

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** Mark Boswell

**LOCATION:** Old and Historic Alexandria District  
229 South Payne Street

**ZONE:** CL/Commercial Low Zone

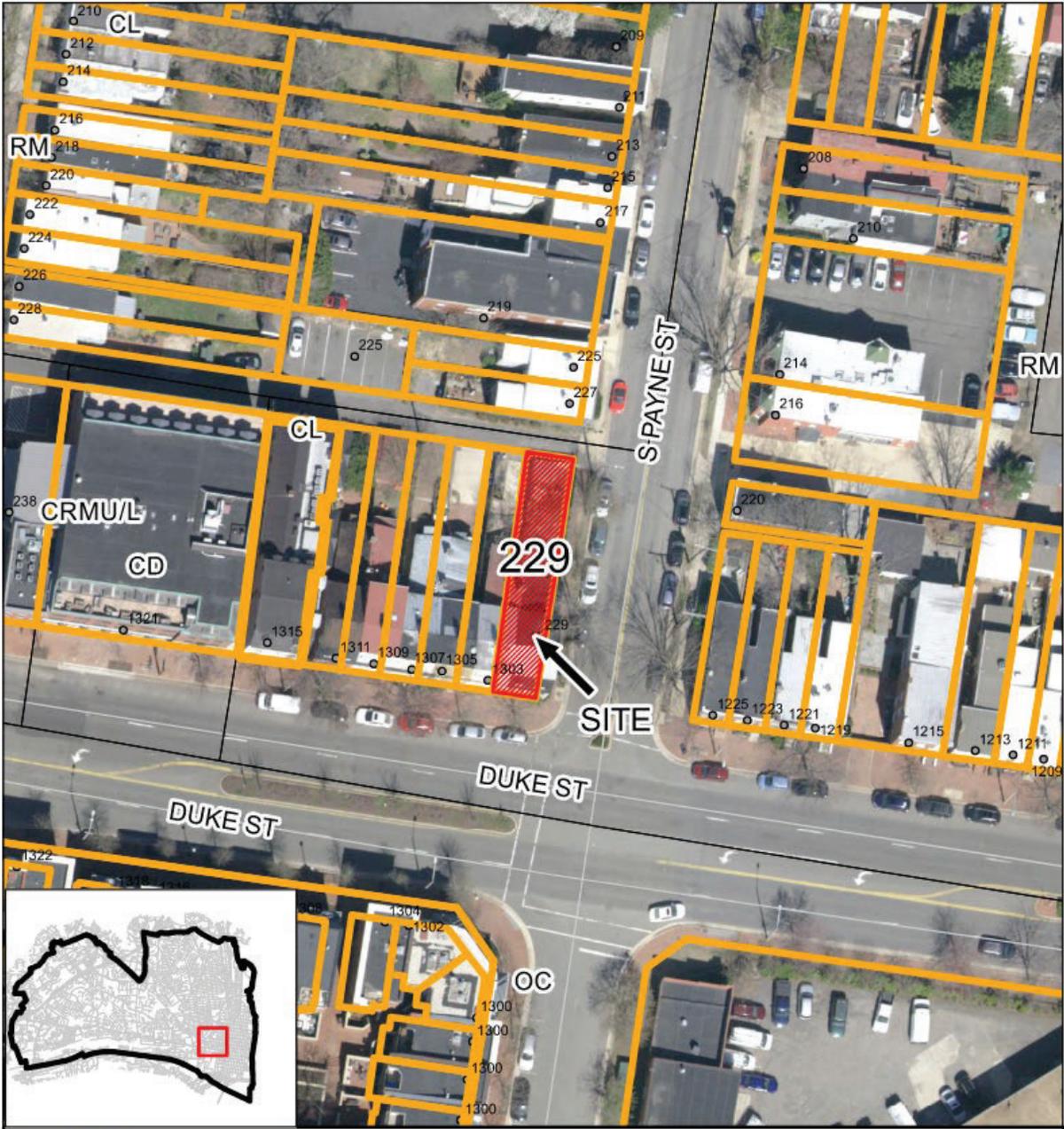
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) Certificate of Appropriateness for alterations and waiver of fence height as submitted, noting the recommendations of Alexandria Archaeology.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR#2025-00508 & BAR#2025-00509 OHAD**  
**229 South Payne Street**



**I. APPLICANT’S PROPOSAL**

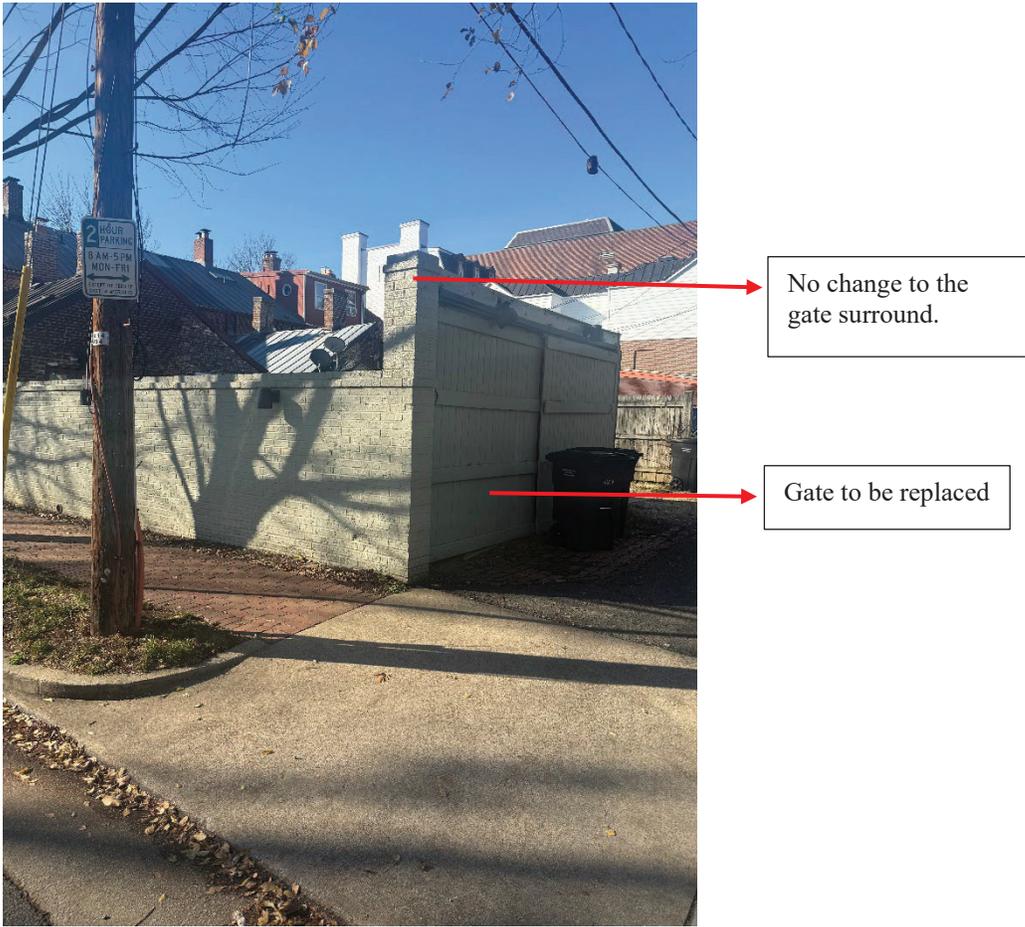
The applicant is requesting a Permit to Demolish (partial) to demolish an existing shed and a Certificate of Appropriateness to replace the fence (west property line) and gate (north property line).

Permit to Demolish/Capsulate

The project consists of demolishing a 50-sf shed at the rear of the property.

Certificate of Appropriateness

The applicant is proposing to replace the existing wood gate with a triple track bypass three door wood gate. The applicant is proposing to replace only the gate. No change to the gate surround which is 8 feet high is being proposed (Figure 1).



**Figure 1 - Rear gate to be replaced**

The applicant is also proposing to replace the west property line wood fence with a new 6’-8” wood fence which exceeds the allowed height of 6’-0” therefore the applicant is requesting a waiver of fence height for that elevation only (Figure 2).



Figure 2 - West elevation fence to be replaced in-kind

The applicant is also proposing to build a new shed to be placed on the west/rear portion of the property's backyard. The new 5'-5" x 9'-17" one-story shed will be clad with vertical wood siding and covered with standing seam metal roof. The new shed will be minimally visible from South Payne Street (Figure 3).

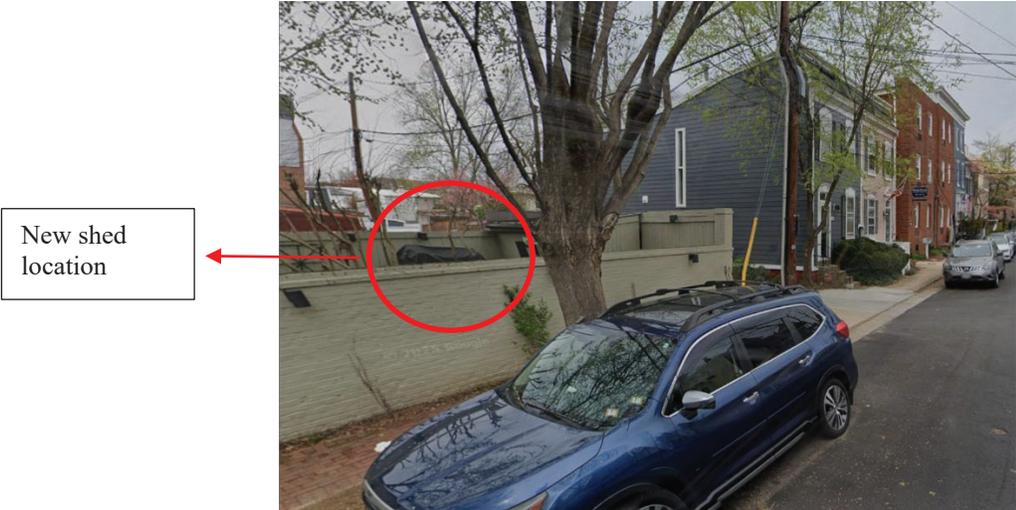


Figure 3 - rear yard view from South Payne Street

Site context

The subject property sits on the northwest corner of South Payne and Duke intersection. There is a public alley running adjacent to the property rear. (Figure 4).



Figure 4 – Subject property rear view from South Payne Street

**II. HISTORY**

Built by Thomas Swan in **1870**, this building is the last on the easternmost edge of the six rowhouses complex at the corner of South Payne and Duke streets. The buildings feature mansard roofs with dormers and corbelled masonry cornice.

According to the Alexandria Gazette, April 9, 1870, “local brevities” section, “The six new two-story brick buildings commenced by Mr. Thomas Swan on the site of the prison known during the War as the “Slave Pen” on Duke Street, are in rapid progress of erection.”

Furthermore, the Alexandria Deed Books 4/452 Jan. 20, 1875: “Thomas Swan and wife. Bond for \$2,000 to John S. Chapman, Commissioner of the Corporation Court. The property fronting 98 feet on Duke and 100 feet on Payne, ... together with all the houses and tenements thereon...”

*Previous BAR Approvals*

BAR2025-00355 & BAR2025-00403 – approval for skylights and rear door on 10/16/2025.

**III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

| <b>Standard</b> | <b>Description of Standard</b>  | <b>Standard Met?</b> |
|-----------------|---|----------------------|
| (1)             | Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?  | No                   |
| (2)             | Is the building or structure of such interest that it could be made into a historic shrine?   | No                   |
| (3)             | Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?  | No                   |
| (4)             | Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?  | N/A                  |
| (5)             | Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?  | No                   |
| (6)             | Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live? | No                   |

Staff does not believe that the proposed demolition rises to a level that meets any of the above criteria. The proposed shed demolition does not remove any portion of the building containing character-defining features of uncommon design or historic merit and does not compromise the integrity of the building. Thus, staff has no objection to the proposed work and recommends the Permit to Demolish be granted as submitted.

Certificate of Appropriateness

Section 7-202 of the zoning ordinance states that fences located in rear and side yards may be open or closed and cannot exceed six feet in height. The proposed fence complies with the BAR requirements, however the proposed 6'-8" height requires a waiver of fence height. Staff has no objection to the extra eight inches being proposed since the fence is located in between 229 S Payne and its neighbor at 1303 Duke Street and not in a vision clearance area. Staff has no objection to the new triple track bypass, three door wood gate and new shed as well.

Therefore, staff recommends approval of the project as submitted. Staff notes the recommendations of Alexandria Archaeology.

**STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

- C-1 Proposed reconstruction of existing shed and replacement of existing eight-foot fence will comply with zoning with conditions.
- C-2 Proposed shed to not be no larger than the provided square footage of 50 feet.
- F-1 Property is required to maintain 35% of the lot area as open space per Sec. 2-180 of the Zoning Ordinance.
- F-2 Property is below the required amount of required open space, but the reconstruction of the existing structure doesn't reduce the open space further. Therefore, it will comply.

**Code Administration**

- C-1 A building permit is required for review.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley adjacent to the parcel is to be used at any point of the construction process, the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 According to historic maps and aerial photographs, the dwelling at 229 S. Payne St. was built in the second half of the 19th century. The property has the potential to contain significant archaeological information pertaining to the post-Civil War development of Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease temporarily in the area of the discovery until a City

archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.

R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.

C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

**V. ATTACHMENTS**

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

BAR CASE# \_\_\_\_\_  
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 229 S. Payne Street

DISTRICT:  Old & Historic Alexandria  Parker – Gray  100 Year Old Building

TAX MAP AND PARCEL: 074.01-11-24 ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant:  Property Owner  Business *(Please provide business name & contact person)*

Name: Mark Boswell

Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_  
 Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Authorized Agent *(if applicable)*:  Attorney  Architect  \_\_\_\_\_

Name: Christopher Lyon Phone: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

**Legal Property Owner:**

Name: Mark Boswell  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - fence, gate or garden wall
  - HVAC equipment
  - shutters
  - doors
  - windows
  - siding
  - shed
  - lighting
  - pergola/trellis
  - painting unpainted masonry
  - other \_\_\_\_\_
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Demolish and replace 50 sqft shed, gate and fence in-kind to existing two-story single f

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**SUBMITTAL REQUIREMENTS:**

Check this box if there is a homeowner’s association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Christopher Lyon

Date: 11/06/2025

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name            | Address    | Percent of Ownership |
|-----------------|------------|----------------------|
| 1. Mark Boswell | [REDACTED] | 50%                  |
| 2. Gail Boswell | [REDACTED] | 50%                  |
| 3.              |            |                      |

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 229 S Payne Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name            | Address    | Percent of Ownership |
|-----------------|------------|----------------------|
| 1. Mark Boswell | [REDACTED] | 50%                  |
| 2. Gail Boswell | [REDACTED] | 50%                  |
| 3.              |            |                      |

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

| Name of person or entity | Relationship as defined by Section 11-350 of the Zoning Ordinance | Member of the Approving Body (i.e. City Council, Planning Commission, etc.) |
|--------------------------|---|---|
| 1.                       |   |   |
| 2.                       |   |   |
| 3.                       |   |   |

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/06/2025  
Date

Christopher Lyon  
Printed Name

Christopher Lyon  
Signature

|  |
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| <b>Project Team</b>  |
| <b>ARCHITECT</b><br>Rust Construction<br>3701B Mount Vernon Ave<br>Alexandria, VA 22305<br>703-836-6010              |
| <b>CONTRACTOR</b><br>Rust Construction<br>3701B Mount Vernon Ave<br>Alexandria, VA 22305<br>703-836-6010             |
| <b>STRUCTURAL ENGINEER</b><br>JVN Consulting<br>2248 Ontario Road, NW Unit 1<br>Washington, DC 20009<br>716-568-6182 |
| <b>CIVIL ENGINEER</b>  |
| <b>INTERIORS</b>   |
| <b>LANDSCAPE ARCHITECT</b>   |

|  |   |                          |                          |
|--|---|--------------------------|--------------------------|
| <b>PROJECT INFORMATION :</b>   |   |                          |                          |
| DEMOLISH AND REPLACE SO SOFT SHED, GATE AND FENCE IN-KIND TO EXISTING TWO-STORY SINGLE-FAMILY ATTACHED TOWNHOUSE DWELLING WITH ATTIC |   |                          |                          |
| ADDRESS:   | 229 S. Payne Street<br>Alexandria, VA 22314   |                          |                          |
| LOCATION:  | LOT 505 C-D FOUR NO. 1  |                          |                          |
| ZONING:  | CL  |                          |                          |
| SETBACKS:  | FRONT: 20' OR BLOCK FACE<br>SIDE: 1.5' @ MIN. ONLY FOR INTERIOR END LOTS >25' WIDE<br>REAR: 1.5' @ MIN. |                          |                          |
| LOT AREA:  | 1,785 SF<br>MIN LOT SIZE: 1,980 SF FOR TOWNHOUSE  |                          |                          |
| ALLOWED:   | EXISTING:   | PROPOSED:                |                          |
| BUILDING HEIGHT:   | 35'   | 28'-10 1/4"              | 28'-10 1/4"              |
| OPEN SPACE:  | 35%   | 34.2% (610 SF)           | 34.2% (610 SF)*          |
| FLOOR AREA RATIO:  | 1.5 (Townhouse in Old Town)   | .985 (1,758 SF/1,785 SF) | .985 (1,758 SF/1,785 SF) |
| PARKING:   | 0 SPACES REQ'D (Enhanced Transit Area)  | 0 SPACES                 | 0 SPACES                 |
| 17.85' LOT WIDTH<br>MIN. LOT WIDTH 18' FOR INTERIOR LOT, 26' FOR END LOT   |   |                          |                          |
| * : PROPOSED OPEN SPACE TO MATCH EXISTING NON-COMPLYING OPEN SPACE   |   |                          |                          |
| <b>BUILDING AREA:</b>  |   |                          |                          |
|  | EXISTING:   | PROPOSED:                |                          |
| FIRST FLOOR AREA:  | 1,037 SF  | 1,037 SF                 |                          |
| SHED AREA:   | 50 SF   | 50 SF                    |                          |
| SECOND FLOOR AREA:   | 580 SF  | 580 SF                   |                          |
| ATTIC FLOOR AREA:  | 449 SF  | 449 SF                   |                          |
| TOTAL FLOOR AREA:  | 2,116 SF  | 2,116 SF                 |                          |
| AREA EXCLUDED FROM FAR:  |   |                          |                          |
| STAIRS:  | 69 SF   |                          |                          |
| LAVATORIES:  | 103 SF  |                          |                          |
| AREA < 7' HEIGHT:  | 136 SF  |                          |                          |
| PLANS PREPARED BASED ON THE FOLLOWING CODES:   |   |                          |                          |
| 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC)   |   |                          |                          |
| 2021 VIRGINIA CONSTRUCTION CODE  |   |                          |                          |
| 2021 VIRGINIA RESIDENTIAL CODE   |   |                          |                          |
| 2021 VIRGINIA ENERGY CONSERVATION CODE   |   |                          |                          |
| 2021 VIRGINIA EXISTING BUILDING CODE   |   |                          |                          |

# Boswell Residence

229 S. Payne Street  
Alexandria VA 22314

|                          |                          |
|--------------------------|--------------------------|
| <b>Surface Materials</b> |                          |
| Black Flurring           | Ceramic Tile - Six Vents |
| Black Flurring           | Stone Tile - Six Vents   |
| Flurred Concrete         | Flagstone Irregular      |
| Shingles - Shingles      | Flagstone Rectangular    |
| Metal Roof               | Wood Floor - Solid       |
| Slate Roof               | Stone Veneer             |

|                          |                    |
|--------------------------|--------------------|
| <b>Section Materials</b> |                    |
| Block                    | Earth              |
| Poured Concrete          | Steel              |
| CMU                      | Finish Wood        |
| Rubble Stone             | Plywood            |
| Fire Brick               | Dimensional Lumber |
| Finish Stone Slate       | Wood Blocking      |

|                                    |                       |
|------------------------------------|-----------------------|
| <b>Drawing Symbols</b>             |                       |
| Building Section                   | Wall Section Detail   |
| Interior Elevation                 | Roof Slope            |
| Level Elevation: Section Elevation | Level Elevation: Plan |
| Revision                           | Window                |
| Door                               | Structure Member      |
| Footing                            |                       |



1 Front Elevation  
SCALE: 1/8" = 1'-0"

|   |
|---|
| <b>Drawing List</b>                         |
| T1 Cover                                    |
| T2 Site Plan                                |
| T3 Project Photos                           |
| T4 Product Specifications - Door            |
| T5 Product Specifications - Roof            |
| T6 Product Specifications - Window          |
| T6 Product Specifications - Window          |
| T6 Product Specifications - Gate            |
| T6 Product Specifications - Fence           |
| D0 Demolition Plans                         |
| A1-0 Proposed Plans                         |
| A2-1 Front Existing and Proposed Elevations |
| A2-2 Right Existing and Proposed Elevations |
| A2-3 Rear Existing and Proposed Elevations  |
| A2-4 Left Existing and Proposed Elevations  |
| A2-5 Shed Elevations                        |

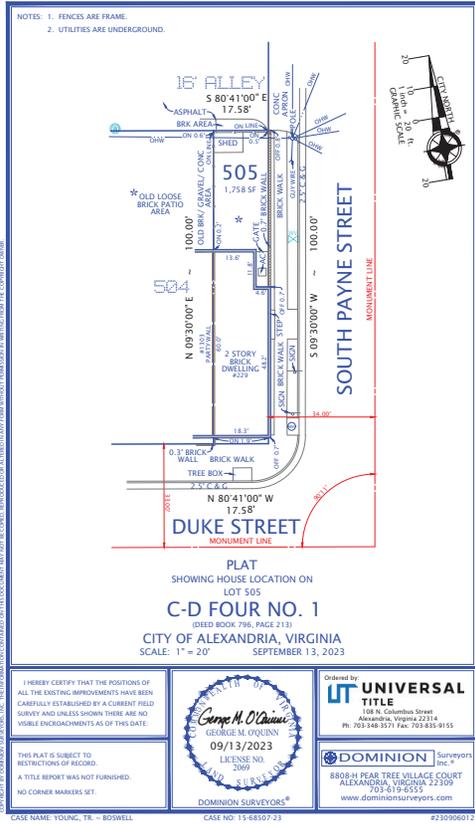


RUST  
CONSTRUCTION  
3701B Mount Vernon Ave  
Alexandria, VA 22305  
703-836-6010

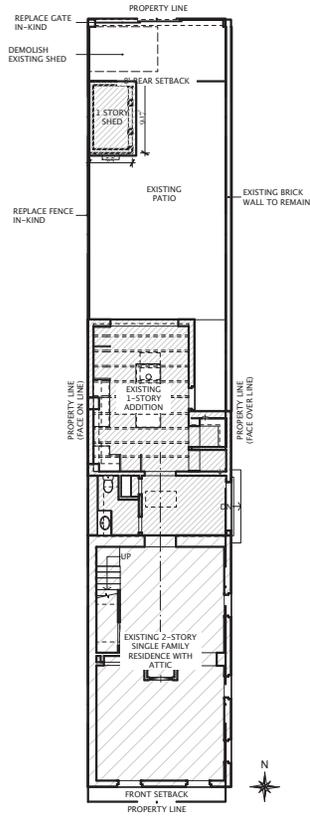
Boswell Residence  
229 S. Payne Street Alexandria VA 22314

Cover

|      |         |
|------|---------|
| T1   |         |
| Date | 11/6/25 |
|      |         |
|      |         |



1 Site Survey - For Reference Only  
SCALE: 1" = 40'



2 Site Plan  
SCALE: 1/16" = 1'-0"



RUST  
CONSTRUCTION  
3701B Mount Vernon  
Ave  
Alexandria, VA 22305  
703-836-6010

Boswell Residence  
229 S. Payne Street Alexandria VA 22314

Site Plan

|      |         |
|------|---------|
| T2   |         |
| Date | 11/6/25 |
|      |         |
|      |         |



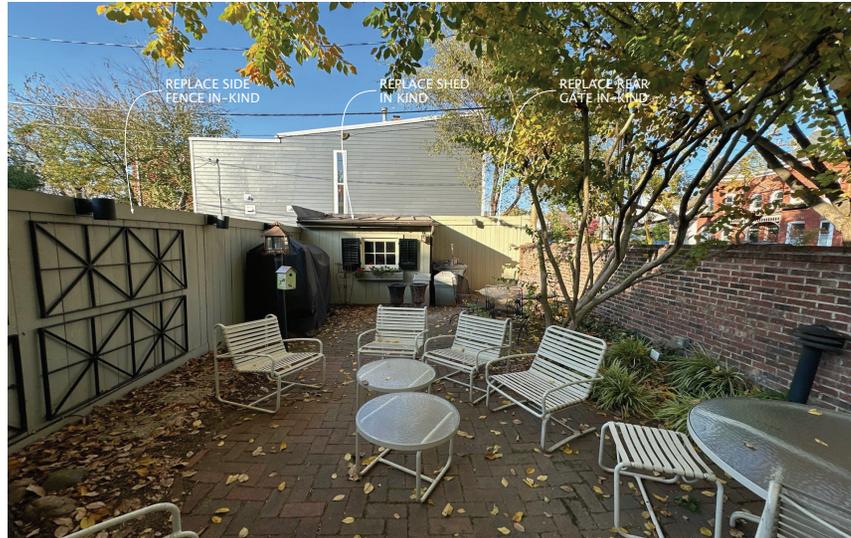
SIDE VIEW - NO WORK



REAR ELEVATION - NO WORK



REAR VIEW - REPLACE REAR GATE IN KIND



BACK PATIO VIEW - DEMOLISH EXISTING SHED



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**Project Photos**

|           |         |
|-----------|---------|
| <b>T3</b> |         |
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|           |         |
|           |         |

**TRUSTILE**  
A MARVIN® BRAND

**TRUSTILE WOOD ENTRY SYSTEMS**



Resilient Wood Entry System™ with TM3100-111B

## Elevate Every Entry

In collaboration with our parent company, Marvin®, we have engineered and extensively tested a family of premium residential wood entry systems that set the tone for the whole home.

### Design Forward

We offer more design styles, sizes, and options than anyone else so our customers can create without constraint. The Resilient Wood Entry System™ takes your home to the next level with the most durable painted construction without sacrificing any design options. Our Reserve Wood Entry System™ offers the beauty of stain-grade wood to match the refined elegance of your home.

### Materials Matter

TruStile wood entry systems use innovative Accoya® and Tricoya® to provide exception stability and durability. All of our entry systems come with industry-leading warranty coverage.



Learn more at:  
[www.trustile.com/elevate](http://www.trustile.com/elevate)

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**MARVIN**



Reserve Wood Entry System™ with TS4300-308C2



Resilient Wood Entry System™ with FL400-108C



TRUSTILE OUTSWING WOOD DOOR OR EQUAL



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**Product Specifications – Door**

**T4**

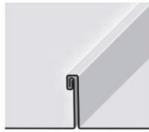
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NOTE: TRUSTILE WOOD DOOR OR EQUAL

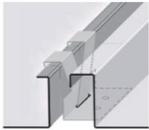
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# UC-3

# Double-Lock Architectural Series



The UC-3 Double-Lock Standing Seam provides the architect with a 1.5" high traditional lock-form standing seam, which is locked in the field by a mechanical seamer.



### TECHNICAL INFORMATION

- UL 580 Class 90 rated
- ASTM E283 air infiltration
- ASTM E330-90 structural performance
- ASTM E331 water penetration
- ASTM E1646-95 water penetration
- ASTM E1680-95 air leakage
- ASTM E1592 uniform static air pressure
- UL 263, UL 790 Class A fire rating
- Available for radius applications
- Miami-Dade County approved
- UL 2218 Class 4 hail rating



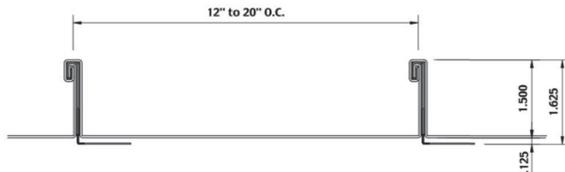
PROJECT: Bentley School  
 LOCATION: Lafayette, CA  
 MATERIALS: UNA-CLAD™ UC-3 Double-Lock Standing Seam, .040 Aluminum, Silver Metallic Hylar 5000®/Kynar 500® finish by Valspar

The UNA-CLAD™ UC-3 is a Double-Lock Standing Seam roofing system that provides a traditional look and allows mechanical seaming to enhance the architect's design needs—while meeting current wind-load designs for architectural metal roofing. The UC-3 roofing system offers the designer the ability to design or specify various radius roof profiles. Concealed fasteners and patented stainless steel slotted clips allow for expansion and contraction. It is recommended that UC-3

panels be installed over a solid substrate such as plywood and an underlayment of 30# felt. The UC-3 roofing system is available in 22, 24 and 26 gauge painted galvanized steel, .032 and .040 painted or anodized aluminum, and 16 oz. or 20 oz. Architectural Grade Sheet Copper. Heavier gauges, narrower widths and embossing minimize oil canning. Contact UNA-CLAD for radius capabilities.

Note: Oil canning is not a cause for rejection.

Red Shield Warranty available



## Color Selection Guide



|                    |                   |                       |                    |
|--------------------|-------------------|-----------------------|--------------------|
|                    |                   |                       |                    |
| STONE WHITE SR     | BONE WHITE SR     | ALMOND SR             | SANDSTONE SR       |
|                    |                   |                       |                    |
| SLATE GRAY SR      | CITYSCAPE SR      | CHARCOAL GRAY SR      | SIERRA TAN SR      |
|                    |                   |                       |                    |
| MEDIUM BRONZE SR   | SELECTED COLOR    | EXTRA DARK BRONZE     | MATTE BLACK SR     |
|                    |                   |                       |                    |
| BRANDYWINE SR      | COLONIAL RED SR   | TERRA COTTA SR        | MANSARD BROWN SR   |
|                    |                   |                       |                    |
| REGAL RED SR       | AWARD BLUE SR     | SKY BLUE SR           | ELECTRIC BLUE SR   |
|                    |                   |                       |                    |
| REGAL BLUE         | TEAL              | PATINA GREEN SR       | DARK IVY SR        |
|                    |                   |                       |                    |
| SHERWOOD GREEN SR  | HARTFORD GREEN    | HEMLOCK GREEN SR      | TROPICAL PATINA SR |
|                    |                   |                       |                    |
| SILVER METALLIC SR | CLASSIC COPPER SR | CHAMPAGNE METALLIC SR |                    |

\* = Premium Color  
 SR = Solar-Reflectant color, with KYNAR finish have Reflectivity of at least 0.25  
 SR values qualify in steel only  
 SR values qualify in aluminum only

For a true color representation, please call or write for actual metal sample(s).  
 Protective film must be removed immediately after installation. Oil canning is not a cause for rejection.



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### Product Specifications – Roof

T5

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NOTE: STANDING SEAM ROOF PROPOSED, UNA-CLAD OR EQUAL

## FEATURES & SPECIFICATIONS

### Standard Features

- Exterior glazed for easier installation of oversized glass
- No interior glazing stops creates a clean aesthetic
- Larger glass for increased energy efficiency
- Available with 7/8" frame cladding or 1 1/8" frame cladding
- Natural, clear Douglas Fir interior (no visible finger joints)
- 4 9/16" (116 mm) jamb construction
- LowE insulated glazing with 1/2" (13 mm) airspace
- Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior

### Glazing

LowE Double, LowE Triple, Tranquility® and StormForce™. StormForce is not available on all products. Double or triple glass configurations with 1/2" (13 mm) airspace. With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort. LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

### Simulated Divided Lites (SDL)

- Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.
- Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)
- Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)
- Square Profile (interior only) – 5/8" (16mm), 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

### Casing

- Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.
- Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Kerf.

### Metal Cladding

Heavy duty exterior metal cladding comprised of extruded aluminum is available in a variety of Palette colors, including anodized and Cyberium (copper and bronze cladding). Metal clad units are supplied ready-to-install complete with integral metal nailing flange.

## FEATURES & SPECIFICATIONS

### Wood

In addition to our standard Coastal Douglas Fir, the entire Loewen product line is also available in optional Mahogany. The interior can be natural wood (unfinished), primed, or prefinished in Jet Black or Oxford White paint. Additional wood species, as well as the Jet Black and Oxford White prefinishes, are available through our Custom Shop. All wood parts are dipped in approved preservative.

### Performance Standards

Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.

| Variables          | Picture/Direct Set |
|--------------------|--------------------|
| <b>Performance</b> |                    |
| LowE Double        | ●                  |
| LowE Triple        | ○                  |
| StormForce™        | ○                  |
| <b>Appearance</b>  |                    |
| SDL                | ○                  |

Standard ● Optional ○

### Frame

Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.



Picture/Direct Set



CURRENT WINDOW ON EXISTING SHED – REPLACE IN-KIND



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 Product Specifications – Window

T6

|      |         |
|------|---------|
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|      |         |
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NOTE: PICTURE WINDOW PROPOSED, LOEWEN OR EQUAL



BARN GATE PRECEDENT



TRIPLE TRACK BYPASS THREE DOOR HARDWARE

NOTE: WOOD BARN GATE



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**Product Specifications - Gate**

|           |         |
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CURRENT FENCE ON SITE - REPLACE IN-KIND

NOTE: REPLACE FENCE IN-KIND



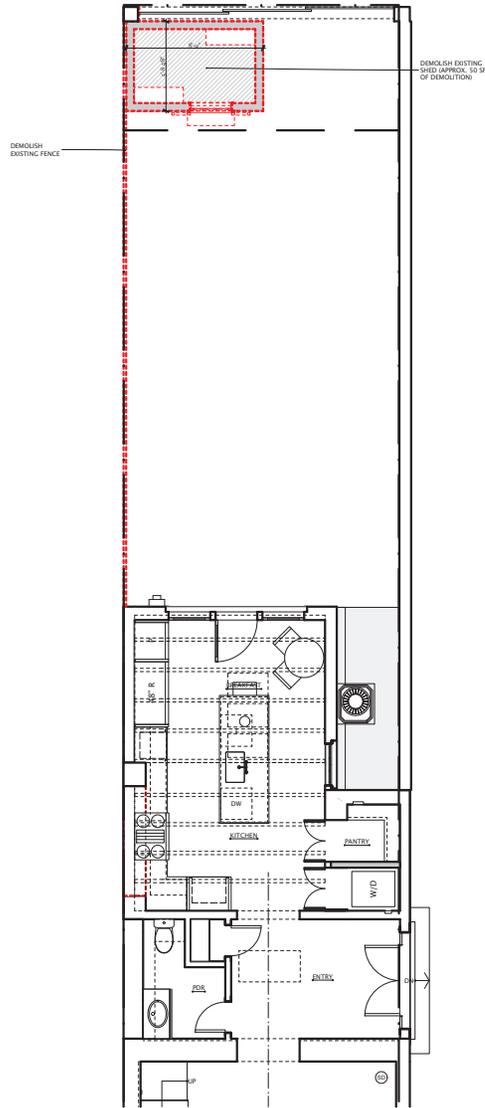
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**Product Specifications - Fence**

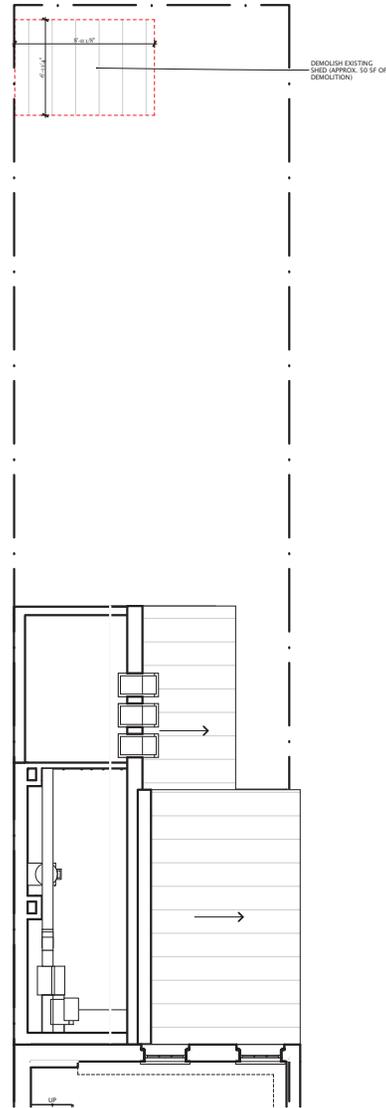
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| <b>T6</b> |         |
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1

First Floor Demolition Plan  
SCALE: 1/8" = 1'-0"



2

Second Floor Demolition Plan - NO WORK THIS LEVEL  
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- DENOTES WALLS TO BE DEMOLISHED



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**Demolition Plans**

**D0**

|      |         |
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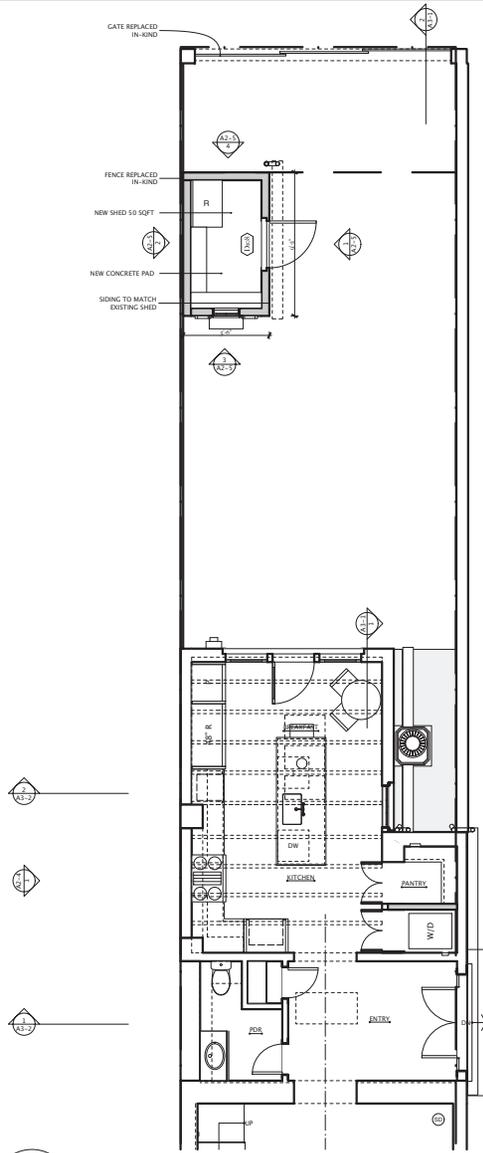
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**Proposed Plans**

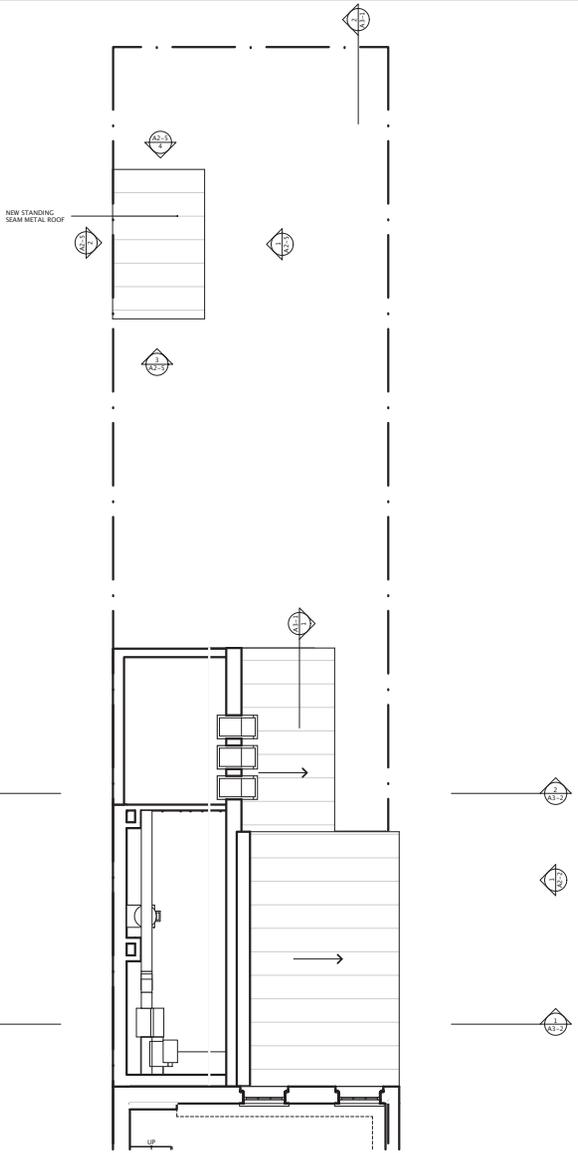
**A1-0**

|      |         |
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**1** First Floor Plan  
SCALE: 1/8" = 1'-0"



**2** Second Floor Plan - NO WORK THIS LEVEL  
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- DENOTES WALLS TO BE DEMOLISHED



1 Existing Front (South) Elevation - NO WORK THIS ELEVATION  
SCALE: 1/8" = 1'-0"



2 Proposed Front (South) Elevation - NO WORK THIS ELEVATION  
SCALE: 1/8" = 1'-0"



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Front Existing and Proposed Elevations

|             |         |
|-------------|---------|
| <b>A2-1</b> |         |
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|             |         |

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Right Existing and Proposed Elevations

|      |         |
|------|---------|
| A2-2 |         |
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|      |         |

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1 Existing Right (East) Elevation  
SCALE: 1/8" = 1'-0"



2 Proposed Right (East) Elevation  
SCALE: 1/8" = 1'-0"



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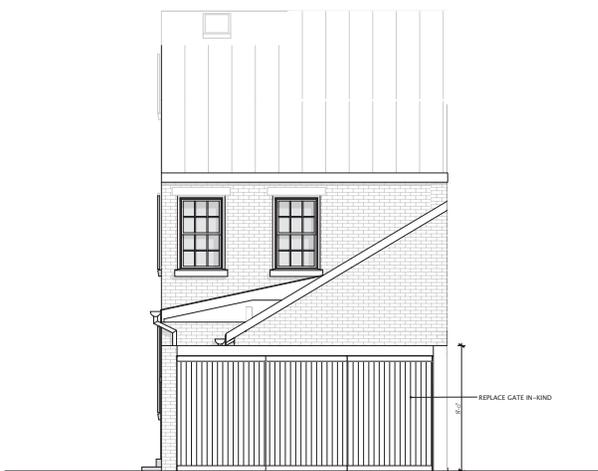
Rear Existing and Proposed Elevations

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| A2-3 |         |
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1 Existing Rear (North) Elevation  
SCALE: 1/8" = 1'-0"



2 Proposed Rear (North) Elevation  
SCALE: 1/8" = 1'-0"



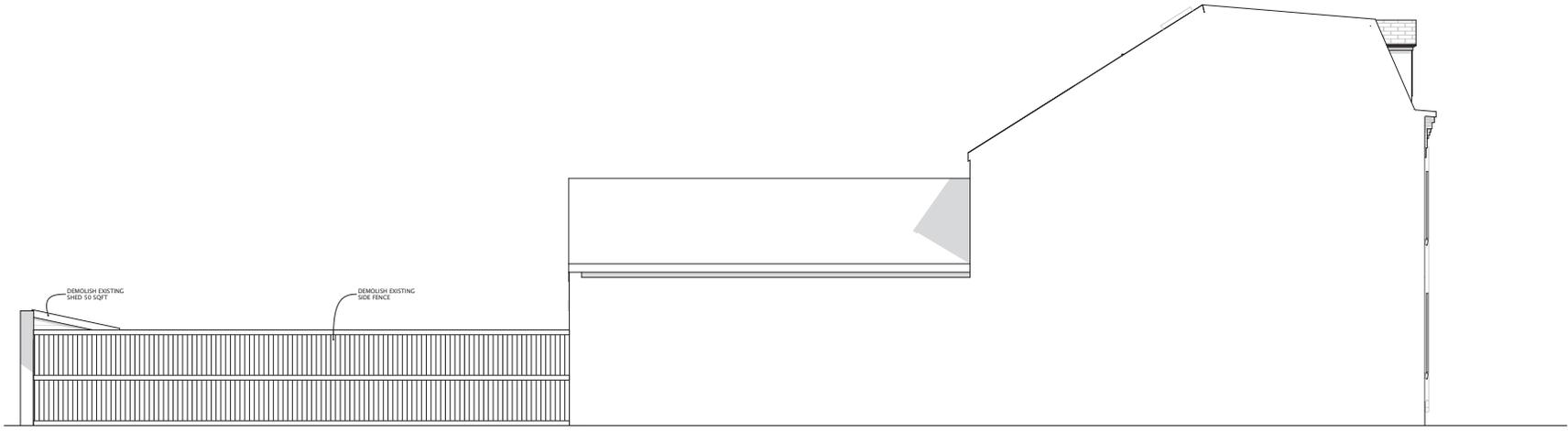
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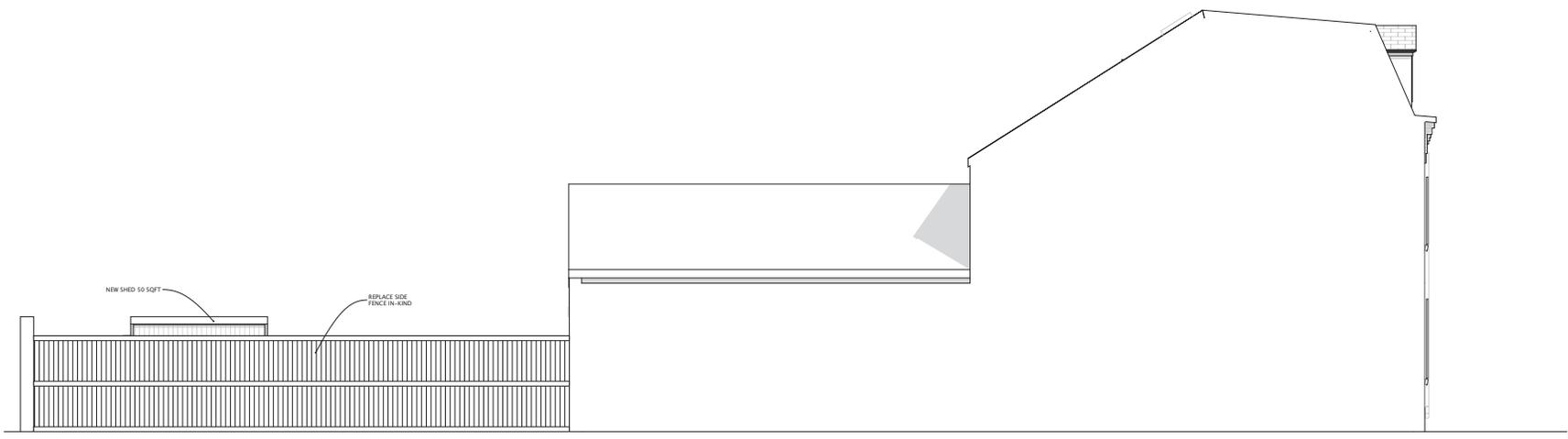
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**Left Existing and Proposed Elevations**

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| <b>A2-4</b> |         |
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|             |         |

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2 Existing Left (West) Elevation  
SCALE: 1/8" = 1'-0"



1 Proposed Left (West) Elevation  
SCALE: 1/8" = 1'-0"



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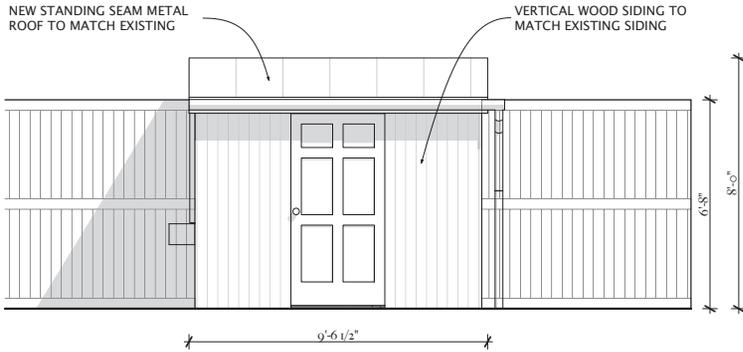
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Shed Elevations

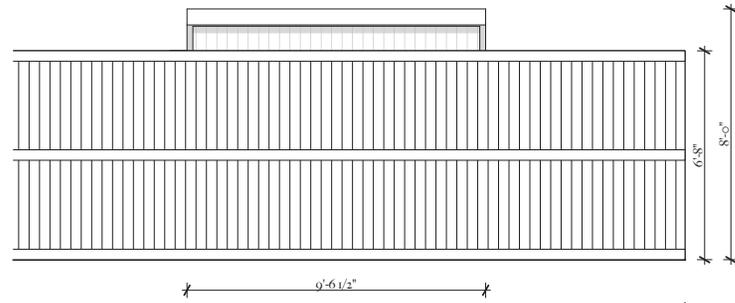
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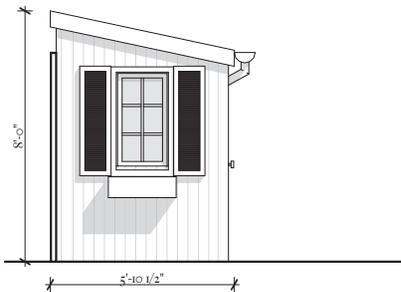
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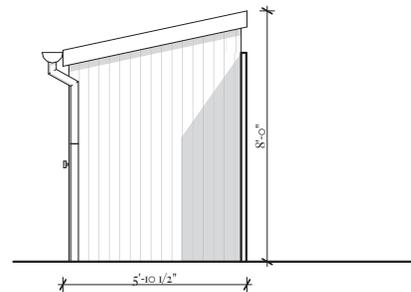
1 Front (East) Elevation  
SCALE: 1/4" = 1'-0"



2 Back (West) Elevation  
SCALE: 1/4" = 1'-0"



3 Left (South) Elevation  
SCALE: 1/4" = 1'-0"



4 Right (North) Elevation  
SCALE: 1/4" = 1'-0"



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

B

### A. Property Information

A1.  Street Address      CL  Zone

A2.  Total Lot Area      x  Floor Area Ratio Allowed by Zone      =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

| Existing Gross Area  | Allowable Exclusions**  |   |
|--|---|---|
| Basement <input type="text"/>                                  | Basement** <input type="text"/>                                   | B1. <input type="text" value="2,116"/> Sq. Ft.                |
| First Floor <input type="text" value="1,037 sqft"/>            | Stairways** <input type="text" value="69 sqft"/>                  | Existing Gross Floor Area*                                    |
| Second Floor <input type="text" value="580 sqft"/>             | Mechanical** <input type="text"/>                                 | B2. <input type="text" value="308"/> Sq. Ft.                  |
| Third Floor <input type="text"/>                               | Attic less than 7'*** <input type="text" value="136 sqft"/>       | Allowable Floor Exclusions**                                  |
| Attic <input type="text" value="449 sqft"/>                    | Porches** <input type="text"/>                                    | B3. <input type="text" value="1808"/> Sq. Ft.                 |
| Porches <input type="text"/>                                   | Balcony/Deck** <input type="text"/>                               | Existing Floor Area Minus Exclusions<br>(subtract B2 from B1) |
| Balcony/Deck <input type="text"/>                              | Lavatory*** <input type="text" value="103 sqft"/>                 |   |
| Lavatory*** <input type="text"/>                               | Other** <input type="text"/>                                      |   |
| Other** <input type="text" value="50 sqft"/>                   | Other** <input type="text"/>                                      |   |
| <b>B1. Total Gross</b> <input type="text" value="2,116 sqft"/> | <b>B2. Total Exclusions</b> <input type="text" value="308 sqft"/> |   |

**Comments for Existing Gross Floor Area**

### C. Proposed Gross Floor Area

| Proposed Gross Area                                   | Allowable Exclusions**                                     |   |
|---|--|---|
| Basement <input type="text"/>                         | Basement** <input type="text"/>                            | C1. <input type="text"/> Sq. Ft.                              |
| First Floor <input type="text"/>                      | Stairways** <input type="text"/>                           | Proposed Gross Floor Area*                                    |
| Second Floor <input type="text"/>                     | Mechanical** <input type="text"/>                          | C2. <input type="text"/> Sq. Ft.                              |
| Third Floor <input type="text"/>                      | Attic less than 7'*** <input type="text"/>                 | Allowable Floor Exclusions**                                  |
| Attic <input type="text"/>                            | Porches** <input type="text"/>                             | C3. <input type="text" value="0"/> Sq. Ft.                    |
| Porches <input type="text"/>                          | Balcony/Deck** <input type="text"/>                        | Proposed Floor Area Minus Exclusions<br>(subtract C2 from C1) |
| Balcony/Deck <input type="text"/>                     | Lavatory*** <input type="text"/>                           |   |
| Lavatory*** <input type="text"/>                      | Other** <input type="text"/>                               |   |
| Other <input type="text"/>                            | Other** <input type="text"/>                               |   |
| <b>C1. Total Gross</b> <input type="text" value="0"/> | <b>C2. Total Exclusions</b> <input type="text" value="0"/> |   |

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: