

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Ron Roys and Michelle Boggs

LOCATION: Old and Historic Alexandria District
200 South Fairfax Street #12

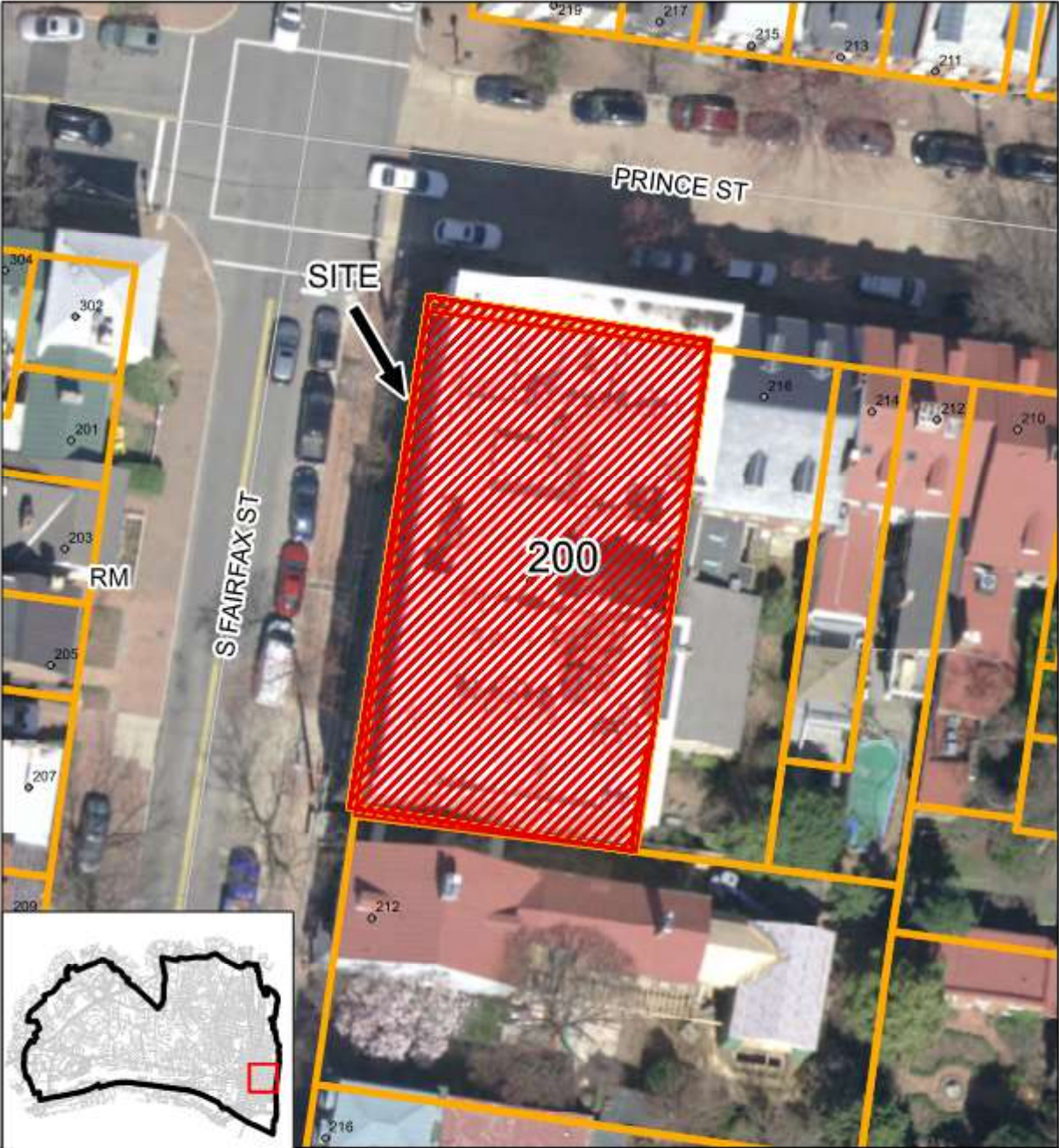
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

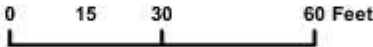
Staff recommends approval of the Certificate of Appropriateness as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00130
200 S Fairfax Street, Unit 12



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to replace five windows (Figure 1 & 2).



Figure 1: Proposed windows to be replaced on north elevation.



Figure 2: Proposed windows to be replaced on west elevation

Site context

The building sits at the south east corner of the intersection of South Fairfax Street and Prince Street. The windows to be replaced face each of these streets on the third floor and will be visible from a public right of way.

II. HISTORY

Originally known as James Green's Cabinet Manufactory, the building at 200 South Fairfax is a large brick structure that was completed in 1836. Originally three stories, the fourth was added at a later date. Prior to 1976, the structure was used for a number of manufacturing purposes including making shoes in the early twentieth century. The building has been extensively modified, including a circa 1976 conversion from commercial to multi-family residential use (Figure 3). During this renovation, the fourth floor was heavily modified and many of the window openings were changed. James Green's initials are still visible on the south side of the building along South Fairfax Street.



By Larry Morris—The Washington Post

Recently used as a garage, this former manufacturing building at Prince and Fairfax streets in Alexandria is scheduled to be converted this year into a luxury condominium project called Green's Steam Furniture Works.

Figure 3: 1976 newspaper article including photo prior to the conversion to a multi-unit residential building

Previous BAR Approvals for the building

- BAR 98-00193 – Approval for gates at garage entrance
- BAR 2001-00219 – Unit 15 demo
- BAR 2002-00296 – Window replacement
- BAR 2012-00031 – Addition at third floor balcony
- BAR 2014-00312 – Replacement of membrane roof
- BAR 2016-00003 – Repair and repoint brick at openings on S Fairfax elevation
- BAR 2017-00067 – Brick repointing at Prince elevation
- BAR 2018-00091 – Brick repointing at S Fairfax elevation
- BAR 2018-00211 – Window replacement
- BAR 2019-00085 – Brick repointing
- BAR 2019-00401 – Window replacement
- BAR 2020-00069 – Brick repointing at interior vestibule
- BAR 2020-00070 – Brick repointing at interior vestibule

III. ANALYSIS

The *Design Guidelines* say that “A central tenet of the philosophy of historic preservation is that original historic materials should be retained and repaired rather than replaced. An informed and careful analysis of the existing condition should be made before any decision to replace historic materials is made. It is often cheaper to keep historic materials and repair them rather than replace an item with new material.” The *BAR Policies for Administrative Approval* say that “Any proposal to remove historic material that staff believes can be reasonably repaired and preserved will not be approved administratively.” As noted above, this building has been significantly altered over time, including the reconfiguration of window openings. None of the windows proposed to be replaced are original to the building.

According to the *BAR Policies for Administrative Approval*, on “Buildings or portions of buildings built before 1932 (Early Buildings) with previously replaced windows... Historically appropriate multi-light sash must be single glazed wood windows on street facing elevations.” This policy also says that “Replacement windows on Early buildings must be full frame replacements, or sash kits installed in the existing frame, rather than insert or pocket style replacements.” and that “Where permitted, double pane multi-light insulated glass windows must have permanently fixed muntins on both the interior and exterior sides of the glass, with spacer bars between the glass.”

While the subject building is an Early building, originally built in 1836, it has been significantly altered over time including the addition of a fourth floor and the modifications made to the exterior as part of the 1976 conversion into a multi-unit residential building. Included in the work associated with the conversion was a reconfiguration of the window locations and sizes that made for more regular openings, but significantly changed the design of the building.

In addition to the changes to the building design, there have been many instances of maintenance and building upgrades that have been approved through the years. Included in these upgrades are three separate instances when double pane wood windows have been approved for installation at the building exterior. In 2002, the Board approved the installation of double pane wood windows in one of the units, the staff report from that case recommended that this becomes the standard for windows on the building. Then in 2018 and 2019, the installation of double pane wood windows was approved for individual residential units through the administrative review process. While those applications did not comply with the BAR Administrative Review Policy, they were consistent with the 2002 BAR approval.

The proposed windows are double pane wood windows with dark spacers and perimeter bars and will be full-frame replacements. Like the case in 2018 and 2019, the proposed windows in this case do not comply with the BAR Administrative Review Policy but are consistent with the windows that have previously been approved for this building.

As in 2002, staff finds that while the building is technically an Early building, the 20th century changes to the exterior are extensive enough to have compromised the historic integrity of the building. In a condominium building such as this, individual unit owners are responsible for the replacement of exterior windows. This means that instead of a wholesale replacement of all of the building windows, it is possible for windows to be replaced in a piecemeal fashion, such as what has happened on this building. The installation of different types of windows on a large building such as this would serve to detract from the overall design and homogeneity of the building. Staff finds this to be more detrimental to the building than the installation of double pane windows on a significantly altered Early building. With these factors, staff recommends approval of the requested Certificate of Appropriateness for alterations.

As noted above, the installation of various types of windows on a single multi-unit building detracts from the overall design of the building and creates a distracting composition that is detrimental to the historic district. Staff recommends that the Home Owners Association for this building apply for a blanket approval for the replacement of windows by individual property owners so that when they have all been replaced, the result will be a harmonious building exterior.

STAFF

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

I. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed replacement of windows will comply with zoning.

Code Administration

C-1 No comment.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria’s Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight is required for this project.

V. ATTACHMENTS

I – Application Materials

- Completed application
- Plans (included in application)

- Material specifications (included in application)
- Photographs (included in application)

2 – Supplemental Materials

- Public comment if applicable
- HOA approval (Owners Assn approval included in application)
- Any other supporting documentation

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 200 S. Fairfax, #12

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 075.01-0A-012 ZONING: Condo (Townhouse) (150)

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Ron Roys and Michelle Boggs

Address: 200 S. Fairfax Street, #12

City: Alexandria State: VA Zip: 22314

Phone: 301-641-3864 E-mail: Ron@mckinleyinc.com

Authorized Agent *(if applicable)*: Attorney Architect _____

Name: Skip Maginniss

Phone: 703-309-0156

E-mail: Skip.Maginniss@gmail.com

Legal Property Owner:

Name: Ron Roys and Michelle Boggs

Address: 200 S. Fairfax, #12

City: Alexandria State: VA Zip: 22314

Phone: 301-641-3864 E-mail: Ron@mckinleyinc.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

COMPLETE WINDOW REPLACEMENT

Remove existing trim, sashes and frame. Install new unit in existing rough opening (RO).

Trim interior with specified casing.

Trim exterior - Wood Brickmould as per attached contract. Insulate and caulk as required.

Remove all job related debris. Install to existing casing and foam around windows before installing BMC.

PLEASE NOTE, REPLACEMENT WINDOWS HAVE ALREADY BEEN INSTALLED IN #12 IN 2006. REQUEST IS FOR LIKE REPLACEMENT. REPLACEMENT WINDOWS HAVE ALSO BEEN APPROVED AND REPLACE IN UNITS #1, #6 and #11. See photos.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

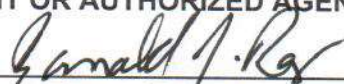
- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Ron Roys

Date: 3/31/2024

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ron Roys and Michelle Bc	200 S. Fairfax, 12	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ron Roys and Michelle Bo	200 S. Fairfax, 12	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

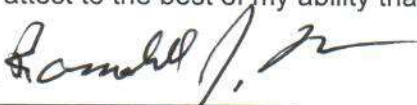
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

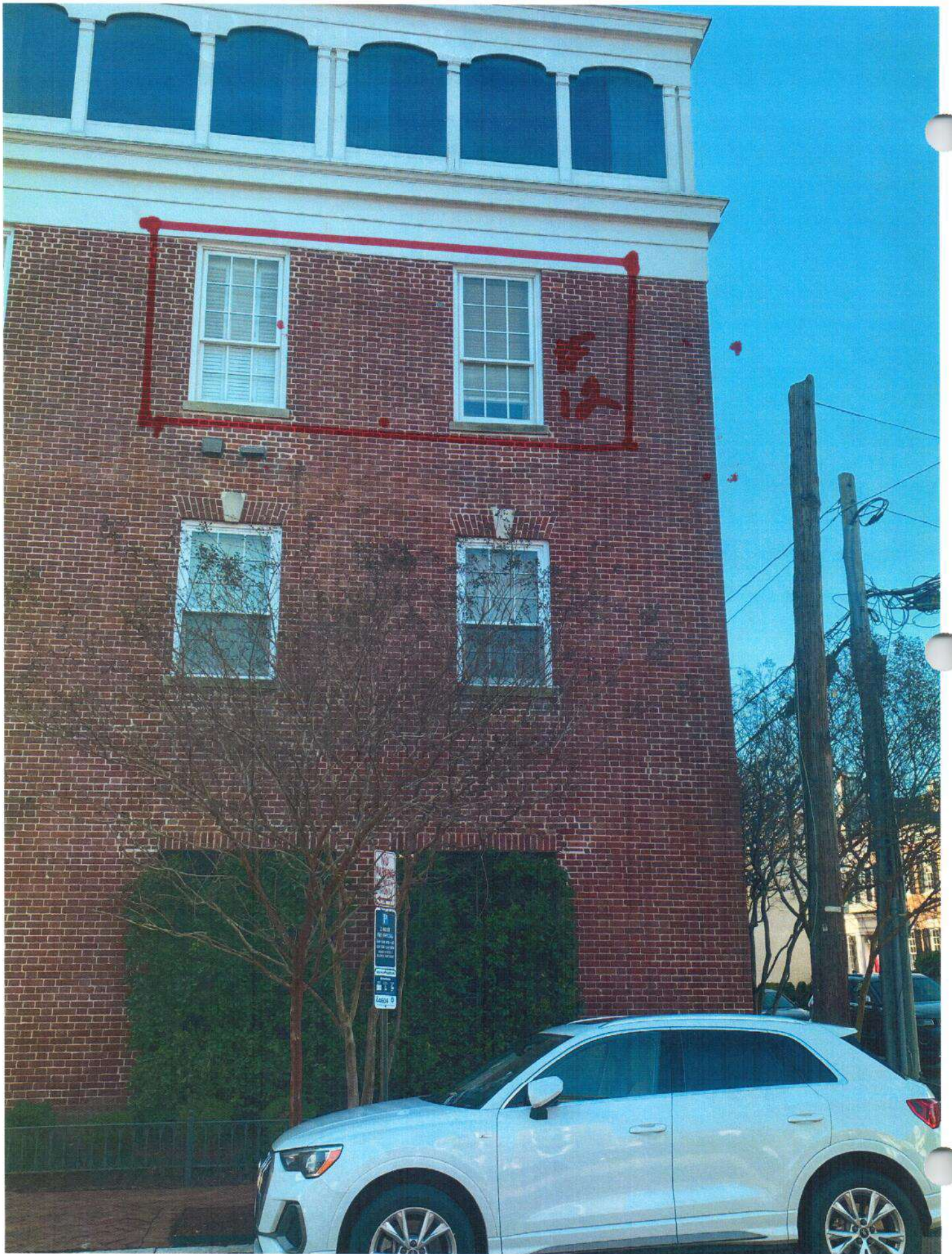
NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

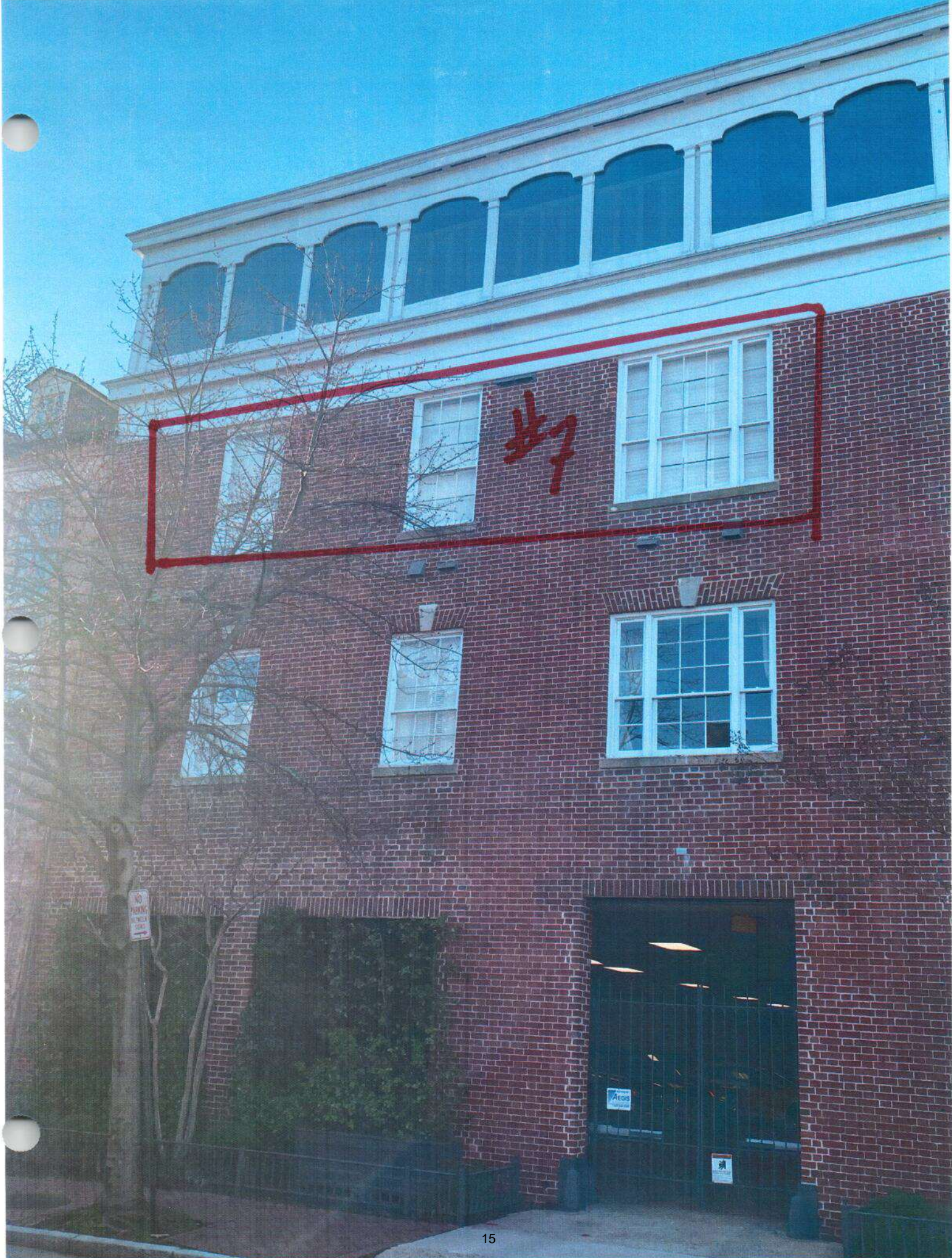
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

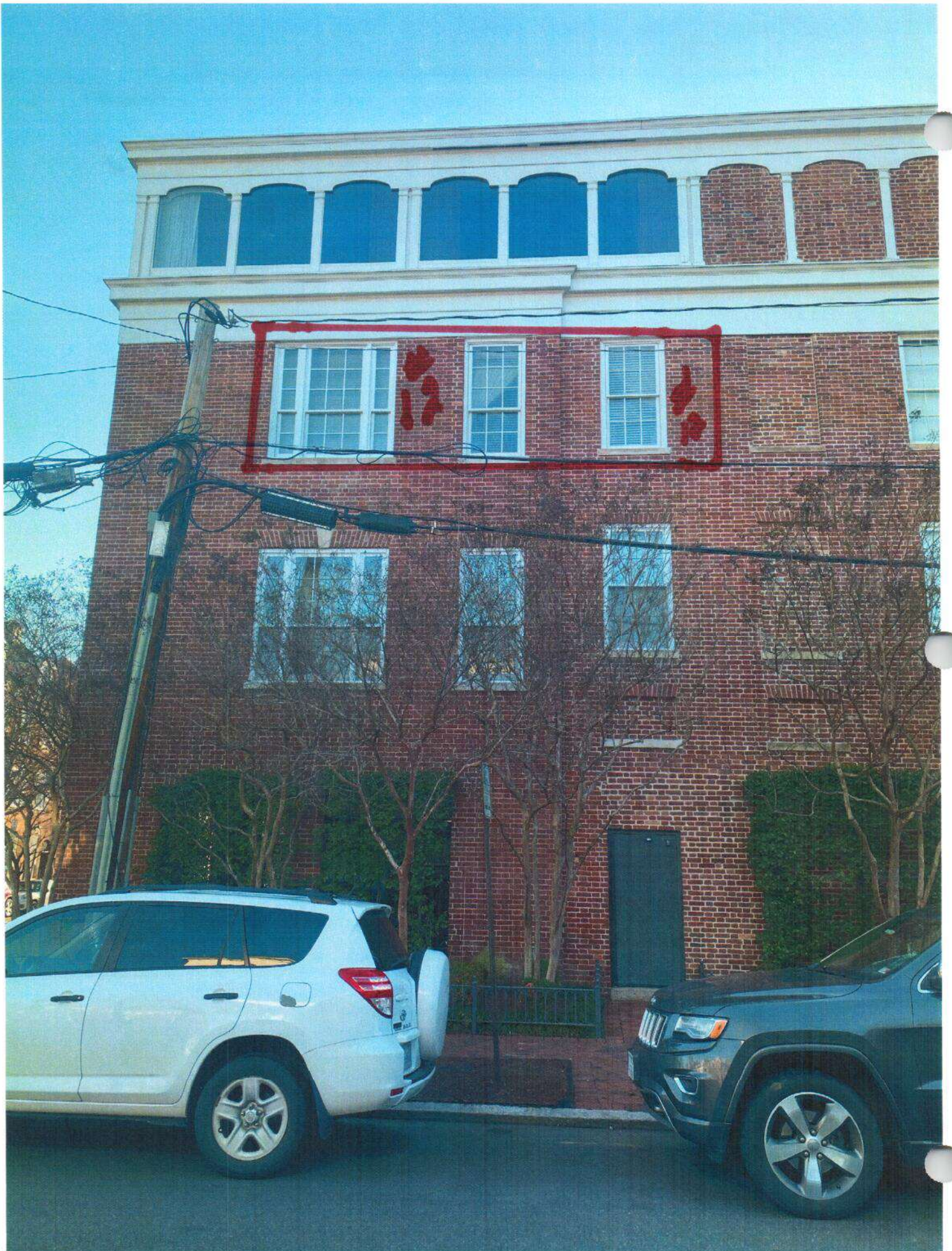
3/31/2024
Date

Ron Roys
Printed Name

Ron Roys 
Signature









B12



I7



#12

#1

#12

#6



www.WDShowplace.com
(703) 736-9600

44845 Falcon Pl #191 Sterling VA 20166
6832 Old Dominion Dr #103 McLean VA 22101
810 N. Fairfax St. Alexandria VA 22314

Date of Contract: 12/19/2023 Class A HIC

Contractor Licenses: Virginia: 2705 133400A | Maryland: 153999 | DC: 69008148

Sales Person: Mike Simpson (703) 927-8690 MSimpson@WDShowplace.com

Window and Door Showplace - Sales and Installation Agreement

Window and Door Showplace, Inc. (henceforth referred to as "Contractor"), and the following Customer (henceforth referred to as "the Owner") agree to the following terms and conditions for the improvement located at: _____

Sold To: Ron Roys Secondary Contact: _____

Billing Address: 200 South Fairfax St., Units #7 & #12

City State Zip: Alexandria, VA 22314

Main Phone: _____ Cell Phone: 301-641-3864 Text: _____

Email: ron@mckinleyinc.com CC: _____

Delivery Address: 200 South Fairfax St., Units #7 & #12

CityState Zip: Alexandria, VA

Year house was built: 1790 Lead Testing Required: Yes

Scope of Work: Complete Replacement:

Remove existing trim, sashes and frame. Install new unit in existing rough opening(RO). Trim interior with specified casing. Trim exterior as specified below. Insulate and caulk as required. Remove all job related debris.

Install to existing casing and foam around windows before installing BMC.

_____ ^{DS}
_____ ^{RR}

Window Treatments: Agreed: Initial- _____

. Removal and re-installation of all necessary window treatments is the responsibility of owner or occupant.

This contract is contingent on site inspection. Removal of all debris is included.

See attached vendor quote(s) and/or spec sheets: Marvin OMS Quote # K1B8T13 dated 12.19.2023

Exterior Trim other than capping. Exterior Trim: Wood Brickmould

Capping Style: N/A Capping Color: N/A

Interior Casing: Existing to remain

Total Number of Door Openings: 0 Total Number of Window Openings: 12

Payment Schedule: The Owner agrees to pay the price for the work according to the following payment schedule.

Is WDS to provide paint services during installation?

Project Financed Total: \$ 44,569.00

Upon Acceptance: \$ 14,856.33

Upon Delivery of Product: \$ 14,856.33

Upon Completion: \$ 14,856.34

_____ ^{DS}
_____ ^{RR}
 Yes
 No

TERMS AND CONDITIONS

Time of Performance

The estimated date of commencement of the work is 14 - 16 Weeks from the date of receipt of this contract for most projects, custom products may take longer. If project requires structural approval, HOA approval or permits, product will not be ordered until after approvals have been received in writing, this may delay the estimated commencement date and require a work order change or contract addendum. It is anticipated that the Work of this Agreement shall be substantially completed no later than 3 - 5 days after the product has been delivered, subject to any adjustments to the schedule of Work. These dates reflect the Contractor's best estimate and assume normal job site and weather conditions, the availability of materials, the prompt cooperation of the owner and free access to all work areas. The Contractor is not responsible for conditions beyond their control resulting in delays. Any delays that result from this are not considered an abandonment of the work. The Contractor shall not, under any circumstances, be liable to the Owner for damages due to such delays.

Change to the Scope of Work

Alterations or deviations from the above of work involving extra costs will be executed by written change order and will become an extra charge over and above the contract price. All changes will be payable in accordance to contract and the amount split up into the remaining payments due. All Window and Door Showplace products are made to order and therefore may not be canceled or returned.

Unforeseen Conditions

All hidden, concealed or unforeseen conditions that must be repaired, replaced or overcome, which result in an increase in cost, shall result in a change order to the work to be written and signed by all parties.

Force Majeure

Contractor will not be liable for any failure to perform its obligations under this Agreement if prevented from doing so by a cause or causes beyond its reasonable control and not caused by the fault or negligence of the Contractor, and the Contractor has been unable to avoid or overcome the act or event by the exercise of due diligence, including but not limited to: war, insurrection, civil unrest, riots or embargoes, delays by carriers, delays in shipments or receipt of materials from suppliers, pandemics, labor strikes, the governmental response to a pandemic, such as workplace, labor and transportation restrictions, severe weather, flood, fire, accidents, or acts of God.

Contractor Responsibilities

Unless otherwise specified, all material shall be new and free of defects and of good quality as determined by industry standards. All work will be carried out in an orderly manner and skilled workmen will be employed throughout the course of the job. All materials and workmanship will be equal or better to the existing materials and workmanship in the existing structure. Contractor's standards are based on the National Association of Home Builders' Quality Standards for the Professional Remodeler. All work to be covered by applicable Workers Compensation Insurance. The Contractor agrees to comply with all federal and state laws, codes and regulations, and all local and municipal ordinances and regulations effective where the Work is to be performed, and to pay all costs and expenses attributable to such compliance, to pay all fees, licenses, deposits and taxes, including sales and use taxes, and also to pay all taxes imposed by any local or state or federal law due to any applicable tax laws, social security acts, employment insurance acts, unemployment compensation statutes, workers' compensation acts, pensions, benefit trust funds, old age retirement funds or any similar authority insofar as applicable to the performance of this Agreement. Upon completion of work the contractor will remove all trash and construction related debris. Window and Door Showplace provides a limited lifetime installation warranty and all factory materials are specified by the manufacturer.

Owners Responsibilities

The Owner represents to the Contractor that the improvements in the work are not in violation of any covenant, rule, regulation, restriction or ordinance under local governmental law or property owner's association. The Owner shall be responsible for maintaining a policy of insurance with risk coverage for the property of the Owner, including coverage for theft, vandalism and malicious mischief.

Miscellaneous Provisions

If in the event that the Owner fails to make a schedule payment when due, the Contractor shall have the right to suspend performance. If the Contractor shall default in its obligation by failing or neglecting to perform the work, after having received written notice from the Owner, the Owner may give the contractor 10 days written notice of their intent to terminate the contract. If the Contractor does not take immediate remedial action within this ten (10) day period, the Owner may terminate this contract. In the event that this contract is performed in the state of Virginia, the Owner acknowledges that they have read the VA Department of Commerce statement of protections available through the Board of Contractors.

Marketing

The Contractor is authorized to display a yard sign on the property until completion of work, unless prohibited by HOA. The Contractor is authorized to photograph and to publish the documentation (included but not limited to newspaper, magazine, and the Internet). The Contractor will not publish the full name of the Owner or job site.

Governing Law and Rules of Construction

The validity, interpretation, and performance of this Agreement shall be governed by the laws of the jurisdiction where the Work Site is located. If any term or provision of this Agreement is determined to be invalid, it shall not affect the validity and enforcement of the remaining terms and provisions of this Agreement.

Exclusions

Unless otherwise specified the following items are specifically excluded from this agreement: Building permit if required; drywall or plaster repairs; paint preparation, filling of nail holes, caulking interior trim, painting; alarm disconnection or re-installation; window treatment removal or re-installation including shutters; removal or re-installation of air conditioner or security bars; washing of windows; electrical, plumbing or HVAC work.

Warranty

The majority of our Windows and Patio Doors are covered by a twenty (20) year glass warranty, and a ten (10) year product warranty or better. Refer to factory warranty for more details. Window and Door Showplace provides a limited lifetime installation warranty for all installed jobs from the date of installation.

Consumer is hereby notified of the existence of the Virginia Contractor Transaction Recovery Fund. The Virginia Contractor Transaction Recovery Fund provides relief to eligible consumers who have incurred losses through the improper and dishonest conduct of a licensed contractor. More information on the Fund or filing a claim can be obtained by visiting http://www.dpor.virginia.gov/Boards/Contractors_Recovery_Fund/ or by contacting the Board for claim information at the following address:

Recovery Fund Office | DPOR
 9960 Mayland Drive, Suite 400 Richmond, VA 23233
 (804) 367-1559
 Email: RecoveryFund@dpor.virginia.gov

VIRGINIA ARBITRATION

In the event of any dispute between the parties which arises under this Agreement, such dispute shall be settled by arbitration in accordance with the rules for commercial arbitration of the American Arbitration Association (or a similar organization) in effect at the time such arbitration is initiated, and subject further to the provisions of the Virginia Uniform Arbitration Act, incorporated by reference. A list of arbitrators shall be presented to the Claimant and Respondent from which one will be chosen using the applicable rules. The hearing shall be conducted in the City of Manassas, Virginia, unless both parties consent to a different location. The decision of the arbitrator shall be final and binding upon all Parties. The prevailing party shall be awarded all of the filing fees and related administrative costs. Administrative and other costs of enforcing an arbitration award, including the costs of subpoenas, depositions, transcripts and the like, witness fees, payment of reasonable attorney's fees, and similar costs related to collecting an arbitrator's award, will be added to, and become a part of, the amount due pursuant to this Agreement. Any questions involving contract interpretation shall use the laws of Virginia. An arbitrator's decision may be entered in any jurisdiction in which the party has assets in order to collect any amounts due hereunder.

MARYLAND ARBITRATION

Formal mediation of disputes between homeowners and contractors is available through the Maryland Home Improvement Commission; The Maryland Home Improvement Commission administers the Guaranty Fund, which may compensate homeowners for certain actual losses caused by acts or omissions of licensed contractors; and a homeowner may request that a contractor purchase a performance bond for additional protection against losses not covered by the Guaranty Fund. <http://www.dllr.state.md.us/license/mhic/> 1-888-218-5925

DC ARBITRATION

Mindful of the high cost of litigation, not only in dollars, but also in time and energy, the parties intend to and do hereby establish the following out-of-court alternate dispute resolution procedure to be followed in the event any controversy or dispute should arise out of, or relating to this contract or relating to any change orders or other changes or addendum's to this contract. If a dispute develops between the parties to this contract, the parties will first look to the current edition of the "Residential Construction Performance Guidelines" (RCPG) as published by the National Association of Home Builders, Washington DC. Both the Owner and contractor agree that the RCPG shall be used as the minimum acceptable level of construction that will be acceptable by the parties. If the disputed item is covered in the RCPG, the owners agree that if the construction in question has been built to meet the level of construction as specified in the RCPG, that they will accept the construction as being acceptable and the contractor agrees to bring the construction of the disputed item up to the guideline if the construction in question does not meet the level of construction as specified in the RCPG. Any issue relating to the RCPG that can not be settled by the Parties shall be settled through binding arbitration as specified below. If the disputed item is not covered in the RCPG, the parties agree to submit to binding arbitration as provided by and according to the rules and procedures of Construction Dispute Resolution Services, LLC. The Arbitration Award shall be binding on the parties and may be enforced in any court of competent jurisdiction.

Either party may initiate the arbitration process by executing a "Request for Dispute Resolution Services" and sending it to Construction Dispute Resolution Services, LLC. Both parties agree to return the fully executed arbitration agreements and other related forms and documents to Construction Dispute Resolution Services, LLC. within fourteen (14) days of receipt.

Both parties shall share the cost of the dispute resolution process equally although personal attorneys and witnesses or specialists are the direct responsibility of each party and their fees and expenses shall be the responsibility of the individual parties. Note: The parties may choose to have the arbitrator(s) allocate reasonable attorney's fees and reasonable costs and expenses to the prevailing party in any manner he/she/they feels is appropriate as opposed to having the costs shared equally by the parties.

DS
 RR

✕ Agreed: initial

BUYER'S RIGHT TO CANCEL

If this agreement is negotiated at or near your home and you accept this contract and decide that you do not want our goods or services, then you may cancel this agreement by notifying Window and Door Showplace, Inc at the address below. This notice must be in writing and must be postmarked prior to midnight of the third business day after the date the contract is signed.

NOTICE OF CANCELLATION

To cancel this transaction, mail or deliver a signed and dated copy of the cancellation notice to:
Window and Door Showplace, Inc.
44845 Falcon Place, Suite 191, Sterling, VA 20166

I hereby cancel this transaction. Date: _____

Customer/Owner Signature: _____

Project Address: _____

Contractor reserves the right to cancel this transaction within 7 business days from date of final site inspection.

Deposit Information

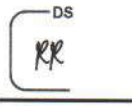
Charges will appear on your statement as "Window and Door Showplace" All checks are to be made out to "Window and Door Showplace".

Customer Acceptance

I have reviewed this document with a Window and Door Showplace employee and hereby certify that all information specified is correct and accurately describes the materials and installation that I wish to order. By my signature, I hereby release this material of production in accordance with this description.


Any fees incurred by Window and Door Showplace, Inc for Structural planning, permits, and/or dealing with HOA are nonrefundable.

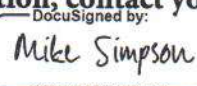
I understand that no changes or cancellations may be made to this order, unless otherwise noted, after the day of acceptance. Changes that are required after the site inspection will require a written change order. I agree to pay for the materials and installation pursuant to this agreement in accordance to the payment schedule. I agree to pay interest at a rate of 1.5% per month on any outstanding balance and all cost incurred in outstanding balance with all cost incurred in collections, including attorney's fees equal to 1/3 of any balance due. It is agreed that the owner may withhold a maximum of 5% of the FINAL Payment for punch list items including "Paint Touch Up Service" that may remain after substantial completion.

X 

No painting or staining is included unless specified in the contract or product order.

***** Due to Covid-19 and ever-changing information, your lead time maybe affected due to unforeseen circumstances, we will do our best to manage your order and alert you of any changes. If you need updated information, contact your salesperson.**

X 
Customer/Owner Signature


Authorized Signature for Window and Door Showplace

Ron Roys

12/19/2023 | 2:00 PM Mike Simpson

12/19/2023 | 9:51 AM

Print Name

Date

Print Name

Date

PREPARING FOR FINAL MEASURE AND INSTALLATION

Site Inspection

You will be contacted within 3 - 5 business day by our office to schedule a site inspection. During this site inspection final measurements will be taken and a general review of the site will take place. At this time, all product selections, including hardware, should be complete. Your selection(s) will be placed on order shortly after the site inspection has been reviewed. Questions or concerns should be sent to orders@wdshowplace.com.

Lead Paint

Homes built before 1978 are required to have lead testing per EPA regulations. If the test results are positive for lead paint, additional fees will be charged. Please discuss those charges with your consultant.

HOA/Permits

Approval from Homeowner Associations (HOA), local municipalities and Historical codes and regulations are the responsibility of the owner/owners.

Paint and Stain

No painting or staining is included unless specified in the contract or product order. If paint has been specified, customer must supply paint/stain unless the color chosen is a factory standard color or it will be applied at the manufacturer. Customer supplied paint must be usable and not contain contaminants. If a custom color paint/stain is going to be applied at the manufacturer a color sample must be supplied at the time of site inspection. This sample is sent to the manufacturer. They will create a painted/stained sample and send it back to Window and Door Showplace. Once the painted/stained color sample has been returned from the manufacturer, a final approval signature is needed. The signed approval is then sent back to the manufacturer. This approval process may add 3 - 4 weeks to production time.

Furniture

Please move furniture 3 - 6 feet away from the window and/or door opening. Wall hangings and breakables near or on the backside of walls should be removed if in danger of falling or being knocked over.

Window Treatments

Removal and re-installation of all necessary window treatments is the responsibility of owner or occupant.

Alarm Systems/Security Bars

Removal and re-installation of all security bars and alarm systems is the responsibility of owner. Please contact your alarm company prior to installation for removal and re-installation of your security system.

Electrical/Plumbing/Mechanical

Window and Door Showplace is not licensed to perform these duties.

Job Completion and Payment

Final payment is due at the substantial completion of the project.

✕ 
Customer/Owner Signature

12-19-23
Date

Customer/Owner Signature

Date



2024 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 <http://www.alexandriava.gov/>

License Number: 125876-2024
Account Number: 125876
Tax Period: 2024
Business Name: Window and Door Showplace, Inc.
Trade Name: Window and Door Showplace Inc
Business Location: 810 N FAIRFAX ST
Alexandria, VA 22314

Window and Door Showplace Inc
44845 Falcon Place Suite 191
Sterling, VA 20166

License Classification(s):

Contractors
9-079-003
Building

January 31, 2024

Dear Taxpayer:

This is your 2024 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit <http://www.alexandriava.gov/> or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314



License Number: 125876-2024
Account Number: 125876
Tax Period: 2024
Business Name: Window and Door Showplace, Inc.
Trade Name: Window and Door Showplace Inc
Business Location: 810 N FAIRFAX ST
Alexandria, VA 22314

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

Window and Door Showplace, Inc.
810 N FAIRFAX ST
Alexandria, VA 22314

License Classification(s): Contractors
9-079-003
Building

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation

9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON

03-31-2026

NUMBER

2705133400

BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS HIC



WINDOW AND DOOR SHOWPLACE INC
44845 FALCON PL STE 191
STERLING, VA 20166



Katherine S. Selt
Under Secretary

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

DPOR-LIC (02/2017)



COMMONWEALTH of VIRGINIA
Department of Professional and Occupational Regulation

(DETACH HERE)

CLASS A BOARD FOR CONTRACTORS
CONTRACTOR

CLASSIFICATIONS HIC

NUMBER: 2705133400 EXPIRES: 03-31-2026

WINDOW AND DOOR SHOWPLACE INC
44845 FALCON PL STE 191
STERLING, VA 20166



Status can be verified at <http://www.dpor.virginia.gov>

DPOR-PC (02/2017)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/19/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Preferred Ins. Services, Inc 4100 Monument Corner Dr., Suite 400 Fairfax VA 22030	CONTACT NAME: Certificate Department PHONE (A/C, No, Ext): 703-667-5940 E-MAIL ADDRESS: certs@preferins.com	FAX (A/C, No): 703-991-4838
	INSURER(S) AFFORDING COVERAGE	
INSURED Window and Door Showplace, Inc. 44845 Falcon Place #191 Sterling VA 20166	INSURER A: Erie Insurance Exchange NAIC # 26271	
	INSURER B: Flagship City Ins Co NAIC # 35585	
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES

CERTIFICATE NUMBER: 564704255

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y	Q61-0296386	8/1/2023	8/1/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		Q08-0131744	8/1/2023	8/1/2024	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ \$0	Y	Q32-0171319	8/1/2023	8/1/2024	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	Q92-5100728	8/1/2023	8/1/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Installation Coverage Leased/Rented Equipment		Q61-0296386	8/1/2023	8/1/2024	Deductible: \$200 Deductible: \$1,000 \$150,000 \$25,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 RE: Ron Roys 200 S. Fairfax St. Unites #7 and #12, Alexandria, VA 22314

Green's Steam Condominium Association, 200 S. Fairfax St. Alexandria, VA 22314 is Additional Insured with respect to General Liability regarding all work performed by the named insured. Umbrella Liability Follows form.

CERTIFICATE HOLDER**CANCELLATION**

Green's Steam Condominium Association
 200 S. Fairfax St.
 Alexandria VA 22314

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Roys, Ron Window replacement

Quote #: K1B8T13

A Proposal for Window and Door Products prepared for:

Job Site:

20166

Shipping Address:

WINDOW & DOOR SHOWPLACE-STERLING

44845 FALCON PL STE 191

STERLING, VA 20166-9545

Featuring products from:



MIKE SIMPSON
WINDOW & DOOR
SHOWPLACE-STERLING
44845 FALCON PLACE SUITE 191
STERLING, VA 20166-9545
Phone: (703) 736-9600
Fax: (571) 323-7087
Email: msimpson@wdshowplace.com

This report was generated on 12/19/2023 11:06:29 AM using the Marvin Order Management System, version 0004.05.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 7 TOTAL UNIT QTY: 8 EXT NET PRICE: USD 44,569.56

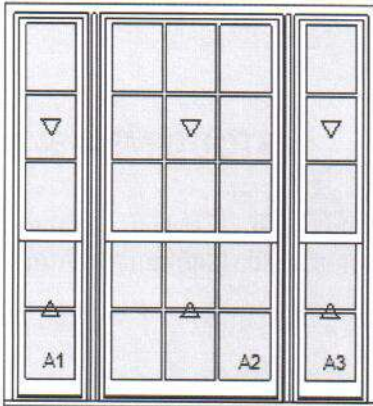
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	#7 Large Unit	Ultimate Wood	Marvin Assembly RO 77 7/8" X 83 3/16"	10,567.02	1	10,567.02
2	#7 Mid BR MO 40.5x85	Ultimate Wood	Double Hung RO 38 3/8" X 83 7/16"	3,905.92	1	3,905.92
3	#7 Rear BR MO 40.5x85	Ultimate Wood	Double Hung RO 38 3/8" X 83 7/16"	3,905.92	1	3,905.92
4	#12 Large Unit	Ultimate Wood	Marvin Assembly RO 77 7/8" X 83 3/16"	10,567.02	1	10,567.02
5	#12 Mid BR MO 40.5x85	Ultimate Wood	Double Hung RO 38 3/8" X 83 7/16"	3,905.92	1	3,905.92
6	#12 Bath MO 40.5x85	Ultimate Wood	Double Hung RO 38 3/8" X 83 7/16"	3,905.92	1	3,905.92
7	#12 Mstr MO 40.5x85	Ultimate Wood	Double Hung RO 38 3/8" X 83 7/16"	3,905.92	2	7,811.84

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: #7 Large Unit	Net Price:	10,567.02
Qty: 1		Ext. Net Price:	10,567.02

MARVIN 



As Viewed From The Exterior

MO 80" X 84 1/4"

FS 76 7/8" X 82 11/16"

OC 79 1/2" X 84"

RO 77 7/8" X 83 3/16"

Performance Information A1, A2, A3

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.26

Visible Light Transmittance: 0.45

Condensation Resistance: 56

CPD Number: MAR-N-68-07486-00001

Performance Grade A1, A2, A3

Licensee #1109

AAMA/WDMA/CSA/101/I.S.2/A440-11

LC-PG40 1051X2464 mm (41.38X97 in)

LC-PG40 DP +40/-40

FL15162

Primed Pine Exterior 224.23
 Primed Pine Interior 224.23

3W1H - Rectangle Assembly
 Assembly Masonry Openingw/ Subsill

80" X 84 1/4"
 Assembly Rough Opening w/ Subsill
 77 7/8" X 83 3/16"

Unit: A1 1,885.31

Ultimate Wood Double Hung
 Basic Frame 17 3/16" X 81 19/32"
 Rough Opening w/ Subsill
 18 3/16" X 83 3/16"

****Extended Size Unit****
 Reverse Cottage 0.597:1.0
*****Sash Ship Loose**

Top Sash

Primed Pine Sash Exterior
 Primed Pine Sash Interior
 G.S. 11 13/16" X 43 63/64"
 IG
 Low E2 w/Argon

Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black 185.57
 Rectangular - Special Cut 1W3H
 Primed Pine Ext - Primed Pine Int
 Putty Exterior Glazing Profile 105.67
 Ovolo Interior Glazing Profile

Bottom Sash

Primed Pine Sash Exterior
 Primed Pine Sash Interior
 G.S. 11 13/16" X 29 45/64"
 IG
 Low E2 w/Argon

Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black 123.71
 Rectangular - Special Cut 1W2H
 Primed Pine Ext - Primed Pine Int
 Putty Exterior Glazing Profile 105.67
 Ovolo Interior Glazing Profile

White Sash Lock

White Jamb Hardware 29.64
 Extruded Aluminum Half Screen 64.43

Stone White Surround

Bright View Mesh

*****Screen/Combo Ship Loose**

Unit: A2 2,818.30

Ultimate Wood Double Hung
 Basic Frame 40 1/2" X 81 19/32"
 Rough Opening w/ Subsill
 41 1/2" X 83 3/16"

****Extended Size Unit****
 Reverse Cottage 0.597:1.0
*****Sash Ship Loose**

Top Sash

Primed Pine Sash Exterior
 Primed Pine Sash Interior
 G.S. 35 1/8" X 43 63/64"

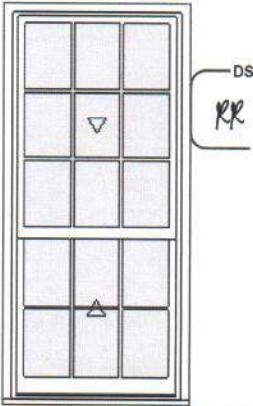
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	460.05
Rectangular - Special Cut 3W3H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
Bottom Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 35 1/8" X 29 45/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	460.05
Rectangular - Special Cut 3W2H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
White Sash Lock	
White Jamb Hardware	29.64
Extruded Aluminum Half Screen	64.43
Stone White Surround	
Bright View Mesh	
***Screen/Combo Ship Loose	
Unit: A3	1,885.31
Ultimate Wood Double Hung	
Basic Frame 17 3/16" X 81 19/32"	
Rough Opening w/ Subsill	
18 3/16" X 83 3/16"	
Extended Size Unit	
Reverse Cottage 0.597:1.0	
***Sash Ship Loose	
Top Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 11 13/16" X 43 63/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	185.57
Rectangular - Special Cut 1W3H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
Bottom Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 11 13/16" X 29 45/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	123.71
Rectangular - Special Cut 1W2H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
White Sash Lock	
White Jamb Hardware	29.64
Extruded Aluminum Half Screen	64.43
Stone White Surround	
Bright View Mesh	
***Screen/Combo Ship Loose	
Vertical Structural Mull 1"	855.67
Primed Pine Exterior Mull Cover	
Standard Mull Charge	134.02
4 9/16" Jamb	
Primed Pine BMC	
***Exterior Casing Ship Loose	
Primed Pine Standard Subsill	

Non Finger-Jointed Sub sill 42.53
 Non Finger-Jointed Sill 42.53
 No Installation Method

***Note: Non-Certified mull: check with local code officials for project specific requirements.

***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: #7 Mid BR MO 40.5x85	Net Price:		3,905.92
Qty: 1		Ext. Net Price:	USD	3,905.92



As Viewed From The Exterior

MO 40 1/2" X 84 1/2"
FS 37 3/8" X 82 15/16"
OC 40" X 84 1/4"
RO 38 3/8" X 83 7/16"

Performance Information

U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.45
 Condensation Resistance: 56
 CPD Number: MAR-N-68-07486-00001

Performance Grade

Licensee #1109
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1051X2464 mm (41.38X97 in)
 LC-PG40 DP +40/-40
 FL15162

Primed Pine Exterior 74.74
 Primed Pine Interior 74.74
 Ultimate Wood Double Hung 2,489.69

Masonry Opening w/ Sub sill
 40 1/2" X 84 1/2"
 Standard CN Width 32
 Rough Opening w/ Sub sill
 38 3/8" X 83 7/16"
 Extended Size Unit

Reverse Cottage 0.595:1.0

Top Sash

Primed Pine Sash Exterior

Primed Pine Sash Interior

G.S. 32" X 44"

IG

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black 460.05

Rectangular - Special Cut 3W3H

Primed Pine Ext - Primed Pine Int

Putty Exterior Glazing Profile 105.67

Ovolo Interior Glazing Profile

Bottom Sash

Primed Pine Sash Exterior

Primed Pine Sash Interior

G.S. 32" X 29 15/16"

IG

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black 460.05

Rectangular - Special Cut 3W2H

Primed Pine Ext - Primed Pine Int

Putty Exterior Glazing Profile 105.67

Ovolo Interior Glazing Profile

White Sash Lock

White Jamb Hardware 29.64

Extruded Aluminum Half Screen 64.43

Stone White Surround

Bright View Mesh

***Screen/Combo Ship Loose

4 9/16" Jamb

Primed Pine BMC

***Exterior Casing Ship Loose

Primed Pine Standard Sub sill

Non Finger-Jointed Sub sill 20.62

Non Finger-Jointed Sill 20.62

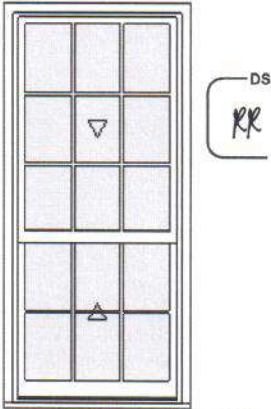
No Installation Method

***Note: Unit Availability and Price is Subject to Change

Line #3	Mark Unit: #7 Rear BR MO 40.5x85	Net Price:		3,905.92
Qty: 1		Ext. Net Price:	USD	3,905.92



Primed Pine Exterior 74.74
 Primed Pine Interior 74.74
 Ultimate Wood Double Hung 2,489.69
 Masonry Opening w/ Sub sill
 40 1/2" X 84 1/2"



As Viewed From The Exterior

MO 40 1/2" X 84 1/2"
FS 37 3/8" X 82 15/16"
OC 40" X 84 1/4"
RO 38 3/8" X 83 7/16"

Performance Information

U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.45
 Condensation Resistance: 56
 CPD Number: MAR-N-68-07486-00001

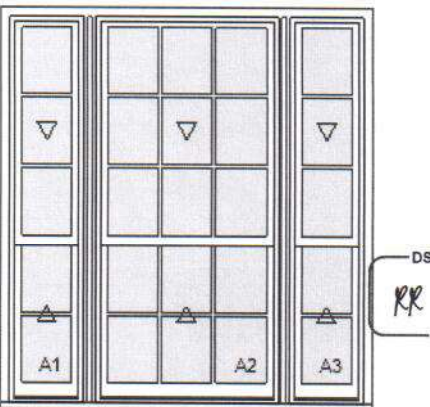
Performance Grade

Licensee #1109
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1051X2464 mm (41.38X97 in)
 LC-PG40 DP +40/-40
 FL15162

- Standard CN Width 32
- Rough Opening w/ Subsill
- 38 3/8" X 83 7/16"
- **Extended Size Unit**
- Reverse Cottage 0.595:1.0
- ***Sash Ship Loose
- Top Sash
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- G.S. 32" X 44"
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black
- Rectangular - Special Cut 3W3H 460.05
- Primed Pine Ext - Primed Pine Int
- Putty Exterior Glazing Profile 105.67
- Ovolo Interior Glazing Profile
- Bottom Sash
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- G.S. 32" X 29 15/16"
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black 460.05
- Rectangular - Special Cut 3W2H
- Primed Pine Ext - Primed Pine Int
- Putty Exterior Glazing Profile 105.67
- Ovolo Interior Glazing Profile
- White Sash Lock
- White Jamb Hardware 29.64
- Extruded Aluminum Half Screen 64.43
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jamb
- Primed Pine BMC
- ***Exterior Casing Ship Loose
- Primed Pine Standard Subsill
- Non Finger-Jointed Subsill 20.62
- Non Finger-Jointed Sill 20.62
- No Installation Method

***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: #12 Large Unit	Net Price:		10,567.02
Qty: 1		Ext. Net Price:	USD	10,567.02



As Viewed From The Exterior

MO 80" X 84 1/4"

- Primed Pine Exterior 224.23
- Primed Pine Interior 224.23
- 3W1H - Rectangle Assembly
- Assembly Masonry Openingw/ Subsill
- 80" X 84 1/4"
- Assembly Rough Opening w/ Subsill
- 77 7/8" X 83 3/16"
- Unit: A1 1,885.31
- Ultimate Wood Double Hung
- Basic Frame 17 3/16" X 81 19/32"
- Rough Opening w/ Subsill
- 18 3/16" X 83 3/16"
- **Extended Size Unit**
- Reverse Cottage 0.597:1.0
- ***Sash Ship Loose
- Top Sash
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- G.S. 11 13/16" X 43 63/64"
- IG

FS 76 7/8" X 82 11/16"

OC 79 1/2" X 84"

RO 77 7/8" X 83 3/16"

Performance Information A1, A2, A3

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.26

Visible Light Transmittance: 0.45

Condensation Resistance: 56

CPD Number: MAR-N-68-07486-00001

Performance Grade A1, A2, A3

Licensee #1109

AAMA/WDMA/CSA/101/I.S.2/A440-11

LC-PG40 1051X2464 mm (41.38X97 in)

LC-PG40 DP +40/-40

FL15162

Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	185.57
Rectangular - Special Cut 1W3H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
Bottom Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 11 13/16" X 29 45/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	123.71
Rectangular - Special Cut 1W2H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
White Sash Lock	
White Jamb Hardware	29.64
Extruded Aluminum Half Screen	64.43
Stone White Surround	
Bright View Mesh	
***Screen/Combo Ship Loose	

Unit: A2 2,818.30

Ultimate Wood Double Hung	
Basic Frame 40 1/2" X 81 19/32"	
Rough Opening w/ Subsill	
41 1/2" X 83 3/16"	
Extended Size Unit	
Reverse Cottage 0.597:1.0	
***Sash Ship Loose	
Top Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 35 1/8" X 43 63/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	460.05
Rectangular - Special Cut 3W3H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
Bottom Sash	
Primed Pine Sash Exterior	
Primed Pine Sash Interior	
G.S. 35 1/8" X 29 45/64"	
IG	
Low E2 w/Argon	
Black Perimeter and Spacer Bar	
5/8" SDL - With Spacer Bar - Black	460.05
Rectangular - Special Cut 3W2H	
Primed Pine Ext - Primed Pine Int	
Putty Exterior Glazing Profile	105.67
Ovolo Interior Glazing Profile	
White Sash Lock	
White Jamb Hardware	29.64
Extruded Aluminum Half Screen	64.43
Stone White Surround	
Bright View Mesh	
***Screen/Combo Ship Loose	

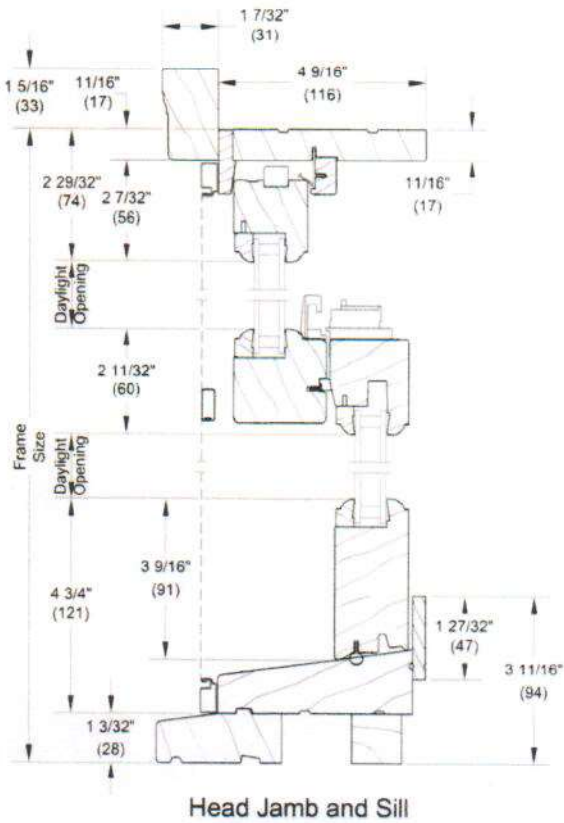
Unit: A3 1,885.31

Ultimate Wood Double Hung	
Basic Frame 17 3/16" X 81 19/32"	
Rough Opening w/ Subsill	
18 3/16" X 83 3/16"	
Extended Size Unit	
Reverse Cottage 0.597:1.0	

Section Details: Operating

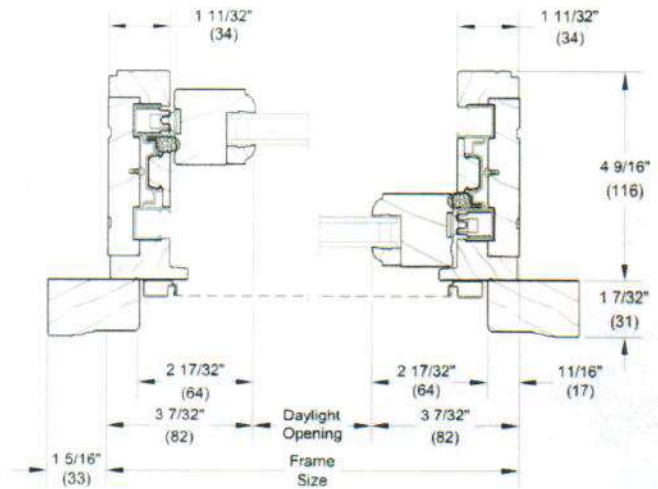
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Double Hung



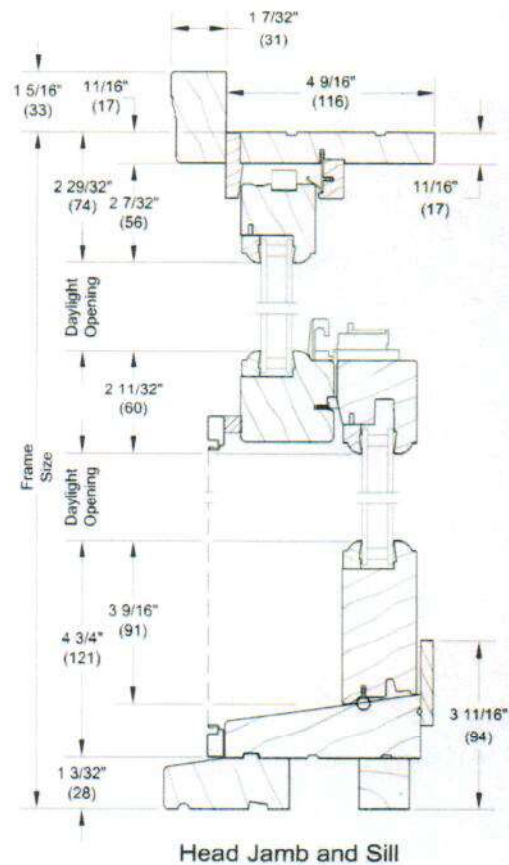
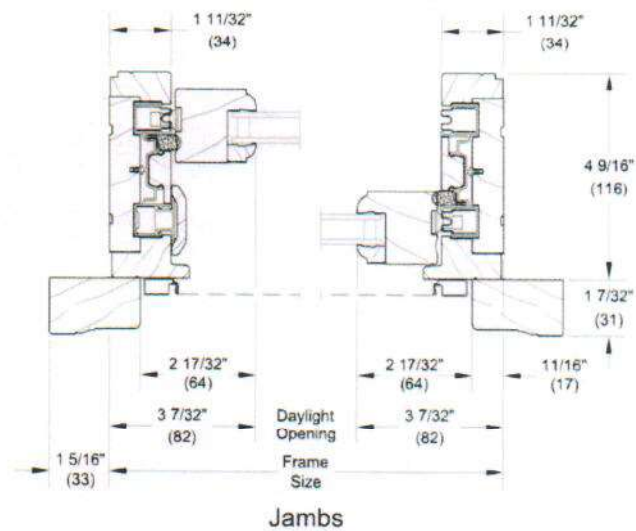
Lower Sash

Upper Sash

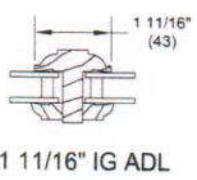
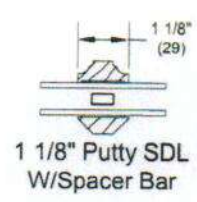
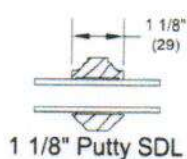
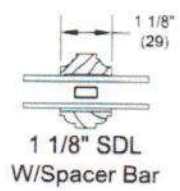
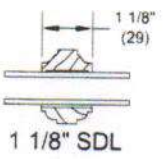
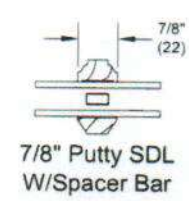
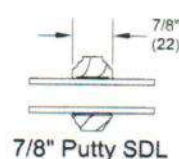
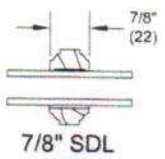
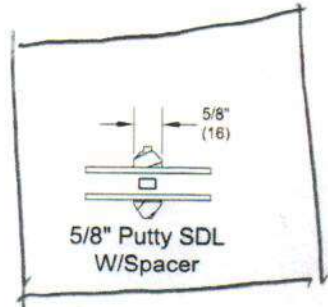
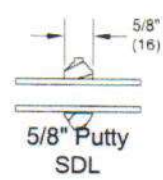
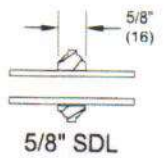
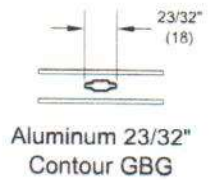


Jambs

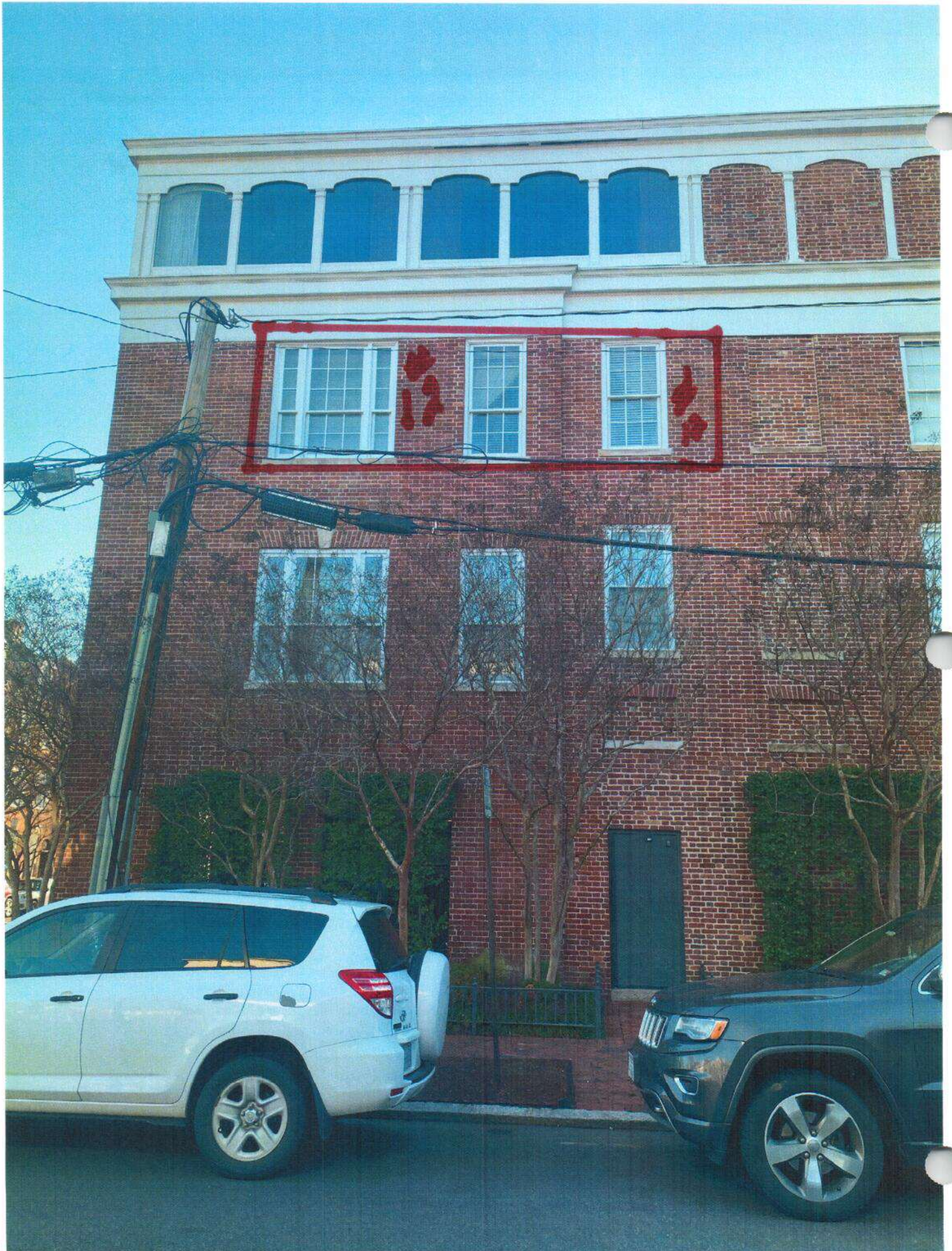
Single Hung

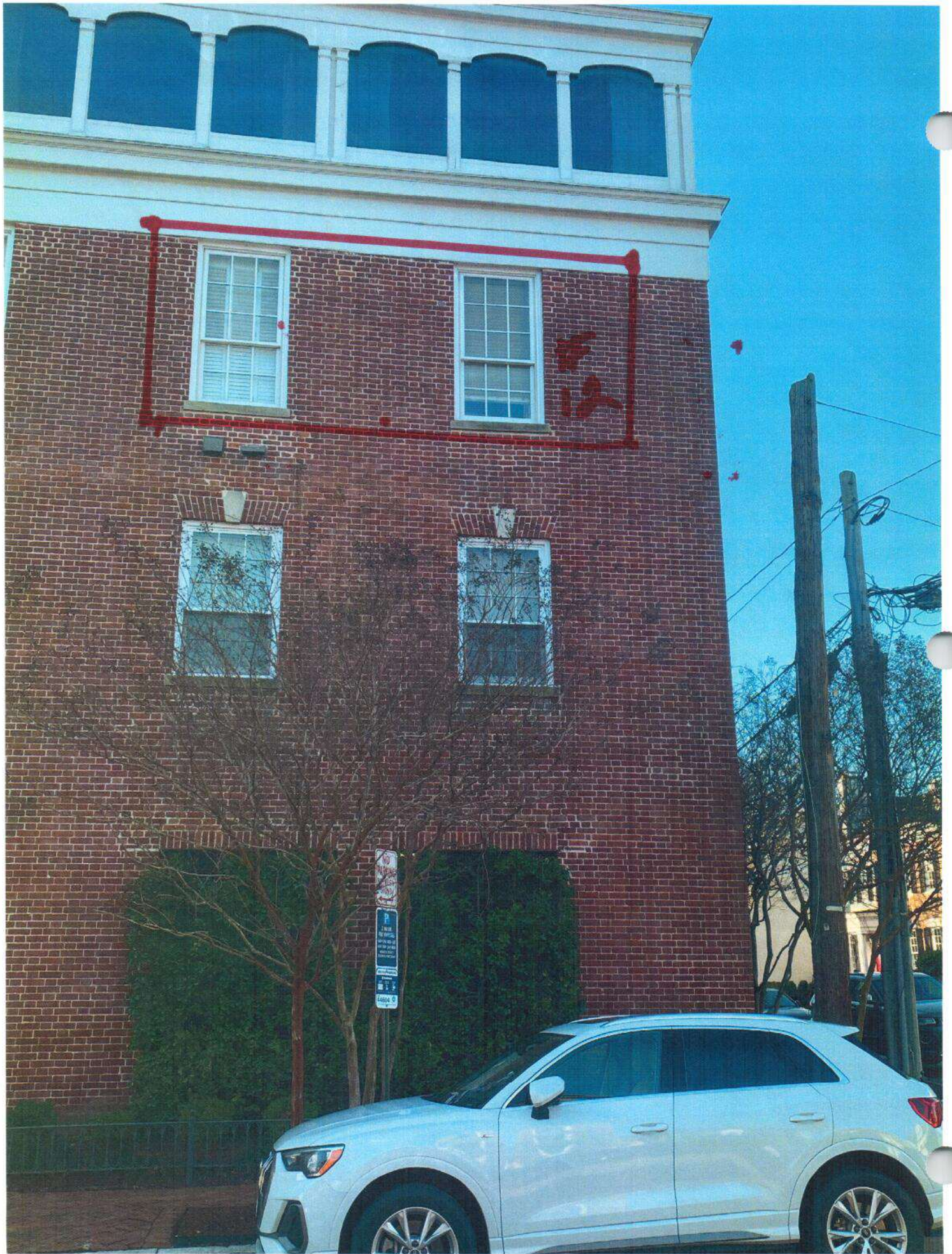


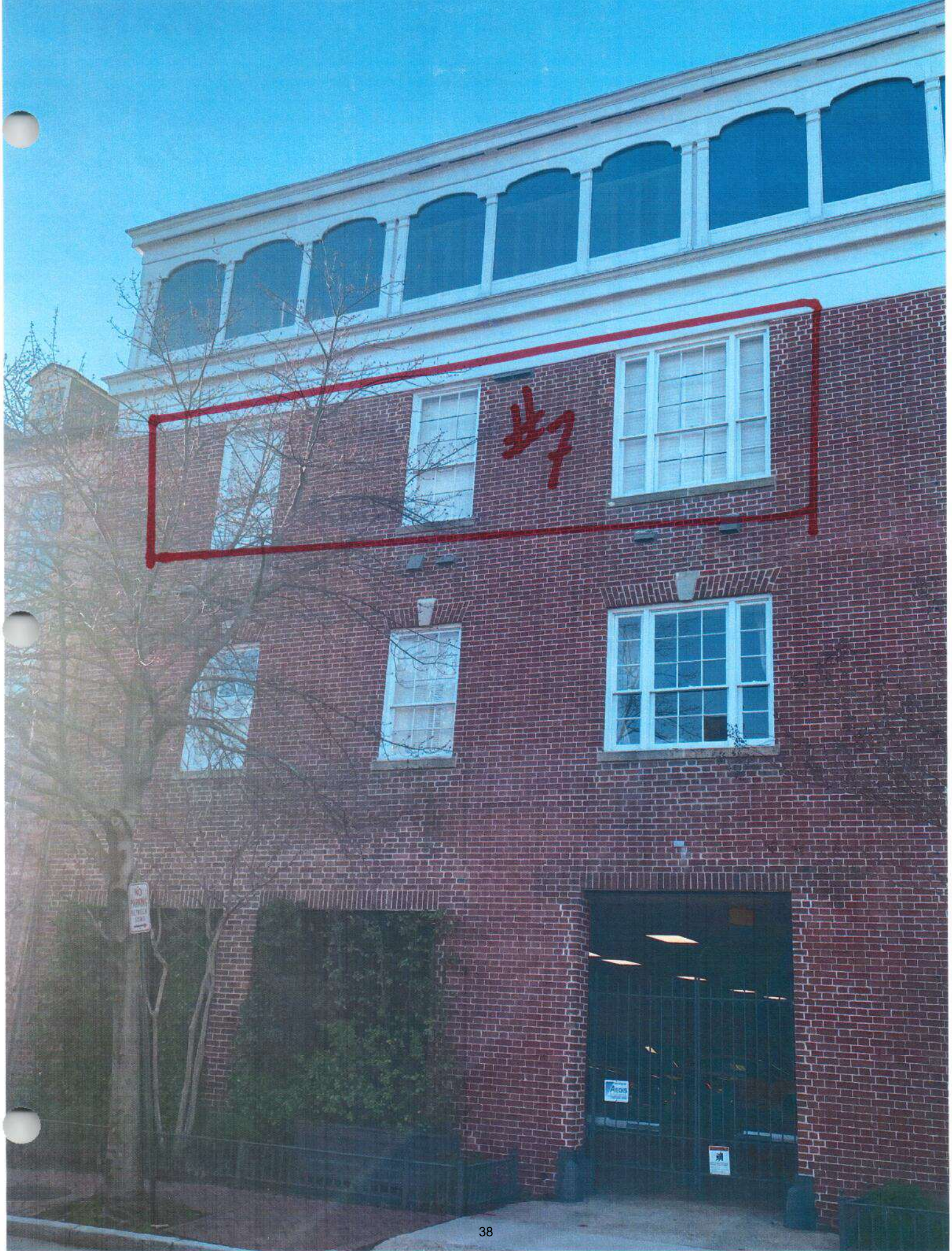
Standard Insulating Glass Divided Lite Options



NOTE: ADL is not available with CE Mark.









Alexandria New and Replacement Window Performance Specifications in the Historic Districts

1/6/2021

The material, form and design of windows on new construction, and replacement windows permitted on existing buildings pursuant to the *BAR's Policies for Administrative Approval for Windows*, must comply with the specifications below.

1. Replacement windows approved on Early buildings must be full frame replacements, or sash kits installed in the existing frame, rather than insert or pocket style replacements. Fiberglass windows, where permitted, may be insert - type windows only if they minimally obscure existing historic fabric and closely replicate historic window details such as muntin (grids), jamb, and trim profiles.
2. The dimensions and proportions of the window rails, stiles, muntins, frame, sill and exterior trim must match historically appropriate window proportions. Exterior trim on Early buildings may not be mitered at the corners.
3. Where permitted, multi-light insulated glass windows must have permanently fixed muntins on both the interior and exterior of the glass, with spacer bars between the glass. These are typically referred to as Simulated Divided Light (SDL) windows.
4. Muntins must be sized appropriately and paintable. Muntins that approximate historic putty profiles are preferred.
5. Generally, glazing must be clear, non-reflective and without tint. Where double glazing is permitted, Low-E (low emissivity) glass is encouraged for energy conservation. Low-E 272 glass meets these requirements.
6. The vinyl weatherstrip portion of wood window jambs should be minimally visible.
7. The applicant must submit complete window manufacturer technical specification sheets, or "cut sheets," to BAR staff to confirm compliance with these specifications. All window replacements in the historic districts, except sash kits, also require a building permit from Code Administration.

For help, contact BAR staff at preservation@alexandriava.gov or 703-746-3833.

BAR POLICIES FOR ADMINISTRATIVE APPROVAL IN THE OLD AND HISTORIC ALEXANDRIA DISTRICT¹ AND IN THE PARKER-GRAY DISTRICT FOR COMMERCIAL USES

Adopted 3/2/2011; Amended 12/7/2022

THE BAR PROCESS

The primary purpose of the BAR is to preserve historic material, which in many cases can be retained and repaired, rather than replaced.

There are three different levels of BAR approval in the historic districts:

- No BAR approval
- BAR staff administrative approval (as outlined in the attached table)
- BAR approval at a public hearing

Please contact BAR staff to determine what type of approval your project requires. BAR staff can be reached at preservation@alexandriava.gov or 703-746-3833.

All work must comply with the Zoning Ordinance. Zoning staff can be reached at pczoning@alexandriava.gov or 703-746-4333.

I. No BAR Approval

The items listed below do not require BAR approval:

- Alterations not visible from a public right of way.
- Demolition or capsulation of less than 25 square feet, regardless of visibility.
- Art (as defined in the zoning ordinance)
- At-grade paving not used for alleys, drives or parking
- Removable chimney caps
- Door hardware, mailboxes and house numbers
- Play equipment (not including playhouses)
- Plant materials
- Retaining walls under 2 feet in height
- Storm windows
- Unornamented storm doors; those with scrollwork etc. must go to the BAR.
- Small dish antennas less than 2 feet in diameter on non-street-facing elevations
- Security cameras measuring less than one cubic foot each
- Security light fixtures (no more than two) on each non-street-facing elevation
- Portable planters, as defined in the City Code

¹ For residential projects in the Parker-Gray District, refer to the Residential Reference Guide and adopted Design Guideline chapters instead of this policy.

- Free Little Libraries
- Seasonal holiday decorations
- Below-grade features, such as basement stairs and window wells on private property
- Roof drainage elements such as snow guards, gutters and downspouts

II. **BAR Staff Administrative Approval**

1. The policies in the attached table identify the alterations and/or repairs that may be administratively approved by BAR staff and are also used by the BAR when evaluating requests at a public hearing.
2. BAR staff must visit the subject property to determine whether the proposed alteration is visible from a public right-of-way and whether it is eligible for administrative approval. **Any proposal to remove historic material that staff believes can be reasonably repaired and preserved will not be approved administratively.** A link to the BAR administrative approval application may be found [here](#).
3. Historically appropriate repair and in-kind replacement of materials, such as repointing and siding repair, requires a written finding by staff that it is in compliance with the criteria found in Zoning Ordinance section 10-109 or 10-209. There is no fee associated with a repair, but the standard [BAR administrative approval application](#) form must be completed for tracking purposes.
4. Administrative approvals must comply with all City codes and ordinances and may require separate approval of permits from other City departments. It is recommended that the applicant obtain BAR administrative approval prior to applying for a building permit to avoid possible delays at the [Permit Center](#).
5. These policies may be amended by the BAR at any time but will be reviewed and updated at least every five years.

III. **BAR Approval at a Public Hearing**

Proposed projects not in compliance with these adopted policies, or not architecturally compatible or historically appropriate in the opinion of staff, require review and approval of a Certificate of Appropriateness by the BAR at a public hearing. The City's historic preservation website www.alexandriava.gov/preservation has links to the BAR application.

Please contact BAR staff with any questions or for help completing the BAR application at preservation@alexandriava.gov or 703-746-3833.

BAR POLICIES FOR ADMINISTRATIVE APPROVAL

The following alterations can be approved administratively by BAR staff. If not specifically listed below, the alteration may require approval by the BAR at a public hearing or may not require BAR approval (see list on page 1). For help, contact BAR staff at preservation@alexandriava.gov or 703-746-3833.

Accessibility structures (residential)	Removable ramps/lifts which are not located on a permanent foundation, provided that they do not permanently alter the building and are constructed of wood, metal or a millable, solid-through-the-core, paintable composite material.
Antennas	<p>Replacement or new co-located antennas meeting the original BAR conditions and the following criteria:</p> <ul style="list-style-type: none"> • Penthouse Wall mount: may not project above the wall on which they are mounted and must be painted to match the adjacent wall surface • Flat Roof mount: must be on a freestanding tripod set back a minimum of 10 feet from the building face <p>Small cell: Replacement or new co-located small cell facilities and required equipment meeting the following criteria:</p> <ul style="list-style-type: none"> • Complies with the Telecommunications Facility Franchise Agreement approved pole designs and materials. • Painted, coated with film, or otherwise shrouded with a color matching the utility pole. • Not located within the KR (King Street Urban Retail) zone or the Waterfront Small Area Plan boundary.
Awnings	Retractable wall mounted awnings (without legs or supports), provided that they are located on non-street-facing elevations and are retracted when not in use. Sun sails located in rear or side yards that are not permanent and may be removed when not in use. Those that are permanently attached to the building require Board approval.

<p>Doors (pedestrian)</p>	<p>Wood doors on buildings or portions of buildings constructed before 1932 on street-facing elevations. If historically and architecturally appropriate, may include glass panels (must comply with the window performance specifications for glass).</p> <p>Fiberglass or metal doors, in the appropriate architectural style and detailing on buildings or portions of buildings constructed after 1931, and on non-street-facing elevations for buildings constructed before 1932, meeting the following criteria:</p> <ul style="list-style-type: none"> • Must have a smooth finish • If glass panels are architecturally appropriate, the glass must comply with these specifications: https://media.alexandriava.gov/docs-archives/planning/info/2021windowperformancespecifications.pdf
<p>Doors (garage)</p>	<p>Original side-hinged or side-sliding wood doors on historic garages must be repaired or replaced in the original material and style.</p> <p>Garages constructed after 1931 may have overhead sectional doors and may use a pressed steel or composite material, provided they have a smooth finish.</p> <p>Glazing on garage doors must be stylistically appropriate.</p>
<p>Electric Vehicle Charging Stations</p>	<p>EV charging stations, provided the following criteria are met:</p> <ul style="list-style-type: none"> • Minimally visible and located in the side or rear yard. • Cannot exceed 48 inches to operable handle. • All conduits should be painted to match the adjacent structure. • The number of charging stations cannot exceed the number of allowed parking spaces. <p>All EV charging stations must be located completely on the subject property and comply with zoning setback requirements. A scaled survey plat with the location of the proposed charging station must be submitted with the application.</p>
<p>Fences and gates</p>	<p>New and replacement rear and side yard fences up to 6 feet in height and constructed of wood, metal or masonry.</p> <p>New and replacement front yard fences (3 ½ feet in height and 50 percent open) provided they are historically appropriate in design and constructed of wood, metal or masonry.</p> <p>BAR approval of a waiver is required for any fence located in a vision clearance area or if a fence exceeds the height limitations noted above.</p>

HVAC	Minimally visible ground mounted condenser units in side and rear yards. If a unit is visible, screening is required unless it is waived by the BAR at a public hearing.
Lighting	New and replacement light fixtures that are architecturally and historically appropriate.
Masonry repointing	Paint removal and repointing must protect existing masonry and new mortar must match the historic mortar color, composition, texture, and profile.
Roof Replacement	<p>For buildings with historic roofs beyond repair or those with previously replaced roofs, replacement materials should match the original in design, color, texture, and other visual qualities. The work should utilize the same materials and installation method to the maximum extent possible. For example:</p> <ul style="list-style-type: none"> • Original slate or tile roofing must be replaced with the same material, style, color, and shape. • Original metal roofing must be replaced with the same style metal roofing (standing seam, flat seam, or stamped shingle). Pre-formed and pre-finished standing seam metal may replace field installed standing seam if the seams and metal pan are the same sizes. Solid copper may replace painted standing seam metal roofing. • Original composition roofing may be replaced with architectural grade composition roofing or any other stylistically appropriate roofing material. Three-tab composition shingles are not appropriate except where evidence confirms it was the original roofing material. • Original synthetic slate roofs can be replaced with real slate, synthetic slate, or architectural grade composition shingles. • Original wood shingle roofs that had been replaced with standing seam metal roof in the past can be replaced with standing seam metal or wood shingles. <p>Where the original roof material is missing and cannot be determined from documentary, physical, or pictorial evidence, roofing historically appropriate to the age of the structure must be utilized.</p>
Sheds and accessory structures	A shed or small accessory building limited to 65square feet and 8 feet maximum height, provided it is not located on a permanent foundation and may be easily removed.
Shutters	<p>Shutters, provided the following criteria are met:</p> <ul style="list-style-type: none"> • They are historically and architecturally appropriate, sized to fit the opening and operable • They are constructed of wood or a solid-through-the-core, millable composite material with a smooth finish

Siding and trim	<p>For buildings or additions constructed prior to 1932, the applicant must, working with staff, undertake the following steps:</p> <ul style="list-style-type: none"> • To determine if multiple layers of siding exist, remove at least one test patch a minimum size of 2 feet by 2 feet on each elevation in order to reveal the first layer of siding. • BAR staff must visit the site to determine whether any extant historic siding can be retained and be reasonably repaired and patched. • If staff finds that the existing historic siding is beyond reasonable repair, new siding must match the profile, exposure and design of the original. If historic siding is not present, historically appropriate wood siding must be used. <p>Buildings and additions constructed after 1931 may use fiber cement (e.g. HardiePlank) or composite (e.g. Boral) siding and trim with an architecturally appropriate profile, provided it has a smooth finish.</p> <p>Composite trim in certain limited locations on buildings constructed before 1932, such as the fascia board behind gutters or a water table, where wood trim is consistently exposed to moisture.</p>
Solar Panels	<p>Solar panels, provided the following criteria are met:</p> <ul style="list-style-type: none"> • Mounted directly to the roof slope. • Located on later buildings (constructed after 1932). • If the roof will be replaced, an architecturally compatible and appropriate color replacement material should be used so that the solar panels visually blend-in with the roof. <p>It is recommended that the roofing material be replaced prior to installation, so that the solar panels do not have to be removed and reinstalled a short time later.</p>
Stoops, steps and railings	<p>New stoops, provided that they are constructed with historically appropriate materials and design.</p> <p>New handrails if they are visually minimal, not installed by drilling into historic stone steps, and guardrails required by the building code, provided they are constructed in a historically appropriate style.</p>
Utilities	<p>Electrical utility meters on non-street-facing elevations, provided they are painted to match the adjacent wall surface. For gas meters, see the Board's adopted policy for Administrative Approval of Gas Meters: https://www.alexandriava.gov/sites/default/files/2022-10/BAR-Admin-Gas-Meter-Policy.pdf</p>
Vents	<p>Vents measuring less than one cubic foot, provided that the color matches the adjacent surface.</p>

<p>Window replacement</p>	<p>Buildings or portions of buildings constructed before 1932 with previously replaced windows (not having wood-pegged mortise and tenon sash joinery or cylinder “wavy” glass), or historic windows too deteriorated to repair, as determined by staff:</p> <ul style="list-style-type: none"> • Historically appropriate multi-light sash must be single-glazed wood windows on street facing elevations (energy panels may be used). On non-street-facing elevations, wood windows may be double-glazed (insulated). • Historically appropriate one-over-one and two-over-two windows may be replaced with double-glazed wood windows on any elevation. • Original window frames and trim must be preserved and repaired. <p>On buildings or portions of buildings constructed after 1931, modern window materials, such as aluminum-clad wood, wood composite or fiberglass (no hollow vinyl), as well as double-glazing, may be used. Aluminum clad and fiberglass windows may generally replace steel sash windows on any building when using the same light configuration and operation.</p> <p>The material, form and design of windows on new construction, and replacement windows permitted on existing buildings pursuant to the <i>BAR’s Policies for Administrative Approval for Windows</i>, must comply with the specifications below.</p> <ol style="list-style-type: none"> 1. Replacement windows approved on Early buildings must be full frame replacements, or sash kits installed in the existing frame, rather than insert or pocket style replacements. Fiberglass windows, where permitted, may be insert - type windows only if they minimally obscure existing historic fabric and closely replicate historic window details such as muntin (grids), jamb, and trim profiles. 2. The dimensions and proportions of the window rails, stiles, muntins, frame, sill and exterior trim must match historically appropriate window proportions. Exterior trim on Early buildings may not be mitered at the corners. 3. Where permitted, multi-light insulated glass windows must have permanently fixed muntins on both the interior and exterior of the glass, with spacer bars between the glass. These are typically referred to as Simulated Divided Light (SDL) windows. 4. Muntins must be sized appropriately and paintable. Muntins that approximate historic putty profiles are preferred. 5. Generally, glazing must be clear, non-reflective and without tint. Where
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double glazing is permitted, Low-E (low emissivity) glass is encouraged for energy conservation. Low-E 272 glass meets these requirements.

6. The vinyl weatherstrip portion of wood window jambs should be minimally visible.
7. The applicant must submit complete window manufacturer technical specification sheets, or "cut sheets," to BAR staff to confirm compliance with these specifications. All window replacements in the historic districts, except sash kits, also require a building permit from Code Administration.

Green's Steam Furniture Works, A Condominium
c/o Property Management Associates, Inc.
1600 Prince Street
Suite 109
Alexandria, Virginia 22314
703.549.3370
pmacommunities@gmail.com

13 March 2024

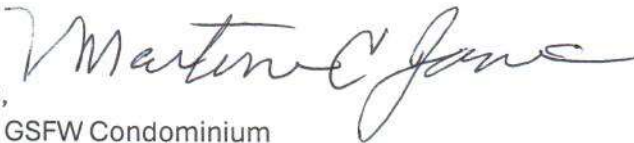
Ron Roys and Michelle Boggs
200 S Fairfax Street
7 & #12
Alexandria VA 22314

The Board of Directors (BOD) of Green's Steam Furniture Works, a Condominium located at 200 S. Fairfax Street Alexandria, VA, grants you permission to install new windows as referenced in your attached Proposal and email with the following conditions:

- A copy of your COI and contractor's COI naming Green's Steam Condominium as an additional insured.
- A copy of the City of Alexandria's construction permit approval; and a copy of BAR approval. (you will need to obtain BAR approval before applying for CONSTRUCTION PERMIT)
- Inspection of the surrounding plantings and other items in the affected area with a board member prior to commencement of works to determine surrounding conditions as well as a final inspection upon completion to inspect the same.
- A signed copy of the Green's Steam Furniture Works Condominium Policy Governing Construction and Renovations.
- Forward a copy of the final inspection from City of Alexandria if inspection is required.

Regards,

Tina Jones,
Secretary GSFW Condominium



Green's Steam Furniture Works Condominium Policy Governing Construction and Renovations

Purpose. The purpose of this policy is to provide guidance to unit owners contemplating construction and renovation of their units in order to ensure compliance with applicable laws and building regulations, protect the integrity and security of the building and property, and promote the safety and quiet enjoyment of the other unit owners and residents of Green's Steam.

Unit Owners' Responsibility. It is the responsibility of the unit owner to inform their contractors, subcontractors, delivery persons, etc., of this policy and to ensure their compliance with it.

Coverage; Consultation. As used in this statement, the term "construction and renovations" includes but is not limited to construction, repairs, alterations, additions, improvements and renovations, the value of which is \$1,000 or more, made by unit owners to their units. Normal maintenance and replacements in kind shall not be covered. Owners contemplating construction and renovation of their units are urged to consult with the Managing Agent and President of the Condominium Association as early as possible about their plans.

Removal of debris and materials and deliveries related to construction and renovations are covered by this policy, and also are subject to the Policy Governing Move-Ins and Move-Outs.

Notification; Compliance with Laws and Regulations; Permits. Notice of construction and renovation, including the time work is planned to commence and the expected duration, shall be communicated in writing to the Managing Agent and the President of the Condominium Association as early as possible and unless an emergency exists, at least thirty (30) days prior to the commencement of work. Plans for construction and renovations require review and, if required, approval by the Board of Directors.

All construction and renovation of units must comply with the Green's Steam Bylaws, the Virginia Condominium Act, and all other applicable Commonwealth of Virginia and City of Alexandria laws, regulations, codes and ordinances. Applicable permits and licenses must be obtained and posted, and it is the obligation of the unit owner to determine whether such permits and licenses are necessary. Contact the Code Enforcement Bureau of the City of Alexandria (703) 838-4900, if there are questions.

All construction and renovation of units shall not change the exterior appearance of the building, including the roof, unless approved by the Green's Steam Board of Directors and the City of Alexandria, if appropriate. Roof modifications or penetrations require approval by the Board of Directors and the Association's Roofing Contractor that maintains the warranty of the roofing materials and workmanship.

All construction and renovation work must be done in a professional and workman-like manner, and all work must be done in a way that does not invalidate or adversely affect warranties, e.g., the warranty on the roof, etc., or the Green's Steam property and liability insurance.

Hours During Which Work May Be Done; Use of the Elevator. No construction or renovation work shall begin before 8:00 AM, and work must be concluded by 5:00 PM, Monday through Friday. No work may be done on Saturdays, Sundays, or on Federal or state holidays.

While the construction and renovations work is in progress in the individual unit, all doors must be closed leaving no access to the hallways. All music must be reasonable to be heard only in the room that work is being completed and not in excess overriding work being done such as hammering or demolition work. Further, all doors leading to the hallway must be sealed by masking tape from the inside during sanding of plaster, dry wall, wood, wooden floors, etc., to prevent the dust getting into the smoke detectors causing false alarms and extraordinary cleaning of the smoke detectors.

Throw carpets or runners must be used while leaving the individual unit during the workday to prevent tracking the work debris into the hallway. No materials or workmen shall be conveyed thorough the carpeted hallways; the only access is from the back hallways directly to the unit over the runners as described above;

In accordance with the Association's directives, the elevator will not be used during or for the construction project. Specifically, the elevator may not be used to transport demolition debris out of the building, or to bring construction and renovation materials, e.g., drywall, 2X4s, flooring, piping, etc., into the building. It is recommended that the stairways on the North and South ends of the building be used to the maximum extent possible to avoid traffic through the front entry lobby and use of the elevator. Any questions regarding use of the elevator shall be referred to the Managing Agent especially in relation to size and weight. The unit owner is responsible for supervising deliveries and removals and will be liable for any damage to the elevator or expense incurred by Green's Steam as a result of their use of the elevator.

Notice of intention to use the elevator shall be given to the Managing Agent preferably 48 hours in advance so that pads may be installed in the elevator cab. The elevator cab and carpet shall be kept clean and vacuumed. A nominal fee may be charged for padding the elevator.

Duty to Protect Common Areas. No construction or renovations shall infringe on the public and common areas including the roof. The unit owner shall cause such steps to be taken as are necessary to protect the public and common areas, including the lobby and hallways, from damage, staining, etc., during the duration of the construction and renovation process. Protective carpet pads, available on each level, shall be used when appropriate. Since the unit owner shall be liable for any damage done to the public and common areas, "before" and "after" pictures are recommended.

No building materials, appliances, furniture, personal items, etc., may be left or stored in the public and common areas within the building, specifically including the entry lobby, staircases and hallways. Requests to store such materials in the garage or basement for a short time shall be directed to the Managing Agent.

The public and common areas shall be kept clean and vacuumed/swept daily.

Building Security. The unit owner shall take such steps as are necessary to protect the

The public and common areas shall be kept clean and vacuumed/swept daily.

Building Security. The unit owner shall take such steps as are necessary to protect the

security of the building and other unit owners during his/her construction and renovations. Building doors, including the garage gates, emergency exit doors, as well as the front entrance door, shall not be blocked open.

Parking of work vehicles may not be in other owners' spaces, in the driveways, or aisle walls in the garage and cannot block entrances to the parking garage.

Liability; Insurance. Unit owners undertaking construction and renovation shall reimburse Green's Steam for all damage to the building and for expenses incurred by Green's Steam as a result of their construction and renovation work. It is recommended that all such unit owners obtain insurance covering their construction and renovations and consult with their insurance carriers regarding the need for additional coverage of their units following the completion of construction and renovations.

In addition, the Association, its members and the managing agent shall be named as additionally insured in the certificate of insurance issued by the contractor.

proved by the Green's Steam Board of Directors this 10th day of March 2004

Matthew Jones

Secretary

For Window Replacement
7 E 12 2024

Randy [Signature] 3-9-24
owner