

PRGS REDEVELOPMENT - BLOCK B PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT ALEXANDRIA, VIRGINIA

BUILDING CODE ANALYSIS

BUILDING CODE:	2021 Virginia Construction Code (VCC) which adopts and amends the 2021 International Building Code (IBC 2021)
USE GROUP:	A-2, A-3, B, M, A-2, S-1, S-2
NUMBER OF STORIES:	16 ABOVE GRADE, 2 BELOW GRADE
CONSTRUCTION TYPE:	TYPE I(A) REDUCED TO TYPE I(B)
FULLY SPRINKLERED:	YES - NFPA 13

NARRATIVE DESCRIPTION OF DEVELOPMENT

THIS SITE IS BORDERED TO THE NORTH BY ROAD B; TO THE WEST BY ROAD A; AND TO THE EAST AND SOUTH BY NORTH FAIRFAX ST. THE SITE IS CURRENTLY ZONED COORDINATED DEVELOPMENT DISTRICT (CDD #30). THIS PROJECT PROPOSES A MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND RESIDENTIAL/OFFICE. THERE WILL BE TWO LEVELS OF BELOW GRADE PARKING BENEATH THE ENTIRE BUILDING AND A PORTION OF THE PRIVATE STREET. ACCESS TO THE SITE WILL BE FROM ROAD B.

CDD Land Use by Block DSUP

BLOCK	PAVEMENT BASE AREA (SQ FT)	MAXIMUM PERMITTED GFA WITH ADDITIONAL VEHICLES (SQ FT)	MAXIMUM ALLOWABLE WITH 10% REDUCTION IN BLOCK (SQ FT)	DSUP VERIFICATION HISTORY	VARIANCE (SQ FT)	INCREASE %	GFA TRANSFERRED	COMMERCIAL/CP	COMMERCIAL/C	RESIDENTIAL/RP	RESIDENTIAL/R	REQUIRED CDD# APPROVED BY (FAIRFAX/VA)	PROPOSED OR GFA (BLOCK/CP)
WEST	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block B	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block C	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block D	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block E	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block F	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block G	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block H	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block I	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block J	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block K	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block L	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block M	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block N	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block O	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block P	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block Q	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block R	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block S	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block T	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block U	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block V	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block W	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block X	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block Y	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
Block Z	300,000	450,000	450,000	450,000	150,000	50%	30,000	30,000	30,000	30,000	30,000	65,000	65,000
All	3,000,000	4,500,000	4,500,000	4,500,000	1,500,000	50%	150,000	150,000	150,000	150,000	150,000	3,150,000	3,150,000
APPLICANT REQUESTS FLEXIBILITY TO ADJUST GFA IN ALL OTHER BLOCKS AS THEY ARE SUBMITTED, AS LONG AS TOTAL SITE GFA DOES NOT EXCEED THE CDD MAXIMUM.													

FLOOR	ENCLOSED GROSS (SF)
36	6,040
35	19,600
34	25,565
33	25,196
32	29,036
31	29,036
30	29,039
9	29,039
8	29,039
7	29,039
6	29,039
5	29,039
4	29,039
3	29,217
2	43,089
1	43,757
Above Grade Subtotals	453,839
P1	94,334
P2	94,334
Below Grade Subtotals	188,668
TOTAL	642,507

- LIST OF EXISTING APPROVALS:**
- MASTER PLAN AMENDMENT #2022-00001
 - MASTER PLAN AMENDMENT #2022-00002
 - TEXT AMENDMENT #2022-00006
 - TEXT AMENDMENT #2022-00007
 - REZONING #2022-00001
 - REZONING #2022-00004
 - CDD CONCEPTUAL DESIGN PLAN #2021-00004
 - LINE # 2020 - INFRASTRUCTURE DEVELOPMENT SITE PLAN DSP #2022-00001

- LIST OF REQUESTED SITE PLANS AND AMENDMENTS:**
- DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN INCLUDING SUBDIVISION
 - CDD SUP FOR MULTIFAMILY AND COMMERCIAL USES IN CDD-30
 - PARKING REDUCTION SUP
 - ENCROACHMENT FOR ENTRY LOBBY CANOPY ON ROAD A (ENC2025-00003)

APPLICANT/OWNER OF RECORD
HRP
POTOMAC, LLC
 1199 N FAIRFAX ST.
 SUITE 808
 ALEXANDRIA, VA 22314
 312 796-6564

ARCHITECT
GENSLER
 2020 K STREET NW
 WASHINGTON, D.C. 20006
 202 721-5200

CIVIL ENGINEER
IMEG CONSULTANTS CORP.
 4035 RIDGE TOP RD
 SUITE 601 FAIRFAX,
 VIRGINIA 22030
 703 273-6820

ATTORNEY
WIRE GILL
 700 N FAIRFAX ST
 Suite 600
 ALEXANDRIA, VA 22314
 703 836-5757

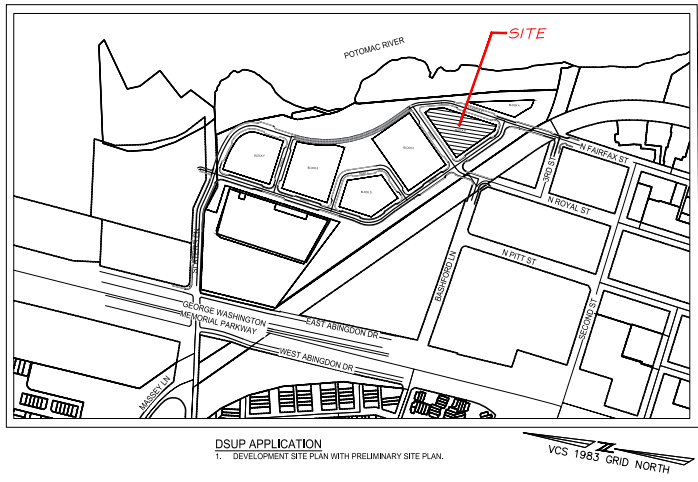
LANDSCAPE ARCHITECT
OJB LANDSCAPE ARCHITECTURE
 ONE BOWDOIN SQUARE,
 SUITE 801
 BOSTON, MASSACHUSETTS 02114
 857 233-5171

TRAFFIC ENGINEER
GOROVE SLADE
 225 REINEKERS LANE
 SUITE 750
 ALEXANDRIA, VIRGINIA 22314
 703 721-3044

SUSTAINABILITY CONSULTANT
ARUP
 1120 CONNECTICUT AVENUE
 SUITE 1110
 WASHINGTON, D.C. 20036
 202 729-8220

DRY UTILITY CONSULTANT
DAVIS UTILITY CONSULTING, LLC
 3975 FAIR RIDGE DRIVE
 SUITE 200S
 FAIRFAX, VA 22033
 571 334-8717

VICINITY MAP
SCALE 1"= 300'



DSUP APPLICATION
1. DEVELOPMENT SITE PLAN WITH PRELIMINARY SITE PLAN.

PROFESSIONAL SEAL AND SIGNATURE	DATE	REVISION
	05-19-2025	COMPLETENESS SUBMISSION
	07-11-2025	VERIFICATION OF COMPLETENESS

SHEET INDEX

Sheet Number	Sheet Title
CIVIL	CIVIL
C000	COVER SHEET
C100	NOTES AND TABULATIONS
C101	CONTEXTUAL PLAN
C102	PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT
C103	PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT
C104	PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT
C105	AREAS OF POTENTIAL ENVIRONMENTAL IMPACT
C106	COORDINATED SUSTAINABILITY STRATEGY
C200	OVERALL EXISTING CONDITIONS PLAN
C201	BLOCK B EXISTING CONDITIONS
C300	OVERALL SITE PLAN
C301	PRELIMINARY DIMENSION PLAN
C302	CURBSIDE MANAGEMENT STORAGE PLAN
C303	CURBSIDE MANAGEMENT STORAGE PLAN - TEMPORARY CONDITION
C400	OVERALL UTILITY PLAN
C401	BLOCK B UTILITY PLAN
C402	FIRE SAFETY PLAN
C403	OVERALL GRADING PLAN
C404	BLOCK B GRADING PLAN
C405	PRE DEVELOPMENT WATERSHEDS
C406	POST DEVELOPMENT WATERSHEDS
C500	OVERALL DRAINAGE AREA MAP
C501	DRAINAGE AREA MAP
C502	DRAINAGE AREA MAP
C503	DRAINAGE AREA MAP
C504	DRAINAGE AREA MAP
C505	DRAINAGE AREA MAP
C506	DRAINAGE AREA MAP
C507	DRAINAGE AREA MAP
C600	SWM COMPUTATIONS AND NARRATIVES
C601	SWM COMPUTATIONS AND NARRATIVES
C602	BMP COMPUTATIONS
C603	BMP COMPUTATIONS
C604	BMP COMPUTATIONS AND DETAILS
C605	BMP COMPUTATIONS AND DETAILS
C606	BMP COMPUTATIONS AND DETAILS
C607	BMP COMPUTATIONS AND DETAILS
C608	BMP COMPUTATIONS AND DETAILS
C609	BMP COMPUTATIONS AND DETAILS
C610	BMP COMPUTATIONS AND DETAILS
C611	BMP COMPUTATIONS AND DETAILS
C612	BMP COMPUTATIONS AND DETAILS
C613	BMP COMPUTATIONS AND DETAILS
C614	BMP COMPUTATIONS AND DETAILS
C615	BMP COMPUTATIONS AND DETAILS
C616	BMP COMPUTATIONS AND DETAILS
C617	BMP COMPUTATIONS AND DETAILS
C618	BMP COMPUTATIONS AND DETAILS
C619	BMP COMPUTATIONS AND DETAILS
C620	BMP COMPUTATIONS AND DETAILS
C621	BMP COMPUTATIONS AND DETAILS
C622	BMP COMPUTATIONS AND DETAILS
C623	BMP COMPUTATIONS AND DETAILS
C624	BMP COMPUTATIONS AND DETAILS
C625	BMP COMPUTATIONS AND DETAILS
C626	BMP COMPUTATIONS AND DETAILS
C627	BMP COMPUTATIONS AND DETAILS
C628	BMP COMPUTATIONS AND DETAILS
C629	BMP COMPUTATIONS AND DETAILS
C630	BMP COMPUTATIONS AND DETAILS
C631	BMP COMPUTATIONS AND DETAILS
C632	BMP COMPUTATIONS AND DETAILS
C633	BMP COMPUTATIONS AND DETAILS
C634	BMP COMPUTATIONS AND DETAILS
C635	BMP COMPUTATIONS AND DETAILS
C636	BMP COMPUTATIONS AND DETAILS
C637	BMP COMPUTATIONS AND DETAILS
C638	BMP COMPUTATIONS AND DETAILS
C639	BMP COMPUTATIONS AND DETAILS
C640	BMP COMPUTATIONS AND DETAILS
C641	BMP COMPUTATIONS AND DETAILS
C642	BMP COMPUTATIONS AND DETAILS
C643	BMP COMPUTATIONS AND DETAILS
C644	BMP COMPUTATIONS AND DETAILS
C645	BMP COMPUTATIONS AND DETAILS
C646	BMP COMPUTATIONS AND DETAILS
C647	BMP COMPUTATIONS AND DETAILS
C648	BMP COMPUTATIONS AND DETAILS
C649	BMP COMPUTATIONS AND DETAILS
C650	BMP COMPUTATIONS AND DETAILS
C651	BMP COMPUTATIONS AND DETAILS
C652	BMP COMPUTATIONS AND DETAILS
C653	BMP COMPUTATIONS AND DETAILS
C654	BMP COMPUTATIONS AND DETAILS
C655	BMP COMPUTATIONS AND DETAILS
C656	BMP COMPUTATIONS AND DETAILS
C657	BMP COMPUTATIONS AND DETAILS
C658	BMP COMPUTATIONS AND DETAILS
C659	BMP COMPUTATIONS AND DETAILS
C660	BMP COMPUTATIONS AND DETAILS
C661	BMP COMPUTATIONS AND DETAILS
C662	BMP COMPUTATIONS AND DETAILS
C663	BMP COMPUTATIONS AND DETAILS
C664	BMP COMPUTATIONS AND DETAILS
C665	BMP COMPUTATIONS AND DETAILS
C666	BMP COMPUTATIONS AND DETAILS
C667	BMP COMPUTATIONS AND DETAILS
C668	BMP COMPUTATIONS AND DETAILS
C669	BMP COMPUTATIONS AND DETAILS
C670	BMP COMPUTATIONS AND DETAILS
C671	BMP COMPUTATIONS AND DETAILS
C672	BMP COMPUTATIONS AND DETAILS
C673	BMP COMPUTATIONS AND DETAILS
C674	BMP COMPUTATIONS AND DETAILS
C675	BMP COMPUTATIONS AND DETAILS
C676	BMP COMPUTATIONS AND DETAILS
C677	BMP COMPUTATIONS AND DETAILS
C678	BMP COMPUTATIONS AND DETAILS
C679	BMP COMPUTATIONS AND DETAILS
C680	BMP COMPUTATIONS AND DETAILS
C681	BMP COMPUTATIONS AND DETAILS
C682	BMP COMPUTATIONS AND DETAILS
C683	BMP COMPUTATIONS AND DETAILS
C684	BMP COMPUTATIONS AND DETAILS
C685	BMP COMPUTATIONS AND DETAILS
C686	BMP COMPUTATIONS AND DETAILS
C687	BMP COMPUTATIONS AND DETAILS
C688	BMP COMPUTATIONS AND DETAILS
C689	BMP COMPUTATIONS AND DETAILS
C690	BMP COMPUTATIONS AND DETAILS
C691	BMP COMPUTATIONS AND DETAILS
C692	BMP COMPUTATIONS AND DETAILS
C693	BMP COMPUTATIONS AND DETAILS
C694	BMP COMPUTATIONS AND DETAILS
C695	BMP COMPUTATIONS AND DETAILS
C696	BMP COMPUTATIONS AND DETAILS
C697	BMP COMPUTATIONS AND DETAILS
C698	BMP COMPUTATIONS AND DETAILS
C699	BMP COMPUTATIONS AND DETAILS
C700	BMP COMPUTATIONS AND DETAILS
C701	BMP COMPUTATIONS AND DETAILS
C702	BMP COMPUTATIONS AND DETAILS
C703	BMP COMPUTATIONS AND DETAILS
C704	BMP COMPUTATIONS AND DETAILS
C705	BMP COMPUTATIONS AND DETAILS
C706	BMP COMPUTATIONS AND DETAILS
C707	BMP COMPUTATIONS AND DETAILS
C708	BMP COMPUTATIONS AND DETAILS
C709	BMP COMPUTATIONS AND DETAILS
C710	BMP COMPUTATIONS AND DETAILS
C711	BMP COMPUTATIONS AND DETAILS
C712	BMP COMPUTATIONS AND DETAILS
C713	BMP COMPUTATIONS AND DETAILS
C714	BMP COMPUTATIONS AND DETAILS
C715	BMP COMPUTATIONS AND DETAILS
C716	BMP COMPUTATIONS AND DETAILS
C717	BMP COMPUTATIONS AND DETAILS
C718	BMP COMPUTATIONS AND DETAILS
C719	BMP COMPUTATIONS AND DETAILS
C720	BMP COMPUTATIONS AND DETAILS
C721	BMP COMPUTATIONS AND DETAILS
C722	BMP COMPUTATIONS AND DETAILS
C723	BMP COMPUTATIONS AND DETAILS
C724	BMP COMPUTATIONS AND DETAILS
C725	BMP COMPUTATIONS AND DETAILS
C726	BMP COMPUTATIONS AND DETAILS
C727	BMP COMPUTATIONS AND DETAILS
C728	BMP COMPUTATIONS AND DETAILS
C729	BMP COMPUTATIONS AND DETAILS
C730	BMP COMPUTATIONS AND DETAILS
C731	BMP COMPUTATIONS AND DETAILS
C732	BMP COMPUTATIONS AND DETAILS
C733	BMP COMPUTATIONS AND DETAILS
C734	BMP COMPUTATIONS AND DETAILS
C735	BMP COMPUTATIONS AND DETAILS
C736	BMP COMPUTATIONS AND DETAILS
C737	BMP COMPUTATIONS AND DETAILS
C738	BMP COMPUTATIONS AND DETAILS
C739	BMP COMPUTATIONS AND DETAILS
C740	BMP COMPUTATIONS AND DETAILS
C741	BMP COMPUTATIONS AND DETAILS
C742	BMP COMPUTATIONS AND DETAILS
C743	BMP COMPUTATIONS AND DETAILS
C744	BMP COMPUTATIONS AND DETAILS
C745	BMP COMPUTATIONS AND DETAILS
C746	BMP COMPUTATIONS AND DETAILS
C747	BMP COMPUTATIONS AND DETAILS
C748	BMP COMPUTATIONS AND DETAILS
C749	BMP COMPUTATIONS AND DETAILS
C750	BMP COMPUTATIONS AND DETAILS
C751	BMP COMPUTATIONS AND DETAILS
C752	B

PRGS BLOCK B ZONING TABULATIONS

SITE LOCATION / ADDRESS	1300 N. ROYAL STREET
EXISTING ZONE	COO D30
PROPOSED ZONE	COO D30
SMALL AREA PLAN DISTRICT	OLD TOWN NORTH
TOTAL DISTURBED AREA	64,033 SF (1.47 AC)
EXISTING IMPERVIOUS AREA	46,827 SF (1.08 AC)
PROPOSED IMPERVIOUS AREA	46,827 SF (1.08 AC)
EXISTING USE	VACANT
PROPOSED USE	RETAIL, RESIDENTIAL
BLOCK AREA	46,873 SF (1.076 AC)
GROSS FLOOR AREA PROPOSED	
RESIDENTIAL	382,623 GSF
RETAIL	60,252 GSF
BOHMECH	10,965 GSF
TOTAL	453,839 GSF
EXISTING FAR	N/A
MAX FAR	N/A
PROPOSED FAR	N/A
UNITS	
RENTAL CONDO	204
TOTAL PER ACRE	281
UNITS PER ACRE	266 / ACRE
PARKING SPACES	
TOTAL REQUIRED	479
TOTAL PROVIDED (NOT INCLUDING TANDUM SPACES)	387
OPEN SPACE REQUIRED (15% OF PARCEL AREA)	7,266 SF
OPEN SPACE PROVIDED	23,084 SF
BUILDING SETBACKS FRONT	N/A
SIDE	N/A
REAR	N/A
N. FAIRFAX	20 FT
MAXIMUM BUILDING HEIGHT (REFER TO CONDITION #13, 13A, 13B)	172 FT
PROPOSED BUILDING HEIGHT	172 FT
FAA HEIGHT	AVG. 220 FT
AVERAGE FINISHED GRADE	30.04 FT
LOT FRONTAGE REQUIRED	N/A
LOT FRONTAGE PROVIDED	N/A
LOADING	
LOADING REQUIRED	2 SPACES
LOADING PROVIDED	3 SPACES

BLOCK B ALL RETAIL OPTION - PARKING REQUIREMENTS

Zoning Requirements Based on Residential Performance-Based City Standards (Minimum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
ADU - 60% AMI	0.75 /unit	10%	0.08 /sq ft
1 Bedroom	1.00 /bedrm	10%	0.90 /bedrm
2 Bedrooms	1.00 /bedrm	10%	0.90 /bedrm
Total with Zoning Requirements	479	479	479

Zoning Requirements Based on Residential Performance-Based City Standards (Maximum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
1 bedroom	1.00 /bedrm	0%	1.00 /bedrm
2 Bedrooms	1.00 /bedrm	0%	1.00 /bedrm
Total with Zoning Requirements	674	674	674

Zoning Requirements Based on Residential Performance-Based City Standards (Minimum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
ADU - 60% AMI	0.75 /unit	10%	0.08 /sq ft
1 Bedroom	1.00 /bedrm	10%	0.90 /bedrm
2 Bedrooms	1.00 /bedrm	10%	0.90 /bedrm
Total with Zoning Requirements	479	479	479

Zoning Requirements Based on Residential Performance-Based City Standards (Maximum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
1 bedroom	1.00 /bedrm	0%	1.00 /bedrm
2 Bedrooms	1.00 /bedrm	0%	1.00 /bedrm
Total with Zoning Requirements	674	674	674

Zoning Requirements Based on Residential Performance-Based City Standards (Minimum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
ADU - 60% AMI	0.75 /unit	10%	0.08 /sq ft
1 Bedroom	1.00 /bedrm	10%	0.90 /bedrm
2 Bedrooms	1.00 /bedrm	10%	0.90 /bedrm
Total with Zoning Requirements	479	479	479

Zoning Requirements Based on Residential Performance-Based City Standards (Maximum)	Residential (Apartment)	Residential (Condo)	Residential (Retail)
1 bedroom	1.00 /bedrm	0%	1.00 /bedrm
2 Bedrooms	1.00 /bedrm	0%	1.00 /bedrm
Total with Zoning Requirements	674	674	674

GENERAL NOTES

- THE BOUNDARY SURVEY WAS PREPARED BY CHRISTOPHER CONSULTANTS, LTD. BETWEEN THE DATES OF JUNE 26 AND JULY 3, 2019.
- THE TOPOGRAPHIC SURVEY WAS OBTAINED FROM CHRISTOPHER CONSULTANTS, LTD. BETWEEN THE DATES OF JUNE 26 AND AUGUST 21, 2019 AND UPDATED ON MAY 20, 2020 AND BETWEEN THE DATES OF JUNE 16 AND JUNE 18, 2020 AND ON JANUARY 27, 2021 AND BETWEEN THE DATES OF SEPTEMBER 14 AND NOVEMBER 17, 2021.
- THE SITE IS CURRENTLY DEVELOPED AS POTOMAC RIVER GENERATING STATION. THERE ARE NO NATURAL FEATURES ON THE SITE THAT NEED TO BE PRESERVED OR PROTECTED. THERE IS A RESOUCE PROTECTION AREA (RPA) BUFFER EAST OF THE BLOCK. EXISTING IMPERVIOUS AREA WILL BE REMOVED FROM THE RPA. THERE IS A WETLAND OF MINIMAL ECOLOGICAL VALUE ON THE PROPERTY AND ANY PERMITS REQUIRED FROM THE ARMY CORP OF ENGINEERS WILL BE OBTAINED.
- ANY POTENTIAL NEGATIVE IMPACT ON ADJOINING PROPERTIES BY THIS PROPOSED PROJECT WILL BE MITIGATED BY PROVIDING ADEQUATE PUBLIC INFRASTRUCTURE, MINIMIZING TRAFFIC IMPACTS AND PRESERVING THE RESOURCE PROTECTION AREA.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO MARINE CLAYS ON SITE.
- TO THE BEST OF OUR KNOWLEDGE CONTAMINATED SOIL MAY BE ON SITE. SEE SHEET C05.
- SITE WILL NOT FLOW TO A COMBINED SEWER.
- CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
- DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENUW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENUW PRETREATMENT COORDINATOR AT (703) 771-5500 (2203) (ALEXRENUW).

GREEN BUILDING NARRATIVE

THE APPLICANT'S COORDINATED SUSTAINABILITY STRATEGY "CSS" WAS ENDORSED BY THE CITY COUNCIL ON MAY 13, 2020. REFER TO CSS AND CSS MATRIX AT SHEET C706 FOR APPLICATION TO THIS BLOCK.

SANITARY OUTFALL NARRATIVE:

PER MEMO TO INDUSTRY 06-14, THE OUTFALL ANALYSIS SHALL ANALYZE THE SEWER SYSTEM UP TO A DOWNSTEAM SEWER WITH A MINIMUM DIAMETER OF 24 INCHES OR TO A POINT AS DIRECTED BY T&S STAFF, AS DIRECTED BY CITY STAFF. THE ANALYSIS SHALL BE AS SHOWN ON SHEET C707. TABLE "SANITARY FLOW ESTIMATE" ON SHEET C707 PROVIDE AN ESTIMATE OF SANITARY FLOW FROM EACH BLOCK AS WELL AS THE TOTAL FLOW FROM THE PROS SITE. SANITARY SEWER COMPUTATIONS ON SHEET C707 PRESENT THE IMPACT OF THE PROS DEVELOPMENT ON CITY SEWER SYSTEM, AS ILLUSTRATED BY THE COMPUTATIONS. CAPACITY IMPROVEMENTS SHALL BE REQUIRED TO SERVICE THE PROS DEVELOPMENT (SEE SHEET C708 FOR CAPACITY IMPROVEMENT DETAILS). BLOCK B UNIT MIX ARE CONDOS AND APARTMENTS. THERE ARE NO SINGLE FAMILY HOME PROPOSED WITH BLOCK B.

ARCHAEOLOGY NOTES

- THE FINAL SITE PLAN, GRADING PLAN, OR ANY OTHER PERMITS INVOLVING GROUND-DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PRELIMINARY LANDSCAPING AND OTHER RELATED ACTIVITIES AS REFERRED IN SECTION 2-415 OF THE ZONING ORDINANCE) SHALL NOT BE RELEASED UNTIL THE CITY ARCHAELOGIST CONFIRMS THAT ALL ARCHAELOGICAL FIELD WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONJUNCTION WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAELOGY AT (703) 746-4399.
- THE APPLICANT / DEVELOPER SHALL CALL ALEXANDRIA ARCHAELOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURE, REMAINS WALL, FOUNDATIONS, WELLS, PIPES, (GISTERS, ETC.) OR OTHER CONSTRUCTION OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAELOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT / DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAELOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

UTILITY CONTACTS:

WASHINGTON GAS	LEAKING
MRL PLY ESTIMATING/ALMA 6901 ROUSTABURD ROAD SPRINGFIELD, VA 22151 (703) 754-2839	MRS. STEVE H. PURYEAR, SUPERVISOR/ENGINEERING 3907 PARKER DRIVE, 1ST FLOOR FALLS CHURCH, VA 22042 (703) 764-6271
COUNCIL REGIONAL POWER	STEWEN CHEN
907 WEST GLEBE ROAD ALEXANDRIA, VA 22305 (703) 694-2479	2220 CLARE STREET ALEXANDRIA, VA 22304 (703) 704-9863
COMCAST CABLE	CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
MRS. GUSTAVO CATELON 3102 W. BURNING WOOD ARLINGTON, VA 22201 (703) 924-2534	391 4RD STREET, ROOM 4100 ALEXANDRIA, VA 22314 (703) 764-4625

BLOCK B RENTAL

PARKING TABULATION - BLOCK B	Garage Level P1	Garage Level P2
TYPICAL STANDARD SPACE	108	108
TANDUM SPACES	19	19
COMPACT SPACES	5	5
STANDARD ACCESSIBLE SPACES	15	15
VAN ACCESSIBLE SPACES	0	0
TOTAL P1 SPACE COUNT	157	157

BLOCK B CONDO

PARKING TABULATION - BLOCK B	Garage Level P1	Garage Level P2
TYPICAL STANDARD SPACE	108	108
TANDUM SPACES	19	19
COMPACT SPACES	5	5
STANDARD ACCESSIBLE SPACES	15	15
VAN ACCESSIBLE SPACES	0	0
TOTAL P1 SPACE COUNT	157	157

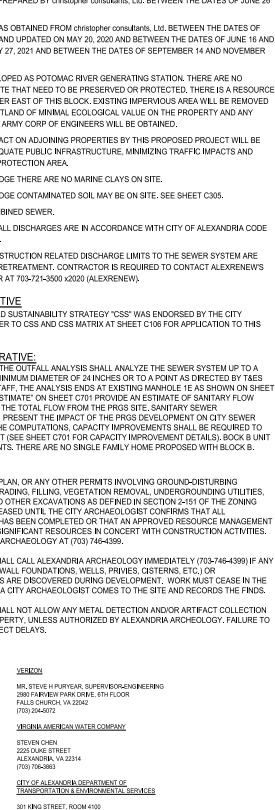
BLOCK B CONDO

PARKING TABULATION - BLOCK B	Garage Level P1	Garage Level P2
TYPICAL STANDARD SPACE	108	108
TANDUM SPACES	19	19
COMPACT SPACES	5	5
STANDARD ACCESSIBLE SPACES	15	15
VAN ACCESSIBLE SPACES	0	0
TOTAL P1 SPACE COUNT	157	157

BLOCK B CONDO

PARKING TABULATION - BLOCK B	Garage Level P1	Garage Level P2
TYPICAL STANDARD SPACE	108	108
TANDUM SPACES	19	19
COMPACT SPACES	5	5
STANDARD ACCESSIBLE SPACES	15	15
VAN ACCESSIBLE SPACES	0	0
TOTAL P1 SPACE COUNT	157	157

LEGEND



ABBREVIATIONS

CO	CLEAN OUT
CT	CONFEROUS TREE
DT	DECIDUOUS TREE
EX	EXISTING
EMST	EASEMENT
FCC	FIRE CONTROL CENTER
FDC	FIRE DEPARTMENT CONNECTION
PH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
OFD	OVERFLOW DRAIN
RES	RESIDENTIAL
SAN	SANITARY
STMSTRM	STORM
TBR	TO BE REMOVED
TBV	TO BE VACATED
TOP	TOP OF SLAB
TYP	TYPICAL
WL	WATER LINE

EXISTING DAILY AVG. TRIPS:

PROPOSED DAILY AVG. TRIPS:

BLOCK B CONDO COMPLETENESS

PRGS Traffic Generation Table	AM Peak Hour	PM Peak Hour	ADT
Use	48	48	96
Multi-family Housing (High-Rise)	222	321	543
Shopping Center	820	66,252	298
Multi-family Housing (High-Rise)	222	321	543
General Office Building	710	48,446	19
Shopping Center	820	73,809	61
Total	61	71	955

ADT BY ROADWAY

Roadway	ADT
General Entrance - ADT	4,700
Block B	2,500
N. Fairfax Street	1,100

ADT BY GARAGE ENTRANCE

Garage Entrance	ADT
Block B	827,555

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

Block B - Bicycle Count

Residential	Units	Required Long Term	Provided Long Term	Required Short Term	Provided Short Term
Condo	117	378	36	3	3
Rental	204	652	19	19	19
Total	321	1,030	55	22	22

APPROVED SPECIAL USE PERMIT NO. 2025-1001

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DATE RECORDED

RETIREMENT NO. DEED BOOK NO. PAGE NO.

PRGS - REDEVELOPMENT BLOCK - B

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO.: 2025066100

DRAWING NO.: 114122

DATE: 04/18/2025

SCALE: NONE

DESIGN: JH

DRAWN: JS

CHECKED: KHW

DATE

DESCRIPTION

COMPLETENESS SUBMISSION

VERIFICATION OF COMPLETENESS

DATE

DATE

DATE

DATE

DATE

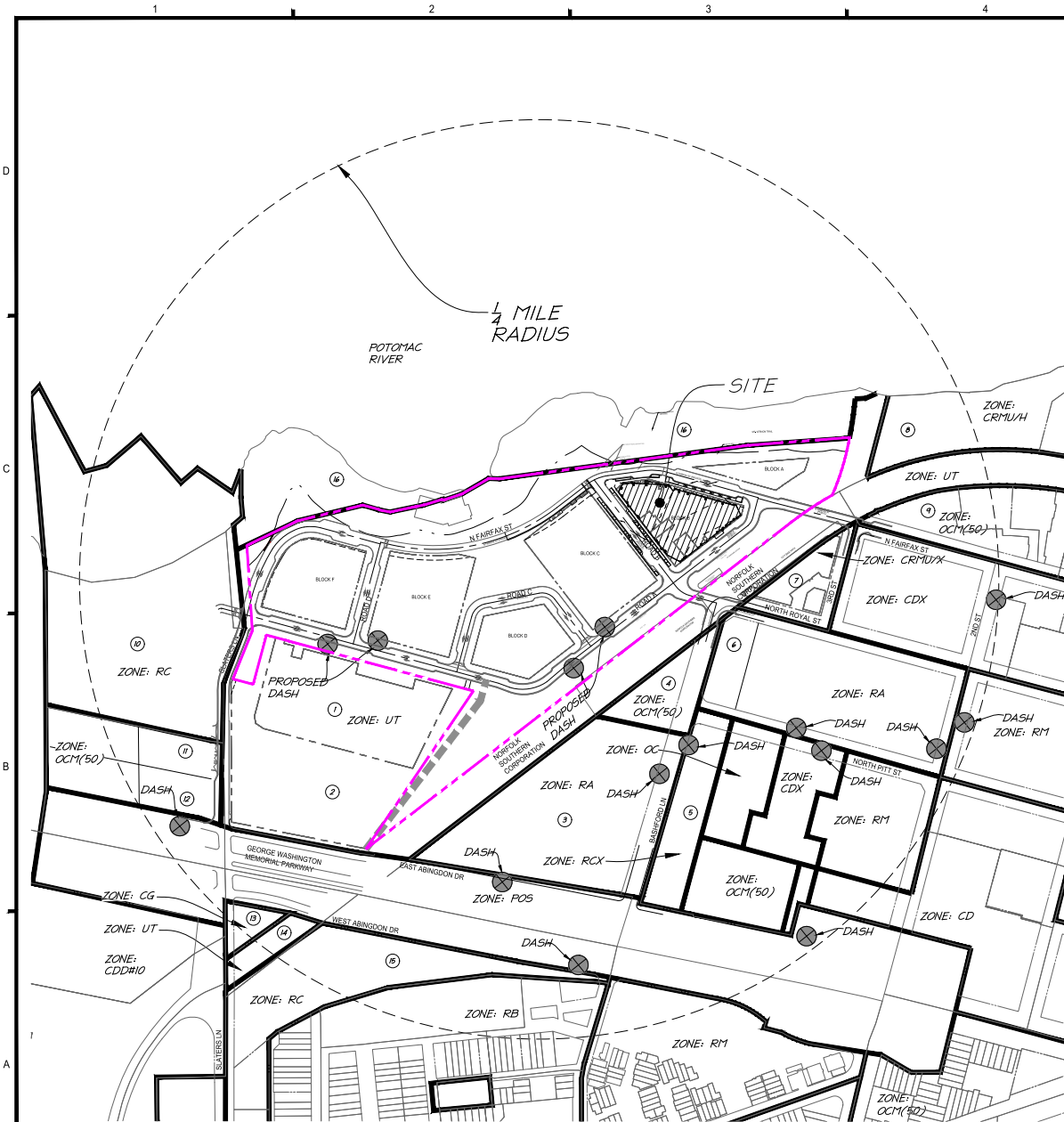
DATE

DATE

DATE

DATE

DATE



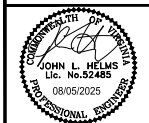
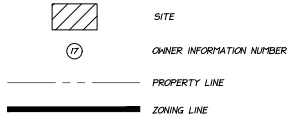
NOTE:
ALL BUS STOPS SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.

POTENTIAL FUTURE CONNECTION TO EAST ARLINGTON DR IS SUBJECT TO COOPERATION OF ADJACENT PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.

OWNERSHIP INFORMATION

- POTOMAC ELECTRIC POWER COMPANY
1400 N. ROYAL ST
USE: LEGAL PARCEL BENEATH LEASED ZONE: UT
- POTOMAC ELECTRIC POWER COMPANY
1500 N. ROYAL ST
USE: VACANT LAND COMMERC. ZONE: UT
- HARBOR TERRACE CONDOMINIUM
551 BASHFORD LA
USE: CONDO MASTER CARDS ZONE: RA
- KESTERMANN ANNA H TR
501 BASHFORD LA
USE: REPAIR SERVICES ZONE: OCM
- RIVERTON CONDOMINIUM
610 BASHFORD LA
USE: CONDO MASTER CARDS ZONE: RCX
- POTOMAC SHORES CONDOMINIUM - MULTIPLE OWNERS
400 BASHFORD LA
USE: CONDO (GARDEN) ZONE: RA
- 1201 ROYAL OWNER LLC
1201 N. ROYAL ST
USE: CONDO (HI-RISE) ZONE: CRM/UX
- TRANSPOTOMAC CANAL CENTER OWNERS ASSOCIATION INC
1 CANAL CENTER PZ
USE: VACANT LAND COM AREA ZONE: CRM/UX
- 1199 N FAIRFAX OWNER LLC
1199 N FAIRFAX ST
USE: OFFICE BUILDINGS ZONE: OCM (50)
- MARINA TONERS CONDOMINIUM
501 SLATERS LA
USE: CONDO MASTER CARDS ZONE: RC
- SALVATION ARMY NATIONAL CORPORATION
405 SLATERS LA
USE: CHARITABLE ZONE: OCM (50)
- SALVATION ARMY NATIONAL CORPORATION
415 SLATERS LA
USE: CHARITABLE ZONE: OCM (50)
- TRAN INVESTMENTS LLC
700 SLATERS LA
USE: GENERAL COMMERCIAL ZONE: CG
- R F AND P RAILROAD
3 GEORGE WASHINGTON MEM PY
USE: OP RAILROAD VDT ZONE: UT
- CVR MASON HALL LLC
1420 W ABINGDON DR
USE: MED RISE ELEV (4-65) ZONE: RC

LEGEND



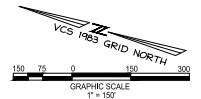
PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETE SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: NONE
DESIGN: JH
DRAWN: JS
CHECKED: KHW

CONTEXTUAL PLAN

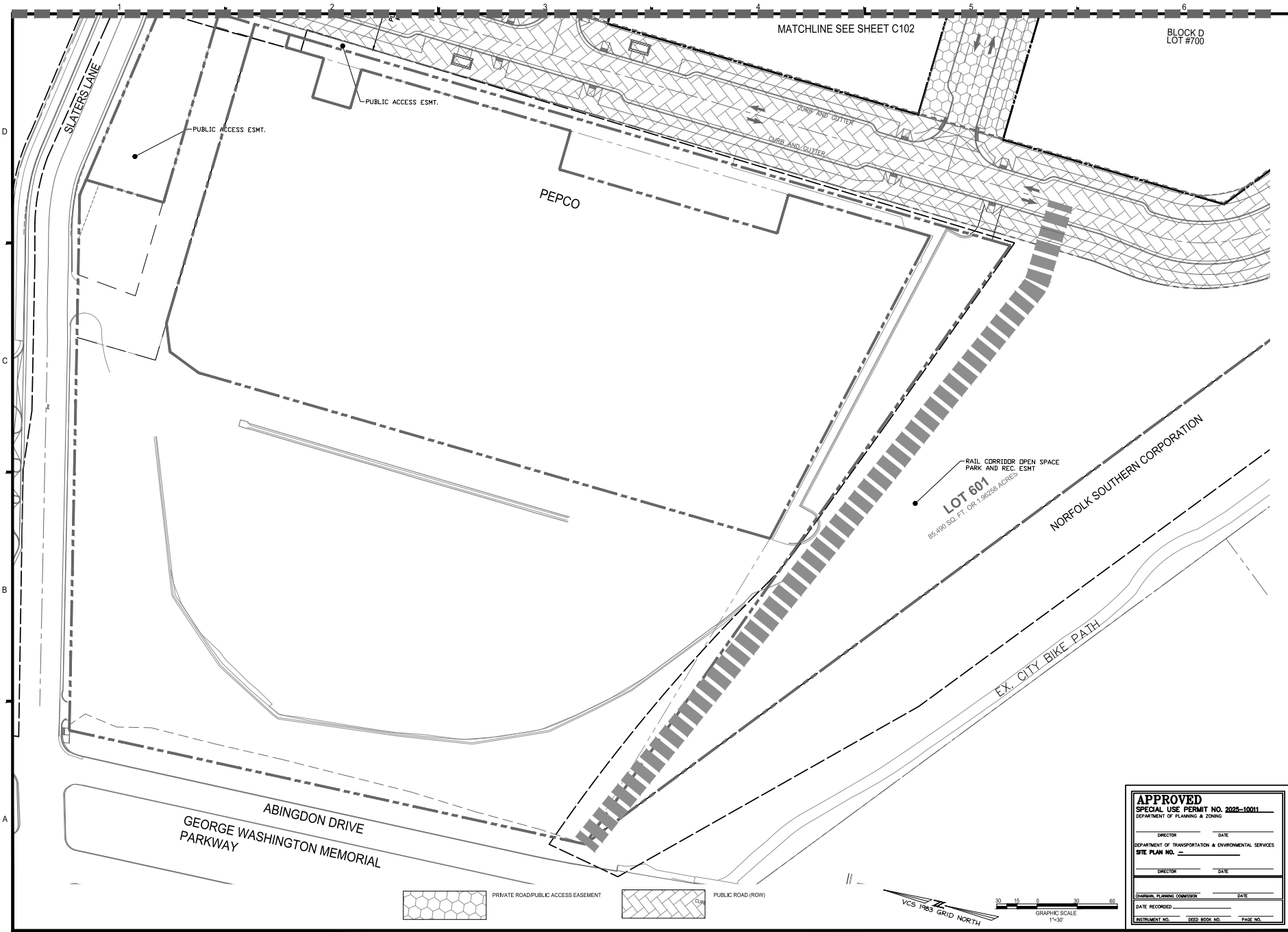
SHEET No. **C101**



APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____
DIRECTOR _____ DATE _____

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KHW

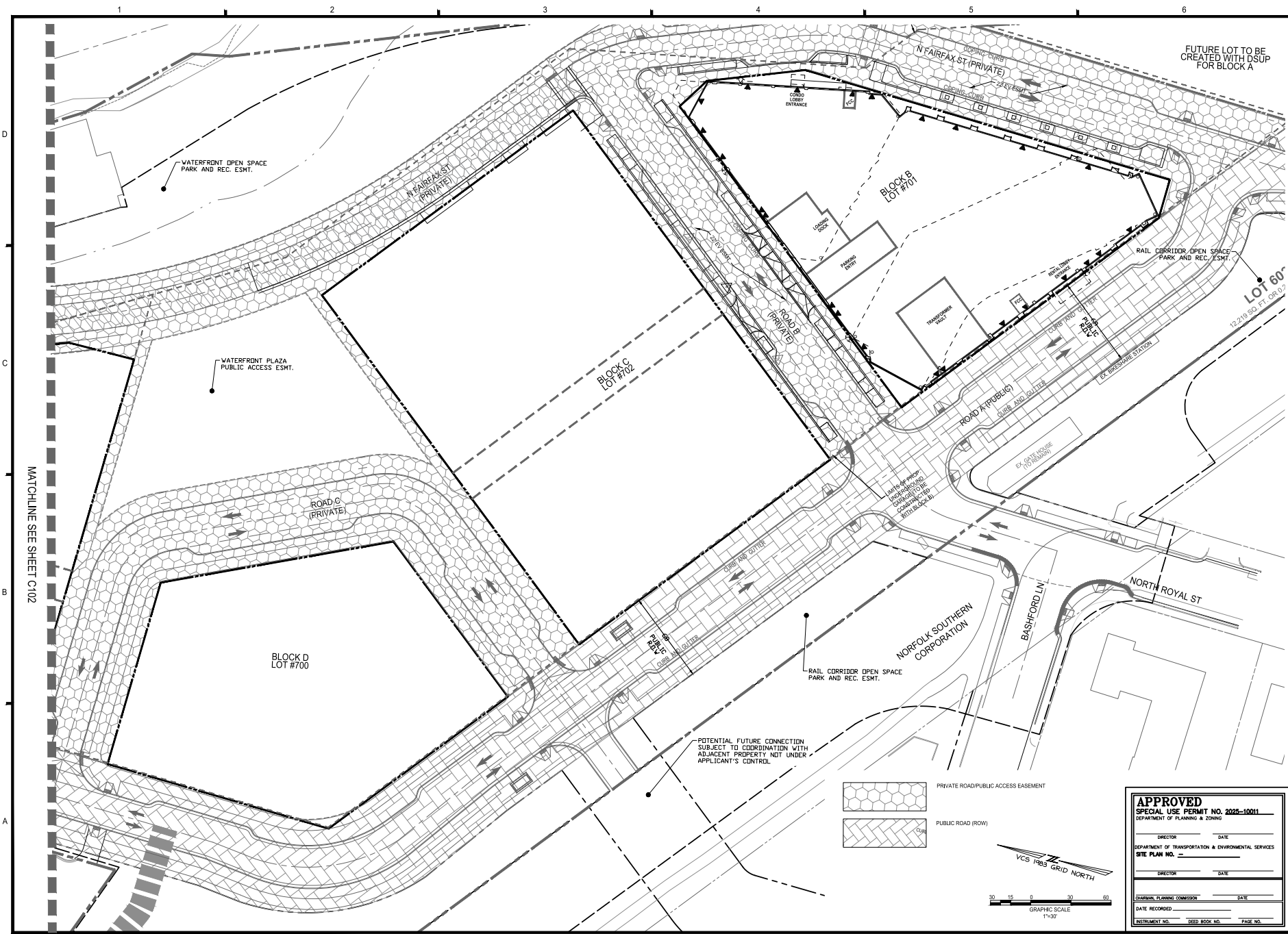
PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT

SHEET No. C103

APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRETOR _____ DATE _____

DEPARTMENTAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

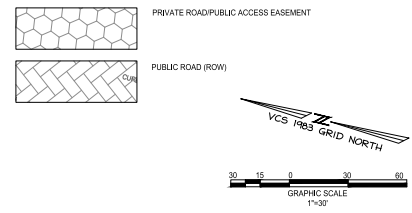
PROJECT No.: 23005661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: JS
 CHECKED: XHW

PUBLIC VS. PRIVATE ROAD AND EASEMENT EXHIBIT

SHEET No. **C104**

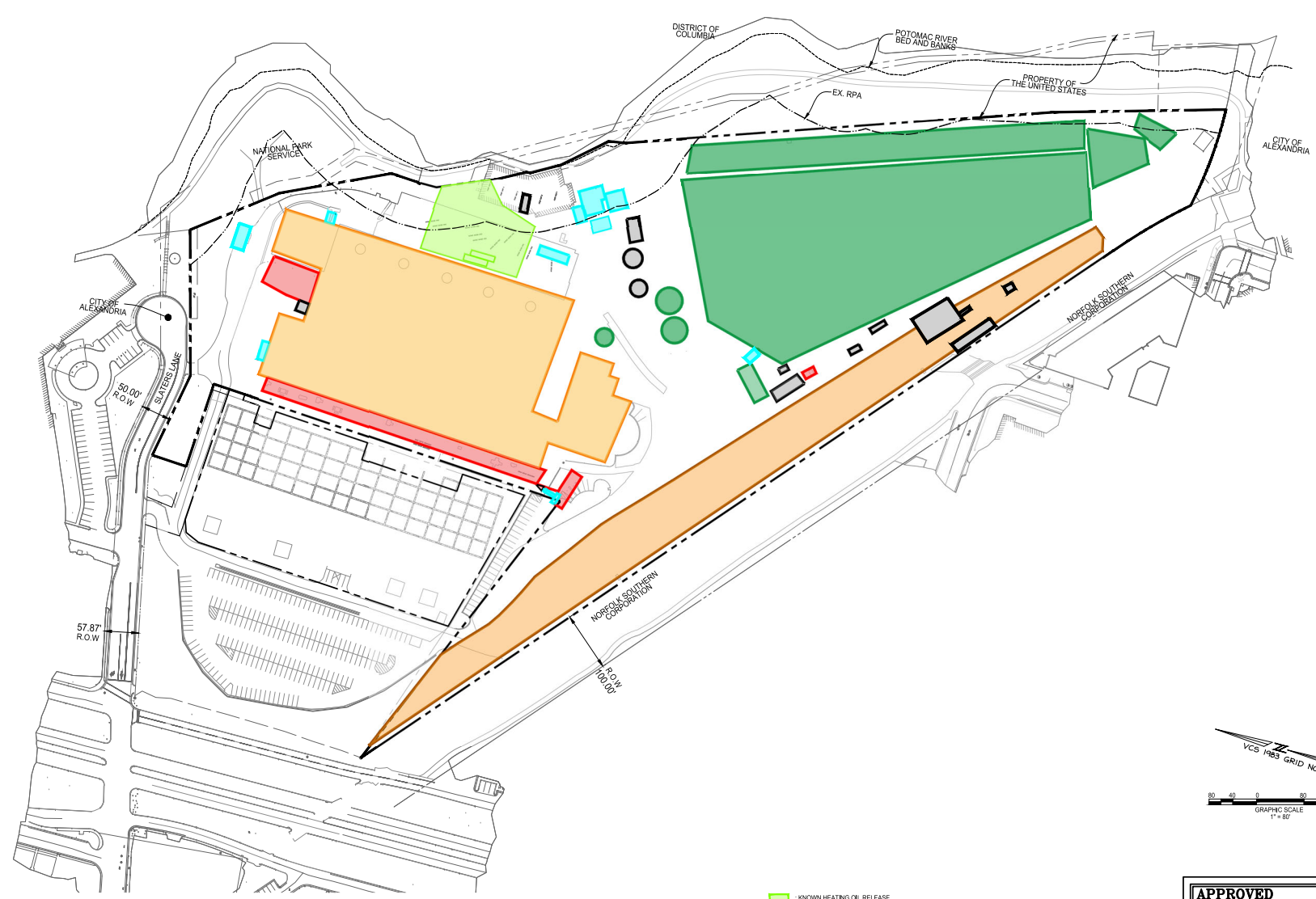
APPROVED
SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

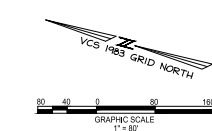


1 2 3 4 5 6

D
C
B
A



- KNOWN HEATING OIL RELEASE
- POTENTIAL HISTORICAL RELEASES FROM CHEMICAL STORAGE AREAS AND USE
- POWER PLANT AND LABORATORY BUILDING (CURRENTLY INACCESSIBLE)
- FORMER COAL AND ASH STORAGE AREAS
- TRANSFORMERS/ELECTRICAL EQUIPMENT
- RAIL YARD
- OTHER POTENTIAL AREAS OF IMPACT (BASED ON HISTORICAL USE)

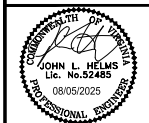


APPROVED
SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005961.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=60'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

AREAS OF POTENTIAL ENVIRONMENTAL IMPACT

SHEET No. **C105**



LEED v4 BD+C Project Checklist

Table with columns for LEED categories (Sustainable Sites, Water Efficiency, Energy and Atmosphere, etc.) and rows for specific credits with their status and required team members.

Table with columns for LEED categories (Materials and Resources, Indoor Environmental Quality, Innovation, Regional Priority, etc.) and rows for specific credits with their status and required team members.

TOTALS Possible Points: 110 Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

Table titled 'Block B' showing Percentages, Space Type, and Square Footage for various building areas like Retail, Office, and Labory.

*This is a snapshot in time based on this Completeness submission. Adjustments will be made as design is advanced.

Table titled 'SITE' with columns for OPEN SPACE AND BIODIVERSITY, GREEN INFRASTRUCTURE, and CIRCULATION AND TRANSPORTATION.

Table titled 'ENERGY & CARBON' with columns for OPERATIONAL CARBON, DESIGN TRACKING, RENEWABLES, and EMBODIED CARBON.

Table titled 'WATER' with columns for DESIGN TRACKING, POTABLE WATER DEMAND, OUTDOOR WATER DEMAND, and STORAGE & REUSE.

Table titled 'HUMAN HEALTH' with columns for MATERIAL SOURCING, DESIGN TRACKING INDOOR ENVIRONMENTAL QUALITY, and WASTE MANAGEMENT.

Table titled 'RESILIENCE' with columns for EXTREME HEAT and EXTREME PRECIPITATION.



4035 Ridge Top Rd, Suite 601 Fairfax, VA 22030 P: 703.273.6820 engineering • land planning



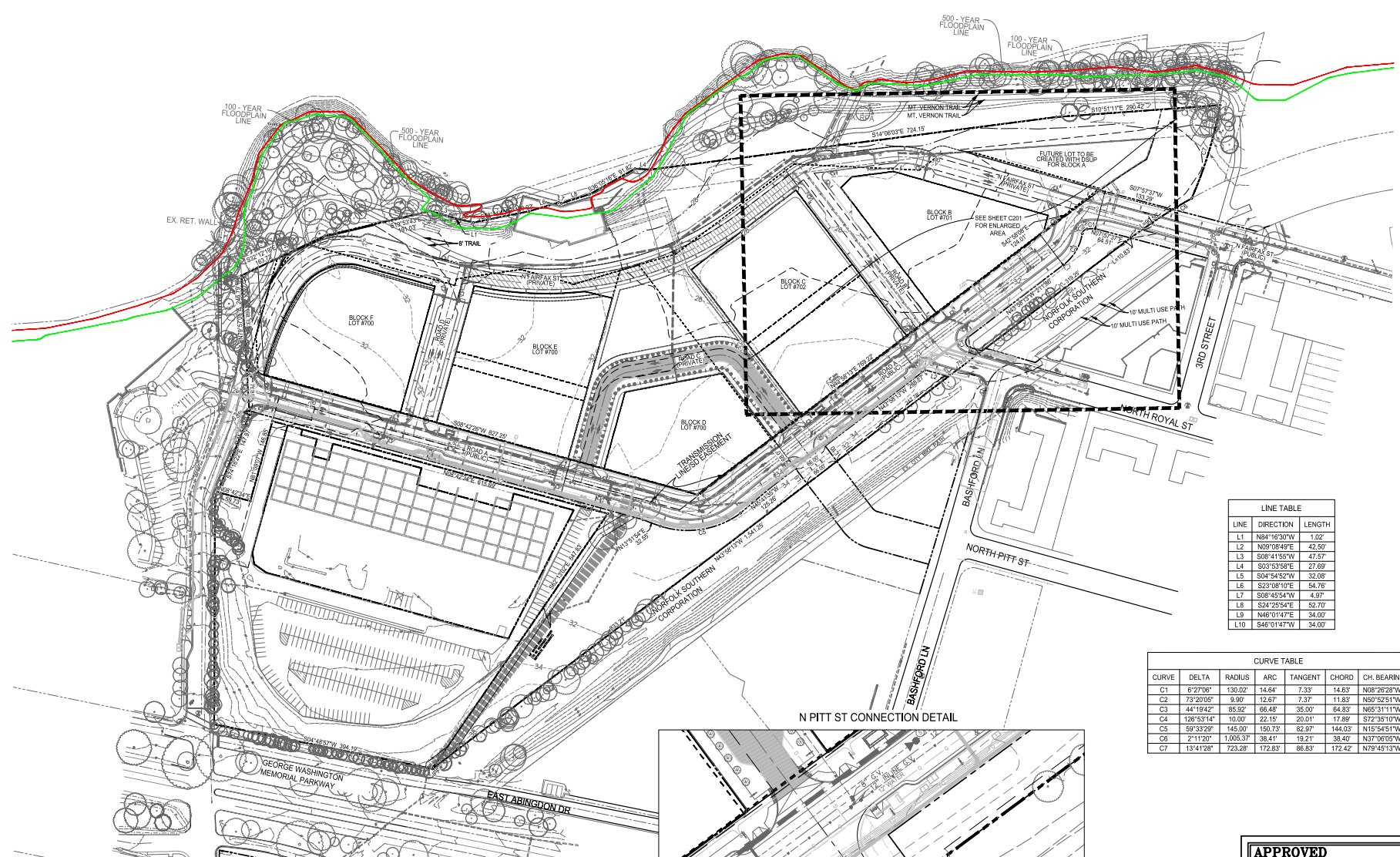
PRGS - REDEVELOPMENT BLOCK - B PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT CITY OF ALEXANDRIA, VIRGINIA

Table for COMPLETENESS SUBMISSION with columns for MARK, DATE, and DESCRIPTION.

PROJECT No.: 2300566.100 DRAWING No.: 114122 DATE: 04/18/2025 SCALE: N/A DESIGN: jh DRAWN: JS CHECKED: HWY

APPROVED SPECIAL USE PERMIT NO. 2025-10011 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ...

COORDINATED SUSTAINABILITY STRATEGY SHEET No.: C106



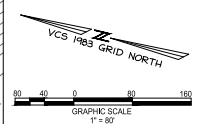
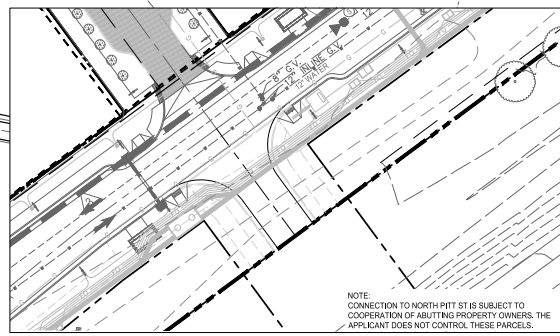
LINE TABLE

LINE	DIRECTION	LENGTH
L1	N84°16'30"W	1.02'
L2	N09°08'48"E	42.50'
L3	S08°41'55"W	47.57'
L4	S23°13'58"E	27.69'
L5	S04°54'52"W	32.08'
L6	S23°08'10"E	54.76'
L7	S08°45'54"W	4.97'
L8	S24°25'54"E	52.70'
L9	N45°01'47"E	34.00'
L10	S46°01'47"W	34.00'

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CH. BEARING
C1	6°27'08"	130.02	14.64	7.33	14.63	N68°26'28"W
C2	73°20'05"	9.90	12.67	7.37	11.83	N50°52'51"W
C3	44°19'42"	85.92	66.48	35.00	64.83	N65°31'11"W
C4	126°53'14"	10.00	22.15	20.01	17.89	S72°35'10"W
C5	59°33'29"	145.00	150.73	82.97	144.03	N19°54'51"W
C6	2°11'20"	1,025.37	38.41	19.21	38.40	N37°06'05"W
C7	13°41'58"	723.28	172.83	86.83	172.42	N79°45'13"W

N PITTS ST CONNECTION DETAIL



- NOTES**
1. SEE SHEET C100 FOR LEGENDS.
 2. UTILITIES TO BE COORDINATED WITH H&P.
 3. TO THE BEST OF OUR KNOWLEDGE THE SITE HAS NO AREAS OF MARINE CLAY.
- THE WOODNER IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.
- POTENTIAL FUTURE CONNECTION TO EAST ABINGDON DR IS SUBJECT TO COOPERATION OF ADJUTING PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.
- FLUSH CURB CONDITION



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

COMPLETION SUBMISSION

NO.	DATE	DESCRIPTION
1	05/16/2025	VERIFICATION OF COMPLETION
2	07/10/2025	
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT No.: 23005661.00
 DRAWING No.: 114122
 DATE: 04/16/2025
 SCALE: 1" = 80'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

APPROVED
 SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DIRECTOR _____ DATE _____

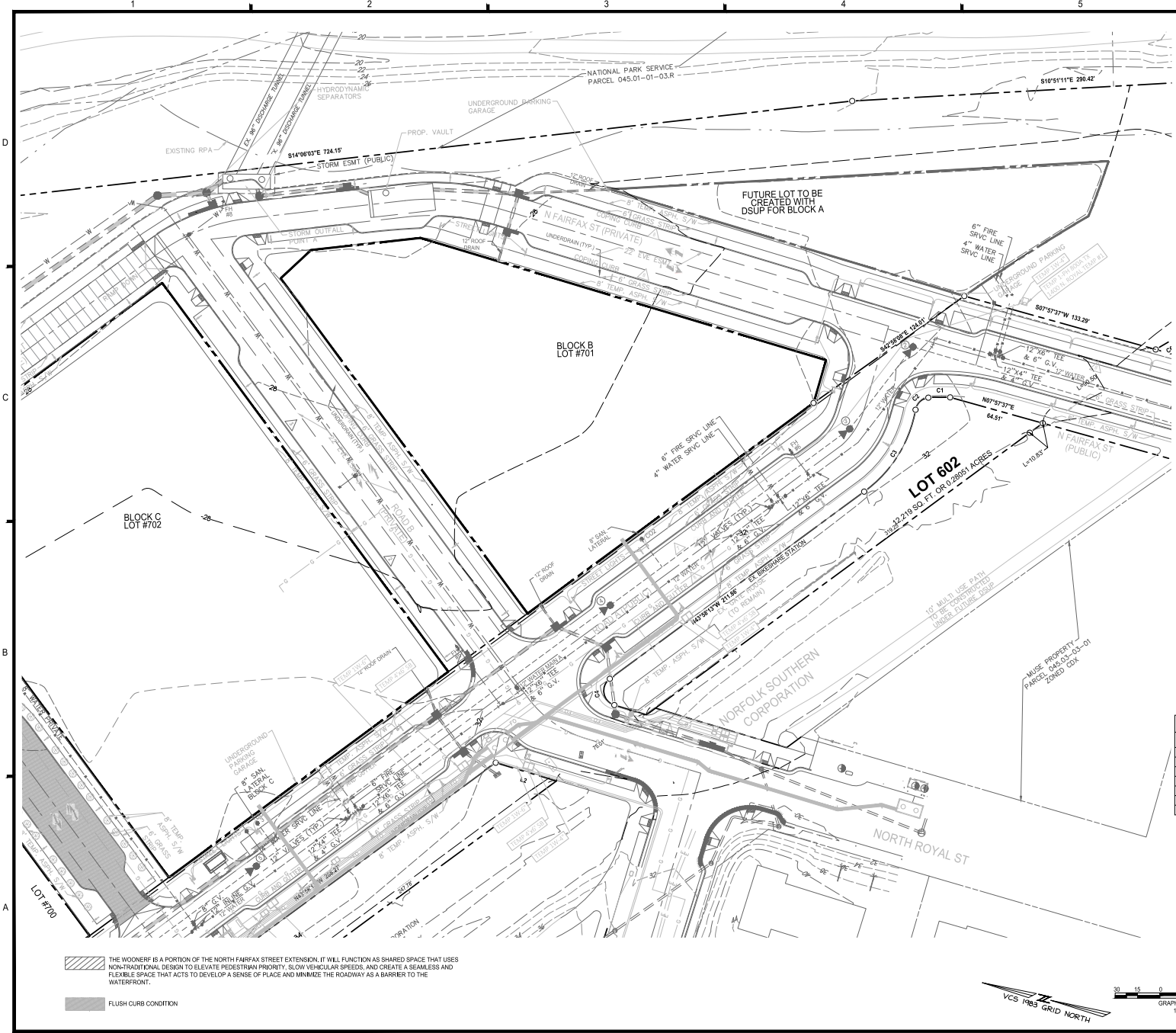
APPROVAL PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

EXHIBITION NO. _____ DEED BOOK NO. _____ PAGE NO. _____

OVERALL EXISTING
CONDITIONS PLAN

SHEET No. **C200**



- NOTES**
1. SEE SHEET C100 FOR LEGENDS.
 2. SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
 3. ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES) SHOWN AROUND BLOCK B IS PROPOSED WITH THE PRGS INFRASTRUCTURE PLAN (DSP# 2023-00001).
 4. UTILITIES TO BE COORDINATED WITH IDSP.
 5. TO THE BEST OF OUR KNOWLEDGE THE SITE HAS NO AREAS OF MARINE CLAY.

LINE TABLE

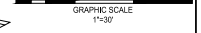
LINE	DIRECTION	LENGTH
L1	N84°16'30"W	1.02
L2	N09°08'49"E	42.50
L3	S08°41'55"W	47.57
L4	S03°53'58"E	27.89
L5	S04°55'52"W	32.08
L6	S23°08'10"E	54.76
L7	S08°45'54"W	4.97
L8	S24°25'54"E	52.70
L9	N46°01'47"E	34.00
L10	S46°01'47"W	34.00

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CH. BEARING
C1	6°27'06"	130.02'	14.64'	7.33'	14.63'	N08°26'28"W
C2	73°20'05"	9.90'	15.87'	7.37'	11.83'	N50°52'31"W
C3	44°19'42"	85.92'	86.49'	35.00'	64.83'	N65°11'11"W
C4	126°53'14"	10.00'	22.15'	20.01'	17.89'	S72°35'10"W
C5	59°33'29"	145.00'	150.73'	82.97'	144.03'	N15°54'51"W
C6	2°11'20"	1,005.37'	38.41'	19.21'	38.40'	N37°06'05"W
C7	13°41'28"	723.28'	172.83'	86.83'	172.42'	N79°45'13"W

THE WOONERF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICLE SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

FLUSH CURB CONDITION



4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.6820
engineering • surveying • land planning

**PRGS - REDEVELOPMENT
BLOCK - B**

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	08/05/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 2300661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KMW

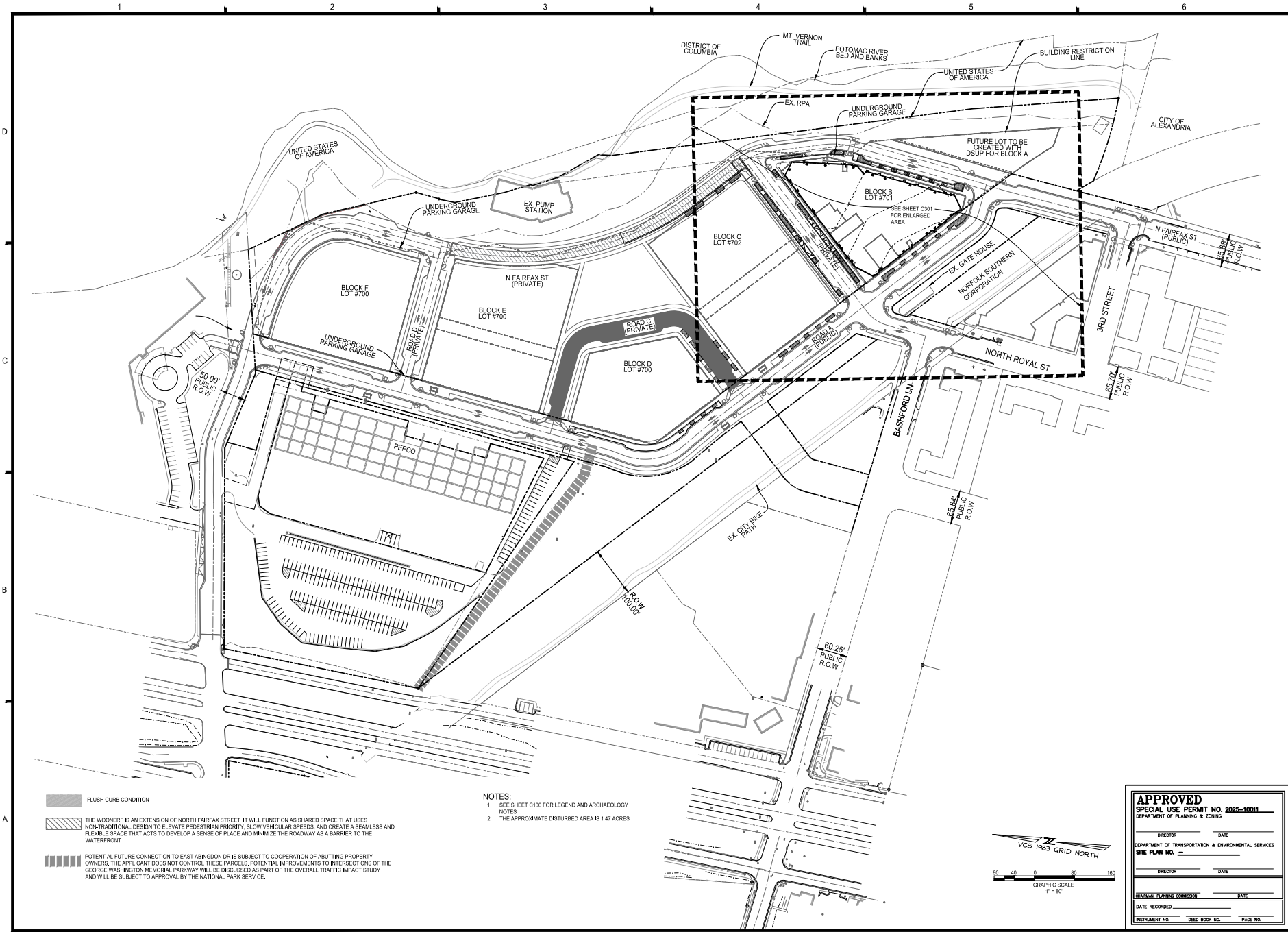
**APPROVED
SPECIAL USE PERMIT NO. 2025-1001**
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____
DIRETOR _____ DATE _____

JOURNAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
RETIREMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

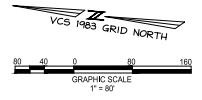
**BLOCK B EXISTING
CONDITIONS**

SHEET No. **C201**



- FLUSH CURB CONDITION
- THE WOODSURF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.
- POTENTIAL FUTURE CONNECTION TO EAST ARLINGTON DR IS SUBJECT TO COOPERATION OF ADJACENT PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.

NOTES:
 1. SEE SHEET C100 FOR LEGEND AND ARCHAEOLOGY NOTES.
 2. THE APPROXIMATE DISTURBED AREA IS 1.47 ACRES.




APPROVED
SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING


DIRECTOR _____ DATE _____
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 engineering • surveying • land planning



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

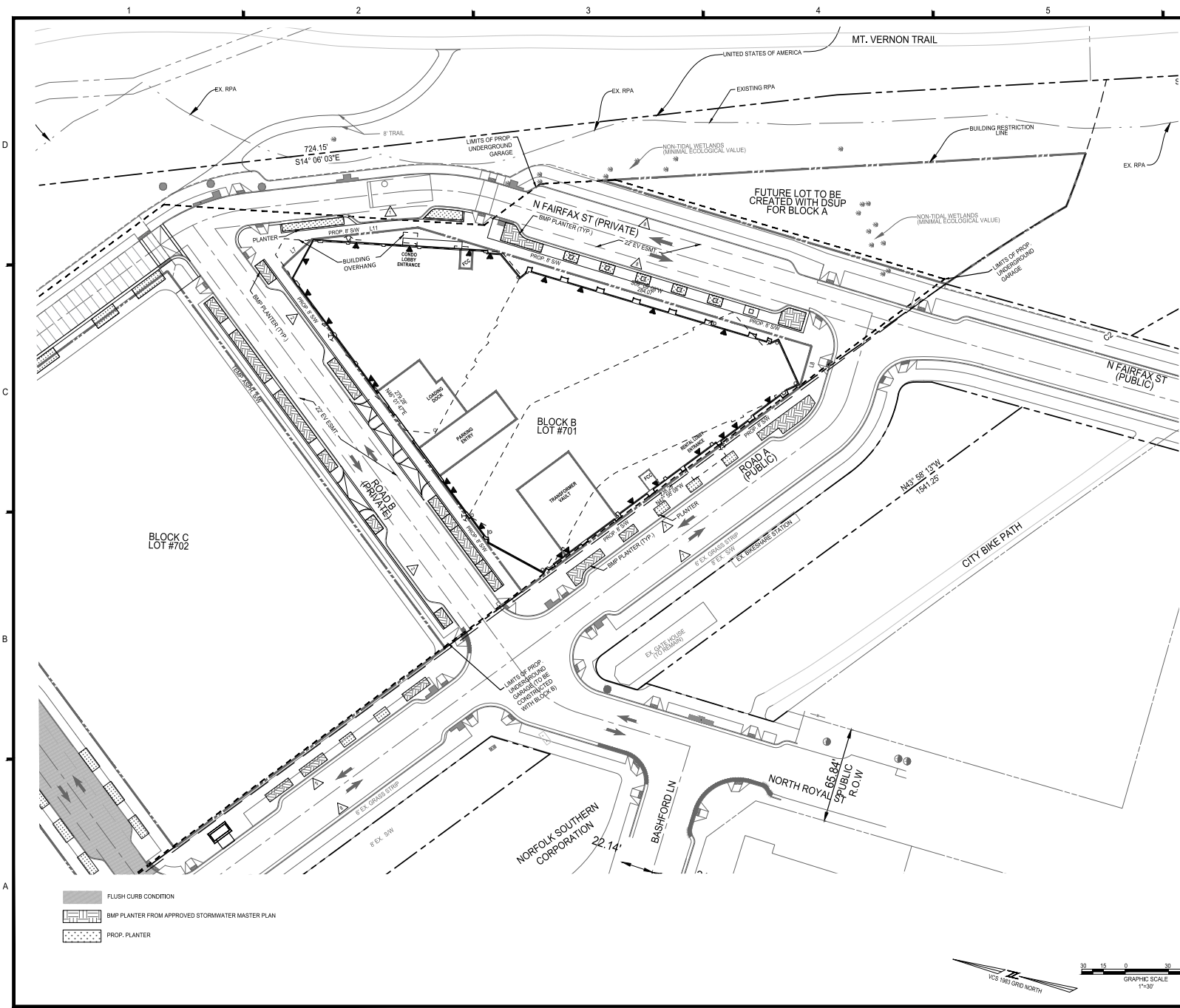
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050561.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=80'
 DESIGN: JH
 DRAWN: MG
 CHECKED: KMW

OVERALL SITE PLAN

SHEET No. **C300**



- NOTES**
- SEE SHEET C100 FOR LEGENDS.
 - SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
 - ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES), SHOWN AS EXISTING AROUND BLOCK A ARE SHOWN PER PROPOSED FEATURES OF THE PRGS INFRASTRUCTURE PLAN (DSP# 2023-00001).
 - UTILITIES SUBJECT TO CHANGE PER OPTIONS IN DSP.
 - STREETSCAPE TO BE PROVIDED PER APPROVED CDD.
 - INTERNAL IMPROVEMENTS MAY BE MADE AT THESE LOCATIONS WITH THE OPEN SPACE DSUP UNTIL APPROVAL FROM NORFOLK SOUTHERN RAILWAY ALLOWS FOR COORDINATED PERMANENT IMPROVEMENTS TO BE IMPLEMENTED.
 - FUTURE DSUP WILL INCLUDE DETAIL ON PROPOSED FINAL AND INTERNAL CONDITIONS IMPROVEMENTS.
 - FINAL STREETSCAPES ALONG N FAIRFAX STREET ADJACENT TO BLOCK A SHALL BE CONSTRUCTED AS PART OF THE BUILDING CONSTRUCTION FOR BLOCK A. TEMPORARY STREETSCAPE TO REMAIN ADJACENT TO OTHER BLOCKS UNTIL EACH BLOCK'S BUILDING IS CONSTRUCTED. PER THE PHASING CONDITIONS OF THE APPROVED CDD CONCEPT PLAN.
 - PROPOSED PARCELS SUCH AS BLOCKS B-C AND PRIVATE STREET PARCELS WILL BE CREATED VIA NEW SUBDIVISION PLAT THAT IS SUBMITTED AS PART OF THIS DSUP SUBMISSION. FUTURE LOT TO BE CREATED WITH A DSUP FOR BLOCK A. BLOCK DESIGNATIONS ON THIS PLAN WILL BE REPLACED AND/OR SUPPLEMENTED BY THE NEW SUBDIVISION LOT #S WHEN AVAILABLE.
 - THE APPROXIMATE DISTURBED AREA IS 1.47 ACRES.

LINE TABLE

LINE	DIRECTION	LENGTH
L7	S50°23'54"E	27.81'
L8	S81°20'20"E	29.88'
L11	S13°53'36"E	73.87'



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

COMPLETENESS SUBMISSION

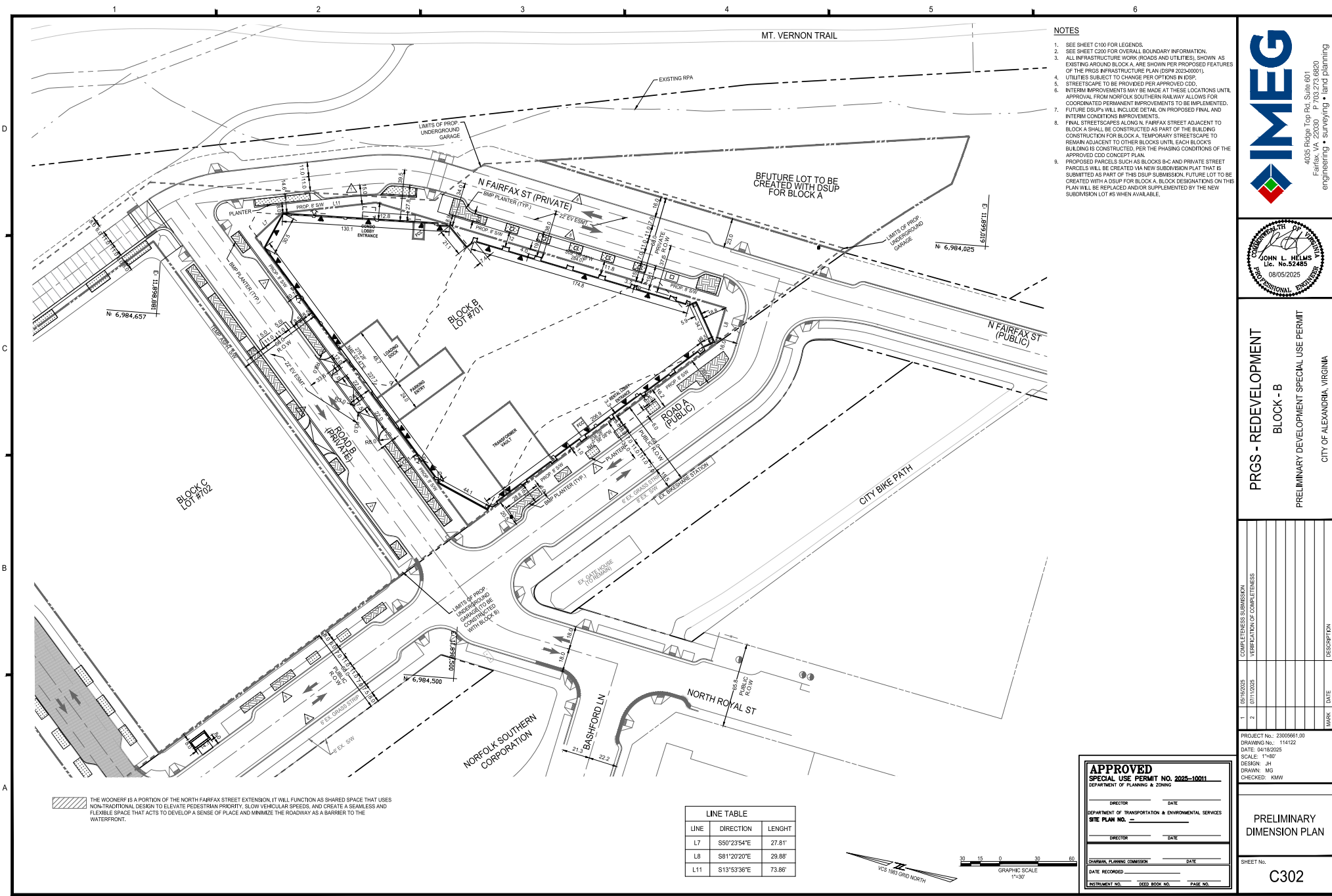
MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - and SUBMISSION

PROJECT No.: 23050661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

APPROVED
SPECIAL USE PERMIT NO. 2025-1001
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DEPARTMENT OF PLANNING & ZONING

PRELIMINARY SITE PLAN

SHEET No. **C301**



- NOTES**
1. SEE SHEET C100 FOR LEGENDS.
 2. SEE SHEET C200 FOR OVERALL BOUNDARY INFORMATION.
 3. ALL INFRASTRUCTURE WORK (ROADS AND UTILITIES), SHOWN AS EXISTING AROUND BLOCK A, ARE SHOWN PER PROPOSED FEATURES OF THE PROS. INFRASTRUCTURE PLAN (OSPR 2022-0001).
 4. UTILITIES SUBJECT TO CHANGE PER OPTIONS IN OSPP.
 5. STREETSCAPE TO BE PROVIDED PER APPROVED CDD.
 6. INTERIM IMPROVEMENTS MAY BE MADE AT THESE LOCATIONS UNTIL APPROVAL FROM NORFOLK SOUTHERN RAILWAY ALLOWS FOR COORDINATED PERMANENT IMPROVEMENTS TO BE IMPLEMENTED.
 7. FUTURE DSUP'S WILL INCLUDE DETAIL ON PROPOSED FINAL AND INTERIM CONDITIONS IMPROVEMENTS.
 8. FINAL STREETSCAPES ALONG N FAIRFAX STREET ADJACENT TO BLOCK A SHALL BE CONSTRUCTED AS PART OF THE BUILDING CONSTRUCTION FOR BLOCK A. TEMPORARY STREETSCAPE TO REMAIN ADJACENT TO OTHER BLOCKS UNTIL EACH BLOCK'S BUILDING IS CONSTRUCTED PER THE PHASING CONDITIONS OF THE APPROVED CDD CONCEPT PLAN.
 9. PROPOSED PARCELS SUCH AS BLOCKS B-C AND PRIVATE STREET PARCELS WILL BE CREATED VIA NEW SUBDIVISION PLAT THAT IS SUBMITTED AS PART OF THIS DSUP SUBMISSION. FUTURE LOT TO BE CREATED WITH A DSUP FOR BLOCK A. BLOCK DESIGNATIONS ON THIS PLAN WILL BE REPLACED AND/OR SUPPLEMENTED BY THE NEW SUBDIVISION LOT AS WHEN AVAILABLE.

4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.6820
engineering • surveying • land planning

PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=60'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

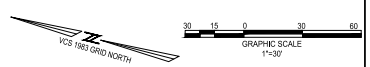
APPROVED
SPECIAL USE PERMIT NO. 2025-1001
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SPECIAL USE PERMIT NO. _____
DIRECTOR _____ DATE _____

PRELIMINARY DIMENSION PLAN
SHEET No. **C302**

THE WONESF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

LINE TABLE

LINE	DIRECTION	LENGTH
L7	S50°23'54"E	27.81'
L8	S81°20'20"E	29.88'
L11	S13°53'36"E	73.86'



ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BY CONTACTING UTILITY AGENCIES AND TO AVOID DAMAGING EXISTING UTILITIES DURING EXCAVATION OR THE ERECTION OF POLES. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND OR AERIAL UTILITIES BY CALLING "MISS UTILITY" (1-800-552-7001) 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION.

PRGS BLOCK B

VERIFICATION OF COMPLETENESS

1300 North Royal Street
Alexandria, VA 22314

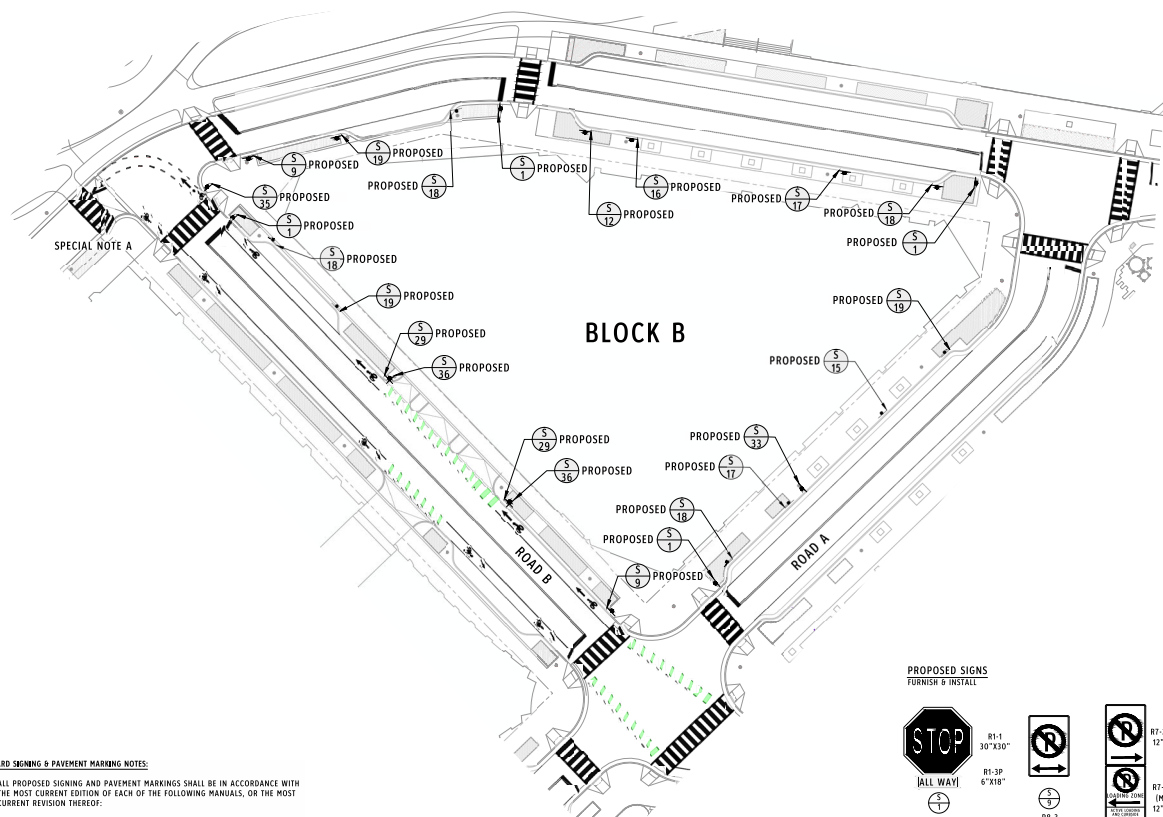
GOROVE SLADE
Transportation Planners and Engineers

hrp GROUP

HRP Potomac, LLC Tel: 312.796.6564
1199 N Fairfax St, Suite 808
Alexandria, VA 22314 Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW Tel: 202.721.5200
Suite 200 Fax: 202.872.8587
Washington, DC 20006
United States



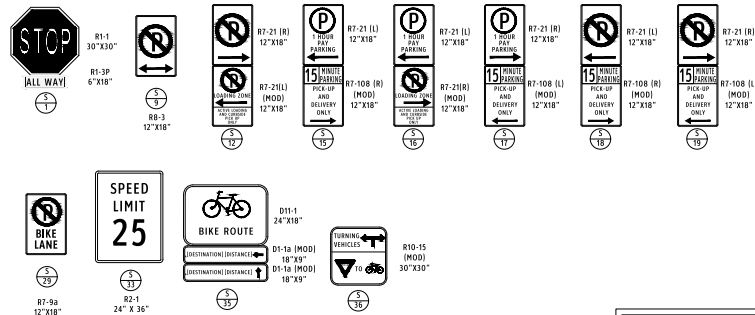
STANDARD SIGNING & PAVEMENT MARKING NOTES:

1. ALL PROPOSED SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING MANUALS, OR THE MOST CURRENT REVISION THEREOF:
 - A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - B. THE VIRGINIA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - C. THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD & BRIDGE SPECIFICATIONS
 - D. THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD & BRIDGE STANDARDS
2. ALL PAVEMENT MARKINGS SHALL BE TYPE B, CLASS I, THERMOPLASTIC UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS INSTALLED ON CONCRETE PAVEMENT SECTIONS SHALL USE SOLVENT-BORNE PAINT, WATERBORNE PAINT, OR 3M 390 STAMARK TAPE.
3. PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER CONSTRUCTIONS, AND TO COMPLY WITH THE STANDARDS REFERENCES IN NOTE 1. EXISTING SIGNS NOT DETAILED ARE INTENDED TO REMAIN.
4. ANY EXISTING PAVEMENT MARKINGS THAT WILL CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE COMPLETELY ERADICATED.
5. LIMITS SHOWN OF PROPOSED MARKINGS ARE APPROXIMATE AND SHALL BE MODIFIED TO ENSURE THAT PROPOSED PAVEMENT MARKINGS CONTINUE UNTIL EXISTING PAVEMENT MARKINGS CAN BE MATCHED.
6. REFER TO APPROVED TRAFFIC SIGNAL PLAN FOR THE PROPER LOCATIONS OF STOP LINES AND CROSSWALKS WHERE APPLICABLE.
7. STOP BARS SHALL BE 24" IN WIDTH AND SHALL BE LOCATED AS SHOWN ON THE TRAFFIC SIGNAL PLANS.
8. ARROWS SHALL BE IN ACCORDANCE WITH THE FEDERAL MUTCD.
9. SPACING BETWEEN DOUBLE SOLID YELLOW LINES SHALL BE 4'.
10. USE DESIGNATION OF ON-STREET PARKING SPACES ON PRIVATE STREETS MAY BE SUBJECT TO CHANGE.

SPECIAL SIGNING & PAVEMENT MARKING NOTES:

1. SPECIALTY UNIT PAVERS TO BE INSTALLED AT TRANSITION RAMPS, CROSSWALKS FOR FLUSH STREETS, AND ALONG ROAD C.

PROPOSED SIGNS
FOR USE W/ INSTALL



APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
CHAIRMAN, PLANNING COMMISSION: _____ DATE: _____

DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Δ	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS Redevelopment - Block B

Project Number

2994-001

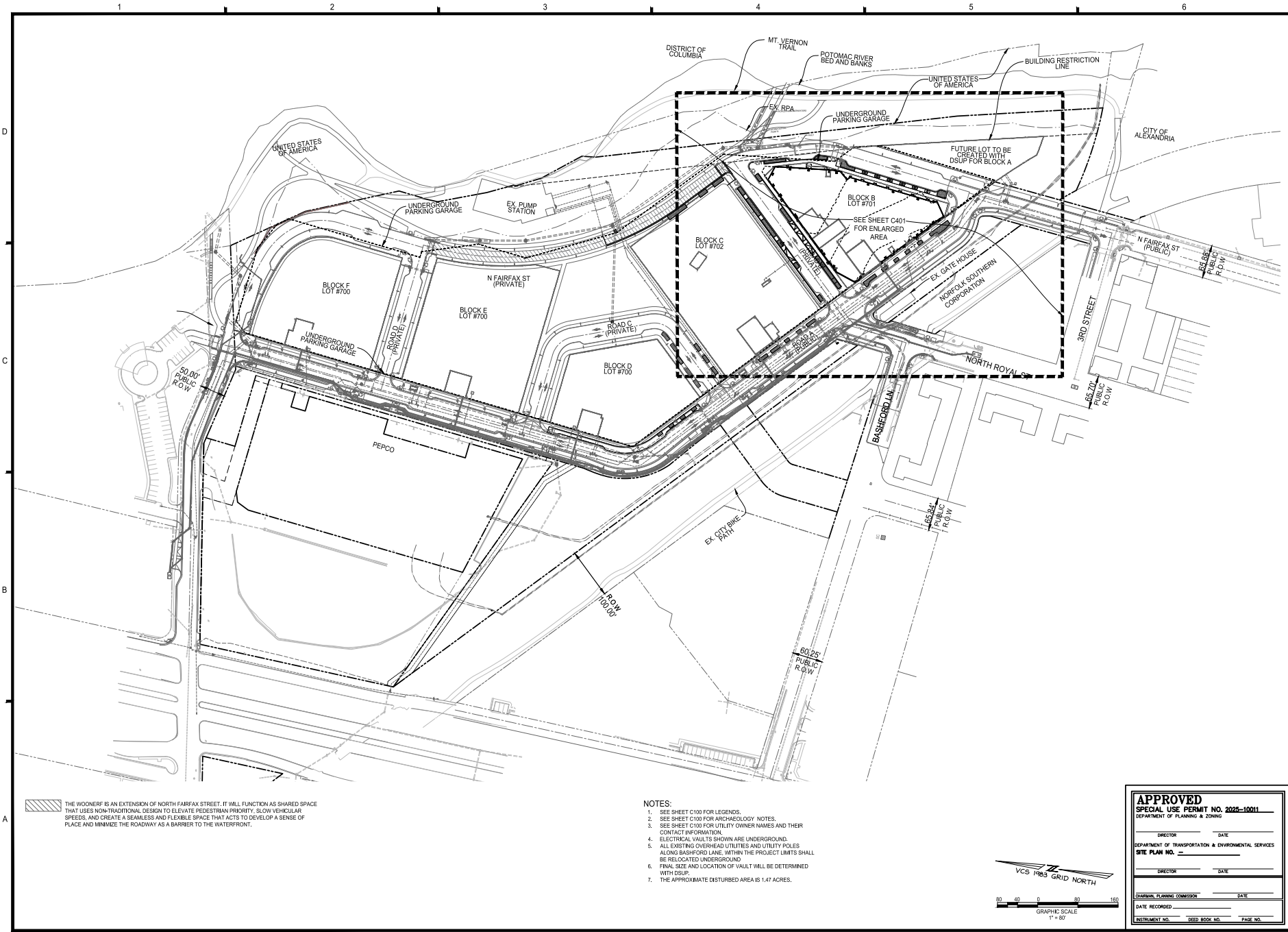
Scale

1" = 30'-0"

Description

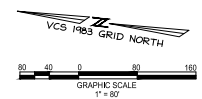
CURBSIDE MANAGEMENT SIGNAGE PLAN

C303




THE WOONERF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

- NOTES:**
1. SEE SHEET C100 FOR LEGENDS.
 2. SEE SHEET C100 FOR ARCHAEOLOGY NOTES.
 3. SEE SHEET C100 FOR UTILITY OWNER NAMES AND THEIR CONTACT INFORMATION.
 4. ELECTRICAL VAULTS SHOWN ARE UNDERGROUND.
 5. ALL EXISTING OVERHEAD UTILITIES AND UTILITY POLES ALONG BASHEFORD LANE, WITHIN THE PROJECT LIMITS SHALL BE RELOCATED UNDERGROUND.
 6. FINAL SIZE AND LOCATION OF VAULT WILL BE DETERMINED WITH DSUP.
 7. THE APPROXIMATE DISTURBED AREA IS 1.47 ACRES.




APPROVED
SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 n n ering • surveying • land planning



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

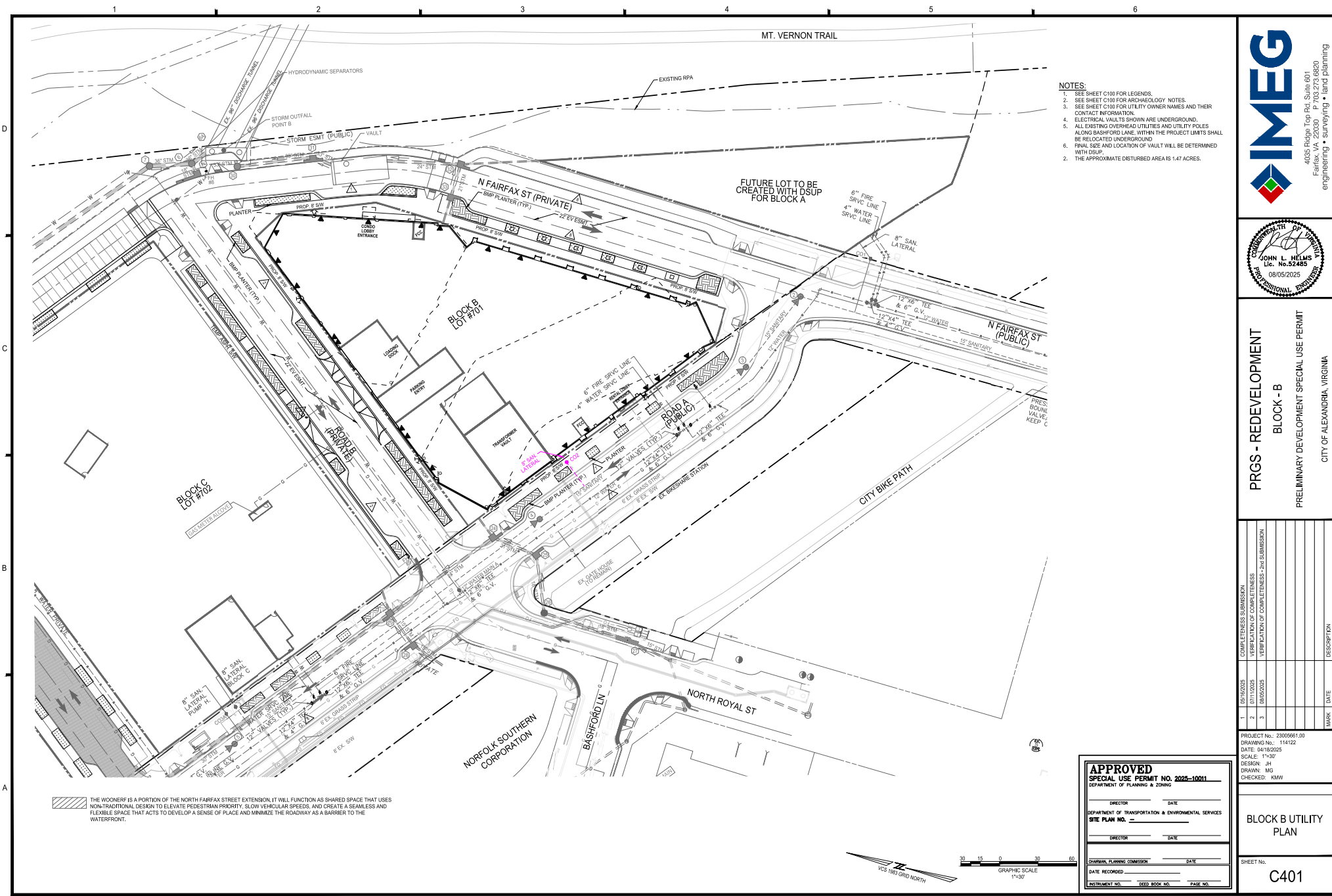
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

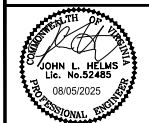
PROJECT No.: 23050661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=50'
 DESIGN: JH
 DRAWN: MG
 CHECKED: XHW

OVERALL UTILITY PLAN

SHEET No. **C400**



- NOTES:**
1. SEE SHEET C100 FOR LEGENDS.
 2. SEE SHEET C100 FOR ARCHAEOLOGY NOTES.
 3. SEE SHEET C100 FOR UTILITY OWNER NAMES AND THEIR CONTACT INFORMATION.
 4. ELECTRICAL VAULTS SHOWN ARE UNDERGROUND.
 5. ALL EXISTING OVERHEAD UTILITIES AND UTILITY POLES ALONG BASHFORD LANE WITHIN THE PROJECT LIMITS SHALL BE RELOCATED UNDERGROUND.
 6. FINAL SIZE AND LOCATION OF VAULT WILL BE DETERMINED WITH DSUP.
 7. THE APPROXIMATE DISTURBED AREA IS 1.47 ACRES.



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

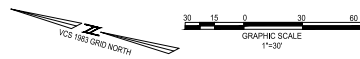
MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - and SUBMISSION

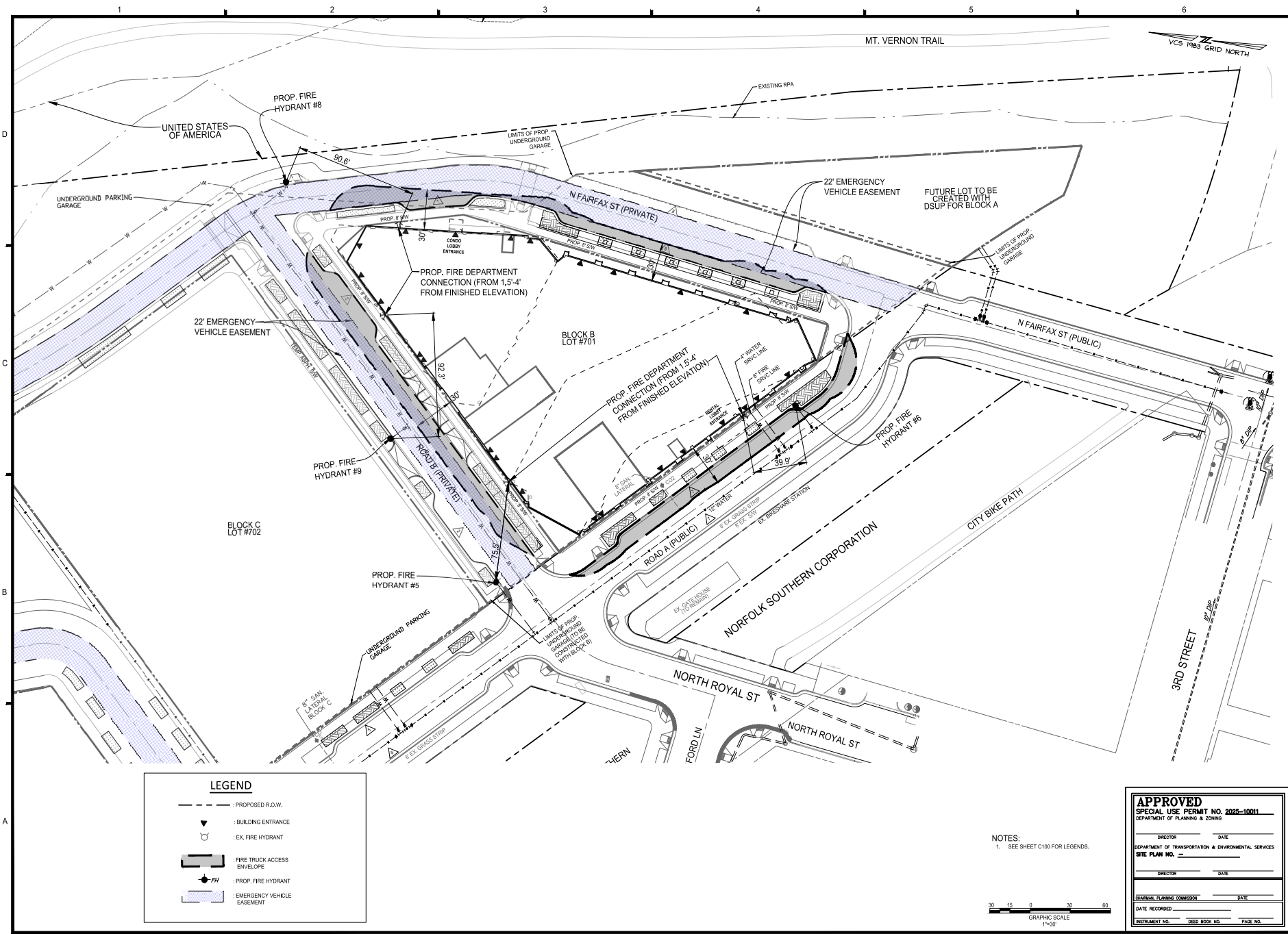
PROJECT No.: 23005661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: MG
 CHECKED: KMW

BLOCK B UTILITY PLAN

SHEET No. **C401**

THE WOONESF IS A PORTION OF THE NORTH FAIRFAX STREET EXTENSION. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

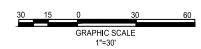




LEGEND

	PROPOSED R.O.W.
	BUILDING ENTRANCE
	EX. FIRE HYDRANT
	FIRE TRUCK ACCESS ENVELOPE
	PROP. FIRE HYDRANT
	EMERGENCY VEHICLE EASEMENT

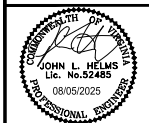
NOTES:
1. SEE SHEET C100 FOR LEGENDS.



APPROVED
SPECIAL USE PERMIT NO. 2025-1001
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



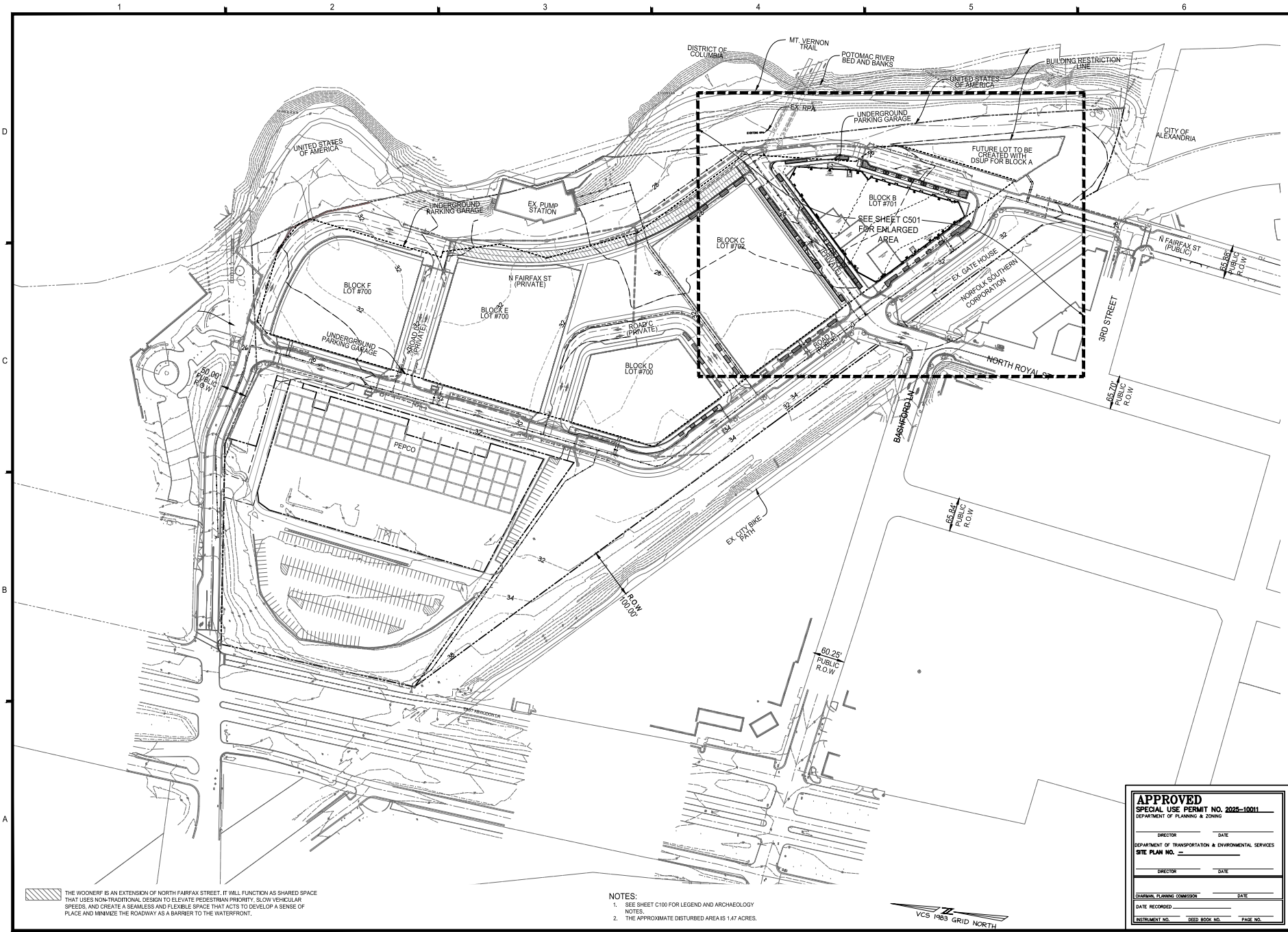
PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS
3	08/05/2025	VERIFICATION OF COMPLETENESS - and SUBMISSION

PROJECT No.: 20250661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

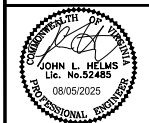
FIRE SAFETY PLAN

SHEET No. **C405**



THE WOONERF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

- NOTES:**
1. SEE SHEET C100 FOR LEGEND AND ARCHAEOLOGY NOTES.
 2. THE APPROXIMATE DISTURBED AREA IS 147 ACRES.



**PRGS - REDEVELOPMENT
BLOCK - B**
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=80'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

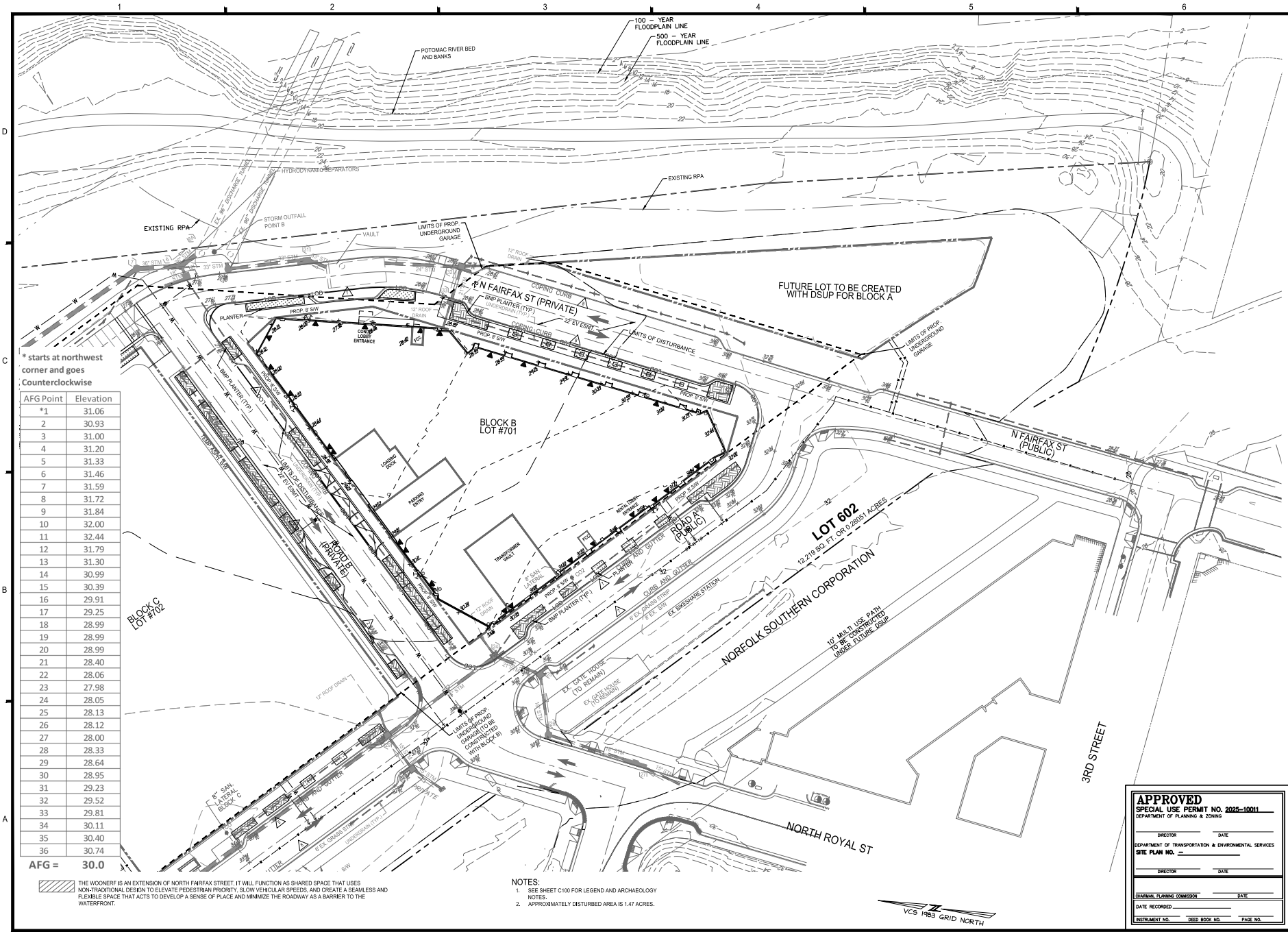
OVERALL GRADING PLAN

SHEET No. **C500**

APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



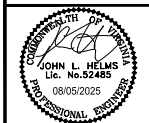
* starts at northwest corner and goes counterclockwise

AFG Point	Elevation
*1	31.06
2	30.93
3	31.00
4	31.20
5	31.33
6	31.46
7	31.59
8	31.72
9	31.84
10	32.00
11	32.44
12	31.79
13	31.30
14	30.99
15	30.99
16	29.91
17	29.25
18	28.99
19	28.99
20	28.99
21	28.40
22	28.06
23	27.98
24	28.05
25	28.13
26	28.12
27	28.00
28	28.33
29	28.64
30	28.95
31	29.23
32	29.52
33	29.81
34	30.11
35	30.40
36	30.74

AFG = 30.0

THE WOONER IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

- NOTES:
- SEE SHEET C100 FOR LEGEND AND ARCHAEOLOGY NOTES.
 - APPROXIMATELY DISTURBED AREA IS 1.47 ACRES.



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

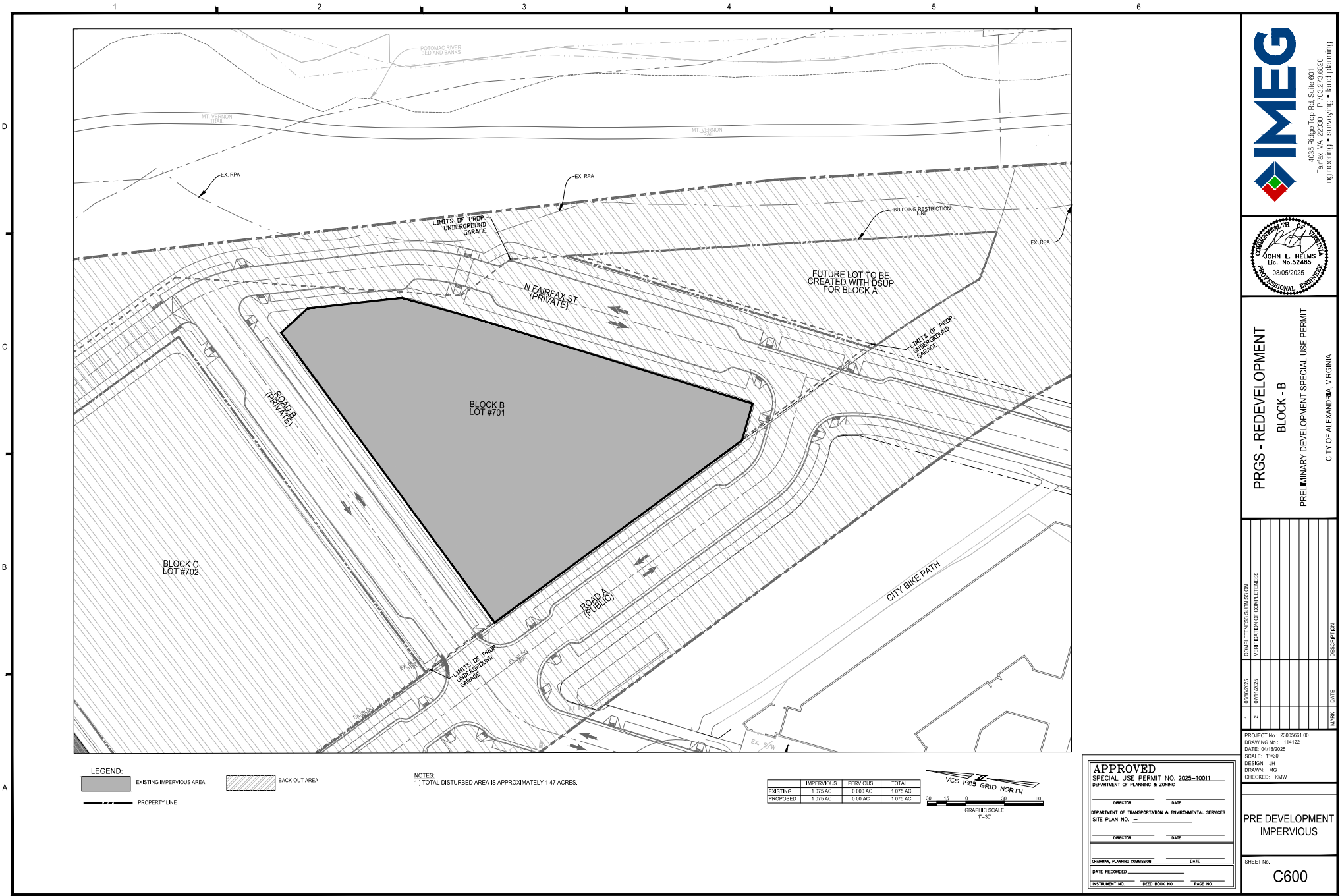
APPROVED
SPECIAL USE PERMIT NO. 2025-1001
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

DATE RECORDED _____
SUBMITTAL NO. _____ DEED BOOK NO. _____ PAGE NO. _____

BLOCK B GRADING PLAN

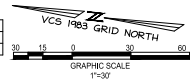
SHEET No. **C501**



LEGEND:
 [Solid Grey Box] EXISTING IMPERVIOUS AREA
 [Hatched Box] BACKOUT AREA
 [Dashed Line] PROPERTY LINE

NOTES:
 1.) TOTAL DISTURBED AREA IS APPROXIMATELY 1.47 ACRES.

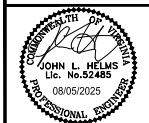
	IMPERVIOUS	PERVIOUS	TOTAL
EXISTING	1.075 AC	0.000 AC	1.075 AC
PROPOSED	1.075 AC	0.000 AC	1.075 AC



APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23050561.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: MG
 CHECKED: KMW

PRE DEVELOPMENT IMPERVIOUS

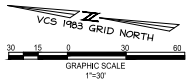
SHEET No. **C600**



LEGEND:
 [Hatched Box] EXISTING IMPERVIOUS AREA
 [Hatched Box] BACKOUT AREA
 [Dashed Line] PROPERTY LINE

NOTES:
 1.) THE APPROXIMATE DISTURBED AREA IS 1.47 ACRES.


	IMPERVIOUS	PERVIOUS	TOTAL
EXISTING	1.075 AC	0.000 AC	1.075 AC
PROPOSED	1.075 AC	0.000 AC	1.075 AC




APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

CIVIL PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 engineering • surveying • land planning



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

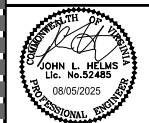
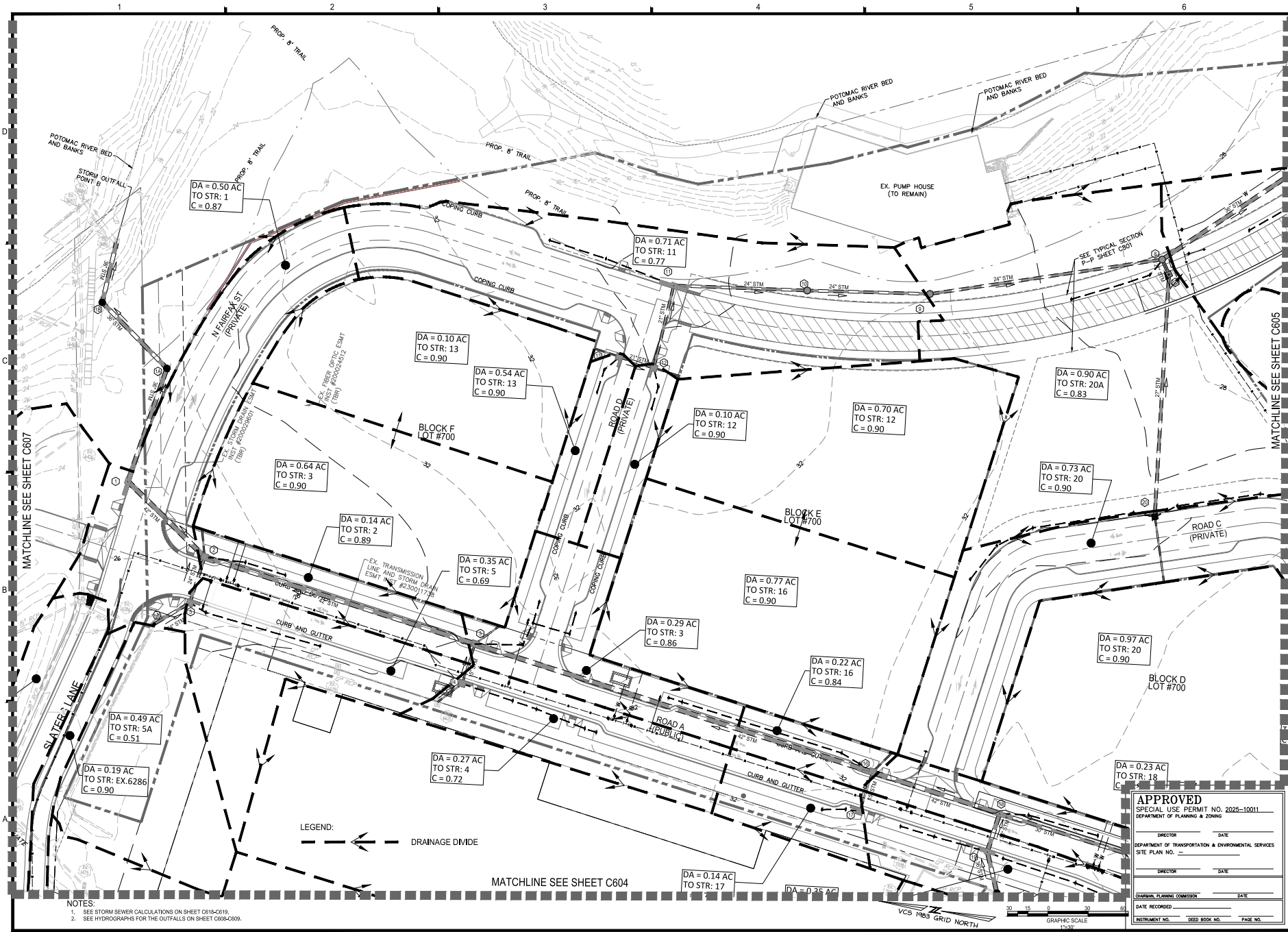
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETION SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETION

PROJECT No.: 23050661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: MG
 CHECKED: XHW

POST DEVELOPMENT IMPERVIOUS

SHEET No. **C601**



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 2305560100
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=50'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

DRAINAGE AREA MAP

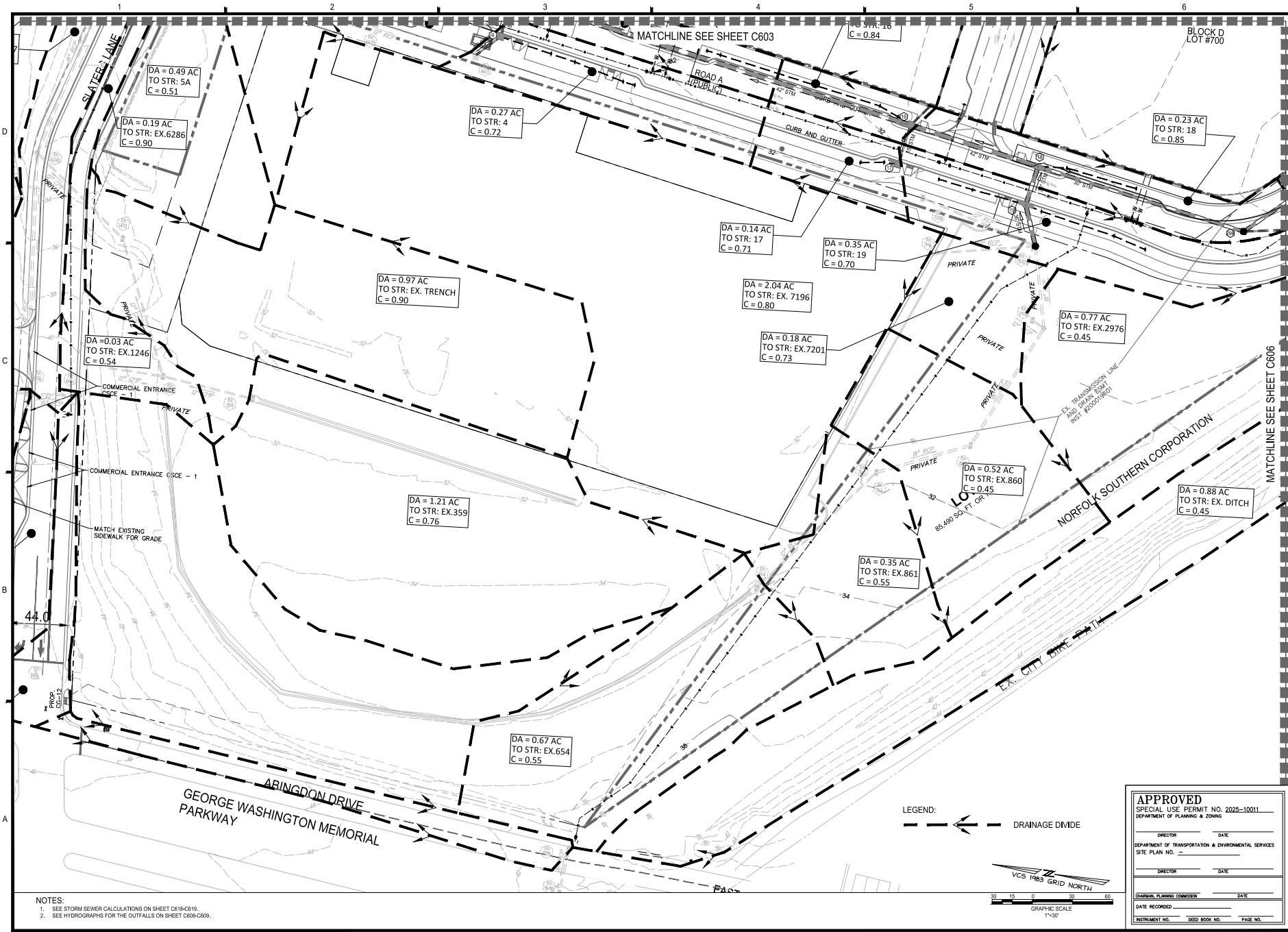
SHEET No.: **C603**

- NOTES:**
- SEE STORM SEWER CALCULATIONS ON SHEET C618-C619.
 - SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C608-C609.

APPROVED
 SPECIAL USE PERMIT NO. 2025-10011

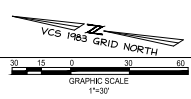
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



NOTES:
 1. SEE STORM SEWER CALCULATIONS ON SHEET C615-C616.
 2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C008-C009.

LEGEND:
 --- DRAINAGE DIVIDE



APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DRAINAGE AREA MAP

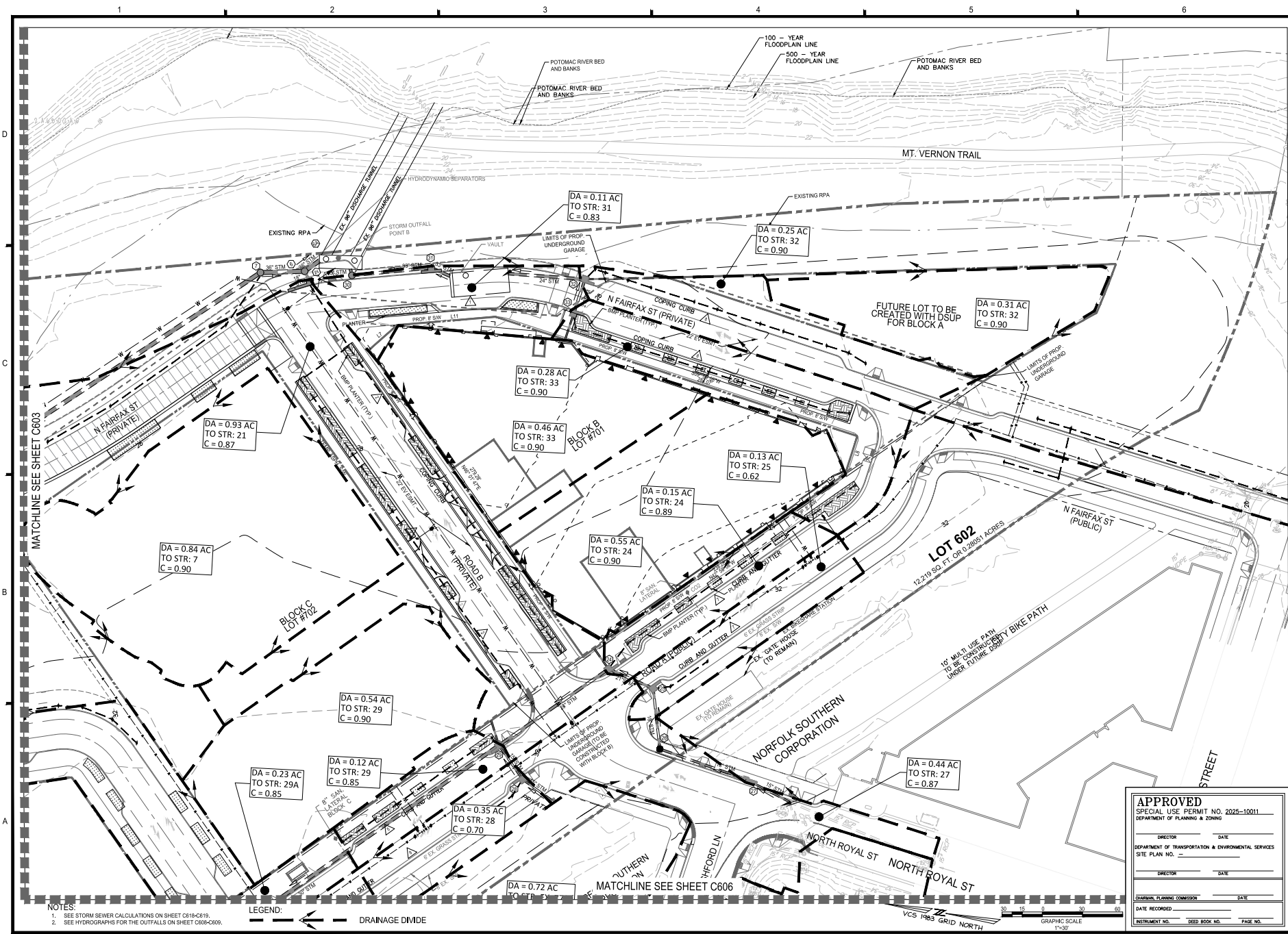
SHEET No. **C604**



PRGS - REDEVELOPMENT
 BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005801.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'



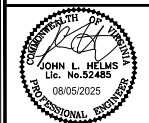
- NOTES:
- SEE STORM SEWER CALCULATIONS ON SHEET C818-C819.
 - SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C606-C609.

LEGEND:

--- DRAINAGE DIVIDE

APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



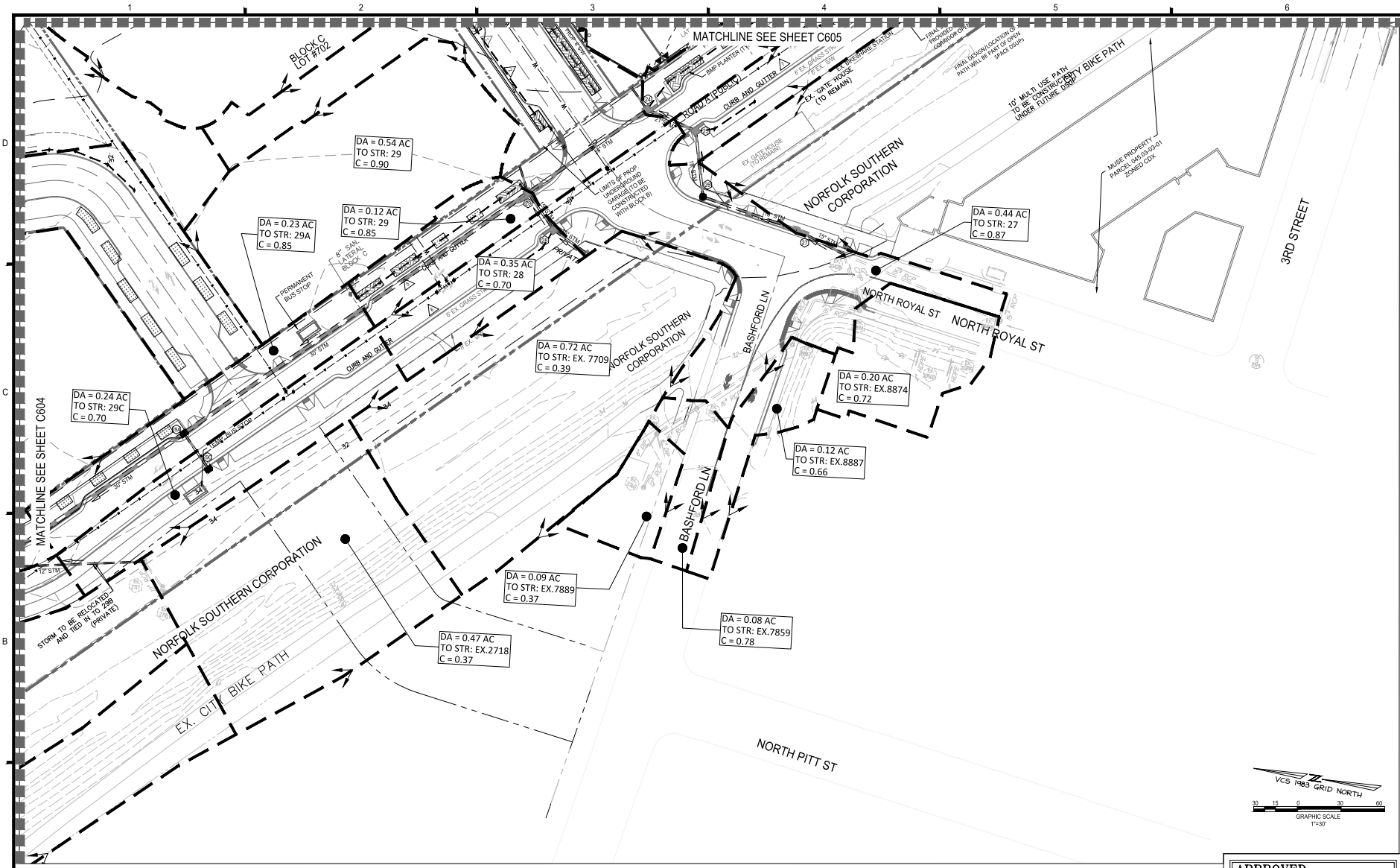
PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/16/2025	COMPLETE SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005601.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KMW

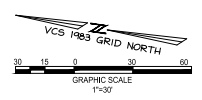
DRAINAGE AREA
MAP

SHEET No. **C605**



LEGEND:
 DRAINAGE DIVIDE

NOTES:
 1. SEE STORM SEWER CALCULATIONS ON SHEET C618-C619.
 2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C605-C609.
 3. DRAINAGE DIVIDES AND C VALUES BASED ON FINAL BUILD OUT CONDITIONS.



IMEG
 4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 engineering • surveying • land planning

COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 08/05/2025
 PROFESSIONAL ENGINEER

**PRGS - REDEVELOPMENT
 BLOCK - B**
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 2205568100
 DRAWING No.: 144122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

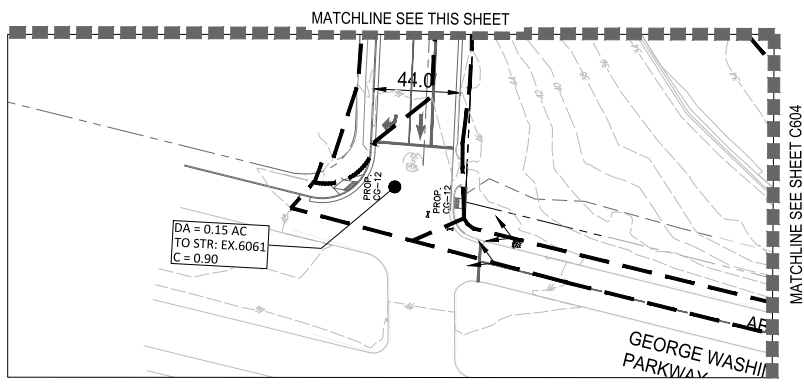
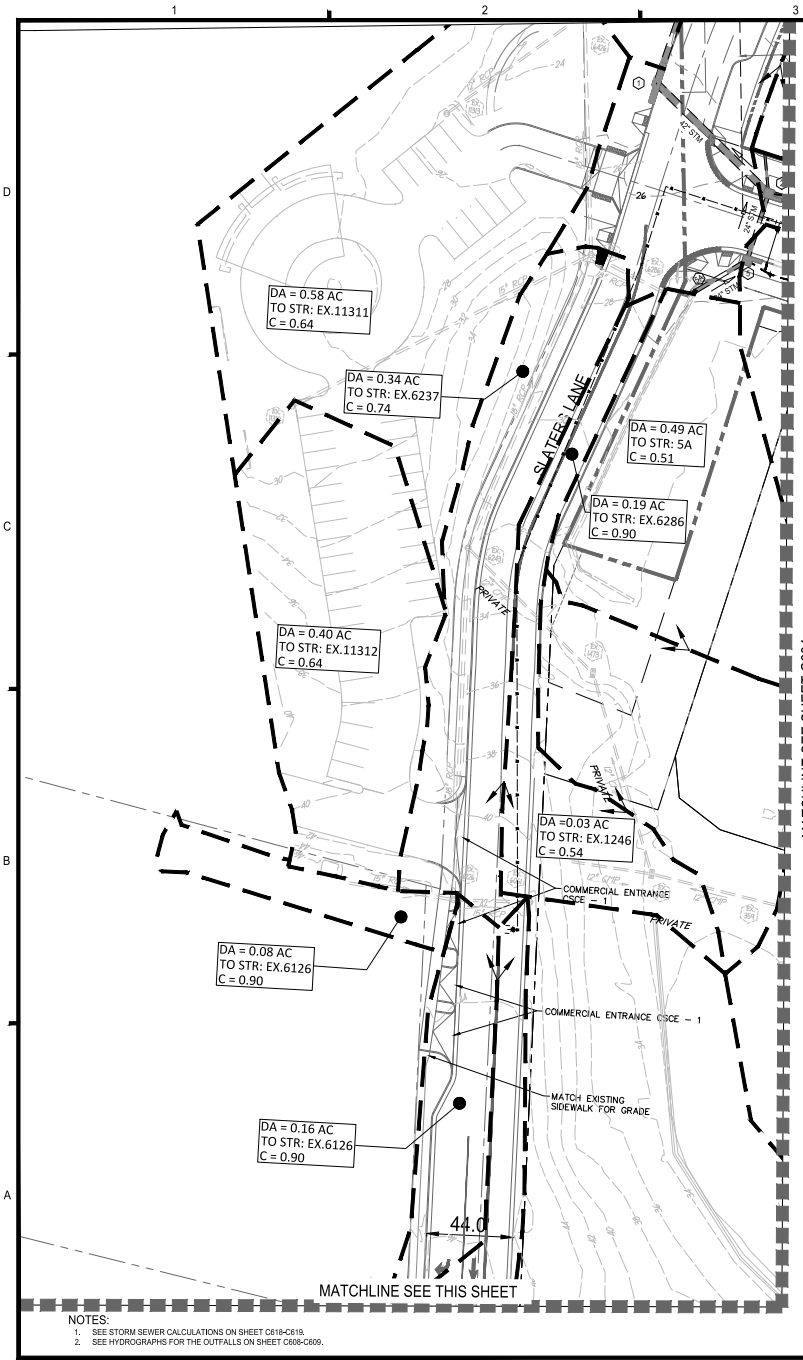
APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
 DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

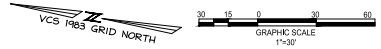
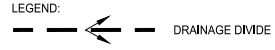
**DRAINAGE AREA
 MAP**
 SHEET No. **C606**



MATCHLINE SEE SHEET C604

MATCHLINE SEE THIS SHEET

- NOTES:
1. SEE STORM SEWER CALCULATIONS ON SHEET C618-C619.
 2. SEE HYDROGRAPHS FOR THE OUTFALLS ON SHEET C608-C609.



APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DRAINAGE AREA MAP

DIRECTOR _____ DATE _____
DESIGNER: JH
DRAWN: JS
CHECKED: KMW

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

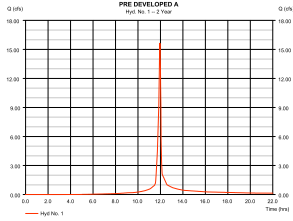
PROJECT No.: 23030661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KMW

DRAINAGE AREA MAP

SHEET No. **C607**

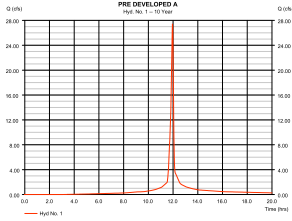
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 1
PRE-DEVELOPED A
Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 15.63 cfs
Time to peak = 11.95 hrs
Hyd. volume = 35,306 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type I
Shape factor = 484



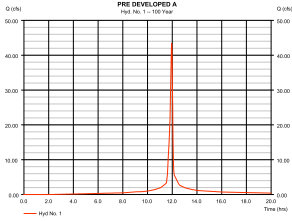
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 1
PRE-DEVELOPED A
Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 27.42 cfs
Time to peak = 11.95 hrs
Hyd. volume = 65,571 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type I
Shape factor = 484



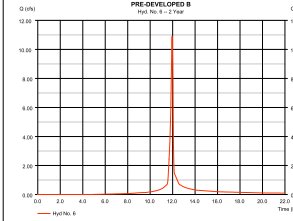
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 1
PRE-DEVELOPED A
Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 3.790 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 43.38 cfs
Time to peak = 11.95 hrs
Hyd. volume = 109,220 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



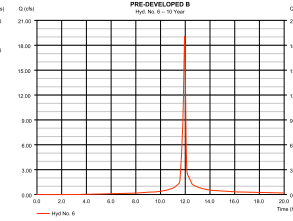
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 6
PRE-DEVELOPED B
Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 2.23 in
Storm duration = 24 hrs
Peak discharge = 10.89 cfs
Time to peak = 11.25 hrs
Hyd. volume = 22,226 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



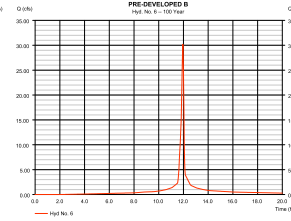
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 6
PRE-DEVELOPED B
Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 2.23 in
Storm duration = 24 hrs
Peak discharge = 19.10 cfs
Time to peak = 11.25 hrs
Hyd. volume = 42,345 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



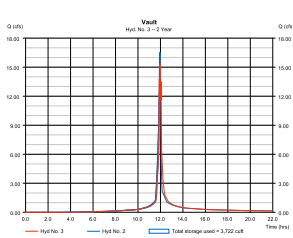
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 6
PRE-DEVELOPED B
Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 2.23 in
Storm duration = 24 hrs
Peak discharge = 30.21 cfs
Time to peak = 11.25 hrs
Hyd. volume = 65,195 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



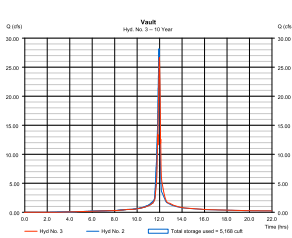
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 3
Vault
Hydrograph type = Reservoir
Storm frequency = 2 yrs
Time interval = 1 min
Reservoir name = SWM Office-Water
Peak discharge = 15.39 cfs
Time to peak = 11.95 hrs
Hyd. volume = 30,987 cuf-ft
Max. Elevation = 177.1 ft
Max. Storage = 3,722 cu-ft



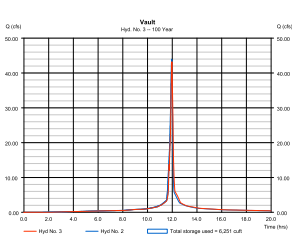
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 3
Vault
Hydrograph type = Reservoir
Storm frequency = 10 yrs
Time interval = 1 min
Reservoir name = SWM Office-Water
Peak discharge = 26.67 cfs
Time to peak = 11.95 hrs
Hyd. volume = 63,917 cuf-ft
Max. Elevation = 183.6 ft
Max. Storage = 5,168 cu-ft



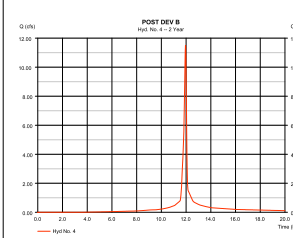
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 3
Vault
Hydrograph type = Reservoir
Storm frequency = 100 yrs
Time interval = 1 min
Reservoir name = SWM Office-Water
Peak discharge = 43.24 cfs
Time to peak = 11.95 hrs
Hyd. volume = 122,804 cuf-ft
Max. Elevation = 215.6 ft
Max. Storage = 6,251 cu-ft



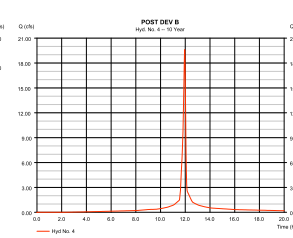
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 4
POST DEV B
Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 11.50 cfs
Time to peak = 11.25 hrs
Hyd. volume = 25,140 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



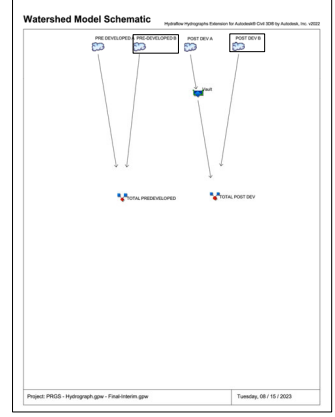
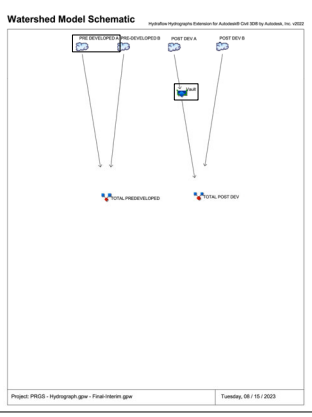
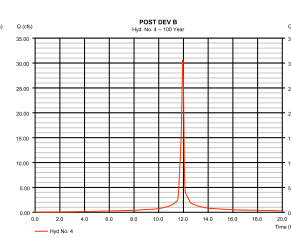
Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 4
POST DEV B
Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 19.62 cfs
Time to peak = 11.25 hrs
Hyd. volume = 44,525 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

Hydrograph Extension for Automated QM 200 by Autodesk, Inc. 10/22/2021 Tuesday, 08/11/2021
Hyd. No. 4
POST DEV B
Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 1 min
Drainage area = 2.640 ac
Basin Slope = 0.0 %
To method = User
Total precip = 3.20 in
Storm duration = 24 hrs
Peak discharge = 30.62 cfs
Time to peak = 11.25 hrs
Hyd. volume = 71,473 cuf-ft
Curve number = 90
Hydraulic length = 0.0 ft
Time of conc. (TC) = 0.00 min
Distribution = Type II
Shape factor = 484



APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.
DIRECTOR DATE
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
JOURNAL PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

Table with columns: MARK, DATE, DESCRIPTION. Includes rows for SUBMITTALS, VERIFICATION OF COMPLETION, and other project milestones.

PROJECT NO.: 23050661.00
DRAWING NO.: 114122
DATE: 04/18/2025
SCALE: NONE
DESIGN: JH
DRAWN: JS
CHECKED: KMW

SWM COMPUTATIONS AND NARRATIVES

Sheet No. C608

BIO SIZING - GROUND PLANTERS

Bioretention #1	
Impervious DA (AC)	0.03
Managed DA (AC)	0.00
Treatment Volume (CF)	105
Minimum Area (SF)	58
Actual Area (SF)	120
Upstream BMP	None
Downstream BMP	None
Lat: 38.8216	Long: -77.0412

Bioretention #11	
Impervious DA (AC)	0.08
Managed DA (AC)	0.00
Treatment Volume (CF)	276
Minimum Area (SF)	155
Actual Area (SF)	171
Upstream BMP	None
Downstream BMP	None
Lat: 38.8207	Long: -77.0415

Bioretention #21	
Impervious DA (AC)	0.18
Managed DA (AC)	0.00
Treatment Volume (CF)	620
Minimum Area (SF)	349
Actual Area (SF)	360
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8185	Long: -77.0409

Storage Depth for Sizing - Street Planters	
6" PONDING	0.5 Ft x 1.0Vr
42" MEDIA	3.0 Ft x 0.25Vr
12" STONE	1.0 Ft x 0.4Vr
Storage Depth	1.775

BIO SIZING - ROOF PLANTERS

Bioretention Level #B1			
Impervious DA (AC)	0.170	Bioretention #B2	0.190
Managed DA (AC)	0.000	Bioretention #B3	0.310
Treatment Volume (CF)	586		0.000
Minimum Area (SF)	384		0.000
Actual Area (SF)	426		0.000
Upstream BMP	None		0.000
Downstream BMP	None		0.000
Lat:			

Storage Depth for Sizing - Street Planters	
6" PONDING	0.5 Ft x 1.0Vr
36" MEDIA	2.5 Ft x 0.25Vr
12" STONE	1.0 Ft x 0.4Vr
Storage Depth	1.525

D

Bioretention #2	
Impervious DA (AC)	0.21
Managed DA (AC)	0.00
Treatment Volume (CF)	724
Minimum Area (SF)	408
Actual Area (SF)	411
Upstream BMP	None
Downstream BMP	None
Lat: 38.8217	Long: -77.0409

Bioretention #12	
Impervious DA (AC)	0.08
Managed DA (AC)	0.00
Treatment Volume (CF)	276
Minimum Area (SF)	155
Actual Area (SF)	171
Upstream BMP	None
Downstream BMP	None
Lat: 38.8207	Long: -77.0416

Bioretention #22	
Impervious DA (AC)	0.49
Managed DA (AC)	0.00
Treatment Volume (CF)	1690
Minimum Area (SF)	992
Actual Area (SF)	959
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8188	Long: -77.0409

A

Bioretention #3	
Impervious DA (AC)	0.25
Managed DA (AC)	0.00
Treatment Volume (CF)	862
Minimum Area (SF)	486
Actual Area (SF)	552
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8209	Long: -77.0409

Bioretention #13	
Impervious DA (AC)	0.07
Managed DA (AC)	0.00
Treatment Volume (CF)	241
Minimum Area (SF)	136
Actual Area (SF)	150
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8202	Long: -77.0416

Bioretention #23	
Impervious DA (AC)	0.13
Managed DA (AC)	0.00
Treatment Volume (CF)	448
Minimum Area (SF)	252
Actual Area (SF)	258
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8183	Long: -77.0404

C

Bioretention #4	
Impervious DA (AC)	0.1
Managed DA (AC)	0.00
Treatment Volume (CF)	345
Minimum Area (SF)	194
Actual Area (SF)	200
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8208	Long: -77.0407

Bioretention #14	
Impervious DA (AC)	0.07
Managed DA (AC)	0.00
Treatment Volume (CF)	241
Minimum Area (SF)	136
Actual Area (SF)	150
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8202	Long: -77.0418

Bioretention #24	
Impervious DA (AC)	0.13
Managed DA (AC)	0.00
Treatment Volume (CF)	448
Minimum Area (SF)	252
Actual Area (SF)	258
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8182	Long: -77.0405

A

Bioretention #5	
Impervious DA (AC)	0.1
Managed DA (AC)	0.00
Treatment Volume (CF)	345
Minimum Area (SF)	194
Actual Area (SF)	200
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8207	Long: -77.0408

Bioretention #15	
Impervious DA (AC)	0.09
Managed DA (AC)	0.00
Treatment Volume (CF)	310
Minimum Area (SF)	175
Actual Area (SF)	177
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8200	Long: -77.0418

Bioretention #25	
Impervious DA (AC)	0.04
Managed DA (AC)	0.00
Treatment Volume (CF)	138
Minimum Area (SF)	78
Actual Area (SF)	138
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8188	Long: -77.0395

B

Bioretention #6	
Impervious DA (AC)	0.06
Managed DA (AC)	0.00
Treatment Volume (CF)	207
Minimum Area (SF)	117
Actual Area (SF)	121
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8209	Long: -77.0414

Bioretention #16	
Impervious DA (AC)	0.45
Managed DA (AC)	0.00
Treatment Volume (CF)	1552
Minimum Area (SF)	874
Actual Area (SF)	884
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8199	Long: -77.0409

Bioretention #26	
Impervious DA (AC)	0.17
Managed DA (AC)	0.00
Treatment Volume (CF)	568
Minimum Area (SF)	320
Actual Area (SF)	331
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8184	Long: -77.0395

Bioretention #7	
Impervious DA (AC)	0.06
Managed DA (AC)	0.00
Treatment Volume (CF)	207
Minimum Area (SF)	117
Actual Area (SF)	121
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8208	Long: -77.0414

Bioretention #17	
Impervious DA (AC)	0.26
Managed DA (AC)	0.00
Treatment Volume (CF)	897
Minimum Area (SF)	505
Actual Area (SF)	510
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8198	Long: -77.0417

Bioretention #27	
Impervious DA (AC)	0.24
Managed DA (AC)	0.00
Treatment Volume (CF)	828
Minimum Area (SF)	466
Actual Area (SF)	475
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8184	Long: -77.0396

Bioretention #8	
Impervious DA (AC)	0.14
Managed DA (AC)	0.00
Treatment Volume (CF)	483
Minimum Area (SF)	272
Actual Area (SF)	282
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8215	Long: -77.0413

Bioretention #18	
Impervious DA (AC)	0.31
Managed DA (AC)	0.00
Treatment Volume (CF)	1069
Minimum Area (SF)	602
Actual Area (SF)	608
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8198	Long: -77.0418

Bioretention #28	
Impervious DA (AC)	0.09
Managed DA (AC)	0.00
Treatment Volume (CF)	310
Minimum Area (SF)	175
Actual Area (SF)	180
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8174	Long: -77.0397

A

Bioretention #9	
Impervious DA (AC)	0.38
Managed DA (AC)	0.00
Treatment Volume (CF)	966
Minimum Area (SF)	544
Actual Area (SF)	558
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8214	Long: -77.0415

Bioretention #19	
Impervious DA (AC)	0.42
Managed DA (AC)	0.00
Treatment Volume (CF)	1448
Minimum Area (SF)	816
Actual Area (SF)	821
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8195	Long: -77.0408

Bioretention #29	
Impervious DA (AC)	0.14
Managed DA (AC)	0.00
Treatment Volume (CF)	483
Minimum Area (SF)	272
Actual Area (SF)	280
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8175	Long: -77.0398

Bioretention #10	
Impervious DA (AC)	0.07
Managed DA (AC)	0.00
Treatment Volume (CF)	241
Minimum Area (SF)	136
Actual Area (SF)	150
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8209	Long: -77.0416

Bioretention #20	
Impervious DA (AC)	0.16
Managed DA (AC)	0.00
Treatment Volume (CF)	552
Minimum Area (SF)	311
Actual Area (SF)	319
Upstream BMP	None
Downstream BMP	Hydrodynamic Separator
Lat: 38.8186	Long: -77.0408



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/02/2025	COMPLETE SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 20250661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: NONE
DESIGN: JH
DRAWN: JS
CHECKED: KMW

APPROVED
SPECIAL USE PERMIT NO. 2025-1001
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DIVISION OF PLANNING & ZONING

DIRECTOR _____ DATE _____
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

BMP COMPUTATIONS

SHEET No. **C610**

BLOCK B - BMP COMPUTATIONS

DCQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 4.1

Project Name: PRGS - BLOCK B
Date: 5/1/2025

Site Information
Post-Development Project (Treatment Volume and Loads)
Enter Total Disturbed Area (acres) → 1.47
Check: BMP Design Specifications List 2024 Inlets & Pipes
Linear project? No
Land cover area entered correctly? Yes
Total disturbed area entered? Yes
Total disturbed area > Post-Development area?

Pre-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00
Mixed Open Space (acres)	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.00	0.00	1.08	0.00	1.08
Impervious Cover (acres)	0.00	0.00	0.00	0.00	0.00
Area Check	OK	OK	OK	OK	1.08

Post-Development Land Cover (acres)

Post-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00
Mixed Open Space (acres)	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (acres)	0.00	0.00	1.08	0.00	1.08
Area Check	OK	OK	OK	OK	1.08

Post-Development Requirement for Site Area
TP Load Reduction Required (lb/yr) 0.64

Nitrogen Loads (Informational Purposes Only)
Pre-Development TN Load (lb/yr) 0.63
Post-Development TN Load 13.36

LAND COVER SUMMARY - PRE-REDEVELOPMENT

Pre-Development Land Cover Summary	Area (Ac)	Weighted Loading Factor
Forest	0.00	0.00
Mixed Open Space	0.00	0.00
Managed Turf	1.08	0.00
Impervious Cover	0.00	0.00
Total	1.08	0.00

LAND COVER SUMMARY - POST DEVELOPMENT

Post-Development Land Cover Summary	Area (Ac)	Weighted Loading Factor
Forest	0.00	0.00
Mixed Open Space	0.00	0.00
Managed Turf	0.00	0.00
Impervious Cover	1.08	0.00
Total	1.08	0.00

Treatment Volume and Nutrient Load

Pre-Development Treatment Volume (cfs)	Post-Development Treatment Volume (cfs)	Pre-Development TP Load (lb/yr)	Post-Development TP Load (lb/yr)
0.0224	0.0000	0.61	0.00

TP Load Reduction Required for Redefined Area (lb/yr) 0.64

Drainage Area A

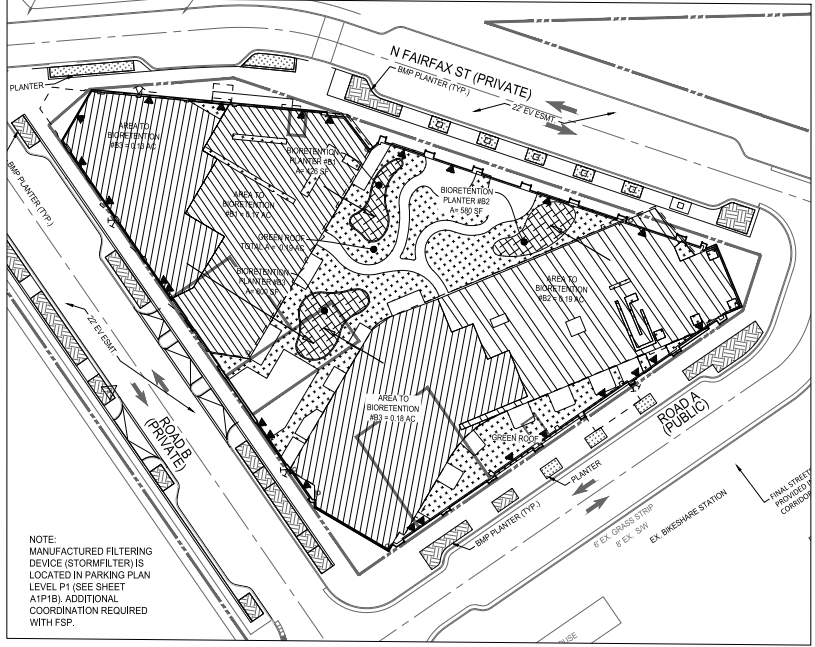
Drainage Area A Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Total	Land Cover By	Composite Loading P
Forest	0.00	0.00	0.00	0.00	0.00		0.00
Mixed Open Space	0.00	0.00	0.00	0.00	0.00		0.00
Managed Turf	0.00	0.00	0.00	0.00	0.00		0.00
Impervious Cover	0.00	0.00	0.95	0.00	0.95		0.86
Total	0.00	0.00	0.95	0.00	0.95		0.86

Total Phosphorus Available for Removal in D.A. A (lb/yr) 0.92
Post-Development Treatment Volume in D.A. A (ft³) 3.227

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction (%)	Mixed Open Credit Area (acres)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practices (ft³)	Runoff Reduction (ft³)	Remaining Runoff Volume (ft³)	Total BMP Treatment Volume (ft³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
1. Vegetated Roof (RR)	45	0.00	0.00	0.00	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
2. Vegetated Roof #1 (P-FR-02)	45	0.00	0.00	0.00	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
3. Vegetated Roof #2 (P-FR-02)	45	0.00	0.00	0.00	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
4. Bioretention #1 of Mixed Bioretention #1 (P-FR-02)	60	0.04	0	0.98	1,407	2,195	25	6.00	0.08	0.32	0.26	0.06	36% MFD - Retention	
5. Bioretention #2 of Mixed Bioretention #1 (P-FR-02)	60	0	0	0	0	0	50	0.00	0.00	0.00	0.00	0.00	36% MFD - Retention	
6. Bioretention #2 of Mixed Bioretention #2 (P-FR-02)	60	0	0	0	0	0	50	0.00	0.00	0.00	0.00	0.00	36% MFD - Retention	
7. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
8. Bioretention #3 of Mixed Bioretention #2 (P-FR-02)	60	0	0	0	0	0	50	0.00	0.00	0.00	0.00	0.00	36% MFD - Retention	
9. Bioretention #4 of Mixed Bioretention #2 (P-FR-02)	60	0	0	0	0	0	50	0.00	0.00	0.00	0.00	0.00	36% MFD - Retention	
10. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
11. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
12. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
13. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention
14. Manufactured Treatment Device (RR)	80	0	0	0	0	0	0	0	0	0.00	0.00	0.00	0.00	36% MFD - Retention

BLOCK B - BMP PLAN



NOTE: MANUFACTURED FILTERING DEVICE (STORMFILTER) IS LOCATED IN PARKING PLAN LEVEL P1 (SEE SHEET A1P1B). ADDITIONAL COORDINATION REQUIRED WITH FSP.

Site Results (Water Quality Compliance) VRRM 4.1, 2024

Area Check	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
BIORETENTION AREA	0.00	0.00	0.00	0.00	0.00	OK
GREEN ROOF	0.00	0.00	0.00	0.00	0.00	OK
MANAGED TURF AREA	0.00	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER	1.08	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER REMAINS	0.00	0.00	0.00	0.00	0.00	OK

Runoff Reduction Volume and TP by Drainage Area

Area	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
BIORETENTION VOLUME ACHIEVED (ft³)	1,333	0	0	0	0	1,333
TP LOAD REMAINING FOR REMOVAL (lb/yr)	0.74	0.00	0.00	0.00	0.00	0.74
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.74	0.00	0.00	0.00	0.00	0.74
TP LOAD REMAINING (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00
TP LOAD REDUCTION ACHIEVED (%)	0.77	0.00	0.00	0.00	0.00	0.77

Total Phosphorus

Area	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
POST-DEVELOPMENT LOAD (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00
TP LOAD REDUCTION REQUIRED (lb/yr)	0.92	0.00	0.00	0.00	0.00	0.92
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.92	0.00	0.00	0.00	0.00	0.92
TP LOAD REMAINING (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Total Nitrogen (For Informational Purposes)

Area	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
POST-DEVELOPMENT LOAD (lb/yr)	13.36	0.00	0.00	0.00	0.00	13.36
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	6.40	0.00	0.00	0.00	0.00	6.40
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	6.96	0.00	0.00	0.00	0.00	6.96

LEGEND:

- BIORETENTION AREA
- GREEN ROOF
- IMPERVIOUS TO BIORETENTION
- IMPERVIOUS TO BIORETENTION

NOTES:

- BLOCK B REQUIRES A MANUFACTURED TREATMENT DEVICE - FILTERING IN THE GARAGE.

BLOCK B - 65% GREEN PRACTICES CALCULATION:
PHOSPHORUS REMOVED BY VEGETATED ROOF #2 = +10 lb
PHOSPHORUS REMOVED BY BIORETENTION #1 = 0.32 lb
PHOSPHORUS REMOVED BY MTD #1 = 0.32 lb
TOTAL PHOSPHORUS REDUCTION REQUIRED = 0.84 lb/yr
0.10 + 0.32 = 0.42/0.64 = 66%

APPROVED SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

IMEG
4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.8820
engineering • land planning

JOHN L. HELMS
Lic. No. 52485
08/05/2025

PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

NO.	DATE	DESCRIPTION
1	05/06/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

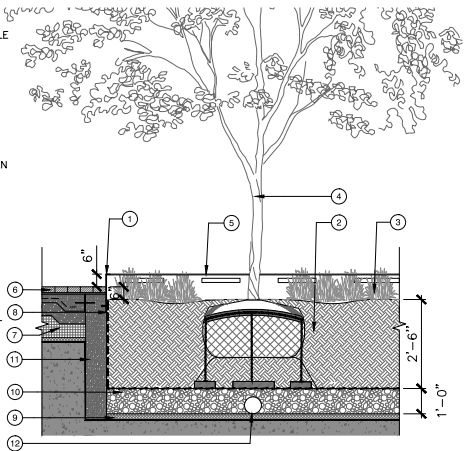
PROJECT No.: 230566100
DRAWING No.: 114122
DATE: 04/16/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: MG
CHECKED: KMW

BMP COMPUTATIONS - BLOCK B

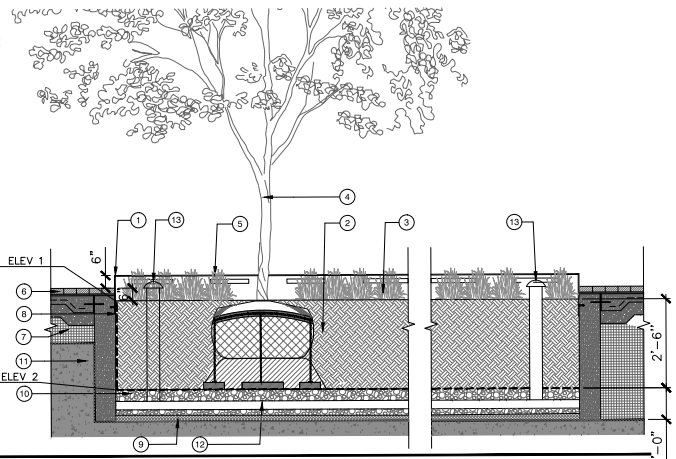
SHEET No. C611

BIORETENTION DETAIL

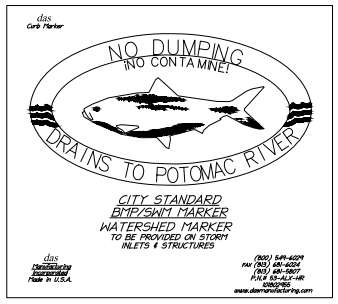
- ① METAL EDGING RE: CONSTRUCTION SCHEDULE FOR COLOR AND FINISH
- ② PLANTING SOIL RE: SOIL PLAN
- ③ PROPOSED PLANTING RE: PLANTING PLAN
- ④ PROPOSED TREE RE: PLANTING PLAN
- ⑤ METAL EDGING BEYOND
- ⑥ ADJACENT PAVING RE: CONSTRUCTION PLAN
- ⑦ LIGHTWEIGHT FILL RE: STRUCTURAL
- ⑧ FILTER FABRIC
- ⑨ DRAINAGE AND ROOF ASSEMBLY RE: ARCH
- ⑩ AGGREGATE STONE RE: CIVIL
- ⑪ REINFORCED C.I.P CONCRETE SLAB RE: STRUCTURAL
- ⑫ UNDER DRAIN RE: CIVIL



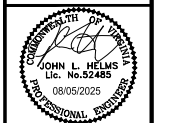
- ① METAL EDGING RE: CONSTRUCTION SCHEDULE FOR COLOR AND FINISH
- ② PLANTING SOIL RE: SOIL PLAN
- ③ PROPOSED PLANTING RE: PLANTING PLAN
- ④ PROPOSED TREE RE: PLANTING PLAN
- ⑤ METAL EDGING BEYOND
- ⑥ ADJACENT PAVING RE: CONSTRUCTION PLAN
- ⑦ LIGHTWEIGHT FILL RE: STRUCTURAL
- ⑧ FILTER FABRIC
- ⑨ DRAINAGE AND ROOF ASSEMBLY RE: ARCH
- ⑩ AGGREGATE STONE RE: CIVIL
- ⑪ REINFORCED C.I.P CONCRETE SLAB RE: STRUCTURAL
- ⑫ UNDER DRAIN RE: CIVIL
- ⑬ OVERFLOW DRAIN/CLEANOUT



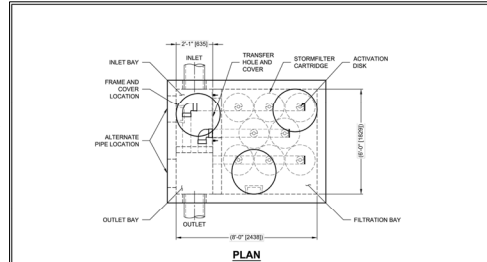
DETAIL - BMP PLANTER



IMEG
 4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.8820
 engineering • surveying • land planning



PRGS - REDEVELOPMENT
 BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA



STORMFILTER DESIGN NOTES

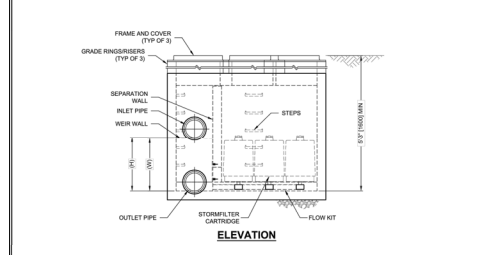
- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONFORMANCE CAPACITY SHOULD BE DETERMINED BY ENGINEER OF RECORD.
- A 4' x 8' (120" x 240") FRAME DIVISION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (8) AND IS AVAILABLE IN A LEFT HAND AND RIGHT HAND INLET CONFIGURATION.
- ALL PARTS AND MATERIALS PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.

CARTRIDGE SIZE (in. (mm))	27 (686)	18 (467)	LOW DROP
RECOMMENDED HYDRAULIC DROP (ft. (mm))	3.08 (902)	2.3 (591)	1.8 (460)
HEIGHT OF MEDIA (ft. (mm))	3.08 (902)	2.3 (591)	1.75 (443)
SPECIFIC FLOW RATE (gpm/ft ²)	2.1 (50)	1.6 (37)	1.5 (33)
CARTRIDGE FLOW RATE (gpm)	22.5 (43)	18.75 (35)	12.5 (24)

* 1.87 gpm/ft² (2.13 L/min/ft²) SPECIFIC FLOW RATE IS APPROVED WITH PROPGOOD® (P) MEDIA MEDIA ONLY.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID: _____
 WATER QUALITY FLOW RATE (IN. (L/S)) _____
 PEAK FLOW RATE (IN. (L/S)) _____
 RETURN PERIOD OF PEAK FLOW (yr) _____
 CARTRIDGE FLOW RATE _____
 CARTRIDGE SIZE (27" 18" LOW DROP (L/S)) _____
 MEDIA TYPE (PERITE (P) / PEG) _____
 NUMBER OF CARTRIDGES REQUIRED _____
 INLET BAY RISE/ELEVATION _____
 FILTER BAY RISE/ELEVATION _____
 PIPE DATA: INVERT MATERIAL DIAMETER _____
 INLET PIPE 1 _____
 INLET PIPE 2 _____
 OUTLET PIPE _____
 NOTES/SPECIAL REQUIREMENTS: _____



PERFORMANCE SPECIFICATION

PERCENT OF MEDIA FILLED: MAXIMUM, 50% ON ACTIVATED MEDIA FLOW AND SELF-CLEANING. MEDIA MEDIA DEPTH SHALL BE 1" (25.4) FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/FT² (1.38 L/MIN/FT²) MAXIMUM. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (FT²). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF (13.8 L/MIN/CF) OF MEDIA (MAXIMUM).

GENERAL NOTES

- CONTRACTOR PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- CONTRACTOR SUBMIT WITH (1) SET REQUIREMENTS. ACTUAL DIMENSIONS MAY VARY.
- ALTERNATE DIMENSIONS ARE IN MILLIMETERS (MM) UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contech.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ALL APPLICABLE LOADS INCLUDING EARTH COVER OF P. (1) (2) (3) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M808 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES

- ANY SURFACE SLOTTED DEPTH AND/OR ANTI-FLOTTATION PROVISIONS ARE SITE SPECIFIC. DESIGN CONSIDERATIONS AND SHALL BE COORDINATED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND BEACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND BEACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE NECESSARY MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BEING ONLINE.

CONTECH
 ENGINEERED SOLUTIONS LLC
 www.contech.com
 4035 Ridge Top Dr., Suite 601, Fairfax, VA 22030
 703.273.8820

SFPD0608 (6' x 8')
 PEAK DIVERSION STORMFILTER
 STANDARD DETAIL

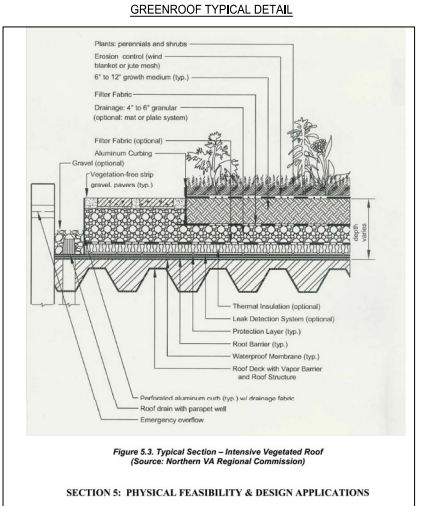


Figure 5.3 Typical Section - Intensive Vegetated Roof (Source: Northern VA Regional Commission)

SECTION 5: PHYSICAL FEASIBILITY & DESIGN APPLICATIONS

PROPOSED WQVD

Development	Impervious	Pervious	Total
On-Site Treated	1.08	0.00	1.08
Off-Site Treated	0.00	0.00	0.00
Total Treated	1.08	0.00	1.08
Any On-Site Disconnected by a Vegetated Buffer (25%)			
Total On-Site Treated or Disconnected			1.08

Water Treatment On-Site

BMP Type	Area Treated by BMP (acres)	Impervious Area (acres)	BMP Efficiency (%)
Bioretention	0.68	0.68	40
GREEN ROOF	0.19	0.19	45
HTD FILTERING	0.20	0.20	65

Miscellaneous Information

Total MWV treated: _____
 Detention on Site: YES NO
 Project is within which watershed? POTOMAC RIVER
 Project Discharges to which body of water? POTOMAC RIVER

APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DIRECTOR _____ DATE _____

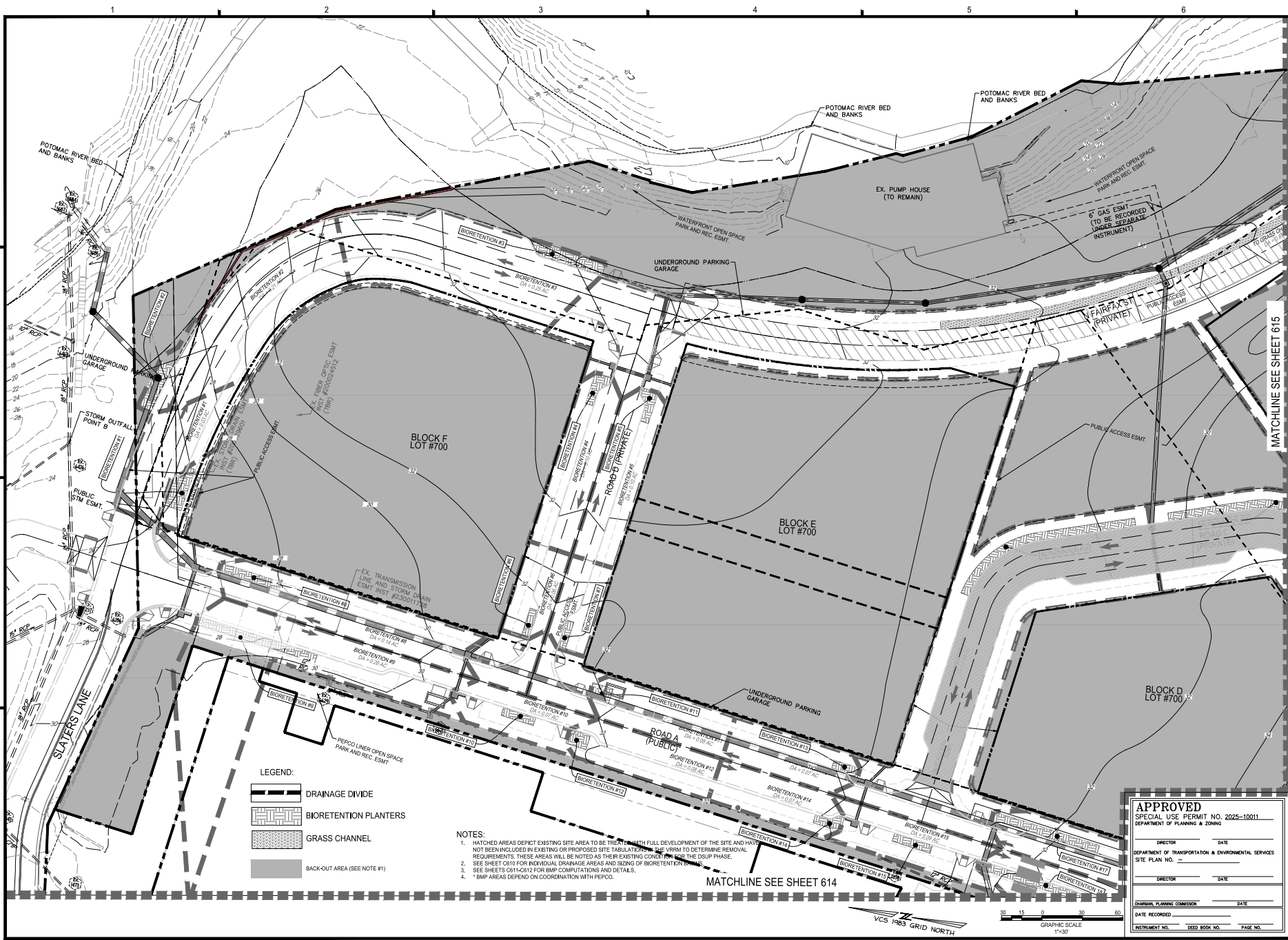
JURISDICTIONAL PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
07/10/2025	VERIFICATION OF COMPLETENESS
08/05/2025	COMPLETION SUBMISSION

PROJECT NO.: 23005661.00
 DRAWING NO.: 114122
 DATE: 04/18/2025
 SCALE: NONE
 DESIGN: JH
 CHECKED: KMW

BMP COMPUTATIONS AND DETAILS

SHEET NO. **C612**



LEGEND:

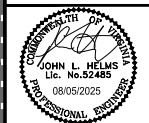
- DRAINAGE DIVIDE
- BIORETENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)

- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED BY EXISTING OR PROPOSED SITE TABULATION OR THE METHOD TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION IN THE OSUP PHASE.
 2. SEE SHEET C819 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION PLANTERS.
 3. SEE SHEETS C814-C815 FOR BMP COMPUTATIONS AND DETAILS.
 4. * BMP AREAS DEPEND ON COORDINATION WITH PEPCO.

APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

DEPARTMENT OF PLANNING & ZONING
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



PRGS - REDEVELOPMENT
 BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT NO.: 23005661.00
 DRAWING NO.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

SWM-BMP PLAN

SHEET NO. **C613**

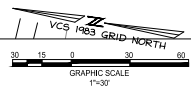
MATCHLINE SEE SHEET 615

MATCHLINE SEE SHEET 614





- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE VRM TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
 2. SEE SHEET 010 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION BASINS.
 3. SEE SHEETS 051-052 FOR BMP COMPUTATIONS AND DETAILS.
 4. * BMP AREAS DEPEND ON COORDINATION WITH PEPCO.



LEGEND:

- DRAINAGE DIVIDE
- BIORETENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)

APPROVED
 SPECIAL USE PERMIT NO. 2025-10011
 DEPARTMENT OF PLANNING & ZONING


DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____


JOURNAL PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 engineering • surveying • land planning



PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

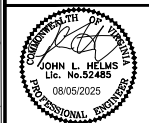
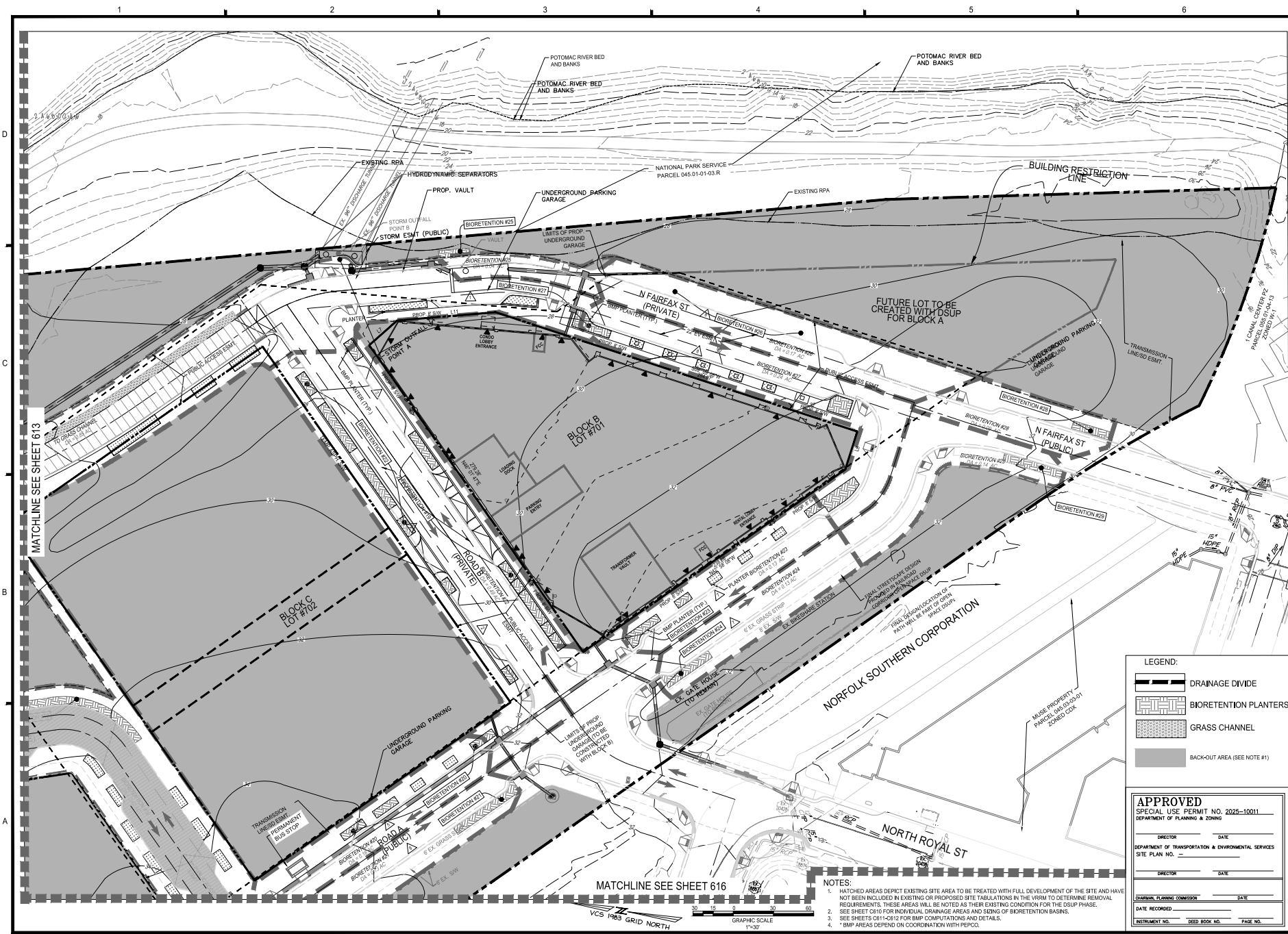
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: 1"=30'
 DESIGN: JH
 DRAWN: JS
 CHECKED: KHW

SWM-BMP PLAN

SHEET No. **C614**



**PRGS - REDEVELOPMENT
BLOCK - B**

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETION SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETION

PROJECT No.: 23050661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KMW

APPROVED
SPECIAL USE PERMIT NO. 2025-10011

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

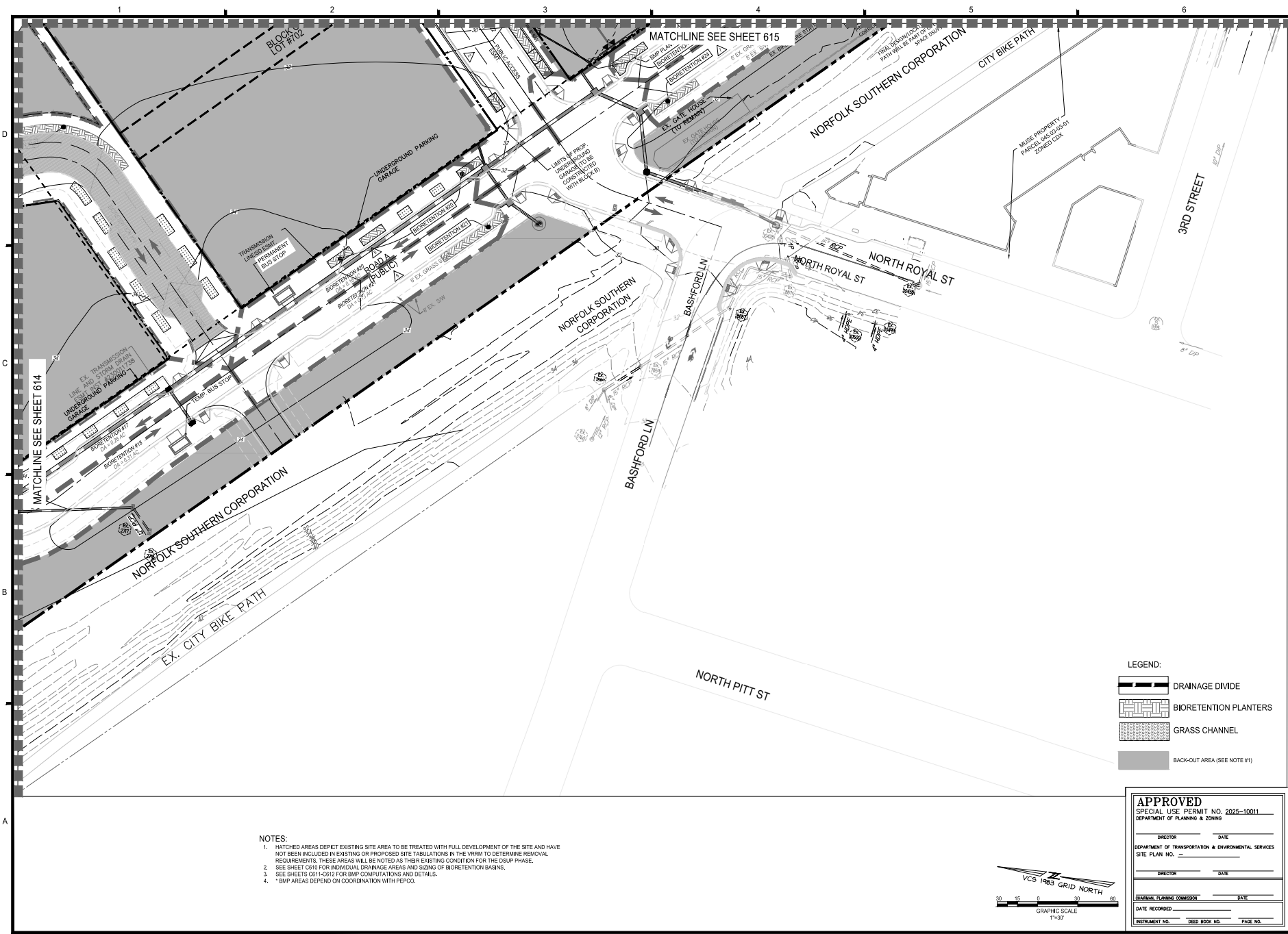
SWM-BMP PLAN

SHEET No. **C615**

LEGEND:

	DRAINAGE DIVIDE
	BIORETENTION PLANTERS
	GRASS CHANNEL
	BACK-OUT AREA (SEE NOTE #1)

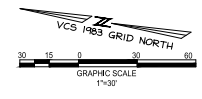
- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE WRM TO DETERMINE REMOVAL REQUIREMENTS. THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
 2. SEE SHEET C610 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION BASINS.
 3. SEE SHEETS C611-C615 FOR BMP COMPLETIONS AND DETAILS.
 4. * BMP AREAS DEPEND ON COORDINATION WITH PEPCO.



- NOTES:**
1. HATCHED AREAS DEPICT EXISTING SITE AREA TO BE TREATED WITH FULL DEVELOPMENT OF THE SITE AND HAVE NOT BEEN INCLUDED IN EXISTING OR PROPOSED SITE TABULATIONS IN THE VMM TO DETERMINE REMOVAL REQUIREMENTS, THESE AREAS WILL BE NOTED AS THEIR EXISTING CONDITION FOR THE DSUP PHASE.
 2. SEE SHEET C610 FOR INDIVIDUAL DRAINAGE AREAS AND SIZING OF BIORETENTION BASINS.
 3. SEE SHEETS C611-C617 FOR BMP COMPUTATIONS AND DETAILS.
 4. * BMP AREAS DEPEND ON COORDINATION WITH PEPCO.

LEGEND:

- DRAINAGE DIVIDE
- BIORETENTION PLANTERS
- GRASS CHANNEL
- BACK-OUT AREA (SEE NOTE #1)




APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF PLANNING & ZONING


DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

DESIGNED BY _____ DATE _____
DRAWN BY _____
CHECKED BY _____

DESIGNER _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.6820
engineering • surveying • land planning



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	08/18/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 230505661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: 1"=30'
DESIGN: JH
DRAWN: JS
CHECKED: KHW

SWM-BMP PLAN

SHEET No. **C616**

STORM SEWER PIPE COMPUTATIONS

FROM POINT	TO POINT	DRAIN AREA ACRES	RUNOFF COEFF. C	CA INCREM.	ACCUM. ACCUM.	INLET TIME MIN.	RAINFALL INTENSITY IN.-HR.	PIPED IN FROM EXISTING C.F.S.	RUNOFF Q C.F.S.	INVERT ELEVATIONS (ft) UPPER LOWER	LENGTH #	SLOPE #/ft	DIA. IN.	n	CAPACITY C.F.S.	VELOCITY FPS	FULL FLOW VELOCITY FPS	FLOW TIME SEC.	Q/OVER	VV/VEL	V&H	NOTES	
EX 7889 - EX 3684																							
EX 7889	EX 7889	0.090	0.37	0.03	0.03	5.00	9.00		0.30	30.08	29.40	32.60	0.0209	15	0.015	8.09	3.0	6.59	11.0	0.04	0.45	6.59	
EX 7889	EX 8887	0.080	0.78	0.06	0.10	5.18	9.00		0.86	29.22	28.50	78.83	0.0091	15	0.015	5.35	3.1	4.36	25.2	0.16	0.72	4.36	
EX 8887	EX 8874	0.120	0.66	0.08	0.17	5.60	9.00		1.57	28.27	27.94	51.69	0.0064	15	0.015	4.47	3.3	3.65	15.7	0.25	0.90	3.65	
EX 8874	EX 10428	0.200	0.72	0.14	0.32	5.87	9.00		2.87	27.75	27.07	71.16	0.0096	15	0.015	5.47	4.5	4.46	16.0	0.52	1.00	4.46	12x18 Hor. Elliptical Pipe (RCP CLIV)
EX 10428	27			0.11	0.43	6.13	9.00		3.86	26.90	26.60	36.68	0.0082	15	0.015	5.06	4.5	4.13	8.1	0.76	1.09	4.13	Increment 0.11 from STRM 10438
27	26	0.320	0.87	0.28	0.60	6.13	9.00		5.38	26.25	25.87	68.13	0.0056	18	0.015	6.80	4.2	3.85	16.0	0.79	1.10	3.85	12x18 Hor. Elliptical Pipe (RCP CLIV)
26	25			0.60	6.40	9.00			5.38	25.77	25.52	45.46	0.0055	18	0.015	6.75	4.2	3.82	10.8	0.80	1.10	3.82	
25	24	0.130	0.62	0.08	0.68	6.58	9.00		6.10	25.17	24.97	36.41	0.0055	21	0.015	10.18	4.4	4.23	8.3	0.60	1.03	4.23	Increment 0.69 from STRM 28
24	29	0.150	0.89	0.13	1.31	6.72	9.00		11.80	24.37	23.82	99.71	0.0055	27	0.015	19.93	5.2	5.01	19.3	0.59	1.03	5.01	Increment 0.50 from Roof - Block B
29	29A	0.120	0.85	0.10	2.06	7.04	9.00		18.58	23.47	21.89	288.18	0.0055	30	0.015	26.32	5.8	5.36	50.1	0.71	1.07	5.36	Increment 0.49 from Roof - Block C
29A	29B	0.230	0.85	0.20	2.43	7.87	9.00		21.90	21.79	20.83	162.24	0.0059	30	0.015	27.34	6.1	5.57	26.4	0.80	1.10	5.57	
29B	18			2.43	8.31	9.00			21.90	20.73	19.78	160.93	0.0059	30	0.015	27.31	6.1	5.56	26.2	0.80	1.10	5.56	Increment 0.17 from EX 2717
18	16	0.170	0.85	0.14	5.50	8.75	9.00		53.12	16.30	15.75	99.92	0.0055	42	0.013	74.64	8.4	7.76	11.9	0.71	1.08	7.76	
16	3	0.220	0.84	0.18	6.88	8.95	9.00		61.89	15.65	13.92	311.59	0.0056	42	0.013	74.97	8.7	7.79	35.9	0.83	1.11	7.79	Increment 0.69 from Roof - Block E
3	2	0.290	0.86	0.25	7.90	9.55	9.00		71.10	13.82	12.25	212.01	0.0074	42	0.013	86.58	10.0	9.00	21.2	0.82	1.11	9.00	Increment 0.58 from Roof - Block F
2	1	0.140	0.89	0.12	11.39	9.90	9.00		102.47	12.15	10.88	80.44	0.0158	42	0.013	126.42	14.6	13.14	5.5	0.81	1.11	13.14	
1	1A	0.500	0.87	0.44	11.82	9.99	9.00		106.59	10.78	7.32	89.13	0.0388	36	0.013	131.41	20.7	18.59	4.3	0.81	1.11	18.59	
1A	1B				11.82	10.06	9.00		106.59	7.22	4.60	68.91	0.0380	36	0.013	130.05	20.5	18.40	3.4	0.82	1.11	18.40	
1B	EX 3685				11.82	9.99	9.00		106.59	4.50	2.94	45.36	0.0344	36	0.013	123.69	19.6	17.50	2.3	0.86	1.12	17.50	
EX 3685	EX 3684	0.067	0.37	0.02	11.85	10.03	9.00		106.61	2.84	0.02	41.41	0.0681	36	0.013	174.06	25.8	24.62	1.6	0.61	1.05	24.62	
STRM 4 - STRM 3																							
4	3	0.270	0.72	0.19	0.19	5.00	9.00		1.75	18.99	18.83	30.97	0.0052	15	0.015	4.02	3.2	3.28	9.8	0.43	0.96	3.28	
STRM 5 - STRM 2																							
5A	5	0.490	0.51	0.2499	3.1199	5	9.00		28.08	19.38	18.20	31.19	0.0378	24	0.015	38.14	13.2	12.14	2.4	0.74	1.08	12.14	Increment 2.87 from Offsite
5	2	0.350	0.69	0.24	3.36	5.04	9.00		30.25	18.10	16.75	35.97	0.0375	24	0.015	37.98	13.3	12.09	2.7	0.80	1.10	12.09	
STRM 13 - STRM 6A																							
13	12	0.100	0.90	0.09	0.58	5.00	9.00		5.22	24.90	24.75	27.00	0.0055	21	0.015	10.20	4.2	4.24	6.4	0.51	1.00	4.24	Increment 0.49 from Roof - Block F
12	11	0.100	0.90	0.72	1.30	5.11	9.00		11.70	24.15	23.80	63.22	0.0055	27	0.015	19.97	5.2	5.02	12.2	0.59	1.03	5.02	Increment 0.63 from Roof - Block E
11	10	0.710	0.77	0.55	1.85	5.31	9.00		16.62	23.45	22.91	99.73	0.0054	30	0.015	26.16	5.6	5.33	17.9	0.64	1.05	5.33	
10	9			0.00	1.85	5.61	9.00		16.62	22.81	22.28	96.29	0.0055	30	0.015	26.39	5.6	5.38	17.1	0.63	1.05	5.38	
9	8			0.00	1.85	5.89	9.00		16.62	22.18	21.19	180.87	0.0055	30	0.015	26.30	5.6	5.36	32.3	0.63	1.05	5.36	
8	7			0.00	4.12	6.43	9.00		37.09	20.59	19.12	268.61	0.0055	36	0.013	49.34	7.6	6.98	35.2	0.75	1.09	6.98	Increment 6.17 from STRM 14
7	6			0.00	4.12	7.02	9.00		37.09	19.02	18.80	33.01	0.0067	36	0.013	54.45	8.3	7.70	4.0	0.68	1.07	7.70	Increment 0.76 from Roof - Block C
6	6A			0.00	4.93	7.08	9.00		44.37	18.70	18.55	14.43	0.0104	36	0.013	68.00	10.2	9.62	1.4	0.65	1.06	9.62	Increment 3.40 from STRM 21
STRM 21 - STRM 6																							
21	6	0.930	0.87	0.81	0.81	5.00	9.00		7.28	20.76	20.65	9.02	0.0122	18	0.015	10.05	6.2	5.69	1.5	0.72	1.08	5.69	
EX 654 - STRM 18																							
EX 654	EX 861	0.670	0.55	0.37	0.37	5.00	9.00		3.32	29.57	26.81	124.35	0.0232	12	0.015	4.60	6.3	5.86	19.6	0.72	1.08	5.86	Inlet top to be adjusted as needed
EX 861	EX 860	0.350	0.55	0.19	0.56	5.33	9.00		5.05	26.32	24.00	73.18	0.0317	18	0.015	16.21	8.1	9.17	9.1	0.31	0.88	9.17	Inlet top to be adjusted as needed
EX 860	EX 2961	0.520	0.45	0.23	0.80	5.48	9.00		7.16	23.90	22.59	103.20	0.0127	18	0.015	10.26	6.2	5.80	16.6	0.70	1.07	5.80	Inlet top to be adjusted as needed
EX 2961	EX 7502			1.14	5.75	9.00			10.27	22.30	21.80	61.97	0.0081	18	0.015	8.18	4.6	4.63	13.4	1.26	1.00	4.63	Increment 0.58 from EX 2976
EX 7502	19			3.08	5.98	9.00			27.71	21.70	21.47	43.56	0.0053	36	0.013	48.47	7.1	6.86	6.2	0.57	1.03	6.86	Increment 1.96 from EX 7196 & EX 2717
19	18	0.350	0.7	0.25	3.32	6.08	9.00		29.91	16.90	16.73	31.44	0.0054	36	0.013	49.05	7.3	6.94	4.3	0.61	1.05	6.94	
EX 2976 - EX 2961																							
EX 2976	EX 2961	0.77	0.45	0.35	0.35	5.00	9.00		3.12	28.86	27.74	10.39	0.0178	12	0.015	10.14	11.4	12.91	0.9	0.31	0.88	12.91	Inlet top to be adjusted as needed
EX 7201 - EX 7502																							
EX 7201	EX 7196	0.18	0.73	0.13	0.13	5.00	9.00		1.18	28.40	28.24	31.44	0.0051	12	0.015	2.20	2.9	2.80	11.0	0.54	1.02	2.80	
EX 7196	EX 7502	2.04	0.8	1.63	1.76	5.18	9.00		15.87	28.14	26.86	73.55	0.0174	12	0.015	4.07	5.2	5.19	14.2	3.90	1.00	5.19	
EX 2718 - STRM 29B																							
EX 2718	EX 2717	0.47	0.37	0.17	0.17	5.00	9.00		1.57	25.64	25.51	22.08	0.0059	12	0.015	2.37	3.2	3.02	6.9	0.66	1.06	3.02	
EX 2717	29B			0.17	5.12	9.00			1.57	25.21	24.50	106.43	0.0067	12	0.015	2.52	3.4	3.21	31.7	0.62	1.05	3.21	
STRM 17 - STRM 16																							
17	16	0.14	0.71	0.10	0.10	5.00	9.00		0.89	17.31	17.15	30.77	0.0052	15	0.015	4.04	2.6	3.29	12.1	0.22			

HGL COMPUTATIONS

Str.	Outlet				JUNCTION LOSS													Final H (ft)	Inlet Water Surf Elev (ft)	Rim Elev (ft)	Δ (ft)	
	Water	Do	Qo	Lo	Sfo	Hf	Va	Ho	Qi	Vt	Qjv1	Vj ² /2g	Hi	Angle (deg)	Ha	Ht	1.3Ht					0.5Ht
(ft)	(in)	(cfs)	(ft)	(%)	(ft)	(fps)	(ft)	(cfs)	(fps)	(cfs)	(ft)	(ft)	(deg)	(ft)	(ft)	(ft)	(ft)	(ft)				
EX.7889 - EX.3684																						
18	5.34	36	106.39	45.36	3.39	1.54	19.6	1.49	106.39	20.5	2177.42	6.50	2.28	58	3.47	7.24	0.00	3.62	5.16	10.50	18.75	8.25
1A	10.50	36	106.39	68.91	3.39	2.33	20.5	1.63	106.39	20.7	2200.19	6.64	2.32	64	3.81	7.76	0.00	3.88	6.22	16.71	25.92	9.21
1	16.71	36	106.39	89.13	3.39	3.02	20.7	1.66	102.47	14.6	1497.78	3.32	1.16	65	1.92	4.75	0.00	2.37	5.39	22.10	25.50	3.40
2	22.10	42	102.47	80.44	1.38	1.11	14.6	0.83	71.10	10.0	711.72	1.56	0.54	26	0.36	1.73	0.00	0.87	1.98	24.08	26.97	2.89
3	24.08	42	71.10	212.01	0.66	1.41	10.0	0.39	61.89	8.7	536.41	1.17	0.41	0	0.00	0.80	0.00	0.40	1.81	25.89	30.49	4.60
16	25.89	42	61.89	311.59	0.50	1.57	8.7	0.29	53.12	8.4	446.70	1.10	0.38	0	0.00	0.68	0.00	0.34	1.91	27.80	31.95	4.15
18	27.80	42	53.12	99.92	0.37	0.37	8.4	0.27	21.90	6.1	134.54	0.59	0.21	0	0.00	0.48	0.00	0.24	0.61	28.41	31.81	3.40
29B	28.41	30	21.90	160.93	0.38	0.61	6.1	0.15	21.90	6.1	134.70	0.59	0.21	53	0.29	0.64	0.00	0.32	0.93	29.34	33.44	4.10
29A	29.34	30	21.90	162.24	0.38	0.62	6.1	0.15	18.58	5.8	106.84	0.51	0.18	0	0.00	0.33	0.00	0.16	0.78	30.12	32.78	2.66
29	30.12	30	18.58	288.18	0.27	0.79	5.8	0.13	11.80	5.2	61.06	0.42	0.15	0	0.00	0.27	0.00	0.14	0.92	31.04	32.43	1.39
24	31.04	27	11.80	99.71	0.19	0.19	5.2	0.10	6.10	4.4	26.64	0.30	0.10	0	0.00	0.21	0.00	0.10	3.30	31.34	31.32	-0.02
25	31.34	21	6.10	36.41	0.20	0.07	4.4	0.07	5.38	4.2	22.67	0.28	0.10	63	0.16	0.33	0.00	0.16	0.24	31.58	31.17	-0.41
26	31.58	18	5.38	45.46	0.35	0.16	4.2	0.07	5.38	4.2	22.83	0.28	0.10	62	0.16	0.32	0.00	0.16	0.32	31.90	30.43	-1.47
27	31.90	18	5.38	68.13	0.35	0.24	4.2	0.07	2.87	4.5	12.80	0.31	0.11	0	0.00	0.18	0.00	0.09	0.33	32.22	29.94	-2.28
EX.10428	32.22	15	3.86	36.68	0.48	0.17	4.5	0.08	1.57	3.3	5.18	0.17	0.06	0	0.00	0.14	0.00	0.07	0.24	32.47	30.98	-1.49
EX.8874	32.22	15	2.87	71.16	0.26	0.19	4.5	0.08	1.57	3.3	5.18	0.17	0.06	0	0.00	0.14	0.00	0.07	0.26	32.48	31.39	-1.09
EX.8887	32.48	15	1.57	51.69	0.08	0.04	3.3	0.04	0.86	3.1	2.69	0.15	0.05	0	0.00	0.10	0.00	0.05	0.09	32.57	31.58	-0.99
EX.7859	32.57	15	0.86	78.83	0.02	0.02	3.1	0.04	0.30	3.0	0.89	0.14	0.05	0	0.00	0.09	0.00	0.04	0.06	32.63	34.02	1.39
EX.7889	32.63	15	0.30	32.60	0.00	0.00	3.0	0.03	0.00	0.0	0.00	0.00	0.00	0	0.00	0.03	0.00	0.02	0.02	32.65	37.38	4.73
To Strm 3																						
4	19.83	15	1.75	30.97	0.10	0.03	3.2	0.04	0.00	0.0	0.00	0.00	0.00	0	0.00	0.04	0.00	0.02	0.05	19.88	30.38	10.50
To Strm 2																						
5	18.35	24	30.25	35.97	2.38	0.86	13.3	0.69	28.08	13.2	369.45	2.69	0.94	41	0.00	1.63	0.00	0.82	1.67	20.02	26.93	6.91
5A	20.02	24	28.08	31.19	2.05	0.64	13.2	0.67	0.00	0.0	0.00	0.00	0.00	0	0.00	0.67	0.00	0.34	0.98	21.00	27.85	6.85
STRM 13 - STRM 6A																						
6	20.95	36	44.37	14.43	0.59	0.09	10.2	0.40	37.09	8.3	306.37	1.06	0.37	152	0.74	1.52	0.00	0.76	0.84	21.79	27.44	5.65
7	21.79	36	37.09	33.01	0.41	0.14	8.3	0.26	37.09	7.6	283.32	0.91	0.32	146	0.63	1.22	0.00	0.61	0.74	22.54	26.76	4.22
8	22.54	36	37.09	268.61	0.41	1.11	7.6	0.23	16.62	5.6	93.18	0.49	0.17	156	0.34	0.74	0.00	0.37	1.48	24.01	27.31	3.30
9	24.01	30	16.62	180.87	0.22	0.40	5.6	0.12	16.62	5.6	93.49	0.49	0.17	149	0.34	0.64	0.00	0.32	0.71	24.73	32.65	7.92
10	24.73	30	16.62	96.20	0.22	0.21	5.6	0.12	16.62	5.6	92.68	0.48	0.17	152	0.34	0.63	0.00	0.31	0.53	25.25	31.00	5.75
11	25.25	30	16.62	99.73	0.22	0.22	5.6	0.12	11.70	5.2	60.64	0.42	0.15	144	0.29	0.56	0.00	0.28	0.50	25.75	29.30	3.55
12	25.75	27	11.70	63.22	0.19	0.12	5.2	0.10	5.22	5.6	29.11	0.48	0.17	90	0.34	0.61	0.00	0.31	0.43	26.18	30.48	4.30
13	26.18	21	5.22	27.00	0.14	0.04	5.6	0.12	0.00	0.0	0.00	0.00	0.00	0	0.00	0.12	0.00	0.06	0.10	26.27	30.50	4.23
To Strm 6																						
21	21.85	18	7.28	9.02	0.64	0.06	6.2	0.15	0.00	0.0	0.00	0.00	0.00	0	0.00	0.15	0.00	0.07	0.13	21.98	27.81	5.83
EX.654 - STRM 18																						
19	19.13	36	29.91	31.44	0.27	0.08	7.3	0.20	27.71	7.1	106.06	0.78	0.27	50	0.37	0.84	0.00	0.42	0.51	19.64	31.79	12.15
EX.7502	23.87	36	27.71	43.56	0.23	0.10	7.1	0.19	10.27	4.6	47.54	0.33	0.12	29	0.00	0.31	0.00	0.16	0.26	24.13	32.00	7.87
EX.2961	24.13	18	10.27	61.97	0.17	0.79	4.6	0.08	7.16	6.2	44.54	0.60	0.21	37	0.00	0.29	0.00	0.15	0.94	25.06	32.30	7.24
EX.860	25.06	18	7.16	103.20	0.62	0.64	6.2	0.15	5.05	8.1	40.73	1.01	0.35	44	0.42	0.92	0.00	0.46	1.10	26.16	33.30	7.14
EX.861	26.16	18	5.05	73.18	0.31	0.23	8.1	0.25	3.32	6.3	21.06	0.63	0.22	28	0.16	0.63	0.00	0.32	0.54	26.70	34.30	7.60
EX.654	27.61	12	3.32	124.35	1.15	1.43	6.3	0.16	1.18	2.9	3.37	0.13	0.04	0	0.00	0.20	0.00	0.10	1.53	29.14	35.30	6.16
To Ex. 2961																						
EX.2976	28.54	12	3.12	10.39	1.02	0.11	11.4	0.50	0.00	0.0	0.00	0.00	0.00	0	0.00	0.50	0.00	0.25	0.36	28.90	38.30	9.40
EX.7201- EX.7502																						
EX.7196	27.66	12	15.87	73.55	26.42	19.43	5.2	0.10	1.18	2.9	3.37	0.13	0.04	58	0.00	0.15	0.00	0.07	19.50	47.16	38.30	-8.86
EX.7201	47.16	12	1.18	31.44	0.15	0.05	2.9	0.03	0.00	0.0	0.00	0.00	0.00	0	0.00	0.03	0.00	0.02	0.06	47.23	39.30	-7.93
EX.2718 - STRM 29B																						
EX.2718	26.31	12	1.57	22.08	0.26	0.06	3.2	0.04	0.00	0.0	0.00	0.00	0.00	0	0.00	0.04	0.00	0.02	0.08	26.39	34.08	7.69
EX.2717	26.39	12	1.57	106.43	0.26	0.27	3.4	0.04	0.00	0.0	0.00	0.00	0.00	58	0.00	0.04	0.00	0.02	0.30	26.68	34.02	7.34
To Strm 16																						
17	18.15	15	0.89	30.77	0.03	0.01	2.6	0.03	0.00	0.0	0.00	0.00	0.00	0	0.00	0.03	0.00	0.01	0.02	18.17	31.92	13.75
To Strm 8																						
20A	24.19	30	20.47	12.15	0.33	0.04	5.8	0.13	13.74	5.2	70.85	0.41	0.14	28	0.00	0.27	0.00	0.14	0.18	24.36	27.28	2.92
20	24.36	27	13.74	181.33	0.26	0.48	5.2	0.10	0.00	0.0	0.00	0.00	0.00	0	0.00	0.10	0.00	0.05	0.53	24.89	27.74	2.85
STRM 33 - VAULT																						
32	22.00	24	10.50	57.39	0.29	0.16	5.2	0.11	5.96	4.4	26.05	0.30	0.10	75	0.00	0.21	0.00	0.10	0.27	22.27	28.25	5.98
33	24.85	21	5.96	27.24	0.19	0.05	4.4	0.07	36.38	11.5	419.55	2.06	0.72	0	0.00	0.80	0.00	0.40	0.45	25.30	28.45	3.15
VAULT - STRM 6A																						
30	14.00	33	36.38	6.16	0.63	0.04	11.5	0.52	36.38	8.9	325.33	1.24	0.43	0	0.00	0.95	0.00	0.48	0.51	14.51	26.02	11.51
31	14.51	33	36.38	59.38	0.63	0.37	8.9	0.31	35.56	9.5	337.10	1.40	0.49	82	0.00	0.80						

SANITARY FLOW ESTIMATE

Area	Office/Cultural (sq. ft.)	Flow Rate	Total Office Wastewater (MGD)	Retail (sq. ft.)	Flow Rate	Total Retail Wastewater (MGD)	Hotel (sq. ft.)	No. of Rooms	Total Hotel Wastewater (MGD)	No. of Restaurant Seats	Flow Rate	Total Restaurant Wastewater (MGD)	Residential (sq. ft.)	No. of Apartment / Condominium Units	Flow Rate	Total Residential Wastewater (MGD)	Floor Area	Total (MGD)	Peak Factor	Peak (MGD)	
Pump House			10.000	0.200	0.0020					467.00	3.25	0.0015				0.0035	10,000	0.0070	4.0	0.0281	
Block A	41,657	0.200	0.01	9,801	0.200	0.0030				70.00	3.25	0.0022				0.0086	31,458	0.0191	4.0	0.0763	
Block B				30,126	0.200	0.0060				13,139	3.25	0.0044	382,623	321	300.0	0.0963	412,249	0.1267	4.0	0.4867	
Block C				12,709	0.200	0.0025				565.00	3.25	0.0018	625,375	494	300.0	0.1482	638,084	0.1526	4.0	0.6103	
Block D				8,000	0.200	0.0016						0.0000	288,582	277	300.0	0.0831	296,582	0.0847	4.0	0.3388	
Block E				12,000	0.200	0.0024				350.00	3.25	0.0011	526,582	547	300.0	0.1641	538,582	0.1676	4.0	0.6706	
Block F										373.00	3.25	0.0012	146,580	138	300.0	0.0416	424,580	0.0982	4.0	0.3928	
Total Onsite Proposed Flow	270,000	0.200	0.05	8,000	0.200	0.0016				4.00	3.25	0.0000						0.6359		2.5437	
99 Canal Properties	155,679	0.200	0.03							5.00	3.25	0.0000						155,679	0.0312	4.0	0.1246
Tidelock Property	39,133	0.200	0.01							7.00	3.25	0.0000						39,133	0.0078	4.0	0.0314
Total Offsite Flow										8.00	3.25	0.0000									0.1590

NOTE: THE HALF OF GSF AREA OF RETAIL IS FOR NUMBER OF RESTAURANT SEATS AND THE OTHER HALF OF GSF AREA IS FOR RETAIL IN THE TABULATION.
 BLOCK B: 60,252 / 2 = 30,126 SF X 1/3 = 20,084 SF / 15 = 1,339 SEATS
 BLOCK C: 25,418 / 2 = 12,709 SF X 1/3 = 8,473 SF / 15 = 565 SEATS

SANITARY SEWER COMPUTATIONS

FROM	TO	INVERTS (FT)		L (FT)	SLOPE (%)	DIA (IN)	MATERIAL	MANNINGS N	PIPE CAPACITY (MGD)	AVE. DAILY FLOW (ADF)		PEAK FACTOR	DESIGN FLOW		V _{DESIGN} (FT/S)	V _{VELOCITY} (FT/S)	Q/Q _{DESIGN}	V/V _{VELOCITY}	REMARKS
		UPPER INV	LOWER INV							INCREMENT (MGD)	ACCUMULATED (MGD)		(CFS)	(MGD)					
8	7	25.40	22.20	291.99	1.10	10	PVC	0.01	2.98	1.93	0.0982	4.00	0.61	0.39	2.47	4.28	0.20	0.78	Block F contribution to Prop. 8 = 0.0982 MGD
7	6	22.10	20.75	272.20	0.50	10	PVC	0.01	2.01	1.30	0.1676	4.00	1.65	1.06	3.68	4.09	0.82	1.11	Block E contribution to Prop. 7 = 0.1676 MGD
6	5	20.65	19.18	295.00	0.50	12	PVC	0.01	3.27	2.11	0.084700	4.00	2.17	1.40	4.16	4.41	0.66	1.06	Block D contribution to Prop. 6 = 0.0847 MGD
5	4	19.08	17.60	295.00	0.50	15	PVC	0.01	5.95	3.84	0.159600	4.00	3.16	2.04	4.85	4.85	0.53	1.00	Block C & Pump House contribution to Prop. 5 = 0.1596 MGD
4	3	17.50	16.50	199.49	0.50	15	PVC	0.01	5.94	3.84	0.156700	4.00	3.82	2.47	4.94	5.13	0.64	1.06	Block B contribution to Prop. 4 = 0.1067 MGD
3	2	16.40	16.05	69.47	0.50	15	PVC	0.01	5.96	3.85	0.000000	4.00	3.82	2.47	4.86	5.15	0.64	1.06	
2	1	15.95	14.63	262.34	0.50	15	PVC	0.01	5.95	3.85	0.019100	4.00	3.94	2.54	4.85	5.14	0.66	1.06	Block A contribution to Prop. 2 = 0.0191 MGD
1	1A	14.53	14.06	94.70	0.50	15	PVC	0.01	5.91	3.82	0.000000	4.00	3.94	2.54	4.82	5.11	0.67	1.06	
1A	1B	13.83	12.30	308.45	0.50	15	PVC	0.01	5.91	3.82	0.000000	4.00	3.94	2.54	4.82	5.11	0.67	1.06	
1B	1C	12.20	10.20	399.72	0.50	15	PVC	0.01	5.95	3.85	0.000000	4.00	3.94	2.54	4.85	5.14	0.66	1.06	
1C	1D	10.10	9.73	73.34	0.50	15	PVC	0.01	5.96	3.85	0.000000	4.00	3.94	2.54	4.86	5.15	0.66	1.06	
1D	1E	9.63	8.25	277.12	0.50	15	PVC	0.01	5.92	3.83	0.000000	4.00	3.94	2.54	4.83	5.12	0.66	1.06	
1E	EX. 1263	8.145	7.54	222.64	0.45	26	RCP	0.013	18.81	12.16	0.039000	4.00	4.18	2.70	5.10	4.10	0.22	0.80	99 Canal Properties & Tidelock Property Contribution to Prop. 1E = 0.0390

HGL COMPUTATIONS

Inlet Str.	Outlet Water Surf Elev (ft)	Do (in)	Qo (cfs)	Lo (ft)	Sfo (%)	Hf (ft)	JUNCTION LOSS										Final H (ft)	Inlet Water Surf Elev (ft)	Rim Elev (ft)		
							V _o (ft)	H _o (ft)	Q _i (cfs)	V _i (fps)	Q _{vi}	V _{p2} 2g	H _i (ft)	Angle (deg)	H _a (ft)	H _t (ft)				1.3H _t	0.5H _t
HGL COMPUTATIONS FROM SD TO S9																					
S1E	9.85	26	2.20	222.64	0.01	0.01	4.1	0.07	2.54	5.1	13.01	0.41	0.14	90	0.27	0.48	0.00	0.24	0.25	10.13	24.00
SD	10.63	15	2.54	277.12	0.09	0.25	5.1	0.10	2.54	5.1	13.10	0.41	0.14	43	0.00	0.25	0.00	0.12	0.38	11.01	25.00
S1C	11.10	15	2.54	73.34	0.09	0.07	5.1	0.10	2.54	5.1	13.08	0.41	0.14	46	0.00	0.25	0.00	0.12	0.19	11.29	26.00
S1B	13.20	15	2.54	397.72	0.09	0.36	5.1	0.10	2.54	5.1	12.99	0.40	0.14	180	0.00	0.24	0.00	0.12	0.49	13.69	27.00
S1A	14.83	15	2.54	308.45	0.09	0.28	5.1	0.10	2.54	5.1	12.99	0.41	0.14	180	0.00	0.24	0.00	0.12	0.40	15.23	28.00
S1	15.50	15	2.54	94.70	0.09	0.09	5.1	0.10	2.54	5.1	13.08	0.41	0.14	180	0.28	0.52	0.00	0.26	0.35	15.85	27.65
S2	17.01	15	2.54	262.34	0.09	0.24	5.1	0.10	2.47	5.1	12.70	0.41	0.14	69	0.25	0.50	0.00	0.25	0.49	17.50	32.33
S3	17.49	15	2.47	69.47	0.09	0.06	5.1	0.10	2.47	5.1	12.67	0.41	0.14	175	0.27	0.52	0.00	0.26	0.32	17.81	32.56
S4	18.50	15	2.47	199.49	0.09	0.17	5.1	0.10	2.04	4.8	9.89	0.36	0.13	180	0.24	0.47	0.00	0.24	0.41	18.91	30.88
S5	20.08	15	2.04	295.00	0.06	0.17	4.8	0.09	1.40	4.4	6.18	0.30	0.11	180	0.20	0.40	0.00	0.20	0.37	20.45	33.60
S6	20.08	12	1.40	295.00	0.09	0.27	4.4	0.08	1.06	4.1	4.35	0.26	0.09	180	0.17	0.34	0.00	0.17	0.44	20.52	33.52
S7	21.45	10	1.06	199.49	0.14	0.28	4.1	0.06	0.30	4.2	1.67	0.28	0.10	180	0.00	0.16	0.00	0.08	0.36	21.81	31.79
S8	22.77	10	0.39	291.99	0.02	0.06	4.2	0.07	0.00	0.00	0.00	0.00	0.00	0	0.00	0.07	0.00	0.03	0.09	22.86	30.48



PRGS - REDEVELOPMENT
 BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

DATE	DESCRIPTION
1 05/02/2025	COMPLETION SUBMISSION
2 07/10/2025	VERIFICATION OF COMPLETION

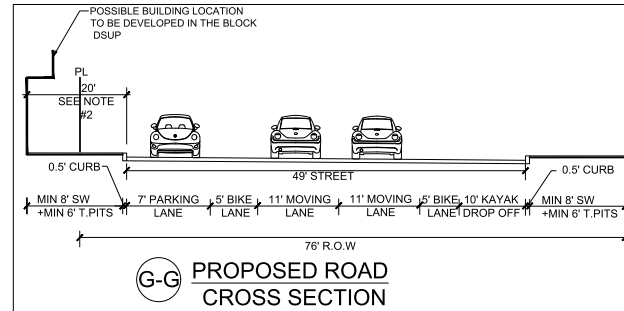
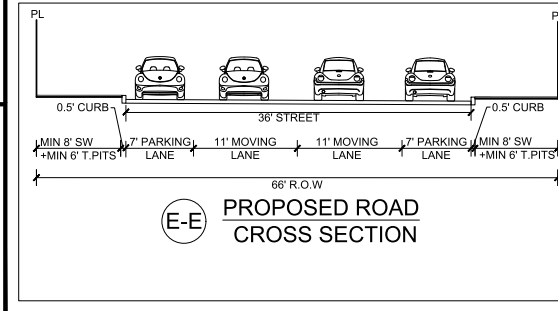
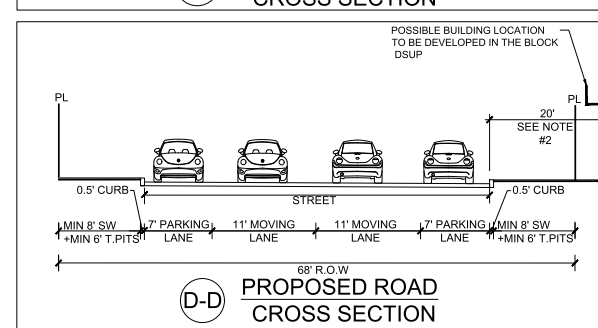
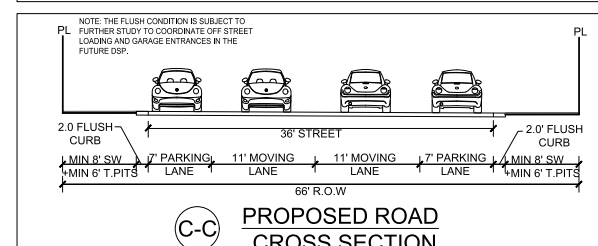
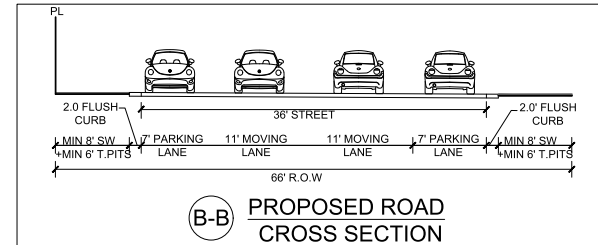
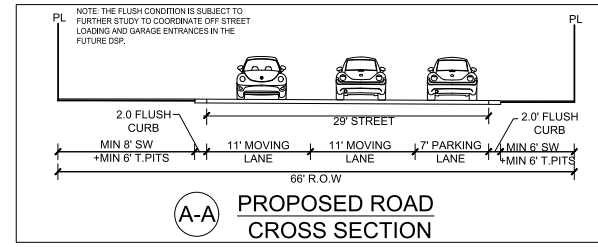
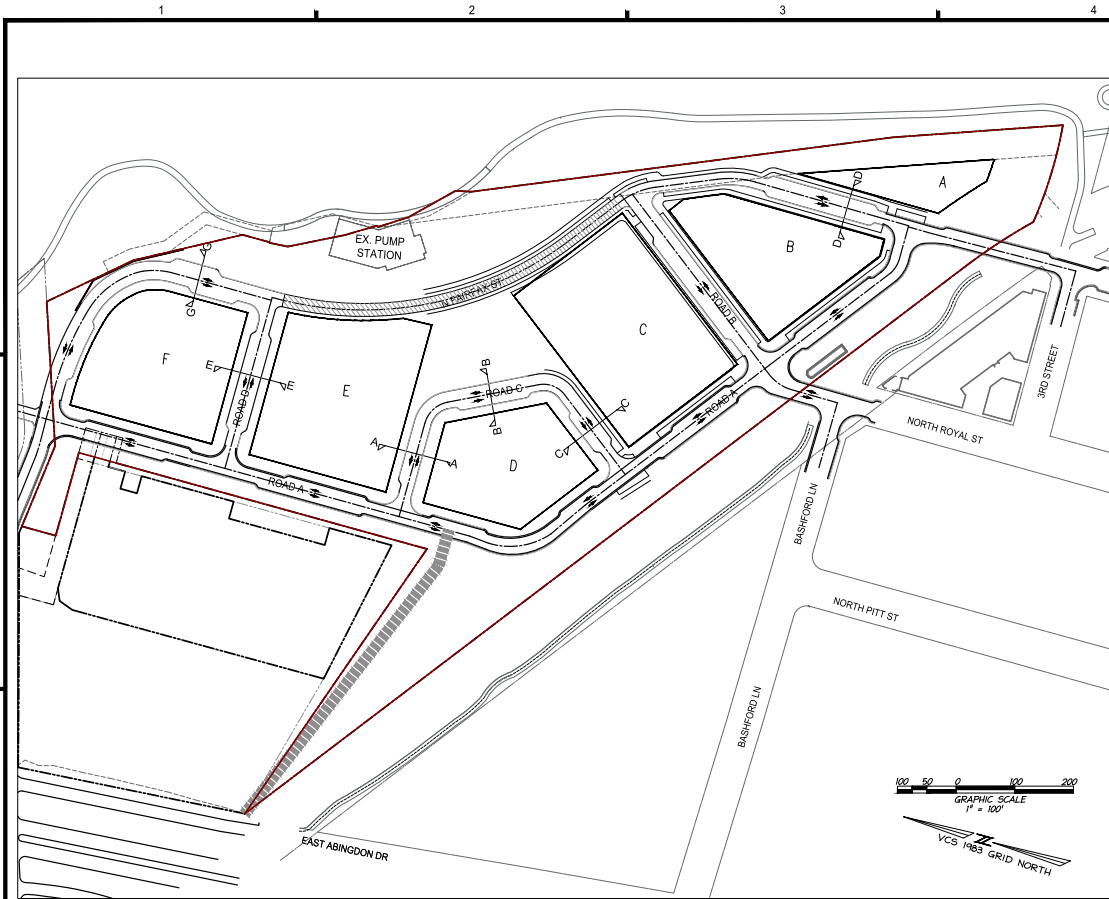
PROJECT No.: 23050661.00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: NONE
 DESIGN: JH
 DRAWN: MG
 CHECKED: KHW

SANITARY SEWER COMPUTATIONS

SHEET No.: C701

APPROVED
 SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



NOTES:

- FINAL WIDTH AND CONFIGURATION OF SECTIONS WILL BE DETERMINED AS PART OF THE INFRASTRUCTURE DSP.
- BUILDING ON BLOCK B, C, E AND F SHALL BE SET BACK 20 FEET FROM BUILDING FACE TO FACE OF CURB AT THE GROUND FLOOR WITH POSSIBLE BUILDING VARIATION AND OVERHANGS ABOVE SUBJECT TO FINAL APPROVAL WITH EACH BLOCKS DSP.

LEGEND:

- T.PITS = TREE PITS
- R.O.W. = RIGHT OF WAY
- SW = SIDEWALK
- PL = PARCEL LINE
- L = LENGTH

APPROVED
SPECIAL USE PERMIT NO. 2025-1001
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

IMEG
 4035 Ridge Top Rd, Suite 601
 Fairfax, VA 22030 P 703.273.6820
 engineering • surveying • land planning

08/05/2025
 JOHN L. HELMS
 Lic. No. 52485
 PROFESSIONAL ENGINEER

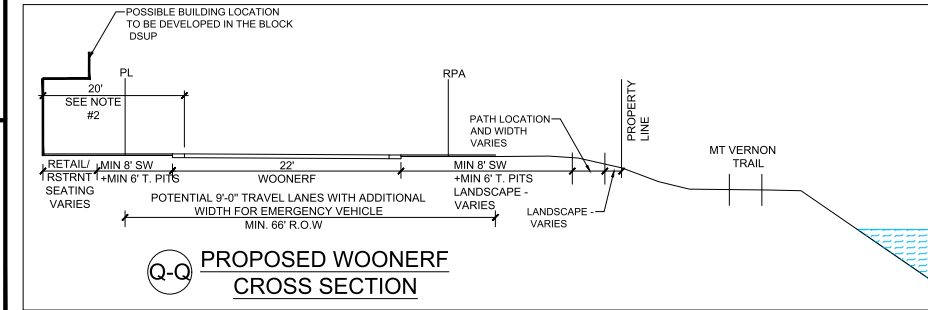
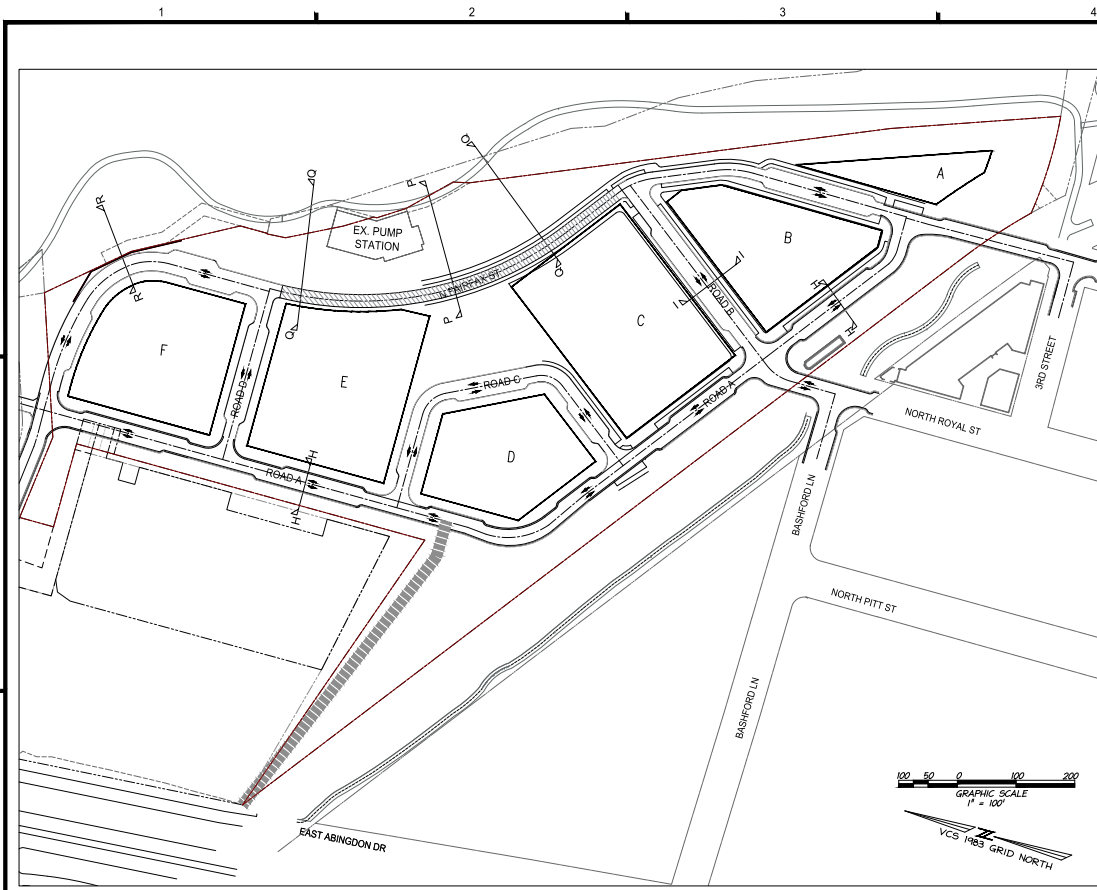
PRGS - REDEVELOPMENT
BLOCK - B
 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/02/2025	COMPLETENESS SUBMISSION
2	07/10/2025	VERIFICATION OF COMPLETENESS

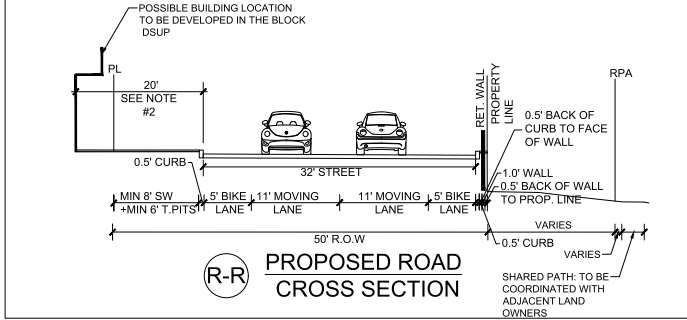
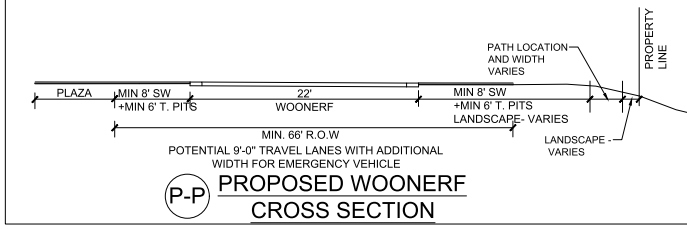
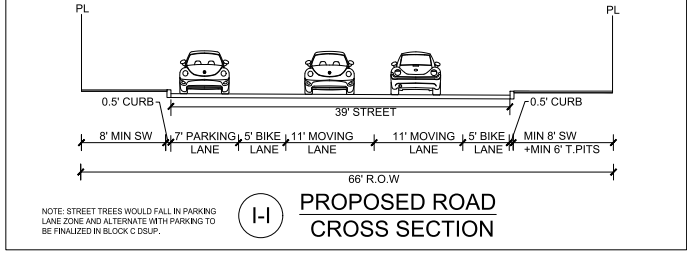
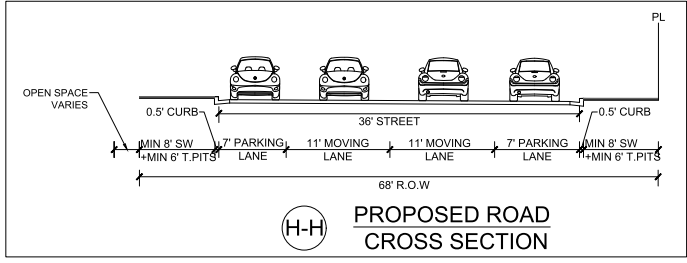
PROJECT No.: 23005661-00
 DRAWING No.: 114122
 DATE: 04/18/2025
 SCALE: NONE
 DESIGN: JH
 DRAWN: JS
 CHECKED: KMW

STREET CROSS-SECTIONS

SHEET No. **C800**



- NOTES:**
1. FINAL WIDTH AND CONFIGURATION OF SECTIONS WILL BE DETERMINED AS PART OF THE INFRASTRUCTURE DSUP.
 2. BUILDING ON BLOCK B, C, E AND F SHALL BE SET BACK 20 FEET FROM BUILDING FACE TO FACE OF CURBS AT THE GROUND FLOOR WITH POSSIBLE BUILDING VARIATION AND OVERHANGS ABOVE SUBJECT TO FINAL APPROVAL WITH EACH BLOCKS' DSUP.



- LEGEND:**
- T. PITS: TREE PITS
 - R.O.W: RIGHT OF WAY
 - SW: SIDEWALK
 - PL: PARCEL LINE
 - L: LENGTH

APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

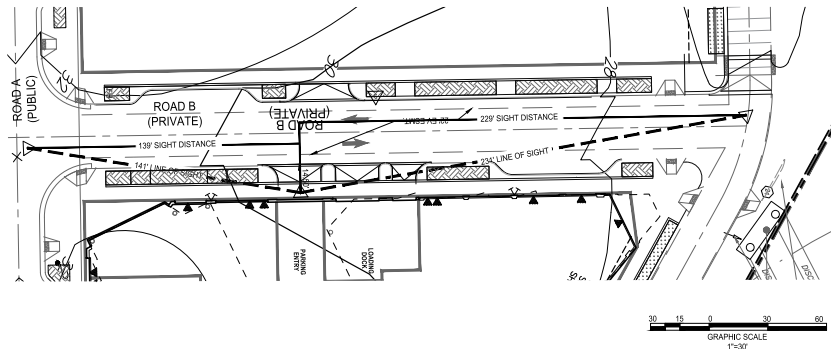
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS - REDEVELOPMENT BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

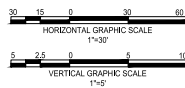
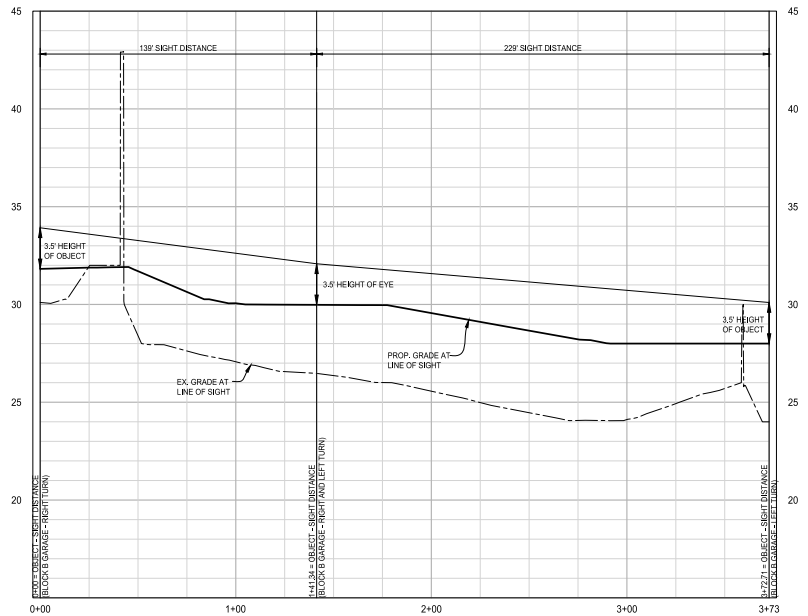
PROJECT No.: 23050661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: NONE
DESIGN: JH
DRAWN: JS
CHECKED: KMW

STREET CROSS-SECTIONS

SHEET No. **C801**



GARAGE ENTRY - ROAD B SIGHT DISTANCE
POSTED SPEED: 25 MPH



PRGS - REDEVELOPMENT
BLOCK - B
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
1	05/10/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

PROJECT No.: 23005661.00
DRAWING No.: 114122
DATE: 04/18/2025
SCALE: NONE
DESIGN: JH
DRAWN: MG
CHECKED: KMY

APPROVED
SPECIAL USE PERMIT NO. 2025-10011
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DEPARTMENT OF PLANNING & ZONING

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

DIRECTOR _____ DATE _____

JOURNAL PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

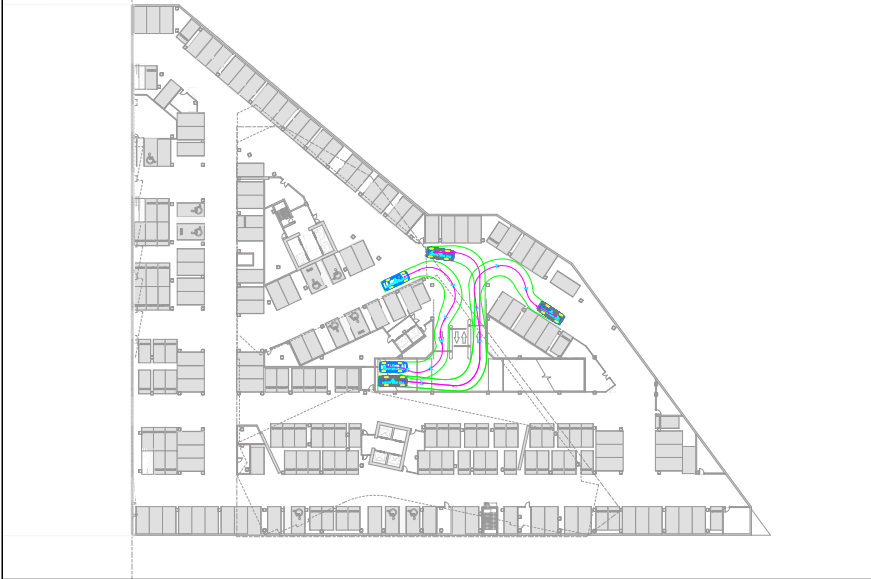
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

SIGHT DISTANCE

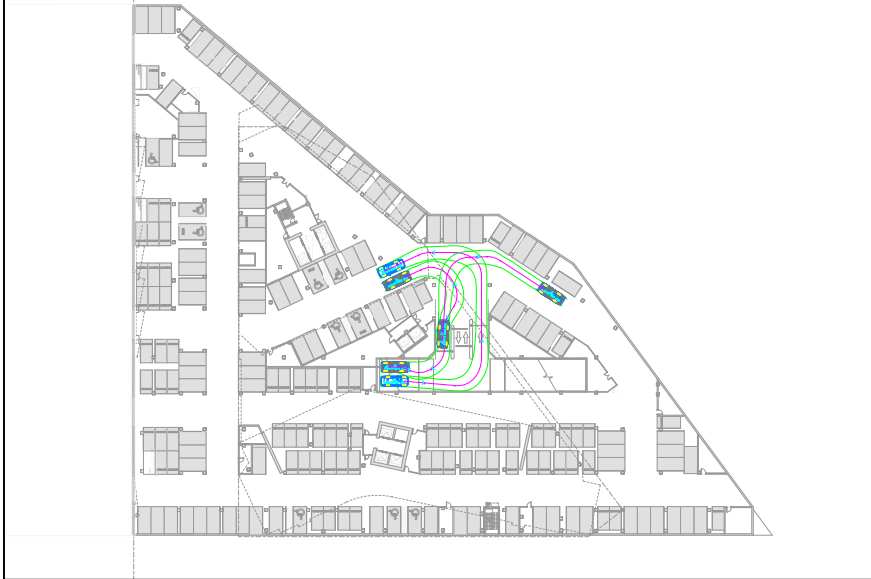
SHEET No.
C801A

POTOMAC RIVER GENERATING STATION - BLOCK B LEVEL 1

P-VEHICLE - P1 ENTERING



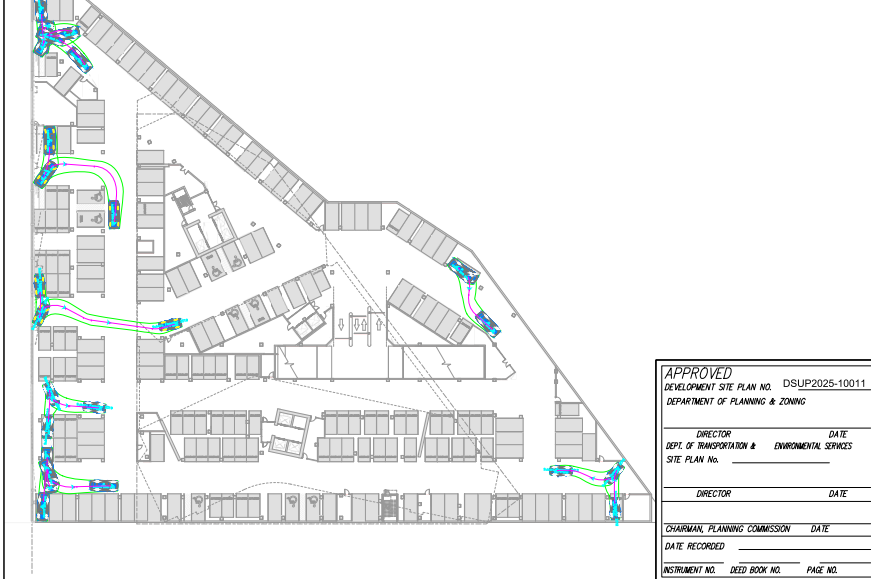
P-VEHICLE - P1 EXITING



PARKING SPACE MANEUVERS P1 - INBOUND



PARKING SPACE MANEUVERS P1 - OUTBOUND



APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

**PRGS
BLOCK B**

VERIFICATION OF
COMPLETENESS

1300 North Royal Street
Alexandria, VA 22314

GOROVE SLADE
Transportation Planners and Engineers

hrp GROUP

HRP Potomac, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314

Tel: 312.796.6564
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8597

△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

Project Name

PRGS Redevelopment - Block B

Project Number

2994-001

Scale

1" = 30'-0"

Description

TRUCK MANEUVERING ANALYSIS

C802

POTOMAC RIVER GENERATING STATION - BLOCK B LEVEL 2

P-VEHICLE - P2 ENTERING



P-VEHICLE - P2 EXITING



PARKING SPACE MANEUVERS P2 - INBOUND



PARKING SPACE MANEUVERS P2 - OUTBOUND



APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

**PRGS
BLOCK B**

VERIFICATION OF
COMPLETENESS

1300 North Royal Street
Alexandria, VA 22314

GOROVE SLADE
Transportation Planners and Engineers

hrp GROUP

HRP Potomac, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314

Tel: 312.796.6564
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8597

△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
2	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

Project Name

PRGS Redevelopment - Block B

Project Number

2994-001

Scale

1" = 30'-0"

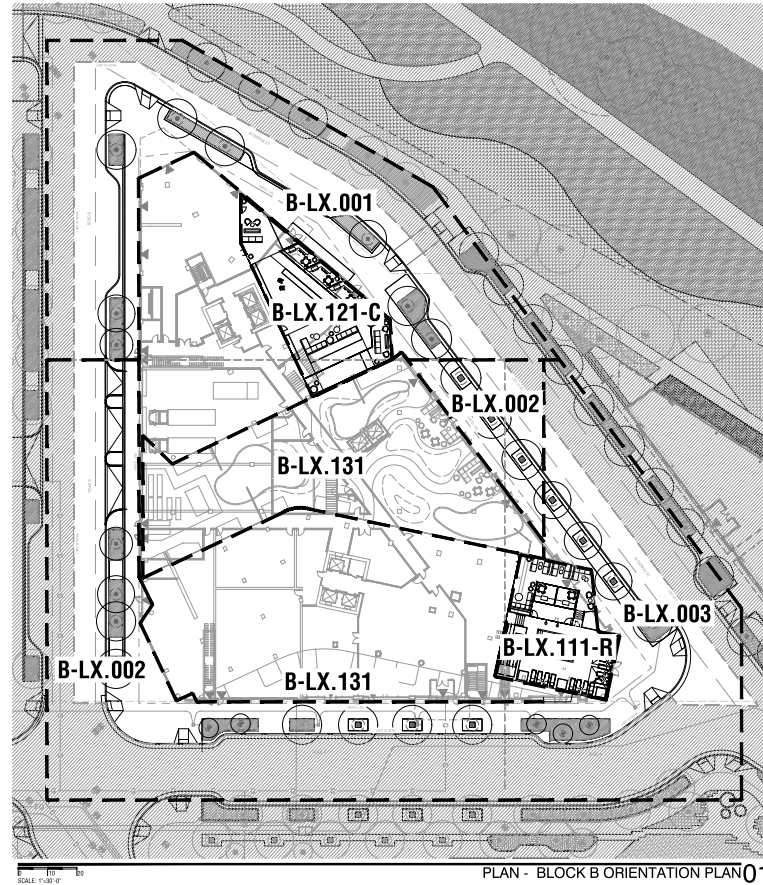
Description

TRUCK MANEUVERING ANALYSIS

C803

SHEET INDEX

B-L0.000	ORIENTATION PLAN AND GENERAL NOTES
B-L0.001	GENERAL SYMBOLS AND ABBREVIATIONS
B-L1.00A	NARRATIVE
B-L1.001	CONSTRUCTION PLAN (STREET)
B-L1.002	CONSTRUCTION PLAN (STREET)
B-L1.003	CONSTRUCTION PLAN (STREET)
B-L1.11-R	CONSTRUCTION PLAN (RENTAL)
B-L1.121-C	CONSTRUCTION PLAN (CONDO)
B-L1.131	CONSTRUCTION PLAN (PODIUM)
B-L4.001	IRRIGATION PLAN (STREET)
B-L4.002	IRRIGATION PLAN (STREET)
B-L4.003	IRRIGATION PLAN (STREET)
B-L4.11-R	IRRIGATION PLAN (RENTAL)
B-L4.121-C	IRRIGATION PLAN (CONDO)
B-L4.131	IRRIGATION (PODIUM)
B-L5.001	SOIL AND GRADING PLAN (STREET)
B-L5.002	SOIL AND GRADING PLAN (STREET)
B-L5.003	SOIL AND GRADING PLAN (STREET)
B-L5.11-R	SOIL AND GRADING PLAN (RENTAL)
B-L5.121-C	SOIL AND GRADING PLAN (CONDO)
B-L5.131	SOIL AND GRADING PLAN (PODIUM)
B-L8.000	PLANTING SCHEDULE
B-L8.001	PLANTING PLAN (STREET)
B-L8.002	PLANTING PLAN (STREET)
B-L8.003	PLANTING PLAN (STREET)
B-L8.004	TREE DIAGRAM (STREET)
B-L8.11-R	PLANTING PLAN (RENTAL)
B-L8.121-C	PLANTING PLAN (CONDO)
B-L8.131	PLANTING PLAN (PODIUM)
B-L7.001	PLANTING DETAILS (STREET)



PLAN - BLOCK B ORIENTATION PLAN 01

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND TO LOCATE ALL EXISTING SITE CONDITIONS, STRUCTURES AND UNDERGROUND UTILITIES, PIPES, AND OTHER SUBSTRUCTURES, AND TO PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR, BODILY INJURY OR REPLACEMENT OF SAID SUBSTRUCTURES INCLUDING DAMAGE TO THE OWNER'S PROPERTY SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO VERIFY EXISTING CONDITIONS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY THE OFFICE OF JAMES BURWETT SHALL BE WITHOUT LIABILITY TO THE OFFICE OF JAMES BURWETT.
- LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN AND ADJACENT TO THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO EXCAVATION AND CONSTRUCTION OF NEW WORK. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING STRUCTURES AND UTILITIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES, PIPES AND OTHER SUBSTRUCTURES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS, DETAILS AND SPECIFICATIONS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION IN THE FIELD. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE RESPECTIVE ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON AND/OR ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENFORCE SAFETY MEASURES OR REGULATIONS.
- IN AN EMERGENCY THREATENING THE SAFETY OF LIFE, WORK OR ADJOINING PROPERTY, THE CONTRACTOR IS HEREBY INSTRUCTED TO ACT AT HIS DISCRETION TO PREVENT SUCH LOSS OR INJURY.
- ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER SHALL ASSUME THAT THE CONTRACTOR HAS INCORPORATED THE SPECIFIED ITEM. WHERE DIFFERENCES EXIST BETWEEN CODES, STANDARDS, AUTHORITIES HAVING JURISDICTION, AND THE DOCUMENTS, THE ONE AFFORDING THE GREATEST PROTECTION AND/OR STRINGENT CONDITION SHALL APPLY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION OF DESIGN WHEN CONFLICTS AND/OR UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTOR'S ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE A MINIMUM OF 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO PROVIDE ALL WORK. WORK TO BE COMPLETE IN PLACE AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR SETTING GRADES ON ALL HARD AND SOFT SURFACES. CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE FROM HARD SURFACES FOR THIS PROJECT.
- ALL MATERIALS SHALL BE OF STANDARD, APPROVED AND FIRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ANY COMMERCIALY PROCESSED OR PACKAGED MATERIAL SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED PACKAGING BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- THE CONTRACTOR AGREES, TO THE EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS THE AUTHORITIES HAVING JURISDICTION AND DESIGN TEAM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF ANY OF HIS SUBCONTRACTORS, MATERIALS SUPPLIERS, OR AGENTS.
- THE CONTRACT DRAWINGS REPRESENT THE FINISHED CONSTRUCTION AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MAINTAIN THE INTEGRITY OF STRUCTURES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING.
- ALL LOCAL, MUNICIPAL, AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THE PROJECT SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND MUNICIPAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AND REQUIREMENTS.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Planning, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314
Tel: 312.788.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
PRGS REDEVELOPMENT - BLOCK B

Project Number
2994-001

Description
ORIENTATION PLAN

Scale

B-L0.000

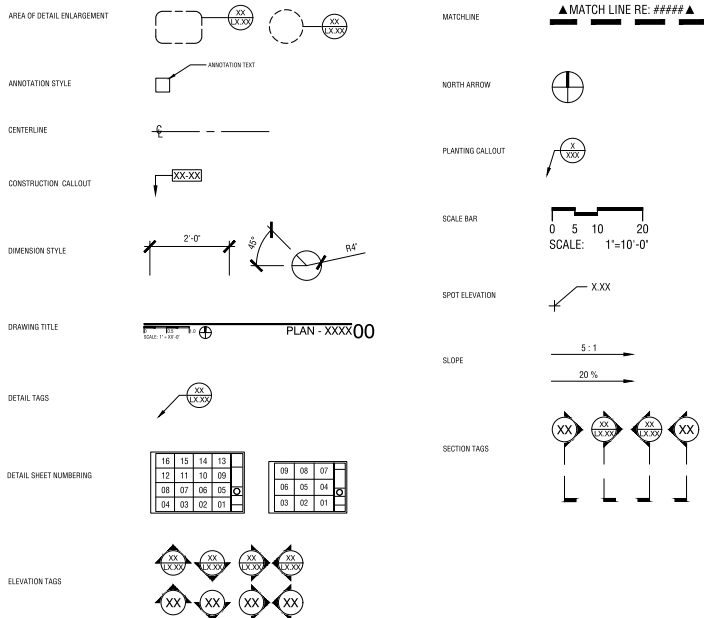
APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

GENERAL ABBREVIATIONS

<p> A BOLT AC ACCE ADA AMERICANS WITH DISABILITIES ACT ADJ ADJUSTABLE, ADJACENT ALT ALTERNATE ARCH ARCHITECTURAL, ARCHITECT ANCH ANCHOR BAR BALLED & BURLAPPED BC BOTTOM OF CURB BLDG BUILDING BLK BLOCK BLVD BOULEVARD BM BEAM BRK BRICK B.MRK BRICKMARK B. BOT BOTTOM OF CURB B.O.C BOTTOM OF CURB BRDG BRIDGING BS BOTTOM OF STAIR BSMT BASEMENT CA, CB COLUMN ABOVE, COLUMN BELOW CC, DC CENTER TO CENTER C/W CONNECT WITH CAL CALIPER CANT CANTILEVER CB CATCH BASIN C.I.P. CAST IN PLACE C.J CONTROL JOINT C.J.T CONSTRUCTION JOINT CL CENTER LINE CLR CLEAR C.L.F. CHAIN LINK FENCE CLL CONTRACT LIMIT LINE COL COLUMN CONC. CONCRETE CONSTR CONSTRUCTION CONT CONTINUOUS CONV CONNECTION C/W CONNECT WITH DC DEEPRESSED CURB DET DETAIL DTL DETAIL DG DECOMPOSED GRANITE DIAG DIAGONAL DIM DIMENSION DIP DUCTILE IRON PIPE DL DEAD LOAD DWD(S) DRAWING(S) DWL(S) DOWEL E EASTING EA EACH EE EACH END EF EACH FACE EJ EXPANSION JOINT ELEV. ELEVATION ELECT. ELECTRICAL E.O.C END OF CURVE EQ EQUAL ES EACH SIDE ESMT EASEMENT EW EACH WAY EX EXIST EXISTING EXP-JT EXPANSION JOINT EXT EXTERIOR E-W EAST-WEST FF FACE FACE FFE FINISH FLOOR ELEVATION FG FINISH GRADE FN FINISHED FL FLOOR MANF MANUFACTURER FS FINISH SURFACE FT FOOTING FTG FOOTING FV FIELD VEIN GA GAUGE GAL GALLON GALV GALVANIZED GB GRADE BREAK, GRADE BEAM GENR GENERAL GEOTECH GEOTECHNICAL ENGINEER GR GRADE GV GAS VALVE H. HORZ HORIZONTAL HF FACTORED HORIZONTAL FORCE, KIPS HR HOOKED EACH END H.P. HIGH POINT HSC HORIZONTALLY STRUCTURAL SECTION HSS HOLLOW STRUCTURAL SECTION HT HEIGHT ID INSIDE DIAMETER IF INSIDE FACE INT INTERIOR INV INVERT JT JOINT L(S) POUND(S) LQ LAUNCH GAS LG LEG L.G. LEGAL GRADE LL LIVE LOAD, LOWER LAYER LH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LP LOW POINT LVL LEVEL MANUF MANUFACTURER MECH MECHANICAL MEPL MECHANICAL, ELECTRICAL & PLUMBING MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS ML MIDDLE LAYER MM MOMENT MSE MECHANICALLY STABILIZED EARTH MSE MOMENT CONNECTION N NORTHING N.F. NEAR FACE NIC NOT IN CONTRACT NUM NUMBER NTS NOT TO SCALE N-S NORTH-SOUTH OF OUTSIDE FACE O.C. ON CENTER OD OUTSIDE DIAMETER OPEN OPENING OP OPPOSITE OWSJ OPEN WEB STEEL JOIST OH OVERHEAD PA PLANTING AREA PC PRECAST PLC PLACE PL PLATE P.F. POUNDS PER FOOT PROJ PROJECTION PSI POUNDS PER SQUARE INCH PSF POUNDS PER SQUARE FOOT PT PRESSURE TREATED POT POINT OF BEGINNING PTV PHOTO VIEW PVC POLYVINYL CHLORIDE QTY QUANTITY R RADIUS RECF.T. RECEPTACLE REF. REFERENCE, REFER TO RE-ARCH REFER TO ARCHITECTURAL DRAWINGS RE-CIVIL REFER TO CIVIL DRAWINGS RE-ELECT REFER TO ELECTRICAL DRAWINGS RE-MEP REFER TO MECHANICAL, ELECTRICAL & PLUMBING </p>	<p> RE-STRUCT REFER TO STRUCTURAL DRAWINGS RE-PLUMB REFER TO PLUMBING DRAWINGS RE-GEOTECH REFER TO GEOTECHNICAL DRAWINGS REMP REINFORCE, REINFORCEMENT REQD REQUIRED REV REVISION, REVISED R/W RIGHT-OF-WAY SPEC SPECIFICATIONS SPECS SPECIFICATIONS SFP STEP-DOWN FOOTING SECT SECTION SS STEEL FACED CURB SIM SIMILAR SL SLAB SLG SLAB ON GRADE SO SQUARE STA STATION ST STREET STD STANDARD STRUCT STRUCTURAL SYM SYMBOL SS STAINLESS STEEL T TOP TA TURF AREA TO BE DETERMINED TO BE DETERMINED TOP TOP OF CURB TEMP TEMPORARY TD TYPICAL DETAIL TJ TYPICAL JOINT TLL TYPICAL LOWER LAYER TOP OF CURB TOP OF CURB TS TOP OF STAIRS TS TOP OF UPPER LAYER TYP TYPICAL TFW TOP OF WALL UL UPPER LEVEL UNLESS OTHERWISE NOTED UNLESS OTHERWISE NOTED US UNDERGROUND UV UTILITY VALE VERT VERTICAL VF VERTICAL BRACING VF VERIFY IN FIELD VSD VERTICALLY SLOTTED CONNECTION W/ WITH WV WATER VALVE WWF WELDED WIRE FABRIC, WELDED WIDE FLANGE SECTION </p>
---	---

GENERAL DRAWING SYMBOLS



PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel 312.786.6594
Fax 303.395.3003



2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel 202.721.5200
Fax 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 600
Chicago, IL 60611

Tel 312.886.1100
Fax 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
tel 617.233.5171

Tel 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

SYMBOLS AND ABBREVIATIONS

Scale

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

B-L0.001

PART 1 – (ON STRUCTURE) SITE WORK DESCRIPTION

1.1 GENERAL REQUIREMENTS

- A. Vehicular Drive and Pedestrian Walkway Paving over Concrete Slabs on Sub-grade: Set with a slurry bond coat and thick bed cement setting mortar.
- B. Exterior Ferrous Metal Work: Hot dip galvanize prior to painting.

1.2 DESCRIPTION OF ARCHITECTURAL SITE WORK (CONSTRUCTION SCHEDULE)

- A. Hardscape Materials: A variety of paving materials poured and laid in specific geometric patterns as per plans
 - CP-301; C.I.P. Concrete Paving: Integral colored concrete with custom aggregate. Grace top-cast finish. 6" thick (8" thick in vehicular areas), reinforced per civil, poured over 6" aggregate sub-base.
 - UP-101; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24"x 3" thick Pavers on Pedestal
 - UP-201; Precast Concrete Unit Paver on pedestal: Custom Color/ Finish. 12" x 24"x 3" thick Pavers on Pedestal
 - WD-201; Wood Tile paver on Pedestal: Bison Innovative Products "IPE wood tile"
 - LS-201; Artificial Turf on Terra-Grit tray support on Pedestal. TurfMaster "Gold"; concrete curb edges and impact layer sub-base

B. Site Features:

- SF-101; BBO Trellis Structure: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-102; Planter Pots, Precast GRC, Custom Color
- SF-103; Screen Fence: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-104; Pool, refer to pool designer drawings
- SF-105; Shower, refer to Architecture
- SF-106; Grill, Gas Grill
- SF-201; Trellis Structure: Powder-coated Steel Structures with IPE wood slats. Heights ranging from 10'-12" ht. IPE wood slats for screen.
- SF-202; Planter Pots, Precast GRC, Custom Color
- SF-302; Fire pit: Gas Fire pit, size per plan, push start, automatic timer and shutoff
- SF-204; TV, Wall mounted LED TV
- SF-205; Movie screen and Greenwall
- SF-301; Fire pit: Gas Fire pit, size per plan, push start, automatic timer and shutoff
- SF-302; Unit Screen Fence: IPE Wood slats on Powder-coated Steel frame, approx. 4' height
- SF-303; Planter Pots, Precast GRC, Custom Color

C. Site Walls:

- SW-101; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0- 48".
- SW-201; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. Height varies from 0- 48".
- SW-202; Metal Planter Wall: Powder-coated Aluminum planter, ORE Design "Fuse" modular system, on Geo-foam. 6" Height.
- SW-302; Precast Concrete Retaining wall: Custom Color/ Finish Reinforced Precast Concrete wall.

D. Site Fencing and railing:

- FR-101; Pool Fence & Gate
- FR-102; Metal Handrails at Stairs
- FR-103; Metal Handrails at Ramp
- FR-301; 6' ht. Glass Fence and Gate: Tempered glass Fence and Gate

E. Site Stair

- SR-101, SR-102; Site stairs: Monolithic reinforced Precast concrete treads set on 6" C.I.P. Concrete base. Integral colored concrete.

F. Site lighting and Electrical features:

- LI-101; Light pole: Multi-head light fixtures attached to poles
- LI-102; Spotlights: Installed with Rails on Trellis structure above kitchen
- LI-103; Light bollard: Powder-coated Light bollard, 24" - 36" ht.
- LI-104; Integrated Linear Lights: Linear lights integrated with Trellis structure
- EL-101; Power Pedestal: Powder-coated Electrical Power Pedestal, 18"ht. Double-gang, Hinge-top

G. Movable Furniture:

Contractor to provide Allowance for Movable furniture based on layout/ quantities shown in plans

PART 2 – (ON GRADE) SITE WORK DESCRIPTION

2.1 GENERAL REQUIREMENTS

- A. Vehicular Drive and Pedestrian Walkway Paving over Concrete Slabs on Sub-grade: Set with a slurry bond coat and thick bed cement setting mortar.
- B. Exterior Ferrous Metal Work: Hot dip galvanize prior to painting.

1.2 DESCRIPTION OF ARCHITECTURAL SITE WORK (CONSTRUCTION SCHEDULE)

- A. Hardscape Materials: A variety of paving materials poured and laid in specific geometric patterns as per plans
 - CP-01; C.I.P. Concrete Paving (Pedestrian Rated): Integral colored concrete with custom aggregate. Grace top-cast finish. 4" thick reinforced concrete with 6" compacted aggregate sub-base, reinforced per civil, poured over 6" compacted aggregate sub-base.
 - CP-02; C.I.P. Concrete Paving (Vehicular Rated): Integral colored concrete with custom aggregate. Grace top-cast finish. 6" thick reinforced concrete with 6" compacted aggregate sub-base, reinforced per civil, poured over 6" compacted aggregate sub-base.
 - UP-01; Precast Concrete Unit Paving at Furnishing Zone: 4" thick concrete unit paver with polymeric sand sweep joint and bituminous setting bed, set on 4" concrete sub-base over compacted aggregate. Size varies: 3'x9' 3'x18' 3'x24'. MNFR: Hanover Priest Plankstone: Antistam & B91171 mix, Tudor finish.
 - UP-03; Tactile Paver: Cast iron unit paver with truncated domes, with polymeric sand sweep joint and bituminous setting bed, set on 4" concrete sub-base over compacted aggregate. 24"x24"
 - UP-04; Granite Cobble Unit Paving (Pedestrian Rated): 2" thick granite cobble paver with laticecrete mortar setting bed and polymeric joints, set on set on 6" concrete sub-base over compacted aggregate. 6'x6'.
 - UP-06; Metal Grating (Pedestrian Rated): 3" thick metal grating panel, set on concrete curb. Size varies ranging from 2'-3' W x 3' L.
 - UP-07; Metal Grating (Vehicular Rated): 3" thick metal grating panel, set on concrete curb. 2' W x 3' L.

B. Site Features:

- SF-01; Waste Receptacle: see exhibit 3 common elements palette
- SF-02; Bike Rack: see exhibit 3 common elements palette
- SF-03; Parking Meter: per city standard
- SF-04; District Bench: see exhibit 3 common elements palette
- SF-05; BMP Bench: see exhibit 3 common elements palette
- SF-06; Speed table: per civil

C. Site Fencing and railing:

- FR-01; BMP Planter Rail: 3"x3/4" carbon steel bar stock horizontal post attached to 2"x3/4" carbon steel bar stock vertical posts. 26" HT. 4' O.D. MAX.

D. Site lighting and Electrical features:

- LI-01; Light pole: Roadway light, single-head fixture attached to poles

E. Movable Furniture:

Contractor to provide Allowance for Movable furniture

PART 3 – EXTERIOR LANDSCAPING DESCRIPTION

2.1 GENERAL REQUIREMENTS

- A. Provide complete exterior landscaping, including all plants, soils, soil amendments, fertilizers, subsurface drainage materials, irrigation equipment, ancillary materials, tools, equipment, and labor necessary to complete the work, unless specified under another Element of this specification.
- B. Quality and size of plants shall conform to the standards of ANSI Z60.1-1986, "American Standard for Nursery Stock".
- C. Plants shall be selected at their place of growth by the Landscape Architect and shall be reviewed and accepted or rejected for installation upon delivery to the job site.
- D. Plants shall have the following replacement warranty periods from the date of acceptance by the Landscape Architect.
 - 1. Trees: 12 months.
 - 2. Shrubs: 12 months.
 - 3. Ground Covers: 12 months.
 - 4. Perennials: 12 months.
 - 5. Turfgrass: 12 months.
- E. Plants shall be maintained in situ at no additional cost to the Owner from the time of installation to the date of acceptance of the complete installation.
- F. Maintenance Period: 12 Months from date of Substantial Completion

2.2 DESCRIPTION OF EXTERIOR LANDSCAPING WORK

A. Tree Protection and Relocation:

- 1. Tree Protection: Provide 6' tall chain link security fence with 3' wide access gate. Placement of tree protection to be eleven times the diameter of the trunk, square, centered on the trunk both ways. Landscape Architect and consulting arborist to confirm size of and approve all tree protection in field prior to construction.
- 2. Tree Transplanting: Prior to digging, treat roots with Cambistat per manufacturer recommendations. Excavate root ball eleven times the diameter of the trunk. Utilize hydraulic tree spades to excavate and relocate trees on site. Wrap trees adequately with burlap and provide temporary irrigation until permanent bubbler systems are installed.
- B. Plants: Maintain plants upright. Stake all trees under 5" caliper using Platypus system. Provide 6" deep watering saucers for all trees at diameter of rootball.
 - 1. Large Deciduous Trees: 6" caliper, balled and burlapped, straight trunk, central leader, symmetrical crown, even branching, stemmed up to 6'-0".
 - 2. Flowering Shade Trees: 4" caliper, balled and burlapped, straight trunk, central leader, crown and branching typical of species' character.
 - 3. Planting Area:
 - a. 1/3 – 10 gal. container grown shrubs spaced at 30" on center.
 - b. 1/3 – 5 gal. container grown shrubs spaced at 18" on center.
 - c. 1/3 – 1 gal. container grown shrubs spaced at 12" on center.

4. Stormwater Retention Cells (Rain Gardens):

- Vegetated depression allowing storm water run-off to collect and infiltrate. Size and depth vary per plan. Specified plant material to be native/indigenous/adaptive species well-suited for wet conditions; well-drained, sandy soil medium over washed gravel basin with underdrain pipe to eliminate excessive ponding.
 - a. 1/3 – 10 gal. container grown shrubs spaced at 30" on center.
 - b. 1/3 – 5 gal. container grown shrubs spaced at 18" on center.
 - c. 1/3 – 1 gal. container grown shrubs spaced at 12" on center.

5. Turfgrass: Bluegrass solid sod.

C. Planting Materials:

- Soil testing laboratory will test all planting materials and recommend any amendments or modification of materials.
 - 1. Topsoil Backfill: Sandy loam or loam, pH 6.0 to 7.0, free of debris, clods, stones, roots, weed seeds, contaminants or other deleterious matter.
 - 2. Planting Pit Backfill: 80% loam, 10% coarse sand, 10% sphagnum peat moss, or 90% sandy loam and 10% sphagnum peat moss.
 - 3. Fertilizers: Partial or complete fertilizers added to topsoil backfill and planting pit backfill per soil testing laboratory's recommendations.
 - 4. Soil Amendments: Peat moss, sand, lime, composted bark, composted manure, mushroom compost, or other amendments per soil testing agency's recommendations.

D. Subsurface Drainage:

- 1. Provide subsurface drainage for all lawn areas, trees and planting areas. Connect subsurface drainage lines to storm sewers or retention ponds, minimum slope.
- 2. Subsurface drainage shall be drainage pipe bedded in washed gravel, wrapped in filter fabric, backfilled with site soil.
- a. Drainage Pipe: 4" diameter perforated corrugated plastic pipe, with snap-fitting junctions and fittings.
- b. Drainage Gravel: Washed gravel, size from 1/4" to 1", no fines.
- c. Filter Fabric: Woven or non-woven geotextile fabric specifically intended for subsurface drainage applications.

E. Irrigation:

- 1. Provide full-coverage automatic irrigation for all planted areas.
- 2. Irrigation equipment shall include, but not be limited to, extension of back-up potable water from a backflow protected source provided within the plumbing system, automatic multi-station controllers, gate valves, remote solenoid valves, valve boxes, piping, sprinkler heads, drains, filters, control wiring, sleeves, and any other required equipment.
- 3. Provide all necessary related work and materials, including but not limited to trenching, drainage gravel, backfill, and the following sprinklers.
 - a. Trees: Irrigated with low volume drip irrigation system.
 - b. Shrub, Groundcover, and Herbaceous Perennial Beds: Irrigated with low volume drip irrigation system.
 - c. Turfgrass: Irrigated with low volume, sub-surface drip irrigation system.
 - 4. Valves and shutoff bubbles shall be brass and/or brass construction.
 - 5. Pop-up sprinkler heads shall have plastic bodies.
 - 6. Piping shall be PVC pressure pipe.
 - 7. Hose Bibbs shall be provided, 1 per 2,000 s.f. of planting area from the irrigation system.

2.3 Related Work

A. Coordinate landscape work with other trades, including but not limited to site lighting and electrical, grading, paving, and site utilities.

APPROVED	
DEVELOPMENT SITE PLAN NO. DSUP2025-10011	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	DATE
DIRECTOR	
DATE	
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
PAGE NO.	

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel 312.786.6594
Fax 303.395.3003



2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel 202.221.5200
Fax 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611

Tel 312.886.1100
Fax 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
tel 617.233.5171

Tel 617.233.5171

Δ	Date	Description
---	------	-------------

- 1 05/16/25 COMPLETENESS SUBMISSION
- 2 07/11/25 VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

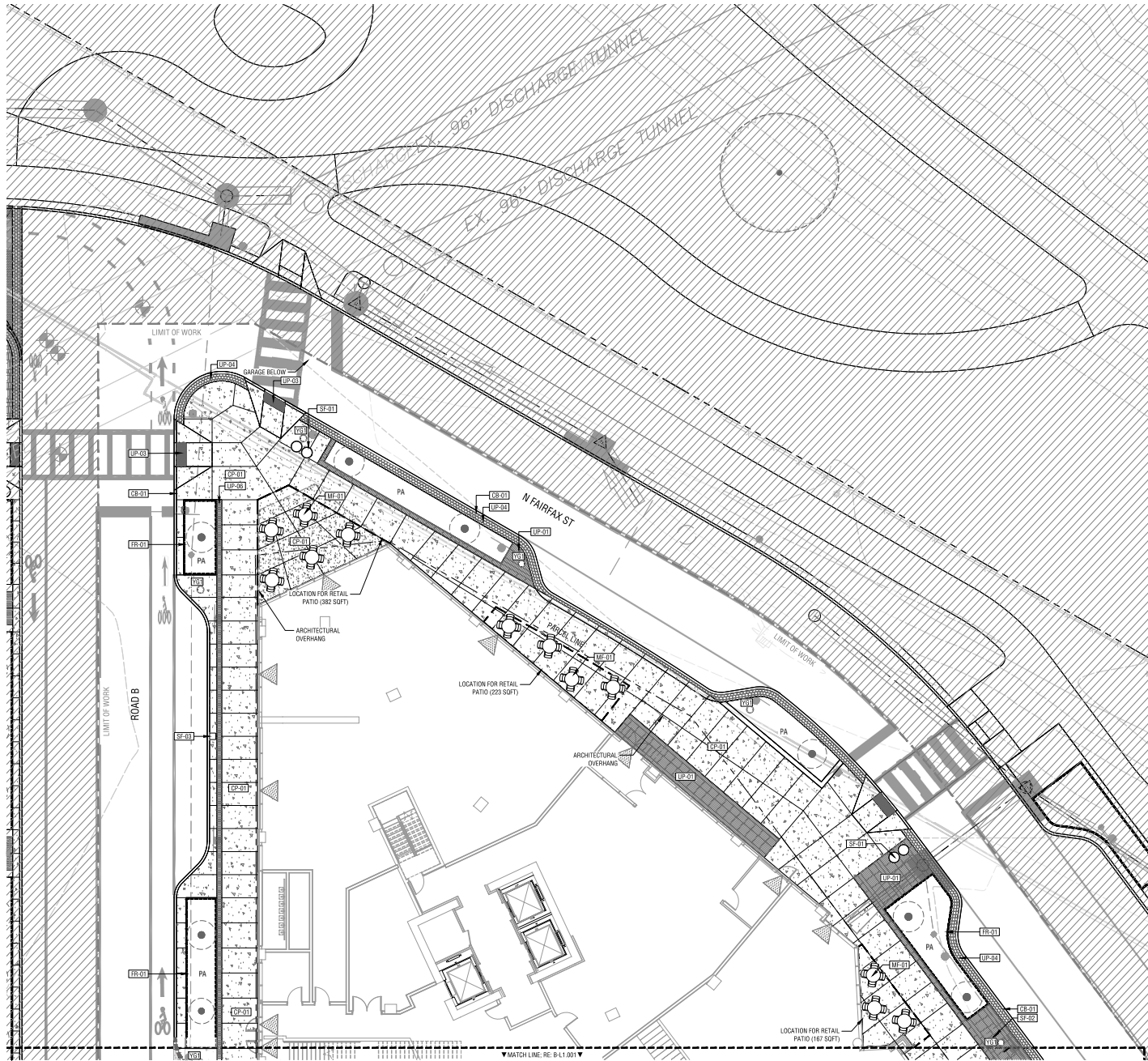
NARRATIVE

Scale

B-L1.000

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs:0081445.000 - PRGS - Executive Architecture/Urbanism - 0081445.000 - Block 8 Tower - 020214



QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
ASPHALT		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
CURBING		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
CB-04		CURB - TYPE 4 (FLARED)
CONCRETE PAVING		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
UNIT PAVING		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
UP-02		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-04		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-05		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-06		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-07		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-08		METAL GRATING - TYPE 2 (VEHICULAR RATED)
JOINTING		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
LANDSCAPE MATERIAL		
LM-01		LANDSCAPE COLLIER
STAIRS AND RAMPS		
SR-01		STAIR - TYPE 1
FENCING AND RAILINGS		
FR-01		BMP PLANTER RAIL
FR-02		WANDER RAIL (FOR STAIRS)
SITE FEATURE		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		DISTRICT BENCH
SF-05		BMP BENCH
SF-06		WATER FOUNTAIN
SF-07		POWER GRATE
SF-08		SPEED TABLE
SF-09		SCAFFOLD
MOVABLE FURNITURE		
MF-01		DINING TABLE AND CHAIRS
MF-02		WHEEL TOP
LIGHTING		
YL-01		STREET LIGHT

ABBREVIATIONS AND SYMBOLS

- PA PLANTING AREA
- TA TURF AREA
- PROPOSED TREE LOCATIONS
- EXISTING TREE LOCATIONS

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Planning, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 525 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 Tel: 857.233.5171
 Tel: 857.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

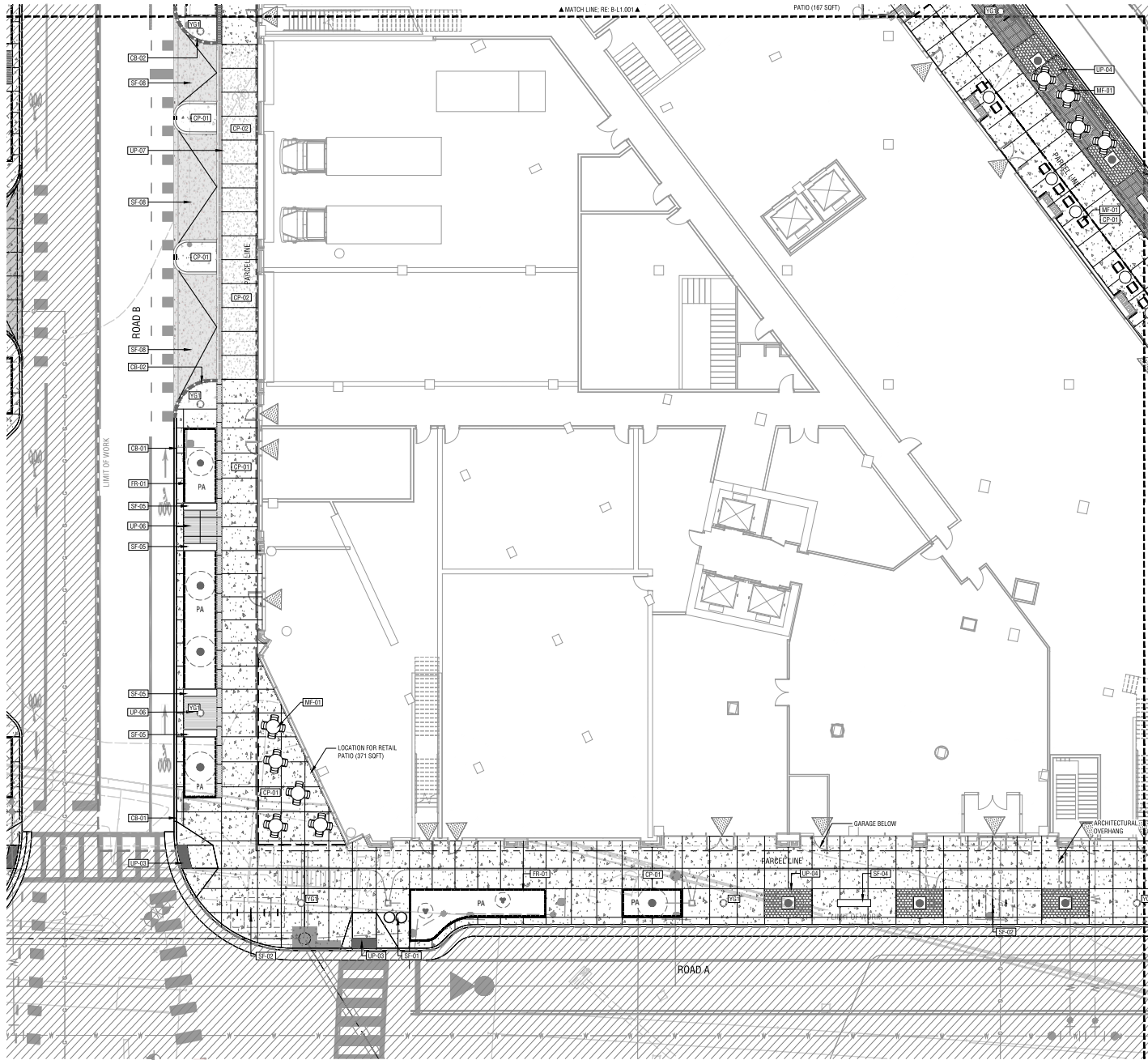
CONSTRUCTION PLAN (STREET)

Scale 1" = 10'-0"

B-L1.001

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs\0081445.000 - PRGS - Executive Architecture\0081445.000 - Block B Tower - 020224



QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
ASPHALT		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
CURBING		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
NOT USED		CURB - TYPE 3 (RAISED)
NOT USED		CURB - TYPE 4 (FLUSH)
CONCRETE PAVING		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
UNIT PAVING		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
NOT USED		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
NOT USED		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
NOT USED		UNIT PAVING - TYPE 5 (GRANITE COBBLE PEDESTRIAN RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
JOINTING		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
LANDSCAPE MATERIAL		
NOT USED		LANDSCAPE COLLAR
NOT USED		LANDSCAPE COLLAR
STAIRS AND RAMPS		
SR-01		STAIR - TYPE 1
FENCING AND RAILINGS		
FR-01		BMP PLANTER RAIL
NOT USED		WARRIOR - SIDE 1 (FOR STAIRS)
SITE FEATURE		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		DISTRICT BENCH
SF-05		BMP BENCH
NOT USED		WARRIOR - SIDE 2 (FOR STAIRS)
NOT USED		WARRIOR - SIDE 1 (FOR STAIRS)
SF-08		SPEED TABLE
NOT USED		COLLAPSE
MOVABLE FURNITURE		
MF-01		DINING TABLE AND CHAIRS
NOT USED		WARRIOR - SIDE 2 (FOR STAIRS)
LIGHTING		
YL1		STREET LIGHT

ABBREVIATIONS AND SYMBOLS

PA	PLANTING AREA
TA	TURF AREA
(Symbol)	PROPOSED TREE LOCATIONS
(Symbol)	EXISTING TREE LOCATIONS

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS REDEVELOPMENT

DSUP CONCEPT II
 SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314

hrp GROUP

HRP Planning, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: 303.395.3000

Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587

COO

Solomon Cordwell Buenz
 525 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200

OJB

One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

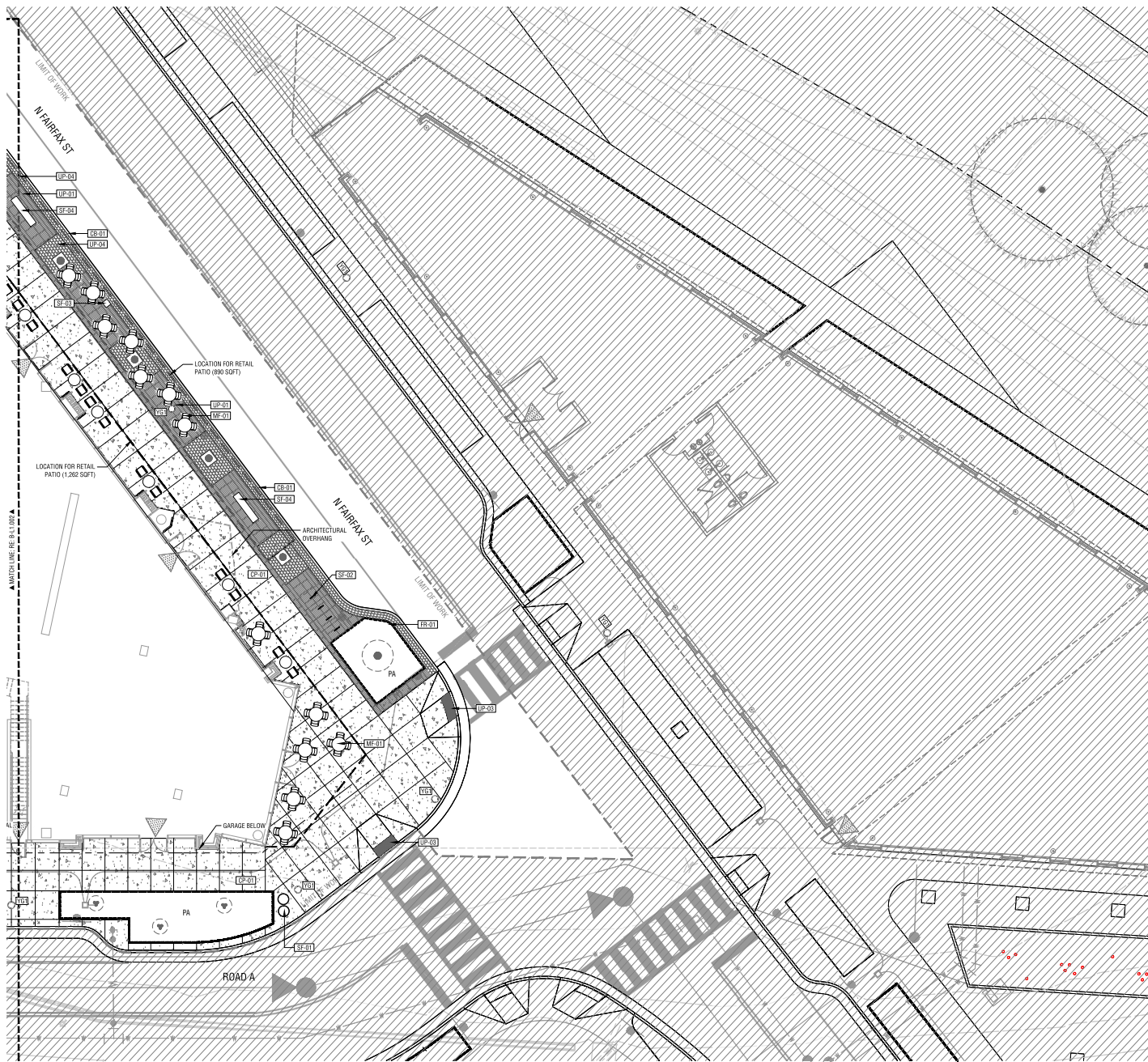
CONSTRUCTION PLAN (STREET)

Scale 1" = 10'-0" (X)

B-L1.002

© 2015 Gensler

1/16/2025 10:46:16 AM Autodesk Docs:0081645.000 - PRGS - Executive Amendment/Revision - 0081645.000 - Block B Tower - 0202.04



QUICK REFERENCE LEGEND

KEY	SYM	DESCRIPTION
ASPHALT		
AP-01		ASPHALT PAVING - TYPE 1
AP-02		ASPHALT PAVING - TYPE 2
CURBING		
CB-01		CURB - TYPE 1 (RAISED)
CB-02		CURB - TYPE 2 (TRANSITION)
CB-03		CURB - TYPE 3 (RAISED)
CB-04		CURB - TYPE 4 (FLUSH)
CONCRETE PAVING		
CP-01		CONCRETE PAVING - TYPE 1 (COLORED, PED.)
CP-02		CONCRETE PAVING - TYPE 2 (COLORED, VEH.)
UNIT PAVING		
UP-01		UNIT PAVING - TYPE 1 (CONCRETE PAVER PEDESTRIAN RATED)
UP-02		UNIT PAVING - TYPE 2A (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 2B (CONCRETE PAVER VEHICULAR RATED)
UP-03		UNIT PAVING - TYPE 3 (TACTILE PAVER)
UP-04		UNIT PAVING - TYPE 4 (GRANITE COBBLE PEDESTRIAN RATED)
UP-05		UNIT PAVING - TYPE 5 (GRANITE COBBLE VEHICULAR RATED)
UP-06		METAL GRATING - TYPE 1 (PEDESTRIAN RATED)
UP-07		METAL GRATING - TYPE 2 (VEHICULAR RATED)
JOINTING		
JO-01		CONTROL JOINT
JO-02		EXPANSION JOINT
LANDSCAPE MATERIAL		
LM-01		LANDSCAPE COLOR
STAIRS AND RAMPS		
SR-01		STAIR - TYPE 1
FENCING AND RAILINGS		
FR-01		BMP PLANTER RAIL
FR-02		WALKWAY RAIL (FOR STAIRS)
SITE FEATURE		
SF-01		WASTE RECEPTACLE
SF-02		BIKE RACK
SF-03		PARKING METER
SF-04		DISTRICT BENCH
SF-05		BMP BENCH
SF-06		POWER GRATE
SF-07		POWER GRATE
SF-08		SPEED TABLE
SF-09		COLLAPSE
MOVABLE FURNITURE		
MF-01		DINING TABLE AND CHAIRS
MF-02		PAVING PLOT
LIGHTING		
YL1		STREET LIGHT
ABBREVIATIONS AND SYMBOLS		
PA		PLANTING AREA
TA		TURF AREA
(Circle with dot)		PROPOSED TREE LOCATIONS
(Circle with cross)		EXISTING TREE LOCATIONS
APPROVED DEVELOPMENT SITE PLAN NO. DSUP2025-10011 DEPARTMENT OF PLANNING & ZONING DIRECTOR _____ DATE _____ DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. _____ DIRECTOR _____ DATE _____ CHAIRMAN, PLANNING COMMISSION _____ DATE _____ DATE RECORDED _____ INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____		

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Potomac, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314
Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171
Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

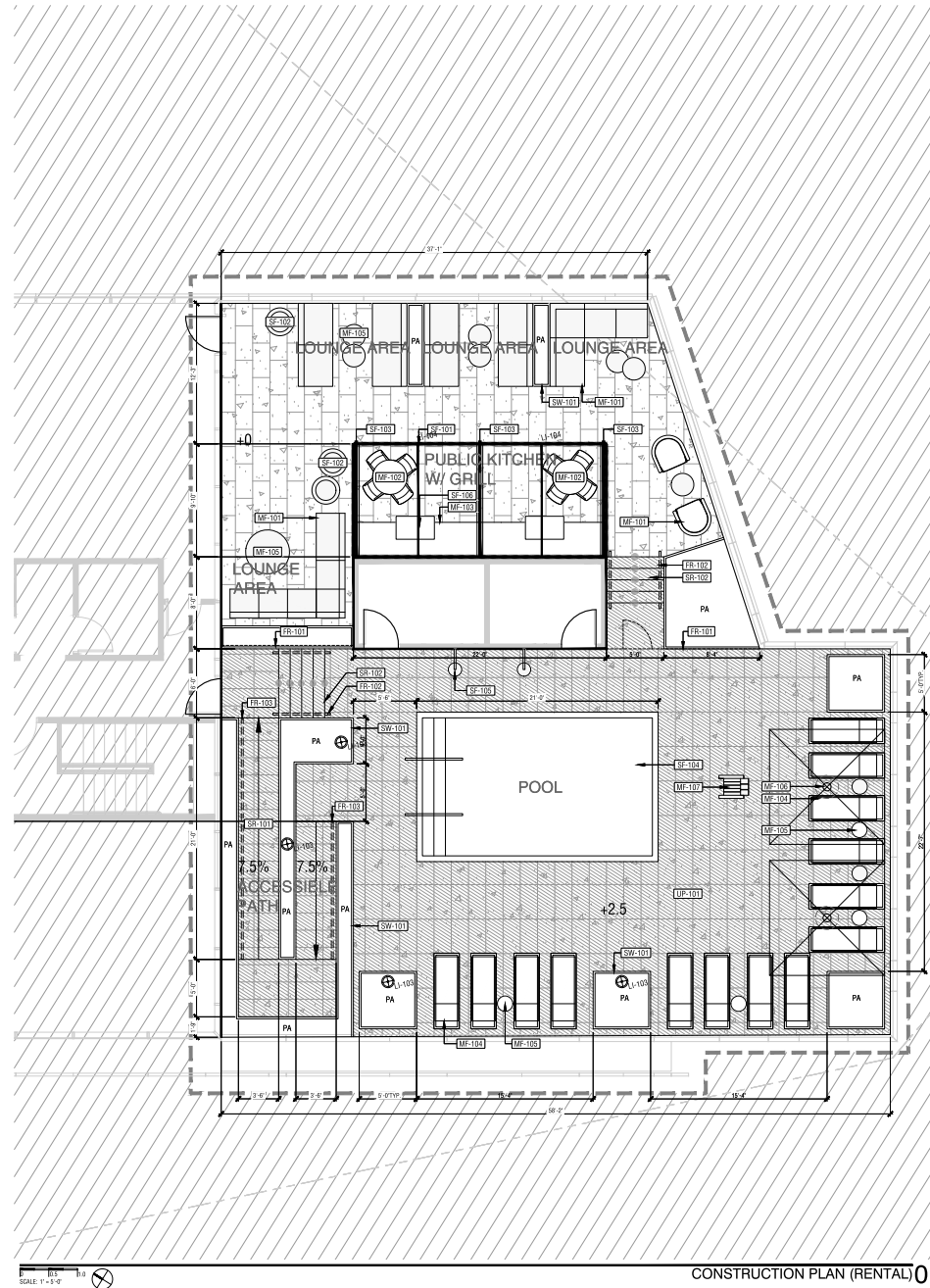
CONSTRUCTION PLAN (STREET)

Scale 1" = 10'-0"

B-L1.003

© 2015 Gensler

11/2/2025 10:45:16 AM Autodesk Docs/0089445-000-PRGS - Executive Amendment/submit - 0089445-000 - Block 8 Tower - 02022-04



CONSTRUCTION PLAN (RENTAL) 01

QUICK REFERENCE L END

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

- KEY DESCRIPTION**
- CONCRETE PAVING**
 CP-301 C.I.P. CONCRETE PAVING
- UNIT PAVING**
 UP-101 PRECAST CONCRETE PAVEN (RENTAL)
 UP-201 PRECAST CONCRETE PAVEN (CONDO)
- WOOD DECKING**
 WD-201 WOOD DECKING (CONDO)
- LANDSCAPE MATERIAL**
 LS-201 ARTIFICIAL TURF (CONDO)
- FENCING & RAILING**
 FR-101 POOL FENCE AND GATE (RENTAL)
 FR-102 STAIR HANDRAIL (RENTAL)
 FR-103 RAMP HANDRAIL (RENTAL)
 FR-301 SECURITY FENCE AND GATE
- STAIRS AND RAMPS**
 SR-101 PRECAST CONCRETE RAMP (RENTAL)
 SR-102 PRECAST CONCRETE STAIR (RENTAL)
- SITE FEATURE**
 SF-101 TRELIS STRUCTURE (PUBLIC 880 CABANA) (RENTAL)
 SF-102 PLANTER POTS (RENTAL)
 SF-103 SCREEN FENCE (RENTAL)
 SF-104 POOL (RENTAL)
 SF-105 SHOWER (RENTAL)
 SF-106 GRILL (RENTAL)
 SF-201 TRELIS STRUCTURE (PUBLIC 880 CABANA) (CONDO)
 SF-202 PLANTER POTS (CONDO)
 SF-203 FIREPIT (CONDO)
 SF-204 TV (CONDO)
 SF-205 MOVIE SCREEN AND GREENWALL (CONDO)
 SF-301 FIRE PIT (PODIUM)
 SF-302 UNIT SCREEN FENCE WITH INTEGRATED STORMWATER DOWNSPOUT (PODIUM)
 SF-303 PLANTER POT (PODIUM)
- SITE WALLS**
 SW-101 METAL PLANTER WALL (RENTAL)
 SW-201 METAL PLANTER WALL (CONDO)
 SW-202 8\"/>

- ABBREVIATIONS AND SYMBOLS**
- PA PLANTING AREA
 TREE LOCATIONS

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314

hrp GROUP
 HRP Patomas, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.768.6594
 Fax: xxx.xxx.xxx

Gensler
 2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587

SOLOMON CORDELL BUENZ
 525 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200

OJB
 One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel: 857.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

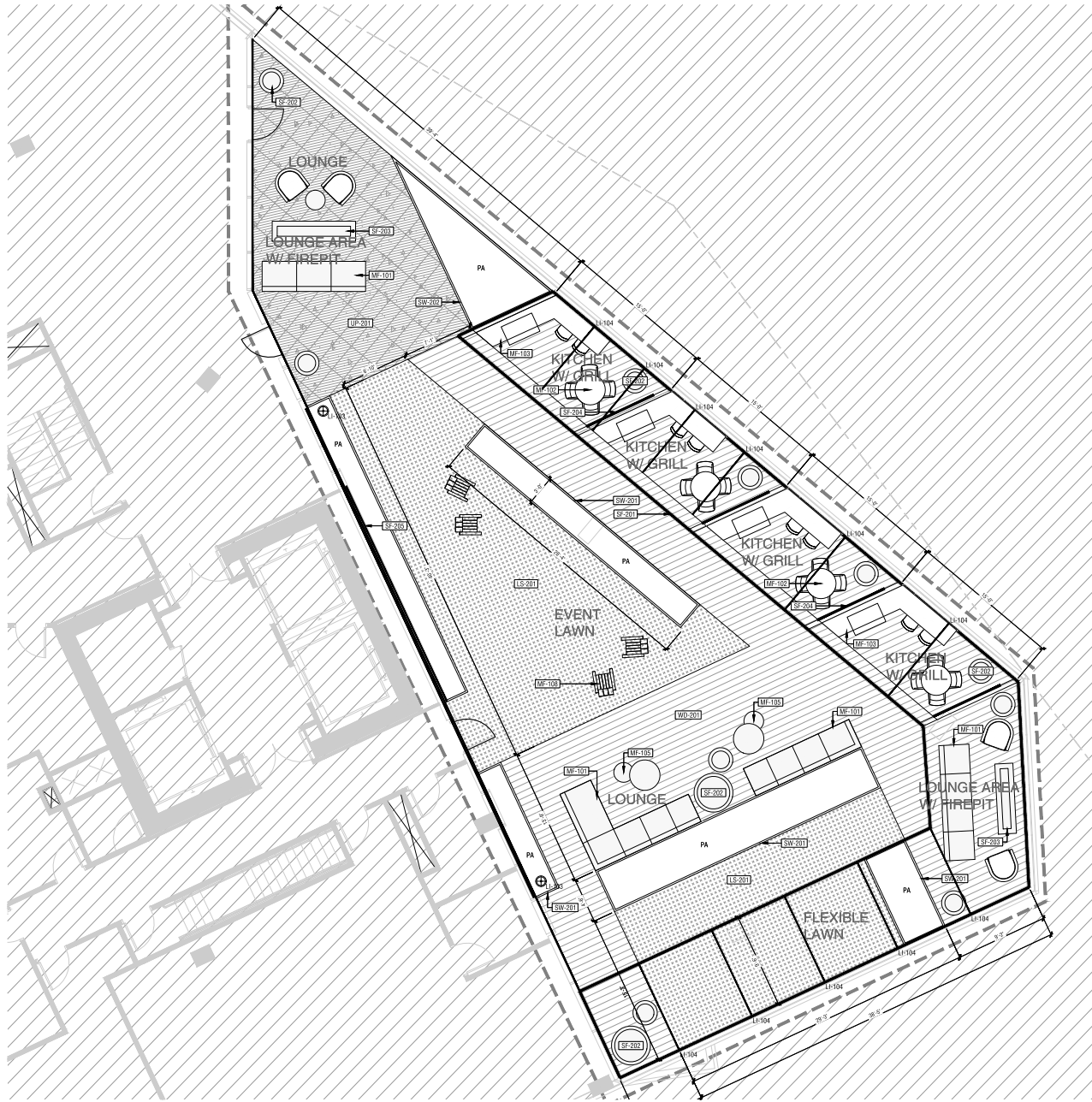
CONSTRUCTION PLAN (RENTAL)

Scale

B-L1.111-R

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs://0081445-000-PRGS - Executive Amendment/Attachment - 0081445-000 - Block 8 Tower - 002024-0



QUICK REFERENCE L END

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

KEY DESCRIPTION	
CONCRETE PAVING	
CP-201	C.P. CONCRETE PAVING
UNIT PAVING	
UP-101	PRECAST CONCRETE PAVEMENT (RENTAL)
UP-201	PRECAST CONCRETE PAVEMENT (CONDO)
WOOD DECKING	
WD-201	WOOD DECKING (CONDO)
LANDSCAPE MATERIAL	
LS-201	ARTIFICIAL TURF (CONDO)
FENCING & RAILING	
FR-101	POOL FENCE AND GATE (RENTAL)
FR-102	STAIR HANDRAIL (RENTAL)
FR-103	RAMP HANDRAIL (RENTAL)
FR-301	SECURITY FENCE AND GATE
STAIRS AND RAMPS	
SR-101	PRECAST CONCRETE RAMP (RENTAL)
SR-102	PRECAST CONCRETE STAIR (RENTAL)
SITE FEATURE	
SF-101	TRELLIS STRUCTURE (PUBLIC B&B CABANA) (RENTAL)
SF-102	PLANTER POTS (RENTAL)
SF-103	SCREEN FENCE (RENTAL)
SF-104	POOL (RENTAL)
SF-105	SHOWER (RENTAL)
SF-106	GRILL (RENTAL)
SF-201	TRELLIS STRUCTURE (PUBLIC B&B CABANA) (CONDO)
SF-202	PLANTER POTS (CONDO)
SF-203	FIREPIT (CONDO)
SF-204	TV (CONDO)
SF-205	MOVIE SCREEN AND GREENWALL (CONDO)
SF-301	FIRE PIT (PODIUM)
SF-302	UNIT SCREEN FENCE WITH INTEGRATED STORMWATER DOWNSPOUT (PODIUM)
SF-303	PLANTER POT (PODIUM)
SITE WALLS	
SW-101	METAL PLANTER WALL (RENTAL)
SW-201	METAL PLANTER WALL (CONDO)
SW-202	6" METAL PLANTER (CONDO)
SW-302	STORMWATER MANAGEMENT WALL (PODIUM)
LIGHTING AND ELECTRICAL	
LI-101	MULTI-HEAD LIGHT POLE
LI-102	SPOTLIGHTS
LI-103	LIGHT BOLLARD
LI-104	INTEGRATED LINEAR LIGHTS
EL-101	POWDER FEDESTALS
MOVEABLE FURNITURE	
MF-101	LOUNGE FURNITURE
MF-102	DINING TABLE AND CHAIRS
MF-103	GRILL AND COUNTER TOP/ CABINET
MF-104	SUN LOUNGER
MF-105	COFFEE TABLE
MF-106	UMBRELLA
MF-107	LIFE GUARD SEAT
MF-108	ADIRONDACK CHAIR
ABBREVIATIONS AND SYMBOLS	
PA	PLANTING AREA
⊙	TREE LOCATIONS

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Paternon, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 857.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
PRGS REDEVELOPMENT - BLOCK B

Project Number
2994-001

Description
CONSTRUCTION PLAN (CONDO)

Scale

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

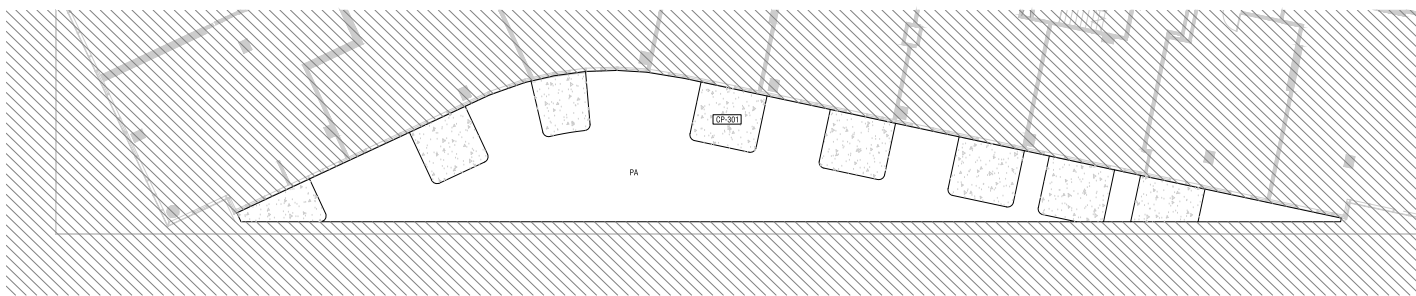
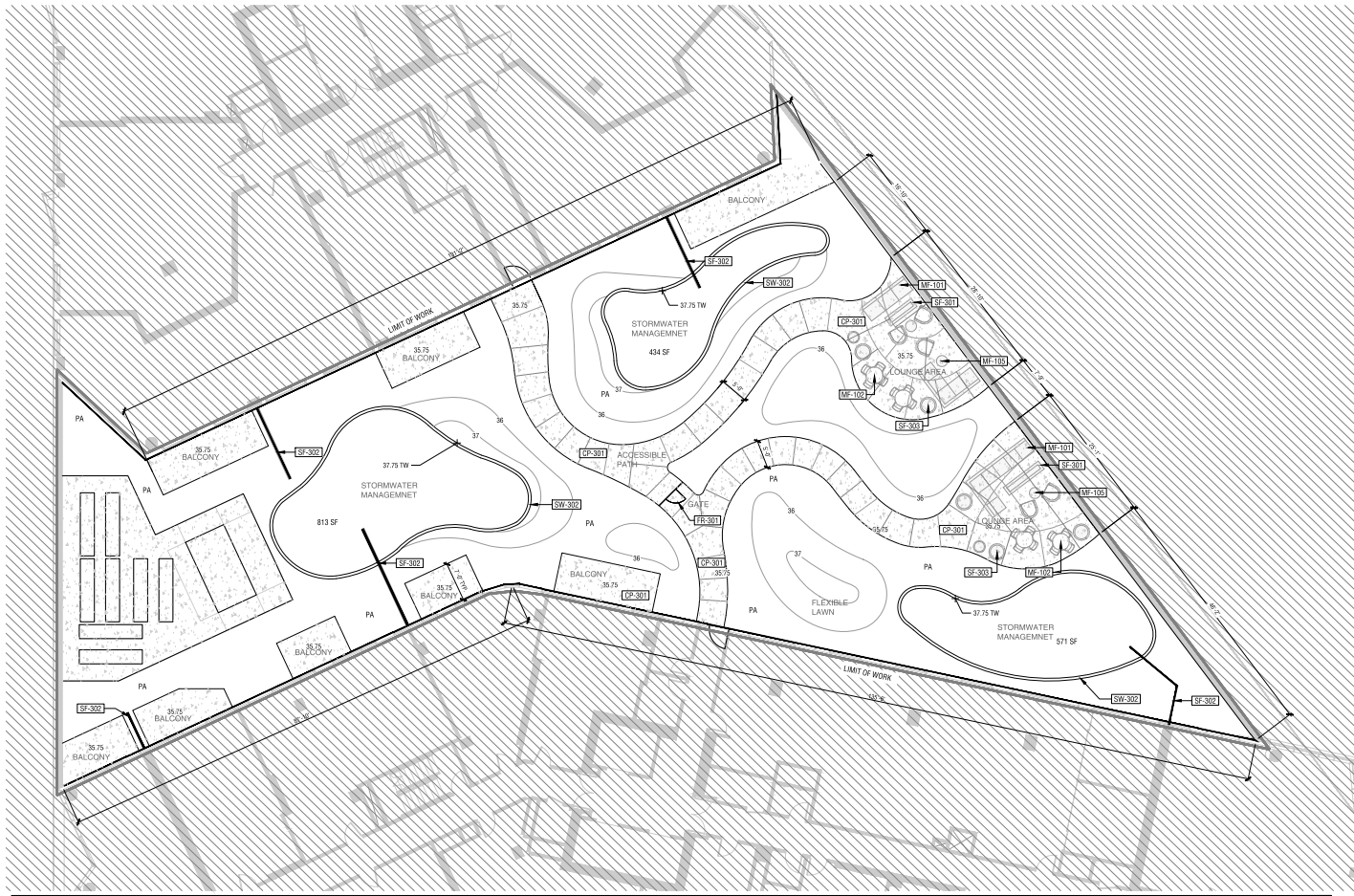
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

B-L1.121-C

© 2015 Gensler

11/16/2025 10:46:16 AM Autodesk Docs:0089445.000 - PRGS - Executive Architecture/Architectural - 0089445.000 - Block 8 Tower - 02022.04



QUICK REFERENCE L END

REFERENCE L1.00 FOR FULL CONSTRUCTION SCHEDULE

- KEY DESCRIPTION**
- CONCRETE PAVING**
 - CP-301 CLIP CONCRETE PAVING
- UNIT PAVING**
 - UP-101 PRECAST CONCRETE PAVER (RENTAL)
 - UP-201 PRECAST CONCRETE PAVER (CONDO)
- WOOD DECKING**
 - WD-201 WOOD DECKING (CONDO)
- LANDSCAPE MATERIAL**
 - LS-201 ARTIFICIAL TURF (CONDO)
- FENCING & RAILING**
 - FR-101 POOL FENCE AND GATE (RENTAL)
 - FR-102 STAIR HANDRAIL (RENTAL)
 - FR-103 RAMP HANDRAIL (RENTAL)
 - FR-301 SECURITY FENCE AND GATE
- STAIRS AND RAMPS**
 - SR-101 PRECAST CONCRETE RAMP (RENTAL)
 - SR-102 PRECAST CONCRETE STAIR (RENTAL)
- SITE FEATURE**
 - SF-101 TRELLIS STRUCTURE (PUBLIC BBQ CABANA) (RENTAL)
 - SF-102 PLANTER POTS (RENTAL)
 - SF-103 SCREEN FENCE (RENTAL)
 - SF-104 POOL (RENTAL)
 - SF-105 SHOWER (RENTAL)
 - SF-106 GRILL (RENTAL)
 - SF-201 TRELLIS STRUCTURE (PUBLIC BBQ CABANA) (CONDO)
 - SF-202 PLANTER POTS (CONDO)
 - SF-203 FIREPIT (CONDO)
 - SF-204 TV (CONDO)
 - SF-205 MOVIE SCREEN AND GREENWALL (CONDO)
 - SF-301 FIRE PIT (PODIUM)
 - SF-302 UNIT SCREEN FENCE WITH INTEGRATED STORMWATER DOWNSPOUT (PODIUM)
 - SF-303 PLANTER POT (PODIUM)
- SITE WALLS**
 - SW-101 METAL PLANTER WALL (RENTAL)
 - SW-201 METAL PLANTER WALL (CONDO)
 - SW-202 6' METAL PLANTER (CONDO)
 - SW-302 STORMWATER MANAGEMENT WALL (PODIUM)
- LIGHTING AND ELECTRICAL**
 - LI-101 MULTI-HEAD LIGHT POLE
 - LI-102 SPOTLIGHTS
 - LI-103 LIGHT BOLLARD
 - LI-104 INTEGRATED LINEAR LIGHTS
 - EL-101 POWER PEDESTALS
- MOVEABLE FURNITURE**
 - MF-101 LOUNGE FURNITURE
 - MF-102 DINING TABLE AND CHAIRS
 - MF-103 GRILL AND COUNTER TOP/ CABINET
 - MF-104 SUN LOUNGER
 - MF-105 COFFEE TABLE
 - MF-106 UMBRELLA
 - MF-107 LIFE GUARD SEAT
 - MF-108 ADIRONDACK CHAIR
- ABBREVIATIONS AND SYMBOLS**
 - PA PLANTING AREA
 - ⊙ TREE LOCATIONS

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Paternon, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314

Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611

Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 901
Boston, Massachusetts 02114
Tel: 857.233.5171

Tel: 857.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

CONSTRUCTION PLAN (PODIUM)

Scale

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

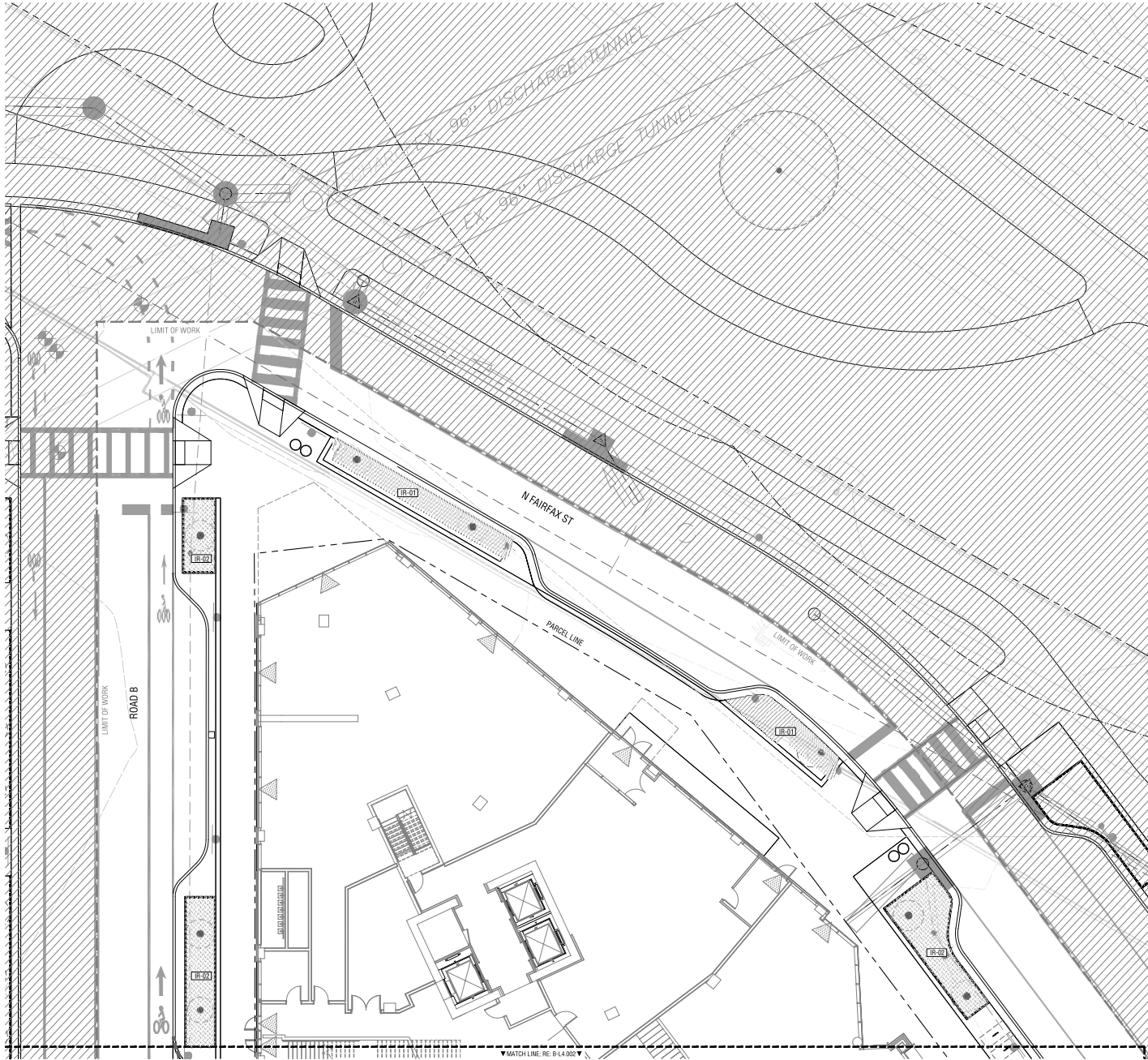
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

B-L1.131

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs/0081445.000 - PRGS - Executive Amendment/Attachment - 0081445.000 - Block B Tower - 0022.04



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314

hrp GROUP

HRP Patman, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314

Tel: 312.786.6594
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8587

OC

Solomon Cordwell Buenz
825 N. Michigan, Suite 800
Chicago, IL 60611

Tel: 312.886.1100
Fax: 312.886.1200

OJB

One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 857.233.5171

Tel: 857.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

IRRIGATION PLANS (STREET)

Scale 1" = 10'-0"

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

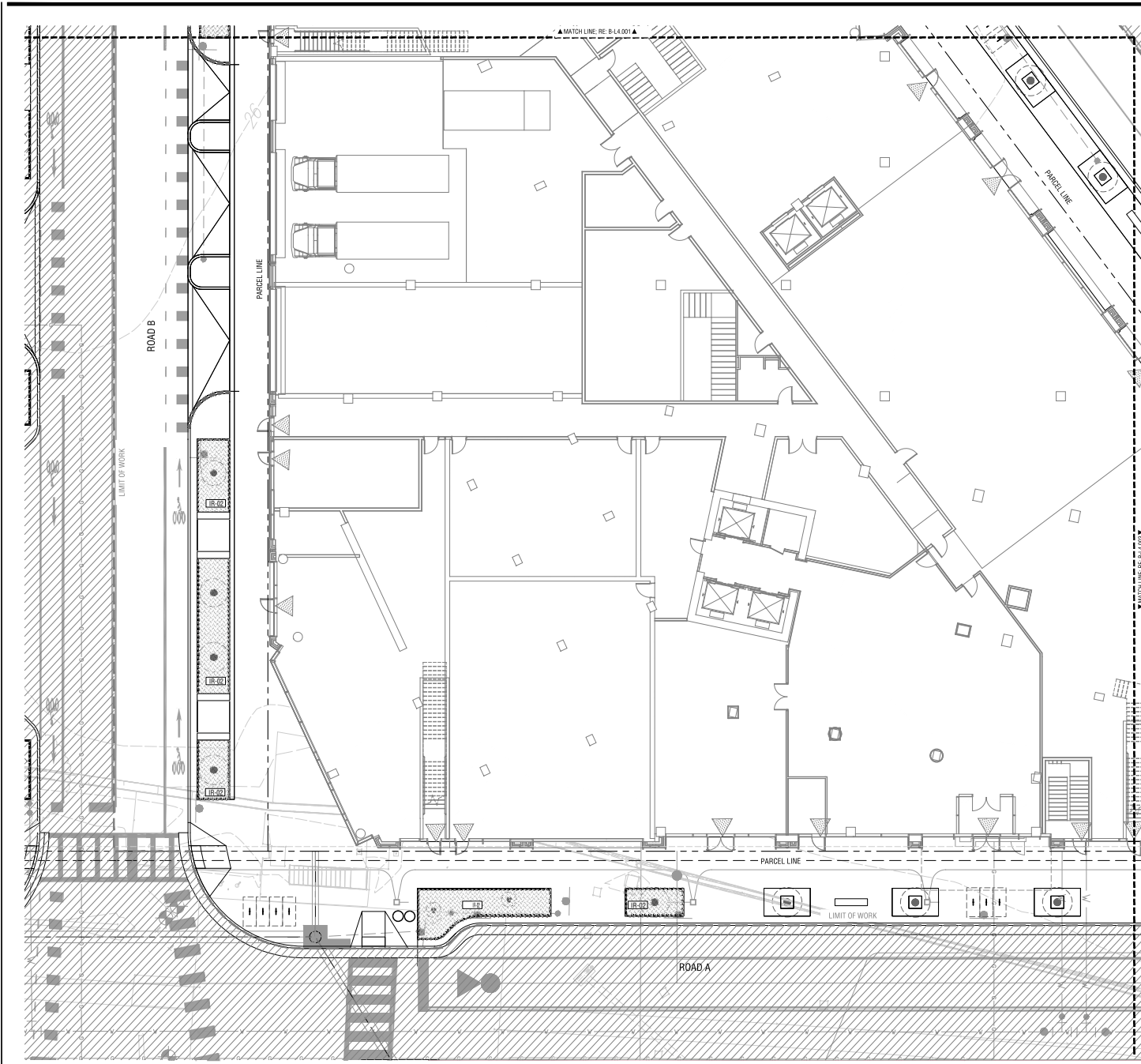
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

B-L4.001

© 2015 Gensler

11/02/2025 10:46:16 AM Autodesk Docs/0089145.000 - PRGS - Executive Amendment/Attachment - 0089145.000 - Block 8 Tower - 0202.04



IRRIGATION LEGEND

IRRIGATION TYPE

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Partners, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 525 N. Michigan, Suite 600
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel: 617.233.5171
 Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
 PRGS REDEVELOPMENT - BLOCK B

Project Number
 2994-001

Description
 IRRIGATION PLANS (STREET)
 Scale 1" = 10'-0"

B-L4.002

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

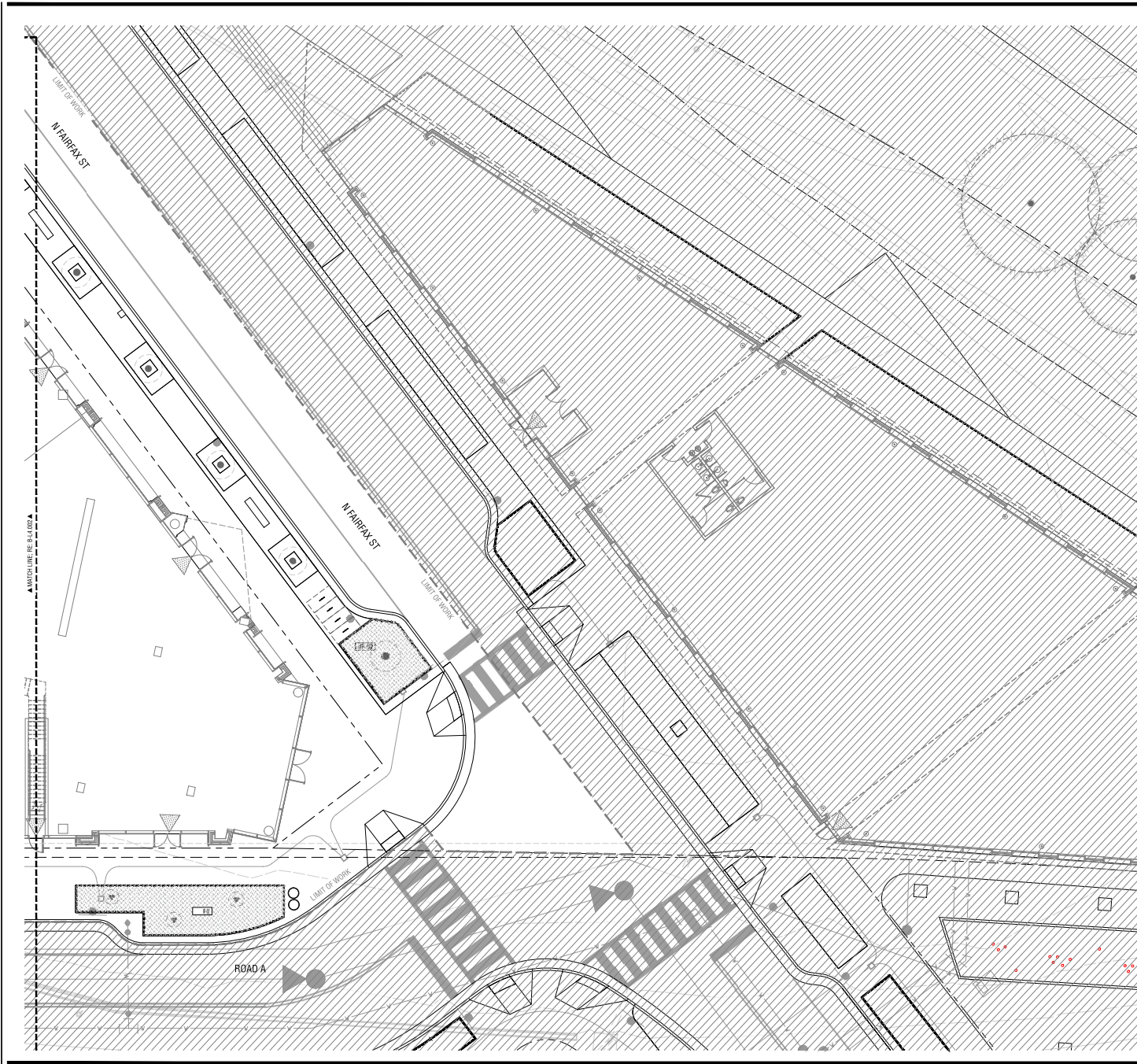
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs:0089445.000 - PRGS - Executive Amendment/Rebid - 0089445.000 - Block 8 Tower - 0202.04



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314

hrp GROUP

HRP Potomac, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel: 312.768.6594
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8587

OC

Solomon Cortwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611

Tel: 312.896.1100
Fax: 312.896.1200

OJB

One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

Tel: 617.233.5171

Date	Description
05/16/25	COMPLETENESS SUBMISSION
07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

IRRIGATION PLANS (STREET)

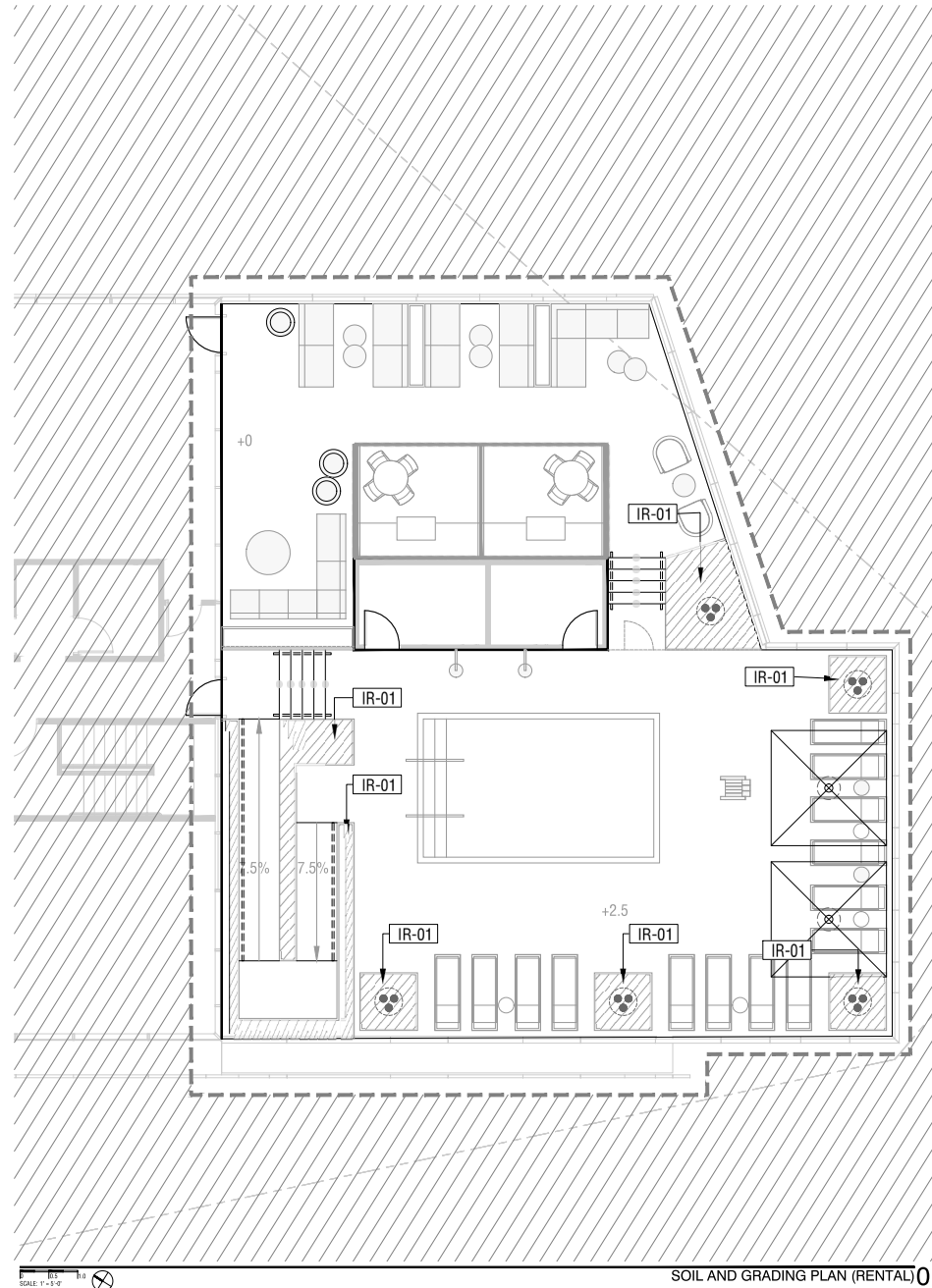
Scale 1" = 10'-0"

B-L4.003

APPROVED	
DEVELOPMENT SITE PLAN NO.	DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

© 2015 Gensler

11/02/2025 10:46:16 AM AutoCAD Doc:0089445-000 - PRGS - Executive Amendment/Rebid - 0089445-000 - Block B Tower - 0202.rvt



SCALE: 1"=10'

SOIL AND GRADING PLAN (RENTAL) 01

IRRIGATION LEGEND

IRRIGATION TYPE

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Patman, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel 312.768.6594
Fax xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel 202.721.5200
Fax 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611

Tel 312.866.1100
Fax 312.866.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
tel 617.233.5171

Tel 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

IRRIGATION PLANS (RENTAL)

Scale

B-L4.111-R

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

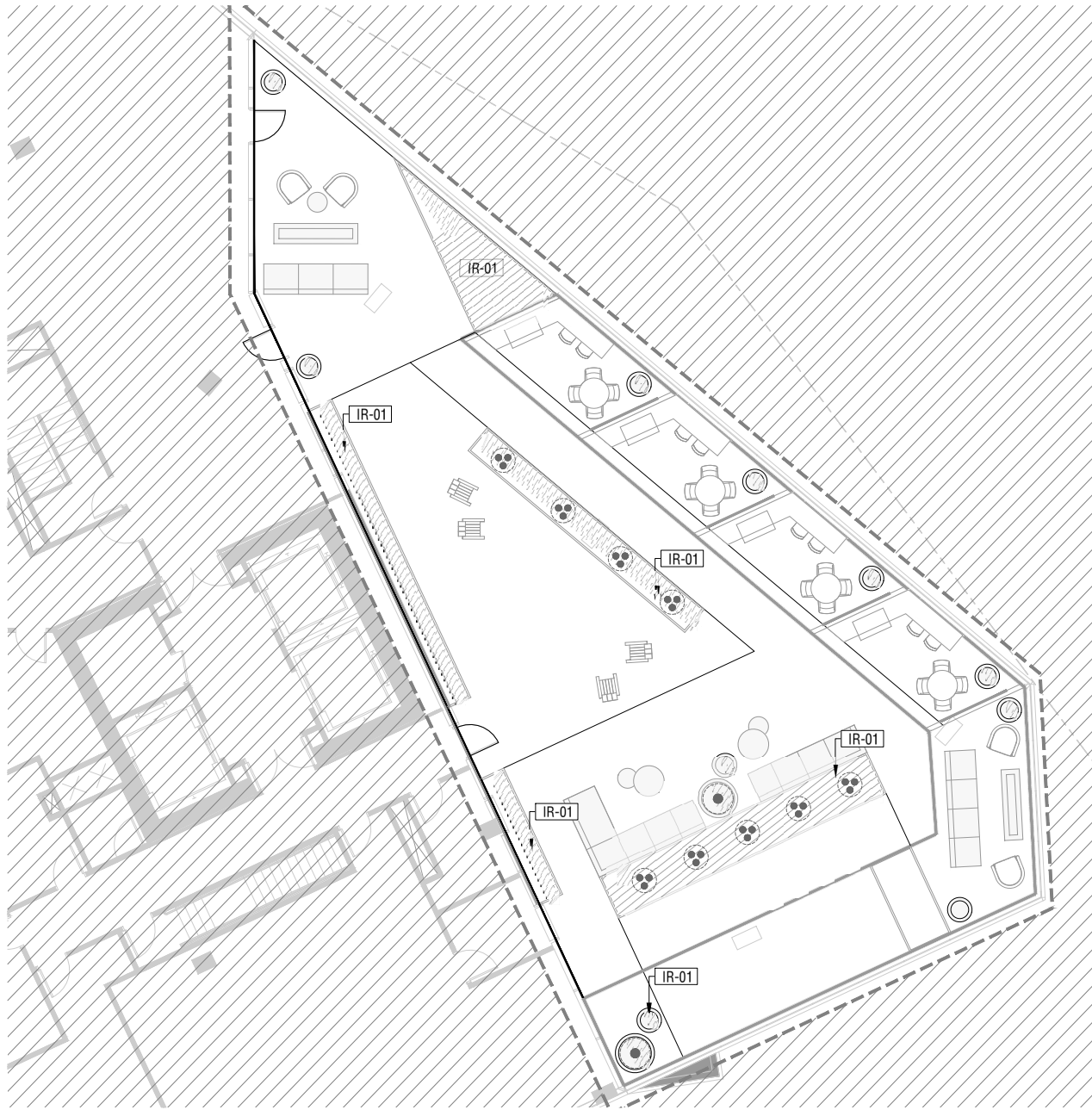
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

1/16/2025 10:45:16 AM AutoCAD Doc:0089445-000 - PRGS - Executive Amendment/Rebid - 0089445-000 - Block B Tower - 02022.dwg



SCALE: 1"=10'

SOIL AND GRADING PLAN (CONDO) 01

IRRIGATION LEGEND

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Patman, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.768.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171
Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

IRRIGATION PLANS (CONDO)

Scale

B-L4.121-C

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

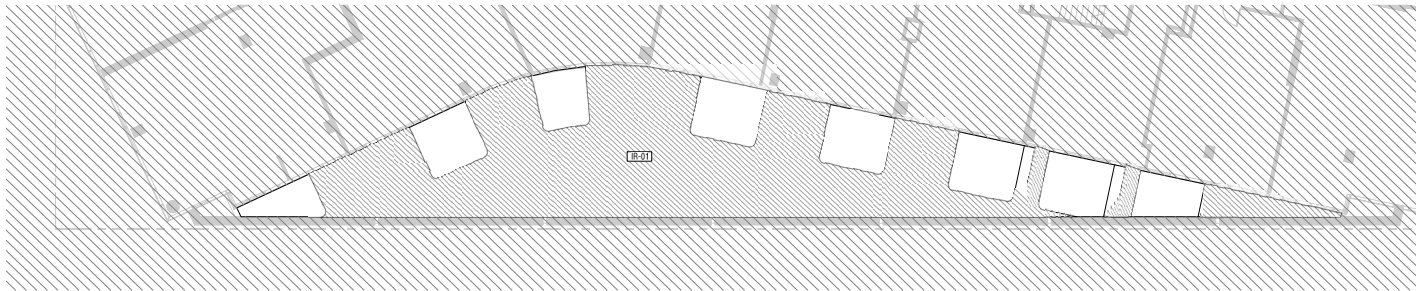
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

11/2/2025 10:46:16 AM Autodesk Docs:0089445-000 - PRGS - Executive Amendment/Rebid - 0089445-000 - Block 8 Tower - 0202-04



SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"

IRRIGATION LEGEND

SYMBOL	DESCRIPTION
IR-01	DRIP IRRIGATION
IR-02	HAND WATERING
	ADDITIONAL BUBBLERS AT TREE LOCATIONS

IRRIGATION NOTES

1. DETAIL IRRIGATION DESIGN TO BE PROVIDED IN CONSTRUCTION DOCUMENTATION
2. SUBMIT PRODUCT INFO FOR ALL MATERIALS
3. SUBMIT SHOP DRAWINGS FOR IRRIGATION LAYOUT
4. COORDINATE WATER METER, BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE, INCLUDING NECESSARY SLEEVING IN COORDINATION WITH CONCRETE FLATWORK
5. LAYOUT PROVIDED AS SCOPE OF WORK FOR IRRIGATION.

APPROVED
 DEVELOPMENT SITE PLAN NO. DSJP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS REDEVELOPMENT

DSUP CONCEPT II
 SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Partners, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.271.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel 617.233.5171
 Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

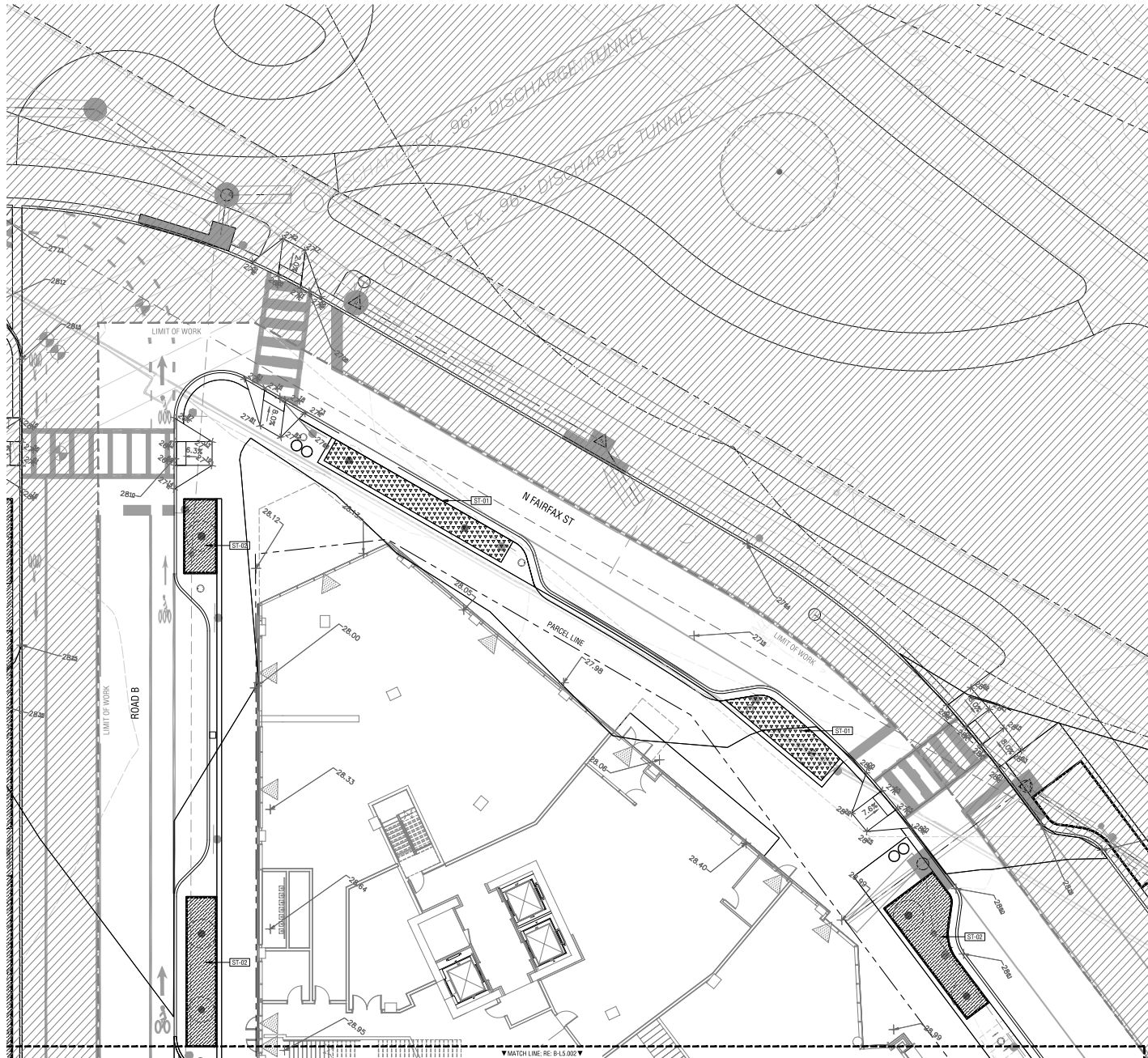
IRRIGATION PLANS (PODIUM)

Scale

B-L4.131

© 2015 Gensler

11/02/2025 10:45:16 AM Autodesk Docs/0081445.000 - PRGS - Executive Amendment/Volume - 0081445.000 - Block 8 Tower - 02022.04



SOIL LEGEND

SOIL TYPE	DESCRIPTION
ST-01	SOIL TYPE 1 - PLANTING SOIL
ST-02	SOIL TYPE 2 - BIORETENTION SOIL
ST-03	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 2' DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314
Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cortwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.896.1100
Fax: 312.896.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"

B-L5.001

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

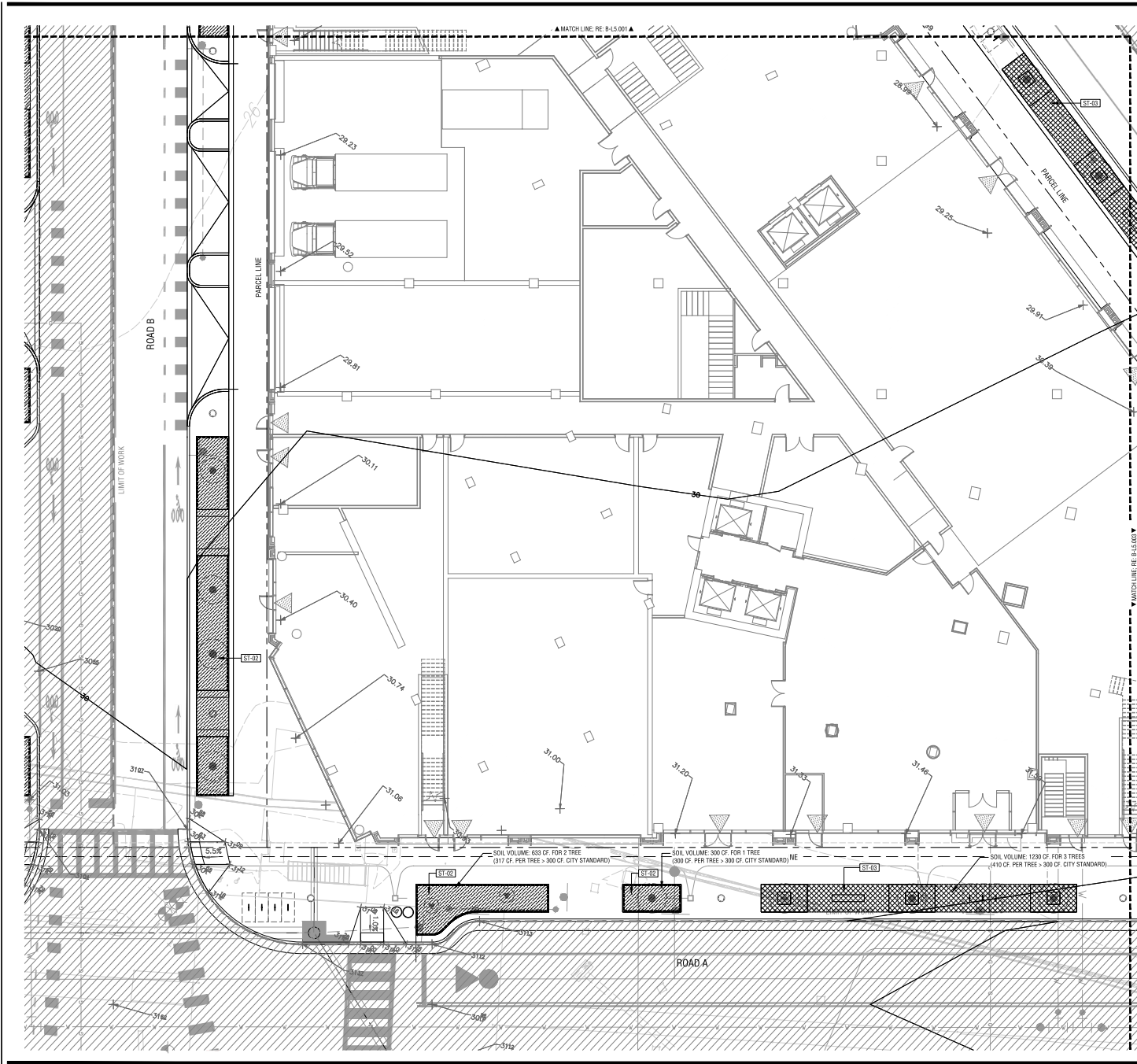
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

11/02/2025 10:45:16 AM Autodesk Docs/0081445.000 - PRGS - Executive Amendment/Revision - 0081445.000 - Block 8 Tower - 0202.04



SOIL LEGEND

SOIL TYPE	DESCRIPTION
ST-01	SOIL TYPE 1 - PLANTING SOIL
ST-02	SOIL TYPE 2 - BIORETENTION SOIL
ST-03	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING SUBGRADE. PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.786.6594
Fax: 303.395.3000



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.896.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
PRGS REDEVELOPMENT - BLOCK B

Project Number
2994-001

Description
SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"

B-L5.002

APPROVED

DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

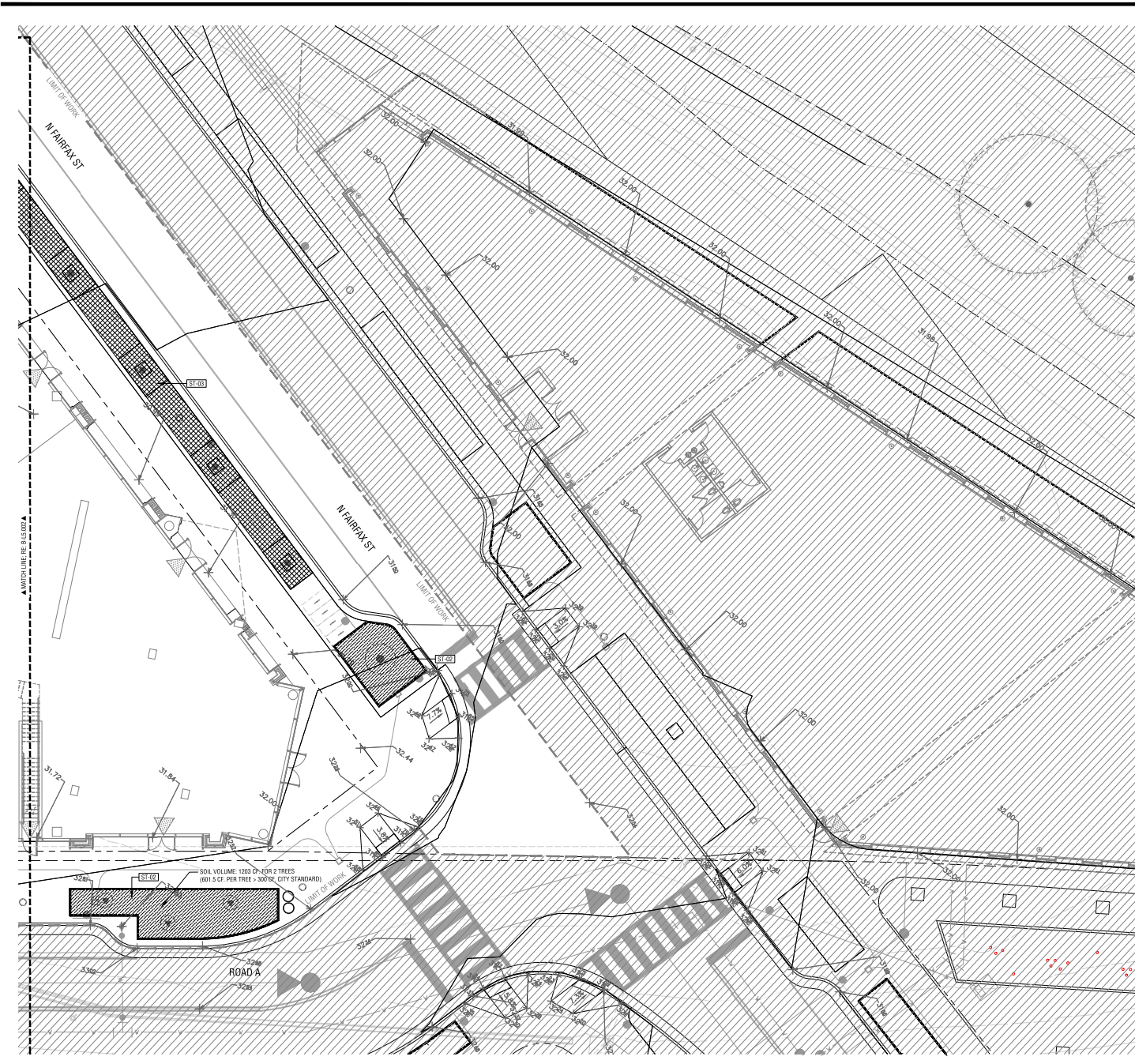
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs:008145.000 - PRGS - Executive Amendment/Rebid - 008145.000 - Block 8 Tower - 0202.04



SOIL LEGEND

SOIL TYPE	SYMBOL	DESCRIPTION
ST-01	[Symbol]	SOIL TYPE 1 - PLANTING SOIL
ST-02	[Symbol]	SOIL TYPE 2 - BIODETENTION SOIL
ST-03	[Symbol]	SOIL TYPE 3 - STRUCTURAL SOIL

PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE. PROVIDE 2" DEPTH IN UNDERSTORY AREAS, 4" DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314

hrp GROUP
 HRP Potomac, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314

Tel 312.786.6594
 Fax xxx.xxx.xxxx

Gensler
 2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States

Tel 202.721.5200
 Fax 202.872.8587

SOLOMON CORNWELL BUENZ
 525 N. Michigan, Suite 800
 Chicago, IL 60611

Tel 312.896.1100
 Fax 312.896.1200

OJB

One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel 617.233.5171

Tel 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
 PRGS REDEVELOPMENT - BLOCK B

Project Number
 2994-001

Description
 SOIL AND GRADING PLAN (STREET)

Scale 1" = 10'-0"

B-L5.003

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

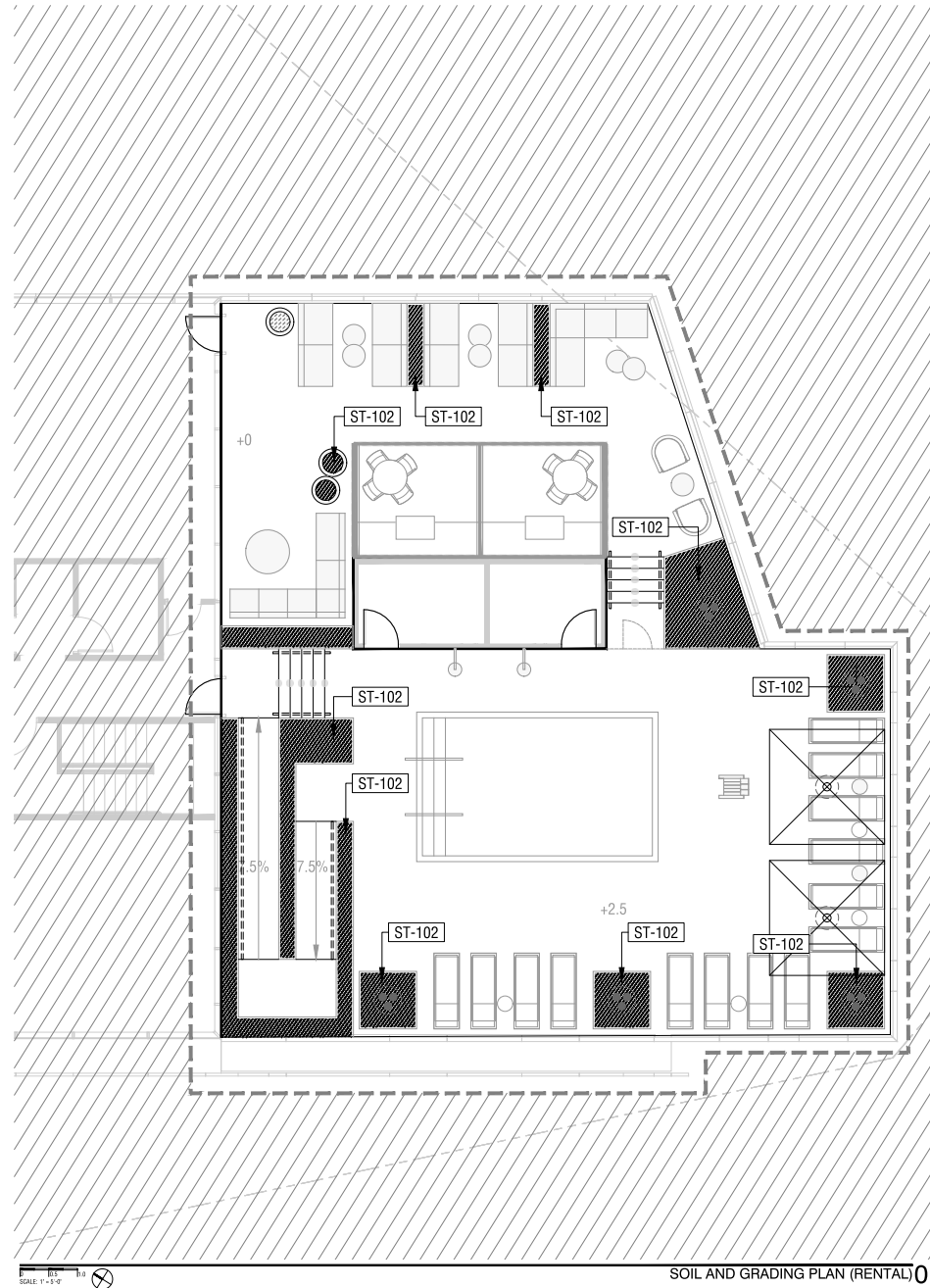
DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

11/02/2025 10:45:16 AM Autodesk Docs/0089445-000-PRGS - Executive Amendment/0089445-000-Block 5 Tower -0202.rvt



SOIL AND GRADING PLAN (RENTAL) 01

SOIL LEGEND

SOIL TYPE SYMBOL	DESCRIPTION
ST-101 [Cross-hatched symbol]	SOIL TYPE 1, BIO-RETENTION
ST-102 [Diagonal line symbol]	SOIL TYPE 2, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314
Tel: 312.768.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 600
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
PRGS REDEVELOPMENT - BLOCK B

Project Number
2994-001

Description
SOIL AND GRADING PLAN (RENTAL)

Scale

B-L5.111-R

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

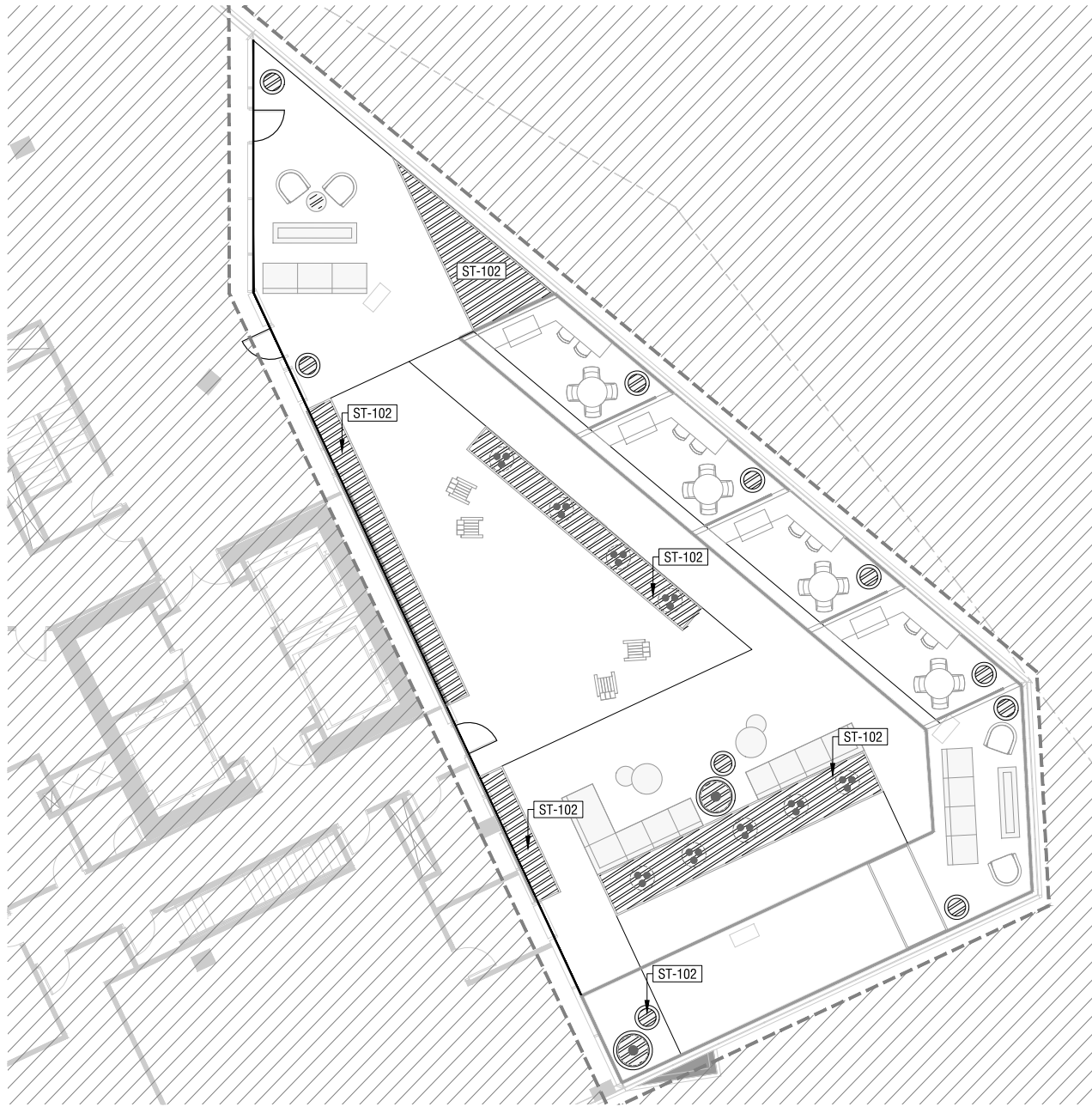
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

© 2015 Gensler

1/16/2025 10:45:16 AM AutoCAD Doc:0089445-000 - PRGS - Executive Amendment/Rehearing - 0089445-000 - Block B Tower - 00022-04



SCALE: 1"=10'

SOIL LEGEND

SOIL TYPE

SYMBOL	DESCRIPTION
	ST-101 SOIL TYPE 1, BIO-RETENTION
	ST-102 SOIL TYPE 2, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 24" DEPTH IN UNDERSTORY AREAS, 48" DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314

hrp GROUP

HRP Planning, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel: 312.768.6594
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611

Tel: 312.886.1100
Fax: 312.886.1200

OJB

One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
tel: 617.233.5171

Tel: 617.233.5171

Δ Date Description

- 1 05/16/25 COMPLETENESS SUBMISSION
- 2 07/11/25 VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

SOIL AND GRADING PLAN (CONDO)

Scale

B-L5.121-C

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

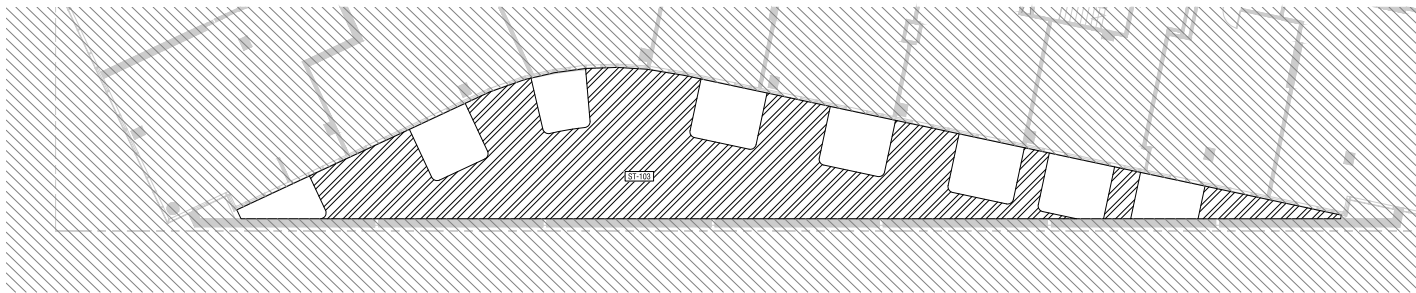
SOIL AND GRADING PLAN (CONDO) 01

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs:0091445.000 - PRGS - Executive Amendment/Rebid - 0091445.000 - Block B Tower - 02021-04



SOIL AND GRADING PLAN (PODIUM) 02



SOIL AND GRADING PLAN (PODIUM) 01

SOIL LEGEND

SOIL TYPE

SYMBOL	DESCRIPTION
	ST-101 SOIL TYPE 1, BIO-RETENTION
	ST-102 SOIL TYPE 2, PLANTING SOIL PLANTING SOIL AT TREE AND ORNAMENTAL PLANTING FERTILE PLANTING MIX OVER PREPARED SUBGRADE, PROVIDE 2' DEPTH IN UNDERSTORY AREAS, 4' DEPTH AT TREE LOCATIONS.

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Partners, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cortwell Buentz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.896.1100
Fax: 312.896.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

SOIL AND GRADING PLAN (PODIUM)

Scale

B-L5.131

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

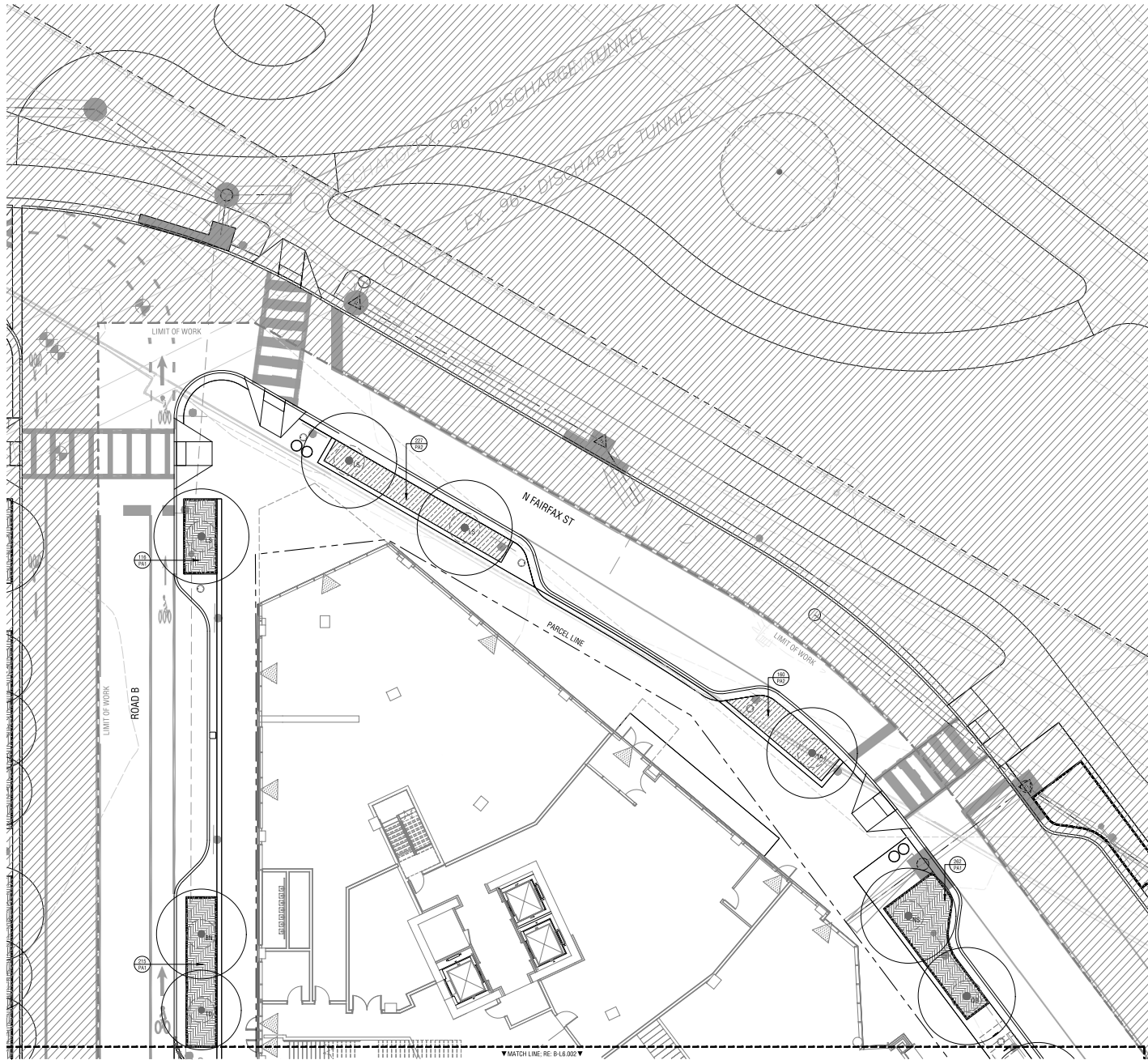
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

© 2015 Gensler

1/16/2025 10:45:16 AM Autodesk Docs:0081445.000 - PRGS - Executive Amendment/Revision - 0081445.000 - Block B Tower - 02022.04



PLANT REFERENCE LEGEND

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
CP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
GD	GYMNOCADUS DIOICUS 'ESPRESSO-FR' / ESPRESSO KENTUCKY COFFEETREE
LS	LIQUIDAMBAR STYRACIFLUA ROTUNDIFOLIA / SWEET GUM
MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
NS	NYSSA SYLVATICA / TUPELO
OB	QUERCUS BICOLOR / SWAMP WHITE OAK
OL	QUERCUS LYRATA / OVERCUP OAK
OP	QUERCUS PALustris / PIN OAK
TA	TILIA AMERICANA / AMERICAN LINDEN
TC	TILIA CORDATA / LITTLELEAF LINDEN
TD	TAXODIUM DISTICHUM / BALD CYPRESS
GROUND COVERS	BOTANICAL / COMMON NAME
PA1	BIORETENTION PLANTING / PA TYPE 1
PA2	ORNAMENTAL PLANTING / PA TYPE 2

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Planning, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel: 857.233.5171
 Tel: 857.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
 PRGS REDEVELOPMENT - BLOCK B

Project Number
 2994-001

Description
 PLANTING PLAN (STREET)
 Scale 1" = 10'-0"

B-L6.001

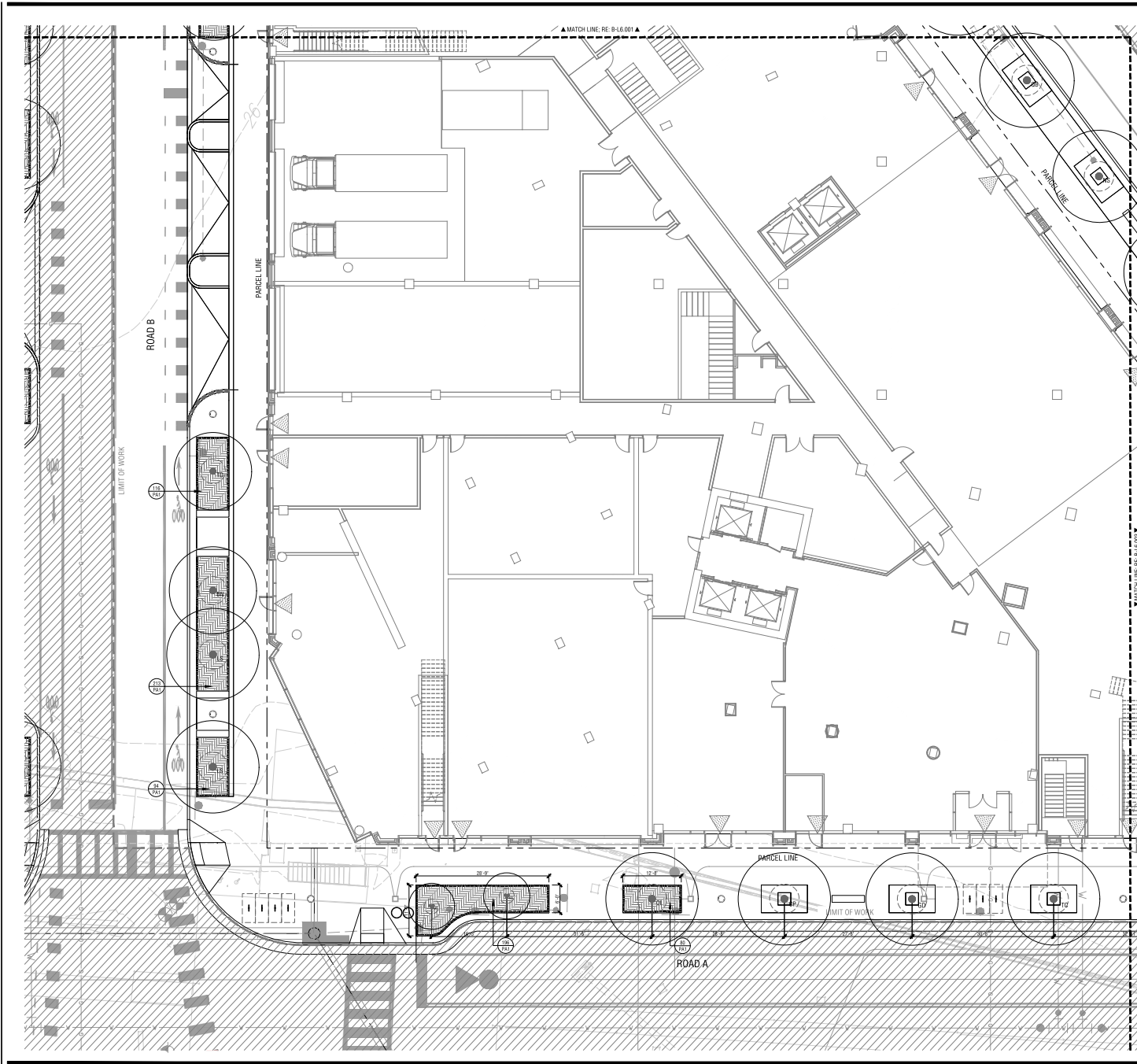
APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

11/02/2025 10:45:16 AM Autodesk Docs:0089145.000 - PRGS - Executive Architecture\Architecture - 0089145.000 - Block 8 Tower - 02022.04



PLANT REFERENCE LEGEND

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
GD	GYMNOCALOUS OIGICUS / ESPRESSO / JFS / ESPRESSO KENTUCKY COFFEETREE
LS	LIGUSTRUM STRYCNIFOLIA / ROTUNDOLOBA / SWEET GUM
MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
NS	NYSSA SYLVATICA / TUPELO
DB	QUERCUS BICOLOR / SWAMP WHITE OAK
OL	QUERCUS LYRATA / OVERCUP OAK
QP	QUERCUS PALUSTRIS / PIN OAK
TA	TILIA AMERICANA / AMERICAN LINDEN
TC	TILIA CORDATA / LITTLELEAF LINDEN
TD	TAXODIUM DISTICHUM / BALD CYPRESS
GROUND COVERS	BOTANICAL / COMMON NAME
PA1	BIORETENTION PLANTING / PA TYPE 1
PA2	ORNAMENTAL PLANTING / PA TYPE 2

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Planning, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314
Tel: 312.786.6594
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587



Solomon Cordwell Buenz
525 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.886.1100
Fax: 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETNESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

PLANTING PLAN (STREET)

Scale 1" = 10'-0"

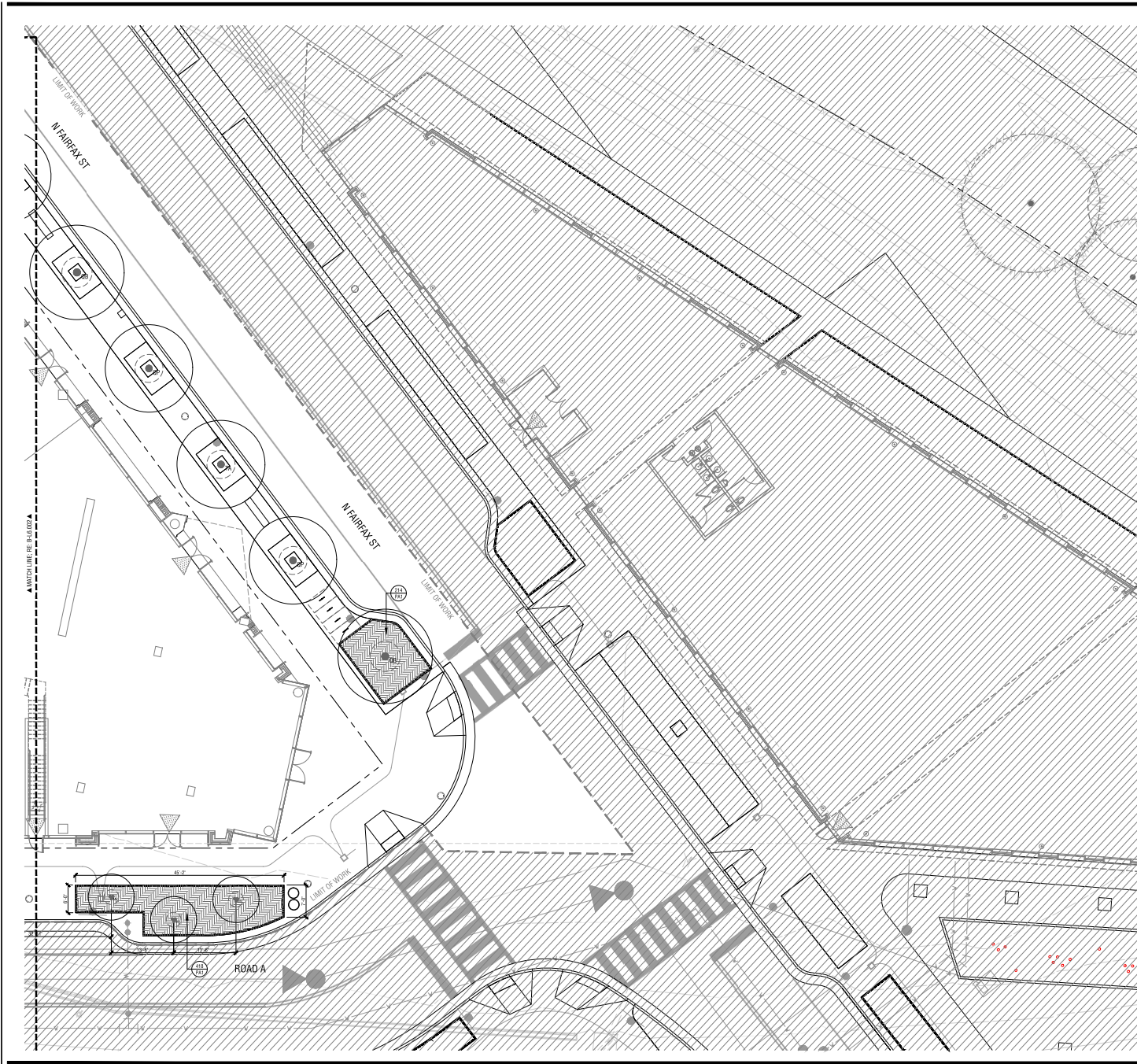
APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

B-L6.002

© 2015 Gensler

1/16/2025 10:46:16 AM Autodesk Docs:0089445.000 - PRGS - Executive Amendment/Rebid - 0089445.000 - Block 8 Tower - 0202.04



PLANT REFERENCE LEGEND

TREES	BOTANICAL / COMMON NAME
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
GP	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN
GD	GYMNOCADUS DIOICUS 'ESPRESSO'-F/S / ESPRESSO KENTUCKY COFFEETREE
LS	LIQUIDAMBAR STYRACIFLUA / ROTUNDOLEBA / SWEET GUM
MV	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
NS	NYSSA SYLVATICA / TUPELO
DB	QUERCUS BICOLOR / SWAMP WHITE OAK
OL	QUERCUS LYRATA / OVERCUP OAK
QP	QUERCUS PALUSTRIS / PIN OAK
TA	TILIA AMERICANA / AMERICAN LINDEN
TC	TILIA CORDATA / LITTLELEAF LINDEN
TD	TAXODIUM DISTICHUM / BALD CYPRESS
GROUND COVERS	BOTANICAL / COMMON NAME
PA1	BIORETENTION PLANTING / PA TYPE 1
PA2	ORNAMENTAL PLANTING / PA TYPE 2

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Planning, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 525 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.886.1100
 Fax: 312.886.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel 617.233.5171
 Tel: 617.233.5171

#	Date	Description
1	05/16/25	COMPLETENESS SUBMISSION
2	07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
 PRGS REDEVELOPMENT - BLOCK B

Project Number
 2994-001

Description
 PLANTING PLAN (STREET)
 Scale 1" = 10'-0"

B-L6.003

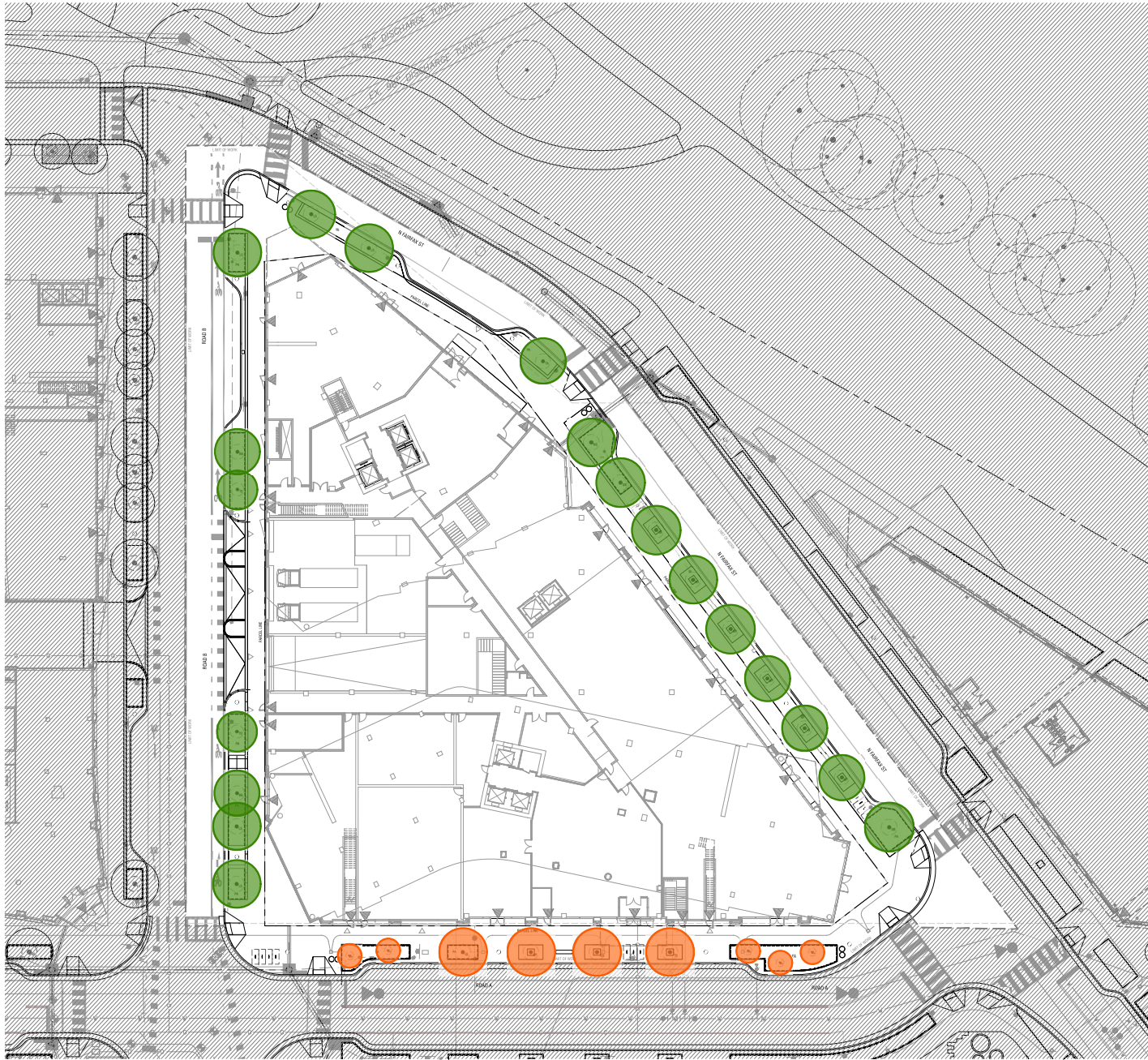
APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

11/16/2025 10:45:16 AM Autodesk Docs:0081445.000 - PRGS - Executive Amendment/Revision - 0081445.000 - Block B Tower - 02022.04



TREE DIAGRAM LEGEND

- **STR-01** - STREET TREE, TYPE 1
STREET TREE ON PRIVATE PROPERTY
- **STR-02** - STREET TREE, TYPE 2
STREET TREE ON PUBLIC PROPERTY/ROW

APPROVED
 DEVELOPMENT SITE PLAN NO. DSJP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Planning, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.768.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.896.1100
 Fax: 312.896.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel 617.233.5171
 Tel: 617.233.5171

▲ Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

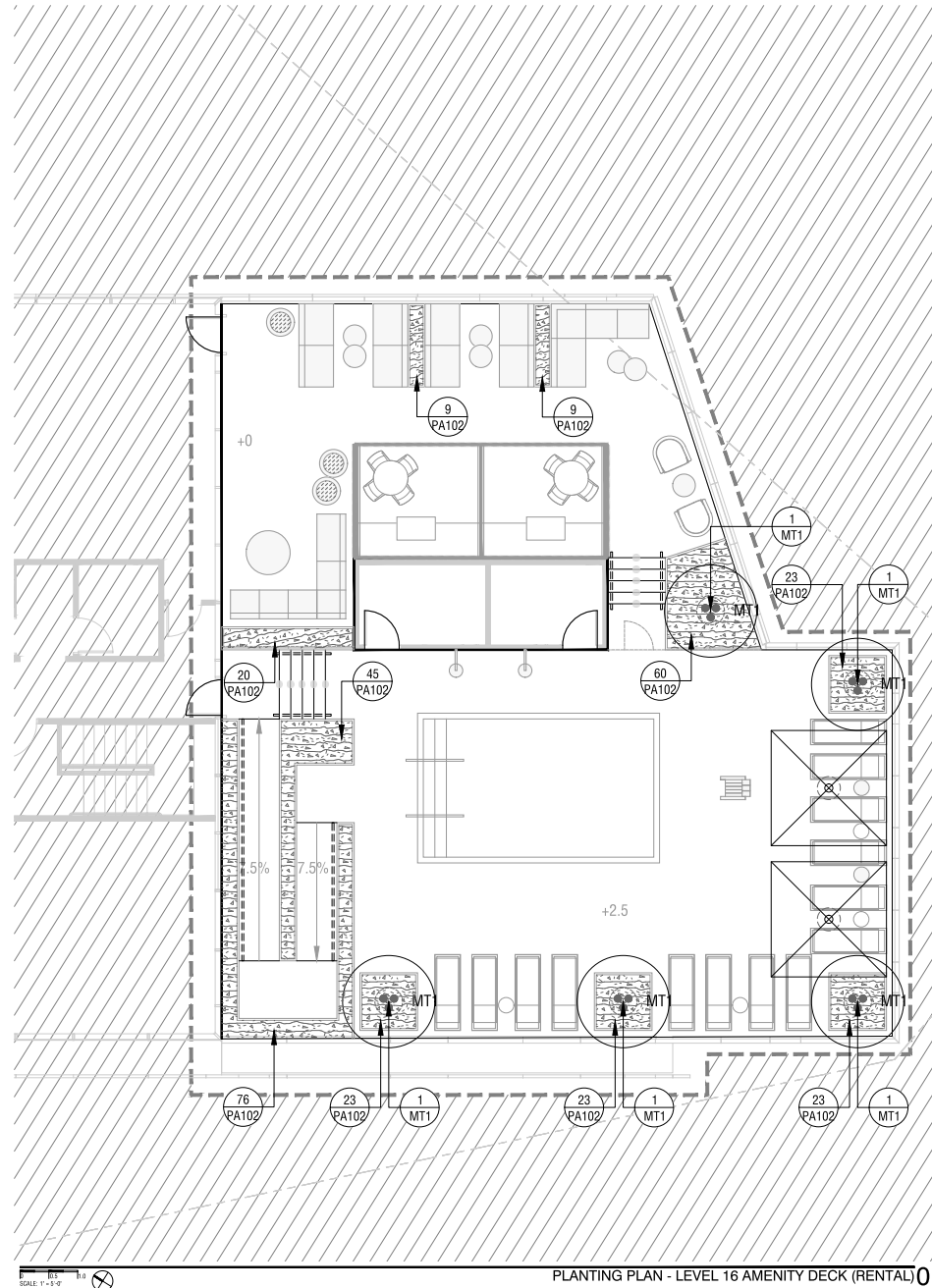
TREE DIAGRAM (STREET)

Scale 1" = 20'-0"

B-L6.004

© 2015 Gensler

11/02/2025 10:45:16 AM AutoCAD Doc:0089445-000 - PRGS - Executive Amenity Deck/Block B - Block B Tower - 0202.rvt



PLANTING PLAN - LEVEL 16 AMENITY DECK (RENTAL) 01

PLANTING LEGEND

- TREES**
- ST1 SHADE TREE
 - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BIO-RETENTION PLANTING
 - PA2 ORNAMENTAL PLANTING
 - PA3 POTS PLANTING

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Patman, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.768.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 525 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.866.1100
 Fax: 312.866.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel: 857.233.5171
 Tel: 857.233.5171

▲ Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

PLANTING PLAN (RENTAL)

Scale

B-L6.111-R

APPROVED

DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

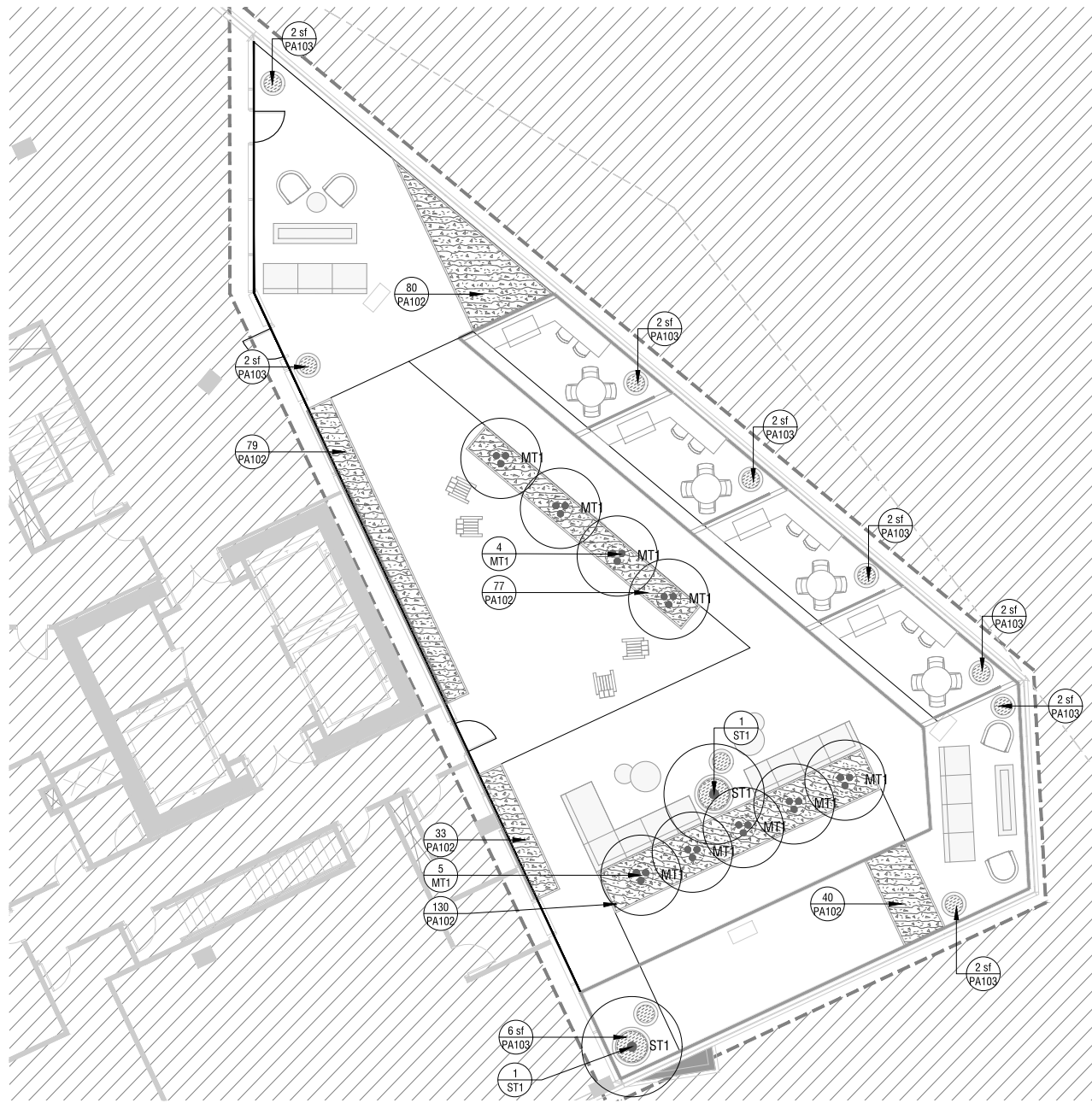
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

© 2015 Gensler

11/02/2025 10:45:16 AM Autodesk Docs:0089445-000 - PRGS - Executive Amendment/Rebid - 0089445-000 - Block 8 Tower - 02022-04



SCALE: 1"=8'-0"

PLANTING PLAN - LEVEL 15 AMENITY DECK (CONDO) 01

PLANTING LEGEND

- TREES**
- ST1 SHADE TREE
 - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BIO-RETENTION PLANTING
 - PA2 ORNAMENTAL PLANTING
 - PA3 POTS PLANTING

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314

hrp GROUP
 HRP Potomac, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx

Gensler
 2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587

OCU
 Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.896.1100
 Fax: 312.896.1200

OJB
 One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 tel: 617.233.5171
 Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
 PRGS REDEVELOPMENT - BLOCK B

Project Number
 2994-001

Description
 PLANTING PLAN (CONDO)

Scale

B-L6.121-C

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

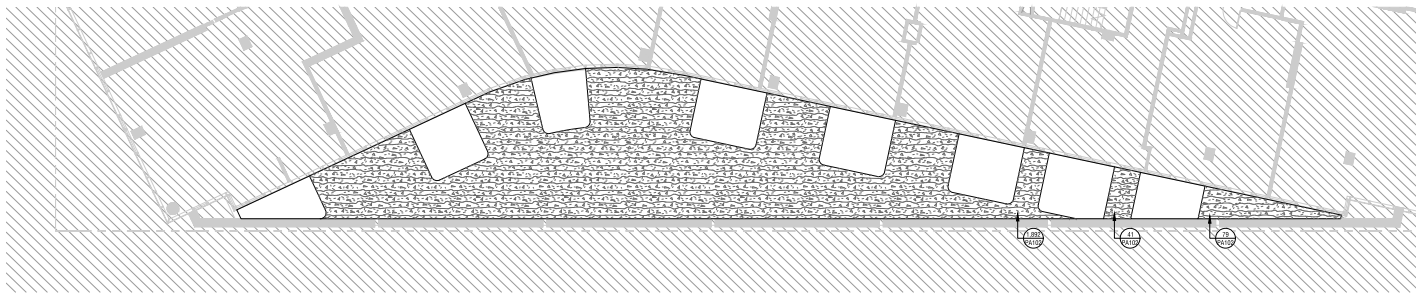
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

11/16/2025 10:46:16 AM Autodesk Docs:0089145.000 - PRGS - Executive Amendment/Rebid - 0089145.000 - Block B Tower - 0202.rvt



PLANTING PLAN (PODIUM) 02



PLANTING PLAN (SOUTH DECK) 01

PLANTING LEGEND

- TREES**
- ST1 SHADE TREE
 - MT1 MULTI-STEM TREE
- GROUND COVERS**
- PA1 BID-RETENTION PLANTING
 - PA2 ORNAMENTAL PLANTING
 - PA3 POTS PLANTING

PRGS REDEVELOPMENT

DSUP CONCEPT II SUBMISSION
 1300 North Royal Street
 Alexandria, VA 22314



HRP Patricia, LLC
 1199 N Fairfax St, Suite 806
 Alexandria, VA 22314
 Tel: 312.786.6594
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.872.8587



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.896.1100
 Fax: 312.896.1200



One Bowdoin Square, Suite 801
 Boston, Massachusetts 02114
 Tel: 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name

PRGS REDEVELOPMENT - BLOCK B

Project Number

2994-001

Description

PLANTING PLAN (PODIUM)

Scale

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

B-L6.131

© 2015 Gensler

PRGS REDEVELOPMENT

DSUP CONCEPT II
SUBMISSION
1300 North Royal Street
Alexandria, VA 22314



HRP Patmas, LLC
1199 N Fairfax St, Suite 806
Alexandria, VA 22314

Tel 312.786.6594
Fax 303.955.9000



2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel 202.721.5200
Fax 202.872.8587



Solomon Cortwell Buentz
525 N. Michigan, Suite 800
Chicago, IL 60611

Tel 312.886.1100
Fax 312.886.1200



One Bowdoin Square, Suite 801
Boston, Massachusetts 02114
Tel 617.233.5171

Date	Description
1 05/16/25	COMPLETENESS SUBMISSION
2 07/11/25	VERIFICATION SUBMISSION

Seal / Signature



Project Name
PRGS REDEVELOPMENT - BLOCK B

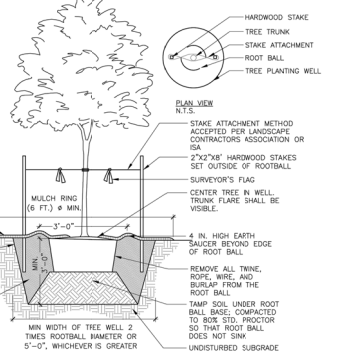
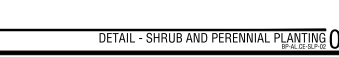
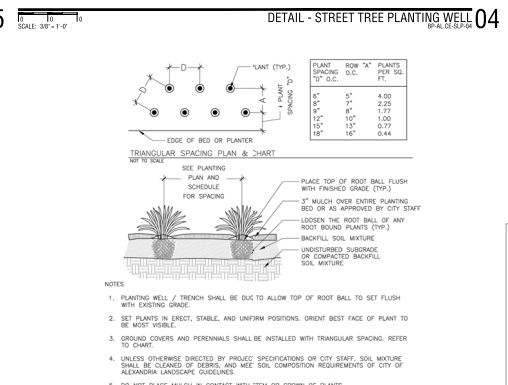
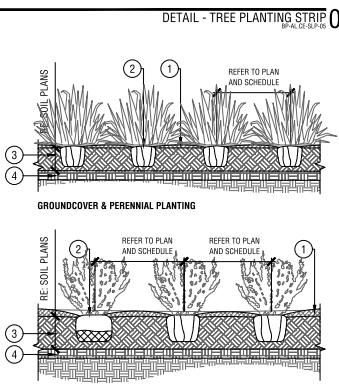
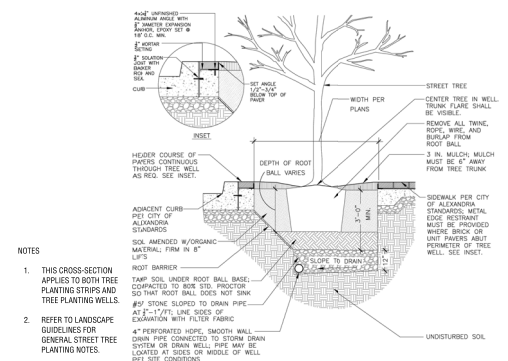
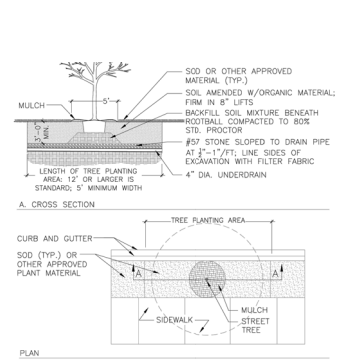
Project Number
2994-001

Description
PLANTING DETAILS (STREET)

Scale

B-L7.001

© 2015 Gensler

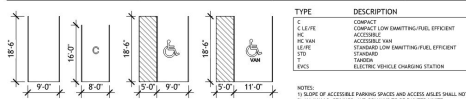


- 3" MULCH LAYER, TYP.
- TOP OF ROOT BALL TO BE 1" ABOVE SOIL MIX. TYP.
- PLANTING MIX. RE: SOIL PLANS
- PREPARED SUBGRADE FILLED TO 4"-6" DEPTH, TYP.

- FOR CONTIGUOUS LOOSE ROOT BALL OF ANY ROOT BOUND PLANTS
- FOR B&B: REMOVE BURLAP AND BASKET FROM TOP 20% OF ROOT BALL AND REMOVE FROM SITE.

11/02/2025 10:45:16 AM Automated Docs/02691445-000 - PRGS - Executive/Arboriculture/02691445-000 - Block B Tower - 02/22/25

NOTE:
SEE PARKING LEGEND FOR ALL PARKING SPACE DIMENSIONS UNO.



NOTE:
SLOPE OF ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION TO ALL WALLS, CEILING, AND COLUMNS TO BE PAINTED WHITE.

AREA OF PAINTED FLOOR STRIPING



PARKING TABULATION - BLOCK B

GARAGE LEVEL P1	
TYPICAL STANDARD SPACE	97
TANDEM SPACES	6
COMPACT SPACES	80
STANDARD ACCESSIBLE SPACES	7
VAN ACCESSIBLE SPACES	3
TOTAL P1 SPACE COUNT	193

GARAGE LEVEL P2	
TYPICAL STANDARD SPACE	108
TANDEM SPACES	19
COMPACT SPACES	85
STANDARD ACCESSIBLE SPACES	7
VAN ACCESSIBLE SPACES	0
TOTAL P2 SPACE COUNT	219

TOTAL OVERALL SPACE COUNT	
	412

NOTE: TOTAL TANDEM SPACE COUNT EQUALS 25. TANDEM SPACE IS DEFINED AS THE INBOARD SPACE IN STACKED CONFIGURATION.

PRGS - Garage Phase 1

DSUP COMPLETENESS

1300 North Royal Street
Alexandria, VA 22314



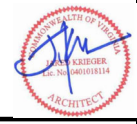
HRP Potomac, LLC
1189 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6564
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587

Date	Description
09/22/2023	CONCEPT II SUBMISSION
05/16/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - Garage Phase 1

Project Number

009.9145.900

Scale

1" = 30'-0"

Description

PARKING PLAN LEVEL P1_BLOCK B

A1P1B

APPROVED DEVELOPMENT SITE PLAN NO. DSUP#2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____

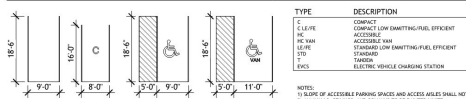
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

01 DSUP PARKING PLAN P1_BLOCK B
SCALE: 1" = 30'-0"

Autodesk Docs: 009.9145.900 - PRGS - Executive Architect/Architect - 009.9145.900 - Garage - 02/25/24
 T:\02025\131321.RVT

Autodesk Docs: 009.9145.900 - PRGS - Executive Architect/Architect - 009.9145.900 - Garage - 10/25/21
 7/10/2025 1:11:53 PM

NOTE:
SEE PARKING LEGEND FOR ALL PARKING SPACE DIMENSIONS UNO.



PARKING TABULATION - BLOCK B

GARAGE LEVEL P1	
TYPICAL STANDARD SPACE	97
TANDEM SPACES	6
COMPACT SPACES	80
STANDARD ACCESSIBLE SPACES	7
VAN ACCESSIBLE SPACES	3
TOTAL P1 SPACE COUNT	193

GARAGE LEVEL P2	
TYPICAL STANDARD SPACE	108
TANDEM SPACES	19
COMPACT SPACES	85
STANDARD ACCESSIBLE SPACES	7
VAN ACCESSIBLE SPACES	0
TOTAL P2 SPACE COUNT	219

TOTAL OVERALL SPACE COUNT	
	412

NOTE: TOTAL TANDEM SPACE COUNT EQUALS 25. TANDEM SPACE IS DEFINED AS THE INBOARD SPACE IN STACKED CONFIGURATION.

PRGS - Garage Phase 1

DSUP COMPLETENESS

1300 North Royal Street
Alexandria, VA 22314



HRP Potomac, LLC
1189 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6564
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587

Δ	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature



Project Name

PRGS - Garage Phase 1

Project Number

009.9145.900

Scale

1" = 30'-0"

Description

PARKING PLAN LEVEL P2_BLOCK B

A1P2B

APPROVED DEVELOPMENT SITE PLAN NO. DSUP#2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

01 DSUP PARKING PLAN P2_BLOCK B
SCALE: 1" = 30'-0"



BLOCK B - RENTAL ENTRY CANOPY PROJECTION



BLOCK B - TOWER PROJECTION



1 BLOCK B - DIAGRAM - PROJECTION PLAN
SCALE: 1" = 20'-0"

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
Alexandria VA 22314



Solomon Cordwell Buenz
625 N. Michigan, Suite 600
Chicago, IL 60611

Tel 312.896.1100
Fax 312.896.1200



HRP Potomac, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314

Tel 312.796.6564
Fax xxx.xxx.xxx

Gensler

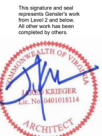
2020 K Street NW
Suite 200
Washington, DC 20006
United States

Tel 202.721.5200
Fax 202.872.8587

Date	Description
09/22/2023	CONCEPT II SUBMISSION
05/16/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

This signature and seal represents
SCB's scope of work from level 3
and above. All other work has
been completed by others.



Project Name
PRGS - Block B

Project Number
2022057

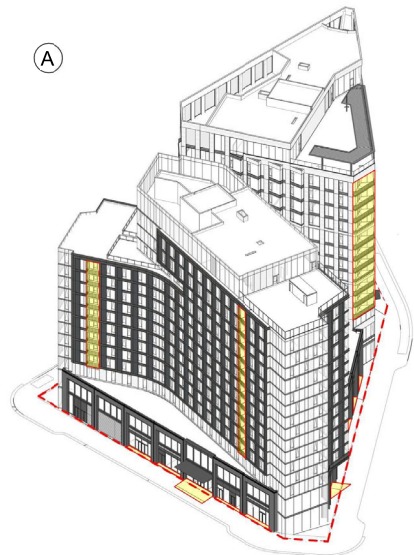
Scale
1" = 20'-0"

Description
ZONING - PROJECTIONS

A003



1 BLOCK B - DIAGRAM - BALCONY EXCLUSIONS
SCALE: 1" = 30'-0"



2 BLOCK B - DIAGRAM - GFA EXCLUSIONS
SCALE: 12" = 1'-0"

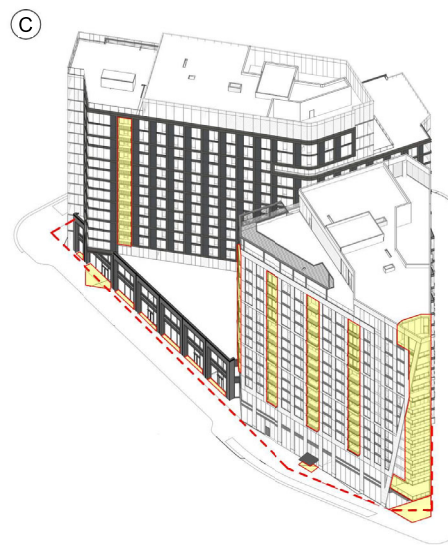
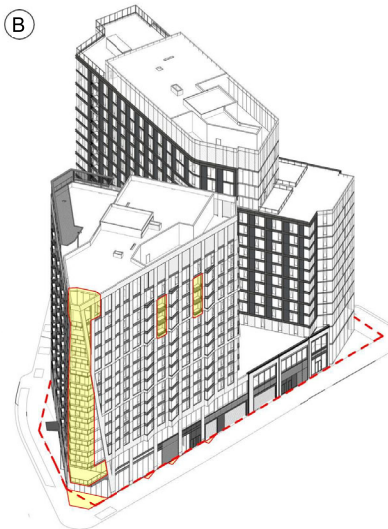



DIAGRAM COLOR LEGEND:
 **GFA EXCLUSIONS**

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
 Alexandria VA 22314



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611

Tel: 312.896.1100
 Fax: 312.896.1200



HRP Potomac, LLC
 1159 N Fairfax St, Suite 808
 Alexandria, VA 22314

Tel: 312.796.6564
 Fax: xxx.xxx.xxxx



2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States

Tel: 202.721.5200
 Fax: 202.472.8567

Δ	Date	Description
1	05/22/2023	CONCEPT II SUBMISSION
2	05/18/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

This signature and seal represents SCB's scope of work from level 3 and above. All other work has been completed by others.

This signature and seal represents Gensler's work from level 2 and below. All other work has been completed by others.




Project Name
PRGS - Block B

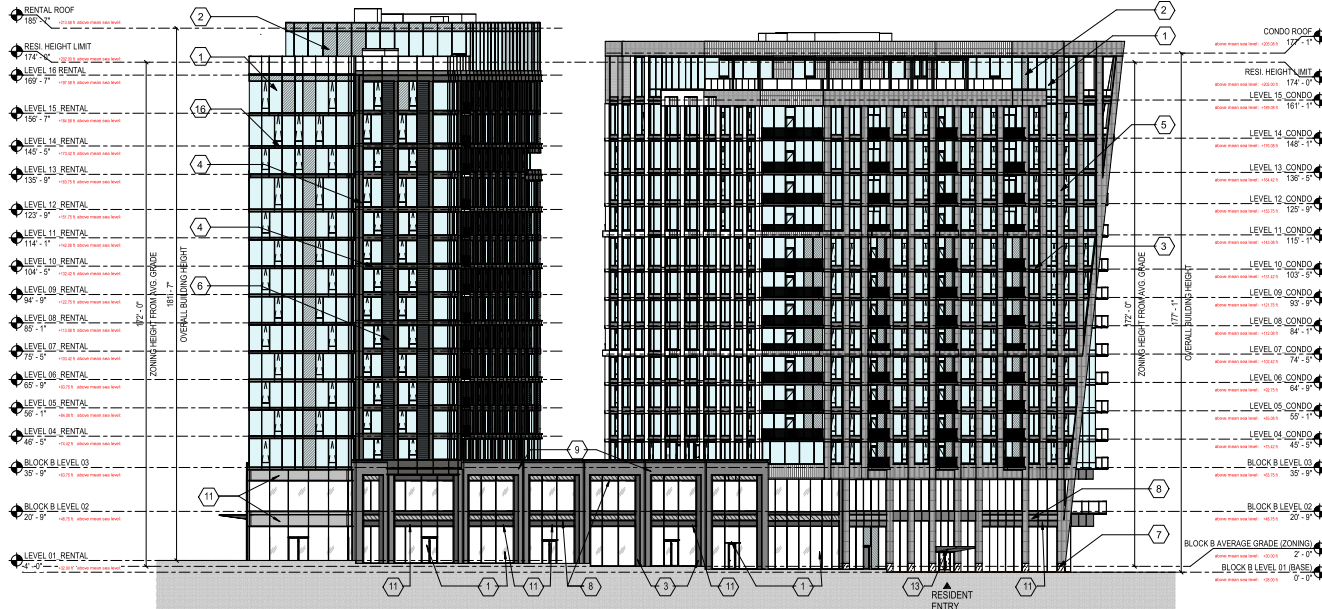
Project Number
2022057

Scale
As indicated

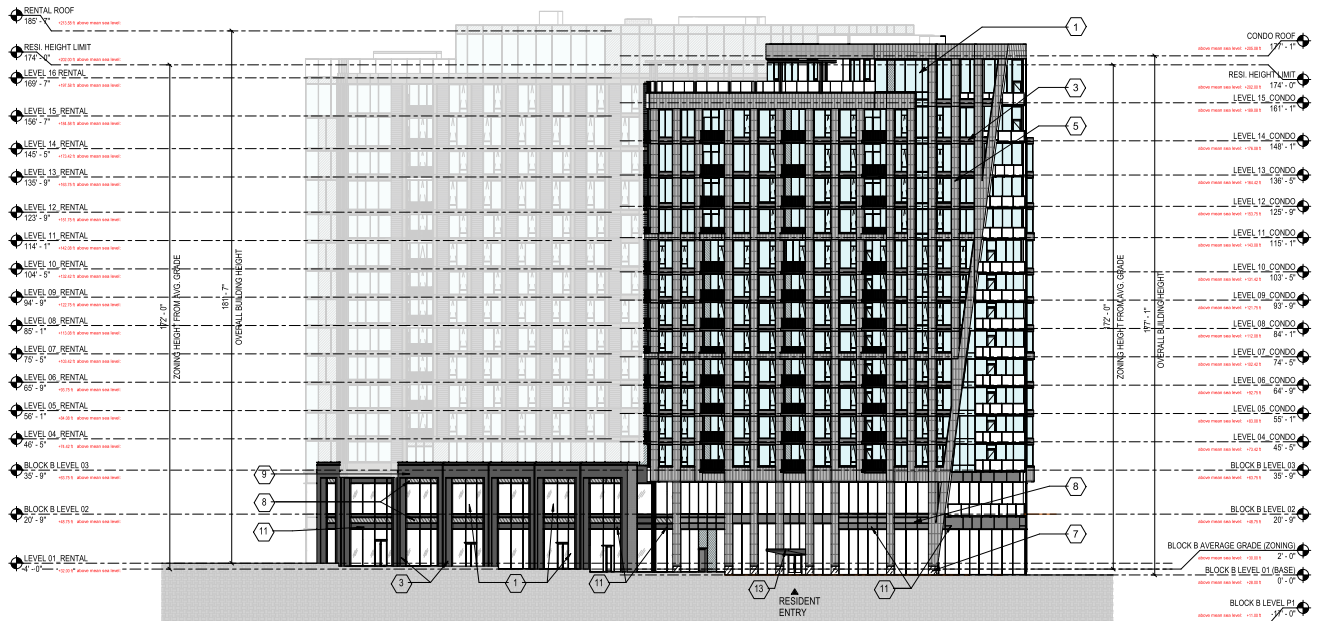
Description
GFA EXCLUSIONS

A004

6/27/2025 13:54:41 PM \\Ananta\Docs\039\145\030 - PRGS - Executive Architecture\Architect - 003\145\030 - Block B Tower - 0202.rvt



01 BLOCK B - BUILDING EAST ELEVATION
SCALE: 1" = 20'-0"



02 BLOCK B - BUILDING NORTH ELEVATION
SCALE: 1" = 20'-0"

EXTERIOR MATERIAL LEGEND

- 1 VISION GLASS
- 2 SPANDREL GLASS
- 3 METAL PANEL
- 4 TERRACOTTA PANEL OR TERRACOTTA PRECAST
- 5 METAL PANEL OR PRECAST
- 6 STONE
- 7 LOUVER
- 8 UNIT MANSORY
- 9 OVERHEAD DOOR
- 10 RETAIL SIGNAGE
- 11 PARKING/LOADING SIGNAGE
- 12 BUILDING SIGNAGE
- 13 TRANSFORMER ACCESS
- 14 TRANSLUCENT GLASS
- 15 SLAB EDGE METAL PANEL

THE MATERIALS LISTED ARE SUBJECT TO CHANGE AS PART OF THE FURTHER DEVELOPMENT TOWARD FINAL SITE PLAN. HOWEVER, THE SELECTED MATERIALS SHALL BE GENERALLY CONSISTENT WITH THE QUALITY OF MATERIALS APPROVED BY COUNCIL.

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
Alexandria VA 22314



HRP Potomac, LLC
1189 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6564
Fax: xxx.xxx.xxxx



2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587

#	Date	Description
1	09/22/2023	CONCERT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS
4	08/05/2025	VERIFICATION OF COMPLETENESS AND SUBMISSION

Seal / Signature

This signature and seal represents 50% a scope of work from level 3 and above. All other work has been completed by others.

This signature and seal represents Gensler's work from level 2 and below. All other work has been completed by others.

KELLY SOMERS
Lic. No. 0401020994
ARCHITECT

Project Name	PRGS - Block B
Project Number	009.9145.700
Scale	As indicated
Description	BUILDING ELEVATIONS
A200	

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

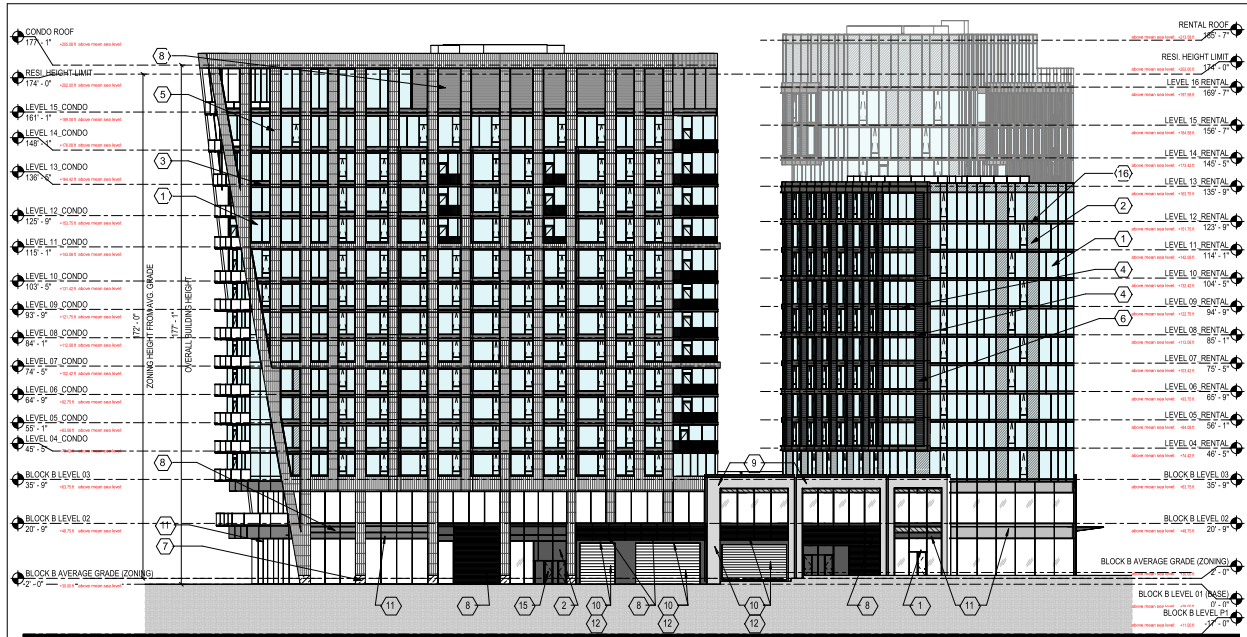
DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

File Path: D:\009\9145\00 - PRGS - Executive\Architect\Architect - 009\9145\00 - Block B\01.dwg
 Plot Date: 11/12/2025 10:42:22 AM



01 BLOCK B - BUILDING WEST ELEVATION
SCALE: 1" = 20'-0"

EXTERIOR MATERIAL LEGEND

- | | |
|--|----------------------------|
| 1 VISION GLASS | 9 UNIT MASONRY |
| 2 SPANDREL GLASS | 10 OVERHEAD DOOR |
| 3 METAL PANEL | 11 RETAIL SIGNAGE |
| 4 METAL PANEL | 12 PARKING/LOADING SIGNAGE |
| 5 TERRACOTTA PANEL OR TERRACOTTA PRECAST | 13 BUILDING SIGNAGE |
| 6 METAL PANEL OR PRECAST | 14 TRANSFORMER ACCESS |
| 7 STONE | 15 TRANSLUCENT GLASS |
| 8 LOUVER | 16 SLAB EDGE METAL PANEL |

THE MATERIALS LISTED ARE SUBJECT TO CHANGE AS PART OF THE FURTHER DEVELOPMENT TOWARD FINAL SITE PLAN.
HOWEVER, THE SELECTED MATERIALS SHALL BE GENERALLY CONSISTENT WITH THE QUALITY OF MATERIALS APPROVED BY COUNCIL.

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
Alexandria VA 22314



HRP Potomac, LLC
1189 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6564
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8587

Date	Description
09/22/2023	CONCEPT II SUBMISSION
05/16/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS
08/05/2025	VERIFICATION OF COMPLETENESS INC. SUBMISSION

Seal / Signature

This signature and seal represents the scope of work from level 3 and above. All other work has been completed by others.

This signature and seal represents Gensler's work from level 2 and below. All other work has been completed by others.

Project Name	PRGS - Block B
Project Number	009.9145.700
Scale	As indicated
Description	BUILDING ELEVATIONS

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

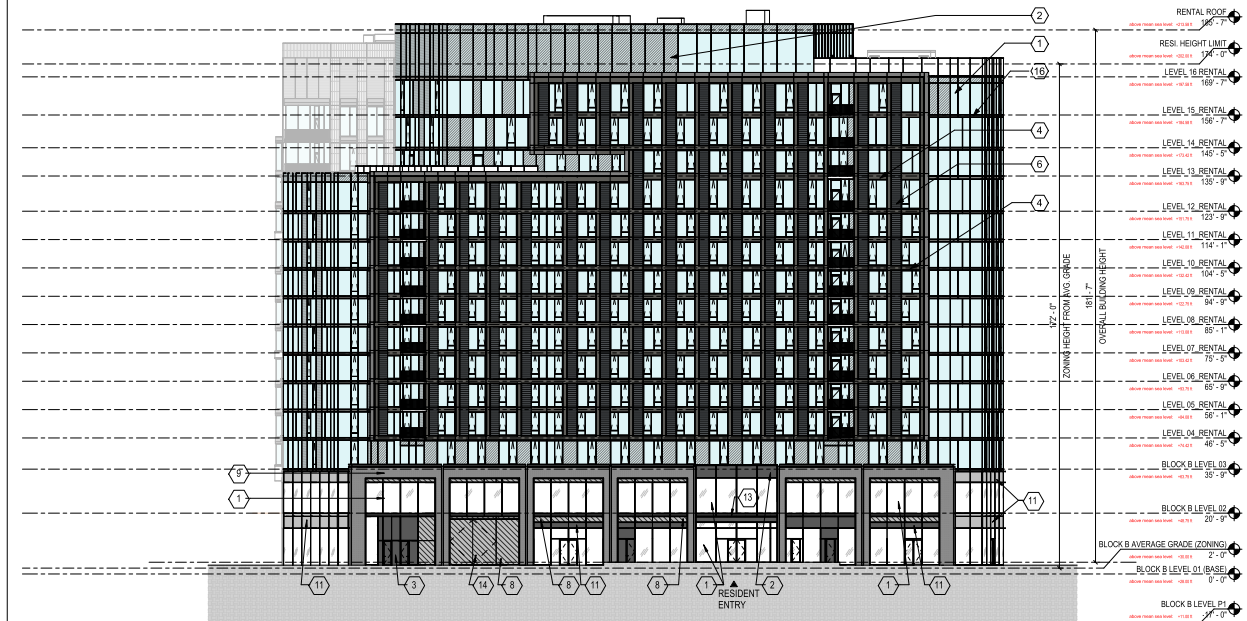
DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



02 BLOCK B - BUILDING SOUTH ELEVATION
SCALE: 1" = 20'-0"

Autodesk Docs:009.9145.900 - PRGS - Executive Architect/Architect - 009.9145.900 - Block B Potomac - 2025.rvt
 7/11/2025 10:03:31 AM

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
Alexandria VA 22314



Sobonm Cordwell Bauer
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.896.1100
Fax: 312.896.1200



HRP Potomac, LLC
1199 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6584
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.472.8587

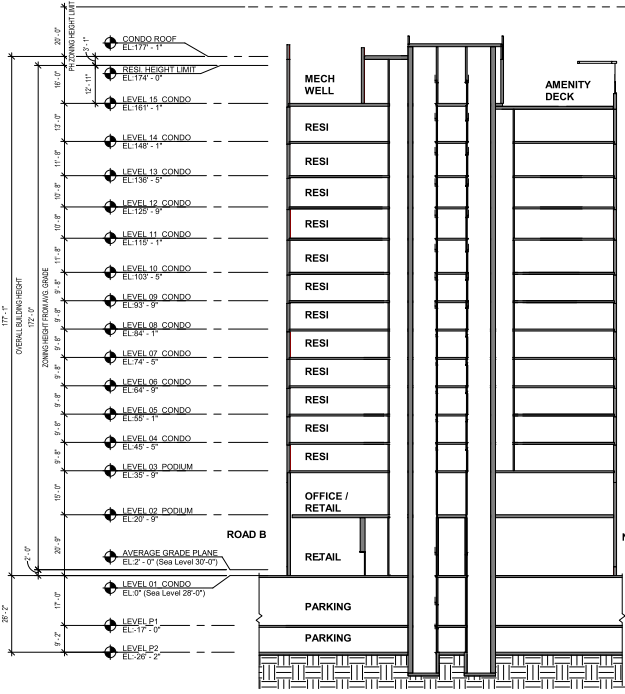
Date	Description
05/22/2023	CONCEPT II SUBMISSION
05/18/2025	COMPLETENESS SUBMISSION
07/11/2025	VERIFICATION OF COMPLETENESS
08/05/2025	VERIFICATION OF COMPLETENESS (2ND SUBMISSION)

Seal / Signature

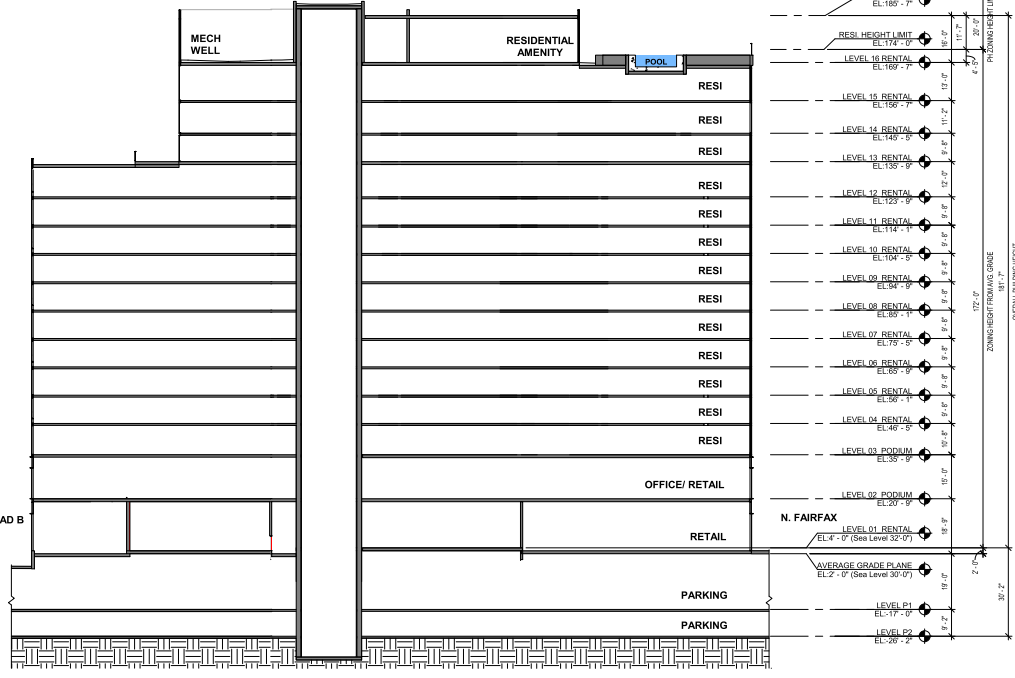
This signature and seal represents the scope of work from level 3 and above. All other work has been completed by others.

This signature and seal represents Gensler's work from level 2 and below. All other work has been completed by others.

Project Name	PRGS - Block B
Project Number	
2022057	
Scale	1" = 20'-0"
Description	BUILDING SECTIONS
A301	



2 SOUTH-NORTH SECTION
SCALE: 1" = 20'-0"



1 SOUTH-NORTH SECTION
SCALE: 1" = 20'-0"

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

Autodesk Docs: 020519145190 - PRGS - Executive Architectural Section - 03/21/25 9:00 - Block B Tower - 020514
 8/2025 5:19:47 PM



OVERALL VIEW LOOKING WEST ALONG POTOMAC RIVER

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
Alexandria VA 22314



Salomon Cordwell Buenz
625 N. Michigan, Suite 800
Chicago, IL 60611
Tel: 312.896.1100
Fax: 312.896.1200



HRP Potomac, LLC
1159 N Fairfax St, Suite 808
Alexandria, VA 22314
Tel: 312.796.6564
Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
Suite 200
Washington, DC 20006
United States
Tel: 202.721.5200
Fax: 202.872.8567

△	Date	Description
1	05/22/2023	CONCEPT II SUBMISSION
2	05/18/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

This signature and seal represents
SCD's scope of work from level 3
and above. All other work has
been completed by others.



Project Name

PRGS - Block B

Project Number

2022057

Scale

Description

BUILDING RENDERING

A400

APPROVED
DEVELOPMENT SITE PLAN NO. DSUP2025-10011
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

6/27/2025 12:30:11 PM \\Model\Drawings\03\144\00 - PRGS - Executive Renderings\03\144\00 - Block B Tower - 0222.rvt

Design Excellence

BLOCK B CONDO – VIEW FROM WATERFRONT



- C1
- C1A
- C1B
- C2
- C3
- C4

DESIGN CRITERIA

- C1** Architectural Excellence achieved using Landmark/ Iconic Structure; or Contextual Character.
- C1A** Landmark/Iconic Structure. A single building that, through its architectural expression, becomes a place- defining element for the site.
- C1B** Contextual Character. A building or group of buildings whose design responds to its contextual location to create a meaningful place.
- C2** A variety of high-quality open spaces. A variety of open spaces on, within, or adjacent to the site which contribute to the regional open space network.
- C3** An active public realm. Dynamically engage the pedestrian experience and ground floors of buildings.
- C4** Building and open space design responds to the needs of diverse users and meets or exceeds the requirements of the Americans with Disabilities Act.

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
 Alexandria VA 22314



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.896.1100
 Fax: 312.896.1200



HRP Potomac, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.796.6564
 Fax: xxx.xxx.xxx

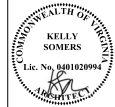
Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.472.8567

Δ	Date	Description
1	05/22/2023	CONCEPT II SUBMISSION
2	05/18/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

This signature and seal represents
 DSUP's scope of work from level 3
 and above. All other work has
 been completed by others.



Project Name

PRGS - Block B

Project Number

2022057

Scale

Description

DESIGN EXCELLENCE

A402

Design Excellence

BLOCK B RENTAL – VIEW FROM WEST



- C1
- C1A
- C1B
- C2
- C3
- C4

DESIGN CRITERIA

- C1** Architectural Excellence achieved using Landmark/ Iconic Structure; or Contextual Character.
- C1A** Landmark/Iconic Structure. A single building that, through its architectural expression, becomes a place- defining element for the site.
- C1B** Contextual Character. A building or group of buildings whose design responds to its contextual location to create a meaningful place.
- C2** A variety of high-quality open spaces. A variety of open spaces on, within, or adjacent to the site which contribute to the regional open space network.
- C3** An active public realm. Dynamically engage the pedestrian experience and ground floors of buildings.
- C4** Building and open space design responds to the needs of diverse users and meets or exceeds the requirements of the Americans with Disabilities Act.

APPROVED
 DEVELOPMENT SITE PLAN NO. DSUP2025-10011
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

PRGS - Block B

DSUP COMPLETENESS

1300 North Royal Street
 Alexandria VA 22314



Solomon Cordwell Buenz
 625 N. Michigan, Suite 800
 Chicago, IL 60611
 Tel: 312.896.1100
 Fax: 312.896.1200



HRP Potomac, LLC
 1199 N Fairfax St, Suite 808
 Alexandria, VA 22314
 Tel: 312.796.6564
 Fax: xxx.xxx.xxxx

Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel: 202.721.5200
 Fax: 202.472.8567

△	Date	Description
1	09/22/2023	CONCEPT II SUBMISSION
2	05/16/2025	COMPLETENESS SUBMISSION
3	07/11/2025	VERIFICATION OF COMPLETENESS

Seal / Signature

This signature and seal represents the scope of work from level 3 and above. All other work has been completed by others.



Project Name

PRGS - Block B

Project Number

2022057

Scale

Description

DESIGN EXCELLENCE

A403

