AS REQ'D. (105) SURFACE MOUNTED LED LIGHT FIXTURE, SEE ELECTRICAL DWGS.

A. 10'-0" C. 7'-0" ABOVE STAIR NOSING AT HIGH END
B. 8'-0" D. SEE EXTERIOR ELEVATION 108 EXIT SIGN TO MATCH EX'G BUILDING

(106) WALL MOUNTED LED LIGHT FIXTURE, MOUNT AS FOLLOWS:

111) OVERHEAD DOOR. PROVIDE POWER AS REQ'D. (120) SUSPENDED/CHAIN HUNG LED LIGHT FIXTURE AT GARAGE.

INSTRUCTIONS (400-499)

404) EX'G CEILING, NO WORK.

414) PROVIDE NEW FIRE-RATED CEILING ASSEMBLY IN SHADED AREA

JOB SPECIFIC INSTRUCTIONS (500-599)

500 NOT USED.

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SCI - DEMAINE FUNERAL HOME

OF ALEXANDRIA

REFLECTED CEILING PLAN

Project #: 234100

08 NOV. '23 ALEXANDRIA B.A.R.

520 S. WASHINGTON STREET

ALEXANDRIA, VA 22314

GENERAL CEILING NOTES

INSTALLATION OF SIGHT BAFFLES ARE REQUIRED AT RETURN AIR SLOTS, ANY AREA VISIBLE FROM THE ROOM SIDE IS TO BE PAINTED FLAT BLACK. ALL RETURN AIR GRILLES TO BE PAINTED TO MATCH CEILING

2. NO LIGHT FIXTURE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL BY ARCHITECT. 3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING ANY PARTS, TRANSFORMERS, ETC. NECESSARY FOR OPERATION OF LIGHT FIXTURE(S).

4. CEILING ELECTRICAL DEVICES AND FACE PLATES TO MATCH ADJACENT CLG. COLOR, U.N.O.

5. ALL DIFFUSERS AND CEILING GRILLES TO MATCH ADJACENT CEILING COLOR, U.N.O.

6. CONTRACTOR TO SUBMIT FIXTURE CUT SHEETS FOR APPROVAL.

8. USE INSULATED CEILING HOUSING AS REQUIRED BY CODE.

13. CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLING, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION, ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE MAIN BUILDING STRUCTURE.

14. ALL CEILING SYSTEMS ARE TO BE FRAMED, BRACED AND SUPPORTED IN COMPLIANCE WITH ALL APPLICABLE

15.NO CEILING SYSTEM IS TO BE SUPPORTED OR IN CONTACT WITH ANY DUCTWORK OR HVAC UNIT. 16. WHERE FIREPROOFING EXISTS, CONTRACTOR TO REPAIR DAMAGE FROM NEW HANGER WIRE INSTALLATION. 17. CONTRACTOR MAY REUSE EX'G HANGERS, WHERE APPLICABLE, TO NEW LAYOUT. CONFIRM INTEGRITY OF CONNECTION TO STRUCTURE.

18. ALL LIGHTING FIXTURES SHALL BE SUPPORTED FROM STRUCTURE ABOVE W/ A MINIMUM OF 2 WIRE HANGERS. (USE 4 HANGERS FOR 2x4 FIXTURES) 19. ALL LIGHTING FIXTURES ARE DIMENSIONED TO CENTER LINE OF FIXTURE, UNLESS NOTED OTHERWISE.

20.STARTING POINTS OF CEILING SYSTEM ARE TO CENTER LINE OF CEILING GRID SYSTEM UNLESS NOTED

21. ALL SPRINKLER HEADS, EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS, OR OTHER DEVICES LOCATED IN THE CEILING SHALL BE LOCATED IN THE CENTER OF THE CEILING TILES OR PANELS UNLESS NOTED OTHERWISE.

22.ALL LIGHT SWITCHES SHALL BE LOCATED 6" FROM LATCH SIDE OF DOOR FRAME UNLESS OTHERWISE NOTED. 23.ALL ITEMS TO BE INSTALLED WITHIN CEILING SHALL BE PREFINISHED TO MATCH OR PAINTED TO MATCH

24.G.C. TO VERIFY BASE BUILDING AS-BUILT CONDITIONS PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED ON DRAWINGS AND SPECIFICATIONS.

25.G.C. HAS SOLE RESPONSIBILITY TO COORDINATE MECHANICAL, ELECTRICAL, LIGHTING AND FIRE PROTECTION INSTALLATION. G.C. WILL ALSO BE REQUIRED TO COORDINATE THE WORK OF THE OWNER'S CONTRACTOR(S) FOR TELECOMMUNICATION, DATA, A/V, ETC.

26.G.C. TO COORDINATE LIGHT FIXTURES WITH ALL OTHER ABOVE CEILING WORK PRIOR TO ORDERING OF LIGHT

27.CONTRACTOR SHALL VERIFY CEILING CONSTRUCTION AND DRYWALL THICKNESS IN ALL AREAS PRIOR TO ORDERING OR INSTALLING FIXTURES. ADVISE ARCHITECT OF ANY CONFLICTS. 28.ELECTRICIAN SHALL DETERMINE WHETHER ELECTRONIC OR MAGNETIC DIMMERS ARE REQUIRED ON LOW

30.G.C. TO PROVIDE ALL REQUIRED ACCESS PANELS. COORDINATE LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.

CEILING LEGEND

NOTE: REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SPECS AND EMERGENCY CIRCUITS. → WALL MOUNTED FIXTURE

SCALE: 1/8" = 1'-0"

VOLTAGE LIGHTING FIXTURES.

2'x4' FIXTURE 1'x4' FLUOR. FIXTURE 1'x8' FLUOR. FIXTURE SUPPLY AIR GRILLE

RETURN AIR GRILLE

SURF. MOUNTED STRIP FLUOR. FIXTURE

EXIT SIGN, ARROW SHOWS DIRECTION OF EGRESS EMERGENCY LIGHTING

► LED STRIP LIGHTING ♣8'-0" FINISH CEILING HEIGHT CEILING FAN

WALL WASHER

RECESSED DOWN LIGHT

PENDANT MTD. FIXTURE



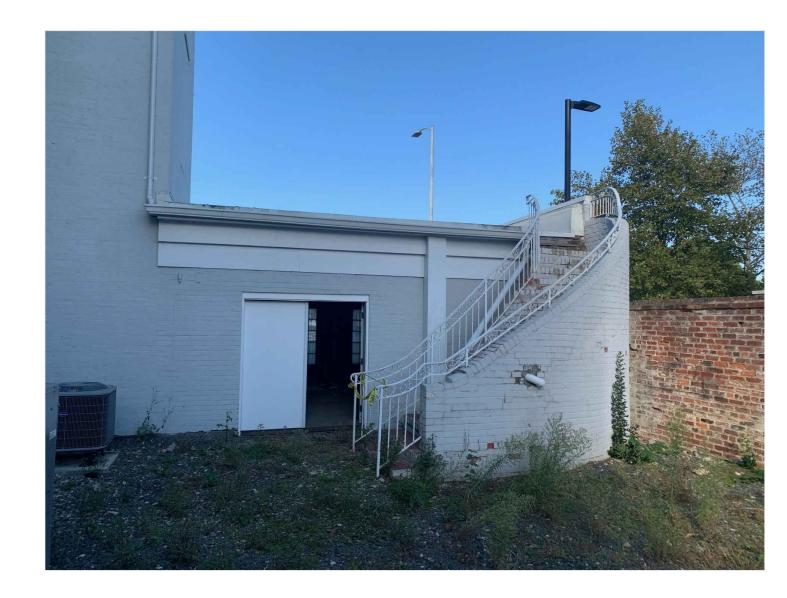


EX'G FRONT ELEVATION PHOTO

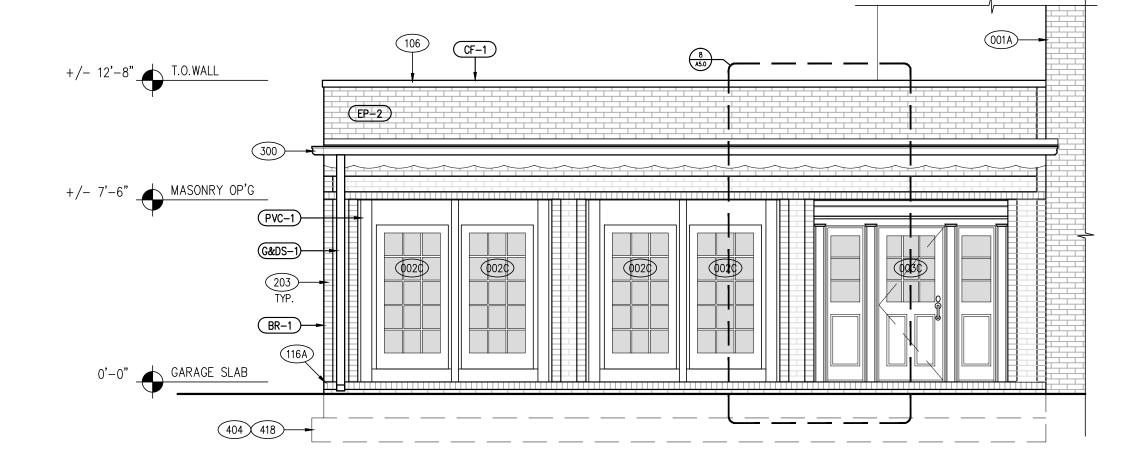
A2.0 SCALE: NONE



EX'G LEFT SIDE ELEVATION PHOTO A2.0 | SCALE: NONE

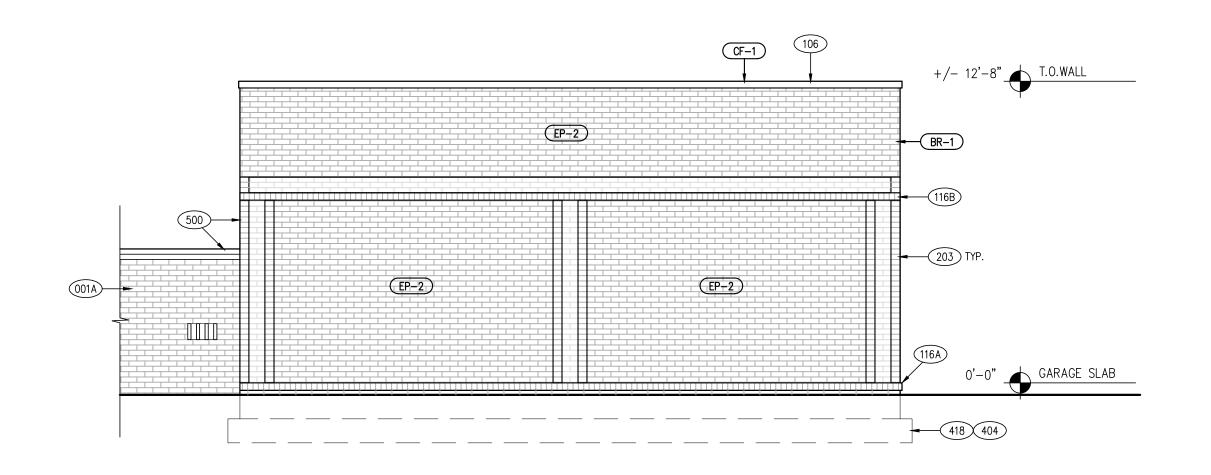


EX'G REAR ELEVATION PHOTO A2.0 SCALE: NONE

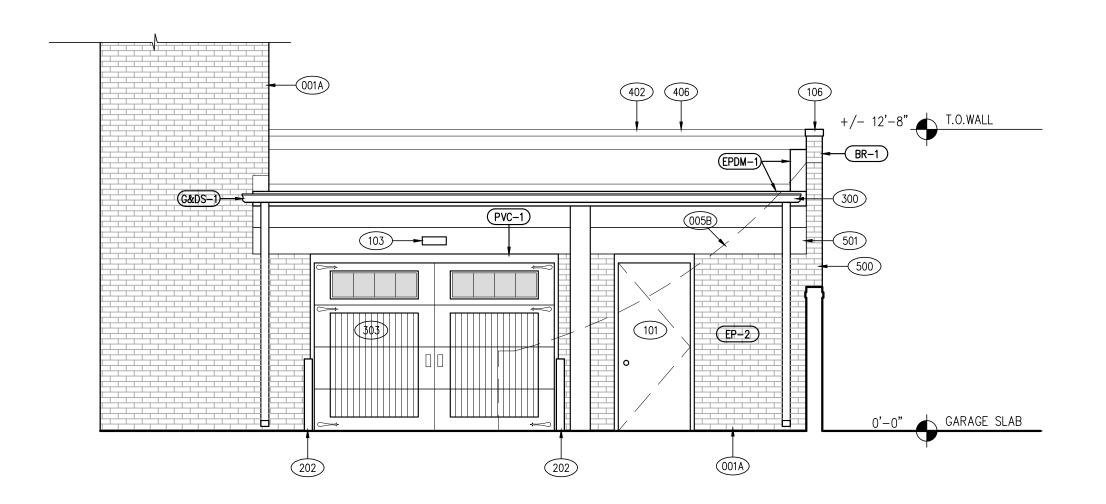


FRONT ELEVATION

A2.0 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION A2.0 SCALE: 1/4" = 1'-0"



REAR ELEVATION A2.0 SCALE: 1/4" = 1'-0"

KEYNOTES

EX'G ITEMS (001-099)

MATERIALS (100-199)

- A: REMAIN B: BE REMOVED, PROVIDE TEMPORARY BRACING AS REQ'D A: REMAIN B: BE REMOVED C: BE REMOVED, SAVE FOR RE-USE 003) EX'G DOOR AND FRAME TO:
- A: REMAIN B: BE REMOVED C: BE REMOVED, SAVE FOR RE-USE

005 EX'G STAIR TO: A: REMAIN B: BE REMOVED

(101) NEW FLUSH STYLE DOOR. PAINT TO MATCH ADJACENT WALL COLOR.

(103) LIGHT FIXTURE. PROVIDE FRT BLOCKING IN WALL AS REQUIRED. (106) COPING CAP, SEE EXTERIOR MATERIALS SCHEDULE.

116 BRICK (SEE EXTERIOR FINISH SCHEDULE): A: SILL B: ROWLOCK C: SOLDIER COURSE

DETAILED ITEMS (200-299)

202) BOLLARD, SEE DETAIL 3/A5.0.

203 BRICK PATTERN TO MATCH EX'G, SEE DETAIL 8/A5.0

MANUFACTURED ITEMS (300-399)

300 GUTTER AND DOWNSPOUT (SEE EXTERIOR MATERIALS SCHEDULE):
MANUF: ANY STYLE: K-STYLE (TO MATCH EX'G) FINISH: PAINTED (WHITE TO MATCH EX'G) 303 GARAGE DOOR: MANUF: CLOPAY

STYLE: RESERVE COLLECTION DESIGN 1 / REC14 WINDOW FINISH: PAINTED TO MATCH TRIM
NOTES: SPADE HARDWARE, DECORATIVE HANDLES, BELT DRIVE OPENER, PVC TRIM

INSTRUCTIONS (400-499)

(402) LINE OF ROOF PARAPET BEYOND.

(406) MEMBRANE ROOFING TO WRAP UP, UNDER FLASHING, OVER WALL & TERMINATE ON OPPOSITE FACE. 418) STRUCTURAL FOUNDATION, SEE STRUCTURAL DRAWINGS.

JOB SPECIFIC INSTRUCTIONS (500-599)

500) PATCH EX'G MASONRY WALL AS REQ'D AT EX'G STAIR TO BE DEMOLISHED

501) PATCH TRIM AS REQ'D AT NEW WORK TO MATCH ADJACENT

Flanagan ARCHITECTS, ALA

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Sheet Description

Project #: 234100

08 NOV. '23 ALEXANDRIA B.A.R.

ELEVATIONS

EXTERIOR MATERIALS

CF-1 CAP FLASHING MANUF: PAC CLAD OR EQUAL STYLE: 24 GA STEEL FINISH: KYNAR 500 FINISH

COLOR: COLOR TO MATCH EX'G

BM-1 BRAKE METAL (AS REQ'D)

PAC CLAD STYLE: 24 GA STEEL KYNAR 500 FINISH COLOR:

PROVIDE CONCEALED FASTENERS AND CLIPS AS REQUIRED.

BR-1 BRICK MANUF: MATCH EX'G **STYLE:** MATCH EX'G PAINTED TO MATCH EX'G NOTE: MATCH JOINT TYPE AND WIDTH

CONC-1) CONCRETE MANUF: ANY STYLE: BROOM FINISH COLOR: NATURAL

COLOR: TO MATCH EX'G

(EP−1) EXTERIOR GRADE PAINT MANUF: SHERWIN WILLIAMS STYLE: SUPERPAINT EXTERIOR LATEX FINISH: SATIN

(EP-2) EXTERIOR GRADE PAINT (CONCRETE SURFACES) MANUF: SHERWIN WILLIAMS STYLE: CONCRETE SURFACE PAINT

FINISH: 2 FINISH COATS COLOR: TO MATCH EX'G

EP-3 EXTERIOR GRADE PAINT (PVC SURFACES) MANUF: SHERWIN WILLIAMS STYLE: S-W SUPERPAINT VINYLSAFE

EXTERIOR LATEX FINISH: SATIN COLOR: TO MATCH EX'G

(EPDM-1) MEMBRANE ROOFING MANUF: MATCH EX'G STYLE: MATCH EX'G FINISH: WHITE - TO MATCH EX'G

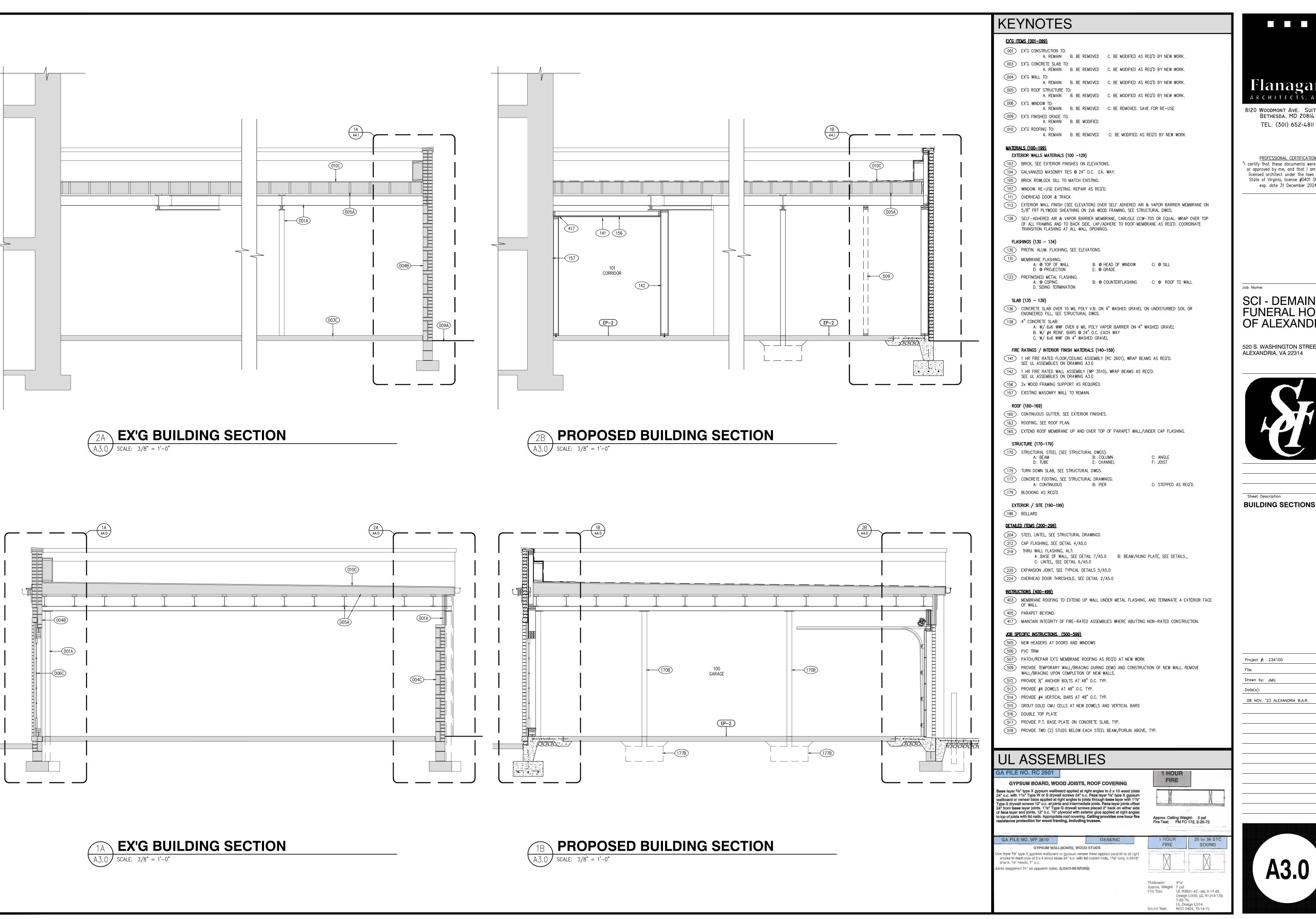
G&DS-1) GUTTER AND DOWNSPOUTS

STYLE: 5" K-STYLE OGEE GUTTER T.M.E. 3"x4" RECTANGULAR DOWNSPOUT .032" PRE-FINISHED ALUMINUM SUBMIT SAMPLES TO ARCHITECT

(PVC-1) PVC TRIM & MOULDINGS VYCON OR EQUAL STYLE: AZEK PAINTED (EP-3)

MATCH EX'G NOTE: PROVIDE S.S. FASTENERS

FOR APPROVAL



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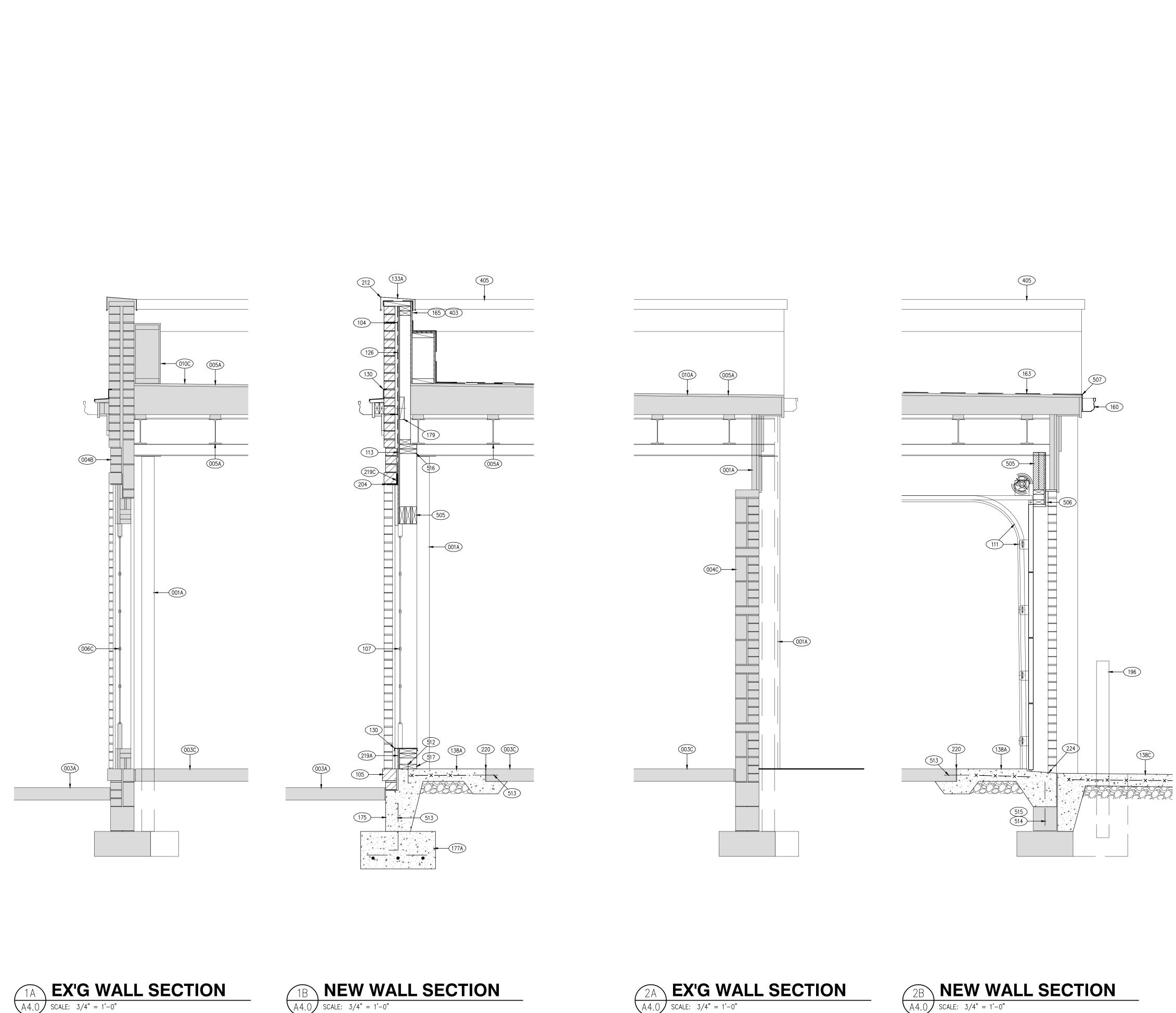
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Sheet Description

Project #: 234100

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A4.0 SCALE: 3/4" = 1'-0"

KEYNOTES

EX'G ITEMS (001-099)

- 001) EX'G CONSTRUCTION TO: A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 003) EX'G CONCRETE SLAB TO: A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 005 EX'G ROOF STRUCTURE TO: A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- A. REMAIN B. BE REMOVED C. BE REMOVED. SAVE FOR RE-USE
- 009 EX'G FINISHED GRADE TO: A. REMAIN B. BE MODIFIED
- 010 EX'G ROOFING TO: A. REMAIN B. BE REMOVED C: BE MODIFIED AS REQ'D BY NEW WORK

MATERIALS (100-199)

EXTERIOR WALLS MATERIALS (100 -129)

- 103) BRICK, SEE EXTERIOR FINISHES ON ELEVATIONS.
- (104) GALVANIZED MASONRY TIES @ 24" O.C. EA. WAY.
- 105) BRICK ROWLOCK SILL TO MATCH EXISTING.
- 107 WINDOW. RE-USE EXISTING. REPAIR AS REQ'D.
- (111) OVERHEAD DOOR & TRACK
- (113) EXTERIOR WALL FINISH (SEE ELEVATION) OVER SELF ADHERED AIR & VAPOR BARRIER MEMBRANE ON 5/8" FRT PLYWOOD SHEATHING ON 2x6 WOOD FRAMING, SEE STRUCTURAL DWGS.
- 126 SELF-ADHERED AIR & VAPOR BARRIER MEMBRANE, CARLISLE CCW-705 OR EQUAL. WRAP OVER TOP OF ALL FRAMING AND TO BACK SIDE. LAP/ADHERE TO ROOF MEMBRANE AS REQ'D. COORDINATE TRANSITION FLASHING AT ALL WALL OPENINGS.

FLASHINGS (130 - 134)

- 130 PREFIN. ALUM. FLASHING, SEE ELEVATIONS.
- 131 MEMBRANE FLASHING: A: @ TOP OF WALL B: @ HEAD OF WINDOW C: @ SILL
- D: @ PROJECTION E: @ GRADE 133 PREFINISHED METAL FLASHING: B: @ COUNTERFLASHING C: @ ROOF TO WALL A: @ COPING

D. SIDING TERMINATION SLAB (135 - 139)

- (136) CONCRETE SLAB OVER 10 MIL POLY V.B. ON 4" WASHED GRAVEL ON UNDISTURBED SOIL OR ENGINEERED FILL, SEE STRUCTURAL DWGS.
- 138 4" CONCRETE SLAB: A: W/ 6x6 WWF OVER 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRAVEL B: W/ #4 REINF. BARS @ 24" O.C. EACH WAY

FIRE RATINGS / INTERIOR FINISH MATERIALS (140-159)

- 141 1 HR FIRE RATED FLOOR/CEILING ASSEMBLY (RC 2601), WRAP BEAMS AS REQ'D. SEE UL ASSEMBLIES ON DRAWING A3.0
- 1 HR FIRE RATED WALL ASSEMBLY (WP 3510), WRAP BEAMS AS REQ'D.

C: W/ 6x6 WWF ON 4" WASHED GRAVEL

- SEE UL ASSEMBLIES ON DRAWING A3.0 (156) 2x WOOD FRAMING SUPPORT AS REQUIRED.
- 157 EXISTING MASONRY WALL TO REMAIN.

ROOF (160-169)

- (160) CONTINUOUS GUTTER, SEE EXTERIOR FINISHES.
- (163) ROOFING, SEE ROOF PLAN.
- (165) EXTEND ROOF MEMBRANE UP AND OVER TOP OF PARAPET WALL/UNDER CAP FLASHING.

STRUCTURE (170-179)

170 STRUCTURAL STEEL (SEE STRUCTURAL DWGS): C: ANGLE A: BEAM B: COLUMN

C: STEPPED AS REQ'D.

- 175) TURN DOWN SLAB, SEE STRUCTURAL DWGS.
- (177) CONCRETE FOOTING, SEE STRUCTURAL DRAWINGS: A: CONTINUOUS
- 179 BLOCKING AS REQ'D

EXTERIOR / SITE (190-199) 196 BOLLARD

DETAILED ITEMS (200-299)

- 204) STEEL LINTEL, SEE STRUCTURAL DRAWINGS
- (212) CAP FLASHING, SEE DETAIL 4/A5.0
- 219 THRU WALL FLASHING, ALT: A .BASE OF WALL, SEE DETAIL 7/A5.0 B: BEAM/HUNG PLATE, SEE DETAILS_ C: LINTEL, SEE DETAIL 6/A5.0
- 220 EXPANSION JOINT, SEE TYPICAL DETAILS 5/A5.0
- OVERHEAD DOOR THRESHOLD, SEE DETAIL 2/A5.0

INSTRUCTIONS (400-499)

- MEMBRANE ROOFING TO EXTEND UP WALL UNDER METAL FLASHING, AND TERMINATE A EXTERIOR FACE OF WALL.
- 405 PARAPET BEYOND.
- 417 MAINTAIN INTEGRITY OF FIRE-RATED ASSEMBLIES WHERE ABUTTING NON-RATED CONSTRUCTION.

JOB SPECIFIC INSTRUCTIONS (500-599)

- 505 NEW HEADERS AT DOORS AND WINDOWS
- 506) PVC TRIM
- 507) PATCH/REPAIR EX'G MEMBRANE ROOFING AS REQ'D AT NEW WORK
- PROVIDE TEMPORARY WALL/BRACING DURING DEMO AND CONSTRUCTION OF NEW WALL. REMOVE WALL/BRACING UPON COMPLETION OF NEW WALLS.
- 512 PROVIDE ½" ANCHOR BOLTS AT 48" O.C. TYP.
- 513) PROVIDE #4 DOWELS AT 48" O.C. TYP.
- 514) PROVIDE #4 VERTICAL BARS AT 48" O.C. TYP.
- (515) GROUT SOLID CMU CELLS AT NEW DOWELS AND VERTICAL BARS 516 DOUBLE TOP PLATE
- 517) PROVIDE P.T. BASE PLATE ON CONCRETE SLAB, TYP.
- 518) PROVIDE TWO (2) STUDS BELOW EACH STEEL BEAM/PURLIN ABOVE, TYP.



NEW WALL SECTION A4.0 SCALE: 3/4" = 1'-0"



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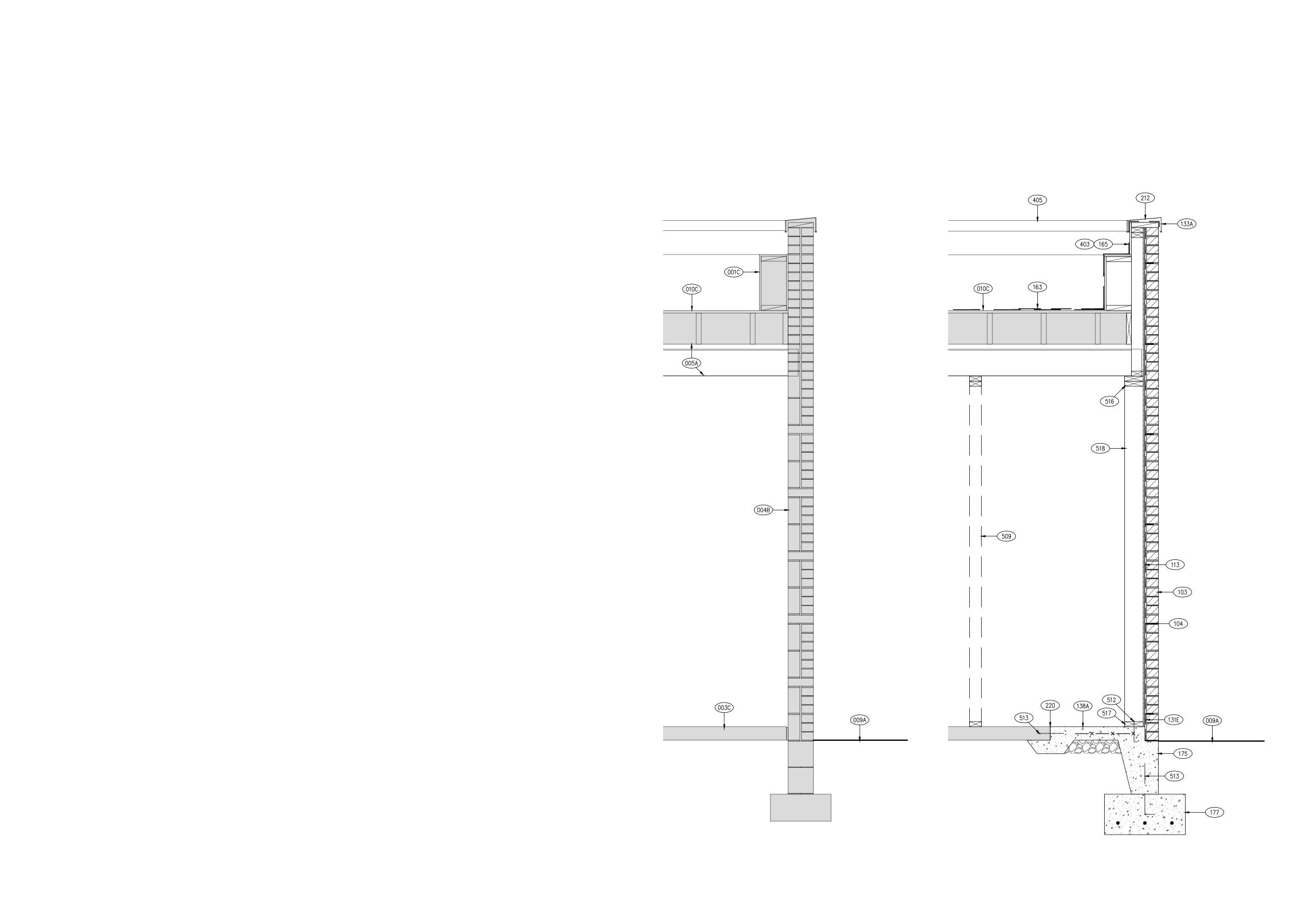
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Sheet Description **WALL SECTIONS**

Project #: 234100

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EX'G ITEMS (001-099)

- 001) EX'G CONSTRUCTION TO:

 A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 003 EX'G CONCRETE SLAB TO:

 A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 004) EX'G WALL TO:
 A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 005 EX'G ROOF STRUCTURE TO:

 A. REMAIN B. BE REMOVED C. BE MODIFIED AS REQ'D BY NEW WORK.
- 6) EX'G WINDOW TO:
 A. REMAIN B. BE REMOVED C. BE REMOVED. SAVE FOR RE-USE
- 009 EX'G FINISHED GRADE TO:
 A. REMAIN B. BE MODIFIED
- (010) EX'G ROOFING TO:

 A. REMAIN
 B. BE REMOVED
 C: BE MODIFIED AS REQ'D BY NEW WORK

MATERIALS (100-199)

EXTERIOR WALLS MATERIALS (100 -129)

- 103) BRICK, SEE EXTERIOR FINISHES ON ELEVATIONS.
- GALVANIZED MASONRY TIES @ 24" O.C. EA. WAY.
- 105 BRICK ROWLOCK SILL TO MATCH EXISTING.
- 107 WINDOW. RE-USE EXISTING. REPAIR AS REQ'D.
- 111 OVERHEAD DOOR & TRACK
- EXTERIOR WALL FINISH (SEE ELEVATION) OVER SELF ADHERED AIR & VAPOR BARRIER MEMBRANE ON 5/8" FRT PLYWOOD SHEATHING ON 2x6 WOOD FRAMING, SEE STRUCTURAL DWGS.
- SELF-ADHERED AIR & VAPOR BARRIER MEMBRANE, CARLISLE CCW-705 OR EQUAL. WRAP OVER TOP OF ALL FRAMING AND TO BACK SIDE. LAP/ADHERE TO ROOF MEMBRANE AS REQ'D. COORDINATE TRANSITION FLASHING AT ALL WALL OPENINGS.

FLASHINGS (130 - 134)

130) PREFIN ALLIM FLASHING SEE FLEVATION

D: @ PROJECTION

- 130 PREFIN. ALUM. FLASHING, SEE ELEVATIONS.

 131 MEMBRANE FLASHING:
 A: @ TOP OF WALL
 B: @ HEAD OF WINDOW
 C: @ SILL
- 133 PREFINISHED METAL FLASHING:
 A: © COPING
 D. SIDING TERMINATION

 B: © COUNTERFLASHING
 C: © ROOF TO WALL

E: @ GRADE

SLAB (135 - 139)

- CONCRETE SLAB OVER 10 MIL POLY V.B. ON 4" WASHED GRAVEL ON UNDISTURBED SOIL OR ENGINEERED FILL, SEE STRUCTURAL DWGS.
- 138) 4" CONCRETE SLAB:

 A: W/ 6x6 WWF OVER 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRAVEL

 B: W/ #4 REINF. BARS @ 24" O.C. EACH WAY

FIRE RATINGS / INTERIOR FINISH MATERIALS (140-159)

- 1 HR FIRE RATED FLOOR/CEILING ASSEMBLY (RC 2601), WRAP BEAMS AS REQ'D. SEE UL ASSEMBLIES ON DRAWING A3.0
- 1 HR FIRE RATED WALL ASSEMBLY (WP 3510), WRAP BEAMS AS REQ'D.

C: W/ 6x6 WWF ON 4" WASHED GRAVEL

- SEE UL ASSEMBLIES ON DRAWING A3.0
- 156 2x WOOD FRAMING SUPPORT AS REQUIRED.

 157 EXISTING MASONRY WALL TO REMAIN.

ROOF (160-169)

- (160) CONTINUOUS GUTTER, SEE EXTERIOR FINISHES.
- (163) ROOFING, SEE ROOF PLAN.
- (165) EXTEND ROOF MEMBRANE UP AND OVER TOP OF PARAPET WALL/UNDER CAP FLASHING.

STRUCTURE (170-179)

- 170 STRUCTURAL STEEL (SEE STRUCTURAL DWGS):

 A: BEAM
 B: COLUMN
 C: ANGLE
- 175 TURN DOWN SLAB, SEE STRUCTURAL DWGS.
- 177 CONCRETE FOOTING, SEE STRUCTURAL DRAWINGS:
 A: CONTINUOUS B: PIER
- 179 BLOCKING AS REQ'D

 EXTERIOR / SITE (190–199)

196 BOLLARD

DETAILED ITEMS (200–299)

- 204 STEEL LINTEL, SEE STRUCTURAL DRAWINGS

 212 CAP FLASHING SEE DETAIL 4/45.0
- 212 CAP FLASHING, SEE DETAIL 4/A5.0
- THRU WALL FLASHING, ALT:

 A .BASE OF WALL, SEE DETAIL 7/A5.0

 C: LINTEL, SEE DETAIL 6/A5.0

 B: BEAM/HUNG PLATE, SEE DETAILS_
- 220 EXPANSION JOINT, SEE TYPICAL DETAILS 5/A5.0
- OVERHEAD DOOR THRESHOLD, SEE DETAIL 2/A5.0

INSTRUCTIONS (400-499)

- MEMBRANE ROOFING TO EXTEND UP WALL UNDER METAL FLASHING, AND TERMINATE A EXTERIOR FACE OF WALL.
- 405 PARAPET BEYOND.
- MAINTAIN INTEGRITY OF FIRE-RATED ASSEMBLIES WHERE ABUTTING NON-RATED CONSTRUCTION.

JOB SPECIFIC INSTRUCTIONS (500-599)

- 505 NEW HEADERS AT DOORS AND WINDOWS
- 506 PVC TRIM
- 507 PATCH/REPAIR EX'G MEMBRANE ROOFING AS REQ'D AT NEW WORK
- PROVIDE TEMPORARY WALL/BRACING DURING DEMO AND CONSTRUCTION OF NEW WALL. REMOVE WALL/BRACING UPON COMPLETION OF NEW WALLS.
- wall/bracing upon completion of new wall (512) PROVIDE ½" ANCHOR BOLTS AT 48" O.C. TYP.
- 513) PROVIDE #4 DOWELS AT 48" O.C. TYP.
- 514) PROVIDE #4 VERTICAL BARS AT 48" O.C. TYP.
- 515 GROUT SOLID CMU CELLS AT NEW DOWELS AND VERTICAL BARS

 516 DOUBLE TOP PLATE
- 516 DOUBLE TOP PLATE

 517 PROVIDE P.T. BASE PLATE ON CONCRETE SLAB, TYP.
- (518) PROVIDE TWO (2) STUDS BELOW EACH STEEL BEAM/PURLIN ABOVE, TYP.

1B NEW WALL SECTION

A4.1 SCALE: 3/4" = 1'-0"

Flanagan
ARCHITECTS, AIA

8120 WOODMONT AVE. SUITE 107
BETHESDA, MD 20814
TEL: (301) 652-4811

PROFESSIONAL CERTIFICATION:
"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license #0401 007912, exp. date 31 December 2024."

Name:

SCI - DEMAINE FUNERAL HOME OF ALEXANDRIA

520 S. WASHINGTON STREET ALEXANDRIA, VA 22314



Sheet Description
WALL SECTIONS

C: STEPPED AS REQ'D.

Project #: 234100

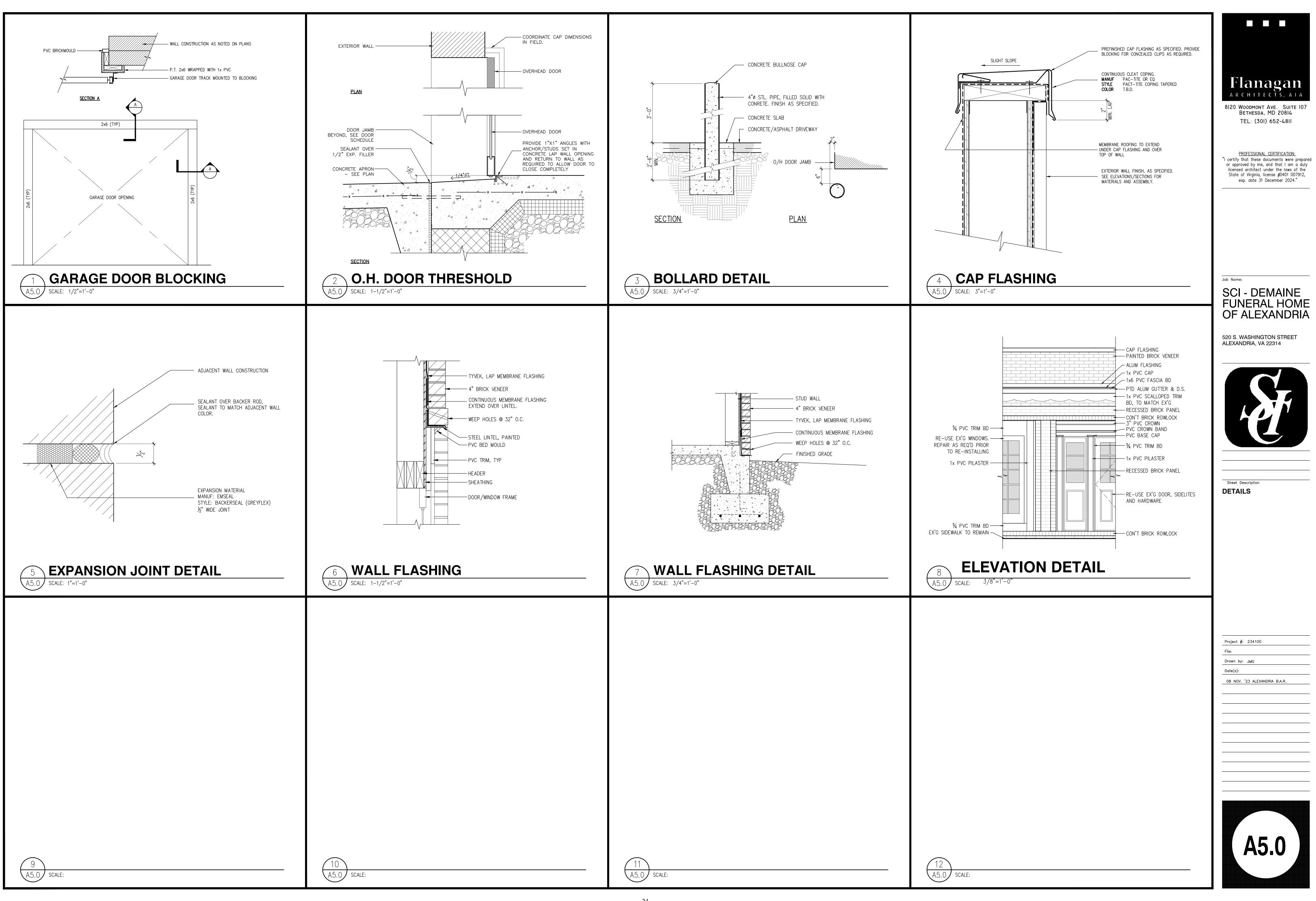
Drawn by: JMG

Date(s):

08 NOV. '23 ALEXANDRIA B.A.R.



1A EX'G WALL SECTION
A4.1 SCALE: 3/4" = 1'-0"











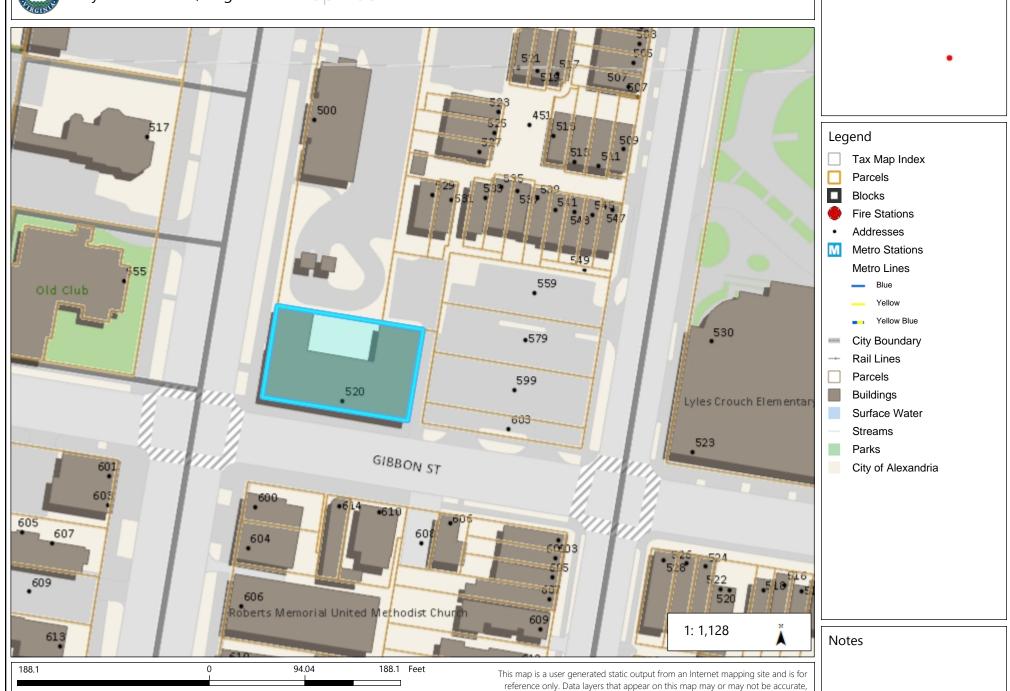


City of Alexandria, Virginia

WGS_1984_Web_Mercator_Auxiliary_Sphere

City of Alexandria, VA

Map Title



current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

