

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Russell and Michelle Shearer

LOCATION: Old and Historic Alexandria District
609 Queen Street

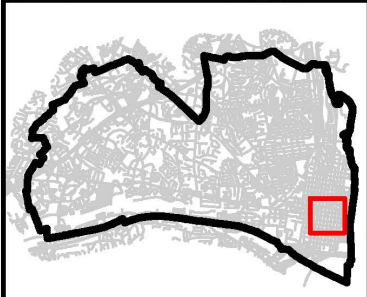
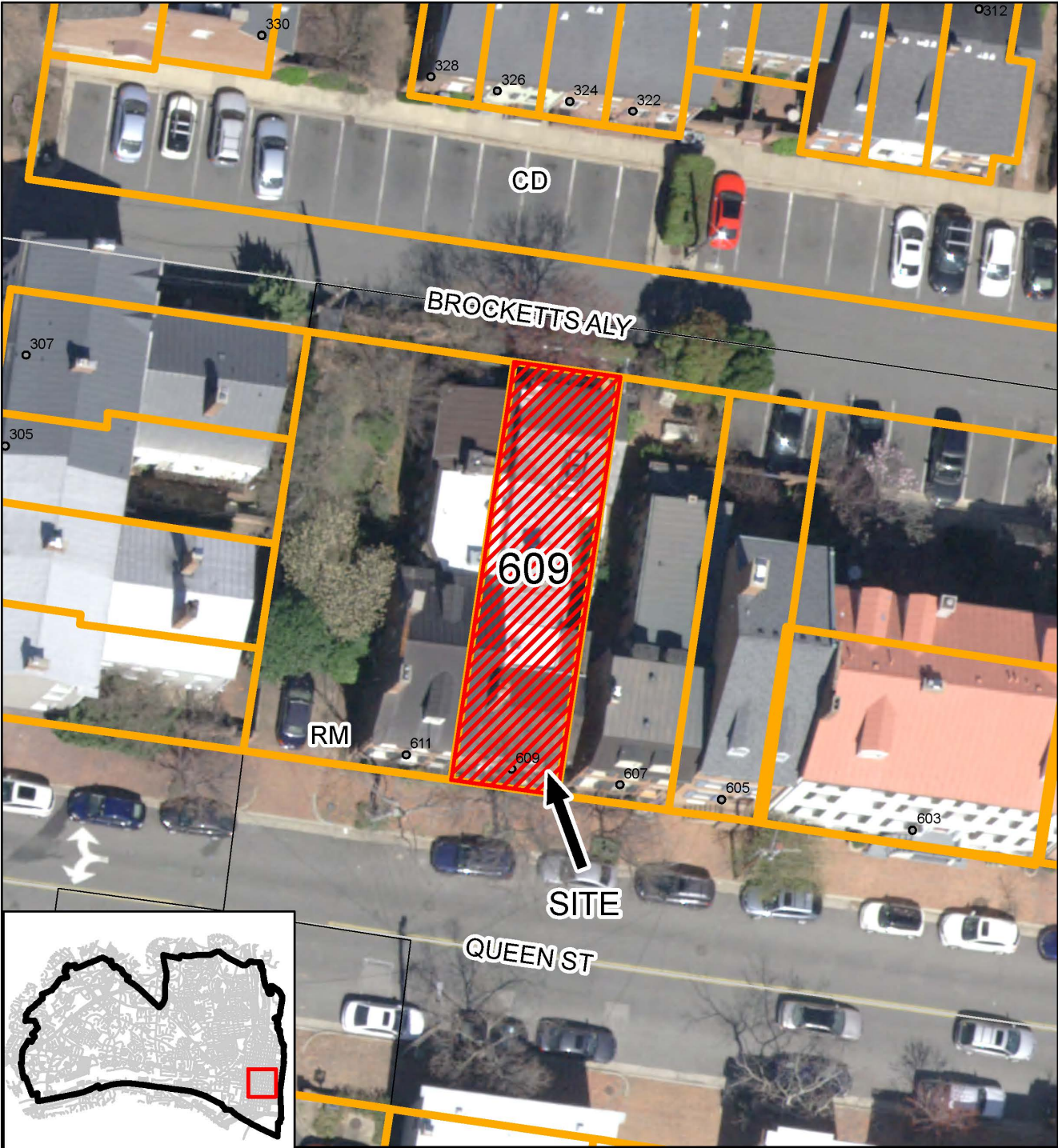
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00341 & BAR#2024-00342
609 Queen Street



Note: Staff coupled the applications for a Permit to Demolish (BAR #2024-00342) and Certificate of Appropriateness (BAR #2024-00341) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a new window and window well to the front/south elevation, new doors and lighting to the rear/north elevation, the modification of a window and door on the east elevation, and the addition of cellar-level doors and a new window on the east elevation, at 609 Queen Street.

These alterations will require the demolition of a total of 110 square feet of exterior wall material.

Site context

The alley to the north and behind the subject property, Brocketts Alley, is split between private and public. The southernmost half of the alley, immediately adjacent to the rear of the properties on Queen Street, is private. The northernmost half is public. Alterations to the rear addition will be visible from a public right of way.

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, Andrew Schofield built the house at 609 Queen **around 1810**. According to a report by Richard Bierce, Historic Architecture and Preservation Consultant, the kitchen addition at the rear of the house dates from the mid-20th century, probably around the same time that Permit #1540 was issued in 1936 “to dig cellar 7’ deep and underpin walls with 13’ brick wall. Put window in front wall. Carry joist with iron beams where necessary.”

Previous BAR Approvals

- Nov 6, 1991, BAR-91-201: approval of a two-story rear addition.
- Jan 15, 1992, BAR-92-94: approval of cedar shingles on new addition.
- Sep 4, 2022, BAR2002-00199: approval to add wooden gate between 607 and 609 Queen.
- Feb 18, 2022, BAR2022-00082: administrative approval to repoint/repair a chimney.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. As noted above, the rear kitchen addition dates to the mid-20th century, probably the early 1940s, and the two-story addition built onto that section of the house dates to the early 1990s. Removing a window and creating an 85 square foot opening on the north elevation will not negatively affect the historic nature of the building. Adding a window well to the front elevation and lowering a window and converting a door to a window on the east elevation are appropriate alterations. Likewise, excavating below-ground areas in order to provide new openings at the cellar level does not meet the criteria for demolition above. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

In regard to the proposed window well, Section 5-2-29(2)(a) of the Zoning Ordinance indicates that steps/stoops/ramps "... not more than 12 feet in width...may project beyond the street facing lot line." City Transportation & Environmental Services staff have advised that a window well is

classified the same as a stoop for encroachment purposes. Therefore, the proposed window well complies with the Zoning Ordinance. In addition, the *BAR Policies for Administrative Approval* do not require any level of approval for window wells on private property. Although this particular window well will not be on private property and will extend onto the public sidewalk about as far as the existing stoop does, it is perfectly appropriate. The proposed window will be a casement window, which will enable it to be used as an egress window in case of emergency. It will be aluminum clad, with the appearance of a six-over-six window. Not quite half of the upper row of glass panes will be above sidewalk level, so staff finds aluminum clad to be appropriate. The proposed header matches those on the rest of the house's windows.

As for the new doors and lighting at the rear elevation, these comply with all guidelines and policies. The Bevelo Williamsburg lights are architecturally and historically appropriate. Jeld-Wen aluminum clad windows and doors with simulated divided lites (SDLs) comply with the *BAR Policies for Administrative Approval*. The rear exterior doors will upgrade the appearance of the north elevation, giving it a balance that it currently lacks. See Figures 1 & 2.



Figure 1: Existing north elevation

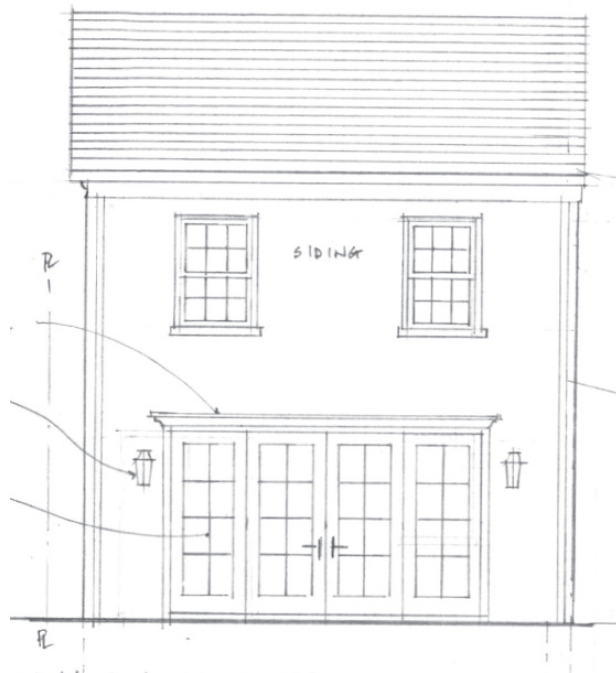


Figure 2: Proposed north elevation

The modification of the windows and door on the east elevation will not be visible from Queen Street and will be minimally visible, if at all, from Brocketts Alley. The new cellar-level doors on this elevation will not be visible from a public right of way. The proposed materials for all of these openings comply with the *BAR Policies for Administrative Approval*.

Staff therefore recommends approval of the project, as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed exterior windows, window wells, doors, and new exterior stairs will comply with Zoning.

C-2 Rear exterior stairs to be covered and not exceed a height of 2' in order to not take away from open space.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

No comments received.

V. ATTACHMENTS

Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat
- Photographs
- Public comment if applicable
- Any other supporting documentation

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 609 QUEEN ST

DISTRICT: Old & Historic Alexandria Parker - Gray 100 Year Old Building

TAX MAP AND PARCEL: 64.04-11-06 ZONING: RM

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: RUSSELL & MICHELLE SHEARER

Address: 609 QUEEN ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: rshearer@islinc.com

Authorized Agent (if applicable): Attorney Architect _____

Name: PATRICK CAMUS

Phone: 703 626 1984

E-mail: studiocamus@comcast.net

Legal Property Owner:

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REQUEST APPROVAL FOR A NEW WINDOW & WINDOW
WELL AT THE FRONT ELEVATION. ALSO NEW DOORS &
LIGHTING AT THE REAR OF THE PROPERTY AND MODIFICATIONS
TO ONE WINDOW & DOOR AT THE EAST SIDE

REQUEST DEMOLITION FOR ALL THESE COMPONENTS -
TOTAL AREA OF 110 S.F.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: PATRICK CAMUS

Date: 8 SEPT 2024

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. RUSSELL & MICHELE SHEARER	609 QUEEN	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 609 QUEEN (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. RUSSELL & MICHELE SHEARER	609 QUEEN	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. RUSSELL & MICHELE SHEARER	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8 SEPT 24
Date

PATRICK CAMUS
Printed Name


Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address RM Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="64"/>	Basement**	<input type="text" value="64"/>	B1. <input type="text" value="2554"/> Sq. Ft.
First Floor	<input type="text" value="1226"/>	Stairways**	<input type="text" value="90"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="1226"/>	Mechanical**	<input type="text"/>	B2. <input type="text" value="279"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text" value="2275"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text" value="125 (x 2.5)"/>	(subtract B2 from B1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. Total Gross <input type="text" value="2554"/>		B2. Total Exclusions <input type="text" value="279"/>		

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text" value="1162"/>	Basement**	<input type="text" value="1162"/>	C1. <input type="text" value="1162"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text" value="1162"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text" value="0"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	(subtract C2 from C1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. Total Gross <input type="text" value="1162"/>		C2. Total Exclusions <input type="text" value="1162"/>		

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:



Queen Street Front



Rear



Rear, from Brockett's Alley



East Side views



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria, Virginia 22314
 studio@camus.compatrick@camus.com
 Lynnette 703 989 3777 Patrick 703 626 1984

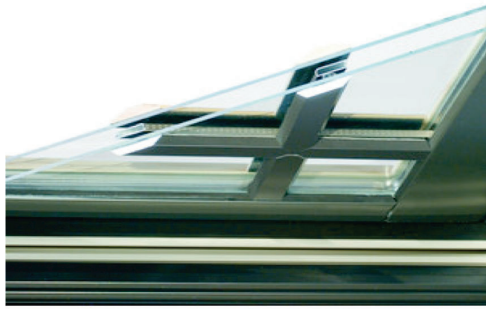
Proposed Modifications to the
SHEARER RESIDENCE
 13 609 Queen Street Alexandria Virginia

DATE
 8 Sept 2024

SCALE
 N.T.S.

SHEET

P1



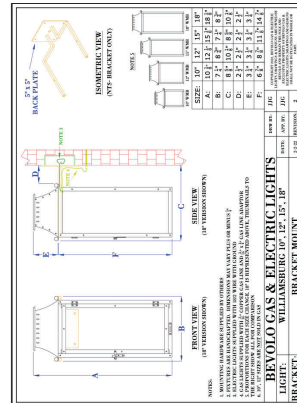
**JELD WEN
Simulated Divided Lites**

(SD) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles: 5/8" width in putty profile. These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.



Bevelo Williamsburg®
15 1/8" H x 7 1/4" W x 8 5/8" D
One each side of new rear doors



Bevelo Electric Light Fixture for 609 Queen Street, Rear

**Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations**

A. Property Information
 A1: 609 Queen Street, R1M
 A2: 1600 S. 15th St, Zone = 2430
 Total Lot Area x 1.5 = Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area
 Existing Gross Area: 2554 Sq. Ft.
 Allowable Exclusions:
 Basement: 84
 First Floor: 1226
 Second Floor: 1226
 Third Floor: 2275
 Attic: 2275
 Porches: 2275
 Balcony/Deck: 125 (x 2.5)
 Lavatory: 125 (x 2.5)
 Other: 279
 Total Gross: 2554
 Total Exclusions: 279

C. Proposed Gross Floor Area
 Proposed Gross Area: 1162
 Allowable Exclusions:
 Basement: 1162
 First Floor: 1162
 Second Floor: 1162
 Third Floor: 1162
 Attic: 1162
 Porches: 1162
 Balcony/Deck: 1162
 Lavatory: 1162
 Other: 1162
 Total Gross: 1162
 Total Exclusions: 1162

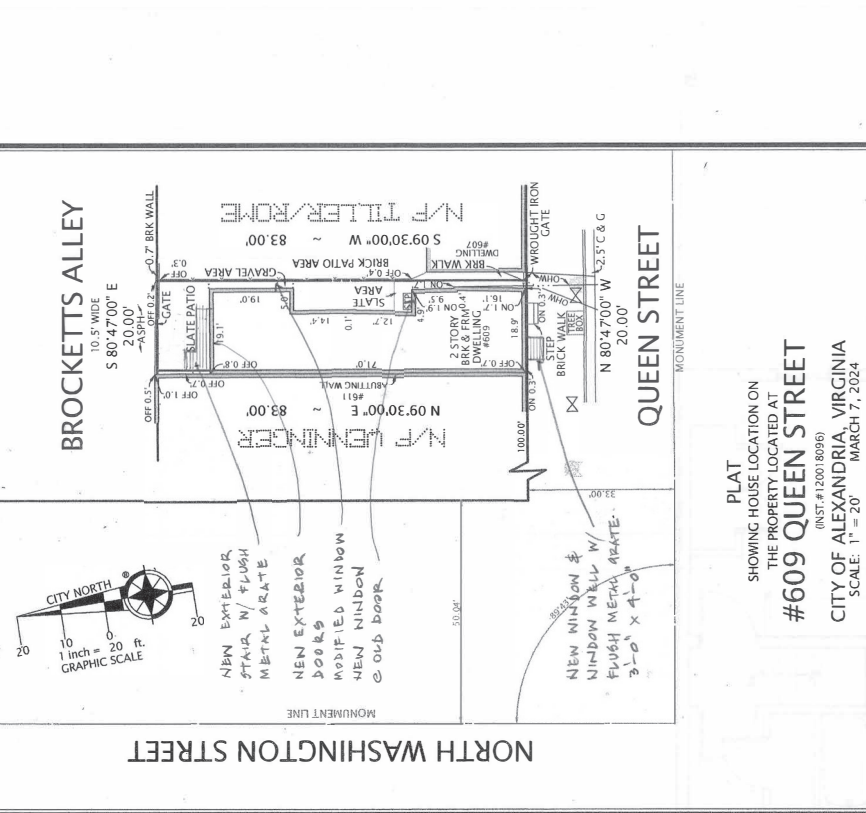
D. Total Floor Area
 D1: 2275 Sq. Ft.
 Total Floor Area (add B3 and C3): 2275 Sq. Ft.
 D2: 2480 Sq. Ft.
 Total Floor Area Allowed by Zone (FAR): 2480 Sq. Ft.

E. Open Space
 E1: 240 s.f. (14%) Existing Open Space
 E2: 581 (35%) Required Open Space
 E3: 240 s.f. (14%) No Change Proposed Open Space

Notes:
 *Gross floor area is the sum of all areas within and above the ground level, measured from the face of exterior walls, including porches, patios, decks, balconies, and other accessory buildings.
 **Refer to the Zoning Ordinance Section for information regarding allowable exclusions.
 Sections may also be required for some exclusions.
 ***Maximum total of excludable area for gross floor area may be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.
 Signature: [Signature] Date: 8 Sep 24

B



ORDERED BY:
C. RUSSELL H. SHEARER

SHOWING HOUSE LOCATION ON THE PROPERTY LOCATED AT
#609 QUEEN STREET
 (PASTE # 120018096)
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' MARCH 7, 2024

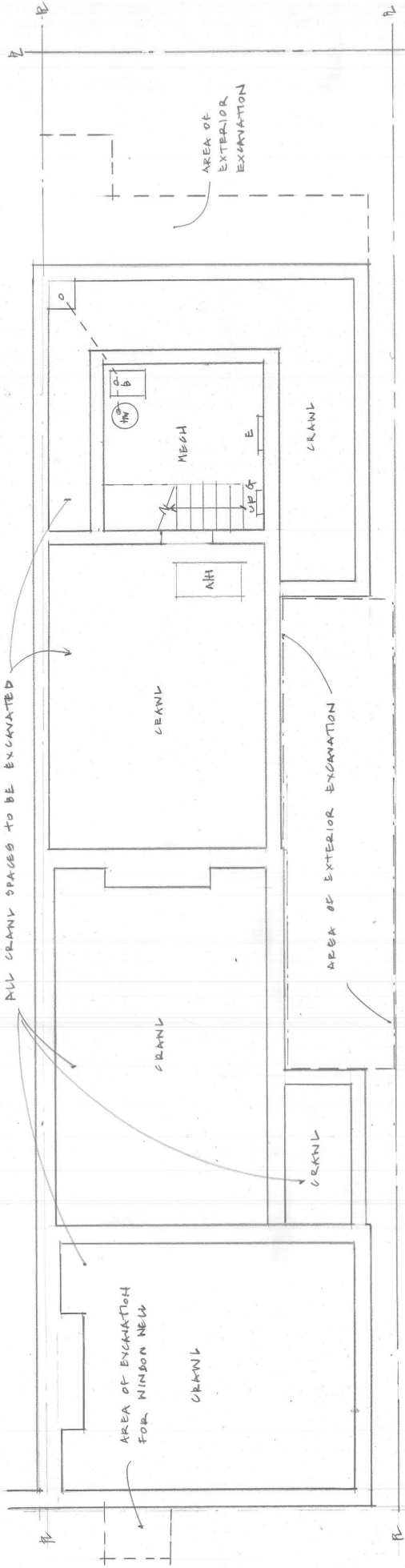
COMMISSIONER OF THE BOARD OF SURVEYORS
 George M. Quinn
 LICENSE NO. 03/07/2024
 2069

DOMINION Surveyors Inc. #240223016
 8808-H PEAR TREE VILLAGE COURT
 ALEXANDRIA, VIRGINIA 22309
 (703) 419-6555
 www.dominionsurveyors.com

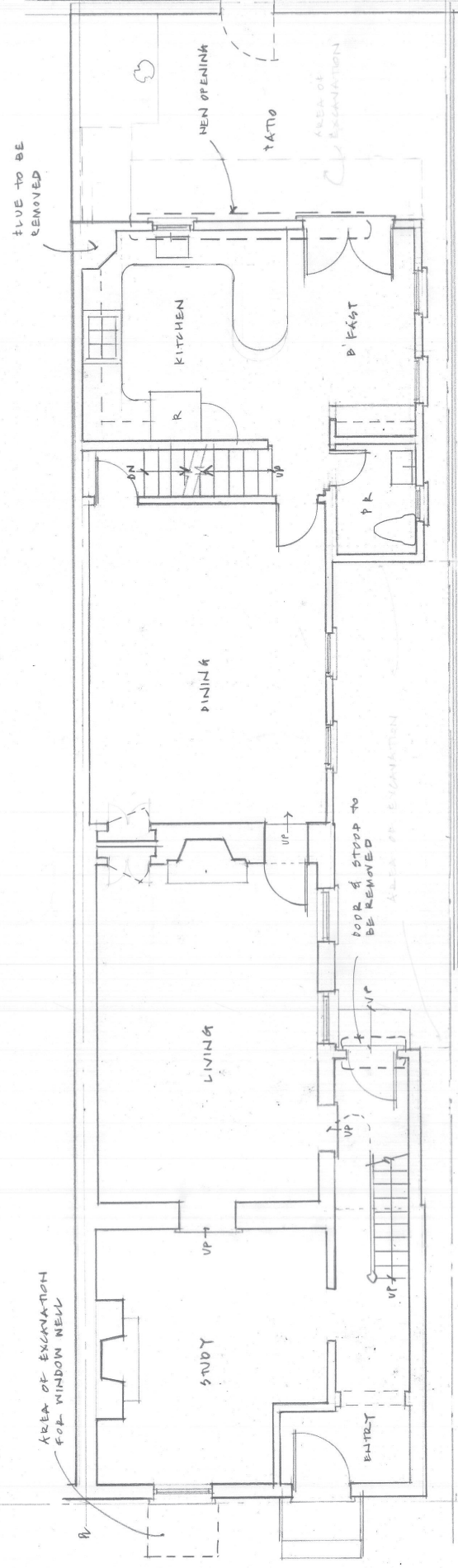
HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE.

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
 A TITLE REPORT WAS NOT FURNISHED.
 NO CORNER MARKERS SET.

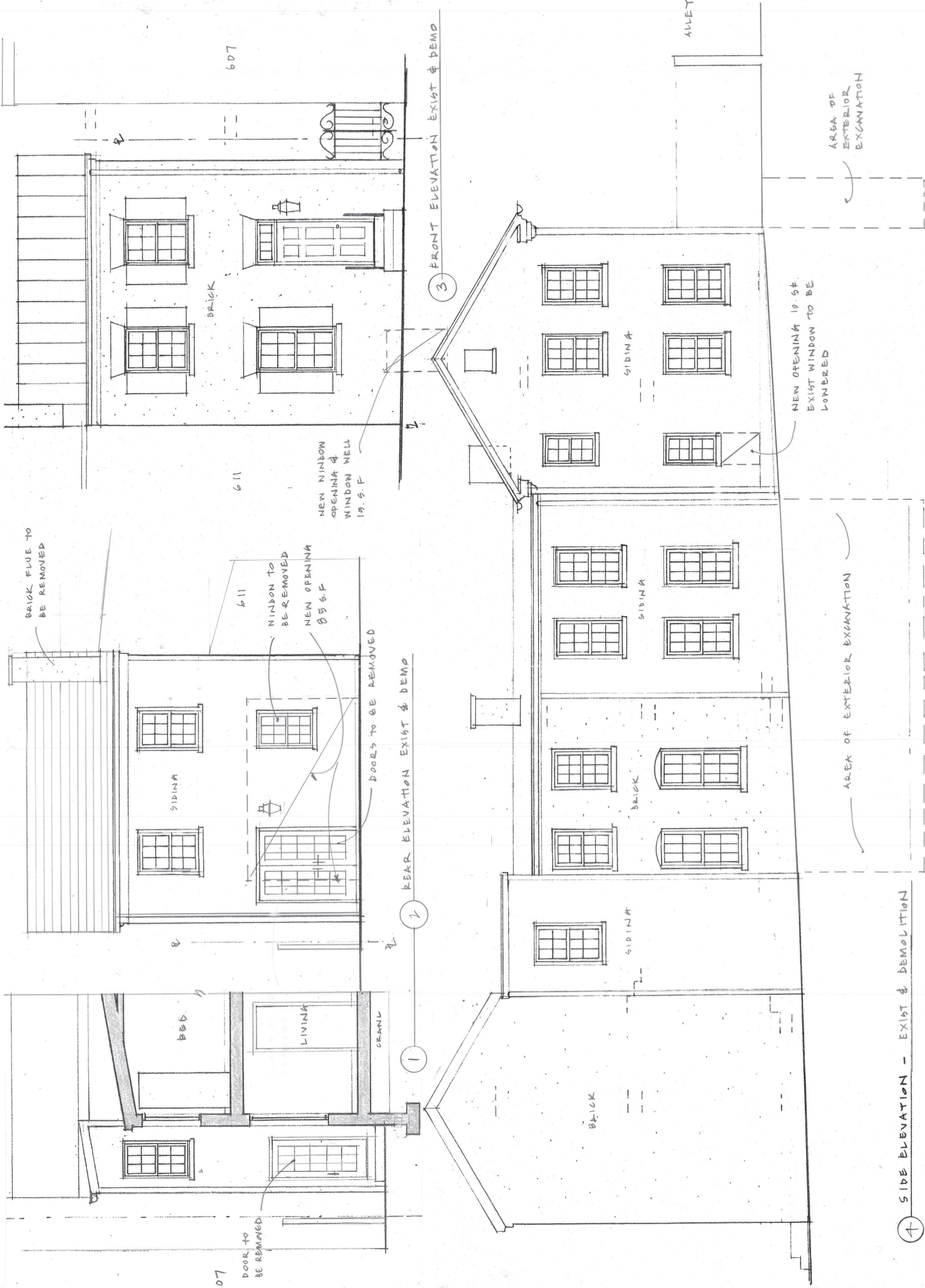
CASE NAME: SHEARER

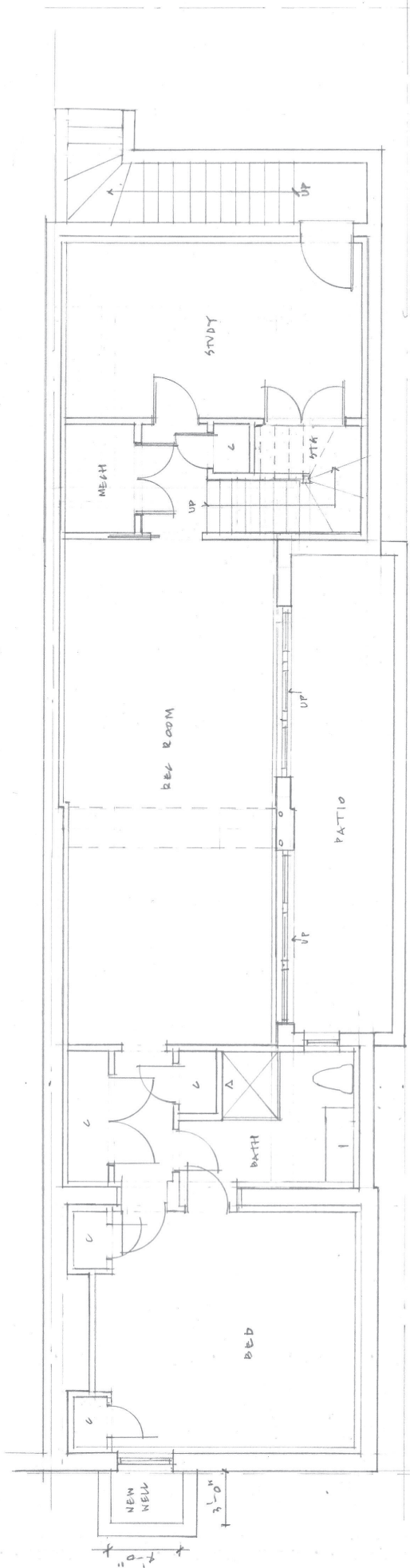


2 BASEMENT PLAN - EXIST & DEMOLITION

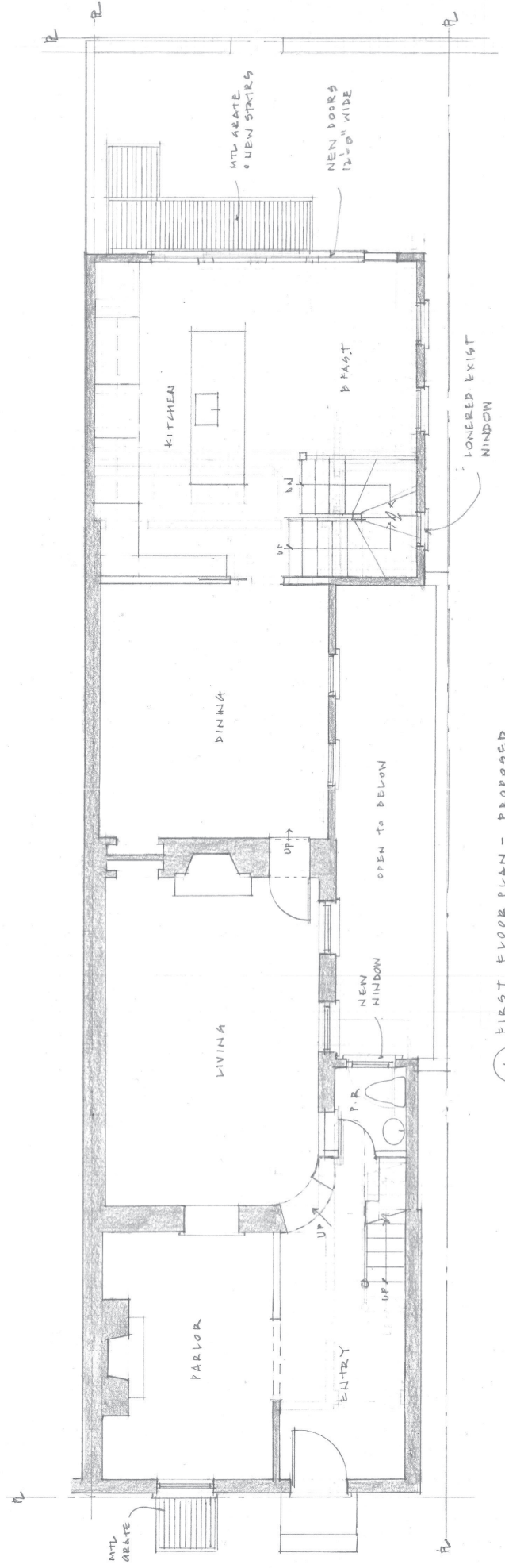


1 FIRST FLOOR PLAN - EXIST & DEMOLITION





2 BASEMENT PLAN - PROPOSED



1 FIRST FLOOR PLAN - PROPOSED
 1 SOME PENOTES EXIST

DATE
 8 SEP 24
 SCALE
 1/4" = 1'-0"

Proposed Modifications to the
SHEARER RESIDENCE
 609 Queen St Alexandria VA

STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynette 703-989-3777 Patrick 703-626-1984



A3



NEW CLAD S/DL WINDOW

611

BRICK JACK ARCH

NEW CLAD S/DL CASSEMENT NINDON

NEW NINDON WELL & FLUSH INTL ABATE

1 SIDE REAR

2 FRONT ELEV.

3 REAR ELEVATION - PROPOSED

4 SIDE ELEVATION - PROPOSED

EXIST NINDON, LOWERED PARAINI CLAD S/DL DOORS

DATE	8 SEP 24
SCALE	1/4" = 1'-0"
A4	

Proposed Modifications to the
SHEARER RESIDENCE
 609 Queen St Alexandria VA

STUDIO CAMUS, LLC
 225 North Pitt Street Alexandria, Virginia 22314
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