

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Light Properties LLC

LOCATION: Old and Historic Alexandria District
610 Montgomery Street

ZONE: CDX/Commercial Downtown Zone (Old Town North)

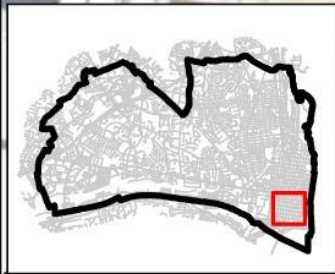
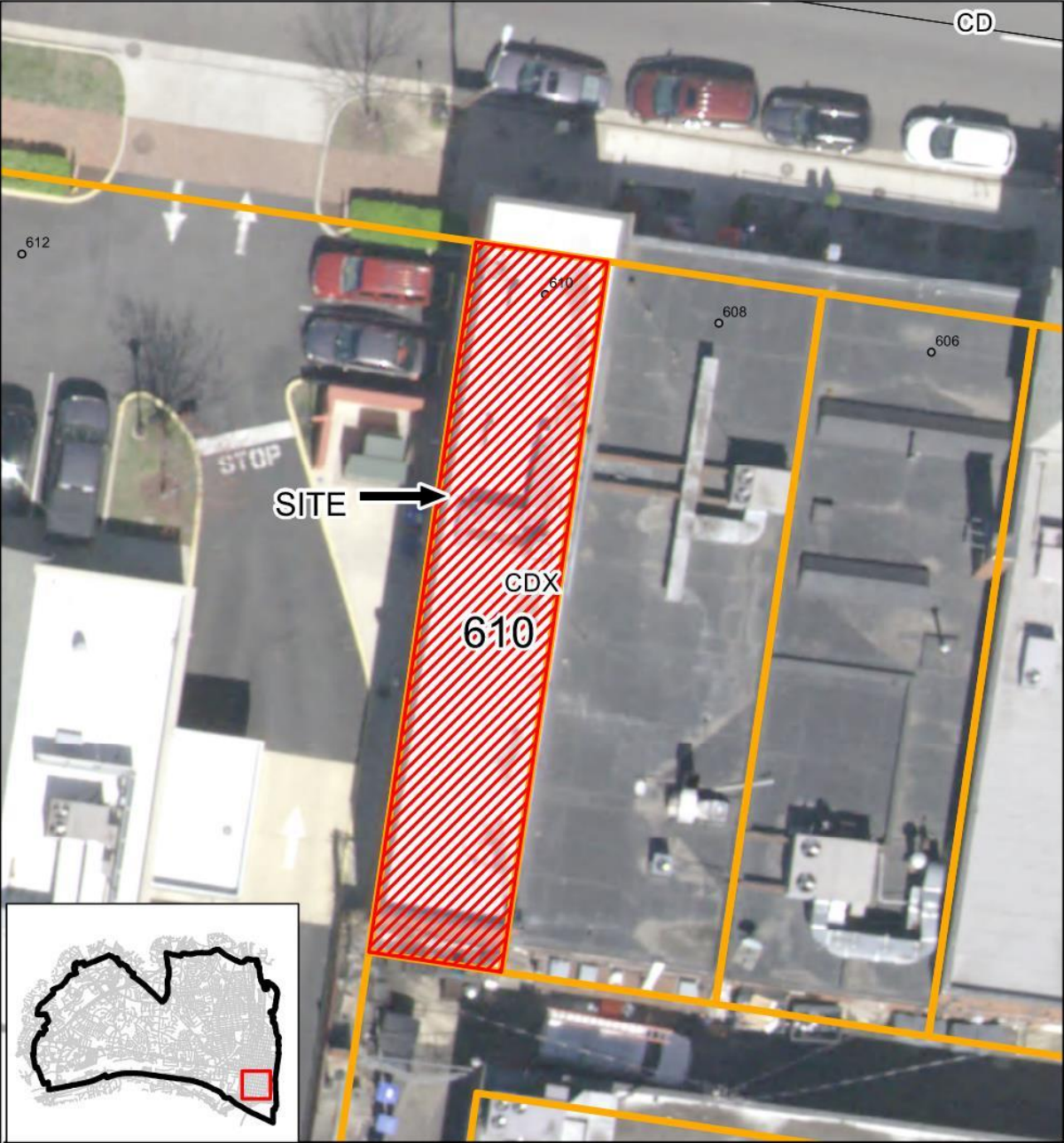
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations with the following conditions:

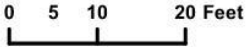
- The engineered attachment method anchors the supports in mortar joints where possible.
- The door panel glass be clear, reflective, and without tint.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2023-00055
610 Montgomery Street



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to add a Code-required fire escape and egress door to the rear/south elevation, at 610 Montgomery Street.

Site context

The alley to the south, behind the subject property, is public. The proposed fire escape will be visible from both the alley and South Washington Street. See Figure 1.



Figure 1: Rear of 610 Montgomery from Washington Street. Fire escape location circled.

II. HISTORY

At the September 20, 1951 hearing, the BAR approved the construction of a new building at 610 Montgomery Street. Building permit #5235 was issued to James Juliano on October 4, 1951 to construct a new building at 610 Montgomery Street. The building therefore was most likely constructed in **1952** and is thus categorized as a Late building. This area of Montgomery Street was included within the expanded boundaries of the Old and Historic Alexandria District in 2000.

Previous BAR Approvals

In addition to various approvals for signage (BAR2007-0205; BAR2012-0296), the BAR approved the installation of new rooftop exhaust equipment and a corresponding iron guardrail at the January 7, 2009 hearing (BAR2008-0243). Staff administratively approved a small cell antenna on a replacement utility pole in 2019 (BAR2019-00259) and another in 2022 (BAR2022-00571).

III. ANALYSIS

Certificate of Appropriateness

Although the *Design Guidelines* do not specifically address Code-required egress, the section on exterior stairways notes that “Exterior stairways should not be located on a principal façade elevation. Such stairways should generally be located on the rear elevation of a property.” Additionally, Section 303.6.2.2 of the Virginia Existing Building Code 2018 states: “Access to a new fire escape shall be through a door...”



Figure 2: South/rear elevation of 610 Montgomery. Note evidence of former opening below arrow.

The proposed fire escape will be located on the rear/south elevation at the second-floor level, as shown on Figure 2. The arrow points to the second-floor location of the egress door. Note that the brickwork clearly indicates a prior opening here. The counterbalanced dropdown ladder will be retracted to 7.5’ in length when not in use. See Figure 3 for this ladder installed at another location. Staff finds the Code-required fire escape appropriate for this Late building. Its size and material make it less noticeable than a traditional stair, and the standard size ProVia smooth fiberglass door with a glass panel complies with our policies. The proposed door will appear much like the door depicted in Figure 3.



Figure 3: Proposed ladder

With the following conditions, staff recommends approval of the project:

- The engineered attachment method anchors the supports in mortar joints where possible.
- The door panel glass be clear, reflective, and without tint.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Complies with zoning pending TES approval for the encroachment into the public alley.

Code Administration

C-1 Building permit is required. Fire escape shall comply with VEBC Sec. 303.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-7 An encroachment request will be required for projections into the public right of way

unless allowable under City Code section 5-2-29. (T&ES)

- C-8 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-2-29 (1)(1)) (T&ES)

Please submit Insurance Certificate:

City of Alexandria

T&ES

Attn: Development Services

301 King Street, Room 4130

Alexandria, VA 22314

Alexandria Archaeology

- F-1 No Archaeology comments for this undertaking.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes** **No** Is there an historic preservation easement on this property?
- Yes** **No** If yes, has the easement holder agreed to the proposed alterations?
- Yes** **No** Is there a homeowner’s association for this property?
- Yes** **No** If yes, has the homeowner’s association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Maura Mitchell

Printed Name: _____

Date: _____



Department of Planning and Zoning
 Floor Area Ratio and Open Space Calculations
 as of 12/20/18

B

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid black; height: 60px; margin-top: 5px;"></div>
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other** <input type="text"/>	Other** <input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>	B2. <u>Total Exclusions</u> <input type="text"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other <input type="text"/>	Other** <input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>	C2. <u>Total Exclusions</u> <input type="text"/>	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Maura Mitchell

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____ _____ Maureen Mitchell
 Date Printed Name Signature



CERTIFICATION OF NOTICE BOARD OF ARCHITECTURAL REVIEW

TO: DIRECTOR OF PLANNING & ZONING
CITY OF ALEXANDRIA, VIRGINIA

Article XI, Section 11-301(A)(3), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia states:

At least five days prior to the hearing, the applicant shall supply the director of Planning & Zoning with:

- a) a copy of the NOTICE OF PUBLIC HEARING sent;
- b) a copy of the PROPERTY OWNERS LIST; and,
- c) this completed CERTIFICATION OF NOTICE.

The applicant shall use the records and maps maintained by the Department of Real Estate Assessment to determine the proper recipients of notice and reliance upon such records shall constitute compliance with the requirements of this section. §11-301(A)(3).

THE UNDERSIGNED HEREBY CERTIFIES that the notice to adjoining property owners (copy attached), as required pursuant to Article XI, §11-301(A) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia, was **sent** to the attached list of property owners concerning the following issue:

DATE MAILED: _____

HEARING DATE: _____

PROPERTY ADDRESS: _____

ISSUE DESCRIPTION: _____

Print Name

Maura Mitchell
Signature

Telephone

Date

E-mail address

NOTE: Applicant to return this copy at least 5 days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.



NOTICE OF PUBLIC HEARING BOARD OF ARCHITECTURAL REVIEW

Dear Property Owner:

You are hereby notified of the following public hearing to be held on the issue described below by the Board of Architectural Review:

BOARD OF ARCHITECTURAL REVIEW MEETING DATE: _____
7:00 P.M., City Hall
301 King Street
City Council Chambers, 2nd Floor
Alexandria, Virginia 22314

ISSUE DESCRIPTION: _____

PROPERTY ADDRESS: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX ASSESSMENT MAP NUMBER: _____

As a citizen and party of interest, you are invited to attend these meetings and express your views concerning the above issue. If you have any questions regarding the request, you can reach me at _____ and _____ (e-mail optional).

Sincerely,

Marie Mitchell
Applicant Signature

Applicant Printed Name

*Date Mailed: _____

***Applicant to mail this notice to adjoining and abutting property owners at least ten but no more than thirty days prior to the hearing.**

NOTE: Applicant to return this copy at least five days prior to the hearing to: Department of Planning and Zoning, 301 King Street, Room 2100.

BUILDING DATA

LOCATION: 610 MONTGOMERY STREET
ALEXANDRIA, VA 22314

OWNER: SIP COFFEE

SCOPE OF WORK: NEW REAR EGRESS STAIR. NEW INTERIOR SPIRAL STAIR FOR ROOF ACCESS.

APPLICABLE CODES: APPLICABLE CODES
2018 VIRGINIA BUILDING CODE
2018 VIRGINIA ELECTRICAL CODE
2018 VIRGINIA MECHANICAL CODE
2018 VIRGINIA PLUMBING CODE

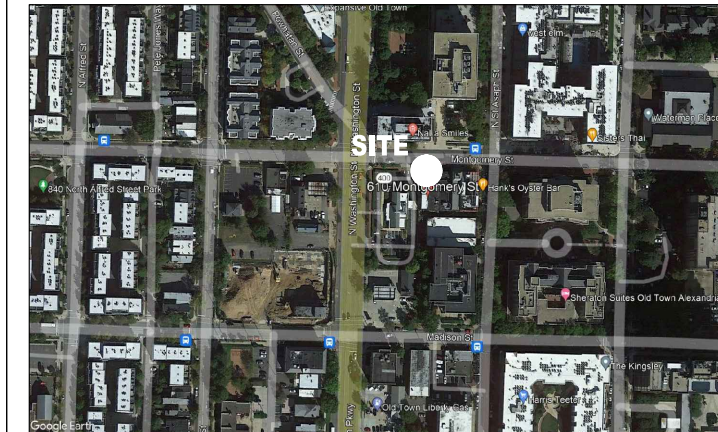
CODE ANALYSIS

SUITE B		
USE GROUP		B
TYPE OF CONSTRUCTION		VB - NON-SEPARATED
SQUARE FOOTAGE		1395
OCCUPANT LOAD		1 OCC
BAR PREP: 20 SF (300 OCC)		1 OCC
ROASTERS: 345 SF (300 OCC)		1 OCC
RESTROOMS: 18 SF (120 OCC)		1 OCC
TESTING AREA: 604 SF (15 OCC)		45 OCC
	TOTAL	49 OCC
PLUMBING COUNTS:	1/15 OCC	2 RESTROOMS
NUMBER OF STORIES		1
FIRE ALARM		NO
BUILDING SPRINKLERED		NO
NUMBER OF EXITS		1
MAX TRAVEL DISTANCE		48'-0"

PROJECT TEAM

ARCHITECT
LBM DESIGN GROUP
RODRIGO@LBMDESIGNGROUP.COM
240-382-8354

VICINITY PLAN



ISSUE DATE:

9/28/20	PERMIT	

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PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE
STATE OF VIRGINIA. LICENSE #
EXPIRATION DATE

Client:

Project Name Sip Coffee

610 Montgomery St.
Alexandria, VA 22314

Project Number DC-009_GSC-310

Drawing Name

COVER SHEET

Scale:

Drawing Number

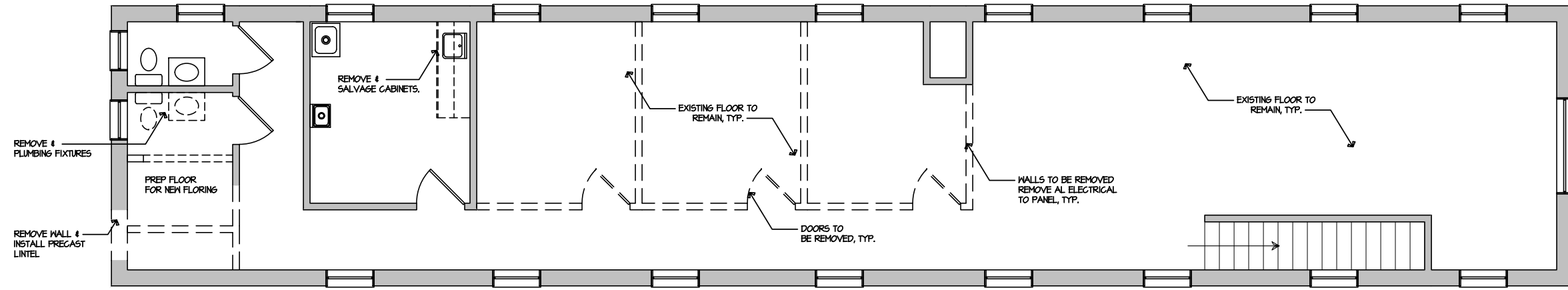
A1

ISSUE DATE:	
9/28/20	PERMIT

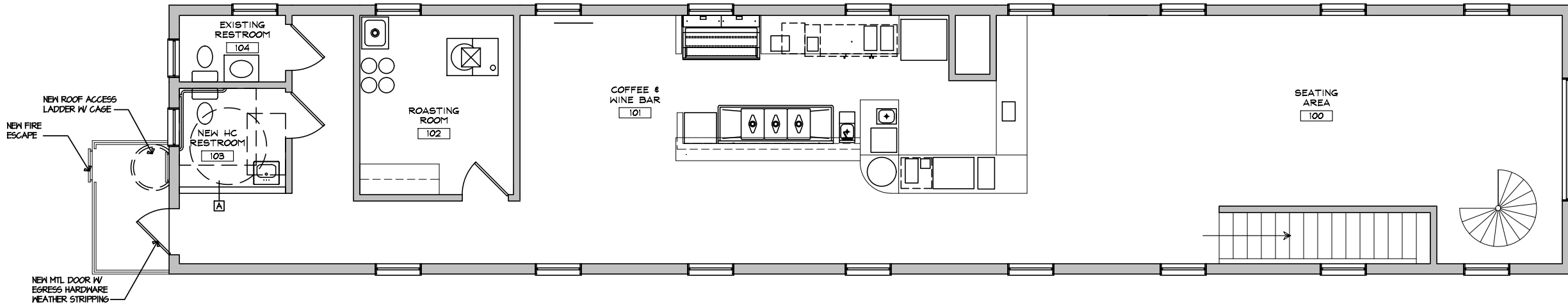
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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE # _____ EXPIRATION DATE _____



1 DEMOLITION PLAN
A1 1/8" = 1'-0"



2 NEW WORK PLAN
A1 1/8" = 1'-0"

Client: _____

Project Name Sip Coffee

610 Montgomery St.
Alexandria, VA 22314

Project Number DC-009_GSC-310

Drawing Name

FLOOR PLANS

Scale: Drawing Number

A1



NEW DOOR
LOCATION

2 REAR ELEVATION
A2 N.T.S



1 FRONT ELEVATION
A2 N.T.S

ISSUE DATE:

9/28/20	PERMIT	

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PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE
STATE OF VIRGINIA, LICENSE #
EXPIRATION DATE

Client:

Project Name Sip Coffee

610 Montgomery St.
Alexandria, VA 22314

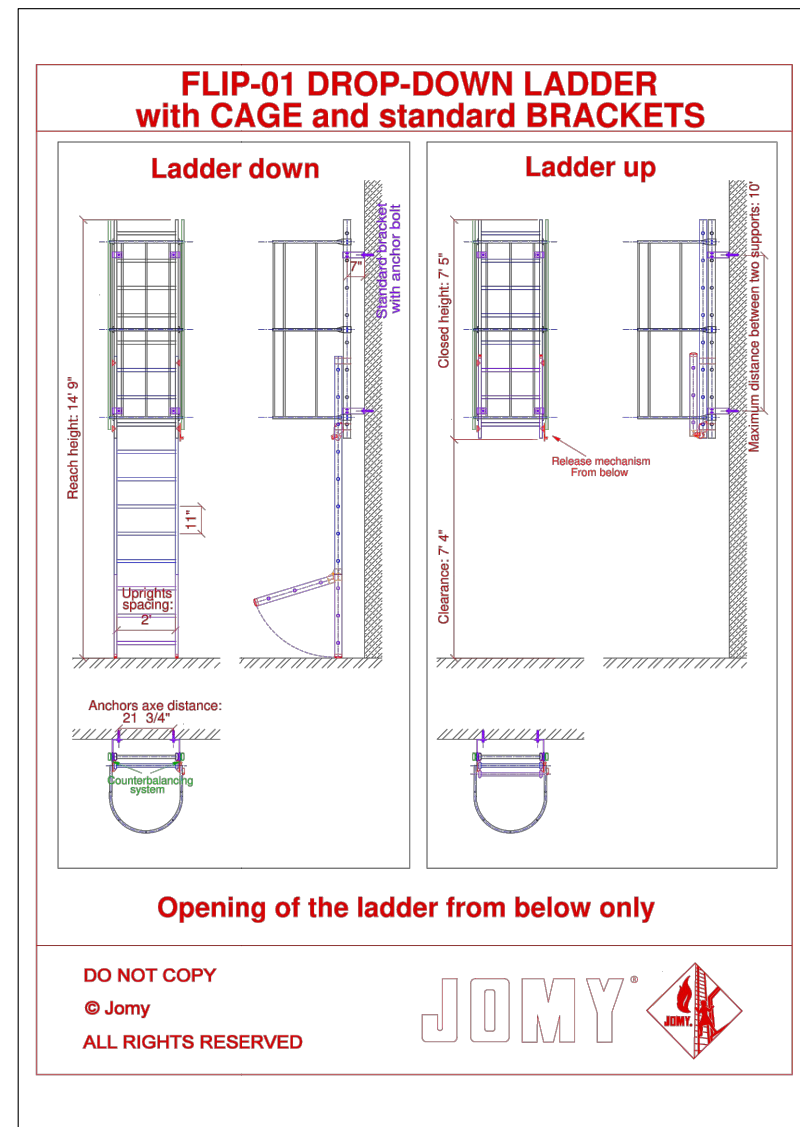
Project Number DC-009 GSC-310

Drawing Name

EXISTING
ELEVATIONS

Scale: Drawing Number

A2



2
A3

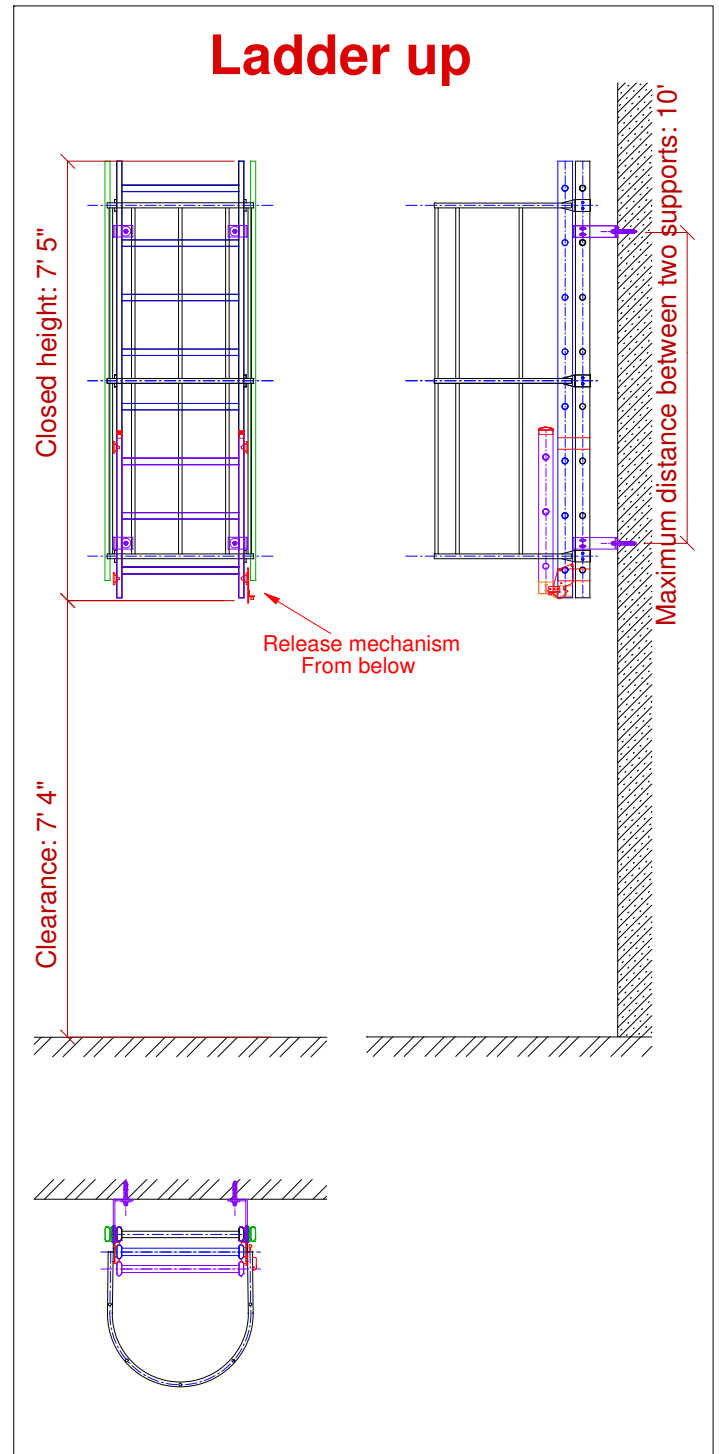
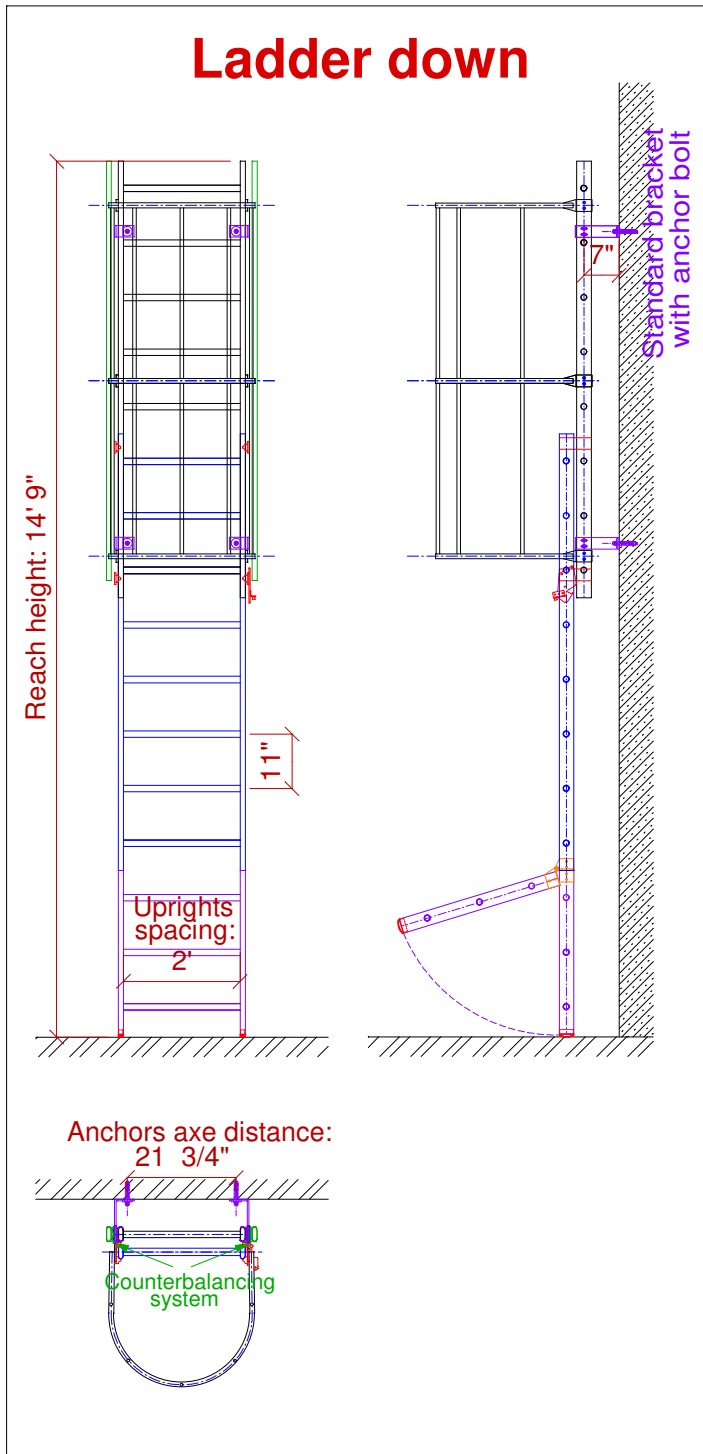
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Client: _____	
Project Name Sip Coffee	
610 Montgomery St. Alexandria, VA 22314	
Project Number DC-009_GSC-310	
DRAWING NAME PRODUCT SAMPLES	
Scale:	Drawing Number
	A3

FLIP-01 DROP-DOWN LADDER with CAGE and standard BRACKETS



Opening of the ladder from below only

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