

Docket Item #3
BZA Case #2025-00010
Board of Zoning Appeals
November 10, 2025

ADDRESS: 2500 DEWITT AVENUE
ZONE: R-2-5/RESIDENTIAL
APPLICANT: GEOFF JACOBI & ANDREA DEFEITAS KIRK

ISSUE: Variance to construct an Accessory Dwelling Unit (ADU) with a first floor greater than 500 square feet.

CODE SECTION	SUBJECT	CODE REQUIREMENT	APPLICANT PROPOSES	REQUESTED VARIANCE
7-203(C)(1)	Size	500 sq ft	598 sq ft	98 sq ft

Staff **recommends approval** of the requested variance because the request meets all the variance standards with the following conditions:

- 1.The lots must be consolidated prior to the applicant applying for the required building permit.
- 2. No parking is allowed on the curb cut that is located within the public right of way except short-term pickup or drop-off of a resident of the property as needed.

If the Board decides to grant the requested variance, the project is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department’s comments. Prior to final inspection, the applicant must submit a survey plat prepared by a licensed surveyor confirming the ADU footprint and setbacks. The variance must also be recorded with the deed of the property in the City’s Land Records Office prior to the release of the building permit.

I. Issue

The applicant requests a variance to construct an Accessory Dwelling Unit (ADU) with a first floor larger than 500 square feet to accommodate a person with a disability.

II. Background

The subject property is a corner lot comprised of two lots of record with 94.09 feet of frontage on Dewitt Avenue, 128.95 feet of frontage on East Mount Ida Avenue, 46.88 feet of depth on the west side property line and 120.00 feet of depth on the north side property line. The property contains 8,458 square feet of lot area and once the two lots are consolidated will meet all the lot requirements of the R-2-5 zone.

The property is developed with a two-story, single-unit dwelling and a detached single car garage. According to Real Estate Assessment Records, the dwelling was constructed in 1930. The existing dwelling is located 19.33 feet from Dewitt Avenue, 14.00 feet from East Mount Ida Avenue. The subject property is located in the Town of Potomac National Register District and is listed as a contributing structure.



Figure 1: Subject Property Primary Front

R-2-5 Zone	Required/Permitted	Existing Dwelling	Proposed ADU*
Lot Area	6,500 sq. ft.	8,458 sq. ft.	8,458 sq. ft.
Lot Frontage	40.00 ft.	94.09 ft.	94.09 ft.
Lot Width	65.00 ft.	69.00 ft.	69.00 ft.
Primary Front Yard	Contextual Blockface	19.33 ft.	18.60 ft.**
Secondary Front Yard	Contextual Blockface	14.00 ft.	15.00 ft.**
Side Yard (West)	1:3, 7.0 ft. min.	41.60 ft.	2.50 ft.**
Side Yard (North)	1:3, 7.0 ft. min.	7.10 ft.	1.50 ft.**
Height	30.00 ft.	25.00 ft.	13.17 ft.**
Floor Area Ratio (FAR)	3806.10 sq. ft. (.45)	3020 sq. ft. (.36)	3618 sq. ft. (.43)

*Based on the proposed Accessory Dwelling Unit

**Proposed ADU meets the setback and height regulations under 7-203(C) (1&2)

III. Description

The applicant proposes to construct a 598 square foot accessory dwelling unit (ADU) in the northwest corner of the property. The proposed ADU would be located 15.00 feet from the secondary front property line facing Mount Ida Avenue, 2.50 feet from the west side property line and 1.50 feet from the north side property line. Based on a height of 13.17 feet, measured from average preconstruction grade to the midpoint of the roof, the ADU will comply with the height to setback requirements. Zoning Ordinance Section 7-203(C)(1)(b) limits the size of the first floor to 500 square feet, the applicant is requesting a variance of 98 square feet to construct a slightly larger ADU to accommodate necessary turning radii and wider doorway openings to allow for wheelchair access for the future resident.



Figure 2: Subject Property Secondary Front

The existing driveway on East Mount Ida Avenue is approximately 21.00 feet, which exceeds the City standard parking space length of 18.50 feet. The proposed improvements will reduce the driveway length to less than 15.00 feet of available parking length. This parking is not a required parking space. In order to avoid the encroachment of a vehicle parked in the driveway onto the sidewalk along East Mount Ida Avenue, staff recommends a condition that no parking is permitted on the curb cut which is located within the public right of way.

IV. Master Plan/Zoning

The subject property is currently zoned R-2-5 and has been so zoned since the adoption of the Third Revised Zoning Map in 1951 and is identified for residential use in the Potomac West Small Area Plan.

V. Requested Variances:

Under Zoning Ordinance Section 7-203(C)(1)(b), an ADU's first floor is limited to 500 square feet for lots larger than 2,500 square feet. The size of the proposed ADU is 598 square feet, thus the applicant requests a variance of 98 square feet from the ADU size limitation.

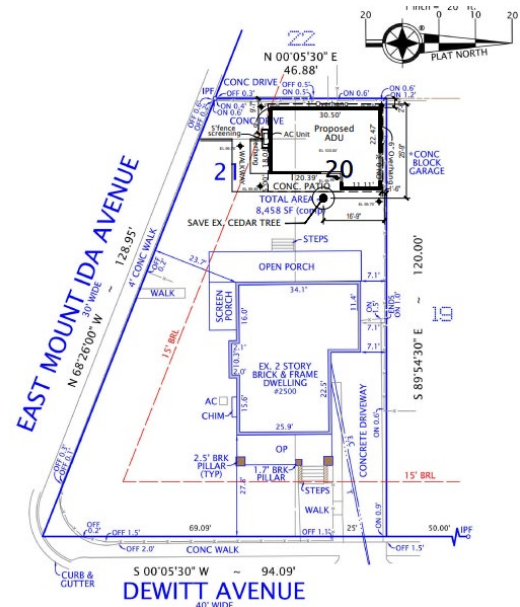


Figure 3: Proposed Site Plan

VI. Applicants Justification for Variance

The applicant's justification for the variance is that the Zoning Ordinance requirements limit the size of the first floor of an ADU which prevents it from being fully accessible for a person in a wheelchair. According to the applicant, granting the variance would allow them to make the structure accessible for their disabled family member.

VII. Analysis of Variance Definition

Per Zoning Ordinance Section 11-1103, the Board of Zoning Appeals shall not grant a variance unless it finds that the request meets the definition of a variance per Zoning Ordinance Section 2-201.1 as follows:

- a. The request is a reasonable deviation from those provisions regulating the shape, size, or area of a lot or parcel of land or the size, height, area, bulk, or location of a building or structure.

The request for a variance from the maximum first floor size is a reasonable deviation. The proposed ADU requires a larger first floor in order to install features to accommodate a person in a wheelchair. The applicants could construct additional floor area on the second floor in compliance with zoning, but that area would not meet the needs of the applicant due to the disability of the future occupant.

- b. Strict application of the zoning ordinance would unreasonably restrict the utilization of the property.

Strict application of the Zoning Ordinance would unreasonably restrict the use of the ADU by not allowing it to accommodate the future occupant, who needs the structure to be accessible for wheelchair use. The addition of wider doorways and necessary turning radii for a wheelchair require a larger first floor.

- c. The need for a variance is not shared generally by other properties.

While all ADUs are subject to the same first floor size limitations, the need for a size variance is somewhat unique as this structure would be constructed to accommodate a disabled occupant who uses a wheelchair.

- d. The variance is not contrary to the purpose of the ordinance.

The requested variance to build an ADU over the allowed first floor size limitation is not contrary to the ordinance. The intent of the ADU ordinance is to provide additional housing across Alexandria. The granting of this variance would allow additional housing on the property and allow for a disabled family member to live in the unit.

- e. The variance does not include a change in use, which change shall be accomplished by a rezoning.

The requested variance does not change the use as the property will continue to be used residentially.

VIII. Analysis of Variance Standards

A variance allows a property owner to do what is otherwise not allowed under the ordinance. Per Zoning Ordinance Section 11-1005(B) the BZA hears and decides applications for variances and any application must meet the standards under Zoning Ordinance Section 11-1103. The decisions of the BZA must be in conformance with the Zoning Ordinance; otherwise, they will be overturned by the courts. Thus, only the standards under Section 11-1100 can be considered in making a variance decision. The criteria do not include considerations like the cost or financial hardship and are therefore inappropriate. Per Zoning Ordinance section 11-1103, the Board of Zoning Appeals shall not grant a variance unless it finds that the request meets the variance standards as follows:

- a. The strict application of the terms of the ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance, or alleviate a hardship by granting a reasonable modification to a property or improvements thereon requested by, or on behalf of, a person with a disability.

The strict application of the Zoning Ordinance would unreasonably restrict the utilization of a proposed ADU as it would limit the proposed disabled occupant's ability to occupy the dwelling. The request is a reasonable modification to increase the size of the first floor to accommodate the movements within the unit by a disabled person in a wheelchair. Without the requested variance the applicants are unable to make the structure habitable for the proposed occupant.

- b. The property for which the variance is being requested was acquired in good faith and a hardship was not created by the applicant for the variance;

The property was likely acquired in good faith. The hardship was not created by the applicant, they are simply seeking relief from the zoning ordinance to allow a modest increase in the first floor area to allow a disabled occupant to be able to safely occupy the ADU.

- c. The granting of a variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area;

The modest increase in the first-floor size would not be of substantial detriment to adjacent properties. The proposed ADU will meet all the other zoning ordinance requirements as it will both meet the required setbacks for an ADU and will remain

only a single-story structure. Additionally, the ADU would not alter the light and air of the adjacent properties.

While the principal dwelling is a contributing structure to the Town of Potomac National Register District, historic preservation staff does not believe the demolition of the existing garage and construction of an ADU will alter the status of the primary structure.

- d. The condition or situation of the property concerned is not so general or reoccurring a nature to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance;

The first-floor size limitation applies to all ADUs. Typically, additional floor area can be included on the second floor, but in this case because of the applicant's disability, they would be unable to access second floor space and therefore request more floor area on the first floor.

- e. The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property.

The variance request would not change the use of the property as it will continue to be used residentially.

- f. The relief or remedy sought by the variance application is not available through a special exception process that is authorized in the ordinance or the process for modification of a zoning ordinance at the time of filing of the variance application.

The relief being requested in this case can only be granted through a variance.

IX. Staff Conclusion

In conclusion, staff **recommends approval** of the requested variance as it meets all the standards for variance as outlined above with the following conditions:

1. The lots must be consolidated prior to applying for the required building permit.
2. No parking on the curb cut which is located within the public right of way except short-term pickup or drop-off of a resident of the property as needed.

Staff

Sean Killion, Urban Planner, sean.killion@alexandriava.gov

Mary Christesen, Zoning Manager, mary.christesen@alexandriava.gov

Tony LaColla, Division Chief, Land Use Services, tony.lacolla@alexandriava.gov

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation and Environmental Services (Transportation Planning):

- R-1 To avoid encroachment of a vehicle parked in the driveway into the sidewalk along E Mt Ida Avenue, we recommend that the applicant may not park on the curb cut which is located within the public right of way. However, short-term occupancy for pickup or drop-off of a resident of the property may occur, as needed.
- F-1 The existing driveway on E Mt Ida Avenue at 2500 Dewitt Avenue is approximately 21 feet, which exceeds the City standard parking space length of 18.5 feet. The proposed improvements will reduce the driveway length to less than 15 feet of available parking length.

Development Right of Way (Planning and Zoning):

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damage during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided an approved grading plan is not required at this time. Please note that if any changes are made to the plan, it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

- C-1 An ADU needs a building permit.

Recreation (City Arborist):

- F-1 No comments.

Historic Alexandria (Archaeology):

- F-1 According to a review of historic maps and aerial photographs, the lot at 2500 Dewitt Ave. remained vacant until the early-twentieth century. Although the property is unlikely to yield significant archaeological information about the history and culture of Alexandria, we ask that the applicant adhere to a few simple recommendations.
- R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

Historic Preservation (Planning and Zoning):

- F-1 The subject property is located in the Town of Potomac National Register District and is listed as a contributing structure.

F-2 While the dwelling is contributing structure to the Town of Potomac National Register District, historic preservation staff does not believe the demolition of the existing garage and construction of an ADU will alter the status.



**APPLICATION
BOARD OF ZONING APPEALS**

VARIANCE

Section of zoning ordinance from which request for variance is made:

7-203-Accessory dwellings

PART A

1. Applicant: ☒ Owner ☐ Contract Purchaser ☐ Agent

Name Geoff Jacobi/Andrea De Freitas Kick

Address [REDACTED]

Daytime Phone [REDACTED]

Email Address [REDACTED]

2. Property Location 2500 Dewitt Ave

3. Assessment Map # 034 Block 02 Lot 05 Zone 18

4. Legal Property Owner Name Geoff Jacobi/Andrea Defreitas Kick

Address [REDACTED]

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Geoff Jacobi		50%
2. Andrea DeFreitas Kick		50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2500 Dewitt Ave Alexandria, VA 22301 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Geoff Jacobi		50%
2. Andrea DeFreitas Kick		50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the [Alexandria City Council](#), [Planning Commission](#), [Board of Zoning Appeals](#) or either Boards of Architectural Review ([OHAD](#) and [Parker-Gray](#)). **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity below and "NONE" in the corresponding fields.)**

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Geoff Jacobi	None	None
2. Andrea DeFreitas Kick	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

5. Describe request briefly:

Requesting to increase the 500 SF ADU 1st floor footprint to 600 SF in order to build an ADA compatible ADU for an aging/invalid parent.

6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- ☐ Yes — Provide proof of current City business license.
- ☐ No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

- ☒ I, as the applicant or authorized agent, note that there is a fee associated with the submittal of this application. Planning & Zoning Department staff will be in contact with the applicant regarding payment methods. Please recognize that applications will not be processed until all fees are paid.
- ☒ Yes ☐ No I affirm that I, the applicant or authorized agent, am responsible for the processing of this application and agree to adhere to all the requirements and information herein.

Printed Name: Geoff Jacobi

Date: September 25, 2025

Signature:



Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

PART B

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please attach additional pages where necessary.)

1. Please answer A or B:

- A. Explain how enforcement of the zoning ordinance would prevent reasonable use of the property.**

- B. Explain how the variance, if granted, would alleviate a hardship, as defined above.**

Increasing the 1st floor footprint from 500 SF to 600 SF would allow the ADU to operate as a comfortable and functional ADA compatible unit. The ADU will be used as the primary residence of the homeowners mother who will be selling her house in North Carolina and moving into this unit. The property at this address is close to 8,500 SF, so there is more than enough room to build the ADU and still have sufficient open space. There is also a beautiful, large cedar tree on the property next to the proposed location of the ADU that we took pains to design around so as not to damage the tree or its root system.

2. Is this unreasonable restriction or hardship unique to the property?

- A. Explain if the restriction or hardship is shared by other properties in the neighborhood.**

The hardship is mainly attributable to the restrictions posed by the 500 SF 1st floor footprint limitation of the ADU which makes it challenging for it to be configured for comfortable and functional ADA use, not by any restrictions imposed by the property.

This lot is a corner lot, which means it's also limited by set-back requirements on two sides, which further restricted ADU placement.

- B. Does this situation or condition of the property (on which this application is based) generally apply to other properties in the same zone?**

Yes, I believe so, if the homeowner of the property wanted to build an ADU under the same conditions that this ADU is being built.

3. Was the unreasonable restriction or hardship caused by the applicant?

A. Did the condition exist when the property was purchased?

The condition is a function of the ADU zoning regulations, not of the property itself. I don't believe the Accessory Dwelling regulations existed when the property was purchased.

B. Did the applicant purchase the property without knowing of this restriction or hardship?

The restriction or hardship was not an issue when the property was purchased.

C. How and when did the condition, which created the unreasonable restriction or hardship, first occur?

The condition arose when the permit for the ADU was submitted. We were informed by Alexandria Zoning office of the condition.

D. Did the applicant create the unreasonable restriction or hardship and, if so, how was it created?

The applicant did not create the unreasonable restriction or hardship.

4. Will the variance, if granted, be harmful to others?

A. Explain if the proposed variance will be detrimental to the adjacent properties or the neighborhood in general.

The variance will not be harmful to adjacent properties or the neighbors. On the contrary, the ADU will be replacing a small, non-functional and frankly, an eyesore of a 1930's era garage. The ADU will be a vast improvement to the property and the neighborhood.

- B. Has the applicant shown the proposed plans to the most affected property owners? Have these property owners written statements of support or opposition of the proposed variance? If so, please attach the statements or submit at the time of the hearing.**

Yes, the applicant has shown the plans and discussed the project with the affected neighbors and is in the process of collecting letters of support which will be attached to the variance package when they are received.

- 5. Is there any other administrative or procedural remedy to relieve the hardship or unreasonable restriction?**

The most prudent administrative remedy to relieve the hardship is the approval of this variance to increase the 1st floor footprint of the ADU on this property to 600 SF.

PART C

- 1. Have alternative plans or solutions been considered so that a variance would not be needed? Please explain each alternative and why it is unsatisfactory.**

We considered possible solutions but none of them were satisfactory. The goal is the creation of a single-level structure that will provide a comfortable and functional ADA compatible living quarter, and no other solution we considered was viable.

2. **Please provide any other information you believe demonstrates that the requested variance meets the required standards.**

Please refer to the attached schematic detailing the proposed ADU Addition ADA Layout Floor Plan.

*****ATTENTION APPLICANTS*****

At the time of application for a Special Use Permit, Rezoning, Vacation, Encroachment, Variance, Special Exception or Subdivision, you must provide a draft of the description of your request you intend to use in the property owner's notice. You must be thorough in your description. Staff will review the draft wording to confirm its completeness.

The example illustrates a detailed description:

"Variance to construct a two-story addition in the required side yards on _____ Street."

If you fail to submit draft language at the time of the application filing deadline, the application will be determined to be incomplete and may be deferred by staff.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Attic less than 7'**	
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Garage**	
Garage		Other***	
Other***		Other***	

B1. **Total Gross** B2. **Total Exclusions**

B1. Sq. Ft.
Existing Gross Floor Area*

B2. Sq. Ft.
Allowable Floor Exclusions**

B3. Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Attic less than 7'**	
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Garage**	
Garage		Other***	
Other***		Other***	

C1. **Total Gross** C2. **Total Exclusions**

C1. Sq. Ft.
Proposed Gross Floor Area*

C2. Sq. Ft.
Allowable Floor Exclusions**

C3. Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____

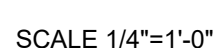
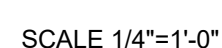
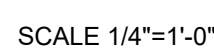
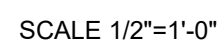
Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

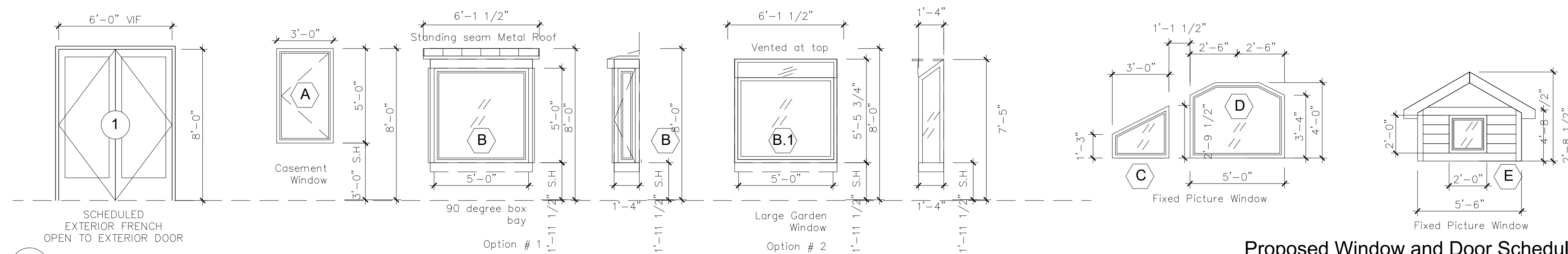
2500 Dewitt Ave
Alexandria VA 22301


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Proposed ADU Foundation, Framing, ADA Wall Bracing Layout Plans and Building Section,	
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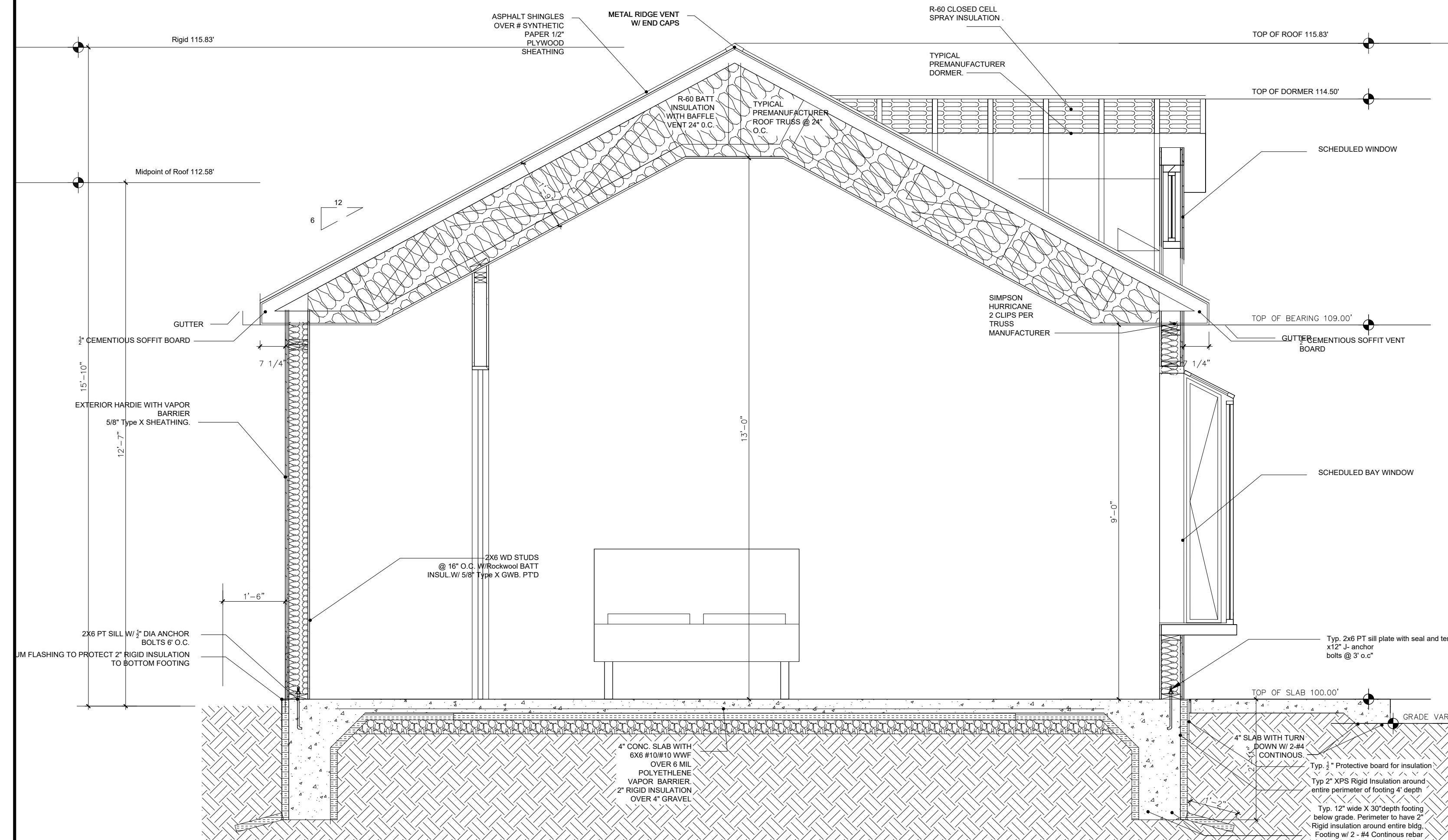
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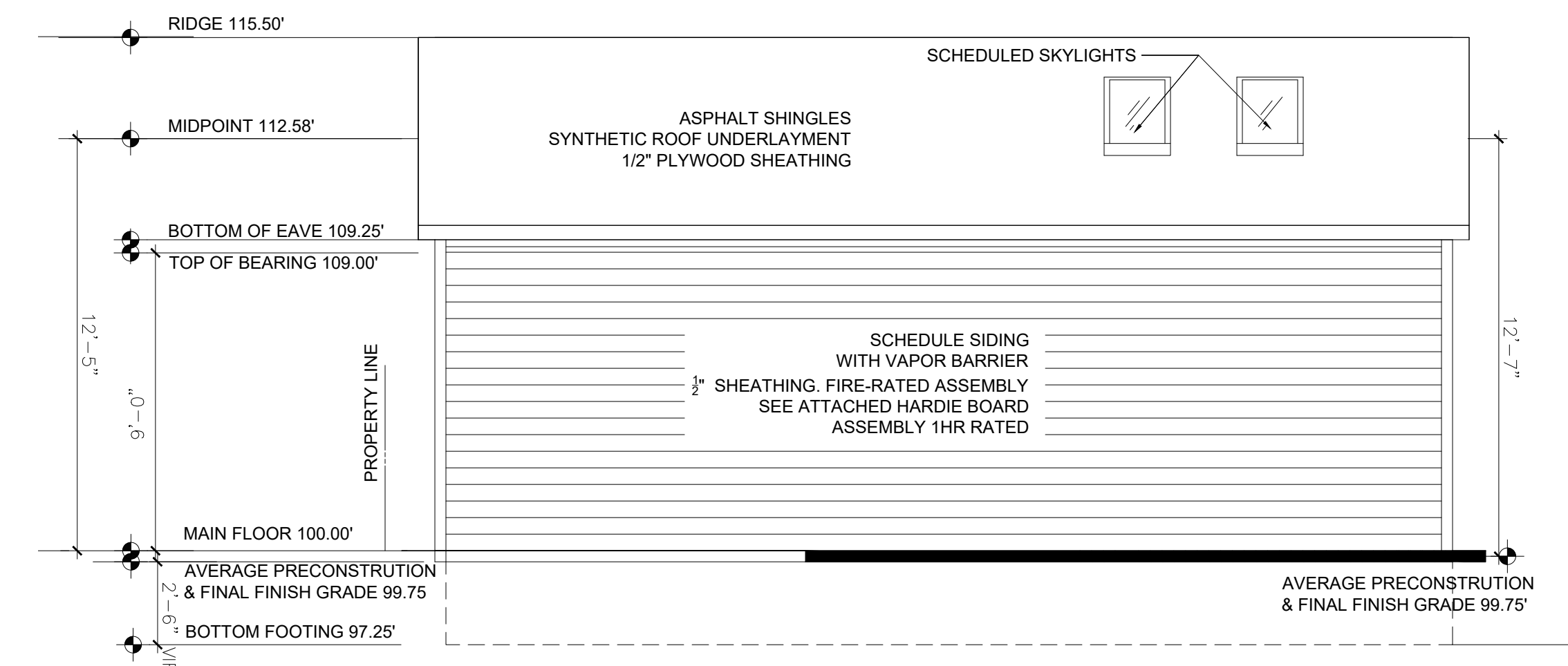


- GENERAL NOTES:**

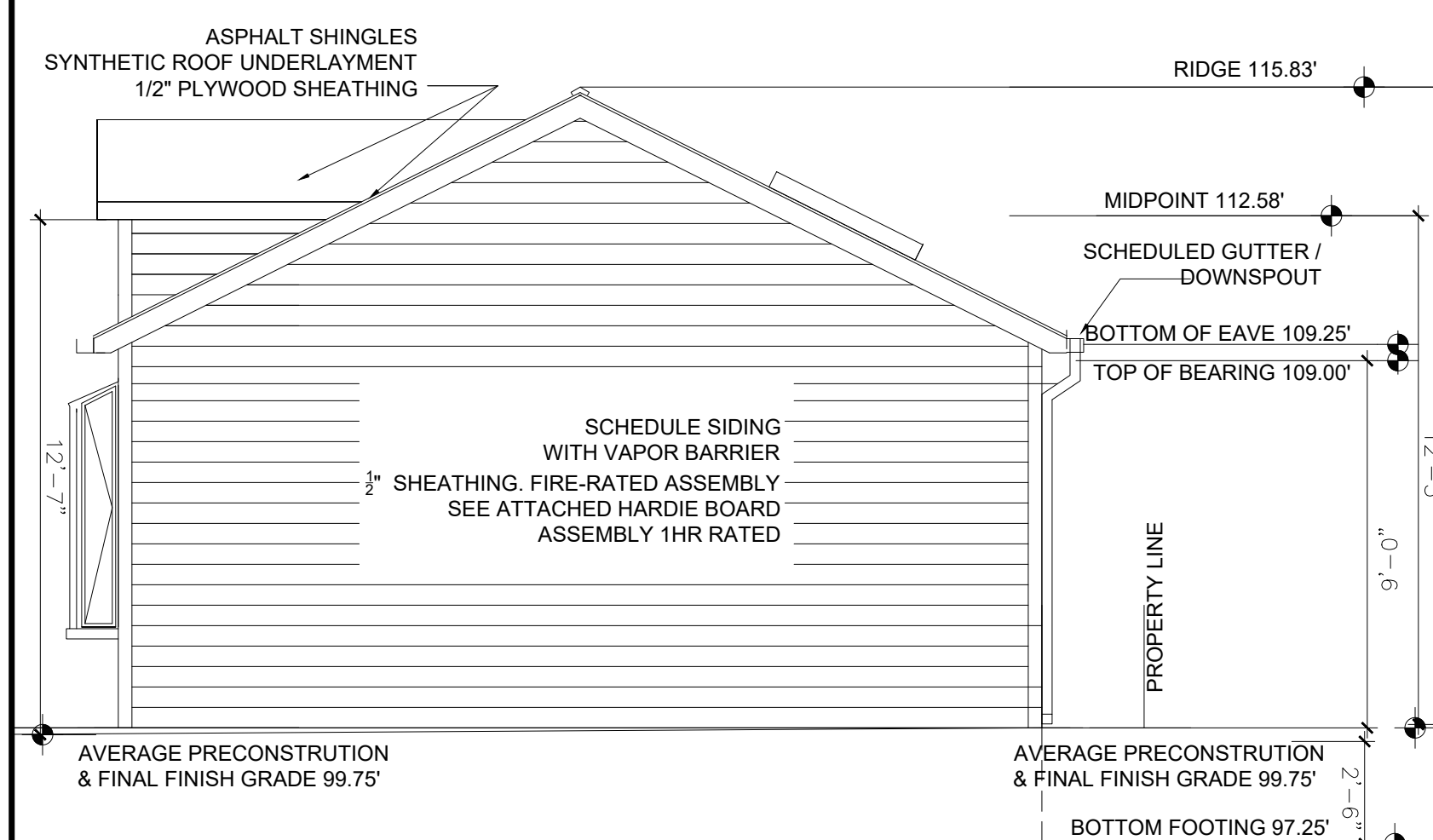
1. DESIGN LIVE LOADS: ROOF – 30 PSF, 2ND FLOOR – 30 PSF, 1ST FLOOR – 40 PSF.
2. ALL CONCRETE SHALL BE MINIMUM 3000 PSI EXCEPT SLABS WHICH SHALL BE 3500 PSI.
3. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL CONDITIONS DEPICTED INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, FINISHES AND THE WORK OF ALL TRADES.
4. ALL STEEL SHALL BE A36 EXCEPT NEW STEEL PIPE COLUMNS WHICH SHALL BE A500 GRADE B. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS.
5. SHOP DRAWINGS FOR ALL ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
6. ALL LVL'S SHALL HAVE A MINIMUM VALUE OF $E = 1,900,000$ PSI, $F_b = 2500$ PSI, $F_v = 285$ PSI.
7. ALL FRAMING MEMBERS SHALL BE MINIMUM HEM-FIR NO.2 EXCEPT STUDS WHICH SHALL BE MINIMUM S-P-F SURFACE DRY CONSTRUCTION GRADE $F_c = 1350$ PSI, $E = 1,300,000$ PSI, $F_b = 975$ PSI. PRESSURE TREATED LUMBER SHALL BE MINIMUM SOUTHERN YELLOW PINE NO. 1.
8. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 PSF. THIS VALUE SHALL BE FIELD VERIFIED PRIOR TO POURING FOOTINGS.
9. ALL REINFORCING SHALL BE GRADE 60.
10. DESIGN WIND SPEED – 115 MPH, EXPOSURE B.



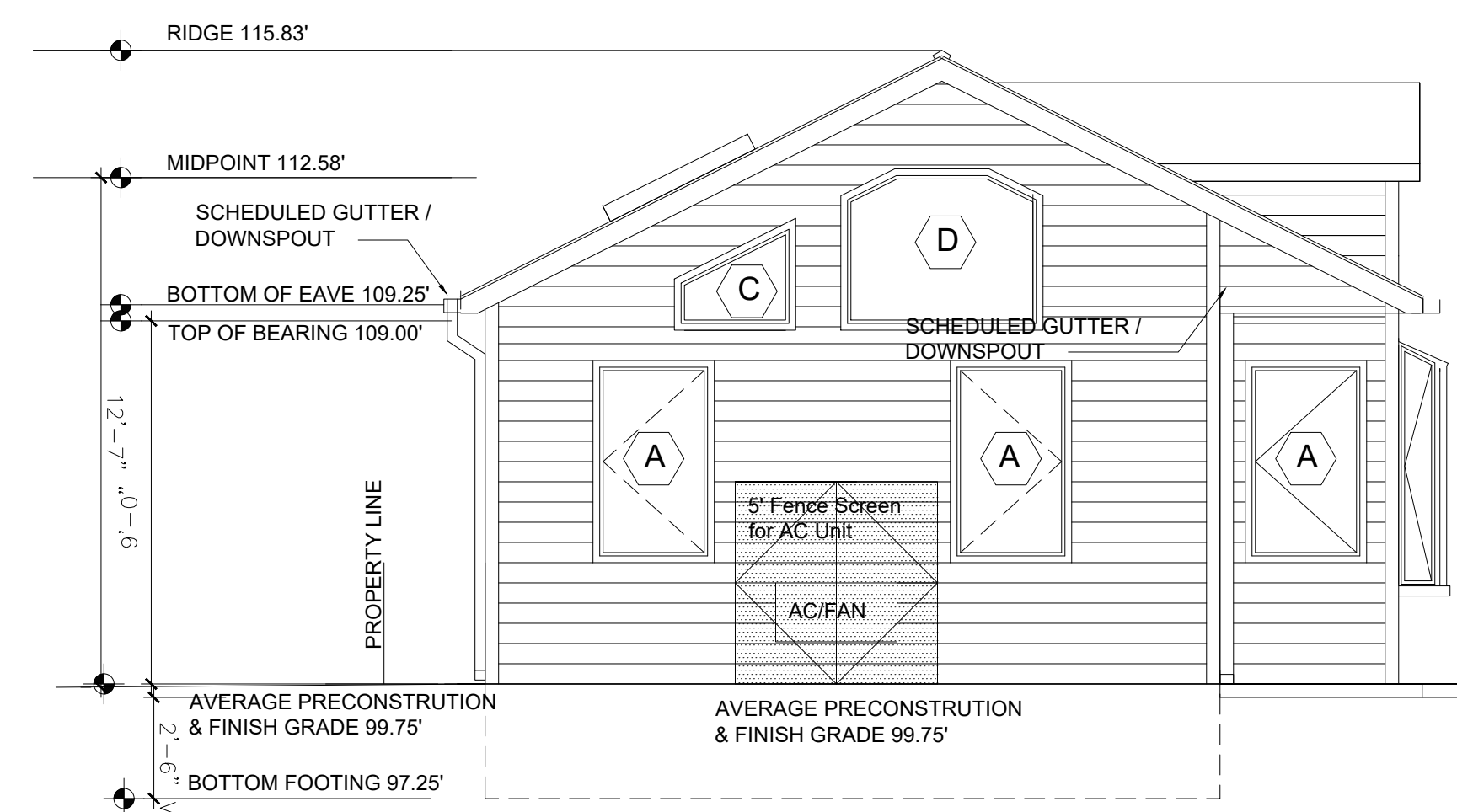
Proposed Building Section



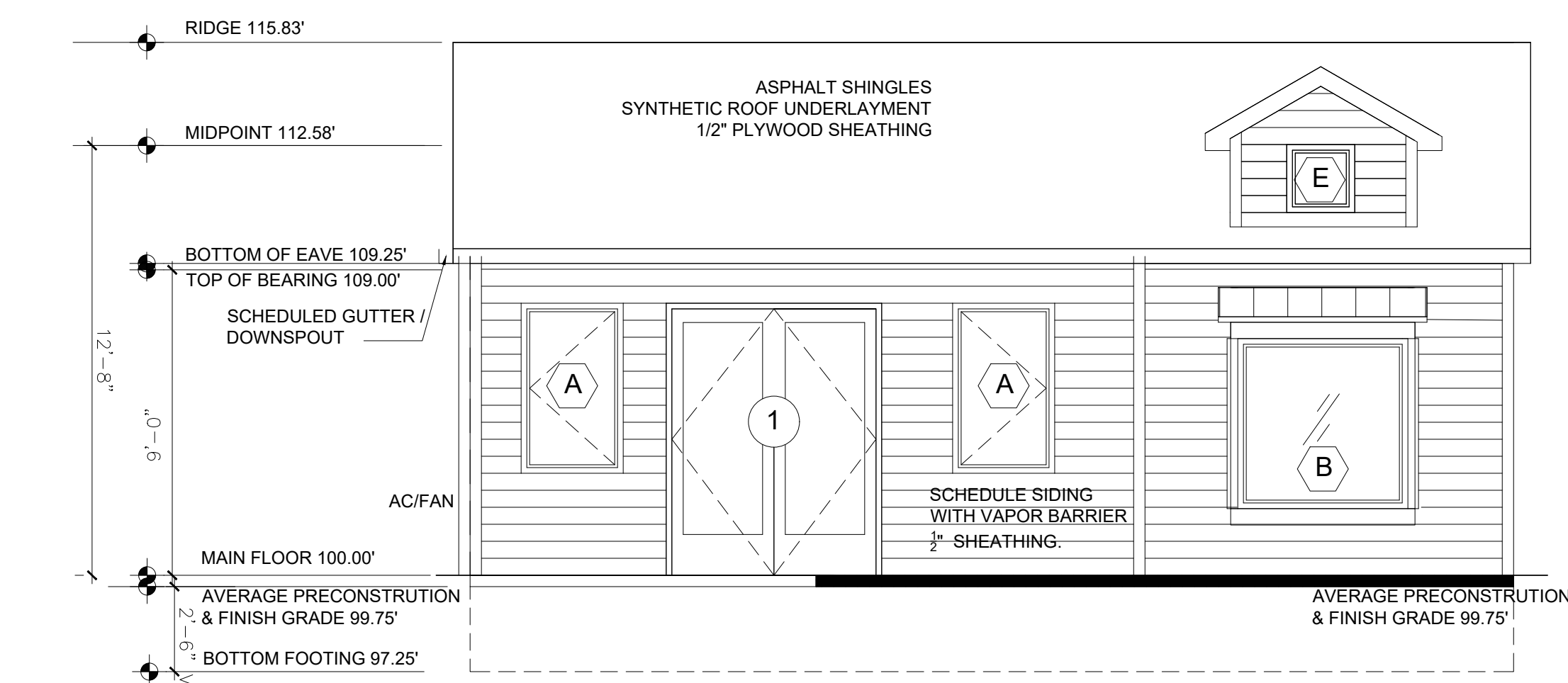
Proposed ADU Addition Back Elevation



Proposed ADU Addition Right Elevation



Proposed ADU Addition Left Elevation



Proposed ADU Addition Front Elevation

NOW

Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

PROJECT NAME
ADU Addition TO:
2500 Dewitt Ave
Alexandria VA 22301

DATE	PHASE
9/25/25	PERMIT
DRAWN BY	
	BT



DRAWING TITLE

Proposed ADU Elevations,
Building Section and
Windows / Doors Schedule

SHEET NO.

a2.1

The map shows the Del Ray Alexandria neighborhood with the following details:

- Location:** The new site is located at 2500 Devitt Ave, marked with a black dot and labeled "SITE".
- Streets:** Major streets shown include E Raymond Ave, E Randolph Ave, E Custis Ave, E Howells Ave, E Bellefonte Ave, E Duncan Ave, Stewart Ave, Terrett Ave, Leslie Ave, Burke Ave, La Grande Ave, and E Windsor Ave.
- Landmarks:** Mt Jefferson Park, Founding Farmers Alexandria, and the Del Ray Animal Hospital are marked.
- Other Points of Interest:** Los Tios Grill, Kasa FreeMoreWest lotte, Del Ray Café, Divine Nail Spa Alexandria, and Up Next Baseball are also indicated.
- Infrastructure:** The map shows the I-495 highway running along the right side of the neighborhood.

GENERAL NOTES

1. DESIGN LIVE LOADS: ROOF – 30 PSF, 2ND FLOOR – 30 PSF, 1ST FLOOR – 40 PSF.
2. ALL CONCRETE SHALL BE MINIMUM 3000 PSI EXCEPT SLABS WHICH SHALL BE 3500 PSI.
3. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL CONDITIONS DEPICTED INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, FINISHES AND THE WORK OF ALL TRADES.
4. ALL STEEL SHALL BE A36 EXCEPT NEW STEEL PIPE COLUMNS WHICH SHALL BE A500 GRADE B. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS.
5. SHOP DRAWINGS FOR ALL ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
6. ALL LVL'S SHALL HAVE A MINIMUM VALUE OF $E = 1,900,000$ PSI, $F_b = 2500$ PSI, $F_v = 285$ PSI.
7. ALL FRAMING MEMBERS SHALL BE MINIMUM HEM-FIR NO.2 EXCEPT STUDS WHICH SHALL BE MINIMUM S-P-F SURFACE DRY CONSTRUCTION GRADE $F_c = 1350$ PSI, $E = 1,300,000$ PSI, $F_b = 975$ PSI. PRESSURE TREATED LUMBER SHALL BE MINIMUM SOUTHERN YELLOW PINE NO. 1.
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9. ALL REINFORCING SHALL BE GRADE 60.
10. DESIGN WIND SPEED – 115 MPH, EXPOSURE B.



Location Address	Measurements
218 East Mount Ida Avenue	17'-10" Front
2501 Dewitt Avenue	35'-11" Front
220 East Oxford Ave	7'- 4" Rear
222 East Oxford Ave	10'- 4" Rear

<u>LIST OF DRAWINGS</u>	
<u>ARCHITECTURAL</u>	
SITE PLANS, SYMBOLS, GENERAL	c1.0
NOTES AND CODE ANALYSIS	
FIRE RATED ASSEMBLY,NOTES	c1.1
PROPOSED ADU FOUNDATION, FRAMING,	a1.1
WALL BRACING LAYOUT PLAN & BLDG. SECTION	
PROPOSED ADU ELEVATION BUILDING	a2.1
SECTION AND WINDOWS / DOORS SCHEDULE	
PROPOSED ADU KITCHEN ELEVATION/LAYOUT	a3.1
CLOSET ELEV./PLAN GLASS PANEL	

The diagram illustrates four types of window schedules, each with a unique symbol and a corresponding table for labeling.

- Revision:** Represented by a triangle with the number 1 inside. The table has two columns: "Revision (number)" and "Date".
- Window Schedule:** Represented by a hexagon with the number 6 inside. The table has two columns: "Window Schedule" and "Date".
- Elevation:** Represented by a triangle with a circle and a leader line. The table has two columns: "Letter" and "Sheet #".
- Section:** Represented by a triangle with a circle and a leader line. The table has two columns: "Number" and "Sheet #".
- Plan Detail:** Represented by a dashed rectangle with a circle and a leader line. The table has two columns: "Letter" and "Sheet #".

Below the Plan Detail section, there are two hatching patterns for wall types:

- A horizontal hatching pattern labeled "EXISTING WALL".
- A diagonal hatching pattern labeled "CSWP".

PROJECT NAME: Jacob's Residence ADU Addition

PROJECT ADDRESS: 2500 Dewitt Avenue
Alexandria VA 22301

DECEIPTION OF WORK AND ZONING DATA

ADU Addition - One Story Wood Framed, Slab on Grade

EXISTING SQ-FT, 1,198 S.F. BLDG. AREA + Open Front Porch 210 S.F.+ Screen Porch 97S.F. - Rear Open Porch 331 S.F.
+ Concrete Driveway 672 S.F + Walk 120 S.F. Proposed ADU Addition = 598 S.F.

TOTAL BUILDING WITH Porch, driveway,walk and ADU Addition = 3,226 S.F.

BUILDING DATA:

BUILDING CODE EDITION: 2021 VRC

ZONING: A RESIDENTIAL SINGLE FAMILY R 2-5 = 2.5 DU/ACRE

2021 VIRGINIA BUILDING CODE USE GROUP: R

CONSTRUCTION TYPE: VB

BUILDING HEIGHT: 2 STORY / Basement

GROSS FLOOR AREA: 1,295 SF Main level 1,094 SF 2nd Level 728 SF Basement

TOTAL GROSS FLOOR AREA: 3,117 SF + 598 SF = 3,715 SF

CATEGORIES	REQUIRED	PROVIDED
RESIDENTIAL ZONE	R 2-5 Residential	R 2-5 Residential
LOT SIZE	Corner 6,500 S.F.	8,458 S.F.
INTERIOR LOT WIDTH	65 FT	48.66 - 94.09 FT
LOT DENSITY	MAX 2.5 D.U./ACRE	2.5 D.U./ACRE
OPEN SPACE	NO REQUIREMENT	PROVIDED LOT AREA OPEN SPACE IS 62% = EX. BLDG. 1,198 S.F. + 638 S.F. Porches = PROPOSED ADU Addition = 598 SF = EX. concrete driveway 672 SF, = EX. concrete walk 120 SF = 3226 SF LOT
FAR	.45	GFA = 3,020 + 598 / 8,458 = .43
FRONT YARD	20 - 25 FT.	23 FT-27.8 FT BRL 15'
SIDE YARD	7 FT.	7.1 FT FT
REAR YARD	25 FT.	25.6 FT.
HEIGHT	30 FT.	25 FT

CATEGORIES	REQUIRED	PROVIDED
FRONT YARD	15 FT.	15'
SIDE YARD	1 FT.	1' 6" FT
REAR YARD	1 FT.	2'-6" FT.
HEIGHT	20 FT.	12'-6.75' FT AVG. MT MIDPOINT HT Rigid 15'10"

NOTES: 1. FENCES ARE REAL.

EAST MOUNT IDA AVENUE
N 68°26'00\" W ~ 30 WIDE
CONC DRIVE OFF 0.3' ON 0.6'

DEWITT AVENUE
S 00°05'30\" W ~ 94.09'
40' WIDE

ABINGDON
(ARLINGTON COUNTY DEED BOOK 183, PAGE 520)
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1\" = 20'
DATE: JULY 29, 2024 (WALL CHECK)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE: NO CORNER MARKERS SET.	COMMONWEALTH OF VIRGINIA <i>George M. O'Quinn</i> GEORGE M. O'QUINN 07/29/2024 LICENSE NO. 2069 LAND SURVEYOR DOMINION SURVEYORS®	ORDERED BY: JACOBI DOMINION Surveyors Inc. 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 www.dominionsurveyors.com
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#210225026-2

PROPOSED ADU Addition SITE PLAN

SCALE 1" = 20'

[illegible]

EX. SITE PLAN

SCALE 1" = 20'

Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

ADU Addition TO:

2500 Dewitt Ave

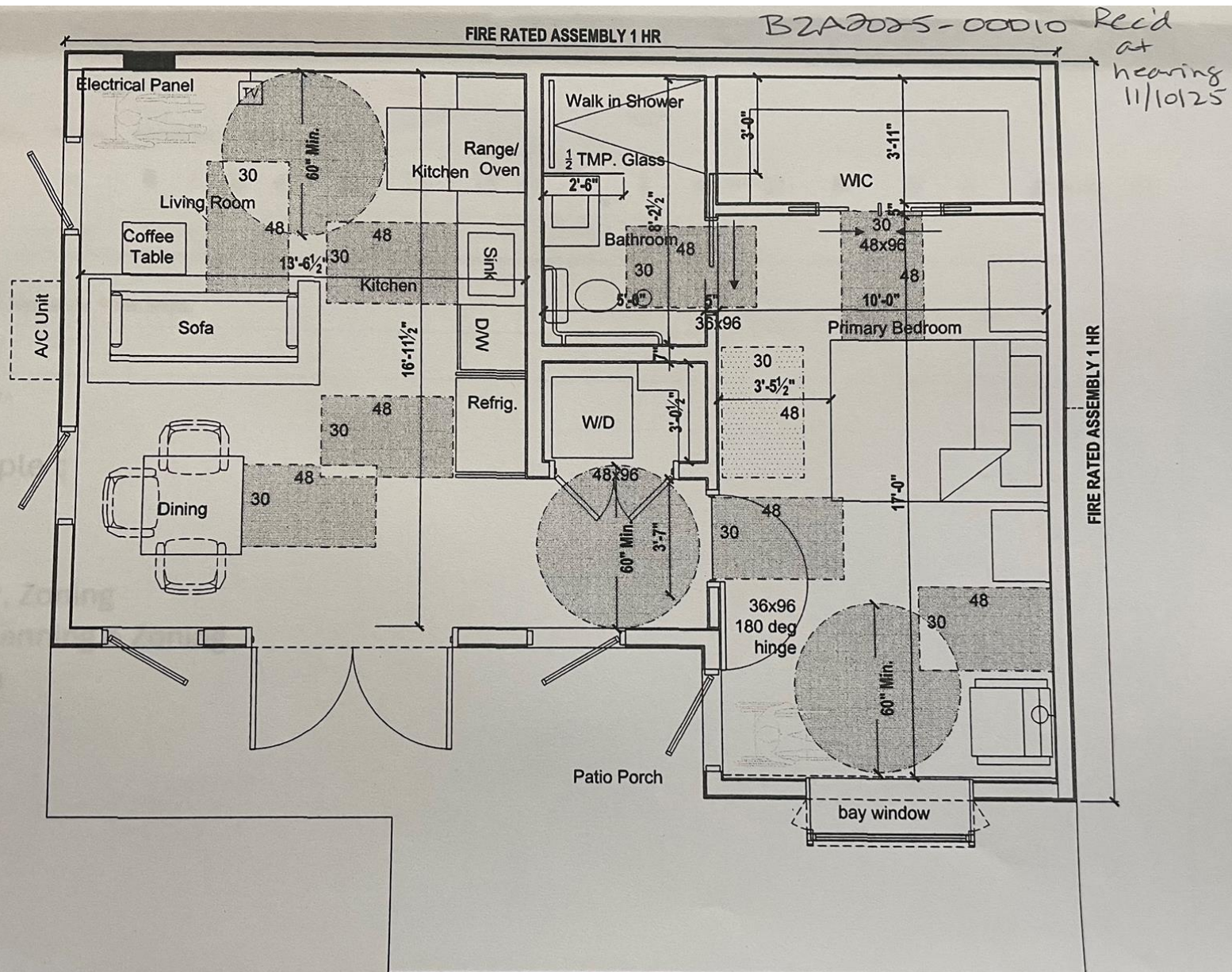
Alexandria VA 22301

DATE	PHASE
9/25/25	PERMIT
DRAWN BY	BT



SITE PLANS, SYMBOLS GENERAL NOTES & CODE ANALYSIS

c1.0



Proposed ADU Addition ADA Layout Floor Plan