



***Special Use Permit # 2023-00107
 1508 Mount Vernon Avenue -
 Junction Bakery & Bistro –
 Increase in Permitted Floor Area Ratio***

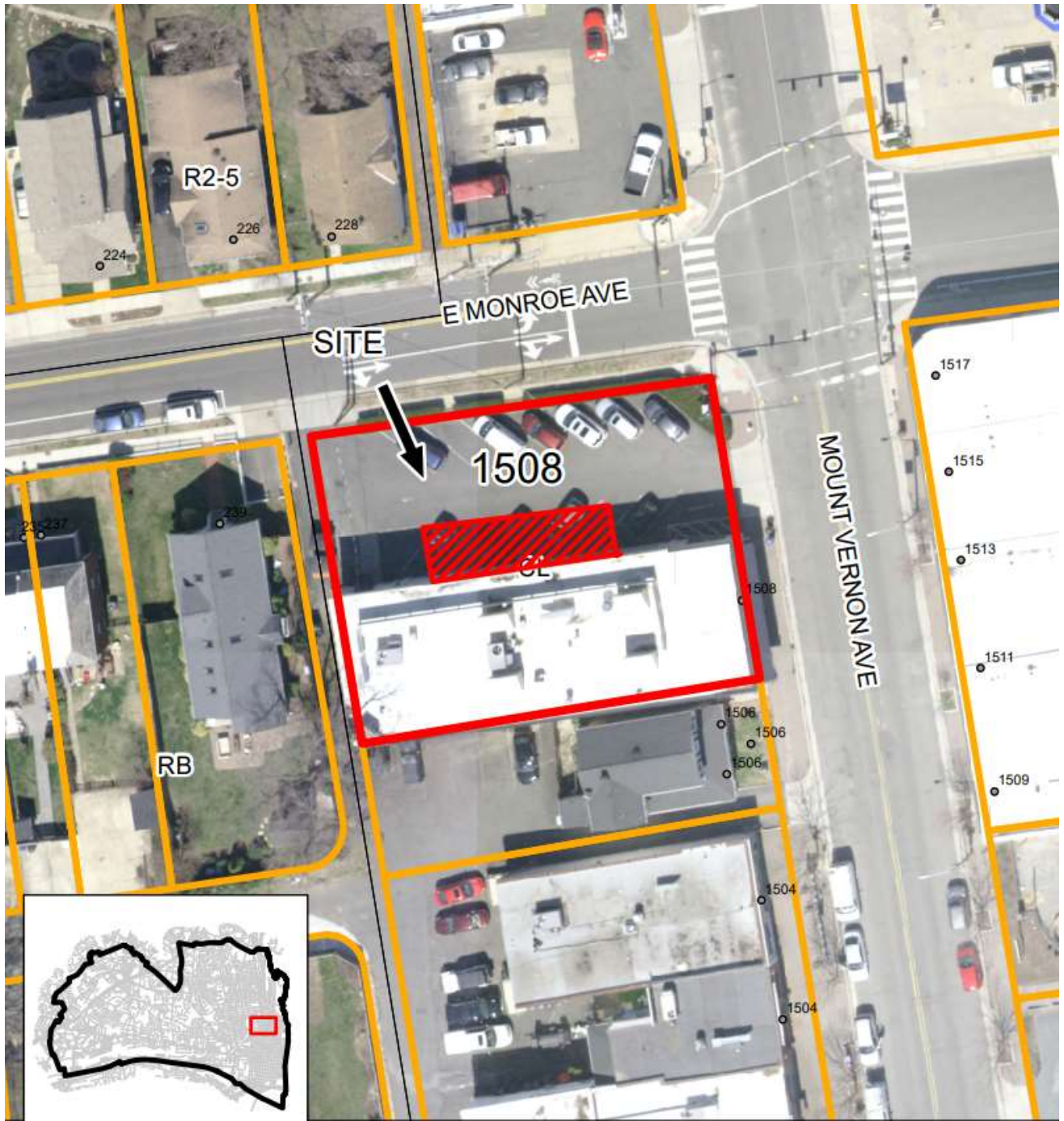
Application	General Data	
Request: Public hearing and consideration of a Special Use Permit to increase FAR up to .75	Planning Commission Hearing:	March 5, 2024
	City Council Hearing:	March 16, 2024
Address: 1508 Mount Vernon Avenue	Zone:	CL/Commercial Low
Applicant: Noe Landini	Small Area Plan:	Potomac West

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

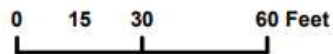
Staff Reviewers:

Patrick Silva, Urban Planner, patrick.silva@alexandriava.gov
 Ann Horowitz, Principal Planner, ann.horowitz@alexandriava.gov

PLANNING COMMISSION ACTION, MARCH 5, 2024: On a motion by Commissioner Lyle, seconded by Vice Chair McMahon, the Planning Commission voted to recommended approval of Special Use Permit #2023-00107, as submitted. The motion carried on a vote of 7-0.



**Special Use Permit #2023-00107
1508 Mount Vernon Avenue**



PROJECT LOCATION MAP

I. DISCUSSION

The applicant, Noe Landini, requests Special Use Permit approval for an increase in the permitted floor area ratio, pursuant to Section 4-106(B)(1) of the Zoning Ordinance, to accommodate the construction of a new 720 square foot covered outdoor dining patio at Junction Bakery & Bistro located at 1508 Mount Vernon Avenue.

SITE DESCRIPTION

The subject site is located on one corner parcel of record. The parcel has 90 feet of frontage on Mount Vernon Avenue, 120 feet of frontage on East Monroe Avenue, and a lot area of 11,244 square feet. It is developed with a one-story 5,348 square foot commercial building with an eight-space surface parking lot, including one loading space located on-site (Figure 1).

A mix of commercial uses — personal service, restaurant, retail, and automobile service stations — surround the restaurant to the east, north, and south while single family dwellings and townhouses are located to the west.



Figure 1: Site Context

BACKGROUND

In February 1996, City Council first approved Special Use Permit #1995-00205 for a restaurant use, known as Mancini's Restaurant, at the subject site. In November 1996, City Council approved both Special Use Permit #1996-00156 for additional seating, outdoor dining, and an increase in the hours of operation for the business as well as Encroachment #1996-00005 to permit eight seats of outdoor dining in the public right of way along Mount Vernon Avenue located in front of the

business and for an awning. In November 1998, City Council approved Special Use Permit #1998-00119 which authorized live entertainment and on-premises alcohol sales. In March 1999, City Council approved Encroachment #1999-00001 to permit the use of the public alleyway at the rear of the restaurant for customer and employee parking. In May 2001, City Council approved Special Use Permit #2001-00020 to allow extended hours of operation. In June 2002, City Council approved Special Use Permit #2002-00024, a one-year review of the previous approval, which also addressed resident concerns related to noise from supply deliveries and employees parking on nearby streets. In November 2015, staff administratively approved Special Use Permit #2015-00102 for a change of ownership for the existing restaurant, which included a retail bakery and accessory catering, from Barbara Mancini to Noe Landini who began operating the business as Junction Bakery & Bistro. In January 2016, City Council approved Special Use Permit #2016-00077 which allowed the business to begin selling off-premises beer and wine. Most recently, in April 2023, staff administratively approved Special Use Permit #2023-00012 for a minor amendment to Special Use Permit #2016-00077 to allow the applicant to add 32 additional seats of outdoor dining in the on-site surface parking lot reducing the total amount of available off-street spaces from twelve to nine.



Figure 2: Junction Bakery from Mt. Vernon Ave.

PROPOSAL

The applicant requests Special Use Permit approval to increase FAR up to .75 at the subject site. The applicant's proposal would add a new 720 square foot covered outdoor dining patio, as an addition to the north side of the building and in the on-site surface parking lot, where the 32 outdoor dining seats now exist. A Special Use Permit is required to approve the proposed covered patio as the 720 square feet of floor area would result in a floor area ratio of .53, whereas Section 4-106(B)(1) of the Zoning Ordinance states that the maximum floor area ratio permitted for a nonresidential property by right is 0.5. Pursuant to Section 4-106(B)(1) of the Zoning Ordinance,

PARKING

The business currently occupies 5,348 square feet of floor area for a restaurant and is approved to operate up to 40 seats of outdoor dining. Pursuant to Section 8-200(A)(17)(a) of the Zoning Ordinance, a restaurant located within the City's Enhanced Transit Area is required to provide a minimum of one off-street parking space for every 1,000 square feet of floor area. Pursuant to Section 8-200(A)(17)(c) of the Zoning Ordinance, the first 20 outdoor seats are exempt from being factored into parking requirements, and the area occupied by each seat over 20 seats is calculated as 15 square feet per seat. With a maximum of 40 outdoor seats approved, this would constitute an additional 300 square feet for purposes of off-street parking requirement calculations. The existing 5,348 square foot indoor restaurant and the 300 square feet for outdoor dining, totaling 5,648 square feet, results in a parking requirement of six off-street spaces. The applicant meets this requirement via the seven off-street parking spaces which will be provided in their on-site surface parking lot.



Figure 6: Future patio designated with barriers (left) and existing parking area (right)

ZONING/MASTER PLAN DESIGNATION

The subject property is located within the CL/Commercial Low zone and the Mount Vernon Urban Overlay zone. Section 4-102.1 (B) of the Zoning Ordinance allows for a restaurant with outdoor dining up to 40 seats with approval of an Administrative Special Use Permit. Section 4-106(B)(1) states that the floor area ratio of a nonresidential property located within the CL/Commercial Low zone may be increased to an amount not to exceed .75 with Special Use Permit approval.

The proposed use is consistent with the Potomac West chapter of the Master Plan which designates

the property for commercial use. It also complies with the Mount Vernon Avenue Business Area Plan, which establishes a mix of residential, retail, and commercial uses in the Monroe Avenue Gateway area, promoting neighborhood-oriented restaurants.

II. STAFF ANALYSIS

Staff supports the applicant's request for an increase in the permitted floor area ratio to .53 to accommodate the construction of a new covered outdoor dining patio addition at 1508 Mount Vernon Avenue. Staff finds that Special Use Permit criteria, as outlined in Section 11-504(A) of the Zoning Ordinance, are satisfied to allow the minor increase in FAR. The Special Use Permit request:

1. *Will not adversely affect the health or safety of persons residing or working in the neighborhood of the proposed use;*

The increased floor area and construction of a covered patio would have no adverse effects on the health and safety of adjacent residents and employees as the proposed use would not adversely affect the safety of the motoring public and of pedestrians using the facility and the area immediately surrounding the site. The new construction of a covered patio would be contained well within the property line and would be located away from adjacent residential uses. In addition, no aspect of the patio's construction would result in inadequate pedestrian and/or vehicular access. All required entrance and exit drives would be provided and designed so as to prevent traffic hazards. Furthermore, all aspects of the covered patio construction would need to comply with applicable building and fire codes, ensuring the safety of patrons, employees, and neighboring properties.

2. *Will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood; and*

Increasing the allowable floor area ratio to allow for the construction of the proposed covered patio would not adversely impact neighboring properties, and in fact, benefit the neighborhood by maintaining street vitality and providing outdoor dining along the Mount Vernon Avenue corridor year-round. Staff finds that the proposed increase in floor area ratio of 0.03 is quite modest and would not contribute to an overall appearance of excessive density at the site or otherwise adversely impact light conditions and air quality for neighboring properties. Furthermore, the proposed use will be constructed, arranged, and operated in such a way so as not to dominate the immediate vicinity or interfere with the development and use of neighboring properties as the covered patio's highest point would be below that of the roofline of the existing building and would be screened from nearby residential properties by both fencing and landscape elements.

3. *Will substantially conform to the master plan of the city.*

The Special Use Permit request is consistent with the recommended use of the site as a commercial property as envisioned in the Potomac West Small Area Plan and the Mount Vernon Avenue Business Area Plan. The configuration of the proposed covered patio is in keeping with the building form and design approach recommendations for new construction as recommended in Section 6.2 of the Mount Vernon Business Area Plan, including the focus on new construction which reflects the scale of existing buildings, appropriate building setbacks to minimize impacts on adjacent residential properties, and ground level commercial storefronts which contribute to the vitality of the streetscape and the pedestrian experience.

Subject to the conditions stated in Section III of this report, staff recommends approval of the Special Use Permit request.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)
2. The roof and patio construction shall be consistent with the application materials submitted on January 25, 2024.
3. The Director of Planning and Zoning shall review the Special Use Permit one year after approval and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the Director has received a request from any person to docket the permit for review as a result of a complaint that rises to the level of a violation; or (c) the Director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a Special Use Permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at commercialrecycling@alexandriava.gov, for information about completing this form. (T&ES-DROW)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES-DROW)
- C-3 Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES-DROW)

Code Enforcement:

F-1 Building permit is required.

Fire:

No comments or concerns.

Parks and Recreation:

No comments or concerns.

Police Department:

No comments or concerns.

Health Department:

No comments or concerns.

STAFF: Tony LaColla, Division Chief, Land Use Services
Ann Horowitz, Principal Planner
Patrick Silva, Urban Planner



February 26, 2024

Karl W. Moritz, Director
Department of Planning and Zoning
City of Alexandria
City Hall, Room 2100
Alexandria, VA 22314

RE: SUP2023-0107
1508 Mt. Vernon Ave
Junction Bakery

Dear Mr. Moritz,

The Del Ray Citizens Association (DRCA) voted to support the extension of the FAR as requested in SUP 2023-0107 at 1508 Mt. Vernon Ave for Junction Bakery with the following recommendations:

- ***Recommend installation of bike racks along the northeast corner of the building.***
- ***Recommend the mural be preserved and / or replaced / expanded if affected by the new opening to the patio.***
- ***Recommend a striped pedestrian pathway be provided along the patio / deck to the sidewalk to allow safe passageway in the parking lot.***

The Del Ray Citizens Association Land Use Committee (DRCA LUC) held a public Zoom meeting on Tuesday, January 30, 2024. The applicant and a city staff representative were in attendance and the presentation prepared by the LUC of the proposed SUP was reviewed. Questions and comments were addressed by the applicant and city staff.



On Thursday, February 15, 2024 during the regular DRCA Zoom membership meeting, the membership reviewed the presentation, the motion set forth by the LUC was discussed, and the membership voted to support the SUP with the recommendations.

Sincerely,

Kristine Hesse, DRCA LUC Co-Chair
Lisa Lettieri, DRCA LUC Co-Chair

Katie Waynick
DRCA President

cc: Patrick Silva, P & Z
Noe Landini, Junction Bakery

MEMORANDUM

DATE: FEBRUARY 29, 2024

TO: CHAIR NATHAN MACEK
AND MEMBERS OF THE PLANNING COMMISSION

FROM: KARL W. MORITZ, DIRECTOR
DEPARTMENT OF PLANNING & ZONING

SUBJECT: DOCKET ITEM #3 – SUP #2023-00107
1508 MOUNT VERNON AVENUE –
JUNCTION BAKERY & BISTRO INCREASE IN FAR

In this memorandum, staff responds to the Del Ray Civic Association (DRCA) recommendations for SUP #2023-00197, which were emailed to the commission on February 26. The SUP request is for additional FAR for the construction of a canopy at 1508 Mount Vernon Avenue. In addition, Commissioner Lyle separately requested that staff investigate the costs associated with implementing the DRCA recommendations and these are also included in the memorandum.

Given that the DRCA recommendations for the placement of a bicycle rack, maintenance of the mural, and installation of a striped pedestrian path do not directly offset an impact of the request for additional FAR, staff does not recommend additional SUP conditions. The potential for impacts associated with additional FAR sought through an SUP, primarily relate to the physical and aesthetic implications of added bulk on the site, surrounding buildings, and the neighborhood. A bicycle rack and striped pedestrian path do not offset the proposed additional bulk requested in this SUP. Conditions for these two features may have been appropriate to consider under SUP #2023-00012, that approved the outdoor dining; however, no such conditions were required at the time of that approval. A condition for a mural also does not offset impacts of added bulk or the restaurant and outdoor dining use and would be appropriate for review separately under a sign permit.

Should the applicant elect to independently address the DRCA recommendations, these must be addressed in compliance with City regulations.

Secondly, staff gathered estimates, at Commissioner Lyle's request, for each of the DRCA recommendations. A bike rack purchase and installation would average \$500; mural repainting could range between \$3,250 to \$6,500; and approximate costs for a striped pedestrian pathway would be \$700.

Staff continues to recommend approval of SUP #2023-00107 subject to the existing conditions in the staff report.



APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: _____

TAX MAP REFERENCE: _____ **ZONE:** _____

APPLICANT:

Name: _____

Address: _____

PROPOSED USE: _____

THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Print Name of Applicant or Agent

Noe Landini

Signature

Date

Mailing/Street Address

Telephone #

Fax #

City and State

Zip Code

Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of _____, I hereby
(Property Address)
grant the applicant authorization to apply for the _____ use as
(use)
described in this application.

Name: _____ Phone _____

Please Print

Address: _____ Email: _____

Signature: Noe Landini Date: _____

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Noe Landini

Date
Printed Name
Signature

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):
- a new use requiring a special use permit,
 - an expansion or change to an existing use without a special use permit,
 - an expansion or change to an existing use with a special use permit,
 - other. Please describe: _____

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).

- B. How many employees, staff and other personnel do you expect?
Specify time period (i.e., day, hour, or shift).

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Hours:

7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

- B. How will the noise be controlled?

8. Describe any potential odors emanating from the proposed use and plans to control them:

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

C. How often will trash be collected?

D. How will you prevent littering on the property, streets and nearby properties?

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

ALCOHOL SALES

13. A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

- _____ Standard spaces
- _____ Compact spaces
- _____ Handicapped accessible spaces.
- _____ Other.

Planning and Zoning Staff Only Required number of spaces for use per Zoning Ordinance Section 8-200A _____ Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where is required parking located? (*check one*)

on-site

off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? _____

Planning and Zoning Staff Only Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____ Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No
--

B. Where are off-street loading facilities located? _____

C. During what hours of the day do you expect loading/unloading operations to occur?

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? Yes No

Do you propose to construct an addition to the building? Yes No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be?

_____ sq. ft. (existing) + _____ sq. ft. (addition if any) = _____ sq. ft. (total)

19. The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: _____

an office building. Please provide name of the building: _____

other. Please describe: _____

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

Automobile Oriented

Parking Reduction

Signs

Substandard Lot

Lot modifications requested with SUP use

Interior Floor Plan

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

Plan for outdoor uses

Contextual site image

Show subject site, on-site parking area, surrounding buildings, cross streets



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. CL
 Street Address Zone

A2. x =
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	B1. <input type="text" value="5,348.00"/> Sq. Ft.
First Floor	<input type="text" value="5,155.00"/>	Stairways**	<input type="text" value="0.00"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="0.00"/>	Mechanical**	<input type="text" value="57.00"/>	B2. <input type="text" value="207.00"/> Sq. Ft.
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value="0.00"/>	Allowable Floor Exclusions**
Attic	<input type="text" value="0.00"/>	Porches**	<input type="text" value="0.00"/>	B3. <input type="text" value="5,141.00"/> Sq. Ft.
Porches	<input type="text" value="0.00"/>	Balcony/Deck**	<input type="text" value="0.00"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text" value="0.00"/>	Lavatory***	<input type="text" value="150.00"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid gray; height: 40px; width: 100%;"></div>
Lavatory***	<input type="text" value="193.00"/>	Other**	<input type="text" value="0.00"/>	
Other**	<input type="text" value="0.00"/>	Other**	<input type="text" value="0.00"/>	
B1. Total Gross	<input type="text" value="5,348.00"/>	B2. Total Exclusions	<input type="text" value="207.00"/>	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	C1. <input type="text" value="720.00"/> Sq. Ft.
First Floor	<input type="text" value="720.00"/>	Stairways**	<input type="text" value="0.00"/>	Proposed Gross Floor Area*
Second Floor	<input type="text" value="0.00"/>	Mechanical**	<input type="text" value="0.00"/>	C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value="0.00"/>	Allowable Floor Exclusions**
Attic	<input type="text" value="0.00"/>	Porches**	<input type="text" value="0.00"/>	C3. <input type="text" value="720.00"/> Sq. Ft.
Porches	<input type="text" value="0.00"/>	Balcony/Deck**	<input type="text" value="0.00"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text" value=""/>	Lavatory***	<input type="text" value="0.00"/>	Notes *Gross floor area is the sum of <u>all areas under roof of a lot</u> , measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings. ** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions. ***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.
Lavatory***	<input type="text" value="0.00"/>	Other**	<input type="text" value=""/>	
Other	<input type="text" value="0.00"/>	Other**	<input type="text" value="0.00"/>	
C1. Total Gross	<input type="text" value="720.00"/>	C2. Total Exclusions	<input type="text" value="0.00"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

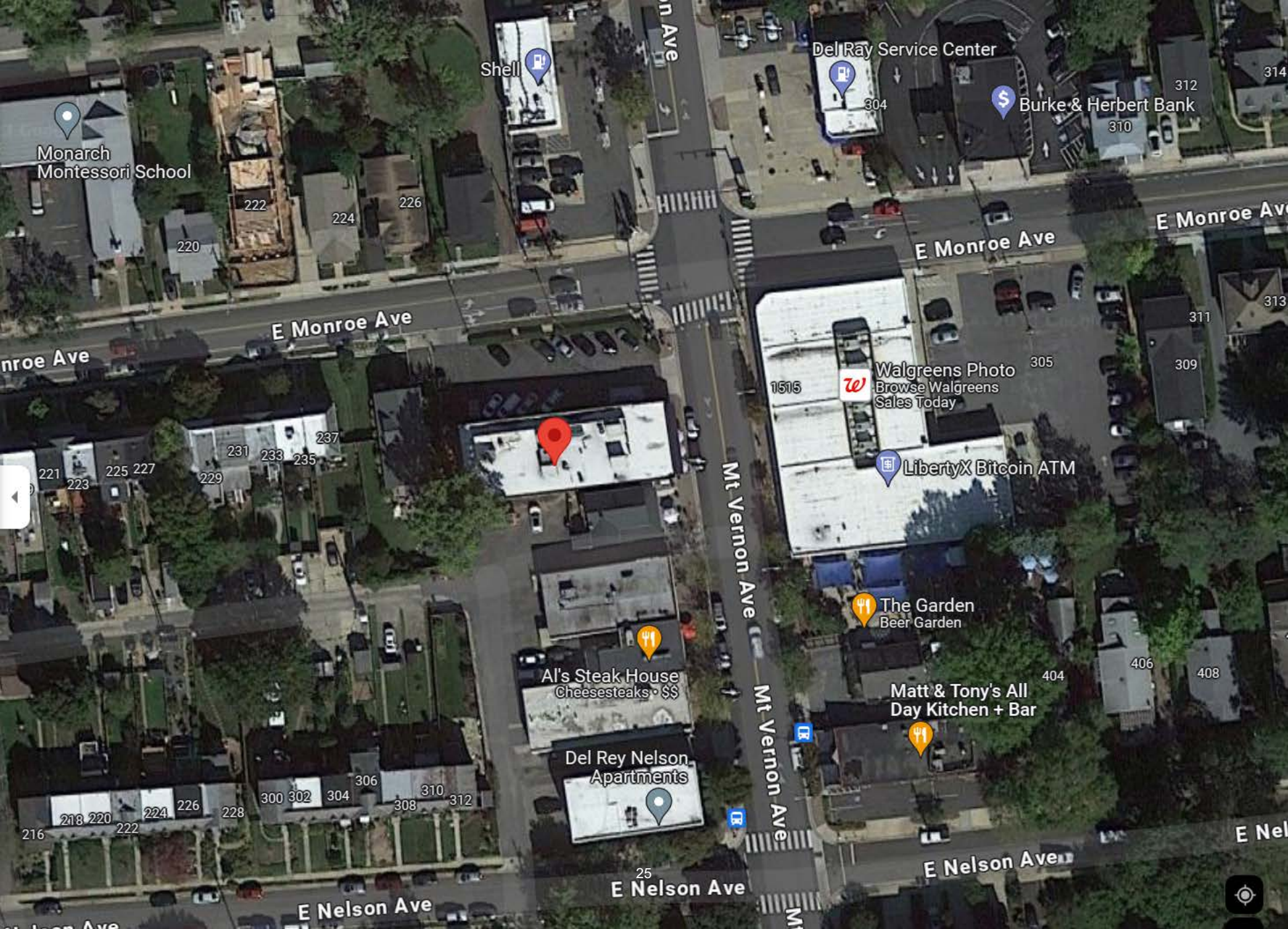
E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____



Monarch
Montessori School

Shell

Del Ray Service Center

Burke & Herbert Bank

E Monroe Ave

E Monroe Ave

E Monroe Ave

rore Ave

Walgreens Photo
Browse Walgreens
Sales Today

LibertyX Bitcoin ATM

Mt Vernon Ave

Mt Vernon Ave

The Garden
Beer Garden

Al's Steak House
Cheesesteaks • \$\$

Matt & Tony's All
Day Kitchen + Bar

Del Rey Nelson
Apartments

E Nelson Ave

E Nelson Ave

E Nelson Ave

E Nelson Ave

220

222

224

226

304

310

312

314

221

223

225 227

229

231

233

235

237

1515

305

309

311

313

216

218 220

222

224

226

228

300

302

304

306

310

312

308

25

404

406

408

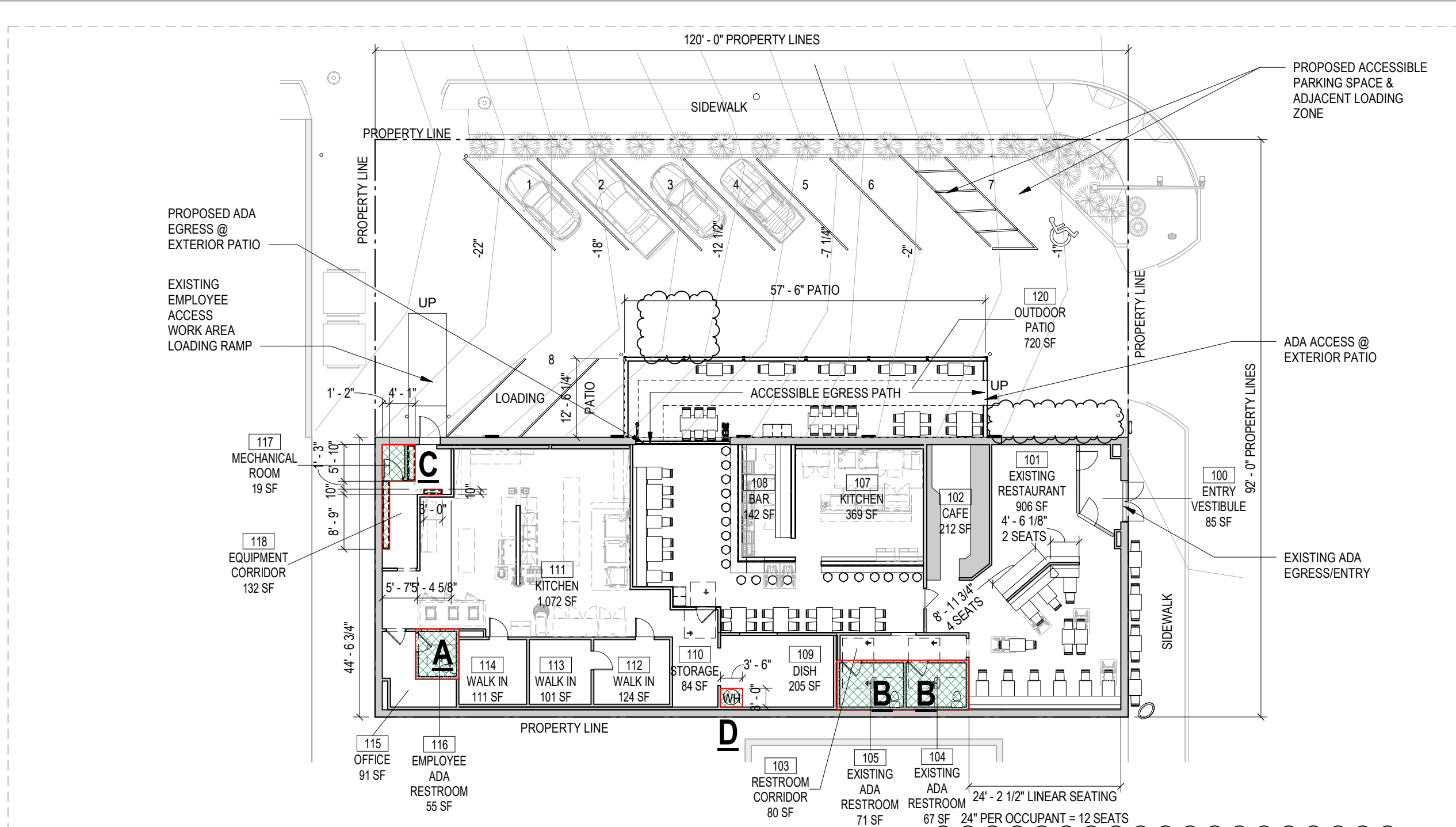


3299 K Street NW, Suite 300
 WASHINGTON DC 20007
 [T] 202.350.4244
 [F] 202.350.4245
 [W] 3877.design

Revised

01/25/2024 3:34:59 PM

NOT FOR CONSTRUCTION



PARKING COUNTS PER ALEXANDRIA ZONING ARTICLE VIII SECTION 8-100-17

WITHIN THE ENHANCED TRANSIT AREA:
 (a) i. 1.0 SPACE PER 1,000 SF OF [INTERIOR] FLOOR AREA [4,777 SF: BUILDING FAR INCLUDING EXCEPTIONS]
 (c) FOR OUTDOOR DINING AREAS, THE FIRST 20 OUTDOOR SEATS SHALL BE EXEMPT FROM THE PARKING REQUIREMENT. THE AREA OCCUPIED BY EACH SEAT OVER 20 SHALL BE CALCULATED AS 15 SF/SEAT. [40 TOTAL OUTDOOR SEATS]

(a) 4,777 SF / 1,000 = 4.8 5 PARKING SPACES
 (c) 20 PEOPLE x 15 SF/SEAT = 300 SF 1 PARKING SPACE

TOTAL

**6 TOTAL SPACES REQUIRED,
 8 PROVIDED INCLUDING ADA + LOADING**

SEAT COUNTS

INTERIOR:	33 EXISTING CAFE 20 BAR SEATS 28 DINING SEATS
EXTERIOR:	8 EXISTING AT FRONT 32 ENCLOSED PATIO
TOTAL	121 (TOTAL INTERIOR: 81, TOTAL EXTERIOR 40)

ALEXANDRIA ZONING FLOOR AREA CALCULATIONS ARTICLE II SECTION 2-145-B - ZONE CL

EXISTING BUILDING SF INCLUDING EXTERIOR WALLS:	5,348 SF
EXTERIOR PATIO ADDITION SF (INCLUDING STAIR)	+720 SF
A EMPLOYEE RESTROOM (EXCEPTION 3)	-50 SF
B FOH GUEST BATHROOM (EXCEPTION 3)	-100 SF
C UTILITY CLOSET AND BOH UTILITY CORRIDOR (EXCEPTION 2)	-46 SF
D WATER HEATER & SERVICE AREA (EXCEPTION 2)	-11 SF
BUILDING SF INCLUDING EXCEPTIONS (0.53 FAR)	5,861 SF
MAX SF TO MEET 0.50 FAR (PROPERTY AREA: 11,040 SF)	5,520 SF

SHEET TITLE: FLOOR PLAN - ZONING

PROJECT NO: 2020.72
 ISSUE: SUP REVISION 25 JAN 2024

SCALE: 1/16" = 1'-0"
 PROJECT: JUNCTION BAKERY - ALEXANDRIA
 ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

SUP-1

VOID

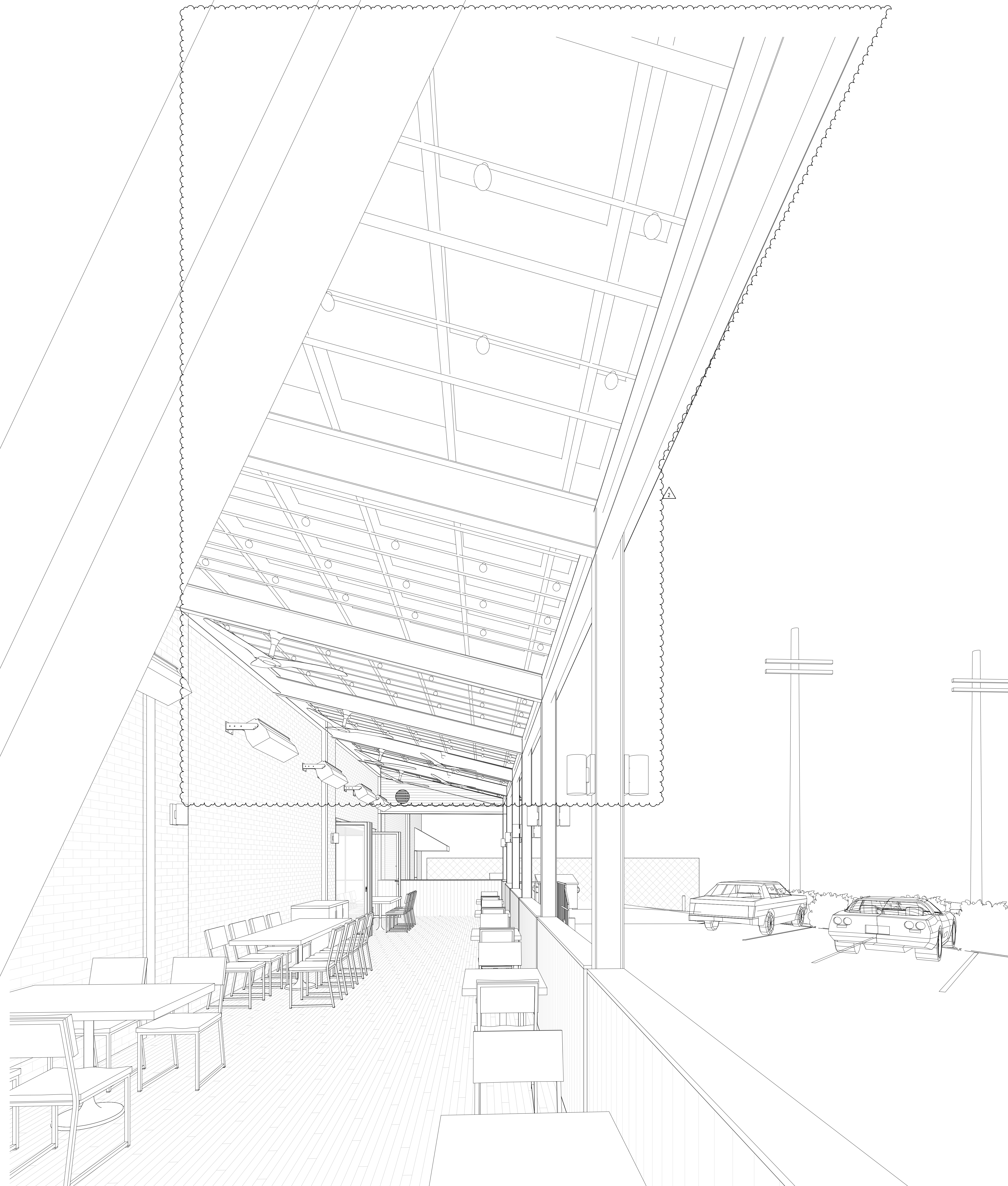
02/16/2024

**1508 MT VERNON AVENUE
ALEXANDRIA, VA 22301**

ISSUED FOR PERMIT

6/19/2023

//3877



//3877
www.3877.design

COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5258 EISENHOWER AVE
ALEXANDRIA, VA 22304
TEL 571.233.8585
WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
//3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
TEL 202.350.4244
WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
681 ELM STREET
SUITE 20
MCLEAN, VA 22101
TEL 703.888.0648
WWW.BEENGRS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8028 WESTWOOD CENTER DRIVE
SUITE 600
TYSONS, VA 22182
TEL 703.884.1028
WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

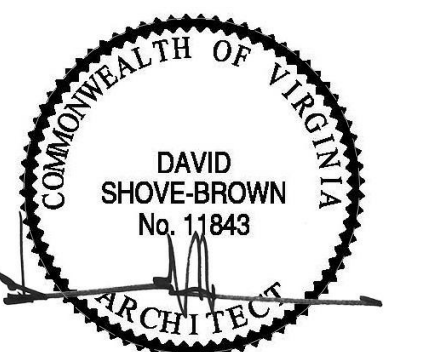
PROJECT: **JUNCTION BAKERY -
ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE
ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX
• INTERIOR PERMIT - 3.31.2023
• EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023

SEAL &
SIGNATURE:



SHEET TITLE: COVER SHEET

PROJECT NO: 2020.72

DATE ISSUED: 02/08/23

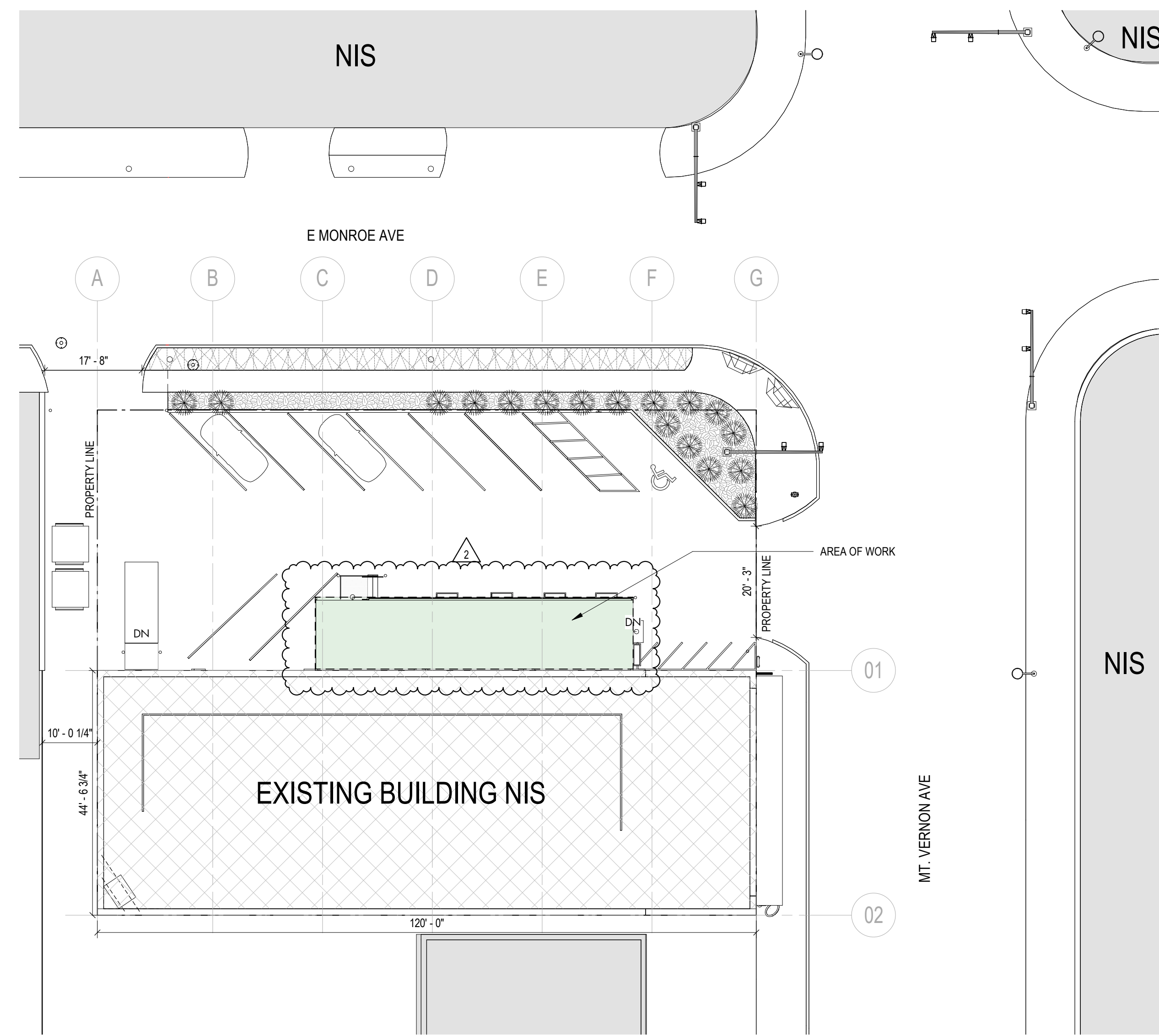
SCALE:

000EXT

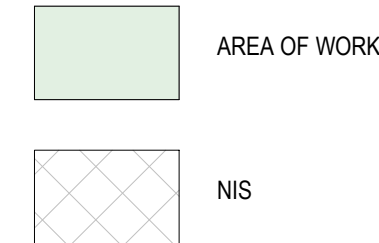
KEY PLAN

VOID

02/16/2024

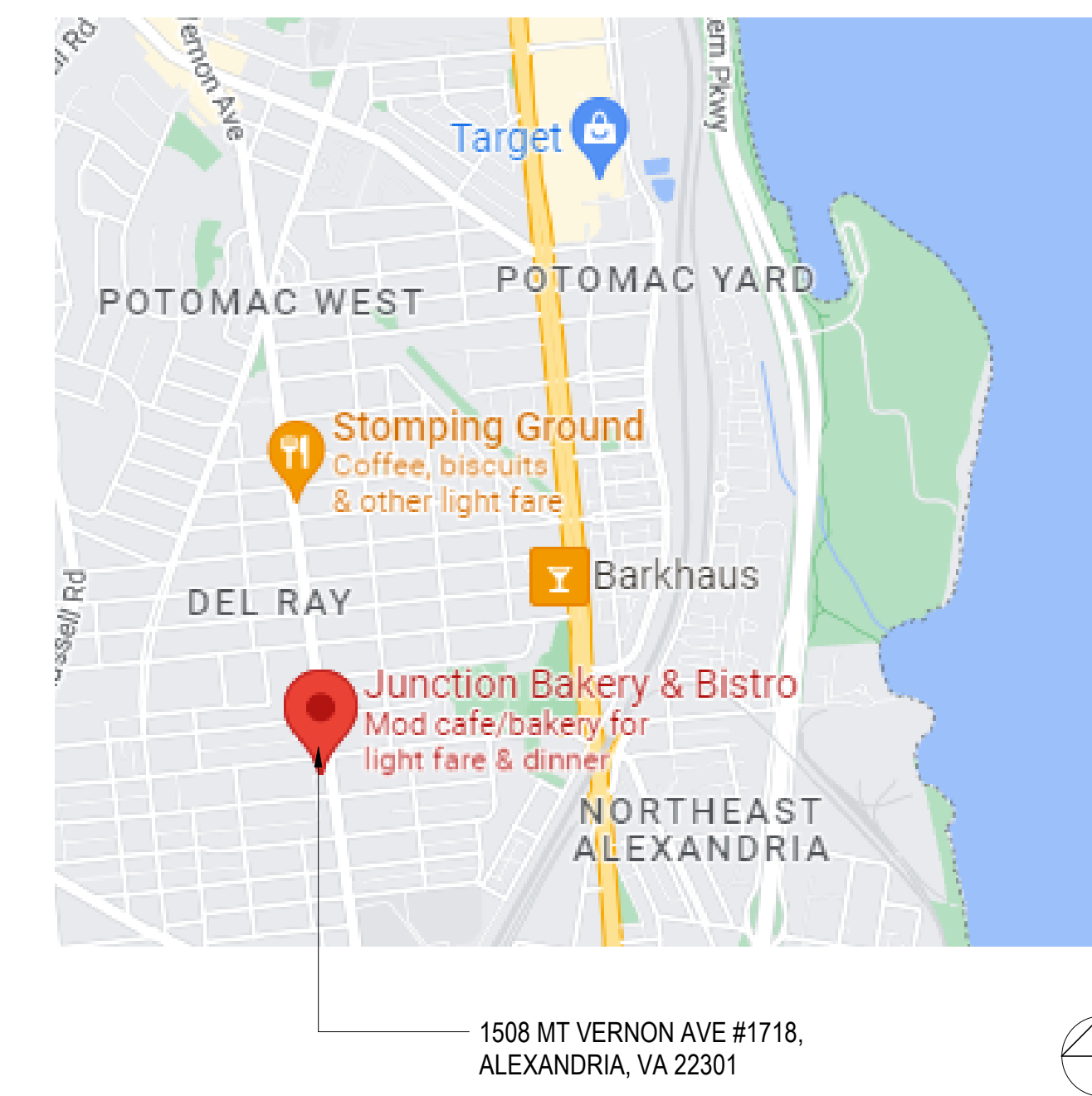


LEGEND



1 KEY PLAN
1/16" = 1'-0"

BUILDING LOCATION



PROJECT DIRECTORY

CLIENT:
JUNCTION BAKERY
NOE LANDINI
1508 MT VERNON AVE
ALEXANDRIA, VA 22301

BUILDING OWNER:
JUNCTION BAKERY
NOE LANDINI
115 KING STREET
ALEXANDRIA, VA 22314

ARCHITECT:
3877
DAVID SHOVE-BROWN, AIA
3333 K STREET NW
SUITE 60
WASHINGTON, DC 20007
(T) 202.350.4244
(W) 3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
MILTON HARRIS
6861 ELM STREET, SUITE 2D
MCLEAN, VA 22131
(T) 703.888.0649

GENERAL CONTRACTOR:
TECH 24
VIC BONOMI
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(T) 571.233.8585
(W) WWW.TECH24CONSTRUCTION.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
BENJAMIN GUNDEEN, PE, SE
8609 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(T) 703.749.7941
(W) WWW.EHLERT-BRYAN.COM

SCOPE OF WORK

THIS WORK CONSISTS OF A REVISION TO AN EXISTING BAKERY/RESTAURANT AND CONTAINS EXTERIOR WORK ONLY.
JUNCTION BAKERY IS TO BE LOCATED AT 1508 MT VERNON AVE, ALEXANDRIA, VA 22301

THE AREA OF WORK IS 759 SF EXTERIOR
NOTE PREVIOUSLY APPROVED SUP. #2023-00012
NOTE PREVIOUSLY APPROVED EXTERIOR PERMIT: #BLDC2023-00284

THIS WORK INCLUDES BUT IS NOT LIMITED TO:
• EXTERIOR CANOPY COVERING FOR PATIO WITH CORRESPONDING OVERHEAD FANS AND LIGHTING
• REVISED EXTERIOR HEATER SPEC TO BE GAS POWERED

NOT INCLUDED IN THIS PERMIT SUBMISSION:
• ALL INTERIOR WORK INCLUDED IN SEPARATE INTERIOR PERMIT SUBMISSION

SHEET INDEX

Sheet Number	Sheet Name	PERMIT 3.31.2023	PERMIT 6.19.2023
000EXT	COVER SHEET	•	•
A002EXT	PROJECT INFORMATION	•	•
A030EXT	SCHEDULES	•	•
A100EXT	SITE PLAN	•	•
A101EXT	LEVEL 1 - PLANS	•	•
A200EXT	EXTERIOR ELEVATIONS	•	•
A201EXT	PATIO ELEVATIONS	•	•
A501EXT	CONSTRUCTION DETAILS	•	•
S101EXT	STRUCTURAL NOTES, PARTIAL FOUNDATION AND FRAMING PLANS	•	•
S201EXT	FRAMING SECTIONS	•	•
EXTE-101	LIGHTING PLAN	•	•
EXTE-201	POWER PLAN	•	•
EXTE-601	PANEL SCHEDULES AND POWER RISER	•	•
EXTP-001	GENERAL NOTES SYMBOLS ABBREVIATIONS	•	•
EXTP-101	LEVEL 1 - NEW WORK PLAN	•	•

TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS

CONSTRUCTION TYPE III-B

BUILDING ELEMENT	REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME (*g)	0	0 ETR
EXTERIOR BEARING WALLS (*f, *g)	2	2 ETR
INTERIOR BEARING WALLS	0	0 ETR
EXTERIOR NONBEARING WALLS/PARTITIONS	Per Table 602	0 ETR
INTERIOR NONBEARING WALLS/PARTITIONS (*e)	0	0 ETR
FLOOR CONSTRUCTION AND ASSOC. SECONDARY MEMBERS (See Section 202)	0	0 ETR
ROOF CONSTRUCTION AND ASSOC. SECONDARY MEMBERS (See Section 202)	0	0 ETR

- a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
- c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.
- d. Not less than the fire-resistance rating required by other sections of this code.
- e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).
- f. Not less than the fire-resistance rating as referenced in Section 704.10

CODE INFORMATION

ADDRESS: 1508 MOUNT VERNON AVE, ALEXANDRIA, VA 22301

ZONE DISTRICT: CL
MAP: 043.02
BLOCK: 09
LOT: 13

USE GROUP: ASSEMBLY A-2
CONSTRUCTION TYPE: III-B

ALTERATION LEVEL: LEVEL 2

EXISTING:
NUMBER OF STORIES: 1 ABOVE GRADE
PROJECT STORIES: 1 ABOVE GRADE
GROSS SF: 5368 SF
USE: BUSINESS (ASSEMBLY WITH OCCUPANCY LESS THAN 50 PEOPLE)
F-1 BAKERY
NOTE: PER §508.3, THE BUILDING IS DEFINED AS A NON SEPARATED OCCUPANCY. PER TABLE 508.4 NO SEPARATION IS REQUIRED BETWEEN USE GROUPS B (BUSINESS) AND F-1 (FACTORY)

OCCUPANCY SEPARATION: 0 HOURS

FIRE SEPARATION REQUIREMENT: 0 HOURS

PROPOSED:
NUMBER OF STORIES: 1 ABOVE GRADE (NO CHANGE)
PROJECT STORIES: 1 ABOVE GRADE (NO CHANGE)
GROSS SF: 5368 SF (INTERIOR) (NO CHANGE)
USE: A-2 RESTAURANT
OCCUPANCY SEPARATION: NONE NEEDED, ALL A-2 USE
FIRE SEPARATION REQUIREMENT: 0 HOURS

AREA OF WORK: 1280 SF EXTERIOR

AUTOMATIC SPRINKLER: NO (NO CHANGE)

APPLICABLE CODES:
2018 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS
2018 VIRGINIA CONSTRUCTION CODE
2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE
2018 VIRGINIA ENERGY CONSERVATION CODE
2018 VIRGINIA EXISTING BUILDING CODE
2018 VIRGINIA FUEL GAS CODE
2018 VIRGINIA MECHANICAL CODE
2018 VIRGINIA PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
NATIONAL ELECTRICAL CODE 2017 OF VIRGINIA, NFPA 70, 2017 WITH AMENDMENTS



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(T) 571.233.8585
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(T) 202.350.4244
(W) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6861 ELM STREET
SUITE 2D
MCLEAN, VA 22101
(T) 703.888.0649
(W) WWW.BEENGRS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8609 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(T) 703.884.1028
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

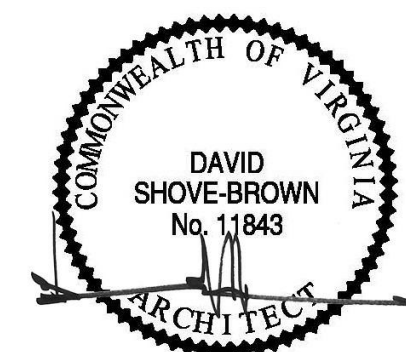
DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

SHEET SUBMISSION INDEX
• EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023

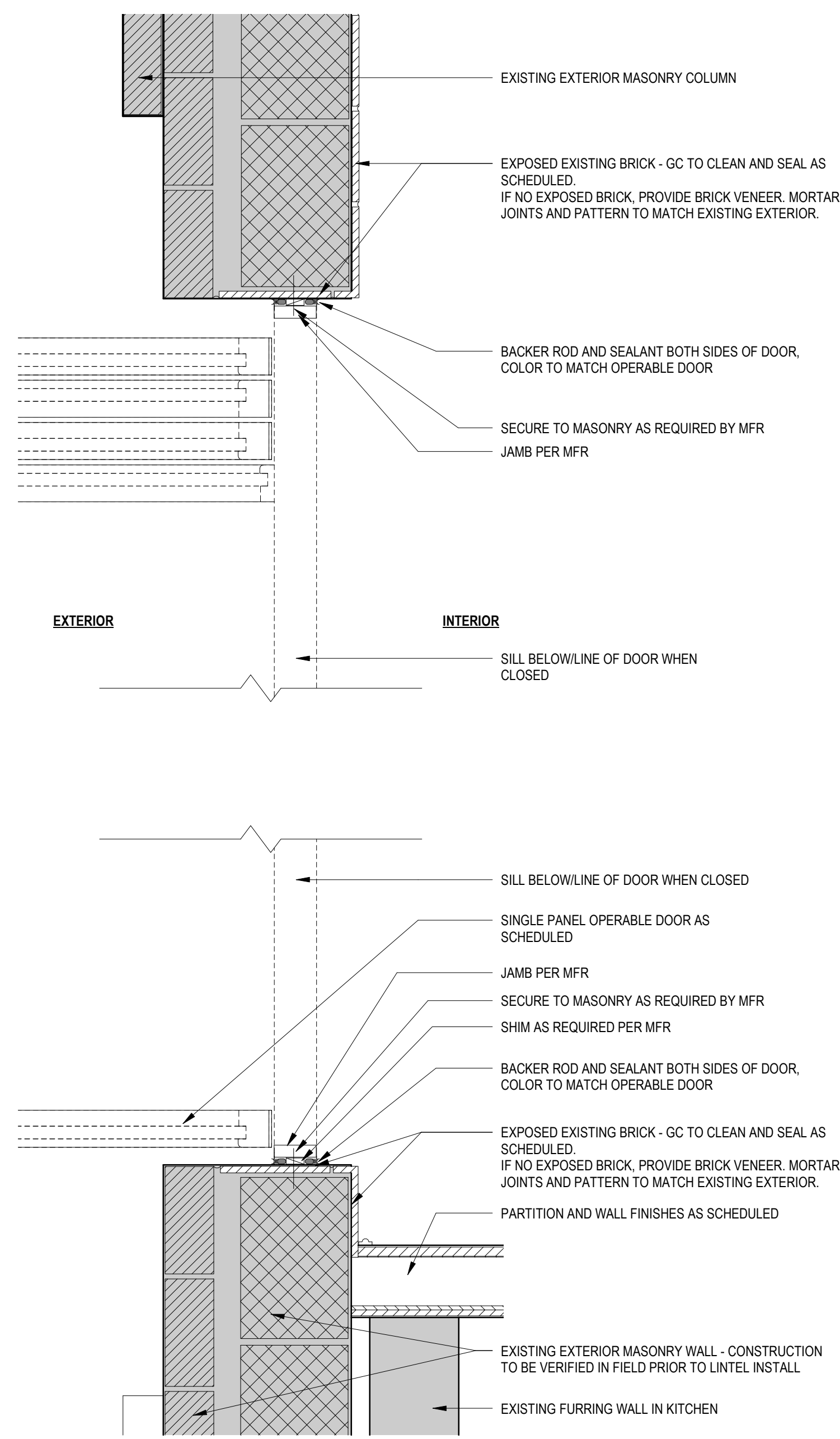
SEAL & SIGNATURE:



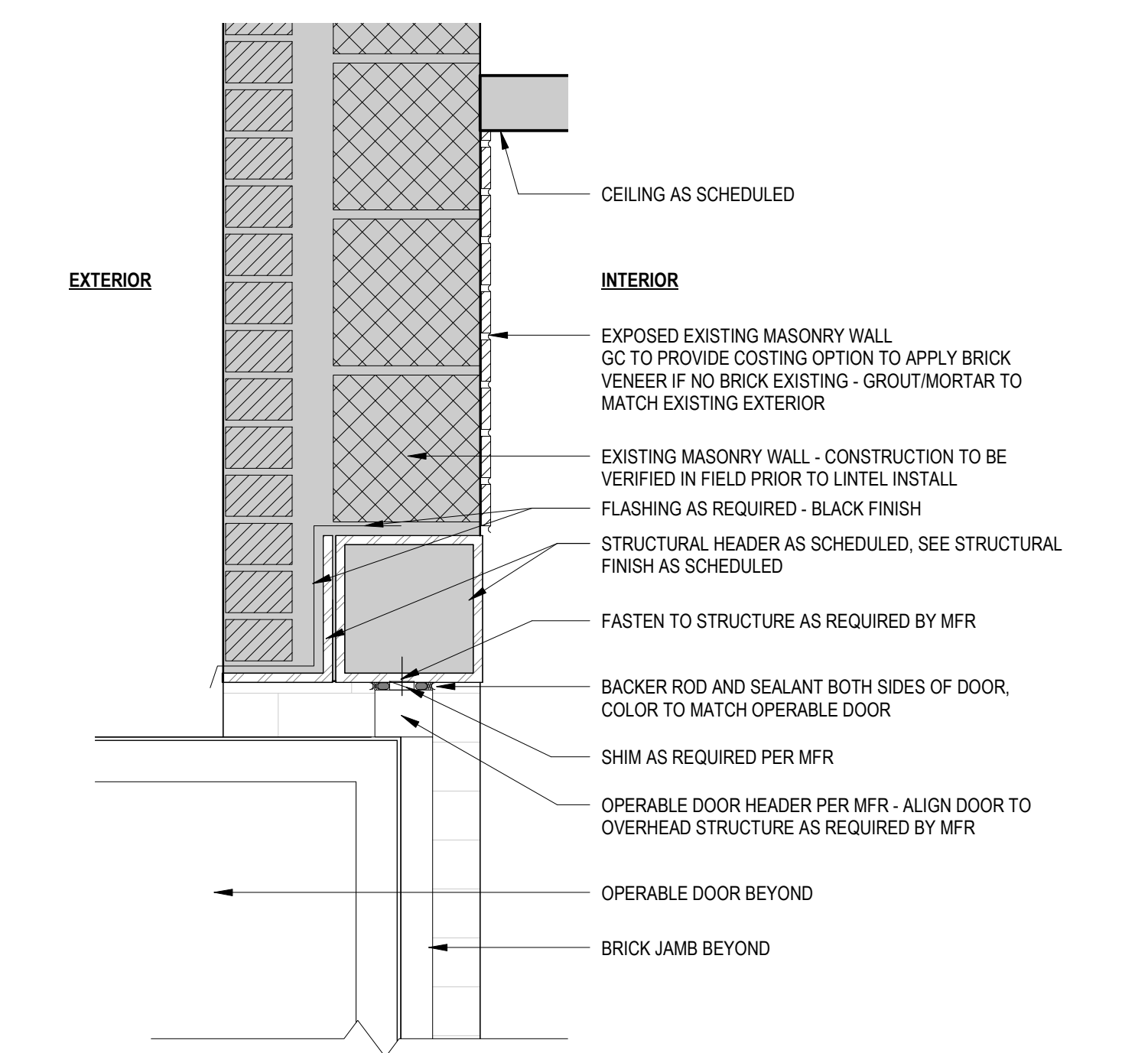
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

SHEET TITLE: PROJECT INFORMATION
PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

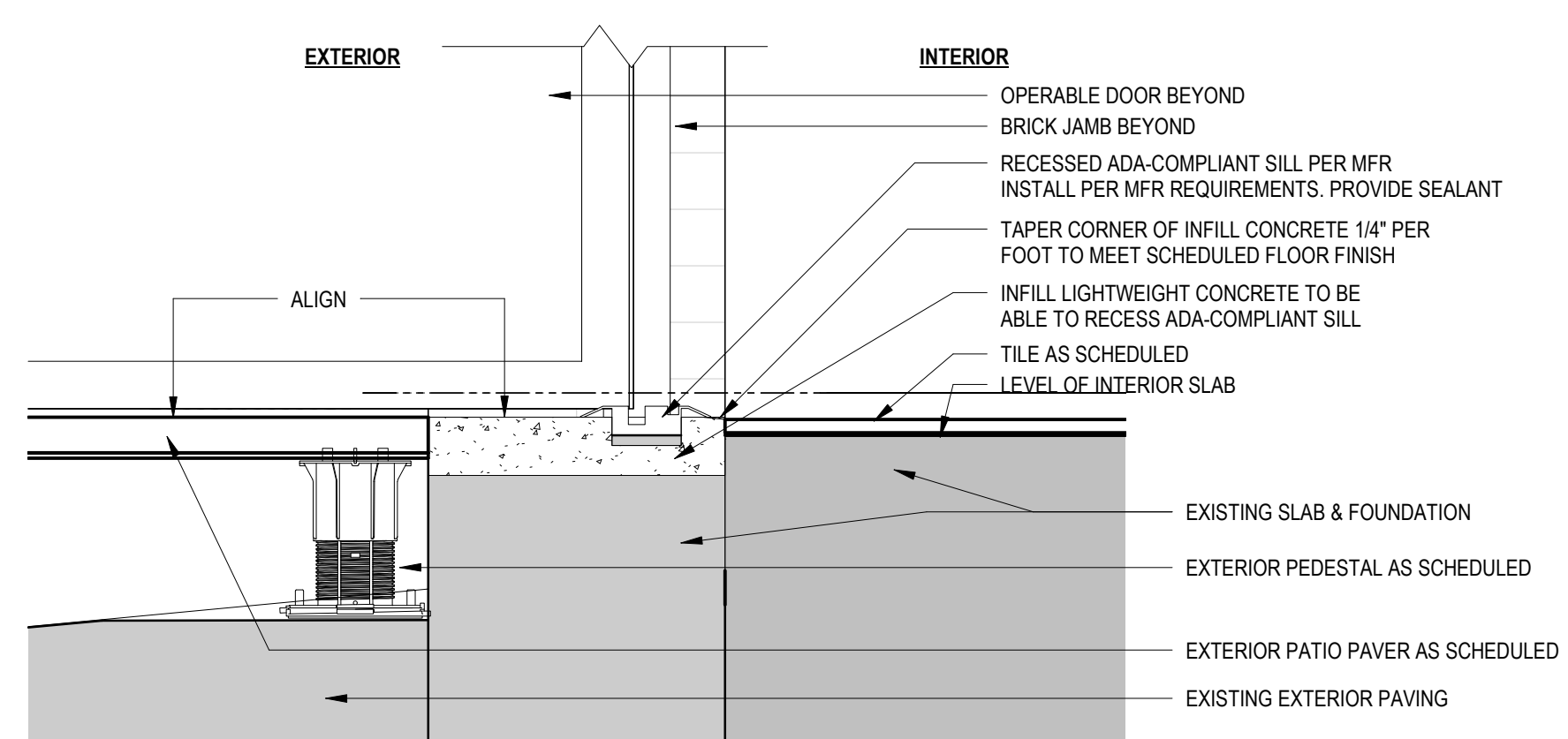
A002EXT



2 EXTERIOR OPERABLE DOOR JAMB
4 A030EXT 1 1/2" x 1'-0"



3 EXTERIOR OPERABLE DOOR HEADER
4 A030EXT 1 1/2" x 1'-0"



1 EXTERIOR OPERABLE DOOR SILL
4 A030EXT 1 1/2" x 1'-0"

FINISH SCHEDULE - EXTERIOR									
Finish No.	Description	Manufacturer	Model	Dimension	Color	Sheen	Manufacturer Contact	Comments	
BR-50	EXISTING EXTERIOR BRICK WITH MURAL	ETR		VIF	MATCH EXISTING	MATCH EXISTING	PER GC	GC TO PROTECT EXISTING MURAL DURING CONSTRUCTION AND TOUCH UP PAINT AS NEEDED IF DAMAGED.	
BR-51	EXISTING EXTERIOR BRICK	ETR		VIF	MATCH EXISTING	MATCH EXISTING	PER GC	GC TO TOUCH UP PAINT EXISTING EXTERIOR MASONRY PAINT FINISH AS NEEDED IF DAMAGED DURING CONSTRUCTION.	
MT-50	EXTERIOR METAL POSTS	PER GC	PER STRUCTURAL	PER STRUCTURAL	STEEL TO BE UNPRIMED. PROVIDE JAX EXTERIOR GRADE BLACKENING AGENT TO BE APPLIED TO ALL VISIBLE SURFACES. APPLY EXTERIOR GRADE CLEAR MATTE SEALER. SEE METAL NOTE BELOW.	PROVIDE EXTERIOR GRADE CLEAR COAT SEALER, PERMALAC OR APPROVED EQUAL. SEE METAL NOTE BELOW.	PER GC	SEE STRUCTURAL FOR DETAILS.	
MT-51	EXTERIOR METAL GUARDRAIL AND HANDRAIL - POWDERCOATED	STEEL PER GC, FINISH TIGER DRYLAC OR APPROVED EQUAL	PER GC	PER DETAILS	POWDERCOAT COLOR: TIGER DRYLAC OR APPROVED EQUAL. AZZURRO 307 GLOSSY	GLOSSY POWDERCOAT COATING FINISH		SEE ARCHITECTURAL FOR DETAILS.	
MT-52	EXTERIOR DIAMOND PLATE @ RAMP	PER GC	PER GC	PER DETAILS	STEEL DIAMOND PLATE.	PROVIDE MATTE CLEAR COAT SEALER, PERMALAC OR APPROVED EQUAL	PER GC	PROVIDE RAISED SIDES AS DETAILED.	
PT-50	EXTERIOR DTM PAINT @ EXPOSED STEEL LINTEL	BENJAMIN MOORE	AURA DTM EXTERIOR OR APPROVED EQUAL	PER ELEVATIONS	BLACK COLOR TBD	SEMI GLOSS + EXTERIOR GRADE CLEAR COAT SEALER, PERMALAC OR APPROVED EQUAL		INSTALL PER MANUFACTURER REQUIREMENTS	
SF-02	EXTERIOR CORRUGATED POLYCARBONATE	PALRAM AMERICAS OR APPROVED EQUAL	SUNTUF UV2		SOLAR GREY LIGHT TRANSMISSION 35%	NA	PER GC	NEEDS TO BE RATED FOR 40PSF OVER 24\"/>	

FINISH SAMPLE NOTE:

GC TO PROVIDE MIN (3) SAMPLES OF EACH FINISH LISTED FOR REVIEW BY OWNER AND ARCHITECT PRIOR TO ORDERING AND FABRICATION.

METAL BLACKENING NOTE:

FOR METAL FINISHES RECEIVING BLACKENING AGENT, USE JAX IRON/STEEL/NICKEL BLACKENER OR APPROVED EQUAL. PRIOR TO APPLYING, METAL MUST BE CLEAN, FREE OF LACQUER, OIL, GREASE, AND WAX. APPLY BLACKENER PER MFR INSTRUCTIONS PRIOR TO MECHANICALLY DRYING AND APPLYING CLEAR COAT SEALER AS SCHEDULED. SUGGESTED SEALER BRAND: PERMALAC. GC TO TEST BOTH BLACKENING AGENT AND SEALER ON METAL SAMPLE PRIOR TO FINISHING MATERIAL TO BE INSTALLED.

MFR CONTACT: ANTHONY NAPPY, 914-668-1818, ANTHONY@JAXCHEMICAL.COM

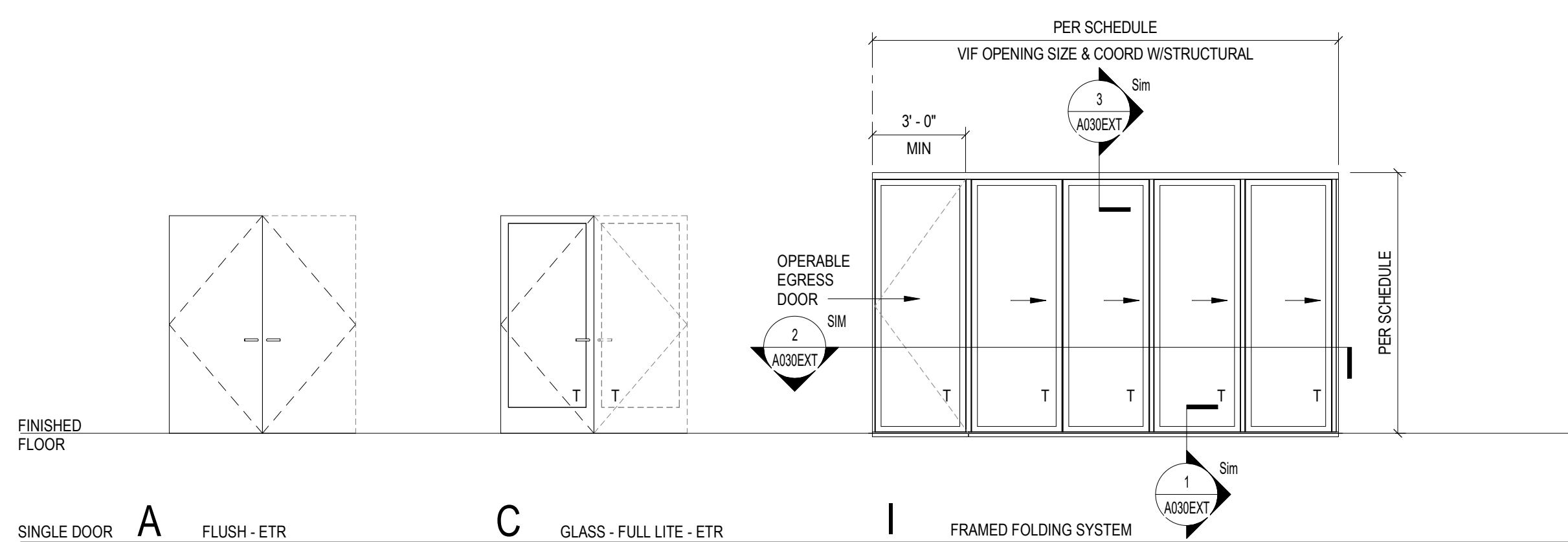
LIGHTING FIXTURE SCHEDULE - EXTERIOR									
TYPE	DESCRIPTION	MANUFACTURER	MODEL	Phase Created	COMMENTS	FINISH	LAMPING	COMMENTS	
LTG-10	EXTERIOR CYLINDER SCOFF	REJUVENATION OR APPROVED ALTERNATE	THORBURN NARROW WALL SCOFF #A7004, WET RATED	New Construction		DARK ALUMINUM	MAX WATTAGE 40W, LED LAMP TBD	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.	
LTG-11	EXTERIOR CAGE LIGHT SCOFF	SCHOOLHOUSE LIGHTING OR APPROVED ALTERNATE	FACTORY 4 OUTDOOR SCOFF, WET RATED. PROVIDE CAGE	New Construction		BLACK BK	MAX WATTAGE 100W, LED LAMP TBD	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.	
LTG-12	STRING LIGHTS	AMERICAN LIGHTING OR APPROVED ALTERNATE	LSLS2 SERIES, NON-SUSPENDED E26 STRING LIGHTS 24\"/>						

EQUIPMENT SCHEDULE - EXTERIOR

Type Mark	Description	Manufacturer	Model	FINISH	INPUT BTUH	GAS	WEIGHT (LBS)	Comments
EQP-01	OUTDOOR WALL HEATERS	SCHWANK	2152-N	BLACK	50,000/36,500	NAT	44	GC TO PROVIDE: (1) 2152 TWO STAGE HEATERS, 30 DEGREE MOUNTING AND WALL MOUNTING BRACKET, (2) JM-Q203-TS 3-GANG SCHWANK 2-STAGE SWITCHES, (ADJACENT TO LIGHTING CONTROLS); (1) MULTI MOUNT 150VA TRANSFORMER FOR ALL 6 HEATERS - MOUNTED WITHIN THE SPACE IN A CONCEALED, DRY AND VENTILATED LOCATION, CONTACT: ERIC KAHN, E. ERIC@ALFRESCO-HEATING.COM, T: 415.884.2880
EQP-02	Haiuku 60in Dia	Big Ass Fans	60\"/>					

DOOR SCHEDULE - EXTERIOR

Level	Door No.	Door Type	Location	Description	Width	Height	Thickness	Construction	Door Finish	Frame	Jamb Type	Glass Type	Fire Rating	Comments - HARDWARE SET
LEVEL 01	100	CC	ENTRY VESTIBULE	EXISTING STOREFRONT ENTRANCE	6' - 2"	6' - 8"		ETR - ALUM + INSULATED TEMPERED GLASS	ETR - BLACK	ETR - BLACK	ETR	ETR-TEMPERED	NA	HW-1
LEVEL 01	106A	I	OUTDOOR PATIO	"Monumental Aluminum Framed Folding System"	15' - 0"	8' - 6"	1 99/128"	ALUM + INSULATED TEMPERED GLASS	BLACK	BLACK	1/A030EXT, 2/A030EXT, 3/A030EXT	CLR TEMP INSUL.	NA	HW-2. COORDINATE DOOR SIZE IN FIELD WITH DEMO CONDITIONS AND WITH PROPOSED STRUCTURAL HEADER SUPPORT.
LEVEL 01	118	A	EQUIPMENT CORRIDOR	EXISTING BOH DOOR	3' - 4"	7' - 0"	1 3/4"	ETR - SOLID CORE HM	ETR - PT	ETR - PT	ETR - HM	NA	NA	HW-3



4 DOOR TYPES - EXTERIOR
1 1/2" x 1'-0"

DOOR HARDWARE SCHEDULE

HARDWARE SET	COMPONENT	COUNT	MANUFACTURER	MODEL	FINISH	COMMENTS
HW-1 EXISTING ENTRY DOUBLE DOOR	HINGES	6		EXISTING TO REMAIN		GC TO CONFIRM HARDWARE IS EXISTING AND FUNCTIONING OR REPLACE AS NEEDED IF MISSING OR DAMAGED.
	LOCK	1		EXISTING DEADBOLT		
	LEVER	2		EXISTING PUSH/PULL LEVER		
	CLOSER	2		EXISTING CLOSER		
	SIGN	1		EXISTING		
	DOOR SEALS	1		EXISTING - REPLACE IF MISSING		
	DOOR SWEEP	1		EXISTING - REPLACE IF MISSING		
	ASTRAGAL	1		EXISTING - REPLACE IF MISSING		
	SILENCERS	1		EXISTING - REPLACE IF MISSING		
	HW-2 OPERABLE DOOR	HINGES	3	PER MFR	PER MFR	
LOCK		1	PER MFR	PER MFR	BLACK	
CLOSER		1	PER MFR	PER MFR	BLACK	
PANIC DEVICE		1	PER MFR	PER MFR - MUST MEET ADA	BLACK	
HW-3 EXISTING EMPLOYEE ACCESS DOOR	DOOR SEAL	ALL PANELS	PER MFR	PER MFR	BLACK	GC TO CONFIRM HARDWARE IS EXISTING AND FUNCTIONING OR REPLACE AS NEEDED IF MISSING OR DAMAGED.
	BOTTOM SWEEP	ALL PANELS	PER MFR	PER MFR	BLACK	
	ADA SILL	1	PER MFR	PER MFR	ANOD	
HW-3 EXISTING EMPLOYEE ACCESS DOOR	HINGES	1	PER MFR	EXISTING		GC TO CONFIRM HARDWARE IS EXISTING AND FUNCTIONING OR REPLACE AS NEEDED IF MISSING OR DAMAGED.
	LEVER	1	PER MFR	EXISTING		
	LATCH	1	PER MFR	EXISTING		
	CLOSER	1	PER MFR	EXISTING		
	DOOR SEALS	1	PER MFR	EXISTING - REPLACE IF MISSING		
	DOOR SWEEP	1	PER MFR	EXISTING - REPLACE IF MISSING		



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKERS BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(71) 571.233.8585
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
/3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(T) 202.350.4244
(W) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
686 ELM STREET
SUITE 2D
MCLEAN, VA 22101
(T) 703.888.0649
(W) WWW.BEENGERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
808 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(T) 703.854.1028
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

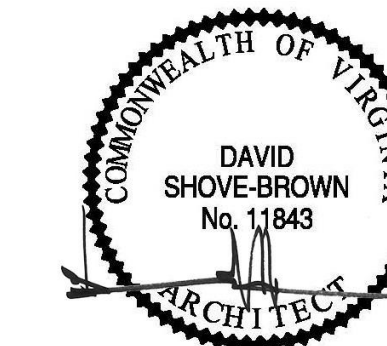
DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**
ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX
EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023

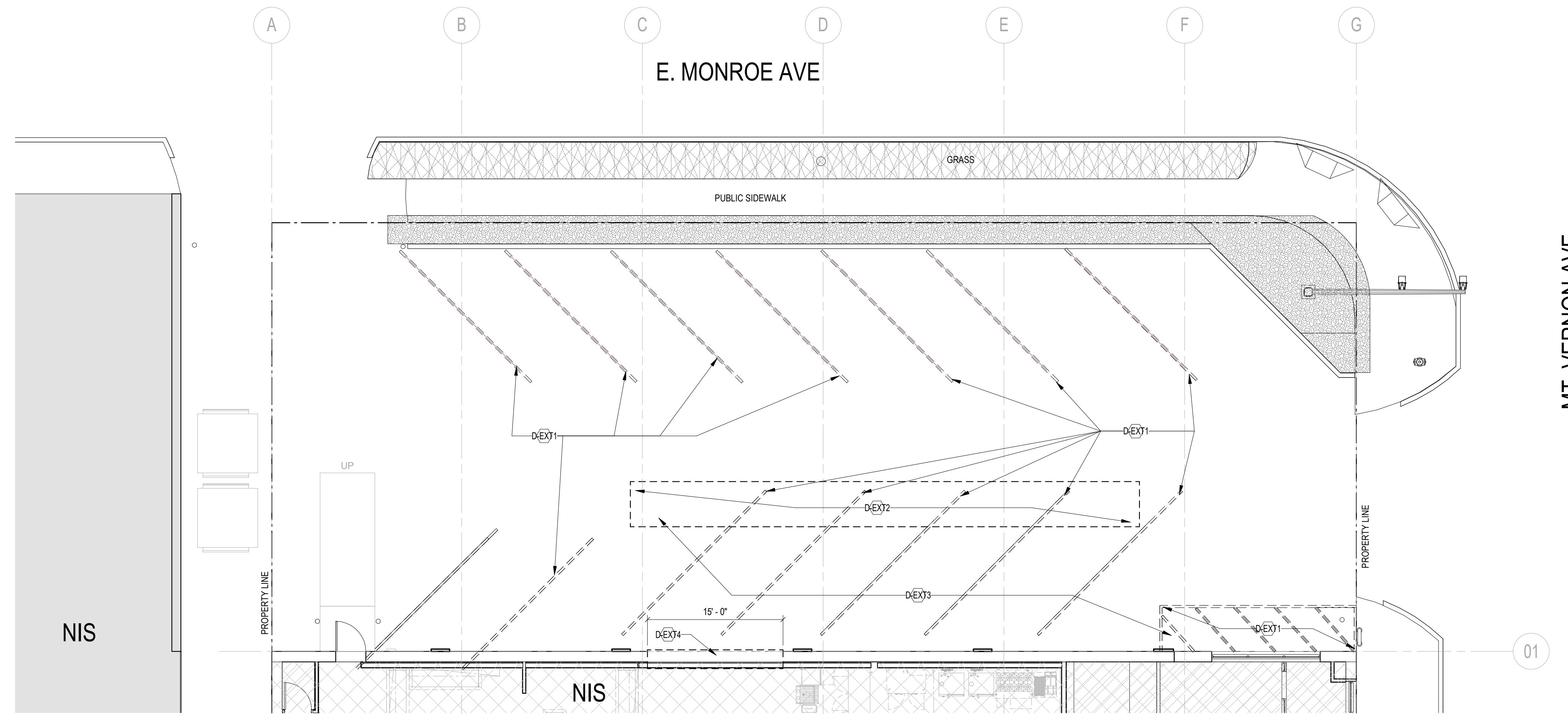
SEAL & SIGNATURE:



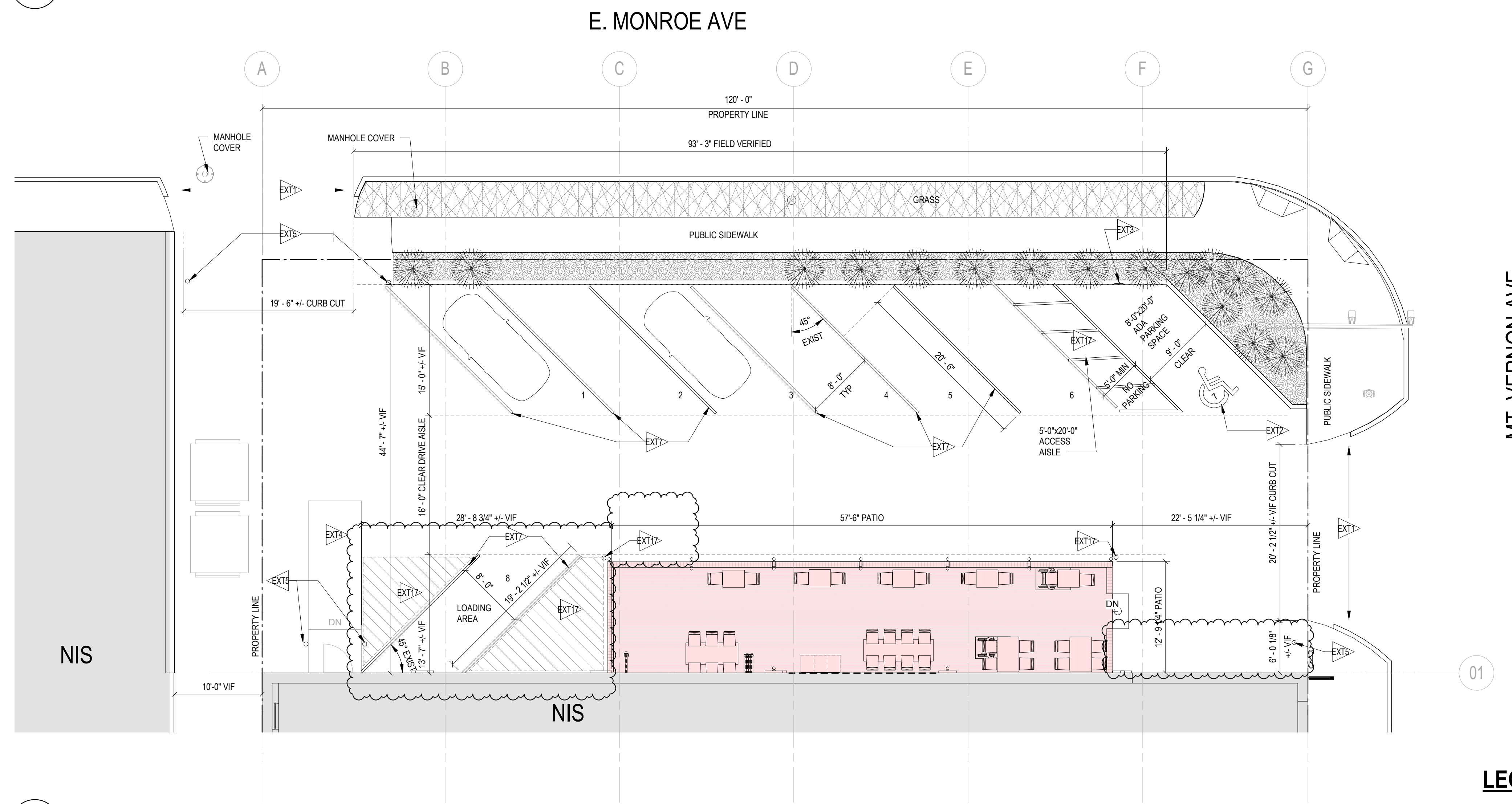
SHEET TITLE: SCHEDULES

PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

A030EXT



2 EXTERIOR DEMO LEVEL 01 - FLOOR PLAN
1/8" = 1'-0"



1 EXTERIOR SITE PLAN
1/8" = 1'-0"

D-EXT#	KEY NOTES (DEMOLITION) - EXTERIOR DEMO PLAN
D-EXT1	REMOVE EXISTING PARKING LINES IN THIS AREA.
D-EXT2	COORDINATE SITE DEMO WITH STRUCTURAL.
D-EXT3	GC TO REMOVE AND SALVAGE EXISTING SITE FURNISHINGS. COORDINATE STORAGE WITH OWNER. PRESERVE AND PROTECT EXISTING PLANTERS FOR REINSTALLATION.
D-EXT4	REMOVE PORTION OF EXTERIOR MASONRY WALL. COORDINATE EXTENTS WITH NEW WORK. PROVIDE SHORING PER STRUCTURAL. SEE STRUCTURAL FOR MORE INFO.

EXT#	KEY NOTES - ARCHITECTURAL - EXTERIOR
EXT1	EXISTING CURB CUT TO REMAIN.
EXT2	GC TO INSTALL PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY.
EXT3	GC TO INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SIGN ON POST. CENTER ON PARKING SPACE.
EXT4	EXISTING EMPLOYEE LOADING RAMP. EMPLOYEE WORK AREA NOT IN SCOPE.
EXT5	EXISTING BOLLARD TO REMAIN.
EXT6	PROVIDE PAINTED NO PARKING AREA WITH ANGLED STRIPES. COORDINATE STRIPING WITH COUNTY REQUIREMENTS.
EXT7	REMOVE PARKING LINES IN LOCATIONS SHOWN.
EXT8	NOT USED.
EXT9	REINSTALL EXISTING OWNER PLANTER.
EXT10	VFY ELECTRICAL HEATER CLEARANCES W/ MFR PRIOR TO ROUGH IN AND PLACEMENT.
EXT11	POS LOCATION - COORDINATE POWER + DATA REQTS W/ OWNER VENDOR.
EXT12	ALIGN PATIO EXTENTS TO EDGES OF EXIST. EXTERIOR COLUMNS.
EXT13	GC TO COORDINATE CONTINUING GUTTER PATHWAY THROUGH PAVEMENT SYSTEM.
EXT14	GC TO INSTALL SCHWANK CONTROL AT BACK BAR. ADJACENT TO LIGHTING CONTROL.
EXT15	WOOD CANOPY STRUCTURE PER STRUCTURAL AND PER DETAILS.
EXT16	DIRECTIONALITY OF CORRUGATED ROOF ABOVE. SEE DETAILS.
EXT17	GC TP PROVIDE ADD-ALT PRICING FOR CONCRETE BOLLARD IN THIS LOCATION.

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.

LEGEND

NOT INCLUDED IN THIS PERMIT SUBMISSION



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5258 EISENHOWER AVE
ALEXANDRIA, VA 22304
(703) 571-2338
(703) 571-2338@TECH24CONSTRUCTION.COM

ARCHITECT:
/3877
3333 K STREET NW, SUITE 60
WASHINGTON, DC 20007
(202) 350-4244
(703) 387-7DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
681 ELM STREET
SUITE 20
MCLEAN, VA 22101
(703) 888-0549
(703) 888-0549@WWW.BEENGERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
808 WESTWOOD CENTER DRIVE
SUITE 600
TYSONS, VA 22182
(703) 884-1028
(703) 884-1028@WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**
ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX
EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

SEAL & SIGNATURE:



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE NO: 11843

SHEET TITLE: SITE PLAN
PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

A100EXT

COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(71) 571.233.8585
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
/3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(71) 202.350.4244
(W) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6861 ELM STREET
SUITE 20
MCLEAN, VA 22101
(71) 703.888.0548
(W) WWW.BEENGERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8008 WESTWOOD CENTER DRIVE
SUITE 600
TYSONS, VA 22182
(71) 703.884.1028
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**
ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX
○ EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

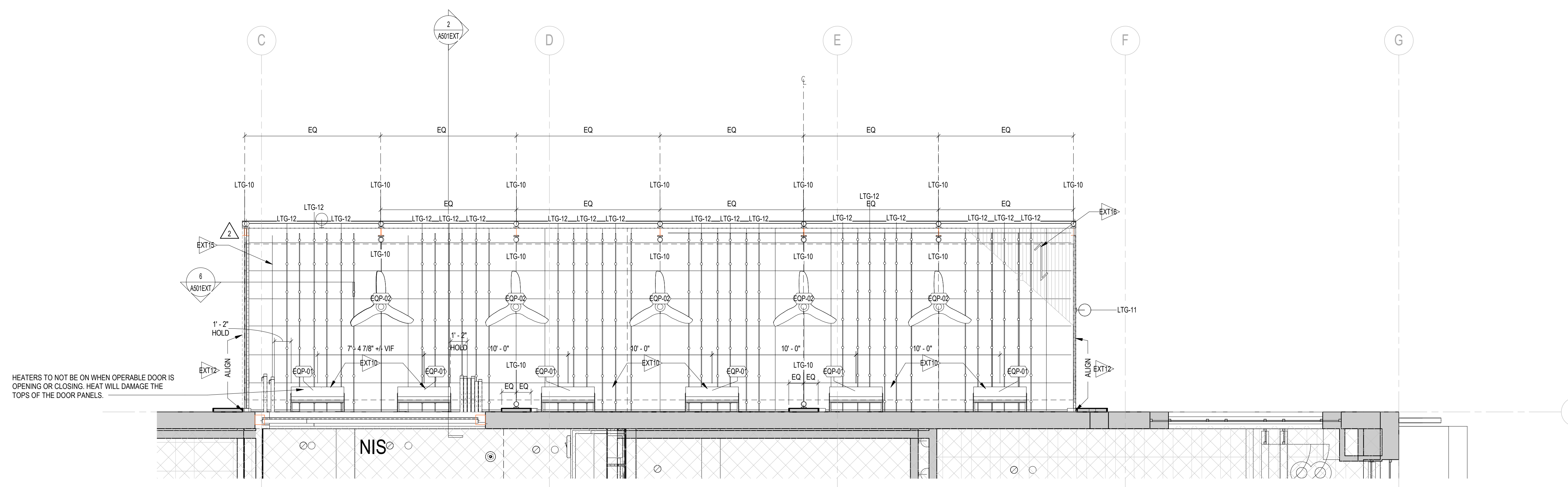
SEAL & SIGNATURE:



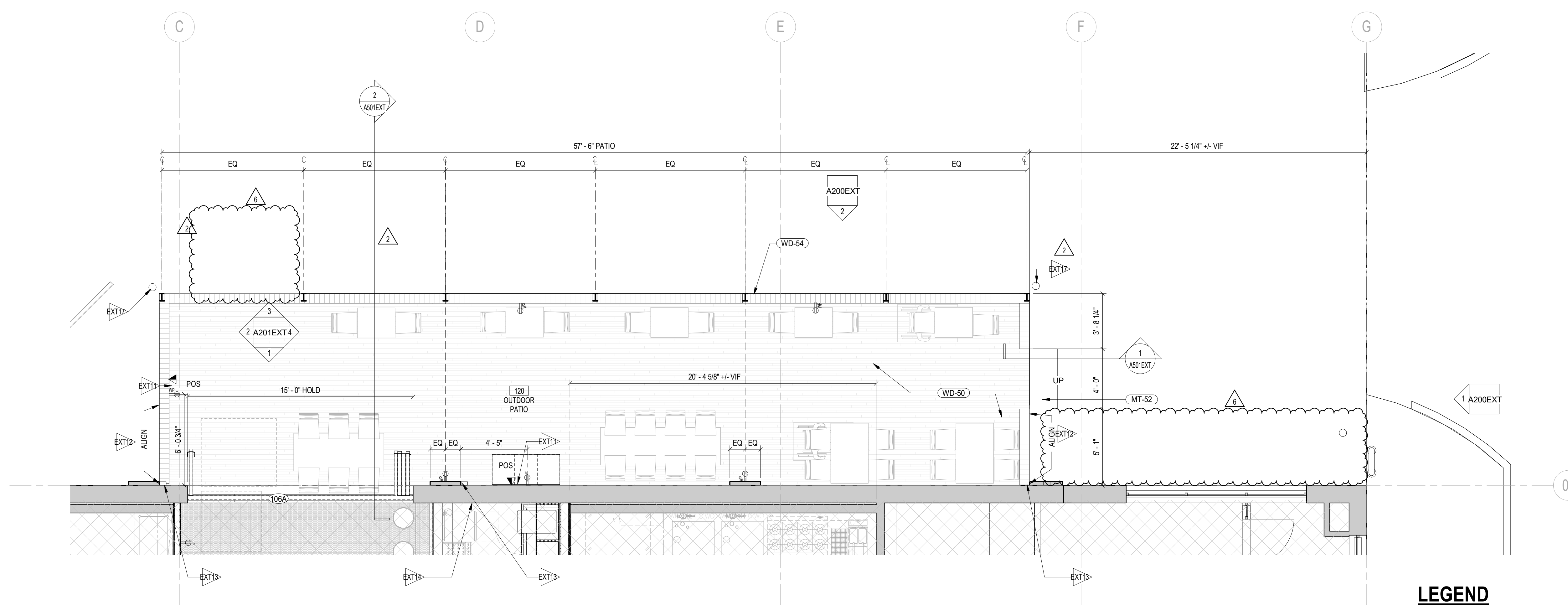
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

SHEET TITLE: LEVEL 1 - PLANS
PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

A101EXT

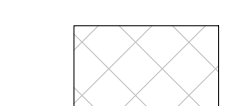


2 EXTERIOR LEVEL 01 - RCP
1/4" = 1'-0"



1 EXTERIOR LEVEL 01 - FLOOR PLAN
1/4" = 1'-0"

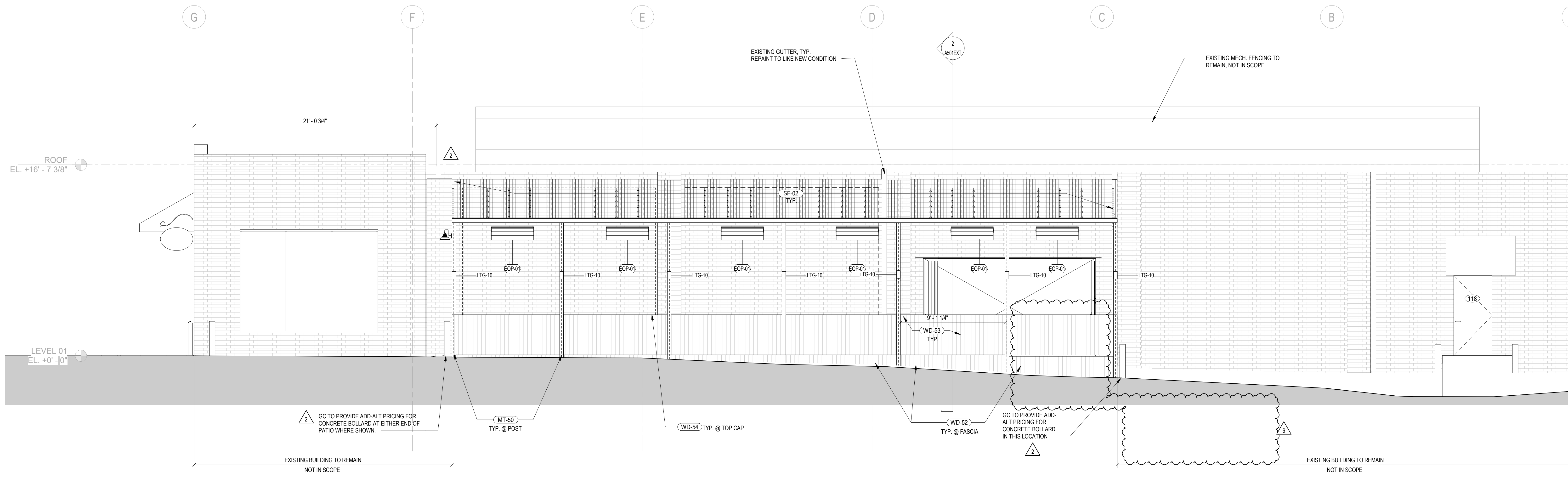
LEGEND

 NOT INCLUDED IN THIS PERMIT SUBMISSION

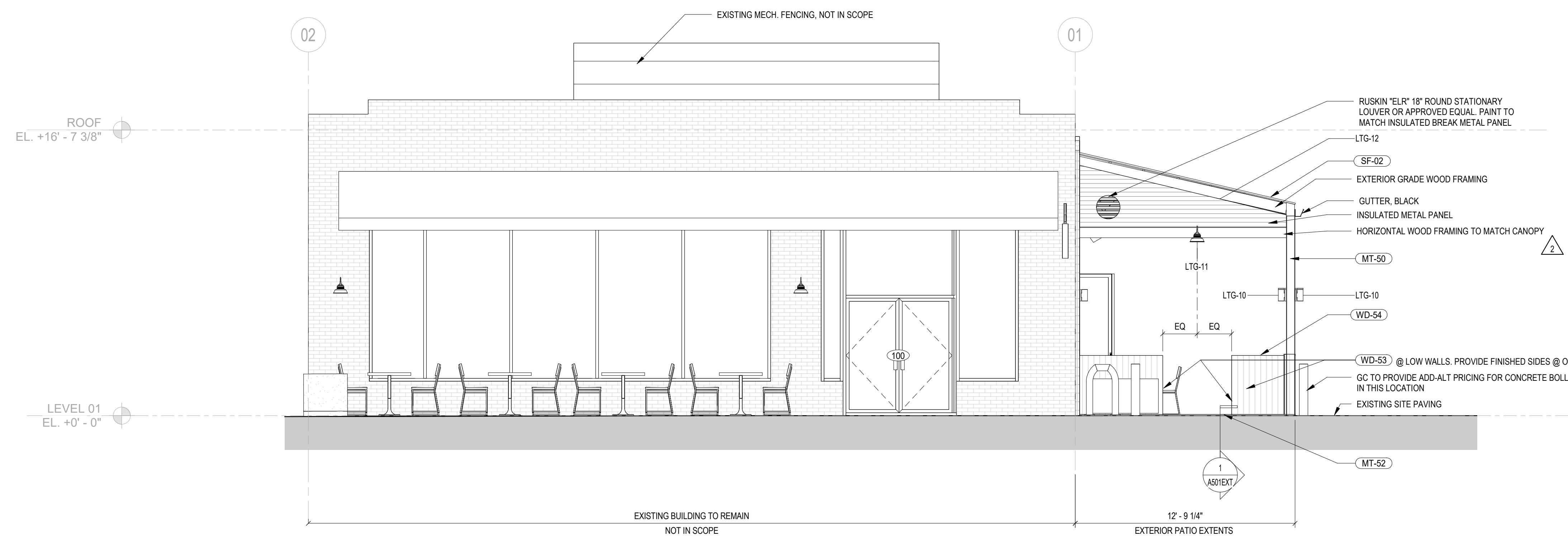
EXT#	KEY NOTES - ARCHITECTURAL - EXTERIOR
EXT1	EXISTING CURB CUT TO REMAIN
EXT2	GC TO INSTALL PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY
EXT3	GC TO INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SIGN ON POST, CENTER ON PARKING SPACE
EXT4	EXISTING EMPLOYEE LOADING RAMP. EMPLOYEE WORK AREA NOT IN SCOPE.
EXT5	EXISTING BOLLARD TO REMAIN
EXT6	PROVIDE PAINTED NO PARKING AREA WITH ANGLED STRIPES, COORDINATE STRIPING WITH COUNTY REQUIREMENTS
EXT7	REMOVE PARKING LINES IN LOCATIONS SHOWN
EXT8	NOT USED
EXT9	REINSTALL EXISTING OWNER PLANTER
EXT10	VFY ELECTRICAL HEATER CLEARANCES W/ MFR PRIOR TO ROUGH IN AND PLACEMENT
EXT11	POS LOCATION - COORDINATE POWER + DATA REQTS W/ OWNER VENDOR
EXT12	ALIGN PATIO EXTENTS TO EDGES OF EXIST. EXTERIOR COLUMNS
EXT13	GC TO COORDINATE CONTINUING GUTTER PATHWAY THROUGH PAVEMENT SYSTEM
EXT14	GC TO INSTALL SCHWANK CONTROL AT BACK BAR, ADJACENT TO LIGHTING CONTROL
EXT15	WOOD CANOPY STRUCTURE PER STRUCTURAL AND PER DETAILS
EXT16	DIRECTIONALITY OF CORRUGATED ROOF ABOVE, SEE DETAILS
EXT17	GC TP PROVIDE ADD-ALT PRICING FOR CONCRETE BOLLARD IN THIS LOCATION

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.



2 EXTERIOR ELEVATION - SIDE ELEVATION
1/4" = 1'-0"



1 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NIC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FIELD BEFORE STARTING WORK.



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(71) 571.233.8585
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
/3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(71) 202.350.4244
(W) WWW.3877DESIGN.COM

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6861 ELM STREET
SUITE 20
MCLEAN, VA 22101
(71) 703.888.0546
(W) WWW.BEENGINEERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8008 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(71) 703.884.1028
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX
○ EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

SEAL & SIGNATURE:

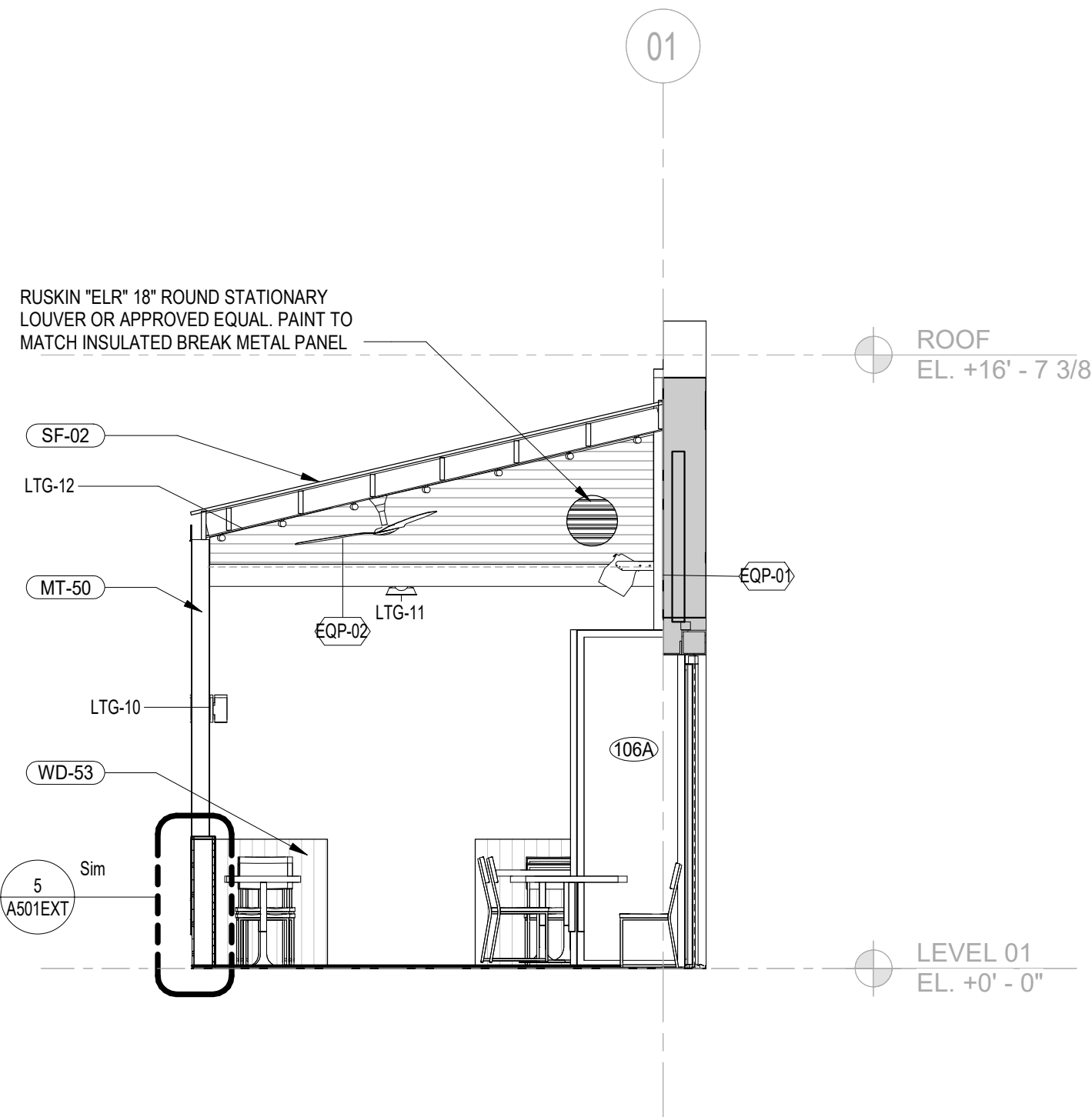


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

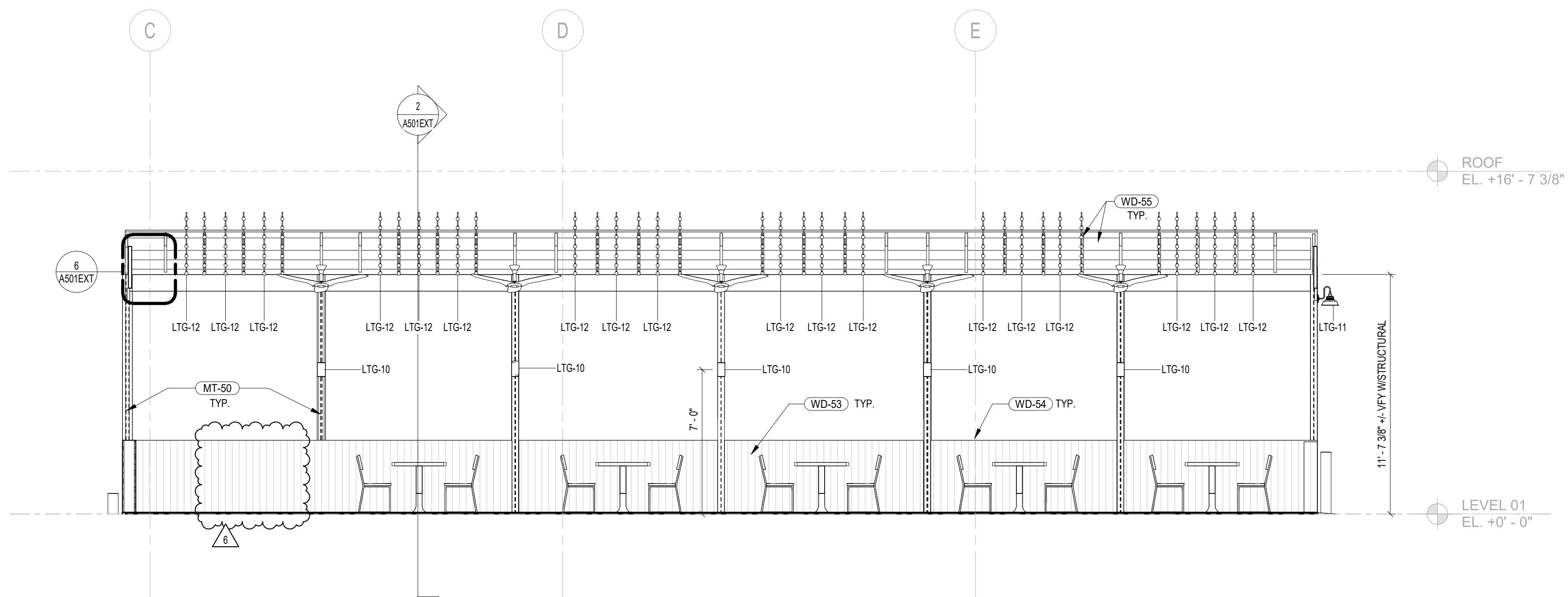
SHEET TITLE: EXTERIOR ELEVATIONS
PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

A200EXT

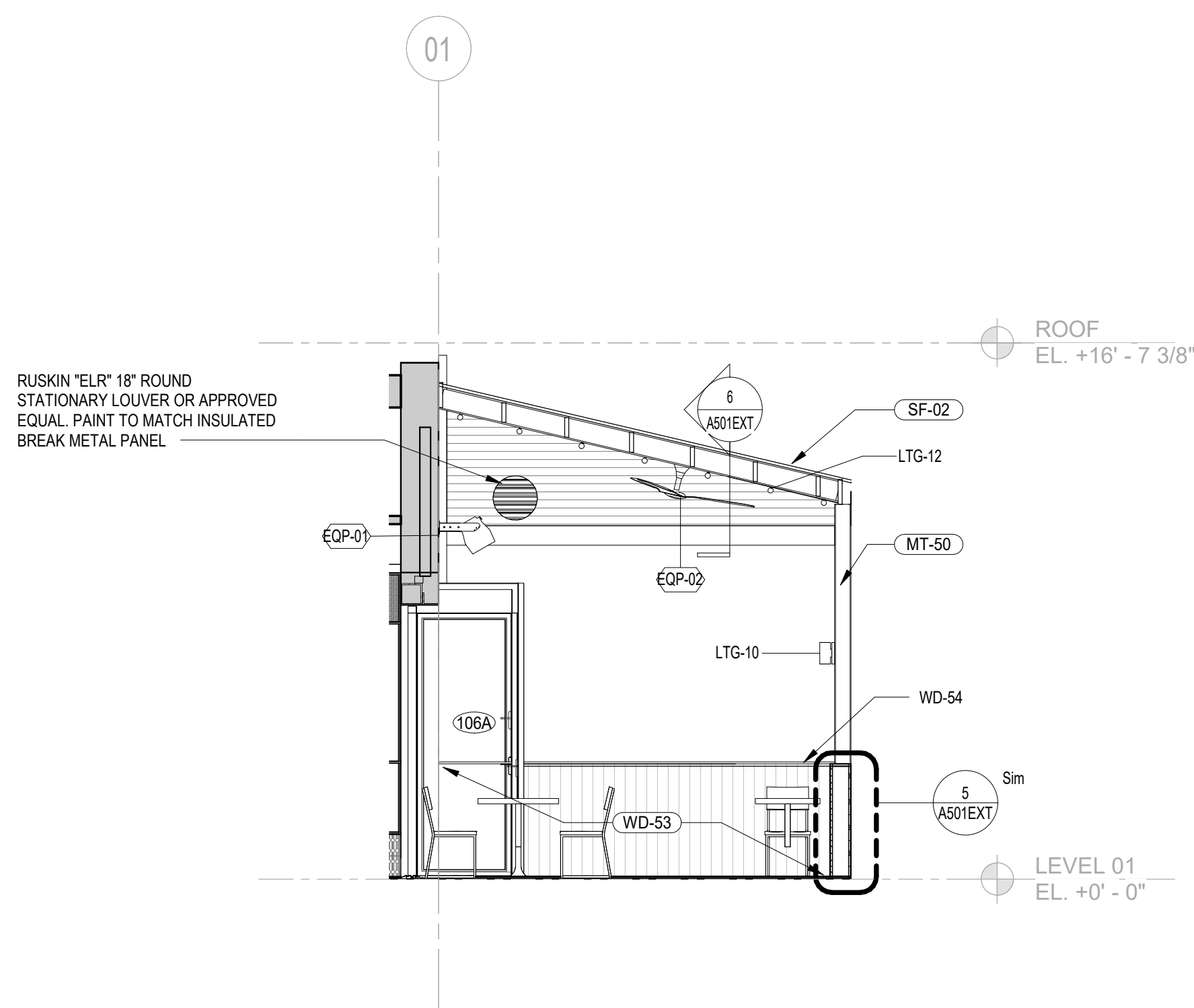
2



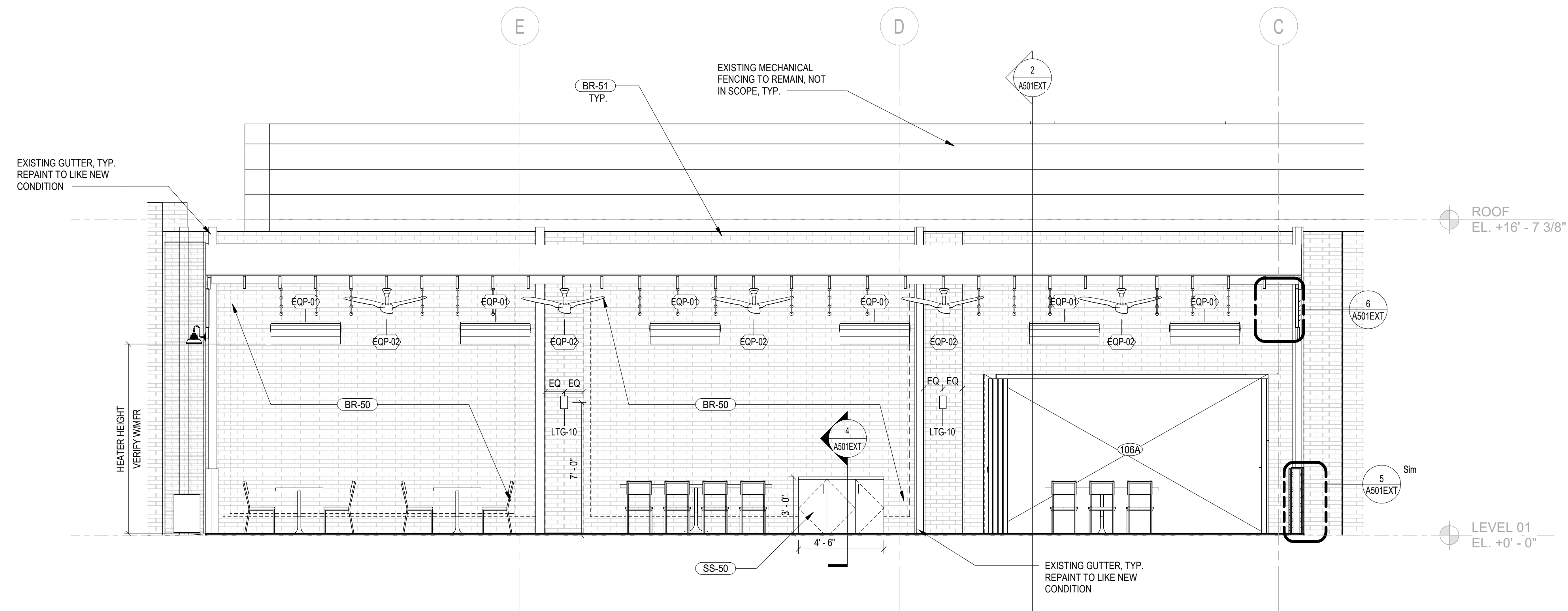
4 INTERIOR PATIO ELEVATION 4
1/4" = 1'-0"



3 INTERIOR PATIO ELEVATION 3
1/4" = 1'-0"



2 INTERIOR PATIO ELEVATION 2
1/4" = 1'-0"



1 INTERIOR PATIO ELEVATION 1
1/4" = 1'-0"

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(703) 571-2338
(703) 571-2338
WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 60
WASHINGTON, DC 20007
(703) 202-3504
(703) 202-3504
WWW.3877DESIGN.COM

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
881 ELM STREET
SUITE 20
MCLEAN, VA 22101
(703) 888-0849
WWW.BEENGINEERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8008 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(703) 884-1028
WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**
ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**
SHEET SUBMISSION IDENTIFICATION: EXTERIOR PERMIT - 3.31.2023

REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

SEAL & SIGNATURE:



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

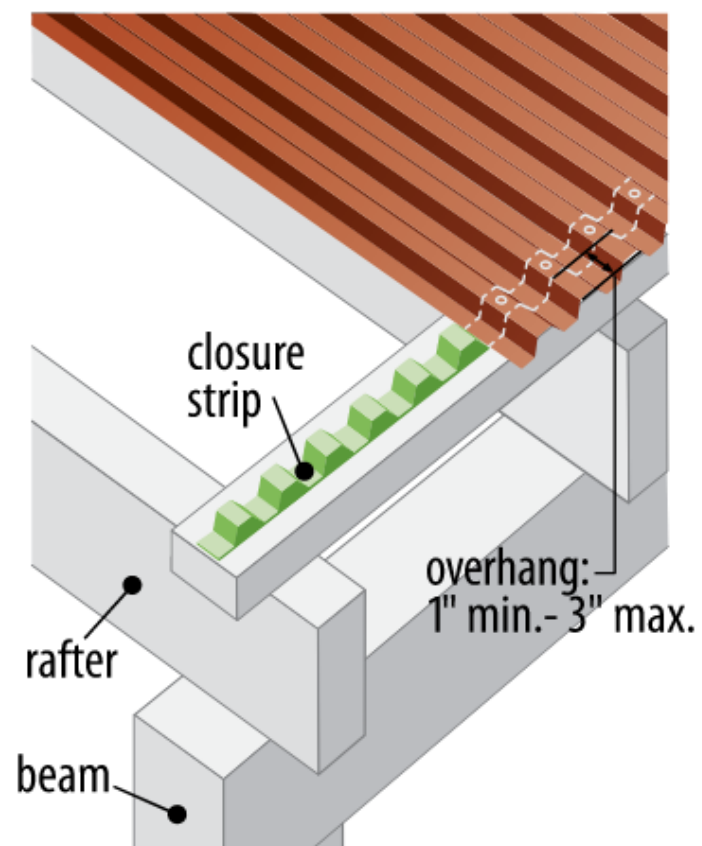
SHEET TITLE: PATIO ELEVATIONS

PROJECT NO: 2020.72

DATE ISSUED: 02/08/23

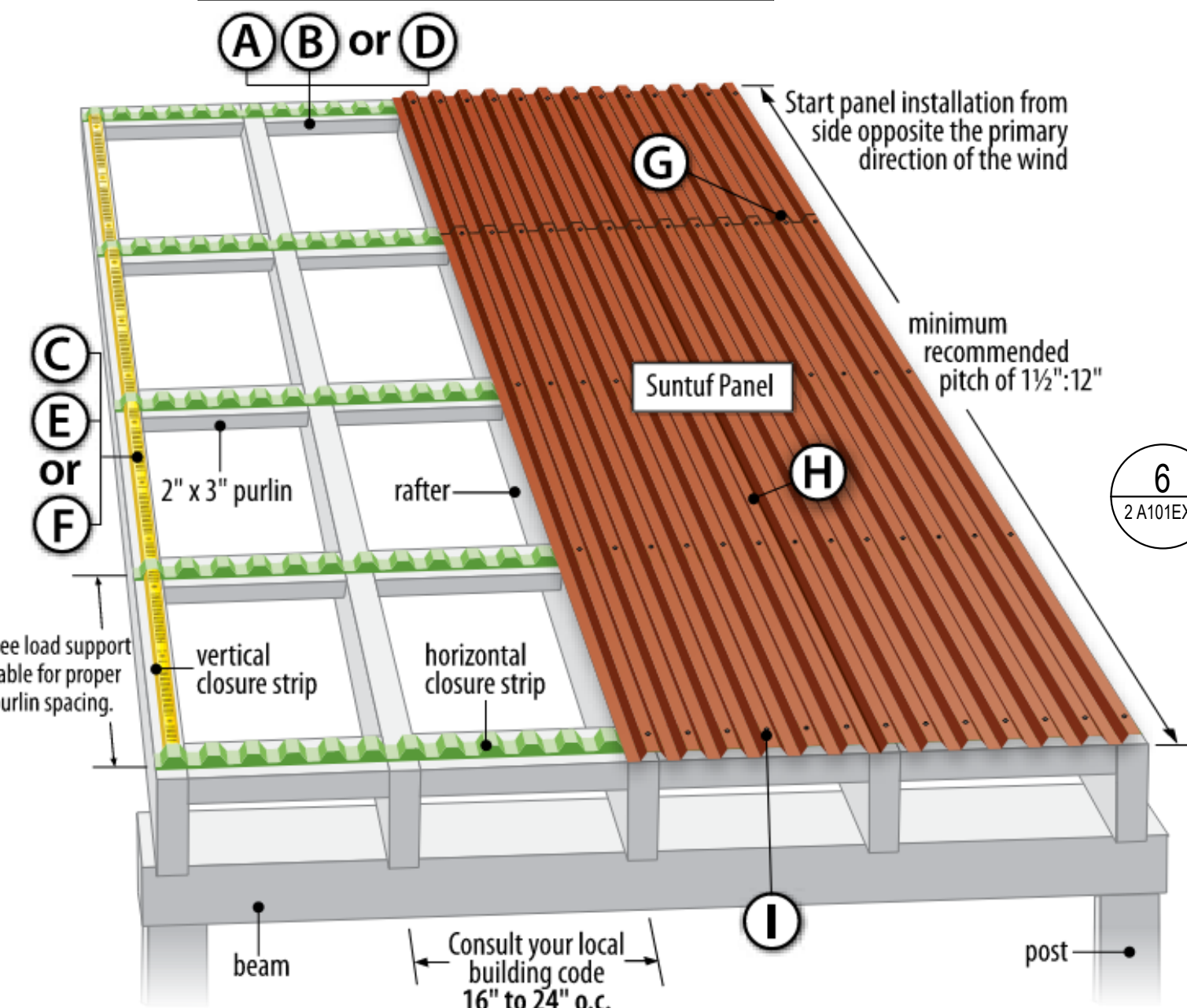
SCALE: As indicated

A201EXT

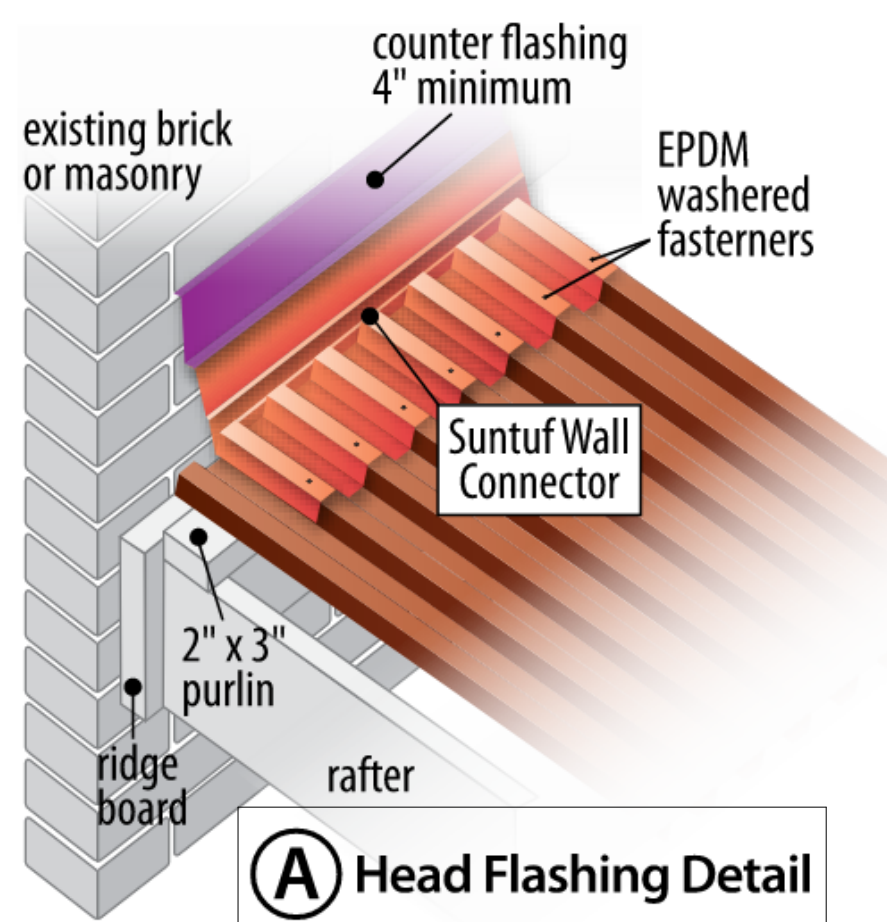


1 Bottom Closure Detail

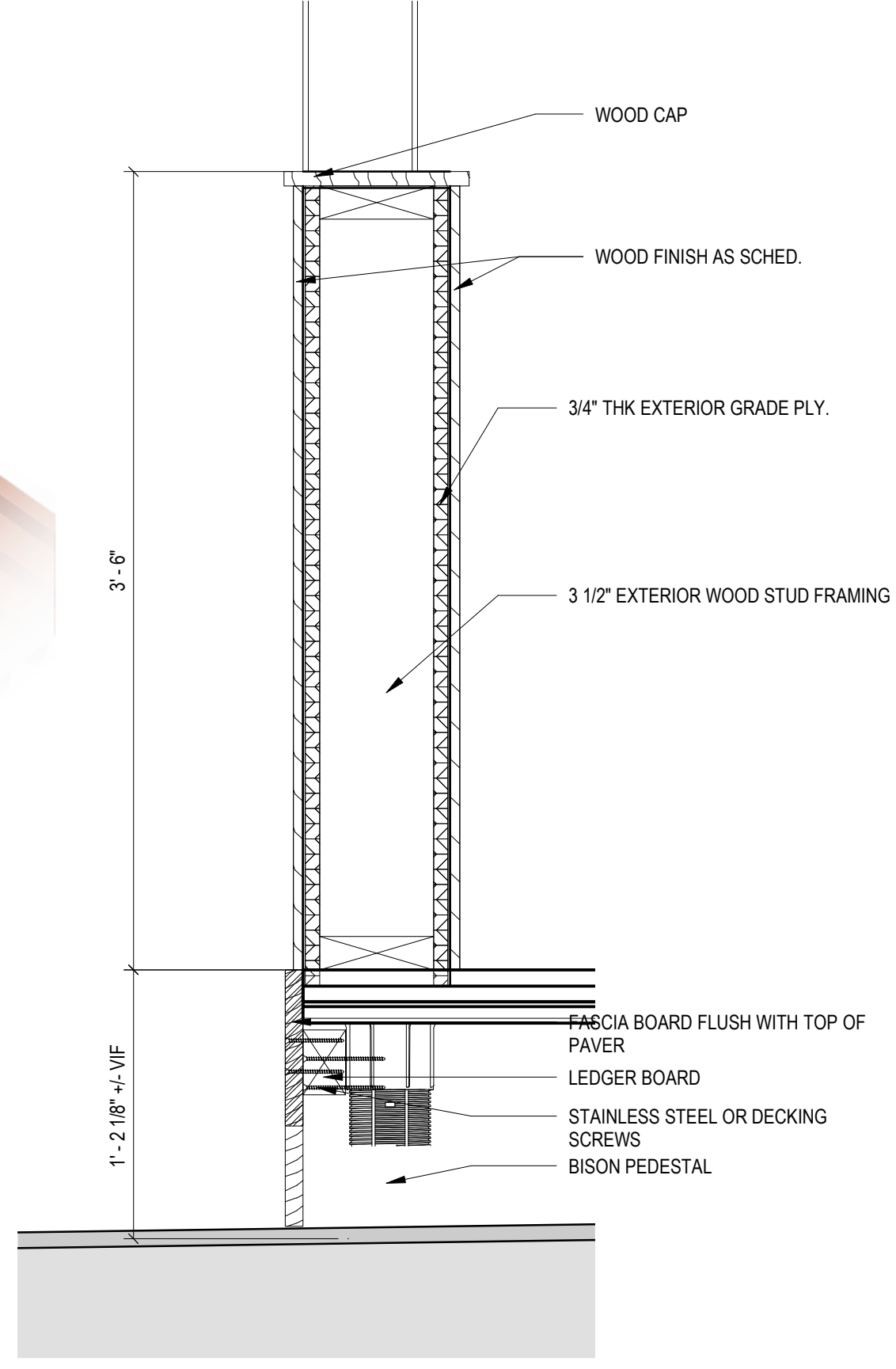
Integrated Purlin Configuration



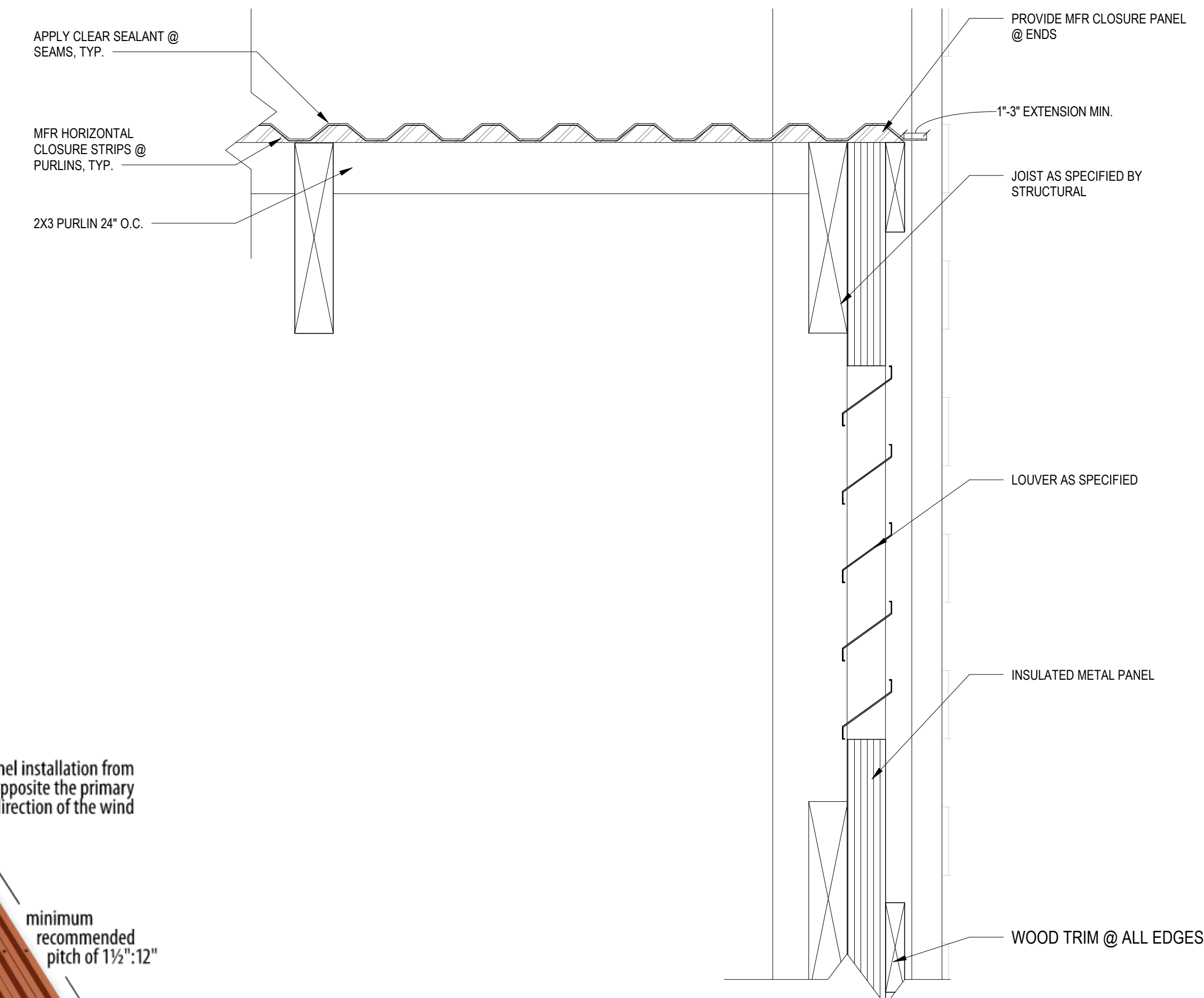
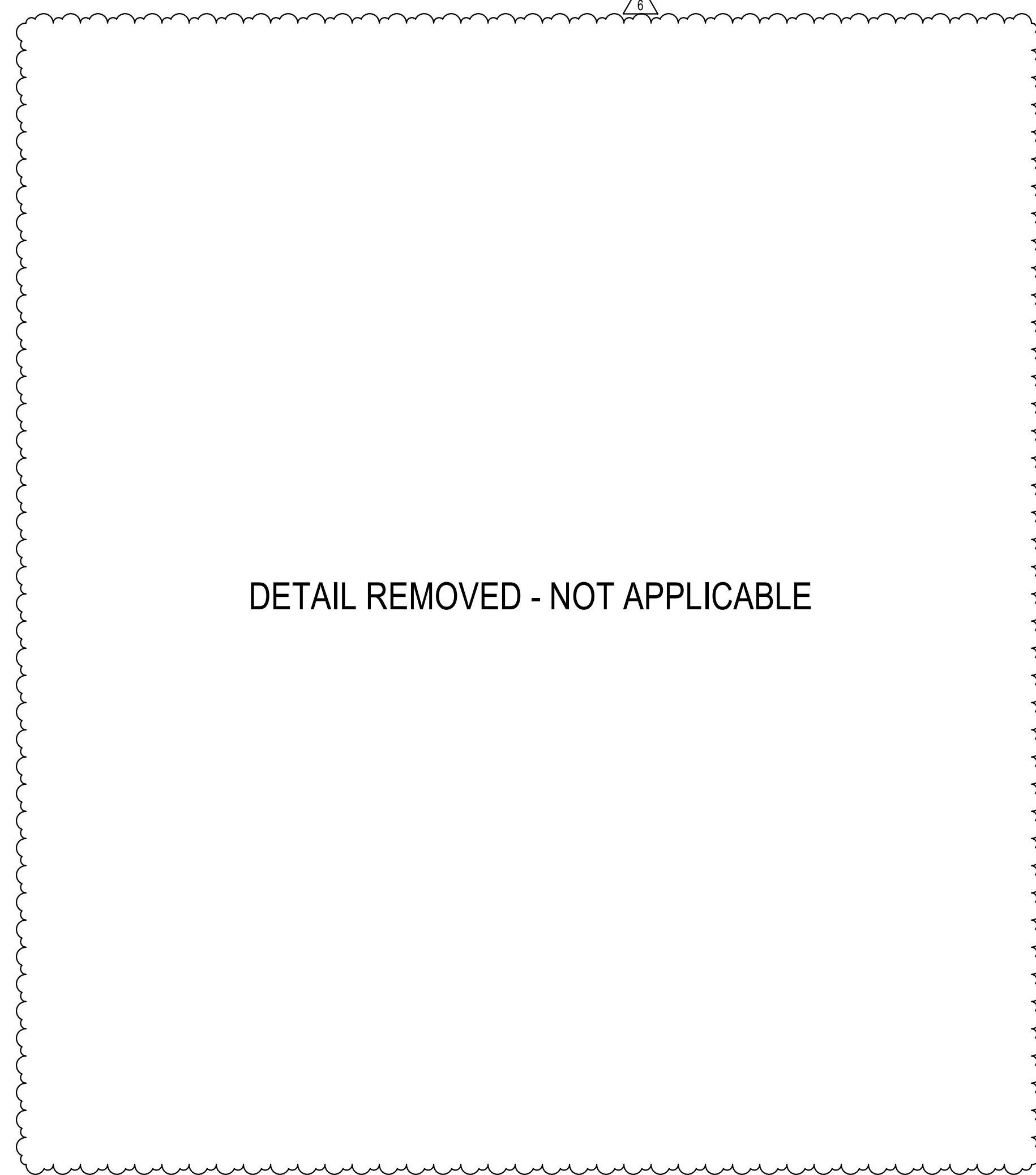
6 SECTION - EXTERIOR SUNTUF PANELS
1/4" = 1'-0"



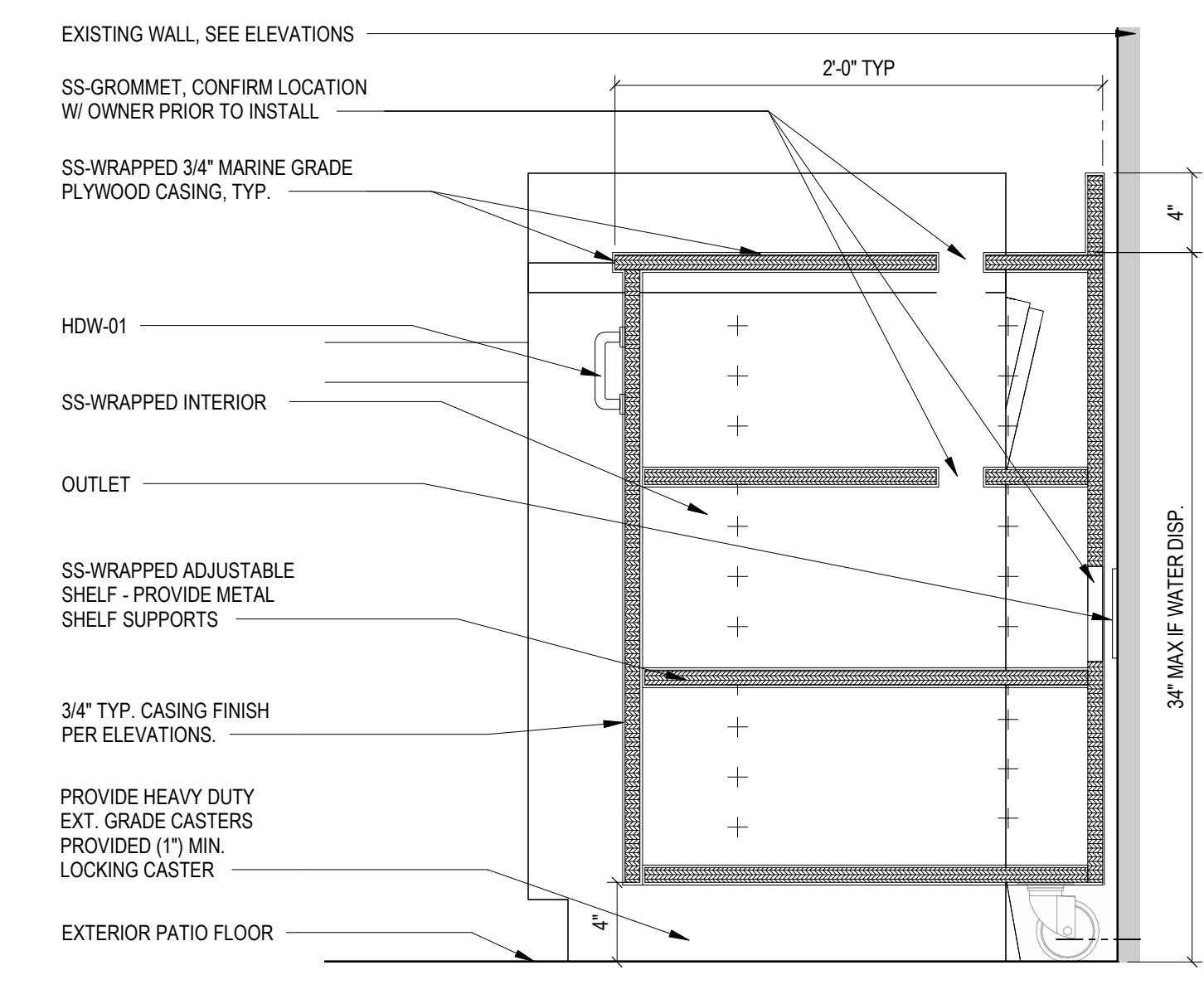
A Head Flashing Detail



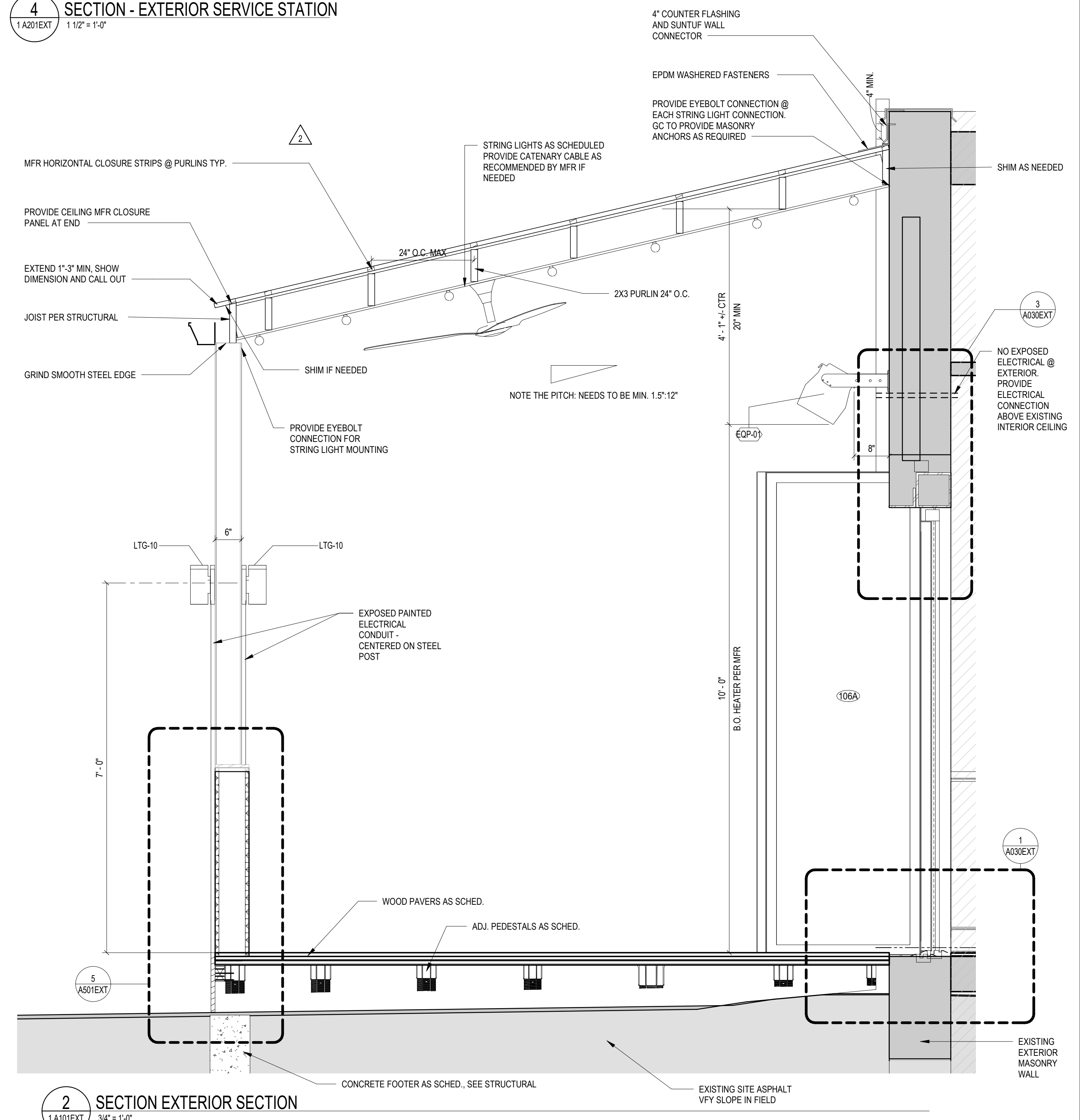
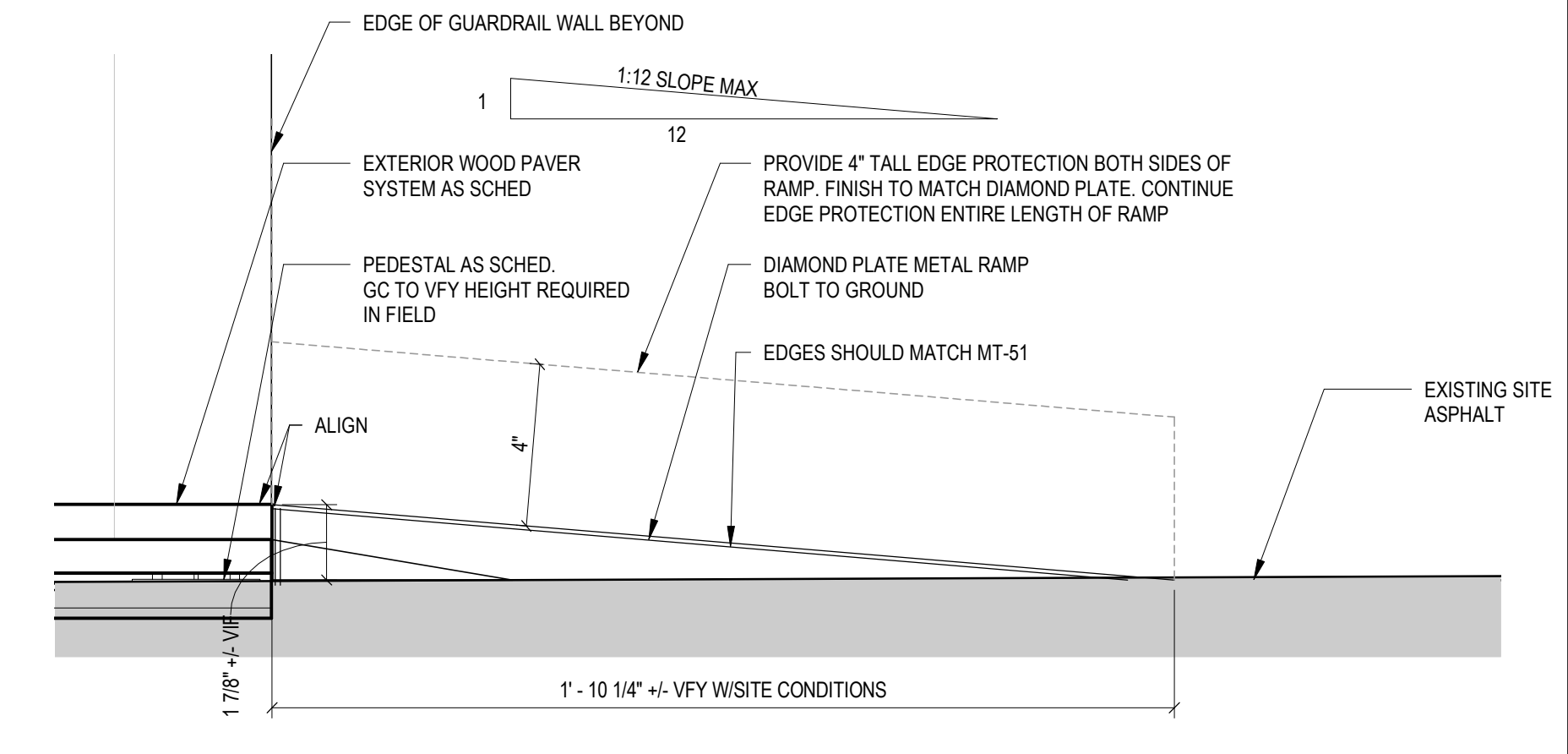
5 SECTION EXTERIOR GAURD RAIL
1/4" = 1'-0"



4 SECTION - EXTERIOR SERVICE STATION
1/4" = 1'-0"



1 SECTION EXTERIOR RAMP SECTION
1/4" = 1'-0"



2 SECTION EXTERIOR SECTION
1/4" = 1'-0"

- GENERAL NOTES - EXTERIOR**
- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
 - B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
 - C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
 - D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
 - E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
 - F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 - G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
 - H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
 - I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
 - J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
 - K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(703) 233-8885
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 60
WASHINGTON, DC 20007
(703) 250-4244
(W) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
881 ELM STREET
SUITE 2D
MCLEAN, VA 22101
(703) 898-0549
(W) WWW.BEENGERS.COM

STRUCTURAL ENGINEER:
EHLERT BRYAN
8008 WESTWOOD CENTER DRIVE
SUITE 800
TYSONS, VA 22182
(703) 884-1028
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

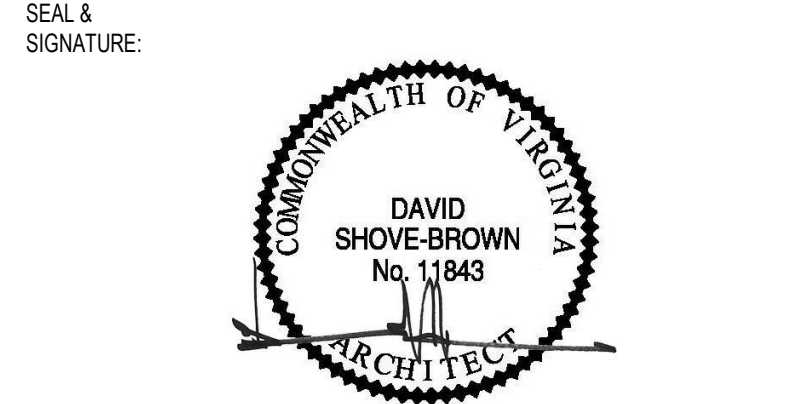
DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

SHEET SUBMISSION INDEX
EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUP/EXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

SHEET TITLE: CONSTRUCTION DETAILS
PROJECT NO: 2020.72
DATE ISSUED: 02/08/23
SCALE: As indicated

A501EXT

STRUCTURAL NOTES

1. GENERAL
- A. THE MODIFICATIONS TO THE BUILDING ARE DESIGNED UNDER THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ASCE 7-16.
- B. THE FOLLOWING LOADS WERE USED IN THE DESIGN:
- BUILDING RISK CATEGORY II
- ROOF LIVE LOAD
MINIMUM UNIFORM ROOF LIVE LOAD 30 PSF / 300 PT LOAD
- ROOF SNOW LOAD
GROUND SNOW LOAD (Pg) 25 PSF
FLAT-ROOF SNOW LOAD (Pf) 21 PSF
SNOW EXPOSURE FACTOR (Ce) 1.0
SNOW LOAD IMPORTANCE FACTOR (Is) 1.0
THERMAL FACTOR (Ct) 1.2
- ROOF RAIN LOAD (R), PER ASCE 7 SECTION 8.3 <30 PSF
- WIND LOAD
WIND SPEED (3-SECOND GUST)
Vult 115 MPH
Vasd (0.77^VULT) 90 MPH
WIND EXPOSURE B
- C. SEE ARCHITECTURAL DRAWINGS FOR ANGLES, CLIPS, PLATES, ETC., AND OTHER MISCELLANEOUS ITEMS. VERIFY AND COORDINATE ALL FRAMES, OPENINGS, ETC. WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS.
- D. SUBMIT SHOP DRAWINGS FOR THE FOLLOWING ITEMS. SUBMITTALS INCLUDE BUT MAY NOT BE LIMITED TO:
- CONCRETE MIX DESIGN
 - REINFORCING STEEL
 - STRUCTURAL STEEL
 - POLYCARBONATE ROOF SHEATHING
- DO NOT USE CONTRACT DRAWINGS AS A BASE FOR SHOPS. REVIEW IS LIMITED TO DESIGN CONFORMANCE. CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS.

2. EARTHWORK
- A. FOUNDATIONS ARE DESIGNED TO BEAR ON ENGINEERED FILL OR NATURAL SOIL WITH A CAPACITY OF 1,500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD BY THE BUILDING INSPECTOR OR A QUALIFIED TESTING AGENCY.
- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2 FOOT 6 INCH BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. COMPACTED BACKFILL BELOW BUILDING SLABS AND FOOTINGS. ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. PROOFROLL, SUBGRADE REMOVING AND REPLACING SOFT OR COMPRESSIVE MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES AND COMPACTED TO MIN. 95 PERCENT OF THE DRY MAXIMUM DENSITY AS DETERMINED BY ASTM D698.
3. DEMOLITION
- A. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- B. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.
4. CONCRETE
- A. CONCRETE CONSTRUCTION SHALL BE PER THE APPLICABLE BUILDING CODE, ACI 318 AND ACI 301, LATEST EDITIONS.
- B. CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS PER ASTM A39.
- C. VERIFY CONCRETE STRENGTHS WITH A MINIMUM OF ONE SET OF NINE 4x8-INCH COMPRESSION CYLINDERS, (3 @ 7 DAYS, 3 @ 28, 3 SPARE).
- D. EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED TO PROVIDE AN AIR CONTENT OF 6+/- 1.5 PERCENT BY VOLUME.
- E. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING, UNO, AS FOLLOWS:
- CONCRETE CAST AGAINST EARTH 3 INCHES
- F. NON-SHRINK GROUT FOR COLUMNS BASE PLATES SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH: Fc = 5,000 PSI.
- G. REINFORCING STEEL SHALL CONFORM TO A615-GR60; MESH SHALL CONFORM TO ASTM A185 WITH MINIMUM LAPS OF 8 INCHES. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS.

5. STEEL
- A. STEEL CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND SHALL CONFORM TO AISC 360. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | | |
|--------------------------------|----------------|
| STEEL PLATES AND ANGLES | A572 GRADE 50 |
| STRUCTURAL RECTANGULAR (HSS) | A500 - GR C |
| ANCHOR RODS (4" DIAM. OR LESS) | F1554 - 36 KSI |
| HIGH-STRENGTH BOLTS | A325 |
- B. WELDING OF STRUCTURAL STEEL SHALL BE WITH E70XX ELECTRODES.

6. WOOD FRAMING
- A. FRAMING LUMBER FOR STUDS, HEADERS AND JOISTS SHALL BE HEM FIR (#2), SPRUCE-PINE-FIR (SPF) #1/#2, OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19-PERCENT, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
- | | |
|---|---------------------------------|
| BENDING STRESS "Fb" | = 850 PSI FOR SINGLE MEMBER USE |
| HORIZONTAL SHEAR "Fv" | = 135 PSI |
| COMPRESSION PERPENDICULAR TO GRAIN "Fc" | = 465 PSI |
| COMPRESSION PARALLEL TO GRAIN "Fc11" | = 1150 PSI |
| MODULUS OF ELASTICITY "E" | = 1,300,000 PSI |
- NOTES: SPF (SOUTH) IS NOT ACCEPTABLE.
- B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED (PT). FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). PT LUMBER SHALL NOT BE INCISED.
- C. TREATED LUMBER (PT) SHALL BE SOUTHERN PINE (SP) #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
- | | |
|---|-----------------------------|
| BENDING STRESS "Fb" | = 750 PSI SINGLE MEMBER USE |
| HORIZONTAL SHEAR "Fv" | = 175 PSI |
| COMPRESSION PERPENDICULAR TO GRAIN "Fc" | = 565 PSI |
| COMPRESSION PARALLEL TO GRAIN "Fc11" | = 1,250 PSI |
| MODULUS OF ELASTICITY "E" | = 1,400,000 PSI |

- D. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATIONS, TO ACHIEVE AT LEAST THE MINIMUM MANUFACTURER LISTED CAPACITIES, UNO ON THE DRAWINGS. FASTENERS AND CONNECTORS UTILIZED WITH TREATED LUMBER (PT) SHALL MEET G185 HOT-DIPPED GALVANIZING. FASTENERS AND CONNECTORS UTILIZED WITH FIRE-RETARDANT TREATED LUMBER (FRT) SHALL MEET G90 HOT-DIPPED GALVANIZING.
- E. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.
- F. ALL BOLTED CONNECTIONS, INCLUDING SILL ANCHOR BOLTS, THRU BOLTS AND LAGS SHALL HAVE A STANDARD CUT METAL WASHER BETWEEN THE WOOD MEMBER AND NUT, UNLESS A LARGER PLATE WASHER OR OTHER IS NOTED ON THE DRAWINGS.
- G. NAILS FOR FRAMING AND SHEATHING CONNECTIONS SPECIFIED IN THE DRAWINGS AND ASSOCIATED NOTES SHALL CONFORM TO ASTM F1667 AND SHALL MEET THE FOLLOWING MINIMUM SIZE REQUIREMENTS:

TYPE	DIAMETER x LENGTH
8d	0.131" x 2-1/2"
10d	0.148" x 3"
12d	0.148" x 3-1/4"
16d	0.162" x 3-1/2"
20d	0.192" x 4"

SHANK DIAMETER	MINIMUM STRENGTH
0.089" TO 0.142"	100 KSI
0.143" TO 0.177"	90 KSI
0.178" TO 0.254"	80 KSI

NOTE: NAILS USED IN STANDARD CONNECTIONS SHALL BE SIZED PER THE REQUIREMENTS OF THE BUILDING CODE.

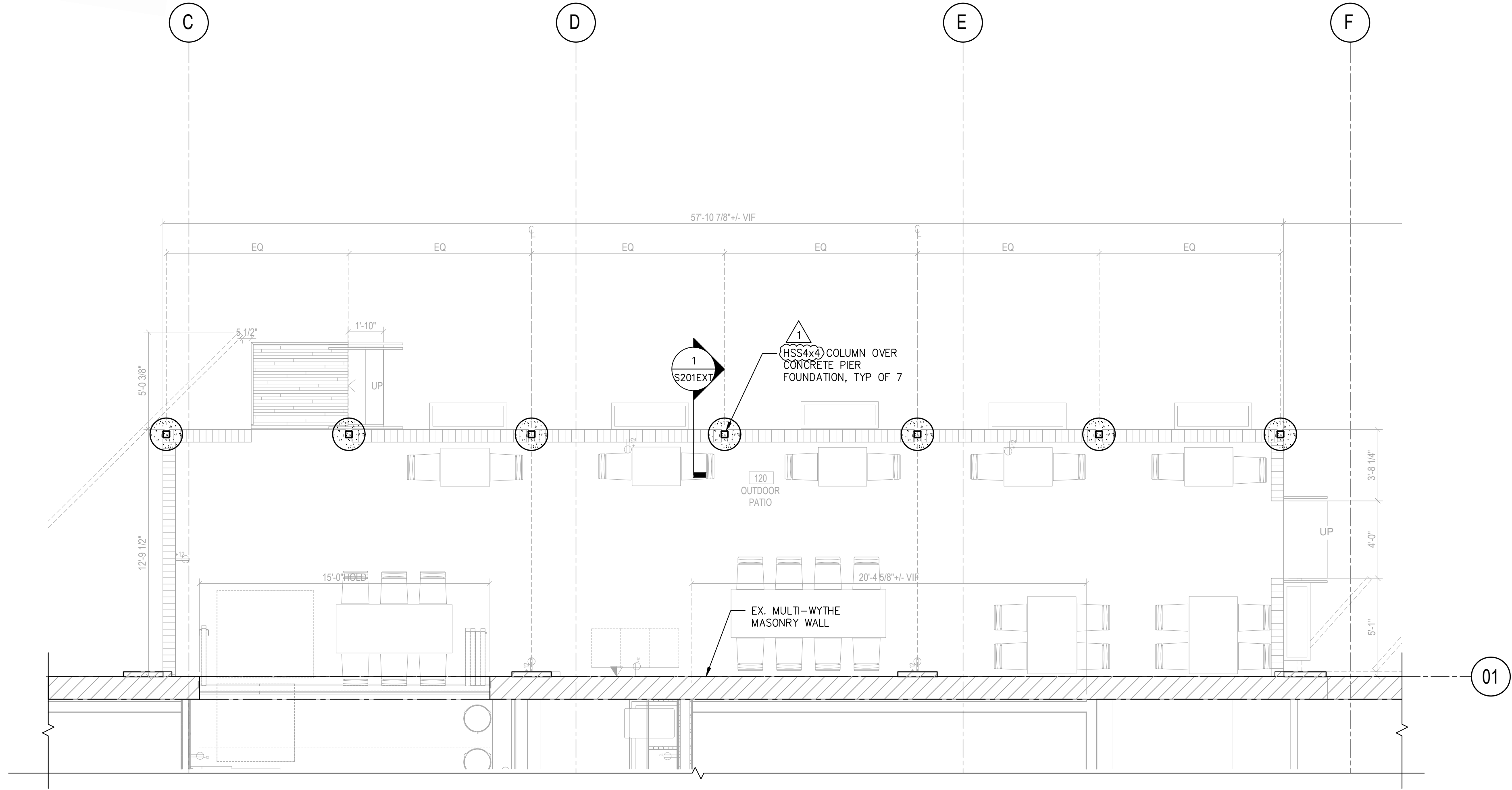
- H. ROOF MEMBERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL ANCHOR. ANCHORS SHALL BE 18 GAGE MINIMUM AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING, UNLESS SHOWN OTHERWISE ON DRAWINGS.
- I. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
7. POST-INSTALLED ANCHORS IN CONCRETE AND MASONRY
- A. GENERAL
- INSTALL ANCHORS IN STRICT CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND PROCEDURES. ALL POST-INSTALLED ANCHORS IN CONCRETE SHALL HAVE ICC APPROVAL FOR USE IN CRACKED CONCRETE.
- SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE SUBMITTED FOR APPROVAL PRIOR TO USE. CONTRACTOR SHALL PROVIDE LOAD CAPACITIES DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT.
- PROVIDE STAINLESS STEEL FASTENERS FOR EXTERIOR USE OR WHEN PERMANENTLY EXPOSED TO WEATHER. PROVIDE GALVANIZED CARBON STEEL ANCHORS AT OTHER LOCATIONS, UNLESS OTHERWISE NOTED.
- B. PRODUCTS
- ANCHORS IN CONCRETE:
- EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T2Z.
 - UNDERCUT ANCHORS SHALL BE HILTI HDLP.
 - SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ.
 - ADHESIVE ANCHORS SHALL BE HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HIT-Z ROD OR WITH HILTI HOLLOW DRILL BIT SYSTEM WITH HAS-E THREADED ROD.
- ANCHORS IN MASONRY:
- EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T2Z. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.
 - SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.
 - ADHESIVE ANCHORS IN SOLID MASONRY SHALL BE HILTI HIT-HY 270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HIS-H INTERNALLY THREADED INSERT.
 - ADHESIVE ANCHORS IN HOLLOW OR MULTI-WYTHE MASONRY SHALL BE HILTI HIT-HY 270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HIT-C INTERNALLY THREADED INSERT. THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER THE ADHESIVE MANUFACTURER'S RECOMMENDATION.
- SUBSTITUTIONS FOR THE SPECIFIED ANCHORS SHALL BE SUBMITTED AS REQUESTED ABOVE. FOR ADHESIVE ANCHORS, PROPOSED SUBSTITUTE PRODUCTS SHALL INCLUDE THE FOLLOWING BASIS OF DESIGN PARAMETERS:
- ANCHORS IN CONCRETE:
- CRACKED CONCRETE
 - ADHESIVE ANCHORS IN CONCRETE
 - CRACKED CONCRETE
 - WATER SATURATED CONCRETE
 - BASE MATERIAL TEMPERATURE OF 50-100 DEGREES FAHRENHEIT (AT INSTALLATION).
 - BASE MATERIAL IN-SERVICE TEMPERATURE OF 110 DEGREES FAHRENHEIT (LONG TERM), 130 DEGREES FAHRENHEIT (SHORT TERM)
- ADHESIVE ANCHORS IN MASONRY:
- BASE MATERIAL TEMPERATURE OF 50-100 DEGREES FAHRENHEIT (AT INSTALLATION).
 - BASE MATERIAL IN-SERVICE TEMPERATURE OF 110 DEGREES FAHRENHEIT (LONG TERM), 130 DEGREES FAHRENHEIT (SHORT TERM)

- C. INSTALLATION
- ALL INSTALLATION PROCEDURES SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE AND/OR PROVIDE FOR THIRD PARTY INSPECTION AS REQUIRED BY BUILDING CODE OR LOCAL JURISDICTION.
- ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHOR TO EDGE OF CONCRETE OR MASONRY. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE DISTANCE INDICATED ON THE DRAWINGS. IF NOT SHOWN, COMPLY WITH MINIMUM SPACING AND EDGE DISTANCE FOR FULL ANCHOR CAPACITY, AS SPECIFIED BY MANUFACTURER.
- EXISTING REINFORCING BARS IN THE CONCRETE OR MASONRY STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. DO NOT CUT OR DAMAGE REINFORCING BARS UNLESS SPECIFICALLY PERMITTED IN THE DRAWINGS.
- PRIOR TO DRILLING, THE CONTRACTOR SHALL LOCATE REINFORCING BAR POSITIONS IN THE IMMEDIATE VICINITY OF PROPOSED POST-INSTALLED ANCHORS USING GPR, X-RAY, OR OTHER NON-DESTRUCTIVE MEANS.
- WHEN CONFLICTS BETWEEN PROPOSED ANCHORS AND EXISTING REINFORCING BARS EXIST, SUBMIT RESULTS OF BAR LOCATIONS TO ARCHITECT/ENGINEER FOR REVIEW AND FURTHER DIRECTION.

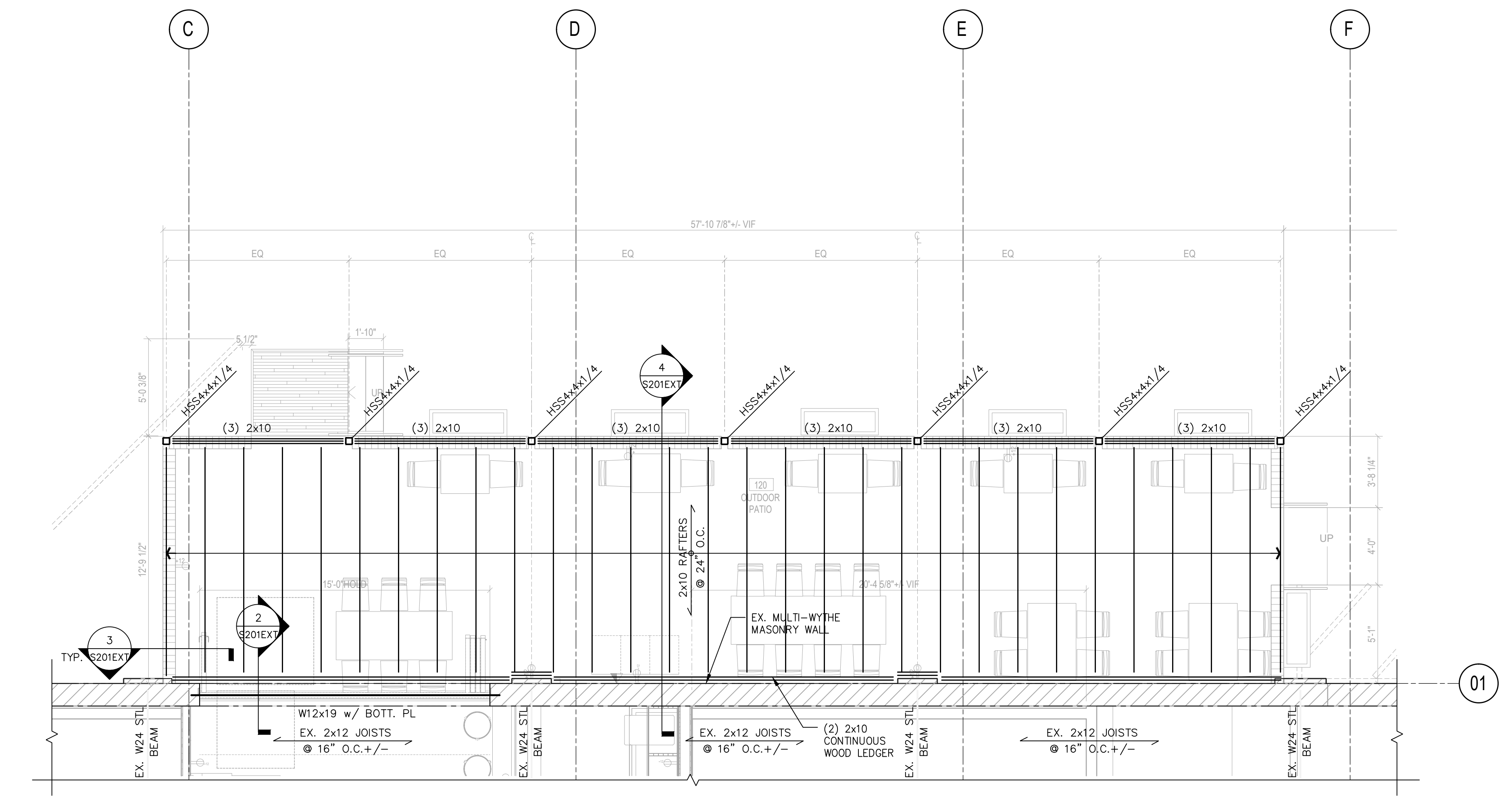
- WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION.

VOID

02/16/2024



PARTIAL FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



PARTIAL FRAMING PLAN
SCALE: 1/4" = 1'-0"

SEE ARCH FOR STEEL COATING REQUIREMENTS FOR DURABILITY.

3877
www.3877.design

COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
NOEL LAMONI
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
VIC BONOMI
5296 EISENHOWER AVE
ALEXANDRIA, VA 22304
(7) 571.233.8655
(V) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 80
WASHINGTON DC 20007
(7) 202.393.4244
(V) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6881 ELM STREET
SUITE 2D
MCLEAN, VA 22101
(7) 703.888.8649
(V) WWW.BEENGERS.COM

FOOD SERVICE:
SINGER EQUIPMENT COMPANY
JAMES FRUSTEL
180 HELLER PLACE
BELLMAWR, NJ 08031
(7) 646-702-9922
(V) WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA

ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

SHEET SUBMISSION INDEX

REV. NO.	REVISION	DATE
1	EXTERIOR STRUCTURAL REVISION	06/19/2023

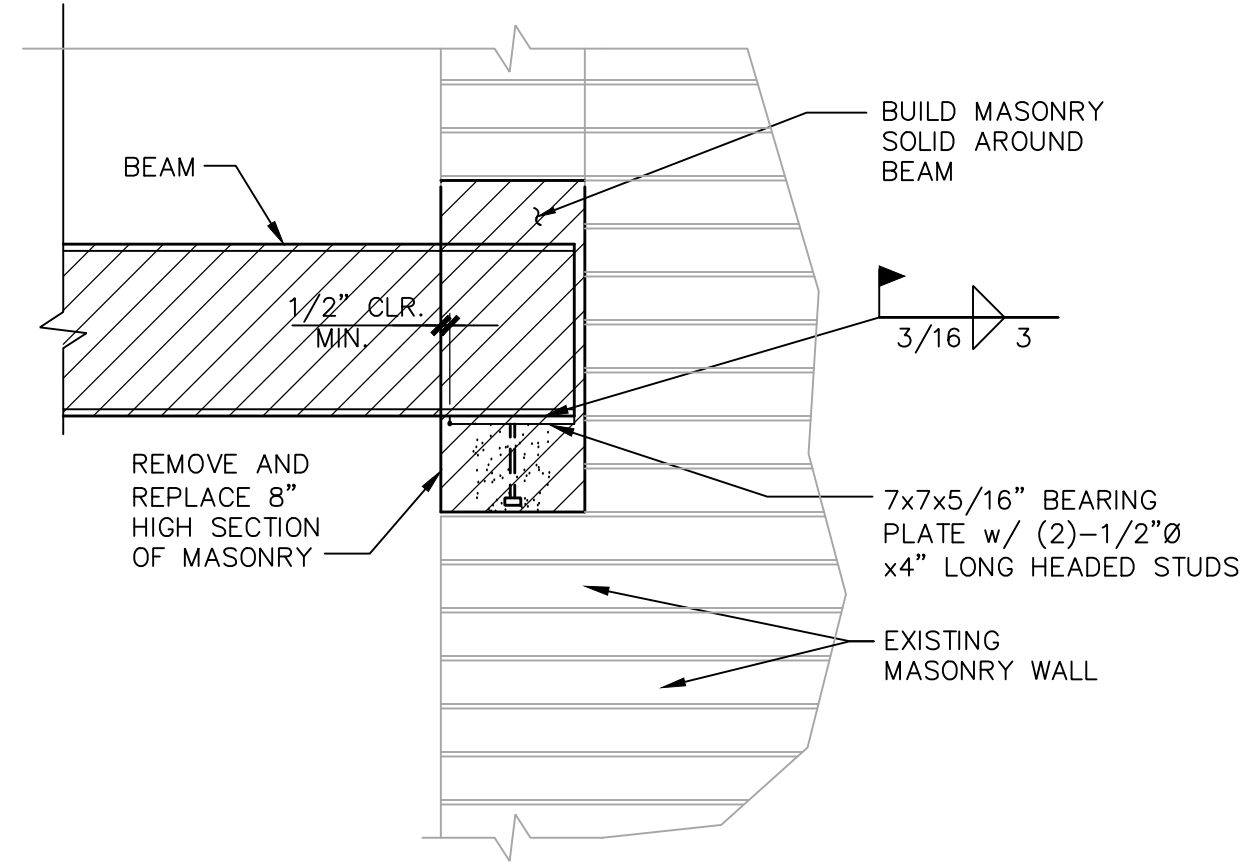


ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

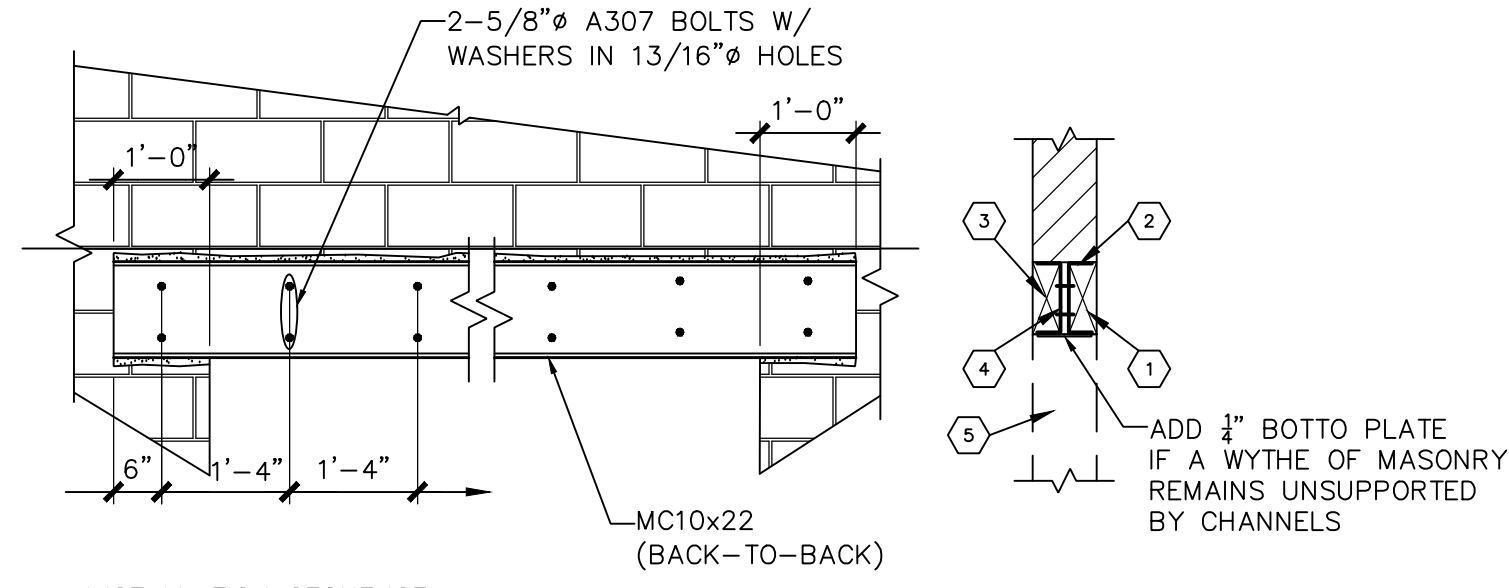
SHEET TITLE: STRUCTURAL NOTES, PARTIAL FOUNDATION AND FRAMING PLANS
PROJECT NO: 2020.72
DATE ISSUED: 06/19/23
SCALE: As indicated

EHLERT BRYAN
CONSULTING ARCHITECTS & ENGINEERS
8609 Westwood Center
Tysons, VA 22182
(703) 827-9652
Fax (703) 356-2001
www.ehlert-bryan.com

S101EXT



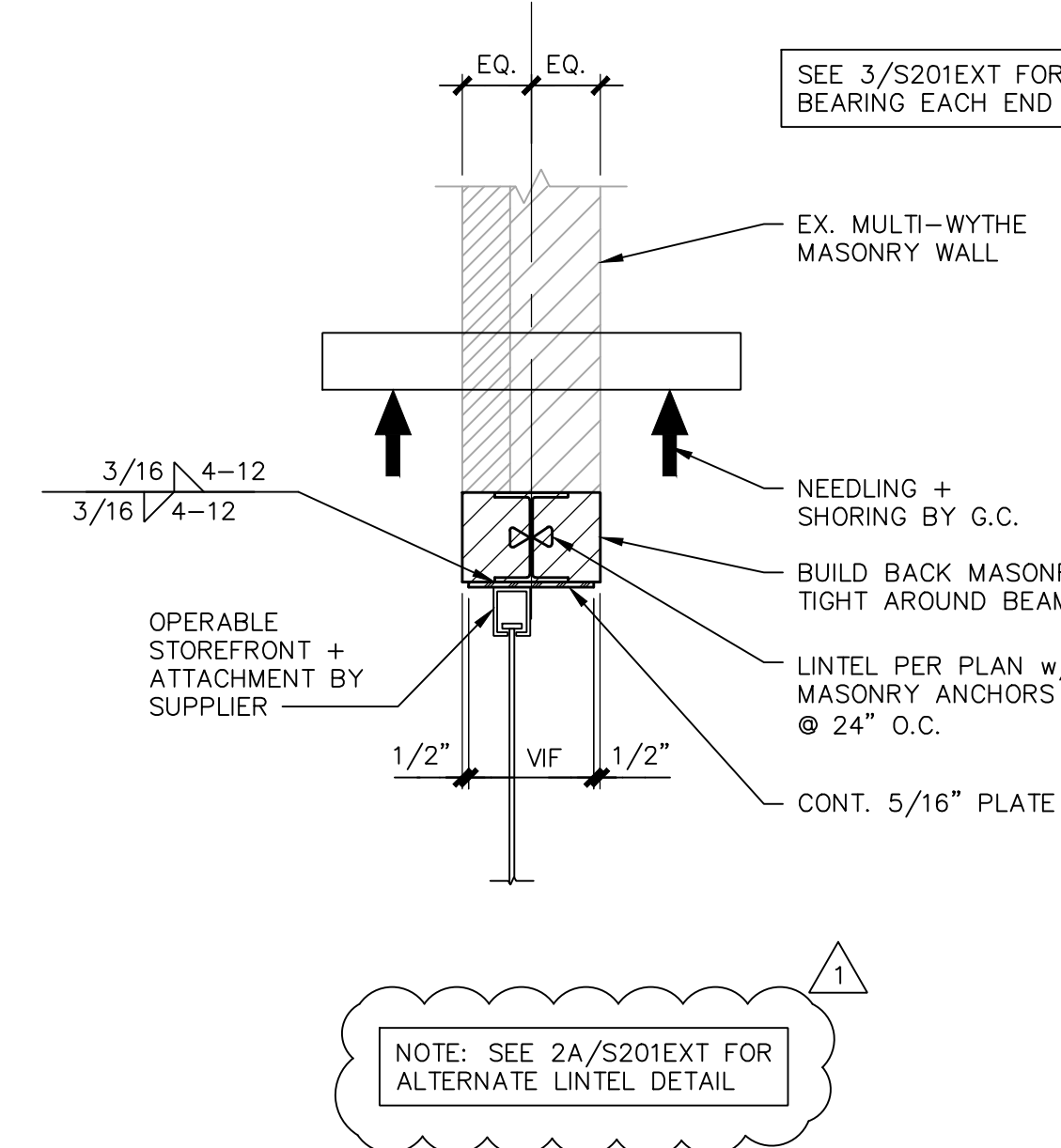
SECTION 3
SCALE: 3/4" = 1'-0"



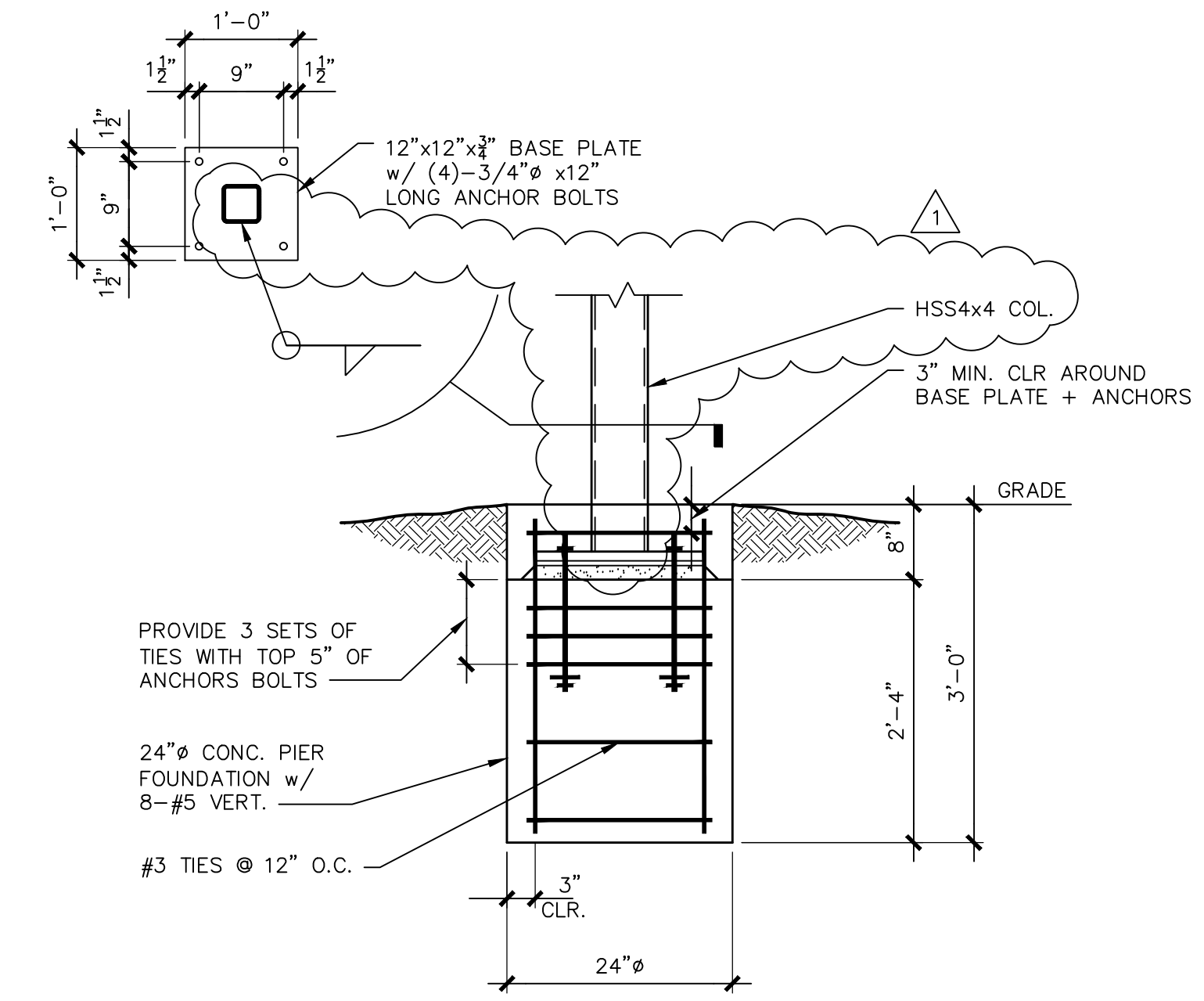
- INSTALLATION SEQUENCE
- 1 REMOVE 4" WYTHE OF MASONRY FOR FULL LENGTH OF OPENING + SUPPORT LENGTH.
 - 2 INSTALL STEEL CHANNEL AND MORTAR TIGHT TO BRICK ABOVE AND BELOW BEARING AT END. CURE 2 DAYS.
 - 3 REMOVE REMAINING 4" WYTHE AND INSTALL SECOND CHANNEL ALIGNING HOLES WITH FIRST CHANNEL.
 - 4 BOLT TO FIRST CHANNEL & MORTAR INTO PLACE.
 - 5 SAWCUT & REMOVE REMAINDER OF WALL. REPOINT BRICK @ EDGE.

ALTERNATE LINTEL INSTALLATION IN EXISTING WALL

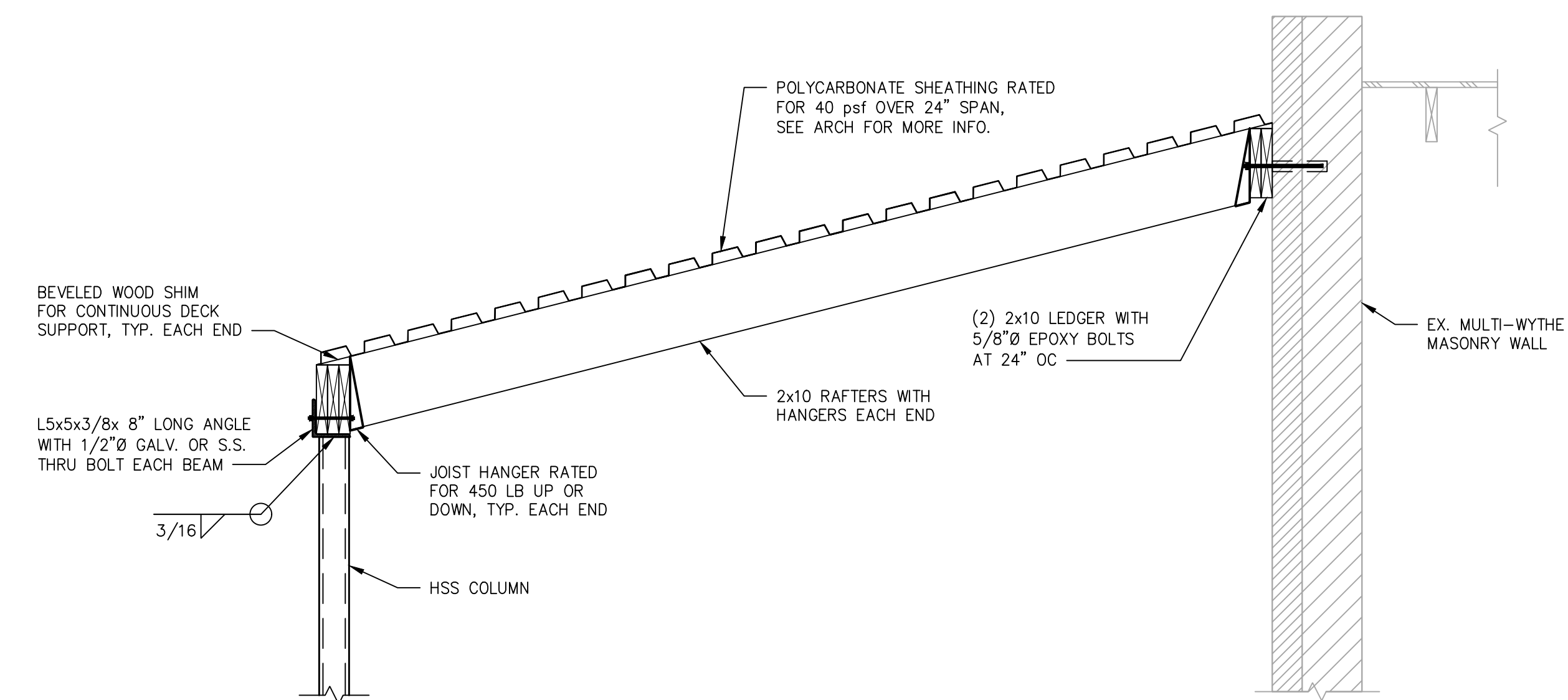
SECTION 2A
SCALE: 3/4" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"



SECTION 1
SCALE: 3/4" = 1'-0"



SECTION 4
SCALE: 3/4" = 1'-0"

//3877
www.3877.design

COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
NOEL LANDINI
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
VIC BONOMI
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
[T] 571.233.8565
[W] WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
[T] 202.393.4244
[W] WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6891 ELM STREET
SUITE 20
MCLEAN, VA 22101
[T] 703.888.8649
[W] WWW.BEENGRS.COM

FOOD SERVICE:
SINGER EQUIPMENT COMPANY
JAMES FEUSTEL
180 HELLER PLACE
BELLMAWR, NJ 08031
[T] 609.702.9922
[W] WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX

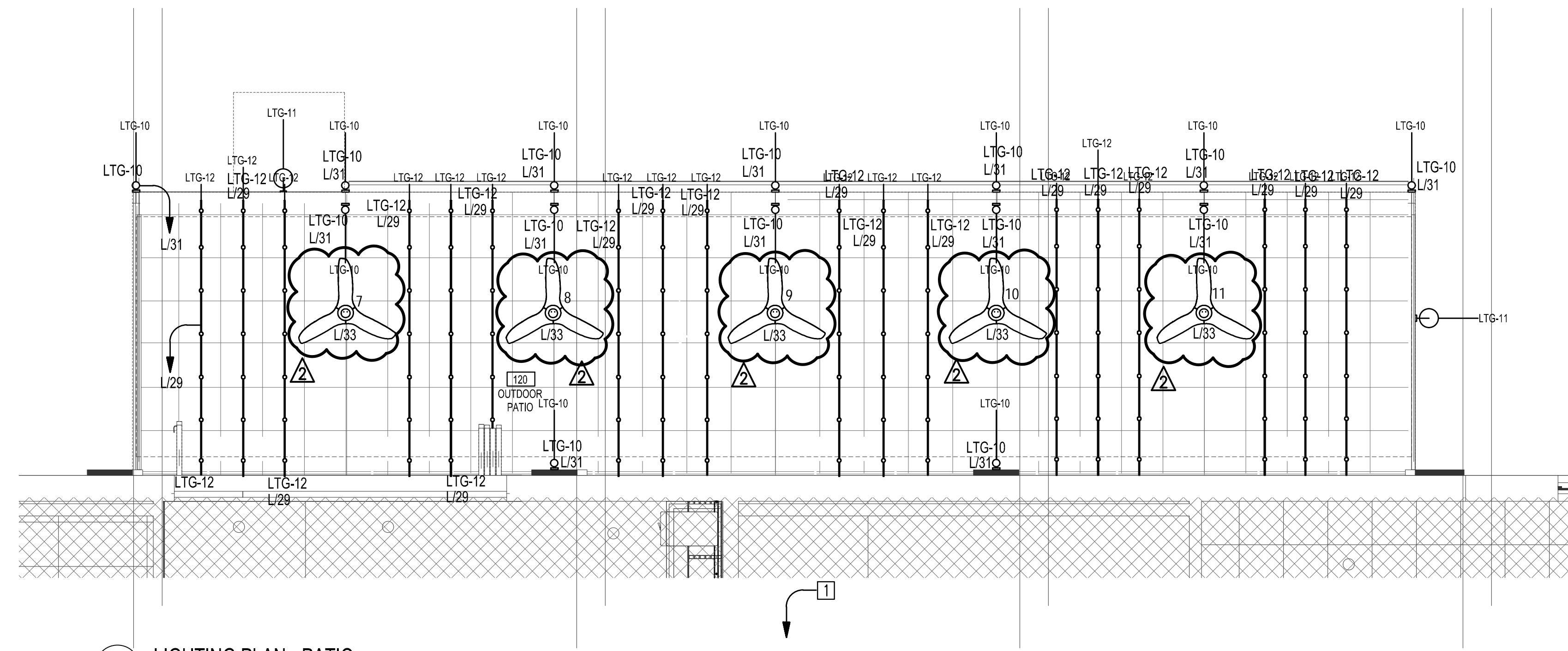
REV. NO.	REVISION	DATE
1	EXTERIOR STRUCTURAL REVISION	06/19/2023

SEAL & SIGNATURE:

ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: FRAMING SECTIONS
PROJECT NO: 2020.72
DATE ISSUED: 06/19/23
SCALE: As indicated

S201EXT



1 LIGHTING PLAN - PATIO
1/4" = 1'-0"

GENERAL NOTES:

- REFER TO ARCHITECTURAL PLANS, DETAILS, AND ELEVATIONS FOR LOCATIONS, MOUNTING HEIGHTS, AND FINISHES FOR ALL LIGHTING FIXTURES.
- PROVIDE CONDUIT, WIRE, SWITCHES, RELAYS, POWER PACKS, ETC. FOR A COMPLETE LIGHTING INSTALLATION AS DEFINED ON PLANS.
- FIELD COORDINATE EXACT ROUTING OF ALL NEW FEEDERS AND BRANCH CIRCUITS.
- LIGHTING CONTROL DEVICE MANUFACTURER TO VERIFY ALL INFORMATION INDICATED ON THIS PLAN, AND MODIFY DEVICE TYPE AND LAYOUT AS NEEDED FOR A COMPLETE FUNCTIONAL LIGHTING CONTROL SYSTEM.
- ALL LUMINARIES FINISHES TO BE CONFIRMED BY ARCHITECT.
- ALL LUMINARIES TO BE UL LISTED FOR THE INTENDED USES.
- ALL EXIT SIGNS ARE EQUIPPED WITH 2 HR BATTERY PACK. CONNECT TO NEAREST LIGHTING CIRCUIT AHEAD OF SWITCHED LEG.
- ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY ASTRONOMICAL TIMELOCK AND PHOTOCELL.
- ALL EXTERIOR LIGHT FIXTURES TIME CLOCK SHOULD BE PROGRAMMED TO SHUT OFF FROM 12 MIDNIGHT OR WITHIN ONE (1) HOUR OF THE END OF BUSINESS OPERATIONS, WHICHEVER IS LATER, UNTIL 6 A.M. OR BUSINESS OPENING, WHICHEVER IS EARLIER.

KEYED NOTES:

- CONTROL SWITCHES FOR THE FANS ARE PLACED IN THE INTERIOR BY THE BAR. COORDINATE CONTROL SWITCH LOCATIONS WITH THE ARCHITECT.

LIGHTING FIXTURE SCHEDULE - EXTERIOR						
TYPE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	LAMPING	COMMENTS
LTG-10	EXTERIOR CYLINDER SCENCE	REJUVENATION OR APPROVED ALTERNATE	THORBURN NARROW WALL SCENCE #A7004, WET RATED	DARK ALUMINUM	5W LED	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
LTG-11	EXTERIOR CAGE LIGHT SCENCE	SCHOOLHOUSE LIGHTING OR APPROVED ALTERNATE	FACTORY 4 OUTDOOR SCENCE, WET RATED. PROVIDE CAGE	BLACK BK	MAX WATTAGE 100W, LED LAMP TBD	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
LTG-12	STRIKE LIGHTS	WILSON JENSEN LIGHTING OR APPROVED ALTERNATE	CLC-2 SERIES, NON-SUSPENDED L2-2 STRIKE LIGHTS W/ G.C. SOCKETS, WET RATED. FIXTURE IS CUTTABLE IN FIELD.	BLACK	7W LED PER SOCKET	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION. GC TO VERIFY LENGTHS IN FIELD PRIOR TO ORDERING FIXTURE.

COMcheck Software Version 4.1.5.5
Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: JUNCTION BAKERY
Project Type: Addition
Exterior Lighting Zone: 2 (Neighborhood business district (L2Z))

Construction Site: 1508 MT VERNON AVENUE, ALEXANDRIA, VA 22304
Owner/Agent: [Blank]
Designer/Contractor: [Blank]

Area/Surface Category	Quantity	Allowed Watts / Unit		Allowed Watts (B X C)
		B	D	
Drivng area	507 sq	0.25	Yes	62
		Total Tradable Watts (B) =		62
		Total Allowed Watts =		622
		Total Allowed Supplemental Watts (B) =		400

(A) Wattage reductions are only allowed between tradable areas/surfaces.
(B) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	Proposed Exterior Lighting Power		C	D	E
	B	A			
Drivng area (SEE 507 sq): Tradable Wattage	1	14	5	70	
LED 2, L10-12: Other	1	108	7	882	
		Total Tradable Proposed Watts =		952	

Exterior Lighting PASSES

Exterior Lighting Compliance Statement
Compliance Statement: The proposed exterior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5, and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name: _____ Title: _____ Signature: _____ Date: _____

Project Title: JUNCTION BAKERY
Data Filename: P:\2022\Projects\2022-046 Junction Bakery Bar Addition\0 Permit Forms\ComCheck\Bakery Patl Page 1 of 5
Report date: 04/01/23

COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKERS BREAD LLC
NOE LINDHJ
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(703) 571-3335
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(703) 202-350-4244
(W) WWW.3877DESIGN.COM

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6861 ELM STREET
SUITE 200
MCLEAN, VA 22101
(703) 888-0649
(W) WWW.BEENGRS.COM

FOOD SERVICE:
SINGER EQUIPMENT COMPANY
JAMES FEUSTEL
180 HELLER PLACE
BELLMAWR, NJ 08031
(610) 646-702-9922
(W) WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE, ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX
- INTERIOR PERMIT - 3.31.2023
 - EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023

SEAL & SIGNATURE:



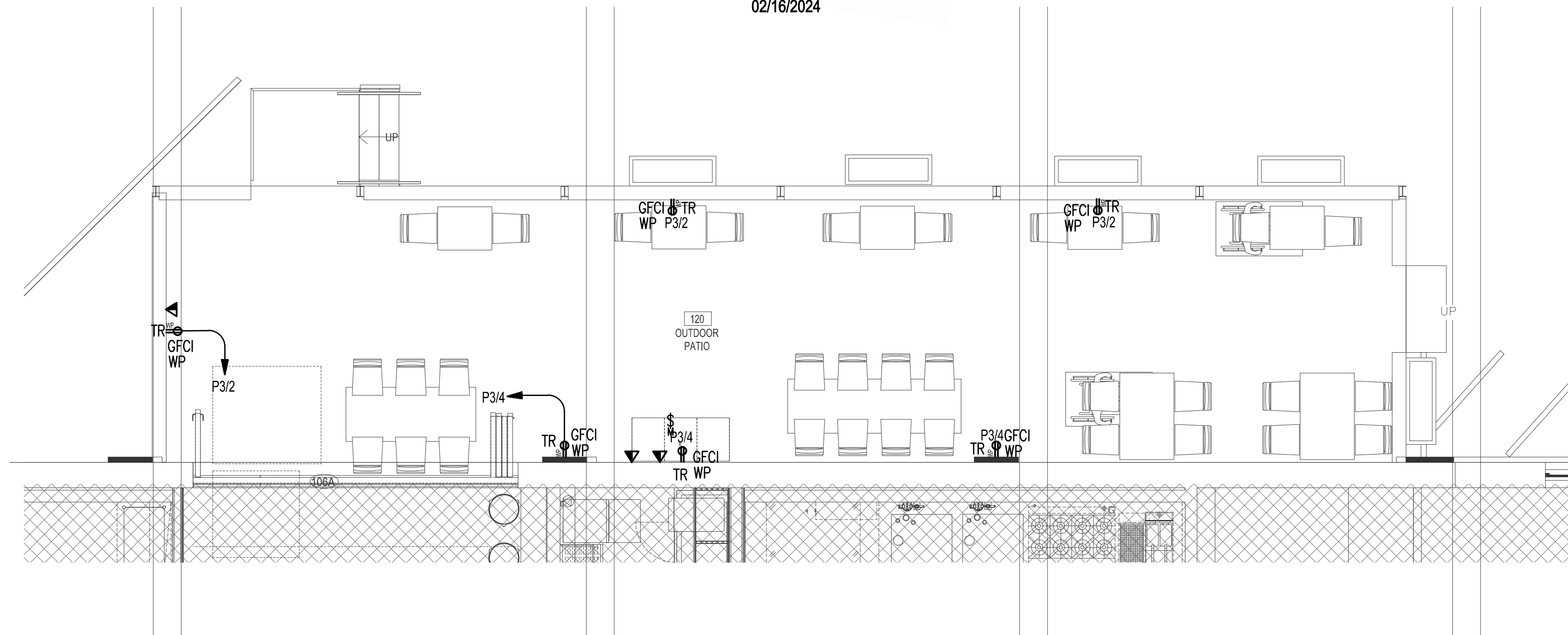
ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: LIGHTING PLAN
PROJECT NO: 2022-46
DATE ISSUED: 03/31/23
SCALE: As indicated

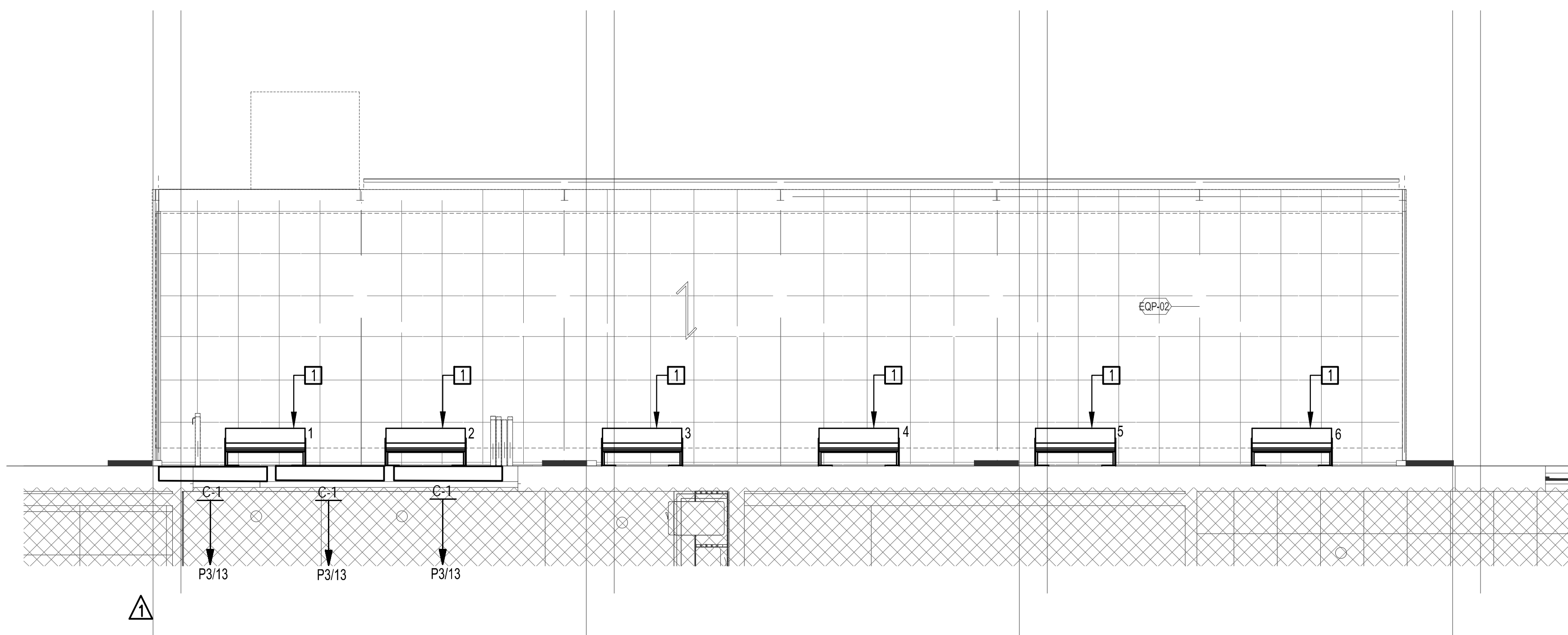
EXTE-101

VOID

02/16/2024



1 POWER PLAN
1/4" = 1'-0"



2 EQUIPMENT POWER PLAN
1/4" = 1'-0"

GENERAL NOTES:

- A. REFER TO ARCHITECTURAL AND KITCHEN PLANS, DETAILS, AND ELEVATIONS FOR LOCATIONS, MOUNTING HEIGHTS, AND FINISHES FOR ALL ELECTRICAL DEVICES.
- B. PROVIDE CONDUIT, WIRE, OVERCURRENT PROTECTION, ETC. FOR COMPLETE ELECTRICAL DEVICE INSTALLATION AS DEFINED ON PLANS.
- C. FIELD COORDINATE EXACT ROUTING OF ALL NEW FEEDERS AND BRANCH CIRCUITS.

KEYED NOTES:

- 1. CONTROL SWITCHES FOR THE HEATERS ARE PLACED IN THE INTERIOR BY THE BAR. COORDINATE CONTROL SWITCH LOCATIONS WITH THE ARCHITECT.



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
BAKER'S BREAD LLC
NOE LANDINI
115 KING STREET
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
TECH 24
5256 EISENHOWER AVE
ALEXANDRIA, VA 22304
(703) 233-8685
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
//3877
3333 K STREET NW, SUITE 60
WASHINGTON DC 20007
(T) 202.350.4244
(W) WWW.3877.DESIGN

MEP ENGINEER:
BUILT ENVIRONMENT ENGINEERS
6861 ELM STREET
SUITE 200
MCLEAN, VA 22101
(T) 703.888.0649
(W) WWW.BEEENGRS.COM

FOOD SERVICE:
SINGER EQUIPMENT COMPANY
JAMES FEUSTEL
180 HELLER PLACE
BELLMAWR, NJ 08031
(T) 646-702-9922
(W) WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA

ADDRESS: 1508 MT VERNON AVENUE
ALEXANDRIA, VA 22301

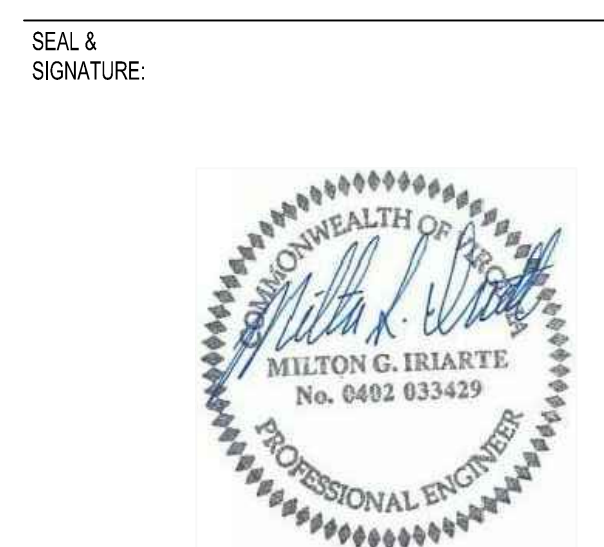
- SHEET SUBMISSION INDEX**
- INTERIOR PERMIT - 3.31.2023
 - EXTERIOR PERMIT - 3.31.2023
 - PERMIT RESPONSE - 6.07.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023

Type Mark	Description	Manufacturer	Model	Finish	Comments
EOP-01	OUTDOOR WALL HEATERS	SCHWANK	2152-N	BLACK	GC TO PROVIDE: (6) TWO STAGE HEATERS, 30 DEGREE MOUNTING BRACKET; (2) JM-0203-TS 3-GANG SCHWANK 2-STAGE SWITCHES, (ADJACENT TO LIGHTING CONTROLS); (1) MULTI MOUNT 150VA TRANSFORMER FOR ALL 6 HEATERS - MOUNTED WITHIN THE SPACE IN A CONCEALED, DRY AND VENTILATED LOCATION. CONTACT ERIC KAHN FOR PURCHASE: 415-884-2880 ERIC@ALPESCO-HEATING.COM
EOP-02	Haiku 60In Dia	Big Ass Fans	60" inch MK-HK-4-05-2506-A258-F258		OMIT LIGHTS, COORDINATE DOWNROD ATTACHMENT WITH SLOPED CEILING. COORDINATE CONTROL SPEC WITH OWNER AND INCLUDE IN PURCHASE. PROVIDE ALL PARTS AND PIECES REQUIRED FOR FULL AND COMPLETE INSTALLATION. PROVIDE STABILIZER KIT.

Type Mark	CFM	HP	MCA	Dimensions (H x L x W)	MOP	Weight (LBS)	Basis of Design (BERNER)
C-1	1680	1/5	1.7	7.5' x 61" x 13.6"	15	57	ALC08-1060A

1. ELECTRICAL BASED IN 208V/1PH/60HZ



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: POWER PLAN
PROJECT NO: 2022-46
DATE ISSUED: 03/31/23
SCALE: As indicated

EXTE-201

GENERAL NOTES

- SCOPE:** FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SERVICES AND SKILLED SUPERVISION NECESSARY TO PROVIDE, INSTALL, TEST AND ADJUST HVAC AND PLUMBING SYSTEMS COMPLETE, OPERATIONAL, AND READY FOR USE, AS INDICATED IN THESE DRAWINGS AND SPECIFICATIONS.
- PERMITS, LICENSES & FEES:** PAY ALL REQUIRED FEES AND OBTAIN ALL NECESSARY PERMITS AND LICENSES FOR LEGAL REMOVAL AND INSTALLATION OF THE WORK.
- APPLICABLE CODES AND STANDARDS:** ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS AND ANY REGULATIONS EFFECTIVE IN THE PROJECT JURISDICTION. ALL CODE CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLUTION. APPLICABLE CODES AND STANDARDS ON THIS PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - VIRGINIA BUILDING CODE, 2018
 - VIRGINIA MECHANICAL CODE, 2018
 - VIRGINIA FUEL GAS CODE 2018
 - VIRGINIA ENERGY CONSERVATION CODE 2018
 - NFPA 70, NATIONAL ELECTRICAL CODE 2017
 - NFPA 72, NATIONAL FIRE ALARM CODE
 - 2010 ADA STANDARD
- DRAWING ACCURACY:** DRAWINGS ARE DIAGRAMMATIC AND NOT INTENDED TO BE SCALED. WHEN INDICATED, ALL WORK SHALL BE PHYSICALLY LOCATED IN ACCORDANCE WITH ANNOTATED DIMENSIONS ON ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS.
- SITE VISIT:** THE CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS, EQUIPMENT, DUCTWORK, PIPING, WIRING, CONSTRUCTION, FINISHES, AND STRUCTURE PRIOR TO START OF WORK. WHEN ANY DISCREPANCY OR CONFLICT IS DETECTED AT THE PROJECT SITE, THE OWNER SHALL BE NOTIFIED IMMEDIATELY PRIOR TO COMMENCING WORK.
- COORDINATION:** CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK OF ALL DIVISIONS AND TRADES PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK AND RACEWAYS. COORDINATE THE LOCATION OF ALL NEW EQUIPMENT, DUCTWORK, AND DEVICES WITH NEW STRUCTURE AND EQUIPMENT BEFORE FABRICATION. MAKE NECESSARY ACCOMMODATIONS TO MEET THE INTENT OF THE DRAWINGS AND ENSURE A COORDINATED INSTALLATION.
- SUBMITTALS AND SUBSTITUTIONS:** CONTRACTOR SHALL PROVIDE PRODUCT INFORMATION, SHOP DRAWINGS, DOCUMENTS AND WARRANTIES FOR MATERIALS AND SERVICES TO THE OWNER FOR APPROVAL. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE IN WRITING. SUBSTITUTE MATERIAL SHALL BE COMPATIBLE WITH OTHER COMPONENTS OF THE SYSTEM.
- INSTALLATION OF NEW WORK:** INSTALLATION OF EQUIPMENT, DUCTWORK, PIPING, FIXTURES, ETC. SHALL BE DONE IN NEAT AND WORKMANLIKE MANNER, AND SHALL CONFORM TO THE LATEST TRADE PRACTICES. REFER TO ARCHITECTURAL DRAWINGS TO VERIFY EXACT LOCATION OF EQUIPMENT, FIXTURES, ETC. COORDINATE DUCTWORK AND PIPING WITH THE WORK OF OTHER TRADES PRIOR TO FABRICATION. MAKE NECESSARY ACCOMMODATIONS TO MEET THE INTENT OF THE DRAWINGS AND ENSURE A COORDINATED INSTALLATION.
- DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE INTENT OF THE CONTRACT. DESIGN DRAWINGS ARE NOT TO BE CONSIDERED AS SUBSTITUTION TO SHOP DRAWINGS. DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS CONDITIONS ALLOW TO COMPLETE THE INTENT OF THE CONTRACT. THE RIGHT IS RESERVED BY THE ENGINEER TO MAKE MINOR CHANGES IN LOCATIONS AND ARRANGEMENTS WHEN REQUIRED BY JOB DEVELOPMENT WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
- MOUNTING HEIGHTS:** COORDINATE MOUNTING HEIGHTS OF DEVICES ON FINISHED WALLS TO PROVIDE A NEAT AND SYMMETRICAL APPEARANCE. SEE ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS FOR HEIGHTS AND LOCATIONS OF EQUIPMENT. DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO CENTERLINE OF EQUIPMENT.
- WARNING SIGNS:** PROVIDE SIGNS, BARRICADES, GUARDS, AND PROTECTION FOR SAFETY DURING CONSTRUCTION. WORK AREA SHALL BE KEPT CLEAN, CLEAR OF OBSTRUCTIONS, WELL ILLUMINATED, AND UNDER ORGANIZED MATERIAL STORAGE.
- FIRE STOPPING:** REFER TO ARCHITECTURAL PLANS FOR DETAILS AND REQUIREMENTS FOR CONDUIT AND PIPING PENETRATIONS THROUGH WALLS, FLOORS AND CEILINGS.
- REPAIR:** ALL WORK SHALL BE DONE IN SUCH A MANNER TO MINIMIZE DAMAGE TO ADJACENT EQUIPMENT, PIPING, DUCTWORK, WIRING, FIXTURES, CONSTRUCTION, FINISHES AND STRUCTURE. ANY DAMAGE RESULTING FROM WORK UNDER THIS PROJECT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CLEANING & MATERIAL DISPOSITION:** CLEAR ALL DEBRIS FROM THE AREA OF WORK AND LEAVE SITE IN CLEAN CONDITION. CLEAN ALL EQUIPMENT ENCLOSURES, INSIDE AND OUTSIDE. ALL DEMOLISHED EQUIPMENT AND DEBRIS NOT TO BE REUSED OR SALVAGED SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- HAZARDOUS MATERIALS:** IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED IN AREAS EXPECTED TO CONTAIN ACMs, PCBs, OR LEAD, THE CONTRACTOR SHALL CEASE DEMOLITION ACTIVITIES AND NOTIFY THE OWNER.
- PROVIDE DIELECTRIC PIPING UNIONS BETWEEN DISSIMILAR METALS.
- PIPING SHALL NOT COME INTO DIRECT CONTACT WITH CONCRETE OR STRUCTURE IN ANY LOCATION.
- VALVES AND PIPING ACCESSORIES SHALL BE IN LINE SIZE. PROVIDE SUPPLY STOP VALVES AT ALL NON-FLUSH VALVE TYPE FIXTURES.
- PROVIDE CODE COMPLIANT (ASSE) BACKFLOW PREVENTER WITH SHUT OFF VALVES, UNION, AND ESCUTCHEON AT EACH EQUIPMENT CONNECTION THAT REQUIRES A POTABLE WATER CONNECTION.
- CONTRACTOR IS PROHIBITED FROM USING LEAD-BASED SOLDER.
- ALL PIPING PENETRATING CEILINGS AND WALLS SHALL BE INSTALLED WITH ESCUTCHEONS AT PENETRATION. PIPING PENETRATING EXTERIOR WALLS, ROOFS AND FLOOR AND CEILING SHALL BE FLASHED IN APPROVED MANNER AND SHALL BE SEALED WATERTIGHT TO MAINTAIN INTEGRITY OF SEPARATION. PIPING PENETRATING FIRE RATED PARTITIONS SHALL BE INSTALLED WITH FIRE RATED SEALS AS REQUIRED BY ARCHITECT AND AUTHORITY HAVING JURISDICTION.
- PROVIDE ACCESS TO SYSTEM COMPONENTS THAT ARE CONCEALED AND REQUIRE PERIODIC SERVICE.
- PLUMBING EQUIPMENT, PIPING, INSULATION, ETC., INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE DEVELOPMENT AND COMBUSTIBILITY.

GENERAL NOTES

- PROVIDE SHUTOFF VALVES ON BRANCH PIPING AND SUPPLIES TO INDIVIDUAL FIXTURES AND EQUIPMENT. PROVIDE VALVES ON ALL WATER, ETC, MAIN BRANCHES IN CORRIDORS AND WHERE INDICATED ON DRAWINGS. VALVES SHALL BE INSTALLED WITH STEM UP. VALVES INSTALLED SHALL BE PERMANENTLY ACCESSIBLE FOR VALVES 3" DIAMETER AND SMALLER AND SHALL BE CHAIN OPERATED FOR VALVES LARGER THAN 3" DIAMETER.
- VERIFY EXACT SIZES, LOCATIONS, INVERTS AND ELEVATIONS PRIOR TO RUNNING ANY PIPING. REFER TO ARCHITECTURAL & CIVIL DRAWINGS FOR EXACT LOCATIONS OF FIXTURES AND EQUIPMENT.
- SLOPE HORIZONTAL WASTE PIPING AS FOLLOWS: 2-1/2" DIAMETER AND SMALLER AT 2%, 3" DIAMETER AND LARGER AT 1% IN DIRECTION OF FLOW.
- GUARANTEE: ALL PLUMBING WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE FINAL INSTALLATION BY THE OWNER'S REPRESENTATIVE.
- ALL ABANDONED PLUMBING PIPING SHALL BE REMOVED (BOTH FROM ABOVE CEILINGS AND BELOW SLAB).

PIPE LINE TYPES

	SANITARY PIPE ABOVE FLOOR
	SANITARY PIPE BELOW FLOOR
	VENT
	COLD WATER
	HOT WATER
	HOT WATER RETURN
	EXISTING SANITARY PIPE ABOVE FLOOR
	EXISTING PIPE BELOW FLOOR
	EXISTING VENT
	EXISTING COLD WATER
	EXISTING HOT WATER
	EXISTING HOT WATER RETURN
	STORM
	FIRE PROTECTION
	SPRINKLER PIPE
	GAS PIPE
	EXISTING GAS PIPE

SYMBOLS

	P TRAP
	PIPE BREAK (SINGLE LINE)
	PIPE FITTING DOWN OR DROP
	PIPE FITTING TEE DOWN
	PIPE FITTING UP
	SHUT OFF VALVE
	CHECK VALVE -- BACKFLOW PREVENTER
	CLEANOUT
	CAP OR END OF PIPE
	OS&Y
	POINT OF RECONNECTION
	EXTENT OF DEMOLITION
	REGULATOR
	METER

DRAWING LIST

- EXTP-001 GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
 EXTP-101 LEVEL 1 - NEW WORK PLAN

ABBREVIATIONS

ABV	ABOVE
ASME	AMERICAN SOC. OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOC. FOR TESTING & MATERIAL
BEL	BELOW
BLDG	BUILDING
CO	CLEANOUT
CW	COLD WATER
DF	DRINKING FOUNTAIN
DN	DOWN
DW	DISHWASHER
DWG	DRAWING
ED	EMERGENCY FLOOR DRAIN
ET	EXPANSION TANK
(E)	EXISTING
EX	EXISTING
ETR	EXISTING TO REMAIN
EWH	ELECTRIC WATER HEATER
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
GWH	GAS WATER HEATER
HW	HOT WATER
HWR	HOT WATER RETURN
LAV	LAVATORY
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PSK	PANTRY SINK
REF	REFRIGERATOR
SD	SHOWER DRAIN
SH	SHOWER
TV	TEMPERING VALVE
UR	URINAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WC	WATER CLOSET



COPYRIGHT NOTICE:
 STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

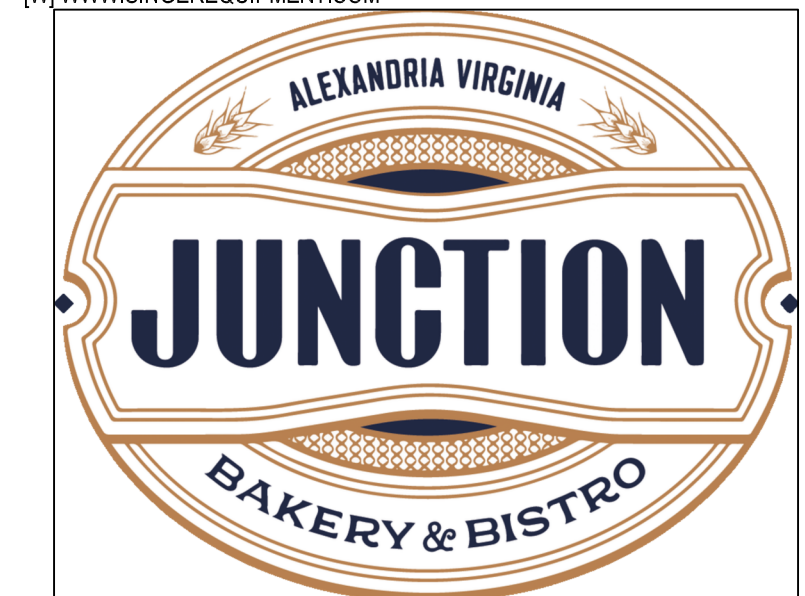
OWNER:
 BAKERS BREAD LLC
 NOE LINDHIE
 115 KING STREET
 ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
 TECH 24
 5256 EISENHOWER AVE
 ALEXANDRIA, VA 22304
 (T) 571.233.8595
 (W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
 /3877
 3333 K STREET NW, SUITE 60
 WASHINGTON DC 20007
 (T) 202.350.4244
 (W) WWW.3877DESIGN.COM

MEP ENGINEER:
 BUILT ENVIRONMENT ENGINEERS
 6861 ELM STREET
 SUITE 20
 MCLEAN, VA 22101
 (T) 703.888.0649
 (W) WWW.BEENGRS.COM

FOOD SERVICE:
 SINGER EQUIPMENT COMPANY
 JAMES FEUSTEL
 180 HELLER PLACE
 BELLMOR, NJ 08031
 (T) 646-702-9922
 (W) WWW.SINGEREQUIPMENT.COM



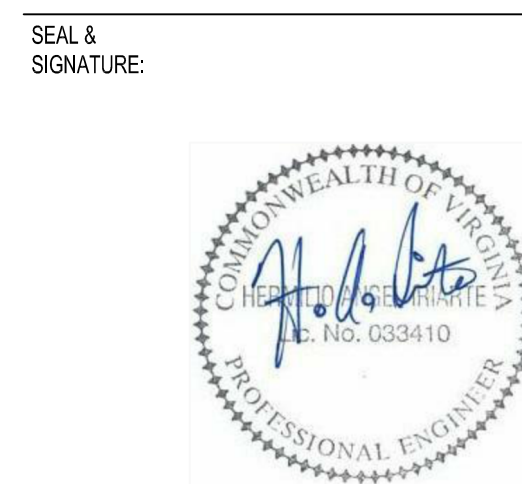
ISSUED FOR PERMIT

DRAWING DATA

PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX**
- INTERIOR PERMIT - 3.31.2023
 - EXTERIOR PERMIT - 3.31.2023
 - PERMIT RESPONSE - 6.07.2023

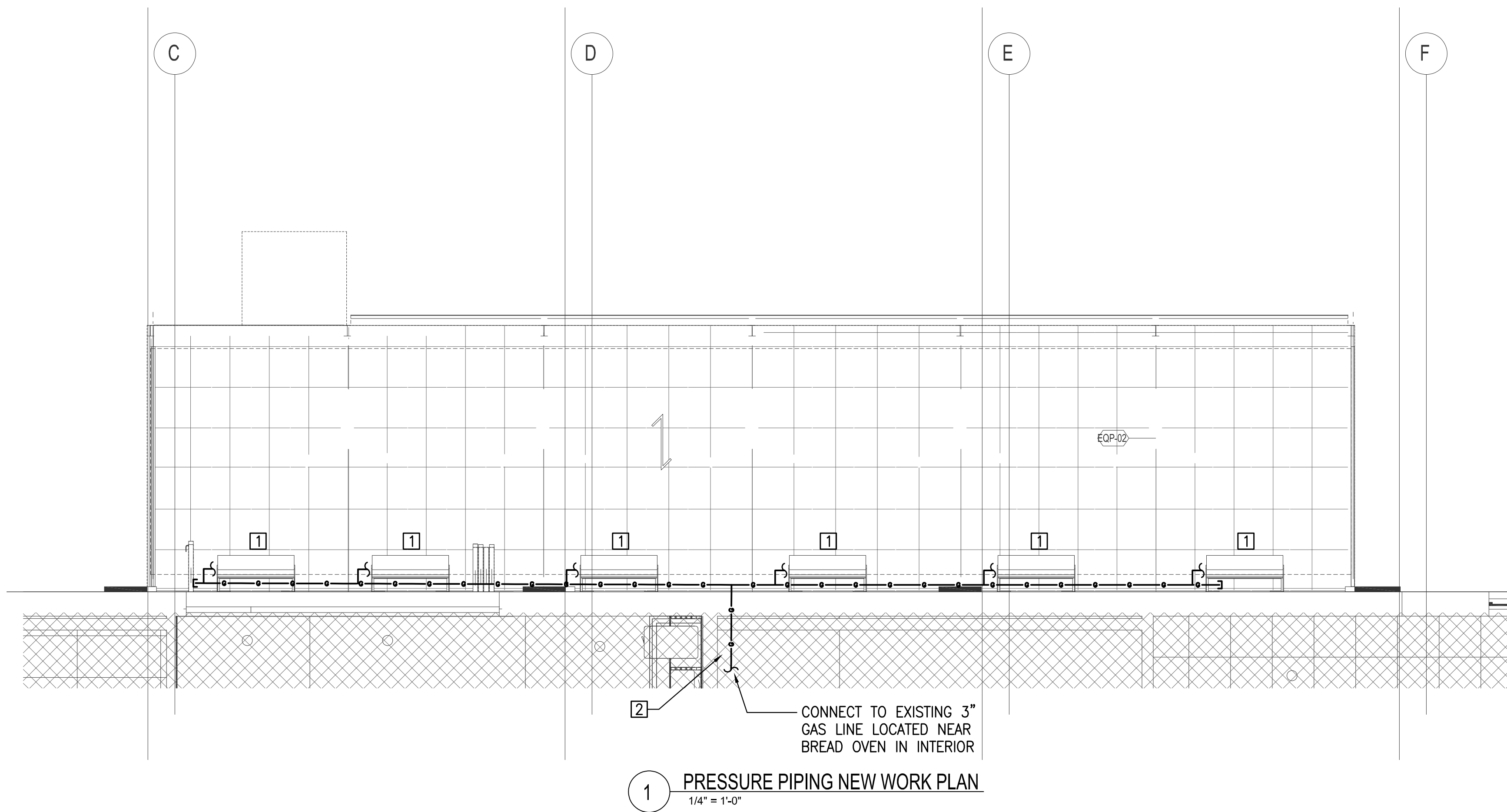
REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: GENERAL NOTES, SYMBOLS, & ABBREVIATIONS
PROJECT NO: 2022-46
DATE ISSUED: 03/31/23
SCALE: As indicated

EXTP-001

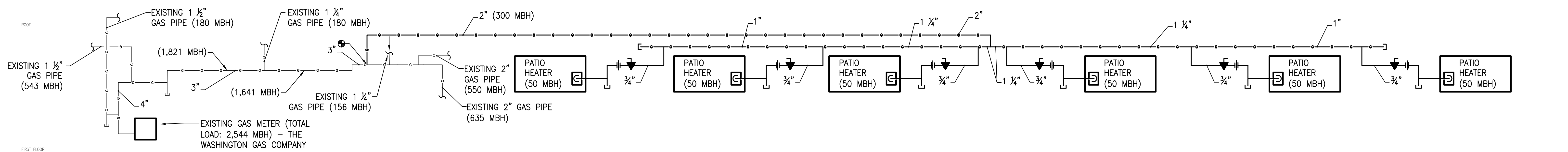


GENERAL NOTES:

- A. SEE DRAWING P001 FOR GENERAL NOTES, SYMBOLS, & ABBREVIATIONS.
- B. FIELD VERIFY ADDITIONAL PIPING NOT SHOWN ON PLAN. VARIATIONS MAY BE ENCOUNTERED DURING DEMOLITION/CONSTRUCTION.
- C. CONTRACTOR IS TO REPAIR WALLS, SLAB, & CEILING AREAS AFFECTED BY PLUMBING WORK.

KEYED NOTES:

- 1. PATIO HEATER (50 MBH) REFER TO ARCHITECTURAL DWGS FOR DETAILS.
- 2. PIPING TO BE ABOVE FINISHED CEILING INSIDE BLDG.



GAS RISER NOTES:

- 1. PLUMBING GAS WORK BEGINS AFTER POINT OF CONNECTION ON SHOWN RISER DIAGRAM AFTER GAS METER AND REGULATOR. WASHINGTON GAS TO PROVIDE GAS METER AND REGULATOR (OUTDOORS).
- 2. BASIS OF DESIGN IS SCHEDULE 40 BLACK STEEL.
- 3. BASIS OF DESIGN IS LONGEST LENGTH METHOD FROM 2018 IFGC.
- 3.1. DESIGN BASIS = 2015 IFGC, TABLE 402.4(1)
 - INLET PRESSURE = LESS THAN 2.0 PSI
 - PRESSURE DROP = 0.3 IN WC
 - SPECIFIC GRAVITY = 0.60
 - GAS PIPE MEASURED LENGTH = 125 FT
- 4. SHUTOFF VALVES SHALL BE ACCESSIBLE.
- 5. PROVIDE SHUTOFF VALVES FOR ALL APPLIANCES AND EQUIPMENT AS REQUIRED.
- 6. PROVIDE DIRT LEGS AS REQUIRED.
- 7. REFER TO FLOOR PLANS FOR ADDITIONAL PIPING AND OFFSETS NOT SHOWN.
- 8. PROVIDE EXPANSION/DEFLECTION FITTINGS AS REQUIRED FOR ALL PIPING THAT PASSES ACROSS BLDG WALLS (OR JOINTS) AS WELL AS ROOFS (WHERE HORIZONTAL OFFSETS ARE NOT PROVIDED).
- 9. PROVIDE KICK PLATES AS REQUIRED FOR GAS PIPING IN WALLS AS PER IFGC 404.7.



COPYRIGHT NOTICE:
 STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:
 BAKER'S BREAD LLC
 NOE LANDING
 115 KING STREET
 ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:
 TECH 24
 5256 EISENHOWER AVE
 ALEXANDRIA, VA 22304
 [T] 571.233.8585
 [W] WWW.TECH24CONSTRUCTION.COM

ARCHITECT:
 /3877
 3333 K STREET NW, SUITE 60
 WASHINGTON DC 20007
 [T] 202.350.4244
 [W] WWW.3877.DESIGN

MEP ENGINEER:
 BUILT ENVIRONMENT ENGINEERS
 6861 ELM STREET
 SUITE 20
 MCLEAN, VA 22101
 [T] 703.888.0649
 [W] WWW.BEENGRS.COM

FOOD SERVICE:
 SINGER EQUIPMENT COMPANY
 JAMES FEUSTEL
 180 HELLER PLACE
 BELLMOR, NJ 08631
 [T] 646-702-9922
 [W] WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

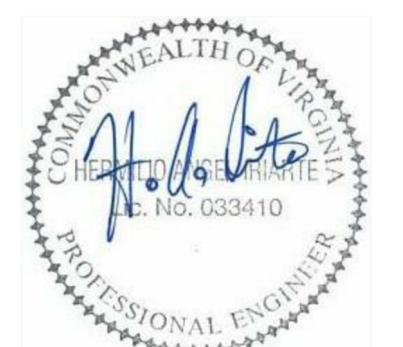
PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX**
- INTERIOR PERMIT - 3.31.2023
 - ISSUED FOR CONSTRUCTION INTERIOR - 08.11.2023

REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023
3	EXTERIOR PERMIT REVISIONS	7 SEPT 2023

REVISED 1/25/2024

SEAL & SIGNATURE:



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: LEVEL 1 - NEW WORK PLAN
 PROJECT NO: 2022-46
 DATE ISSUED: 03/31/23
 SCALE: As indicated

EXTP-101