

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Deven McGraw and David Parker

LOCATION: Old and Historic Alexandria District
115 Quay Street

ZONE: RM

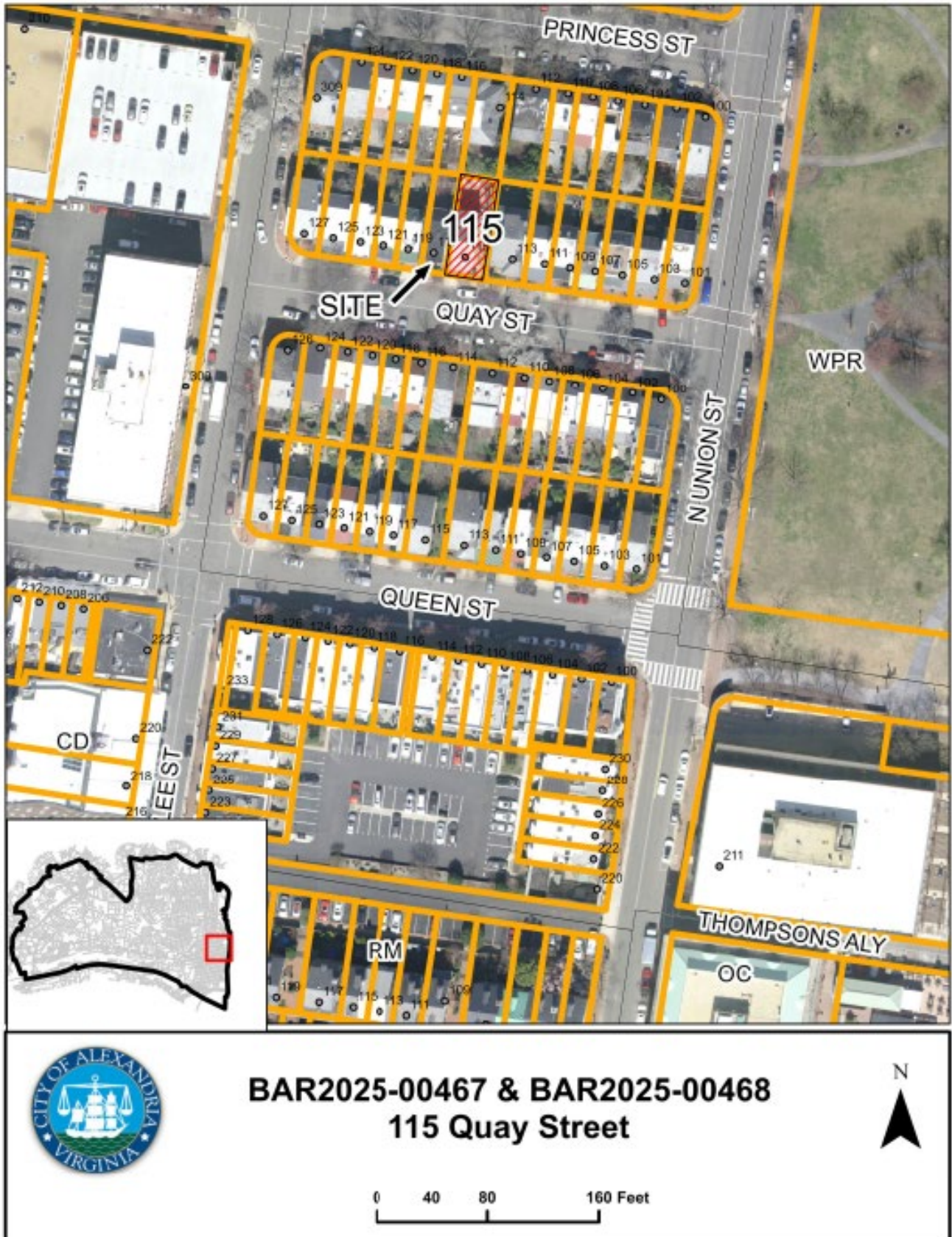
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations, noting the recommendations of Alexandria Archaeology, with the following conditions:

1. Work with staff to modify the alignment of the windows on the south and east elevations to be more symmetrical.
2. Awning hardware should be installed into the mortar joints to avoid damage to the brick.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2025-00467) and Certificate of Appropriateness (BAR #2025-00468) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

Note: Several alterations included in the application, such as alterations to the rear (north) elevation, will not be visible from a public right-of-way and thus are not discussed in this report.

Permit to Demolish/Capsulate

The applicant requests a Permit to Demolish/Capsulate to:

- Demolish portions of wall for new and larger window/door openings
- Demolish portions of the roof to alter the roof line and create a roof deck

Certificate of Appropriateness

The applicant requests a Certificate of Appropriateness to:

- Replace all windows on the south (front) and east (side) elevations
- Add two dormer windows on the south elevation
- Replace entry door/sidelights and garage door on the south elevation
- Add a metal awning above the entry door on the south elevation
- Add new windows on the east elevation
- Limewash all existing brick surfaces
- Change the roof line from a gable roof to a faux mansard roof
- Change the roof material from asphalt shingles to standing seam metal
- Add a roof deck with a cable railing and an exterior staircase
- Repair/repoint and extend an existing chimney, as required

The applicant has provided the following specifications for the proposed alterations:

- The windows will be aluminum-clad wood windows with Simulated Divided Lites
- The entry door will be a full-lite wood door with sidelites
- The garage door will be black anodized aluminum with 8 frosted glass panels
- The roof deck cable rail will be metal

The existing and proposed elevations can be seen in figures 1-2 below:



Figure 1. Existing front (south) and side (east) elevations.

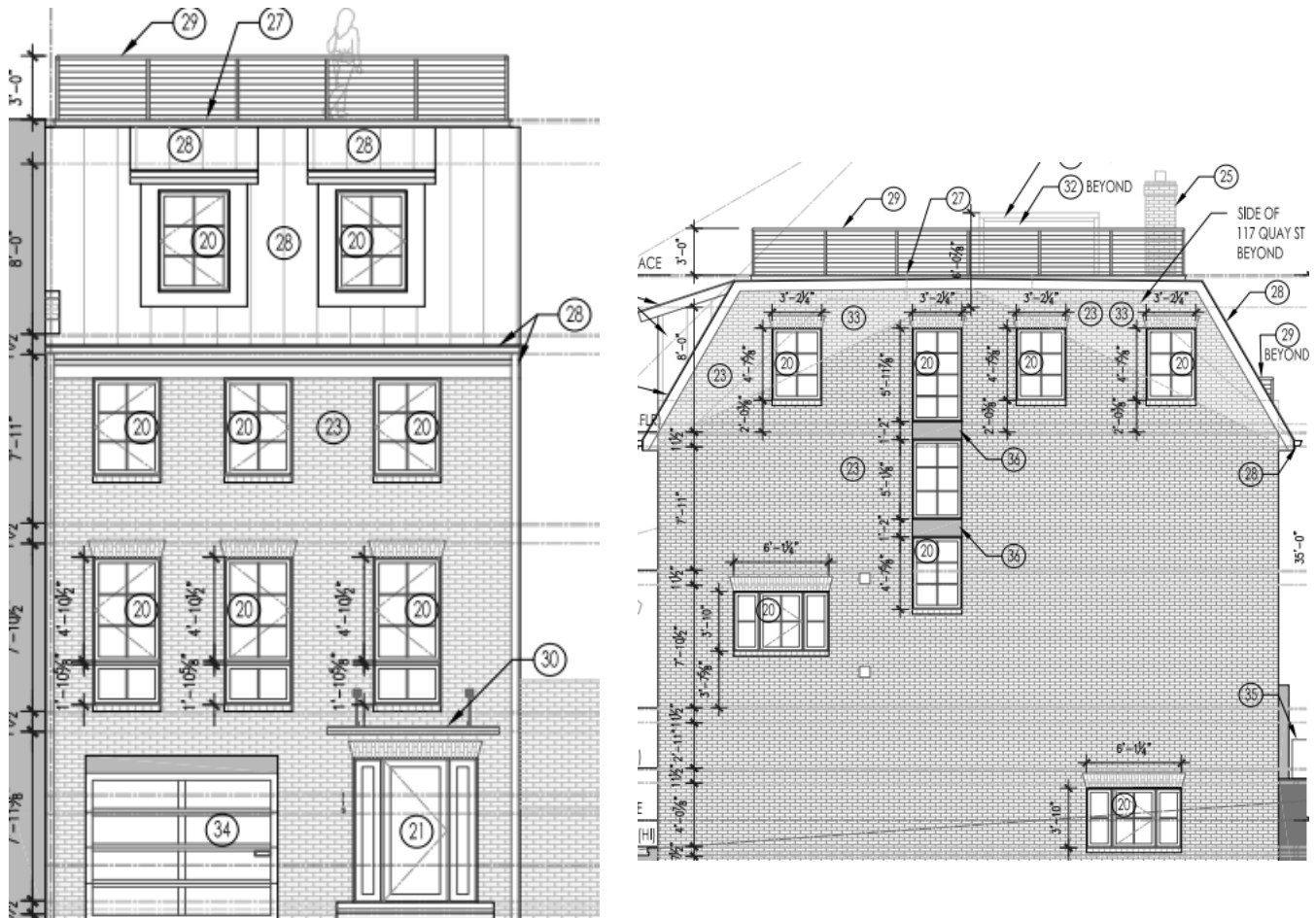


Figure 2. Proposed front (south) and side (east) elevations.

Site context

The subject property is bound by Quay Street to the south and on all other sides by neighboring townhomes. The alterations will primarily be visible from Quay Street. Due to the property's mid-block location, it is likely that the alterations will be only minimally visible from both North Union Street and North Lee Street.

HISTORY

The dwelling at 115 Quay Street is one of a group of 86 brick townhouses bounded by North Union, North Lee, Queen and Oronoco streets which was approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. The attached brick townhouses are similar in design with a garage door and front entrance on the first floor and punched window openings or bay windows on the second floor, all with simple vernacular Colonial Revival detailing. This area was not included in the Old and Historic Alexandria District between the late 1960s and June of 1984 and, based on staff's research, was included in the district at that time, a little more than 10 years after these townhouses were built, at the request of the property owners who lived there at

the time. The Board has reviewed and approved well over a hundred additions and/or alterations (bay windows, roof decks and dormers primarily) to houses in this development since 1984.

Previous BAR Approvals
BAR2019-00267

Roof repair

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met as the building was constructed in the early 1970s and has not achieved historic significance. The townhouse is typical of the types of vernacular townhomes constructed in Alexandria in the mid-to-late 20th century. The demolition does not remove any portion of the building containing character-defining features of uncommon design or historic merit and does not compromise the integrity of the

building. Staff therefore has no objection to the demolition/capsulation and recommends approval of the Permit to Demolish/Capsulate.

Certificate of Appropriateness

This townhome is part of a larger development of non-historic townhouses where the BAR has approved substantial alterations and redesigns since this development was included in the historic district in the 1980s. These townhouses lack historic significance or architectural distinction – they have a vaguely Colonial Revival character with the street level devoted to multiple curb cuts and garage doors – and in the opinion of staff, alterations to the building’s architectural style and character are appropriate.

The immediate context for this project is the other c. 1971 townhomes on the surrounding blocks. The townhomes on these blocks of Quay and Princess Streets vary in height and scale. While most are three stories, several have received BAR approval to construct roof decks, and others have received BAR approval to add a fourth floor. The roof decks and additions that have been approved by the Board have incorporated various contemporary designs that are appropriate for these modern townhomes. Allowing the subject property to add a roof deck and other modern alterations would be compatible with several projects that the Board has already approved in recent years.

In cases such as this, where there is no historic context to protect, the BAR has given applicants a good deal of latitude to alter the original architectural style and to accommodate personal taste, as long as the proposal itself is well-designed. Staff believes that the overall design of the proposed alterations is generally appropriate:

- The window and door specifications, while introducing new configurations, all comply with the *Design Guidelines* and are appropriate for this modern building.
- The *Design Guidelines* say that “awnings and canopies should be designed in styles and materials that are appropriate and sympathetic to the age and architectural style of the building.” The proposed metal awning above the entry door is an appropriate modern design for the style of this building and is similar to other residential awnings installed around the district, such as on the 600 block of North Saint Asaph Street.
- The addition of dormer windows, and the change in roof style and material, is appropriate and is similar to alterations done on other buildings in the surrounding development.
- The roof deck will have a metal cable railing, composite decking, an exterior staircase, and fiber cement siding. The decking will likely not be visible from the public right-of-way and the fiber cement siding will likely be minimally visible, if at all.

However, staff does have some concerns about the alignment of the windows. On the south (front) elevation, the three window bays do not align with the two dormer windows, and on the east (side) elevation, the windows do not align horizontally. The Board had concerns about the symmetry of the window alignment on another recent case nearby, at 114 Princess Street (BAR2024-00404). In that case, the Board approved the addition of several windows on the side elevation but required the applicant to work with staff on the alignment to make it more symmetrical. Staff is happy to work with the applicant of the subject property in a similar way.

Furthermore, the applicant has requested to limewash all masonry surfaces on the subject property. Staff supports this request. The *Design Guidelines* have been designed in a way to distinguish what is appropriate in one part of the district or at one building from what may not be appropriate in other areas or on other buildings so each request is reviewed on a case-by-case basis. Various buildings in this development have received BAR approval in recent years to paint or limewash the masonry:

- 101 Princess Street, painting unpainted red brick white (BAR2013-00036)
- 107 Princess Street, limewashing (BAR2023-00160)
- 114 Princess Street, limewashing (BAR2024-00404)

Approving the limewashing at 115 Quay Street would not introduce a new feature to the surrounding development. Staining or limewashing is less damaging to brick than paint, and limewashing is somewhat reversible. For these reasons, staff supports limewashing of the masonry on the subject property.

Therefore, staff recommends approval of the Certificate of Appropriateness for alterations, with the following conditions:

1. Work with staff to modify the alignment of the windows on the south and east elevations to be more symmetrical.
2. Awning hardware should be installed into the mortar joints to avoid damage to the brick.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed new third story with roof top deck and new HVAC unit will comply with Zoning.

C-2 Mechanical waiver will need to be submitted on APEX prior to the release of the building permit. Or moved to meet the required 5'

F-1 New HVAC is located in the required five-foot side setback.

F-2 Ridge line of the roof is parallel to the street. Height is allowed to go up to 45 feet. Proposed height is 39 feet from average post construction grade to the top of the outdoor kitchen wall.

Code Administration

A building permit is required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 During the Civil War, this property was the site of a lumber yard. By 1877, according to the GM Hopkins Insurance Atlas, the lot was located on property owned by Lee & Brothers, a plaster mill. By the early twentieth century, the property had been transformed into a fertilizer factory, with a grinding and mixing mill replacing the plaster mill. The potential for archaeological resources on the property is low.

- *R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- *R-2 The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements..

V. ATTACHMENTS

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Public comment

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ **ZONING:** _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable):* ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ **Yes** ☐ **No** Is there an historic preservation easement on this property?
☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
☐ **Yes** ☒ **No** Is there a homeowner's association for this property?
☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A

☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.

☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Karen Conkey

Date: 10/27/2025

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Deven McGraw /David Park	[REDACTED]	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 115 Quay Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1 Deven McGraw /David Park	[REDACTED]	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Karen Conkey	spouse	William Conkey
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/27/2025

Date

Karen Conkey

Printed Name



Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 115 Quay Street, Alexandria, VA 22314
Street Address

RM

Zone

A2. 2,051.00 x 1.50 = 3,076.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 874.39

First Floor 874.39

Second Floor 874.39

Third Floor

Attic 874.39

Porches

Balcony/Deck

Lavatory***

Other**

Allowable Exclusions**

Basement** 389.92

Stairways** 194.10

Mechanical** 35.77

Attic less than 7'*** 694.95

Porches**

Balcony/Deck**

Lavatory*** 128.57

Other**

Other**

B1. 3,497.56 Sq. Ft.

Existing Gross Floor Area*

B2. 1,443.31 Sq. Ft.

Allowable Floor Exclusions**

B3. 2,054.25 Sq. Ft.

Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross

3,497.56

B2. Total Exclusions

1,443.31

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor

Second Floor

Third Floor 612.63

Attic

Porches

Balcony/Deck

Lavatory***

Other AWNING 20.00

Allowable Exclusions**

Basement**

Stairways** 72.63

Mechanical** 18.75

Attic less than 7'*** 78.47

EAVES

Porches**

Balcony/Deck**

Lavatory*** 82.08

Other**AWNING 20.00

Other**

C1. 632.63 Sq. Ft.

Proposed Gross Floor Area*

C2. 271.93 Sq. Ft.

Allowable Floor Exclusions**

C3. 360.70 Sq. Ft.

Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross

632.63

C2. Total Exclusions

271.93

D. Total Floor Area

D1. 2,414.95 Sq. Ft.

Total Floor Area (add B3 and C3)

D2. 3,076.50 Sq. Ft.

Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 808.15 Sq. Ft.

Existing Open Space

E2. 717.85 Sq. Ft.

Required Open Space

E3. 787.99 Sq. Ft.

Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

16

Date:

10/27/2025



115 Quay Street, Alexandria, VA 22314

PHOTO OF EXISTING FRONT ELEVATION

CLIENT:

Deven McGraw & David Parker
117 Quay Street
Alexandria, VA 22314

27 OCTOBER 2025

COPYRIGHT ©

ARCHITECT:

407 south lee street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

Conkey | architects

BAR APPLICATION

ASK
1.1A

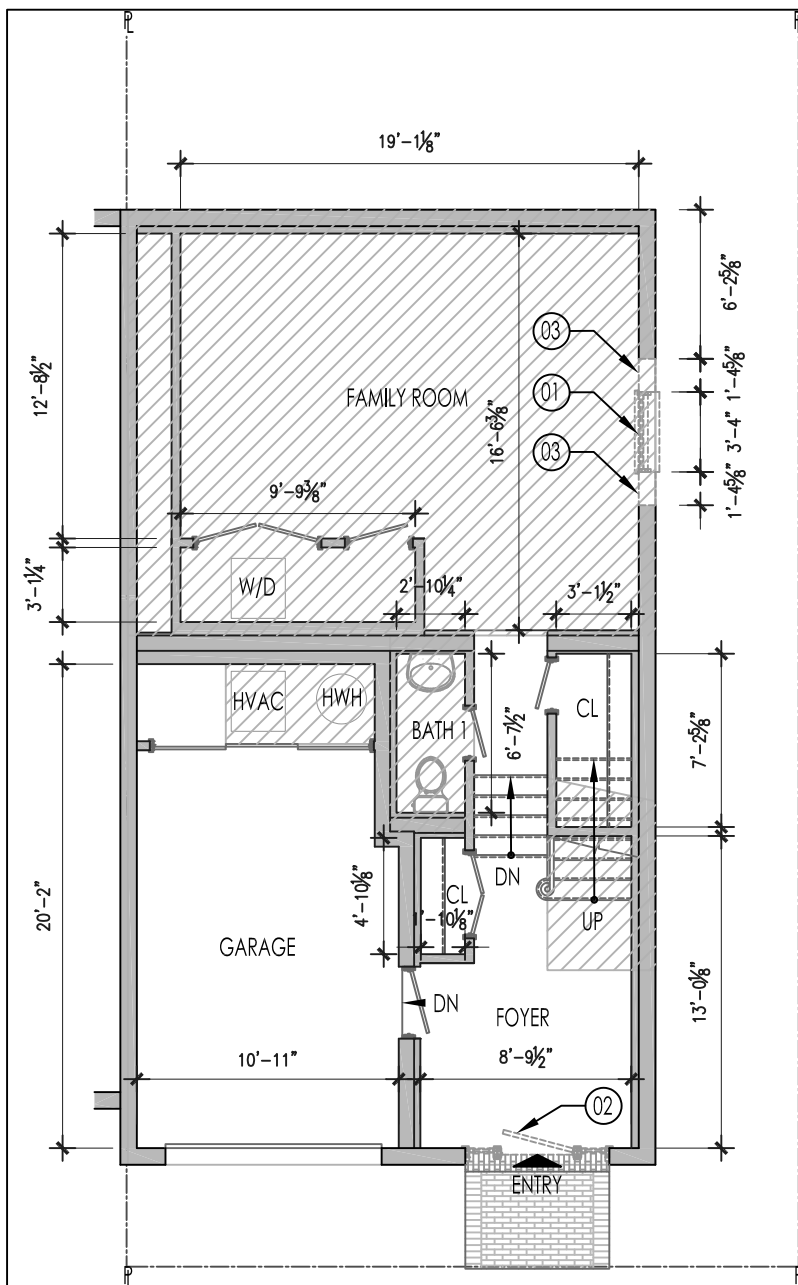
NOT FOR CONSTRUCTION



115 Quay Street, Alexandria, VA 22314			BAR APPLICATION
PHOTO OF EXISTING SIDE ELEVATION		COPYRIGHT ©	
CLIENT: Deven McGraw & David Parker 117 Quay Street Alexandria, VA 22314		ARCHITECT:	407 south lee street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com
		27 OCTOBER 2025	Conkey architects
			ASK 1.1B NOT FOR CONSTRUCTION



115 Quay Street, Alexandria, VA 22314				BAR APPLICATION ASK 1.1C NOT FOR CONSTRUCTION		
PHOTO OF EXISTING REAR ELEVATION			COPYRIGHT ©			
CLIENT: Deven McGraw & David Parker 117 Quay Street Alexandria, VA 22314			ARCHITECT: <div>407 south lee street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com</div>			
		27 OCTOBER 2025	Conkey architects			



FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03	WALL TO BE REMOVED
	EXISTING OPEN SPACE	04	DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	05	ROOFING TO BE REMOVED
		06	CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
		07	MTL MECH HATCH TO BE REMOVED

NEW WORK NOTES	
20	ALUM CLAD WD WINDOW
21	WD DOOR W/ SIDELIGHTS
22	ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL
23	LIMEWASHED BRICK
24	PTD FIBER CEMENT SIDING & TRIM
25	BRICK CHIMNEY TO BE EXTENDED AS REQ'D
26	COMPOSITE STAIRS
27	ROOF DECK W/ MEMBRANE ROOFING
28	PRE-FINISHED MTL ROOFING, CLADDING, GUTTERS, DOWNSPOUTS & TRIM
29	MTL CABLE RAIL
30	MTL AWNING W/ LIGHTS
31	EXTERIOR LIGHT FIXTURE
32	STONE CLAD OUTDOOR KITCHEN
33	MASONRY VENEER TO MATCH ADJACENT
34	ALUM CLAD & GLASS GARAGE DOOR
35	HVAC UNIT
36	PTD DEC MTL CHANNEL

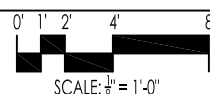
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115 Quay Street, Alexandria, VA 22314

EXISTING BASEMENT PLAN

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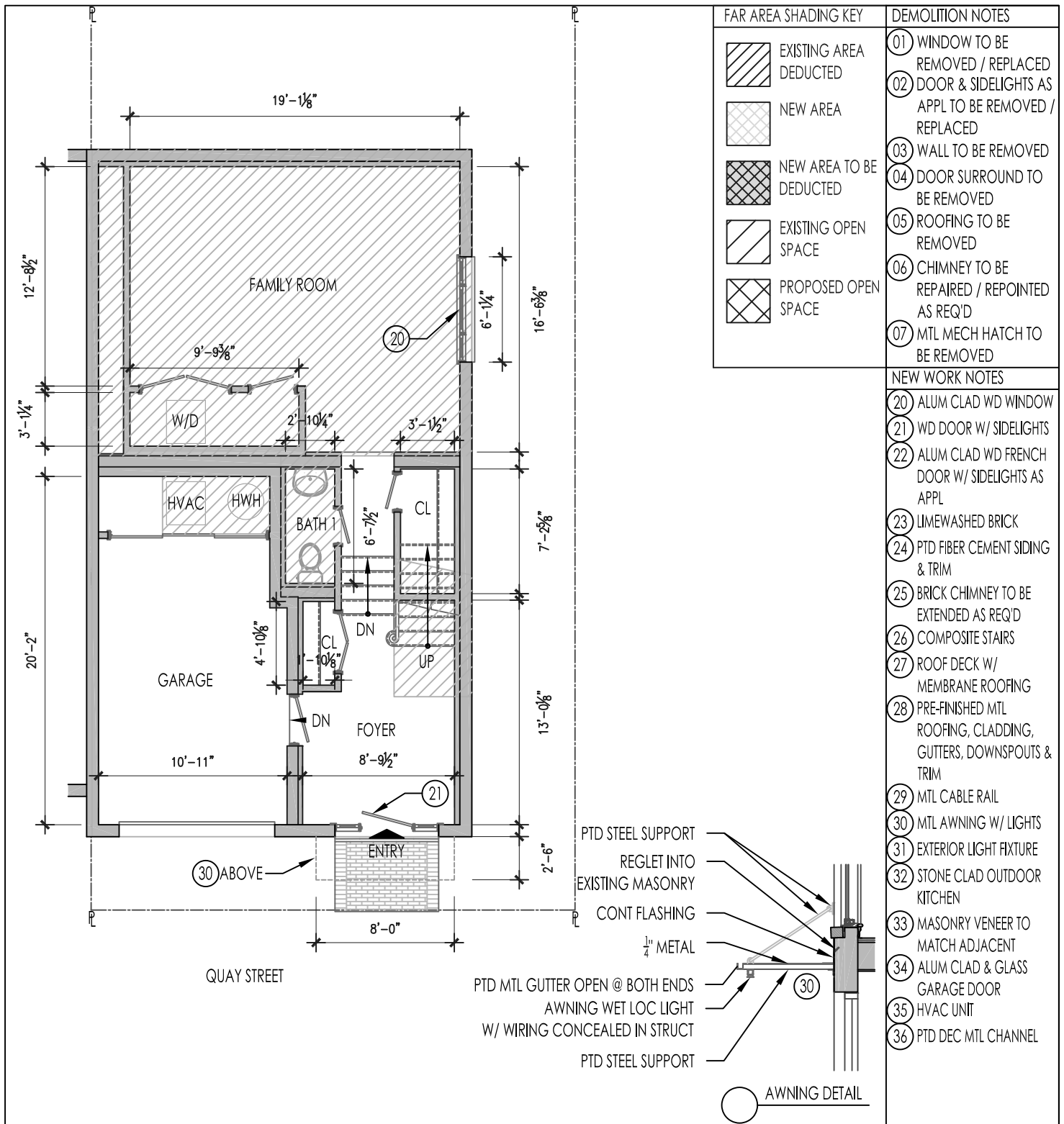
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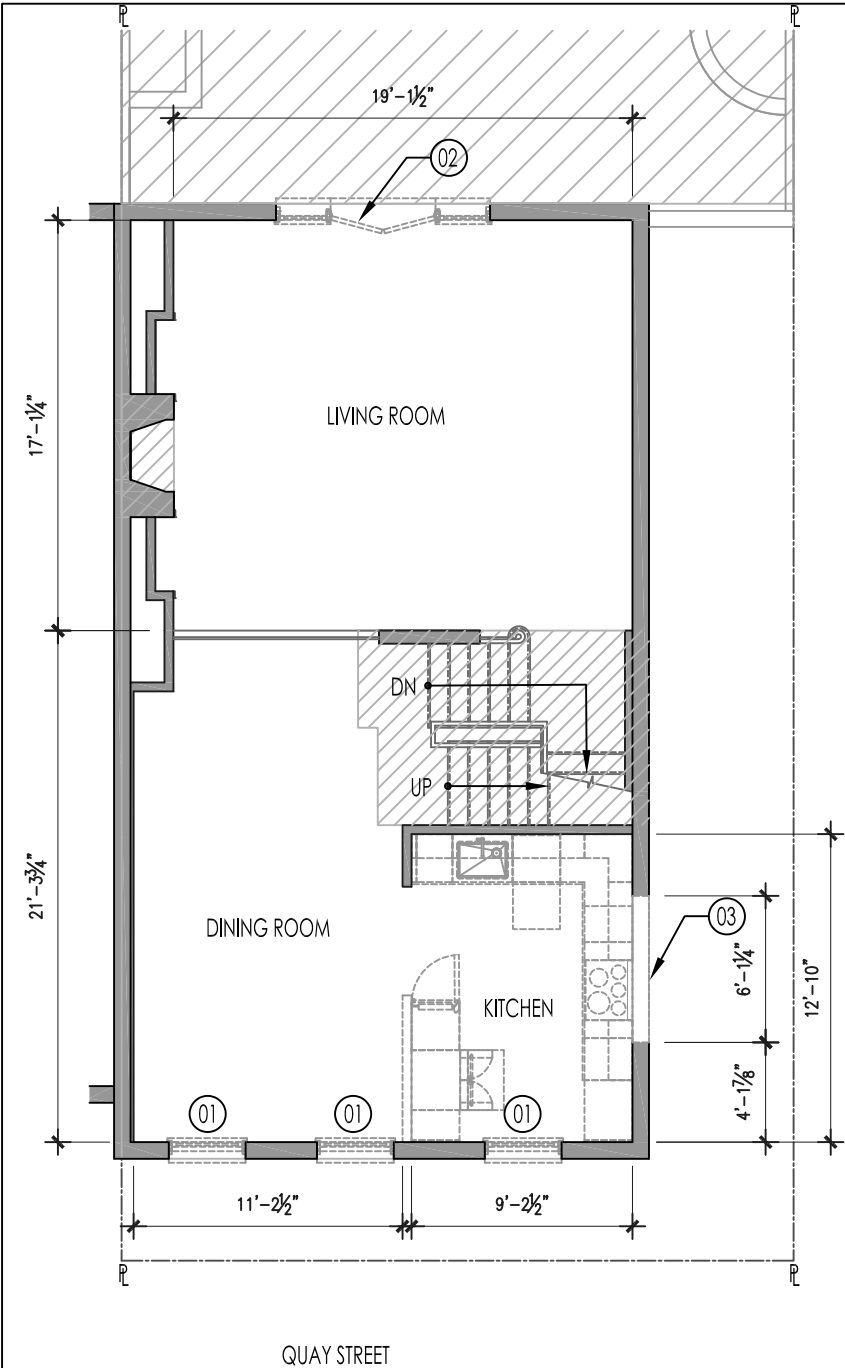


FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03	WALL TO BE REMOVED
	EXISTING OPEN SPACE	04	DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	05	ROOFING TO BE REMOVED
		06	CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
		07	MTL MECH HATCH TO BE REMOVED

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34	ALUM CLAD & GLASS GARAGE DOOR
35	HVAC UNIT
36	PTD DEC MTL CHANNEL

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FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
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EXISTING 1ST FLOOR PLAN

CLIENT:
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N

SCALE: 1/8" = 1'-0"

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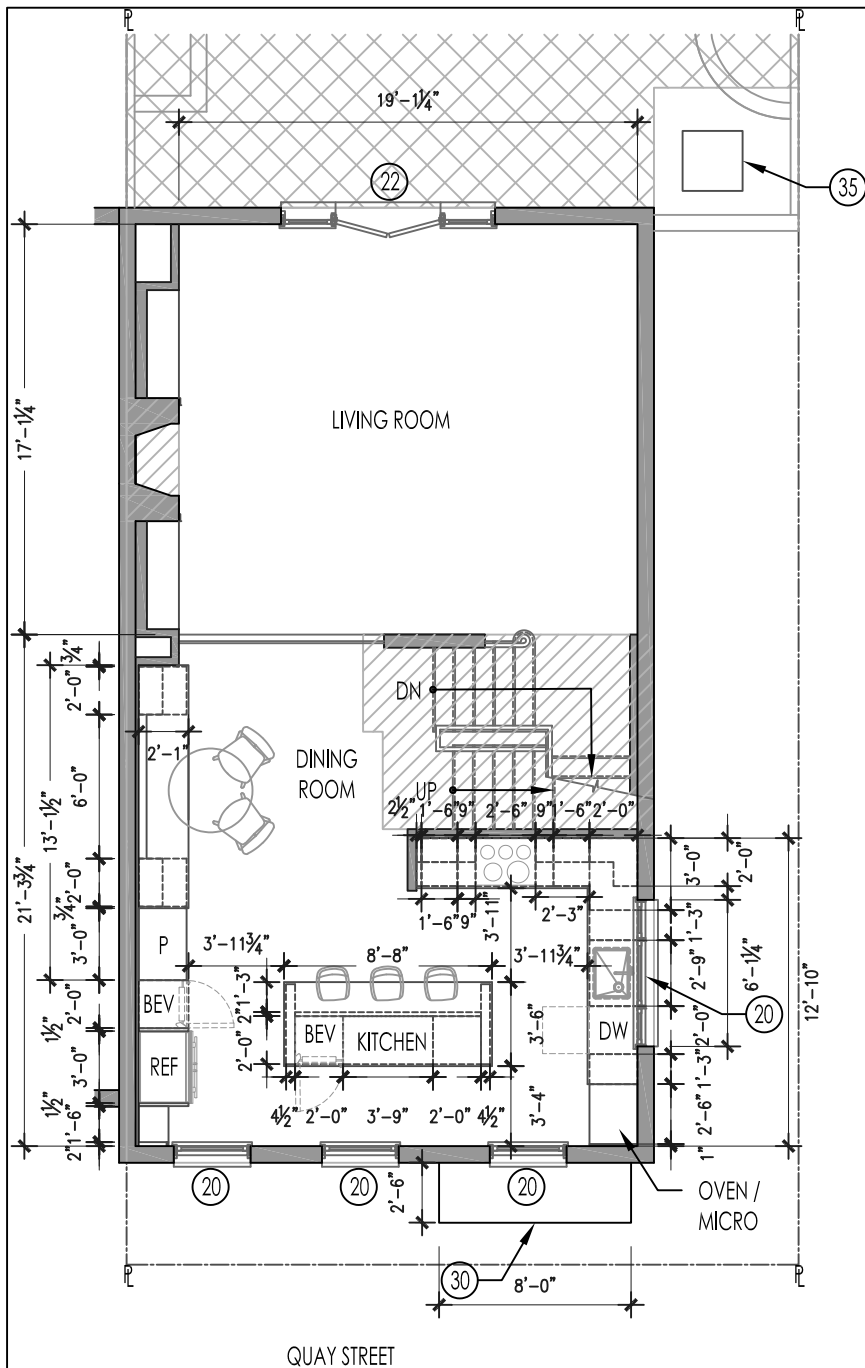
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FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03	WALL TO BE REMOVED
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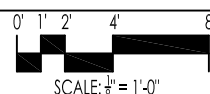
NEW WORK NOTES	
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PROPOSED 1ST FLOOR PLAN

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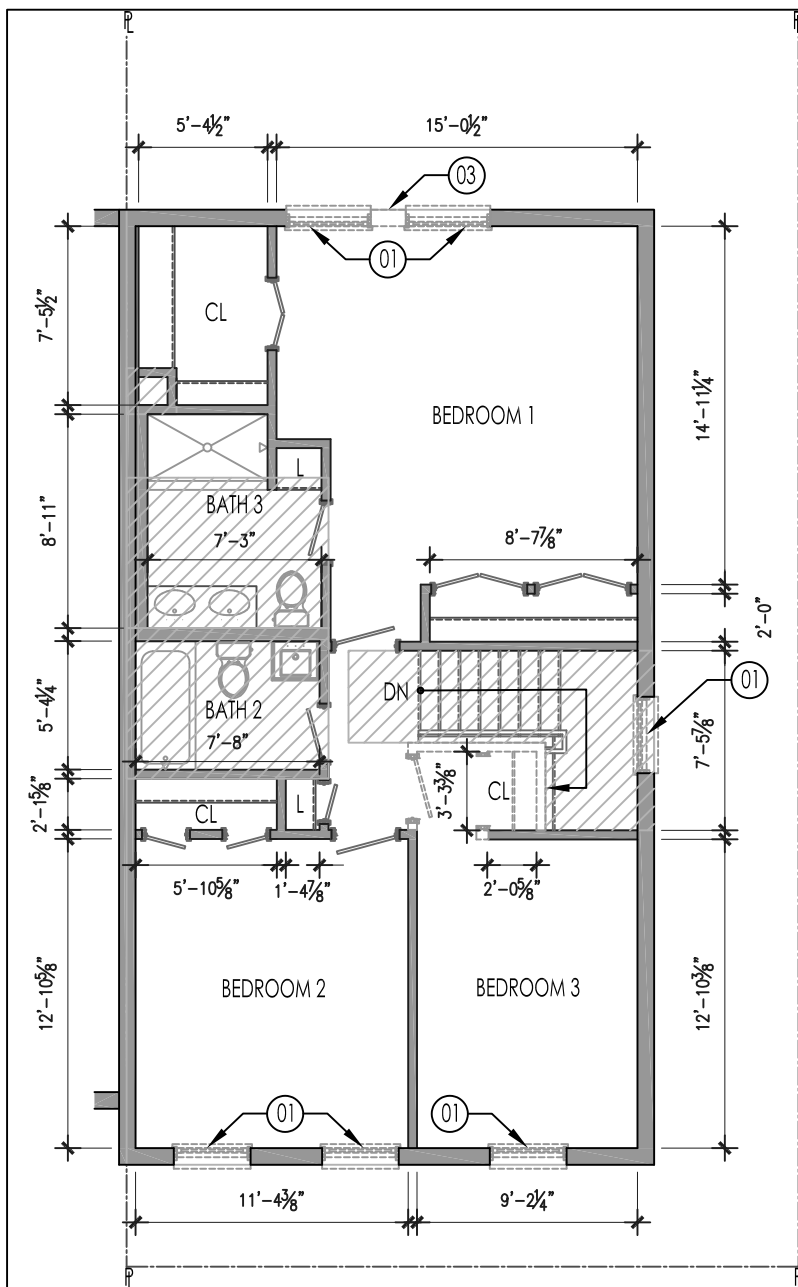
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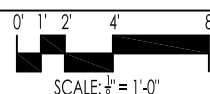
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EXISTING 2ND FLOOR PLAN

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FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03	WALL TO BE REMOVED
	EXISTING OPEN SPACE	04	DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	05	ROOFING TO BE REMOVED
		06	CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
		07	MTL MECH HATCH TO BE REMOVED

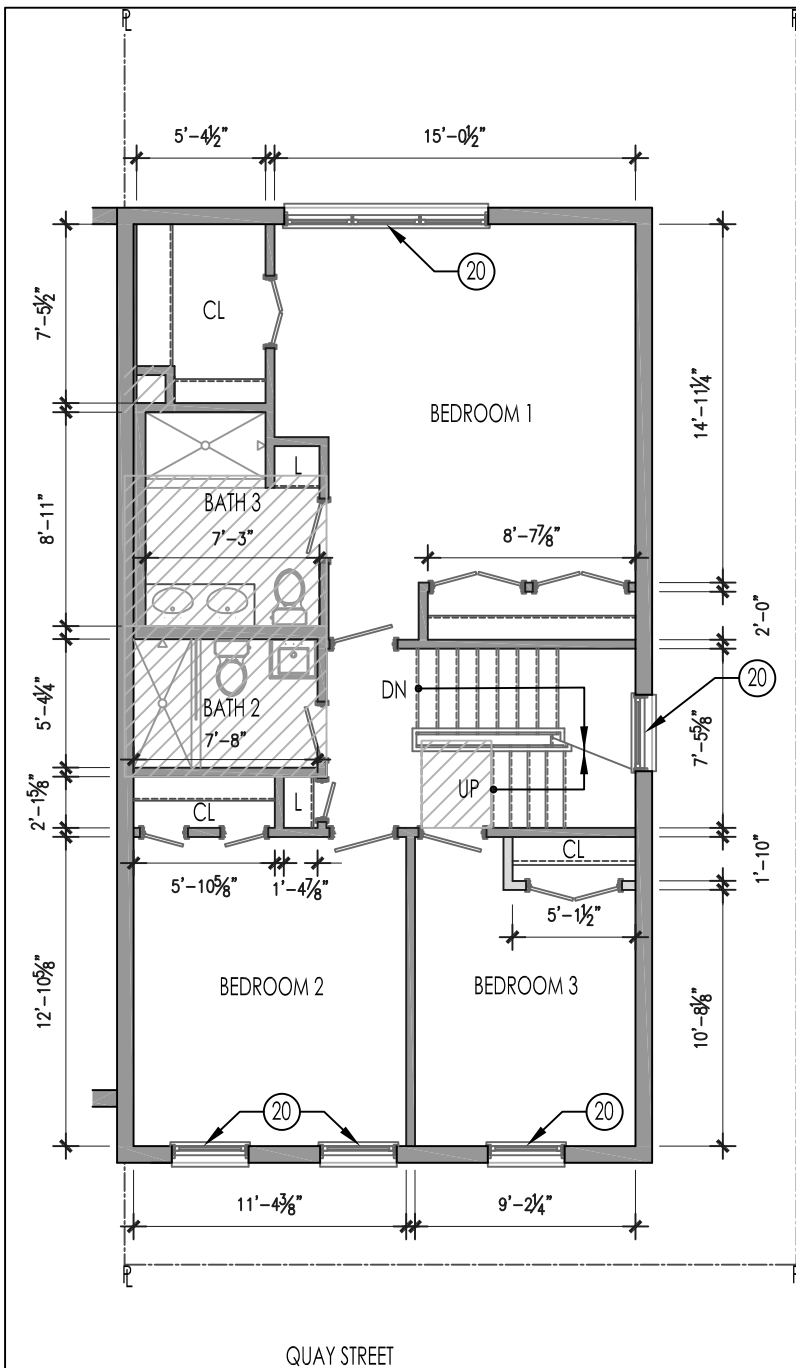
NEW WORK NOTES

- 20 ALUM CLAD WD WINDOW
- 21 WD DOOR W/ SIDELIGHTS
- 22 ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL
- 23 LIMEWASHED BRICK
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- 33 MASONRY VENEER TO MATCH ADJACENT
- 34 ALUM CLAD & GLASS GARAGE DOOR
- 35 HVAC UNIT
- 36 PTD DEC MTL CHANNEL

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FAR AREA SHADING KEY		DEMOLITION NOTES
	EXISTING AREA DEDUCTED	(01) WINDOW TO BE REMOVED / REPLACED
	NEW AREA	(02) DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	(03) WALL TO BE REMOVED
	EXISTING OPEN SPACE	(04) DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	(05) ROOFING TO BE REMOVED
		(06) CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
		(07) MTL MECH HATCH TO BE REMOVED

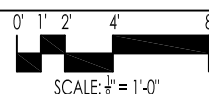
NEW WORK NOTES	
(20)	ALUM CLAD WD WINDOW
(21)	WD DOOR W/ SIDELIGHTS
(22)	ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL
(23)	LIMEWASHED BRICK
(24)	PTD FIBER CEMENT SIDING & TRIM
(25)	BRICK CHIMNEY TO BE EXTENDED AS REQ'D
(26)	COMPOSITE STAIRS
(27)	ROOF DECK W/ MEMBRANE ROOFING
(28)	PRE-FINISHED MTL ROOFING, CLADDING, GUTTERS, DOWNSPOUTS & TRIM
(29)	MTL CABLE RAIL
(30)	MTL AWNING W/ LIGHTS
(31)	EXTERIOR LIGHT FIXTURE
(32)	STONE CLAD OUTDOOR KITCHEN
(33)	MASONRY VENEER TO MATCH ADJACENT
(34)	ALUM CLAD & GLASS GARAGE DOOR
(35)	HVAC UNIT
(36)	PTD DEC MTL CHANNEL

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PROPOSED 2ND FLOOR PLAN

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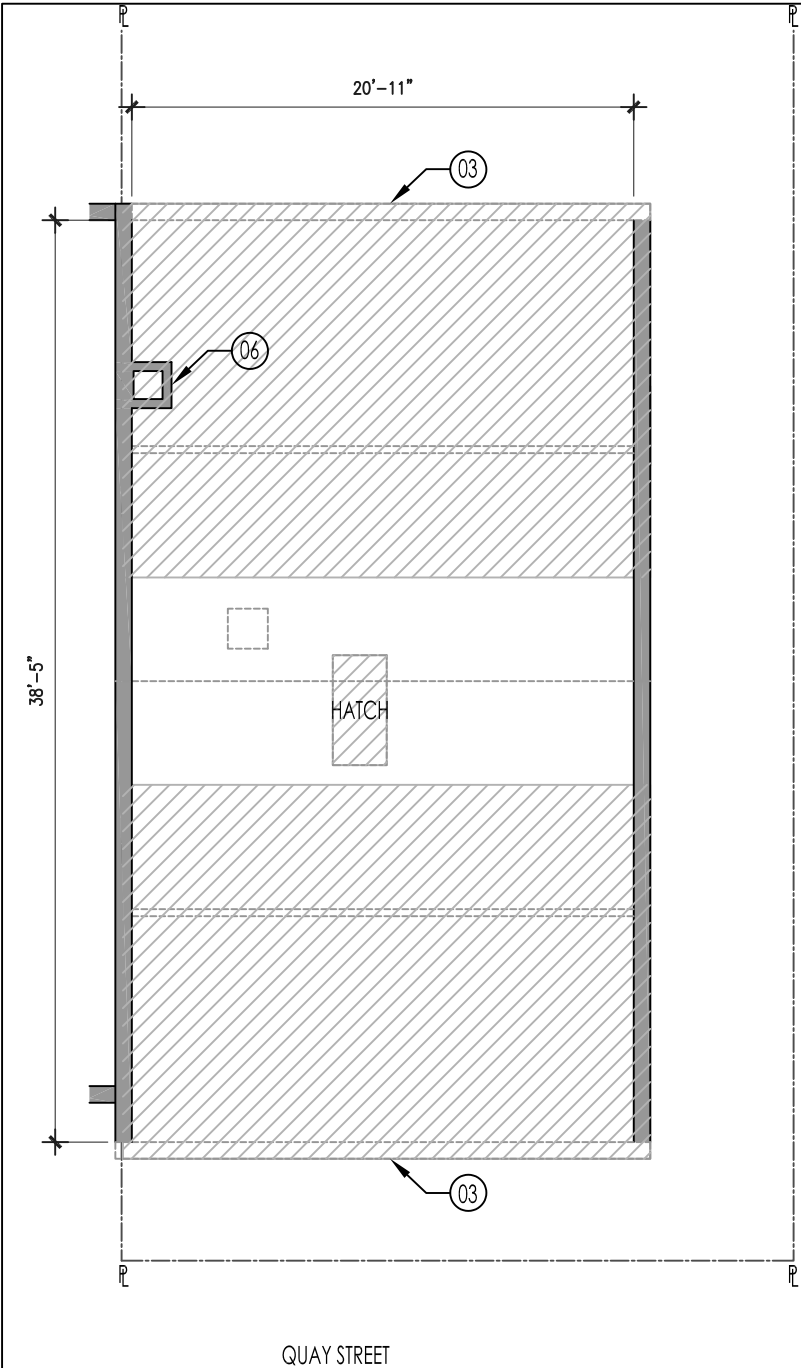
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FAR AREA SHADING KEY		DEMOLITION NOTES	
	EXISTING AREA DEDUCTED	01	WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03	WALL TO BE REMOVED
	EXISTING OPEN SPACE	04	DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	05	ROOFING TO BE REMOVED
		06	CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
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NEW WORK NOTES	
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EXISTING ATTIC PLAN

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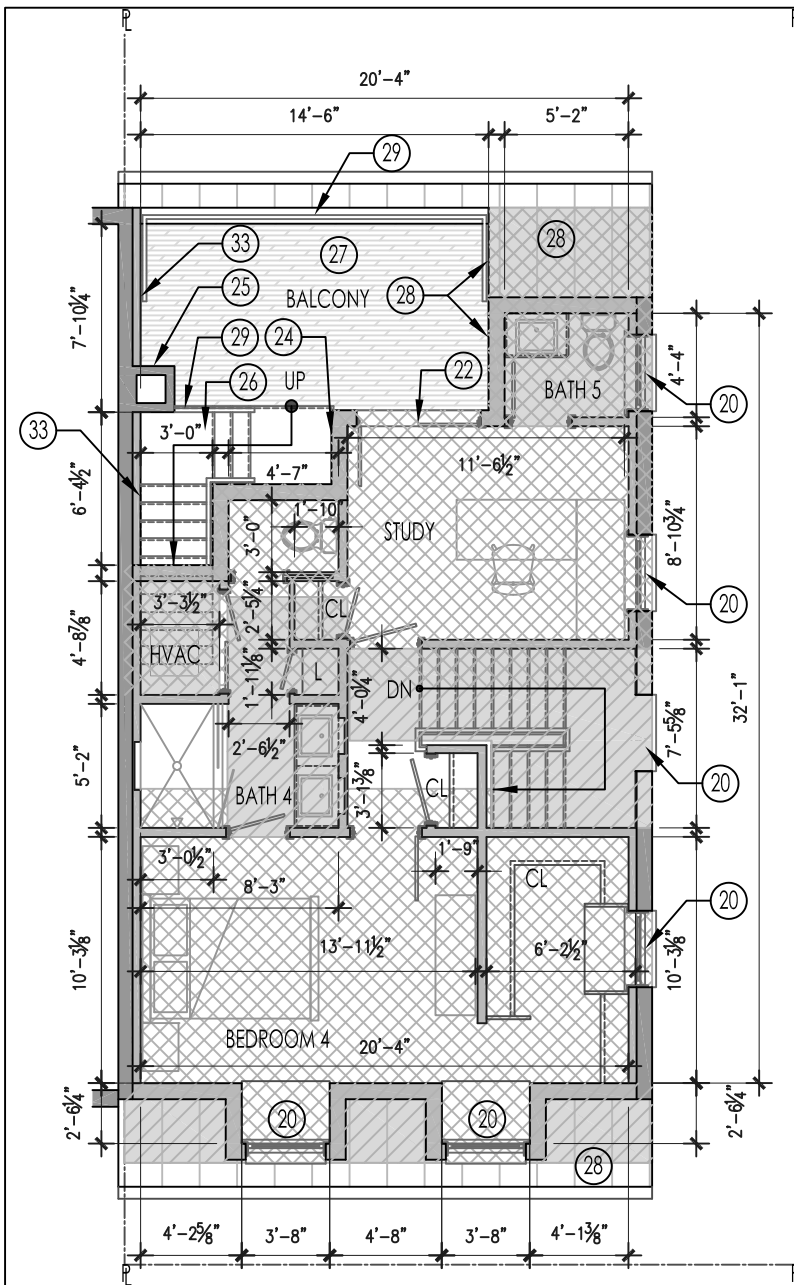
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FAR AREA SHADING KEY	DEMOLITION NOTES
	EXISTING AREA DEDUCTED
	NEW AREA
	NEW AREA TO BE DEDUCTED
	EXISTING OPEN SPACE
	PROPOSED OPEN SPACE
	(01) WINDOW TO BE REMOVED / REPLACED (02) DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED (03) WALL TO BE REMOVED (04) DOOR SURROUND TO BE REMOVED (05) ROOFING TO BE REMOVED (06) CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D (07) MTL MECH HATCH TO BE REMOVED
	NEW WORK NOTES (20) ALUM CLAD WD WINDOW (21) WD DOOR W/ SIDELIGHTS (22) ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL (23) LIMEWASHED BRICK (24) PTD FIBER CEMENT SIDING & TRIM (25) BRICK CHIMNEY TO BE EXTENDED AS REQ'D (26) COMPOSITE STAIRS (27) ROOF DECK W/ MEMBRANE ROOFING (28) PRE-FINISHED MTL ROOFING, CLADDING, GUTTERS, DOWNSPOUTS & TRIM (29) MTL CABLE RAIL (30) MTL AWNING W/ LIGHTS (31) EXTERIOR LIGHT FIXTURE (32) STONE CLAD OUTDOOR KITCHEN (33) MASONRY VENEER TO MATCH ADJACENT (34) ALUM CLAD & GLASS GARAGE DOOR (35) HVAC UNIT (36) PTD DEC MTL CHANNEL

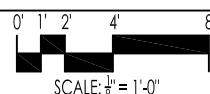
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PROPOSED 3RD FLOOR PLAN

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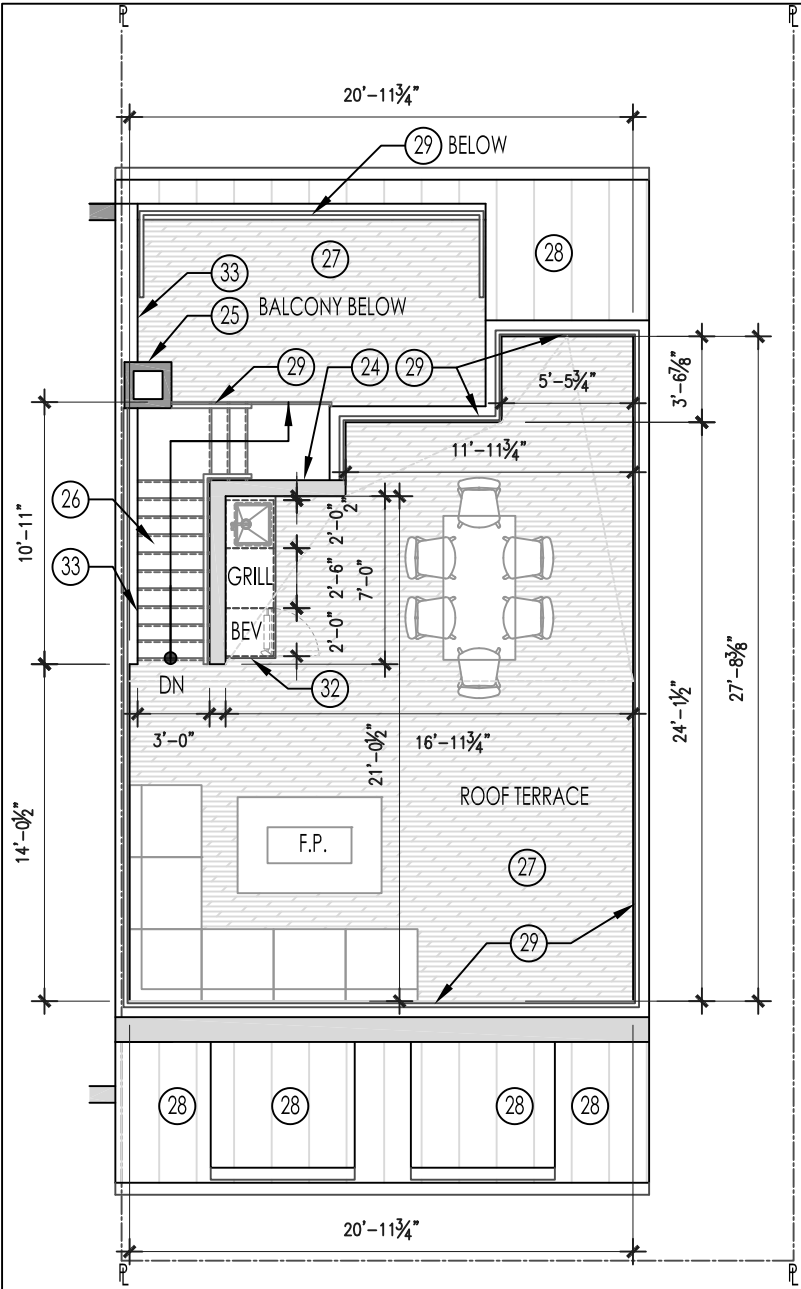
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QUAY STREET

FAR AREA SHADING KEY		DEMOLITION NOTES
	EXISTING AREA DEDUCTED	01 WINDOW TO BE REMOVED / REPLACED
	NEW AREA	02 DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
	NEW AREA TO BE DEDUCTED	03 WALL TO BE REMOVED
	EXISTING OPEN SPACE	04 DOOR SURROUND TO BE REMOVED
	PROPOSED OPEN SPACE	05 ROOFING TO BE REMOVED
		06 CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
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- NEW WORK NOTES
- 20 ALUM CLAD WD WINDOW
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PROPOSED ROOF TERRACE PLAN

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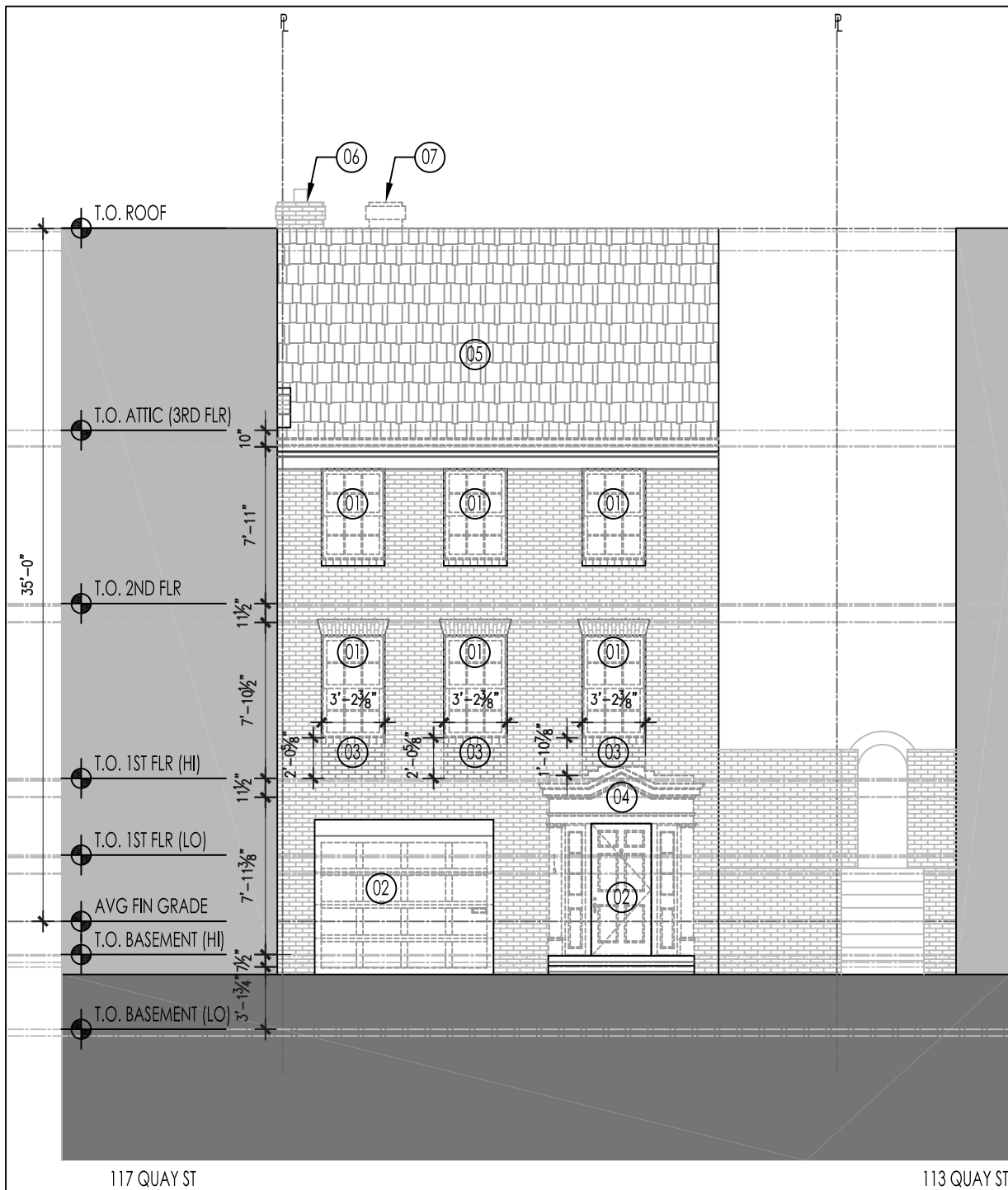
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DEMOLITION NOTES	
01	WINDOW TO BE REMOVED / REPLACED
02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
03	WALL TO BE REMOVED
04	DOOR SURROUND TO BE REMOVED
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33	MASONRY VENEER TO MATCH ADJACENT
34	ALUM CLAD & GLASS GARAGE DOOR
35	HVAC UNIT
36	PTD DEC MTL CHANNEL

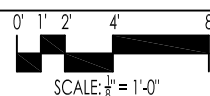
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115 Quay Street, Alexandria, VA 22314

EXISTING QUAY STREET ELEVATION

CLIENT:

Deven McGraw & David Parker
117 Quay Street
Alexandria, VA 22314



27 OCTOBER 2025

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ARCHITECT:

407 south lee street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

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BAR APPLICATION

ASK
3.1

NOT FOR CONSTRUCTION



DEMOLITION NOTES	
01	WINDOW TO BE REMOVED / REPLACED
02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
03	WALL TO BE REMOVED
04	DOOR SURROUND TO BE REMOVED
05	ROOFING TO BE REMOVED
06	CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
07	MTL MECH HATCH TO BE REMOVED
NEW WORK NOTES	
20	ALUM CLAD WD WINDOW
21	WD DOOR W/ SIDELIGHTS
22	ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL
23	LIMEWASHED BRICK
24	PTD FIBER CEMENT SIDING & TRIM
25	BRICK CHIMNEY TO BE EXTENDED AS REQ'D
26	COMPOSITE STAIRS
27	ROOF DECK W/ MEMBRANE ROOFING
28	PRE-FINISHED MTL ROOFING, CLADDING, GUTTERS, DOWNSPOUTS & TRIM
29	MTL CABLE RAIL
30	MTL AWNING W/ LIGHTS
31	EXTERIOR LIGHT FIXTURE
32	STONE CLAD OUTDOOR KITCHEN
33	MASONRY VENEER TO MATCH ADJACENT
34	ALUM CLAD & GLASS GARAGE DOOR
35	HVAC UNIT
36	PTD DEC MTL CHANNEL

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115 Quay Street, Alexandria, VA 22314

PROPOSED QUAY STREET ELEVATION

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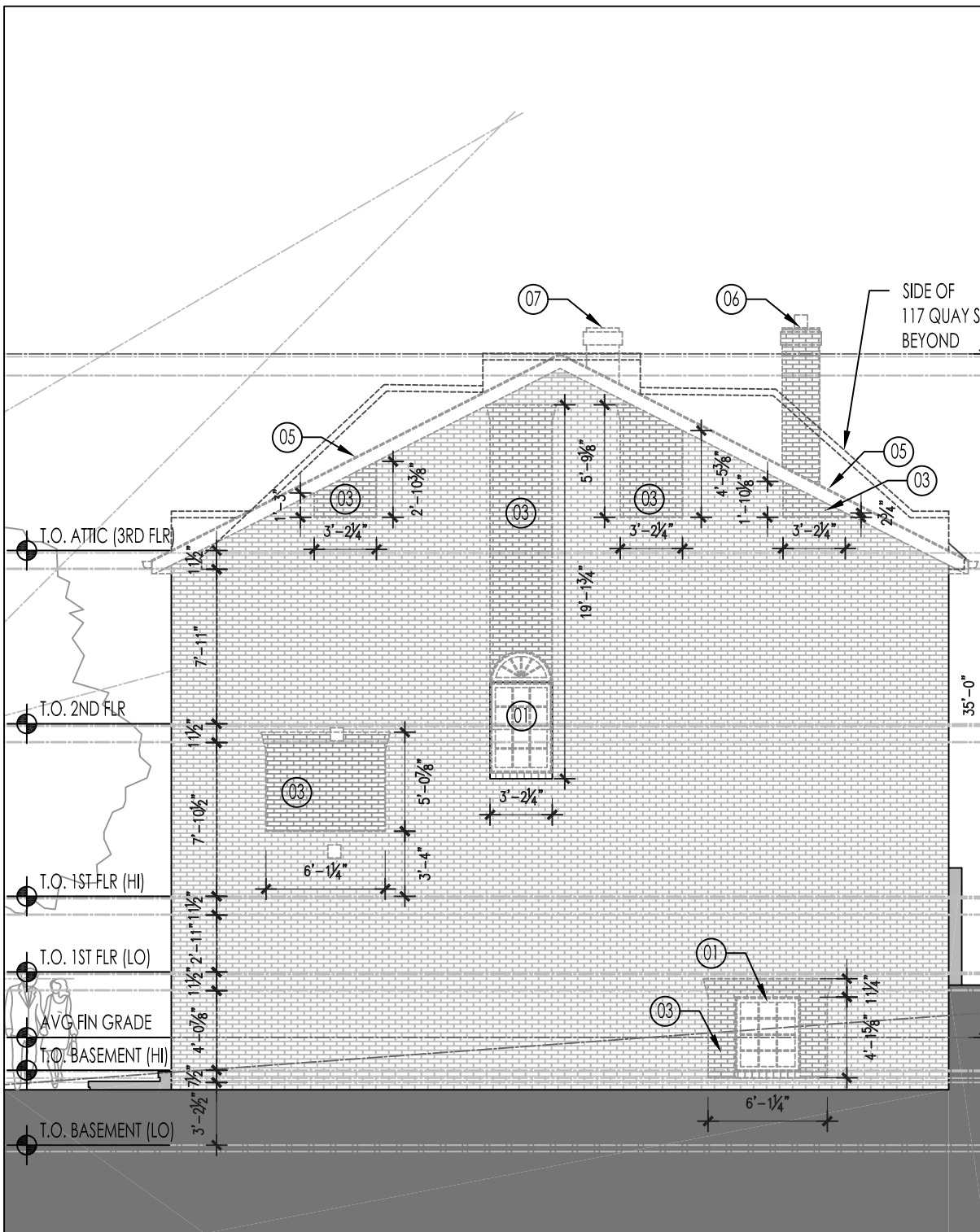
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BAR APPLICATION

ASK 3.1A

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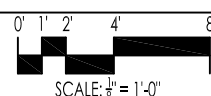
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02	DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
03	WALL TO BE REMOVED
04	DOOR SURROUND TO BE REMOVED
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23	LIMEWASHED BRICK
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EXISTING SIDE ELEVATION

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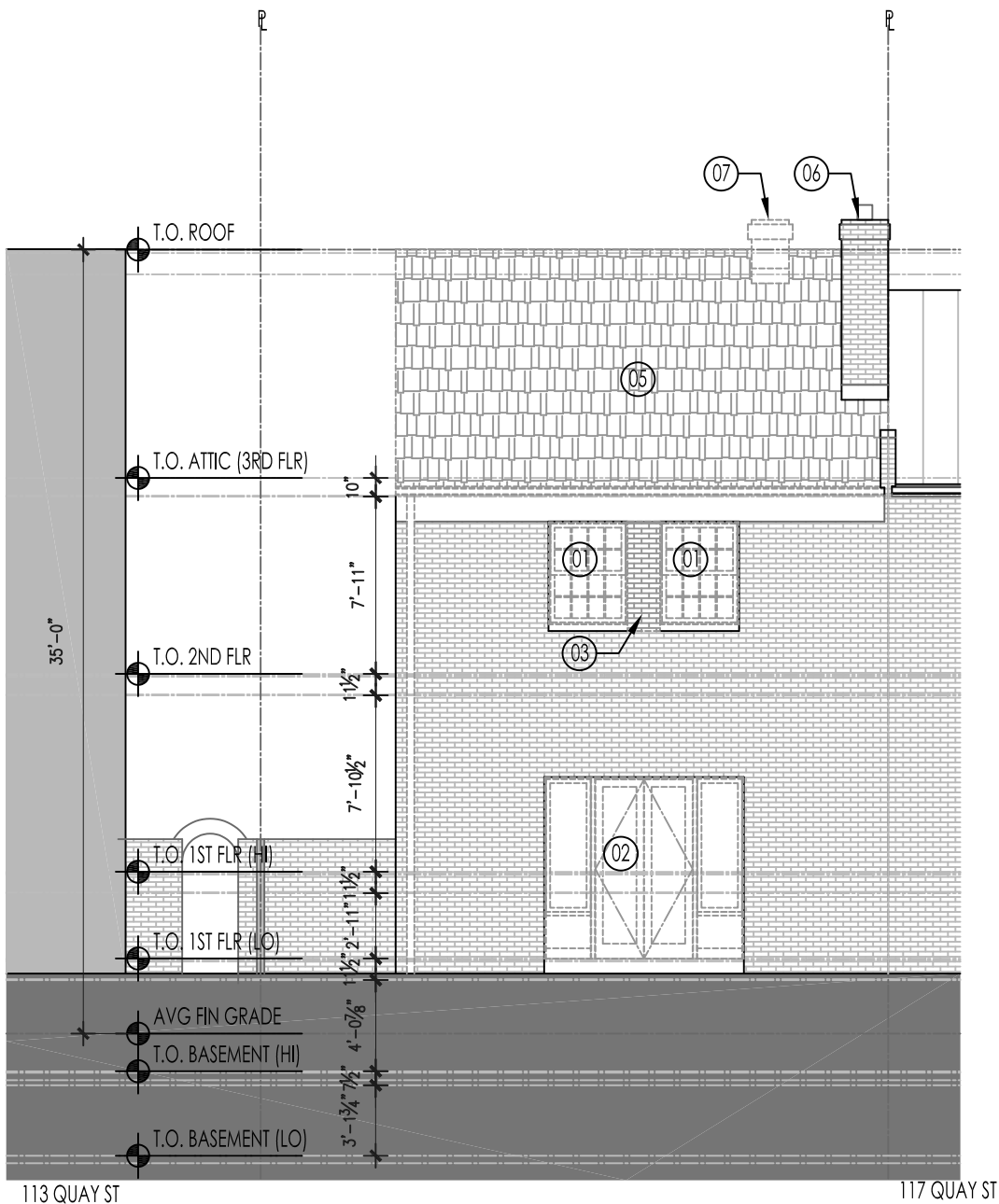
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BAR APPLICATION

ASK
3.2

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DEMOLITION NOTES

- 01 WINDOW TO BE REMOVED / REPLACED
- 02 DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
- 03 WALL TO BE REMOVED
- 04 DOOR SURROUND TO BE REMOVED
- 05 ROOFING TO BE REMOVED
- 06 CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
- 07 MTL MECH HATCH TO BE REMOVED

NEW WORK NOTES

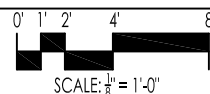
- 20 ALUM CLAD WD WINDOW
- 21 WD DOOR W/ SIDELIGHTS
- 22 ALUM CLAD WD FRENCH DOOR W/ SIDELIGHTS AS APPL
- 23 LIMEWASHED BRICK
- 24 PTD FIBER CEMENT SIDING & TRIM
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EXISTING REAR ELEVATION

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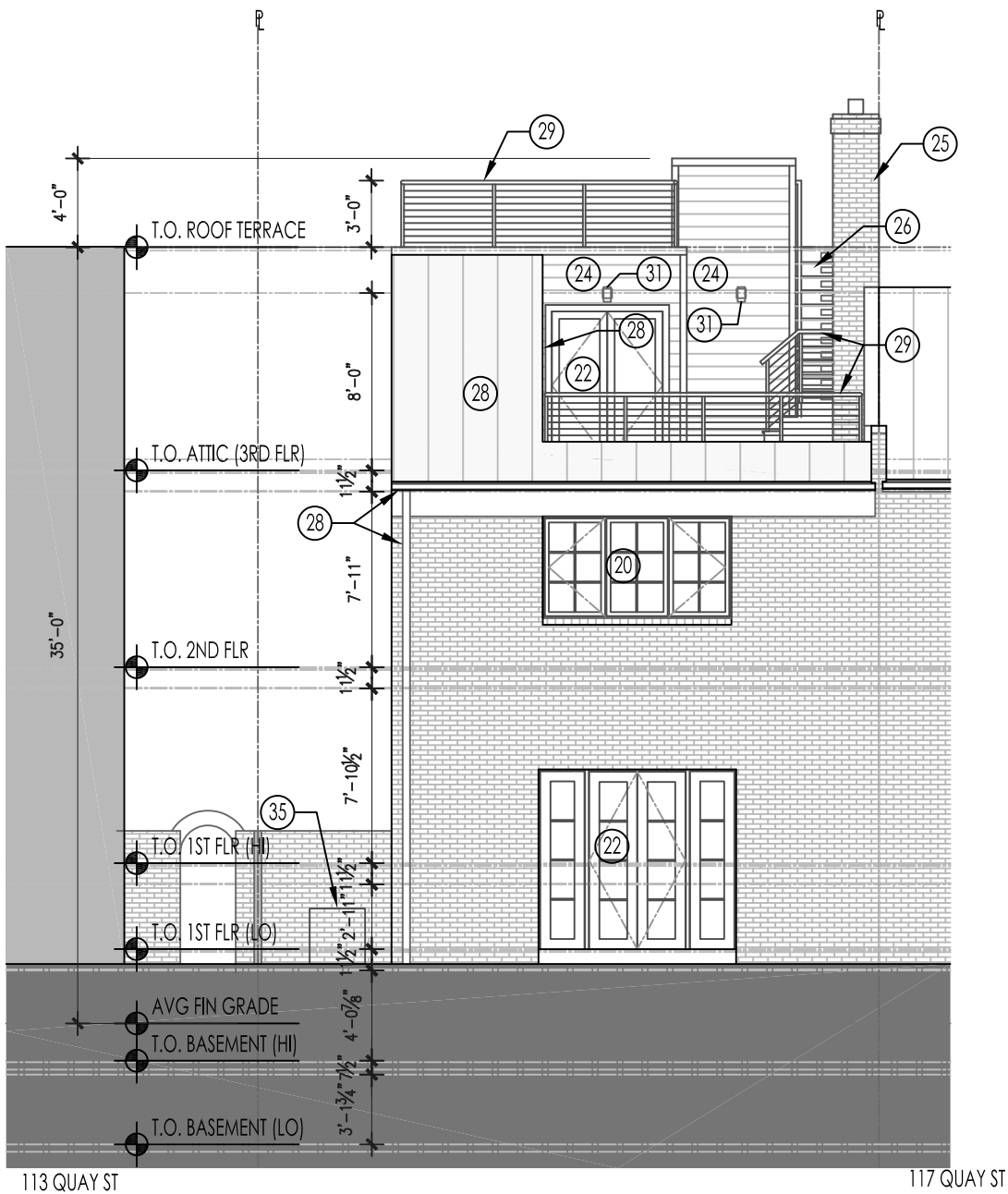
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BAR APPLICATION

ASK
3.3

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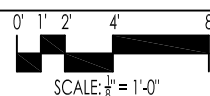
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PROPOSED REAR ELEVATION

CLIENT:

Deven McGraw & David Parker
117 Quay Street
Alexandria, VA 22314



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DEMOLITION NOTES

- 01 WINDOW TO BE REMOVED / REPLACED
- 02 DOOR & SIDELIGHTS AS APPL TO BE REMOVED / REPLACED
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- 04 DOOR SURROUND TO BE REMOVED
- 05 ROOFING TO BE REMOVED
- 06 CHIMNEY TO BE REPAIRED / REPOINTED AS REQ'D
- 07 MTL MECH HATCH TO BE REMOVED

NEW WORK NOTES

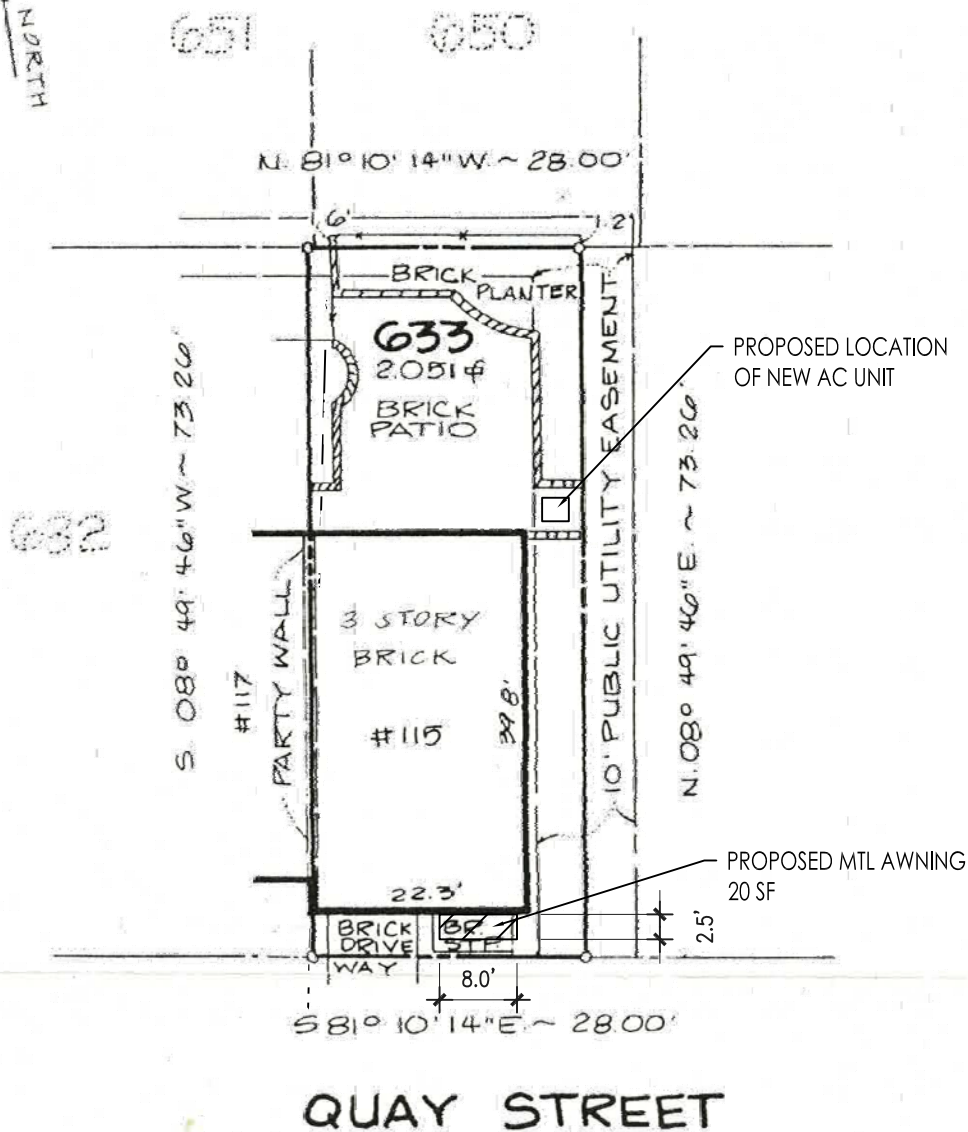
- 20 ALUM CLAD WD WINDOW
- 21 WD DOOR W/ SIDELIGHTS
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- 34 ALUM CLAD & GLASS GARAGE DOOR
- 35 HVAC UNIT
- 36 PTD DEC MTL CHANNEL

BAR APPLICATION

ASK
3.3A

NOT FOR CONSTRUCTION

TRUE NORTH



OWNER(S) MOLLEUR
DEED REF: 722-71B
TAX REF 65-03-05-22
HOUSE LOCATION SURVEY

ALEXANDRIA, VIRGINIA

LOT 633	BLOCK	SECTION 3	SUBDIVISION OLD TOWNE
SCALE: 1" = 20'		SURVEYOR'S CERTIFICATE: I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments. No property corners set	
DATE: MARCH 6, 1987			
MURPHY, McGETTIGAN & WEST, ATTORNEY'S MOLLEUR			
		This property lies within a minimal flood hazard area by FEMA / HUD Zone C Panel 5B Map # 515519 Revised: APRIL 30, 1982 No title report furnished	
		KEPHART & COMPANY CIVIL ENGINEERING LAND SURVEYING LAND PLANNING (703) 548-5252 548-4488 801 N PITT ST, SUITE 117, ALEXANDRIA, VIRGINIA 22314	



INSPIRATION
at your door[®]

NANTUCKET® COLLECTION

Nantucket Island is a place of great beauty that withstands the harsh coastal weather of the North Atlantic. That same resilient charm is expressed in the Nantucket® Collection by Simpson. Featuring a 10-year warranty, these doors combine weather-resistant wood species with a modified mortise-and-tenon construction technique. The result is a door that will retain its rugged beauty, regardless of what nature sends its way.



VIEW ENTIRE **NANTUCKET COLLECTION**
simpsondoor.com/nantucket



77860

Shown in Douglas fir with 77260 sidelights with flat panels and optional shaker sticking





77508 FP
Shown in nootka cypress



77512 FP
Shown in sapele mahogany with 77804 sidelight and optional shaker sticking



77082
Shown in Douglas fir with 77701 sidelight



77002
Shown in sapele mahogany

TEST DRIVE **YOUR DOOR**
simpsondoor.com/testdrive



77103
Shown in Douglas fir with optional shaker sticking



77105
Shown in nootka cypress with optional shaker sticking



77122
Shown in sapele mahogany with 77701 sidelight



77015
Shown in Douglas fir with 77705 sidelight and optional shaker sticking and glue chip glass. Privacy Rating 6.

ANY DOOR. **ANY GLASS.**
Shown with optional Glue Chip Glass



[FIND A RETAILER »](#)[ORDER A SAMPLE »](#)[Decking > Transcend® Composite Decking](#)

TRANSCEND® COMPOSITE DECKING

SHARE:

Save

SAVE

Like 3.4K

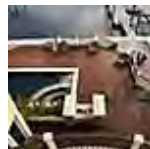
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Tweet



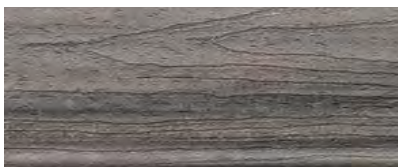
TREX TRANSCEND® DECKING IN ROPE SWING

The luxurious rooftop deck at HGTV® Dream Home 2021, featuring Trex Transcend Rope Swing.



DECKING COLORS

PREMIUM TROPICALS - BEST

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[🛒 ORDER A SAMPLE »](#)


CLASSIC EARTH TONES - BEST



ORDER A SAMPLE



TREX® COMPOSITE DECKING AT ITS VERY BEST

UNPARALLELED BEAUTY

Transcend decking's deep wood-grain pattern and luxury colors create a premium, ageless look that leave other composites in the dust.

HASSLE FREE

No sanding. No staining. No painting. No kidding. (Not to mention simple [soap-and-water cleanup](#).)

FADE, STAIN, SCRATCH AND MOLD RESISTANT

Transcend decking maintains its vibrant color and luxurious finish—come scorching sun or red-wine spill—thanks to its unyielding, three-side shell protection...and our [25-Year Limited Residential Fade & Stain Warranty](#).

A GREEN DECK

See [how](#) using a 95% recycled composite board (that's almost the whole thing) makes you feel about the great outdoors.

countertops and outdoor use kitchens

Dekton breaks all the rules to put together an outdoor kitchen. The material is capable of adapting to all environments, withstanding the most extreme weather conditions and adapting, for example, to barbecue designs.



Beauty and sophistication

Cooking is a pleasant experience and doing it outside is a small social event.

Dekton provides solidity, a unique and one-of-a-kind aesthetic to outdoor areas, as well as an unlimited practicality, thanks to its unique characteristics.

Dekton Features

- Resistance to high temperatures.
- Stain-resistant.
- Impact-resistant
- Resistance to external climatic factors (frost, sun, hail, wind, etc.).
- Easily maintained.

[See Dekton colors](#)



Do you need help with a project?

[Contact our specialists for advice](#)

[Contact us](#)

Finish

- ☐ Grip+
- ☐ Matte
- ☐ Meshed

Learn more 

Thickness

- ☐ 0.4 cm.
- ☐ 0.8 cm.
- ☐ 1.2 cm.

Learn more **PROFESSIONAL AREA** 



See all the materials

Samples available

Log in



Kreta
Dekton



Rem
Dekton

Wall luminaires with directed light in one direction

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Clear tempered glass diffuser. Provided reflector made of pure anodized aluminum. Housing is secured to the mounting plate with two (2) mechanically captive, stainless steel set screws.

Electrical: 16.5W LED luminaire, 20 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

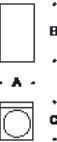
CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64

Weight: 7.1 lbs.

Luminaire Lumens: 1581
Tested in accordance with LM-79-08



Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



	Lamp	β	A	B	C
24582	16.5W LED	16°	5 7 / ₈	10 5 / ₈	6 7 / ₈

AVANTE®

garage doors



America's Favorite Garage Doors®

NEW ALUMINUM AND GLASS CONSTRUCTION – MODEL AX



Avante®, Dark Bronze (Anodized) Frame with Obscure Insulated Glass



Avante® Bronze (Anodized) Frame with Frosted Tempered Glass

STYLE AND CONSTRUCTION



Frame Detail



Section Joint Seal

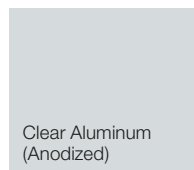


Reinforcing Fin* (Double car doors)

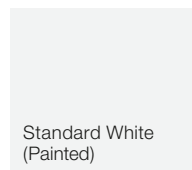
- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Many glass and panel options available.
- Section joint seal helps keep out air and water.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

*Doors wider than 14' include built-in reinforcing fin. Standard doors 12' and under do not use built-in reinforcing fin. Usage on widths 12'2" to 14' depend upon glass weight. WINDCODE® doors may vary. Contact your Clopay Dealer for details.

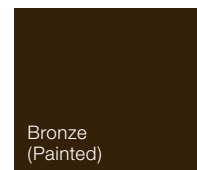
FRAME/SOLID PANEL COLOR OPTIONS



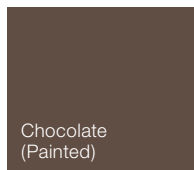
Clear Aluminum
(Anodized)



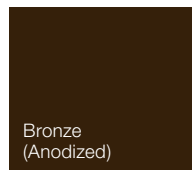
Standard White
(Painted)



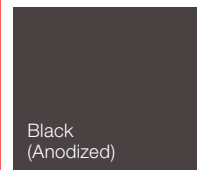
Bronze
(Painted)



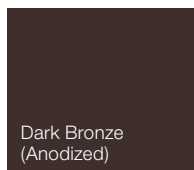
Chocolate
(Painted)



Bronze
(Anodized)



Black
(Anodized)



Dark Bronze
(Anodized)

Due to the anodizing process, color variation may occur. The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color.

CUSTOM PAINT OPTIONS

Custom colors make Avante® garage doors personal. Choose a Color Blast® finish or RAL Powder Coating to create the perfect door. The only limit is your imagination! See your Clopay Dealer for details.





AVANTE®

The NEW Avante® garage doors are designed with architects, contractors and homeowners in mind. With a more balanced look, crisp lines and a section seal, the new doors look and perform better. These doors are the perfect choice to modernize any home; transforming not only garages, they can also be used as an indoor loft partition or as versatile solarium doors. Many glass options are available to control the degree of light transmission and privacy.

GLASS/PANEL OPTIONS



Clear Glass*



Gray Tinted Glass*



Bronze Tinted Glass*



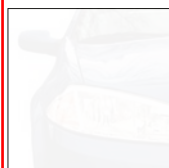
Mirrored Glass*



Obscure Glass*



White Laminate Glass



Frosted Glass*
(Satin Etched)



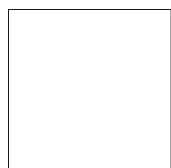
Frosted Acrylic



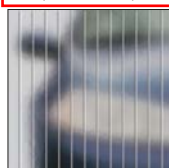
Clear Acrylic



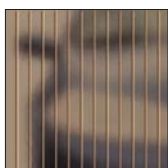
Gray Acrylic



White Acrylic



Clear Polygal™



Bronze Polygal™



Clear Anodized
(Color-matched to frame)

- Glass available in single pane or insulated (except laminated and mirrored).
- Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available.

**Glass is tempered.*

Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit www.clopaydoor.com/acrylic for complete details.

See your Clopay Dealer for details.

Or for more information scan the code below.



WARRANTIES



HARDWARE

Attractive color-matched aluminum grip handles.

Available in all standard color options.

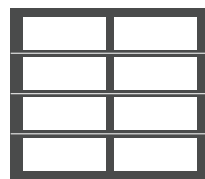
WINDCODE®

Doors available to meet many regional wind load requirements.

WindCode® doors over 16' wide may have reinforcement hardware that shows through the glass panels of the door.

PANEL CONFIGURATIONS *(Examples of common sizes shown below)*

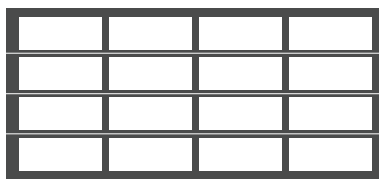
6'6" TO 7'0" HIGH DOORS



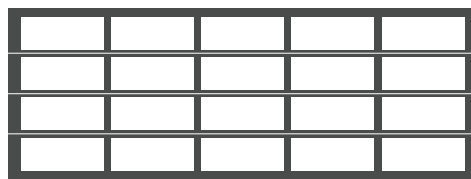
2 Panel
Up to 9'2" Wide



3 Panel
9'4" to 13'2" Wide

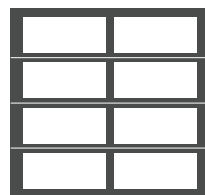


4 Panel
13'4" to 16'2" Wide



5 Panel
16'4" to 20'0" Wide

7'3" TO 8'0" HIGH DOORS



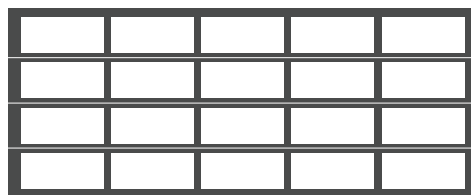
2 Panel
Up to 9'2" Wide



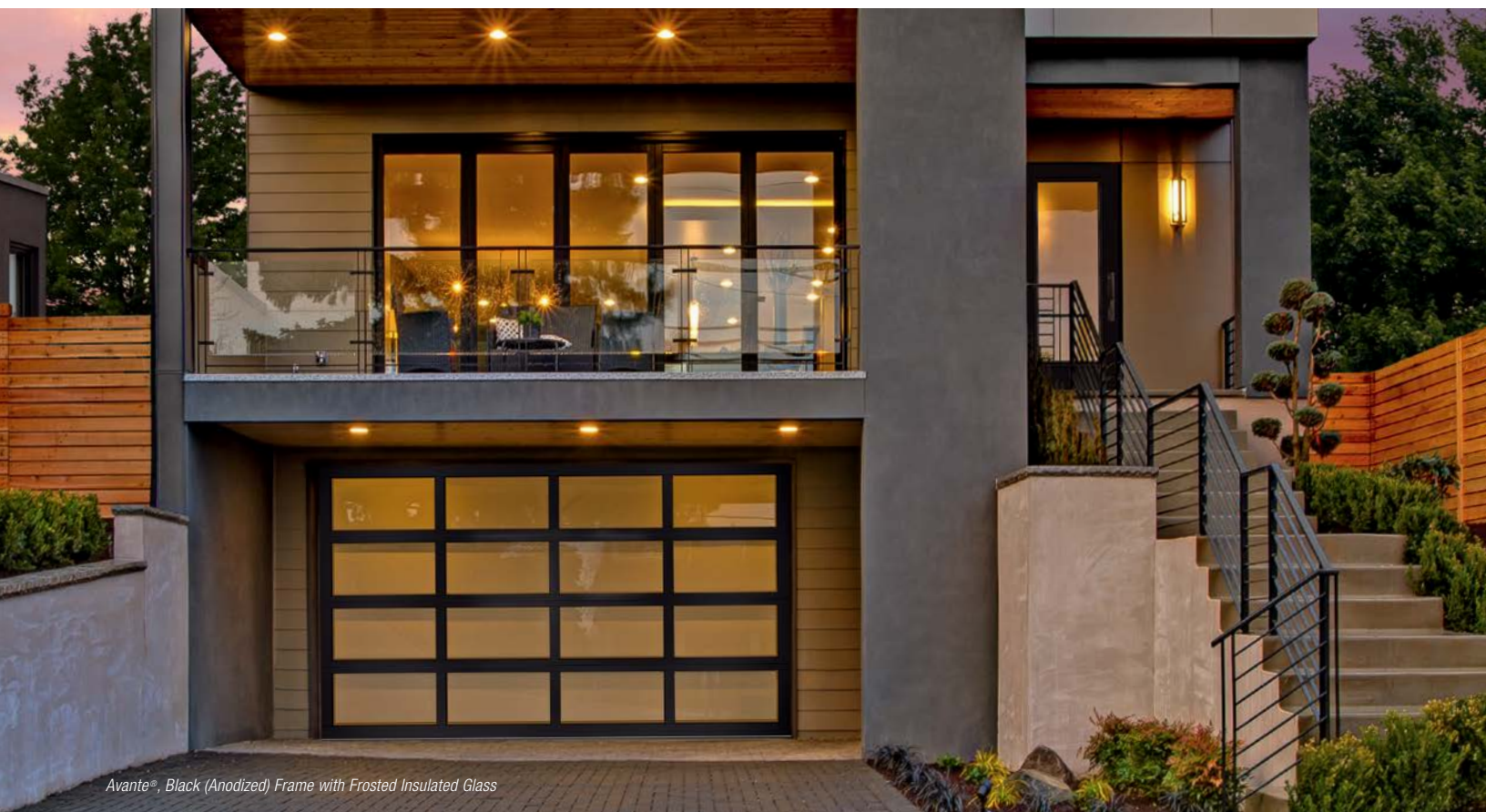
3 Panel
9'4" to 13'2" Wide



4 Panel
13'4" to 16'2" Wide



5 Panel
16'4" to 20'0" Wide



Avante®. Black (Anodized) Frame with Frosted Insulated Glass



For more detailed product specification information or availability of our Avante® Garage Doors, please contact your Clopay Dealer. To locate a dealer to help you select the right door for your home, just go to www.clopaydoor.com or call 1-800-2CLOPAY (225-6729).

Follow us on       



JamesHardie

Siding | Trim



Achieve authentic character and
UNCOMPROMISING PERFORMANCE.



NORTHEAST
Product
Catalog

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
5/4 x 3.5 in.
Arctic White

HardiePlank®
6.25 in. Smooth
Arctic White

A classic look for
THE HOME OF THEIR DREAMS.



SELECT CEDARMILL®

Khaki Brown

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



SMOOTH

Countrylane Red

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



BEADED CEDARMILL®*

Light Mist

Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			



BEADED SMOOTH*

Heathered Moss

Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			

*Beaded Cedarmill® and Beaded Smooth are available exclusively with ColorPlus Technology in Pittsburgh, Philadelphia and New England districts.

Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardiepros.com

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie siding – adding punctuation to your design statement.

HardieTrim®
5/4 x 3.5 in.
Khaki Brown

HardiePlank®
6.25 in. Smooth
Navajo Beige

The performance you require
THE DISTINCTIVENESS YOU DESIRE.

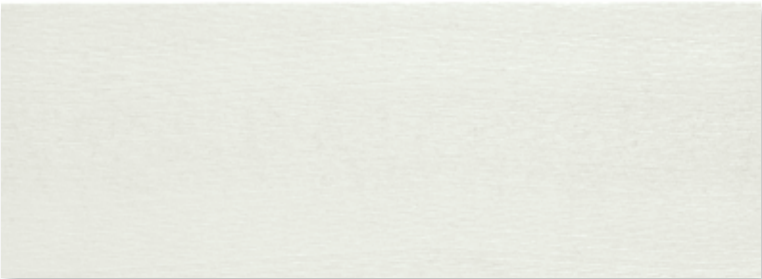
HARDIETRIM® BOARDS



4/4 NT3® SMOOTH

Arctic White

Thickness	.75 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	312	208	156	104	104



5/4 NT3® SMOOTH

Arctic White

Thickness	1 in.					
Length	12 ft. boards					
Width	3.5 in.	4.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	240	200	160	120	80	80



CROWN MOULDING

Arctic White

Thickness	.75 in.	
Length	12 ft. boards	
Width	3.25 in.	5.25 in.
Pcs./Pallet	50	48

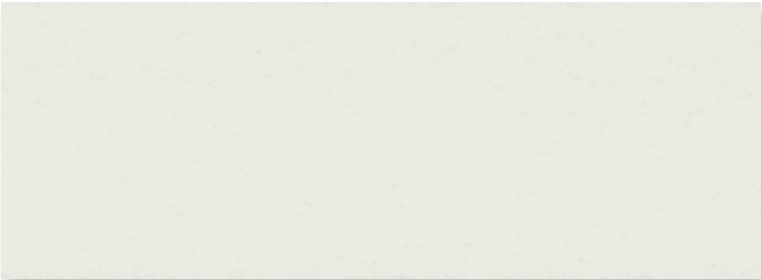
HARDIETRIM® BATTEN BOARDS



RUSTIC GRAIN®

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437



SMOOTH

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437

HardieTrim Boards are available primed or with ColorPlus Technology in DC/Baltimore and Virginia districts. For other districts, HardieTrim Boards are exclusively available with ColorPlus Technology. HardieTrim Batten Boards are available primed or with ColorPlus Technology. HardieTrim Crown Mouldings are available exclusively in ColorPlus Technology.

ULTIMATE

MARVIN SIGNATURE™ COLLECTION



ULTIMATE CASEMENT STYLES



Casement and Picture windows with Satin Nickel hardware

FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Featuring concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



ULTIMATE CASEMENT

A recessed sash for a traditional look, plus a full jamb offers design flexibility for new construction or full frame replacement.



ULTIMATE CASEMENT NARROW FRAME

A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.



ULTIMATE CASEMENT
4 1/16" FULL JAMB



ULTIMATE CASEMENT NARROW FRAME
2 3/16" NARROW JAMB

JAMBS + PROFILES

The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.

ULTIMATE SWINGING FRENCH DOOR



Inswing French door with Matte Black hardware



Swinging French door and Picture windows

ULTIMATE SWINGING FRENCH DOOR

The Ultimate Swinging French door combines a classic single- and double-panel French style with expert craftsmanship. Engineered for both quality and performance, this door features a beautiful, substantial wood surround and a durable sill for weather protection even in harsh climates. To maximize views and access to the outdoors, select from inswing or outswing operation in sizes up to 14 feet wide and 9 feet high, and if a more streamlined look is desired, choose our short bottom rail option with sleek 4 ¾ inch wood surround on all sides.



OUTSWING INTERIOR
WITH TALL BOTTOM RAIL



ARCH TOP INSWING INTERIOR
WITH TALL BOTTOM RAIL



INSWING INTERIOR WITH
SHORT BOTTOM RAIL



INSWING EXTERIOR WITH
SHORT BOTTOM RAIL

EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

COLOR TO BE FROM
MANUFACTURER'S STD
RANGE OF COLORS

EXTRUDED ALUMINUM

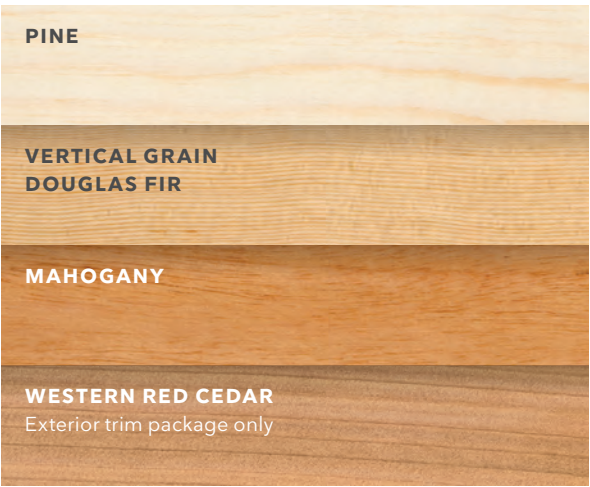
Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.



Ultimate Double Hung G2 window in Ebony

Ultimate Double Hung G2 window in Suede



DIVIDED LITES



Casement windows with custom Simulated Divided Lites



DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



AUTHENTIC DIVIDED LITE (ADL)

Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



GRILLES-BETWEEN-THE-GLASS (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

FIVE STANDARD BAR WIDTHS



STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



Ogee



Square



Square Sticking

DOUBLE HUNG SCREEN OPTIONS



RETRACTABLE SCREEN
The innovative Retractable Screen, available on the Ultimate Double Hung G2 window, is a factory-installed screen that easily retracts out of sight when not in use. The screen can be drawn to rest at one of two stop points, resulting in a seal at either the sill or at the checkrail.



FULL OR HALF SCREEN
Exterior screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.

DOOR SCREEN OPTIONS



ULTIMATE SWINGING SCREEN DOOR
Featuring panels of extruded aluminum for a beautiful millwork appearance with traditional shadow-lines, this easy-to-install, easy-to-remove panel system requires no tools and has a clean exterior that blends into the door frame. Classic oval exterior handle and storm insert options are also available.



STANDARD SWINGING SCREEN DOOR
This tough, extruded aluminum swinging screen door matches the door, made of the same thick metal as the cladding. Solid protection and outstanding performance, with die cast handles, automatic closer, and aluminum hinges.



ULTIMATE SLIDING SCREEN DOOR
Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation. The exterior profile replicates the look of a traditional wood screen. Also available in a standard top hung version for Ultimate Sliding French doors, Sliding Patio doors, and Ultimate Inswing doors.

DOUBLE HUNG STORM OPTIONS



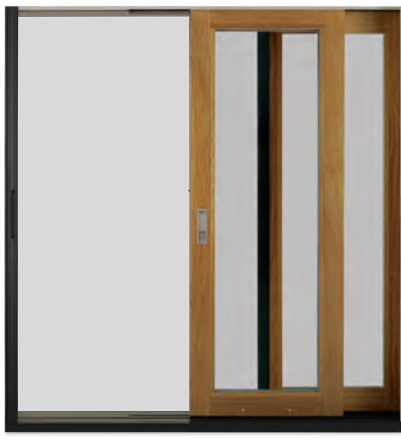
TWO-LITE WOOD STORM SASH OR SCREEN
A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS
A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



ENERGY PANEL
Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.



STANDARD SLIDING SCREEN (NOT SHOWN)
Aluminum top hung sliding screen with adjustable rollers and replaceable bottom guide. Available on wood and clad-wood sliding and inswing doors.

TOP-HUNG SCREEN (NOT SHOWN)
Aluminum top hung sliding screens come with adjustable rollers and replaceable bottom guide for flawlessly smooth operation.

SCENIC DOOR SLIDING SCREEN (SHOWN ON LEFT)
The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 12 feet wide and up to 10 feet high uni-directional or up to 24 feet wide bi-parting.

RESIDENTIAL



Cover Photo:
Residence, Burr Ridge, IL
Architect: Michael Buss Architects
Installing contractor: Complete Flashings
Builder: McNaughton Brothers Construction
Material: Snap-Clad .032 aluminum
Color: Charcoal

Residence, Ponte Vedra Beach, FL
Architect: Jaycox Reinel Architects
General contractor: C. F. Knight Inc.
Roofing fabricator: Thorne Metal Systems
Material: PAC-CLAD Slate Gray .040 aluminum



Walls Residence, Little Rock, AR
Architect: Polk Stanley Wilcox Architects
Installing contractor: Covington Roofing & Sheet Metal
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray



PAC-CLAD
P E T E R S E N

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	▲★ MILITARY BLUE	BERKSHIRE BLUE
▲ GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	▲ BURNISHED SLATE	▲★ AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	▲★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

▲●★ ANODIC CLEAR	▲●★ SILVERSMITH	●▲★ SILVER	●▲★ CHAMPAGNE	●▲★ COPPER PENNY
●▲★ ZINC	●▲★ WEATHERED ZINC	★ WEATHERED STEEL	★ WEATHERED COPPER	●▲★ AGED COPPER

▲ Cool Colors ● Metallic Colors ★ Energy Star Colors ★ Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.



Design: Stuart Cohen & Julie Hacker Architects
Photo: Tony Soluri Photography

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

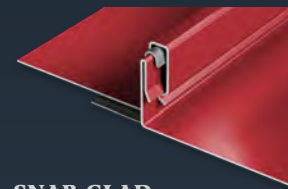
Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.

BEAUTIFUL PROFILES

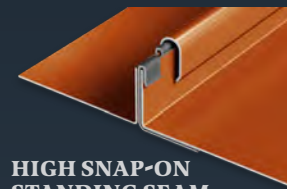


Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

Metal Roofing



SNAP-CLAD



**HIGH SNAP-ON
STANDING SEAM**



**PAC-150
90° SINGLE LOCK**

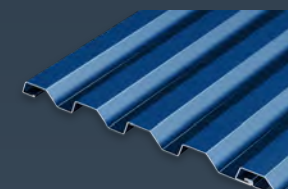


**PAC-150
180° DOUBLE LOCK**

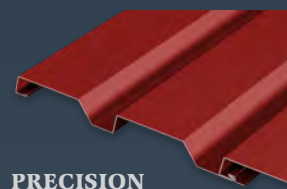


**REDI-ROOF
STANDING SEAM**

Siding



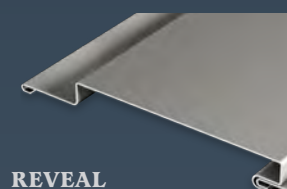
**PRECISION
SERIES HWP**



**PRECISION
SERIES
HIGHLINE 16-C**

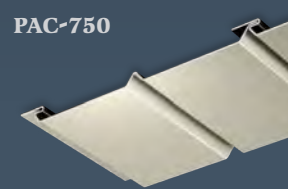


**FLUSH
PANEL**

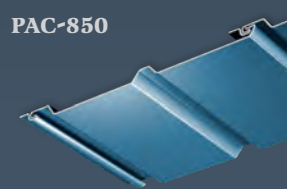


**REVEAL
PANEL**

Soffit Panels



PAC-750



PAC-850

Soffit panels come in solid, full-vented and half-vented variations.