

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: David and Sue Wilkes

LOCATION: Old and Historic Alexandria District
516 Cameron Street

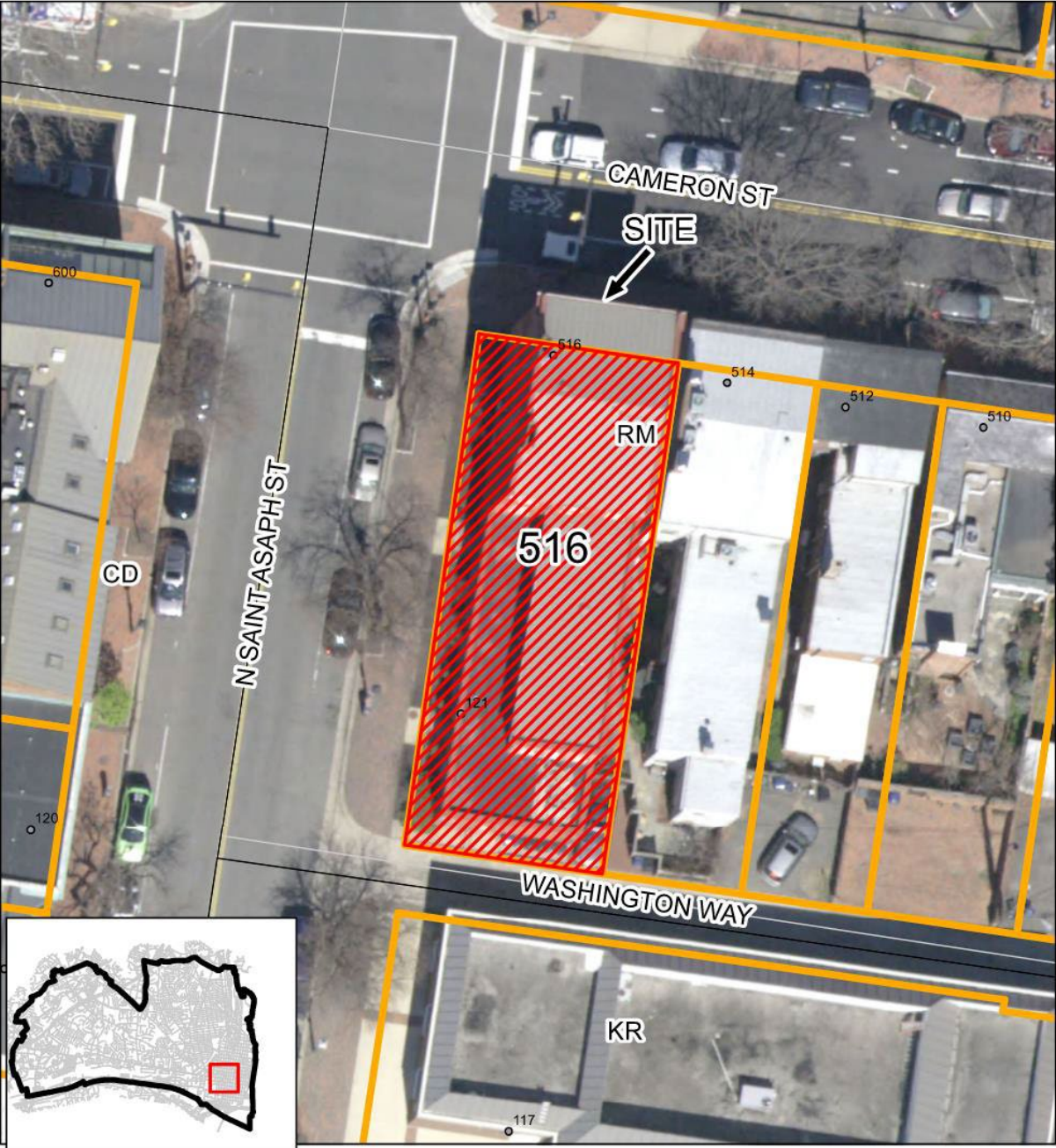
ZONE: RM/Residential Townhouse Zone


STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR#2024-00444**
516 Cameron Street

0 12.5 25 50 Feet

N

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to construct a fence along the secondary front at North Saint Asaph Street and to construct a balustrade railing on the roof of the rear one-story ell, at 516 Cameron Street.

Certificate of Appropriateness

The proposed fence along North Saint Asaph Street will have a 2'9" tall brick base with a 2'10" iron fence above and will be set back 6' from Cameron Street. The proposed rooftop balustrade will have brick piers supporting Fypon Classic balusters. The height of balusters will be variable depending on location but will comply with City Code height regulations in all locations.

Waiver of setback provisions

The required setback for a 6' fence on a corner lot must be half the distance from the building to the sidewalk. In this case, the survey indicates that this distance is only 7.5' so the setback would be 3.75', a very minimal distance. Staff requests that the BAR waive this setback. See Figure 1.



Figure 1: West elevation showing narrow "yard."

Site context

The house is at a very prominent location at the southeast corner of the intersection of Cameron and North Saint Asaph streets. The alley to the south of the house, Washington Way, is public. All proposed alterations are therefore visible from a public right of way.

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, A.S. Tebbs built this three-story brick dwelling in the early to mid-19th century. The house was built before 1877, when the 1877 G.M. Hopkins *Atlas of Alexandria, Va* map shows a building composed of a main block fronting Cameron with a rear ell. The 1885 and 1891 Sanborn maps show a three-story brick dwelling with a rear two-story ell and two small one-story additions appended to the rear of the ell. All roofing is non-combustible. The dwelling also has a frame roofless porch on the west elevation of the ell. By 1896 the one-story porch also has a non-combustible roof and there is only one small one-story addition appended to the rear ell. The house has the same layout and materials until at least 1921, when it is identified as a clubhouse. The 1941 and 1956 Sanborns show that it has been greatly enlarged and has become a rectangle filling the entire parcel, much like today's footprint. Most importantly for this project, the one-story addition on the west of the two-story ell is now brick, not frame. Therefore, the section of the house where the proposed work will be done was constructed **between 1921 and 1941**. See Figures 2 and 3. Permit #11762, issued on October 11, 1954 indicates that the second story of the house was re-roofed with tin and the "lower building" was reroofed with asphalt.

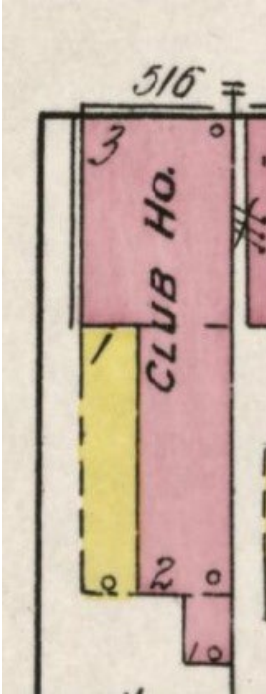


Figure 2: 1921 Sanborn map

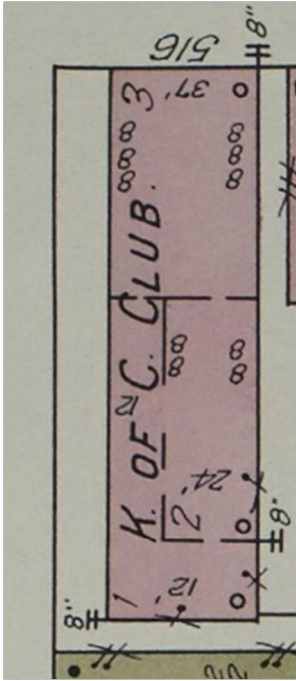


Figure 3: 1941 Sanborn map

Previous BAR Approvals

BAR2019-00387 Administrative approval to tuckpoint masonry on all elevations except for the north elevation facing Cameron Street. 9/12/2019

- BAR2015-00306 Administrative approval to remove existing concrete stoop and paths along the side and rear elevations of building and replace with brick, reusing existing iron balustrades. 9/11/2015
- BAR2015-00308 Administrative approval to reinstall shutters, paint currently painted surfaces, and repoint sides and rear of house. 9/11/2015

III. ANALYSIS

Certificate of Appropriateness

Fence: The *Design Guidelines* state that “Fences, garden walls and gates should be appropriate in materials, design and scale to the period and character of the structure they surround.” The entry includes a drawing of an appropriate fence that looks very similar to that proposed in this application. See Figures 4 and 5:

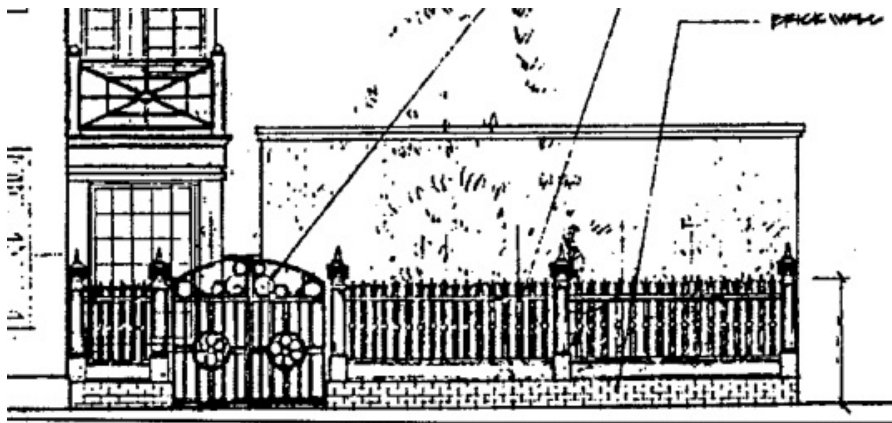


Figure 4: Appropriate brick and iron fence depicted in *Design Guidelines*

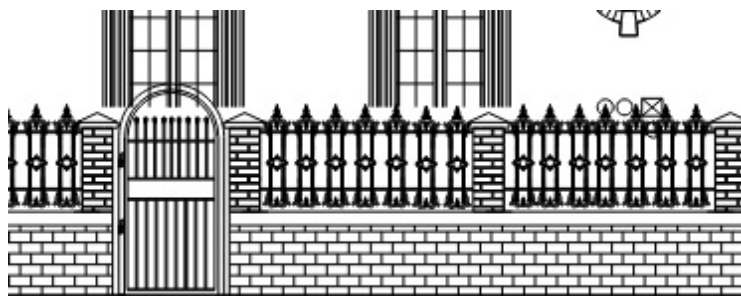


Figure 5: Proposed fence

Staff therefore finds that the proposed brick knee wall and iron fencing fully comply with this guideline and the project is appropriate for this house and its surroundings.

Roof deck: The *Design Guidelines* state that “Material should not be used on a roof deck that detracts from the historic architecture of a structure.” The proposed materials in no way detract from the historic architecture of this structure. The decking itself will be pressure-treated wood

and will be installed above the existing roof, which will remain as is and not be demolished or encapsulated. In addition, this is not the original roof, as noted above. As for the balustrades, they will be Fypon, a polyurethane material that is difficult to differentiate from wood, especially when located on a roof. When the applicant was initially considering constructing this roof deck some time ago, a Historic Preservation staffer recommended that he use Fypon, as it is durable, requires little maintenance, and looks just like wood. The Fypon Classic baluster is especially appropriate for the Old and Historic Alexandria District. See Figure 6 for an image of Fypon Classic balusters.



Figure 6: Fypon Classic baluster installed

Staff notes that the Fypon Classic specifications included in the application show 28” tall balusters. As noted above, the proposed balusters will vary in size depending on location, but all will comply with City Code height regulations.

Staff, therefore, recommends approval of the project as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed fence and open deck with guard rail will comply with Zoning.

F-1 BAR has the authority to waive fence height and setback requirements.

Code Administration

C-1 Walls or parapets on the buildings require building permits. Fence less than 6ft no permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 The proposed wall and improvements must be installed outside of the right of way. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 According to Ethelyn Cox's Historic Alexandria, Virginia, Street by Street, the house on this lot was probably built by A.S. Tebbs in the early-mid-nineteenth century. Although the proposed project will cause minimal impacts to the ground surface, the property has the potential to yield archaeological resources that could provide insight into domestic activities in 19th-century Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground-disturbing activities. (Archaeology)
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground-disturbing activities. (Archaeology)

V. ATTACHMENTS

Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Public comment
- Any other supporting documentation

ADDRESS OF PROJECT: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner’s association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: SWilkes David C. Wilkes

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____ _____ _____
 Date Printed Name Signature

**Application Letter for BAR Certificate of Appropriateness
516 Cameron Street
Submitted by Owners David & Sue Wilkes, December 9, 2024**

This Application for BAR Certificate of Appropriateness comprises two projects that together will enhance the appearance and functionality of 516 Cameron Street in the historic district of Old Town Alexandria. Both Project impact the portion of the house that is located on N St. Asaph Street. Project A, involving the construction of a wall / fence, is for the street level of N. St. Asaph Street. Project B, involving the construction of a deck and railing, is for the rooftop of the flounder extension on the second floor level of N. St. Asaph Street.

We would be happy to discuss any part of our request with you and your office.

Respectfully submitted on December 9, 2024 by

David and Sue Wilkes, Owners
211 N. Fairfax Street
Alexandria, VA 22314

703 405 4335

Project A: Construction of a brick and metal fence on property perimeter at 516 Cameron Street, Alexandria, Virginia

Overall Description

Proposed work is the construction of a wall along the secondary front of 516 Cameron Street, Alexandria, VA.

The wall will run along N St. Asaph Street, along the side of 516 Cameron Street and in front of the entrances to 121 N St. Asaph Street and 119 N St. Asaph Street and continue to Washington Way at the south rear of the property. The wall will provide segmented outdoor space for 516 Cameron, 121 N St. Asaph, and 119 N St. Asaph Units. The two walls segmenting the three sections above will be solid brick only. The fence will be comprised of a 2'9" Brick knee wall and a metal fence. The metal fence will be 2'10". With additional mortar and materials, the fence will not exceed 6 feet high (an override to drawing in Attachment B). The fence will have a set back from the face of 516 Cameron Street of 6 feet.

The metal portion of the fence is made of cast metal, made for the purpose of fencing. Fence segments comes in roughly 1 foot sections and are joined by welding to two common square bars between posts. See photograph below, showing two sections of fence together.



Additional details are provided in this request for administrative approval as listed below.

Attachment A - Wall Floor plan, design, and elevation.pdf

Attachment B - Gate Footing Detail.pdf

Attachment C -Wall Construction Detail.pdf

Attachment D - Letter from Alexandria Dept of Zoning RE Fence at 516 Cameron St.pdf

Appendix E - Survey 516 Cameron Street.pdf

Project B: Federal Style Railing and Rooftop Deck

Overall Description

Atop existing parapet wall, construct a balustrade railing system, appropriate for the age of the building and for providing safety for use of deck, to be constructed as described below. Top of the railing will be 45" above the finished deck surface, and 39" above the existing parapet wall

Build 757 square foot rooftop deck one story above N St Asaph Street to South and Washington Way Alley to South. Deck to be bound by existing 19" parapet wall and the exterior flounder of 516 Cameron Street, as it runs along N St. Asaph Street and to Washington Way, in historic Old Town Alexandria, VA.

Additional details, including relevant attachments, are provided in this request for administrative approval in Alexandria's APEX System.

Materials, General

Railing

Fypon will be used for the entire composition of the railing. As described by the manufacturer, "Fypon products are ... a lightweight material that is easy to work with. Its closed cell structure resists water absorption. This helps prevent the material from splitting, flaking, chipping, or bloating. Large moulding profiles [are] made out of one piece of polyurethane, instead of layering wood to create the same look."

Deck

Details provided below. Deck to be constructed using Pressure Treated Wood, Plastic Pedestals, and Joist Hangers. Decking Surface will use Cumaru hardwood.

Current

Existing parapet wall, measured from the floor of the flat roof, is from 19" to 22.5" (variation allows for drainage slope)

Flat Roof. Rubber roofing

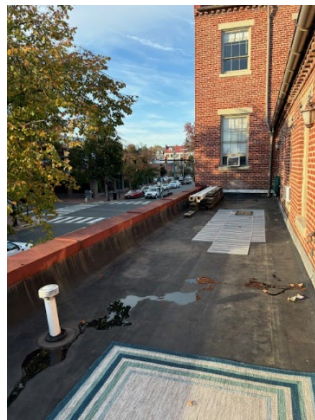
Energy inefficient, with black rubber exposed to SW sun

Photos

Attachment F - Example Fypon Balustrade System Installed



Existing Rooftop showing parapet wall



Drawings

Attachment G - Illustration of existing space with dimensions (see attachment)

Attachment H - Architectural Drawing of Upper Railing (see attachment)

Major Components

Balustrade System

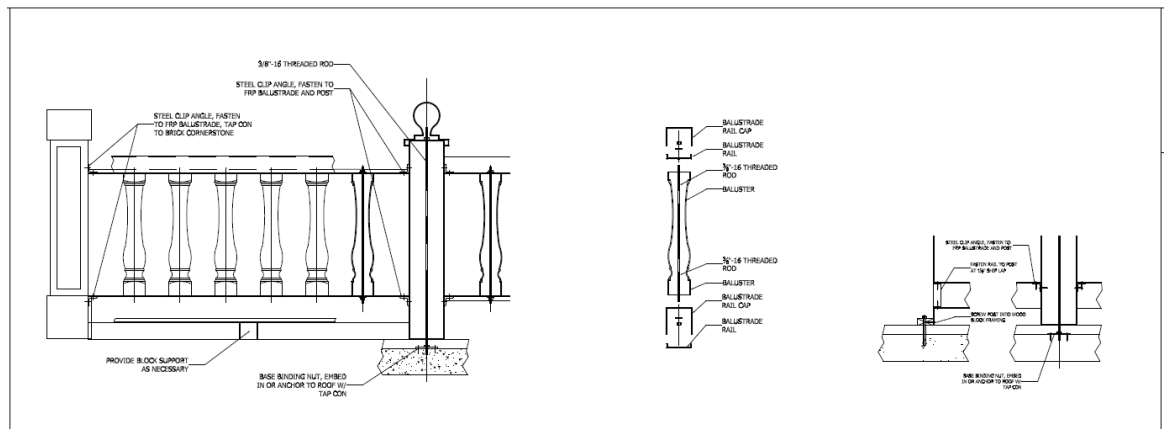
Balustrade System is comprised of railings, balustrades, and columns. System to be installed atop of existing parapet wall along flounder portion of flat roof at rear of 516 Cameron Street, along N St. Asaph Street and Washington Way. It will provide safety to the rooftop deck it surrounds and will do so in style that is consistent with the historic period of the home.

Photo of actual materials to be used is below.



Drawing

Architectural drawing of railing installation



Note: uncertain at this time whether the “Block support”, depicted above, will be required or used. Current height of railing as described in this document assumes not using. Decision to use would cause railing height to be an estimated 2” higher.

Note: do not intend to use round ball finials, depicted in the drawings above, a top of column caps.

Components

Top Rail

Description, Narrative

Top railings are paired to bottom railings and attached to columns using Fypon product L brackets, designed specifically for this use.

Specifications

Attachment I - See attachment, Fypon Product Specifications

Balustrades

Description, Narrative

Specifications

See Attachment I - Fypon Product Specifications.

Note that specifications page is for the 28" high Classic Baluster. Product that will be used is same height, but version used is a different style. See photo of installed system for additional information.

Bottom Rail

Description, Narrative

Bottom railings are paired to top railings and attached to columns using Fypon product L brackets, designed specifically for this use.

Column

Description, Narrative

Columns are 7.5" square and 48" high, with tented caps at top.

Top and bottom railings are attached to columns using Fypon product L brackets, designed specifically for this use.

Specifications

See Attachment I - Fypon Product Specifications

Deck

Description, Narrative

Build 757 square foot rooftop deck one story above N St Asaph Street to South and Washington Way Alley to South. Deck to be bound by existing 19" parapet wall and the exterior flounder of 516 Cameron Street, as it runs along N St. Asaph Street and to Washington Way, in historic Old Town.

Specifications

Pressure Treated Wood

Pressure Treated Wood will be used for the Deck structure, using 2" thickness for the joists. Board widths will be appropriate to board lengths based on placement of 16" centers. See drawing "Deck Joists Layout by Area", below, showing where 6" and 8" wide joists will be used by area of the overall deck.

Plastic Pedestals

Adjustable Plastic Pedestals will also be used as central supports to the joists



Joist Hangers

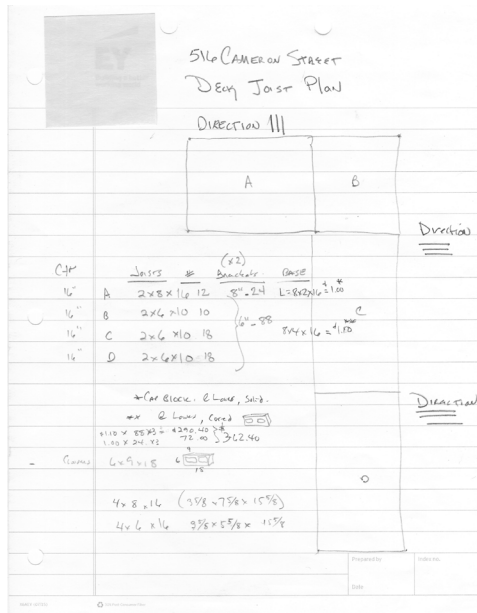
Joist Hangers will be attached to band boards at perimeter of deck

Decking Surface

Decking Surface will use Cumaru, a product much like IPE in hardness.

Drawings

Deck Joists Layout by Area (see also as Attachment J)

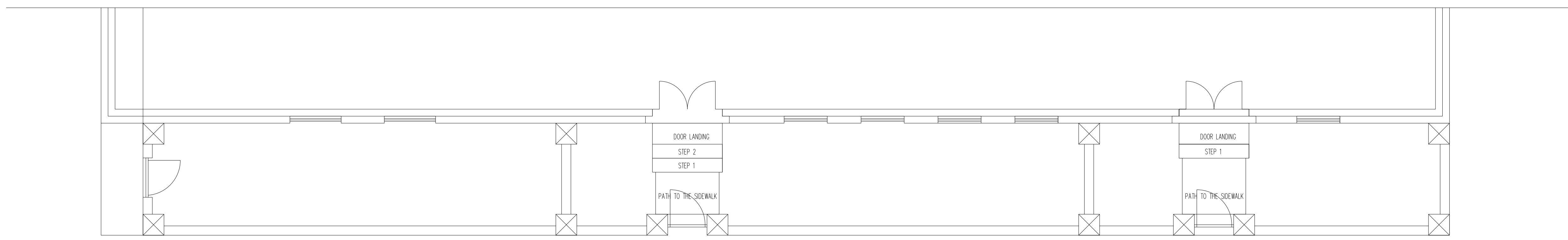


OWNER:
DAVID AND SUE WILKES
516 CAMERON STREET AND
121 NORTH ASAPH STREET
ALEXANDRIA, VIRGINIA

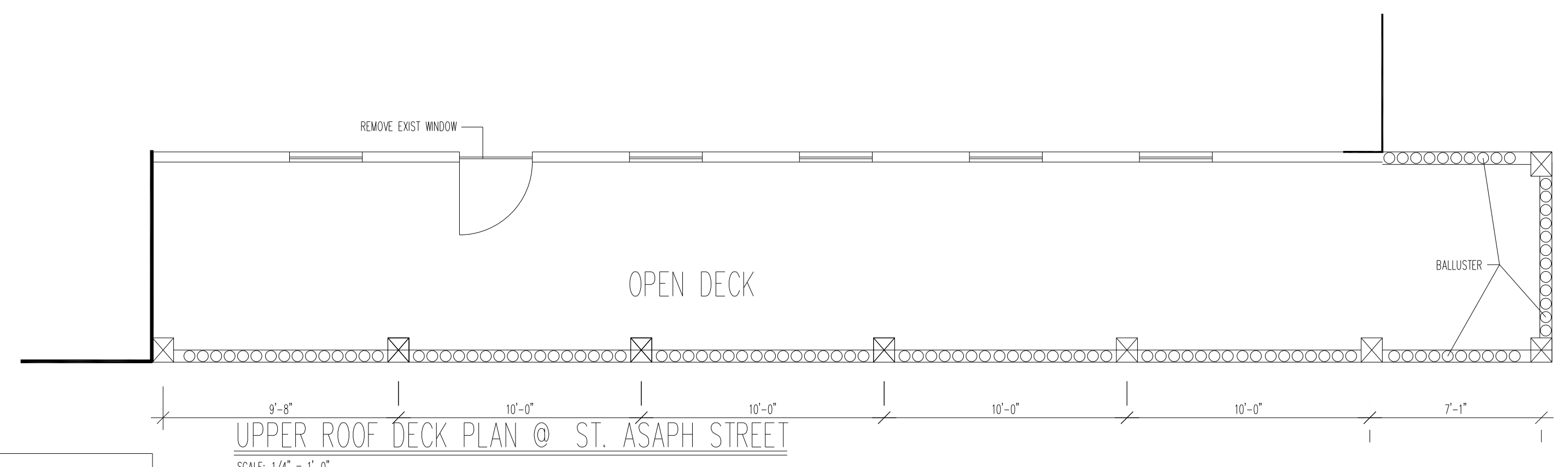
PROJECT ADDRESS:
DAVID AND SUE WILKES
516 CAMERON STREET AND
121 NORTH ASAPH STREET
ALEXANDRIA, VIRGINIA

516
DEVELOPMENT

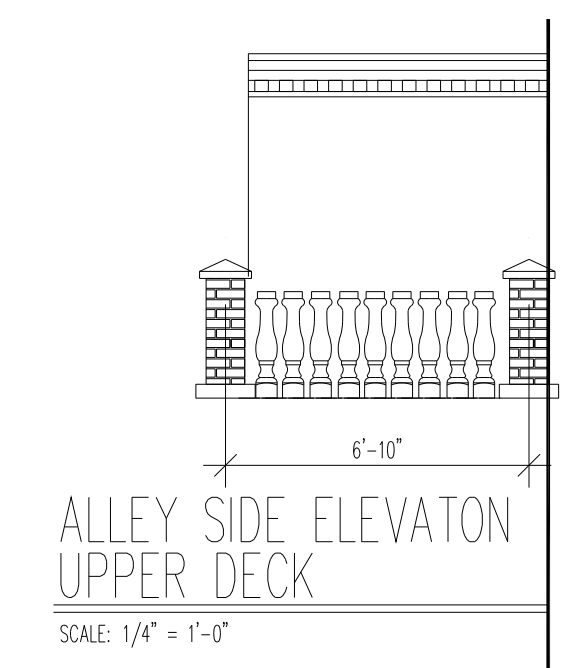
A-1



FLOOR PLAN OF WALL AT ST. ASAPH STREET
SCALE: 1/4" = 1'-0"



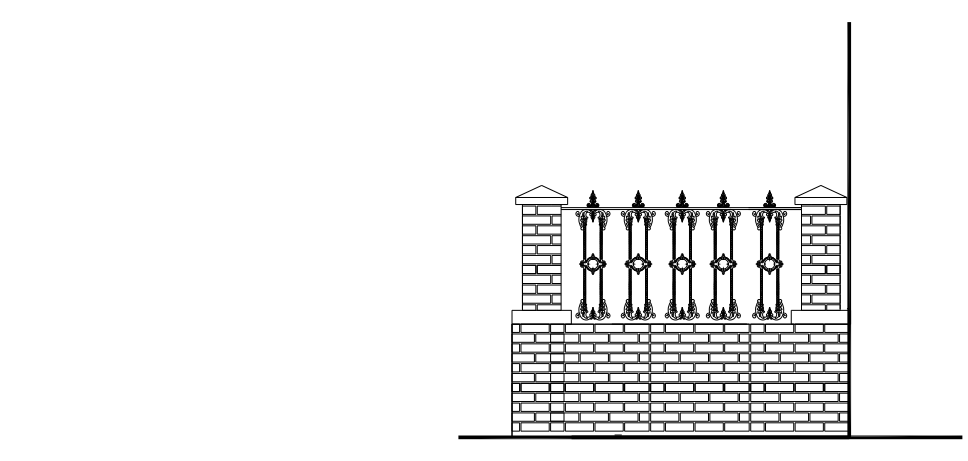
UPPER ROOF DECK PLAN @ ST. ASAPH STREET
SCALE: 1/4" = 1'-0"



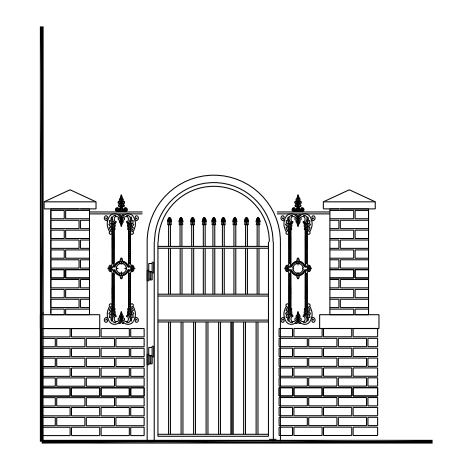
ALLEY SIDE ELEVATION UPPER DECK
SCALE: 1/4" = 1'-0"



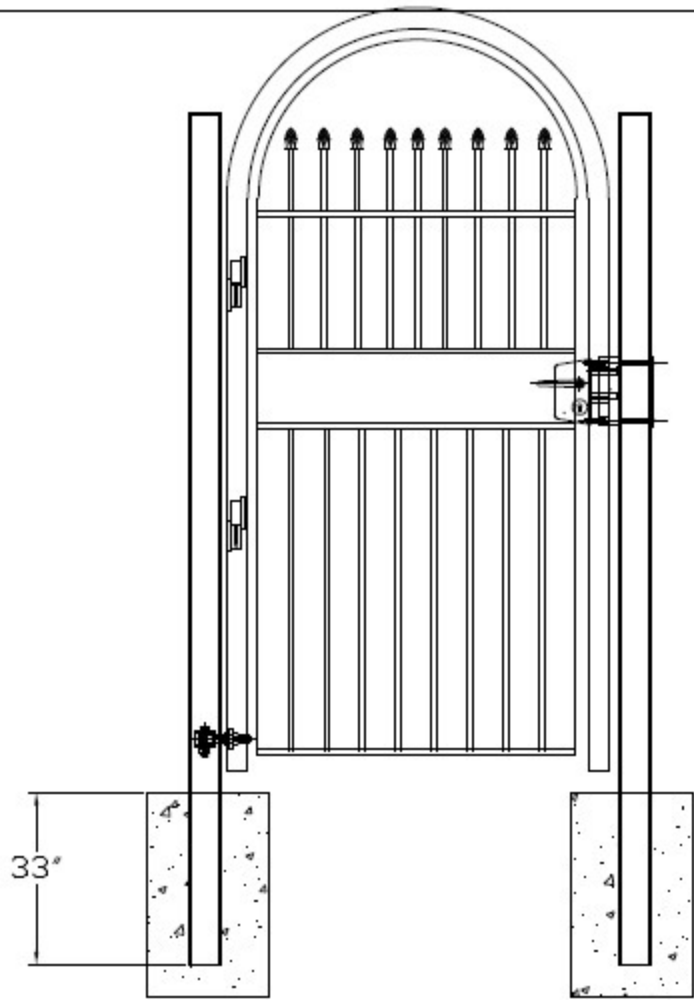
WALL ELEVATION FROM ST. ASAPH STREET
SCALE: 1/4" = 1'-0"



SIDE WALL ELEVATION FROM ALLEY
SCALE: 1/4" = 1'-0"

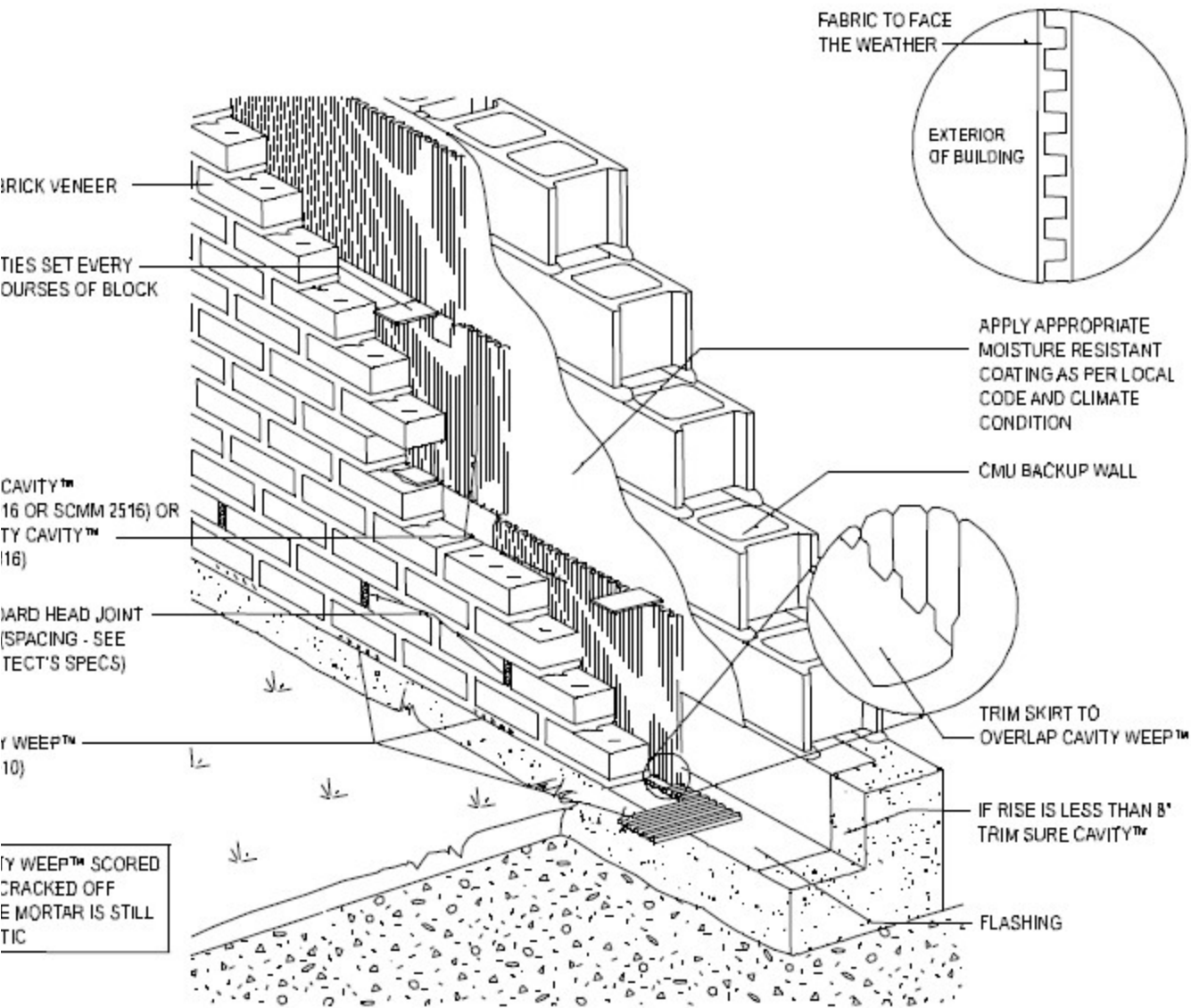


SIDE WALL ELEVATION FROM CAMERON STREET
SCALE: 1/4" = 1'-0"



GATE FOOTING DETAIL

SCALE: NTS



- NOTES**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. DO NOT SCALE DRAWINGS
 3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.MTIDRY.COM

BRICK CAVITY VENEER ON BLOCK BACKUP
 CAVITIES LESS THAN 1 1/2" OF REMAINING AIRSPACE

BRICK WALL DETAIL

SCALE: NTS

Sean P Killion <sean.killion@alexandriava.gov>

10/8/2024 8:27 AM

Fence at 516 Cameron St

To davewilkes@comcast.net <davewilkes@comcast.net>

Good Morning,

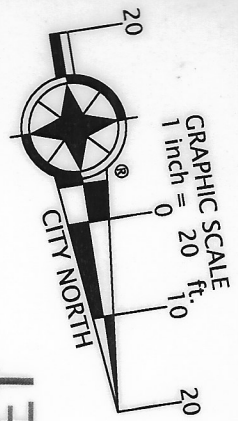
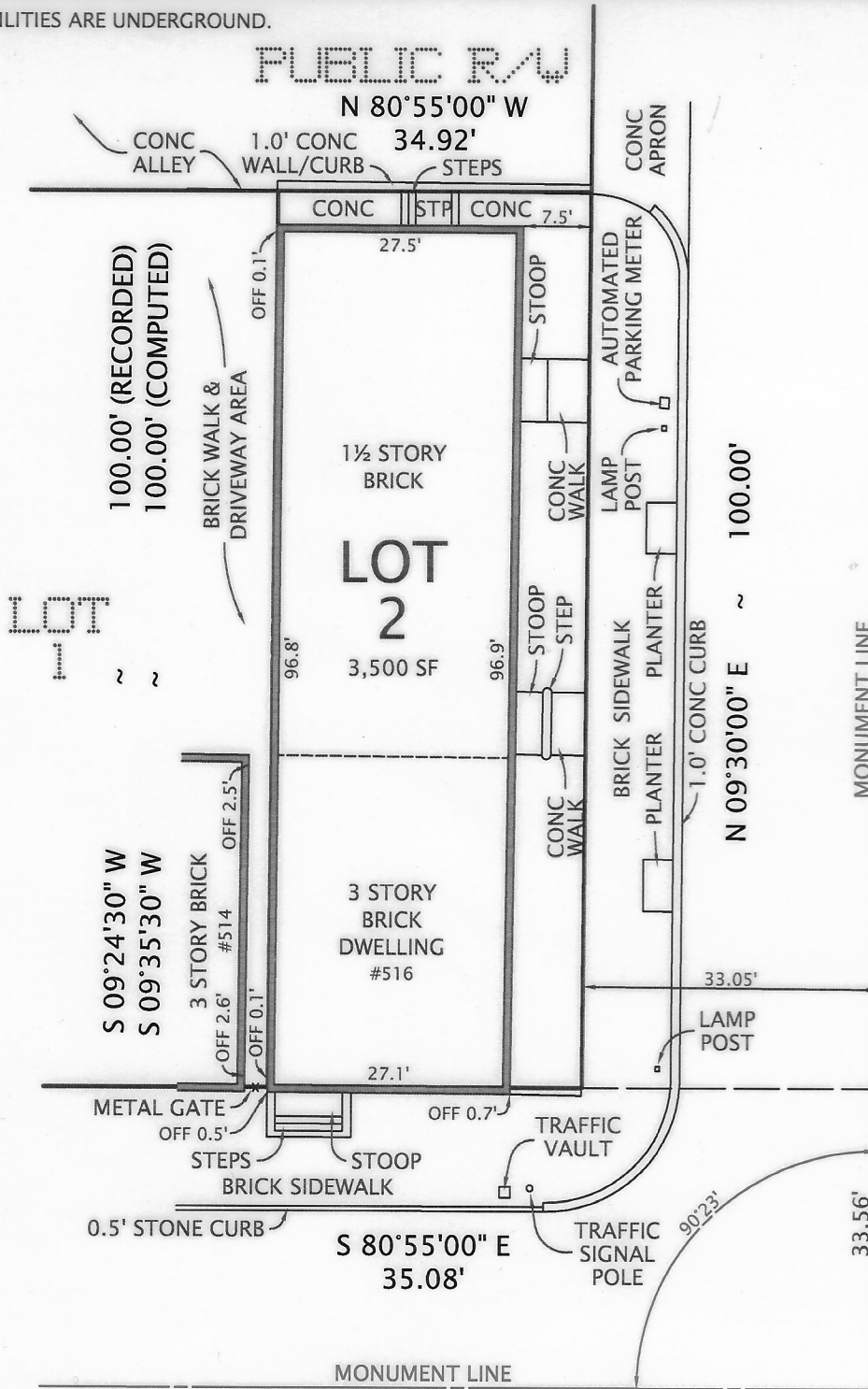
I had a discussion with my supervisor regarding the proposed six foot fence you wanted along your secondary front yard. The BAR can waive the height and setbacks from the Zoning Ordinance requirements so the proposed design you have will comply with Zoning. If you have any questions feel free to reach out.

Sean Killion
Urban Planner II
Department of Planning & Zoning
City of Alexandria
Working in the Office Monday thru Wednesday
Working Remote Thursday & Friday



The City of Alexandria's 275th Anniversary

NOTES: 1. UTILITIES ARE UNDERGROUND.



NORTH SAINT ASAPH STREET

CAMERON STREET

PLAT
 SHOWING HOUSE LOCATION ON
 LOT 2
 OF A RESUBDIVISION OF
#514-516 CAMERON STREET
 (DEED BOOK 1200, PAGE 929)

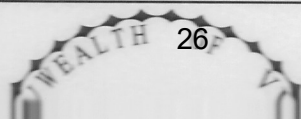
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

MAY 27, 2011

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I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN



ORDERED BY:

SCHEFER TRUST - WILKES

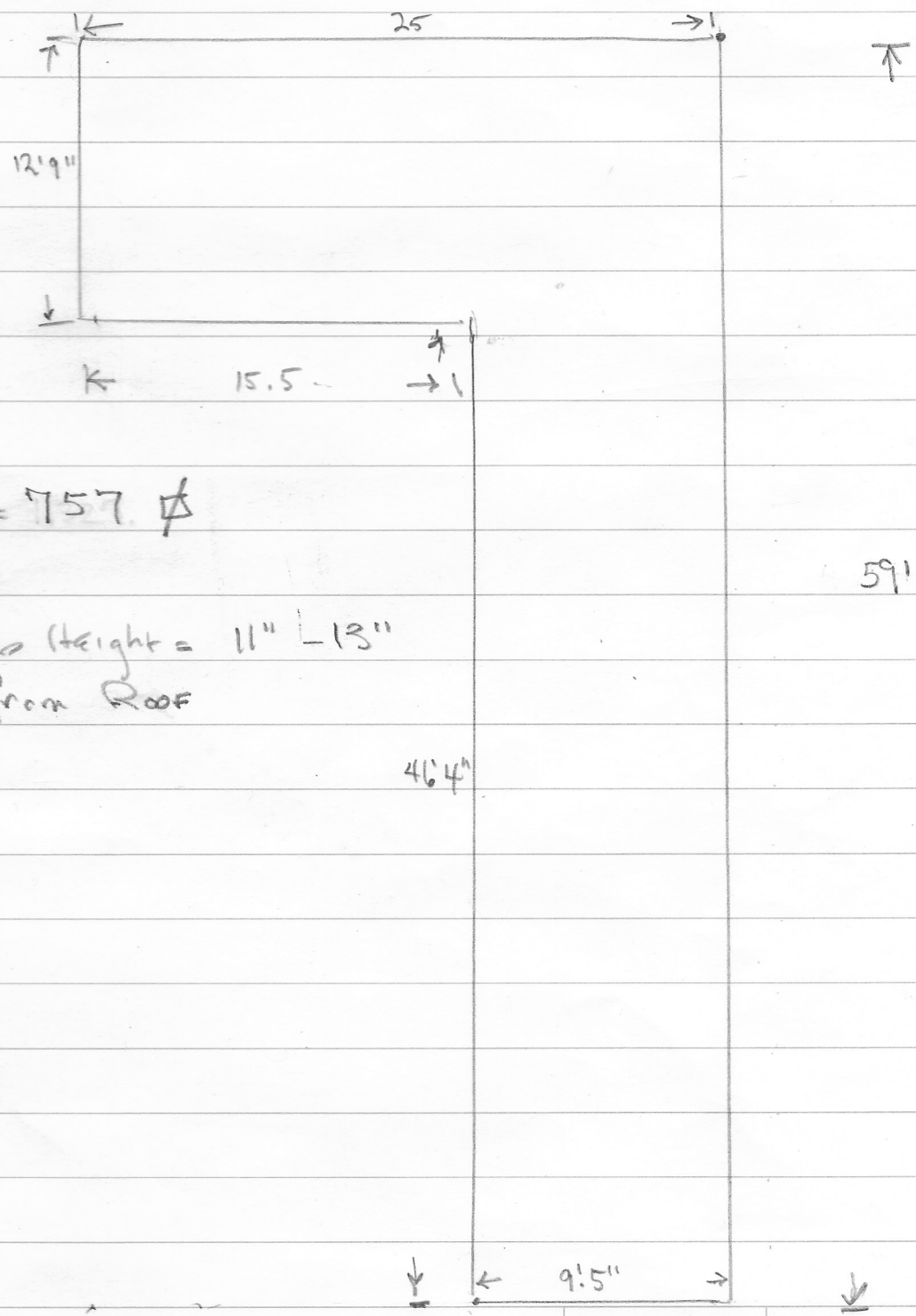
Fypon Balustrade System Installed



Fypon Balustrade System Installed



516 N. CAMERON ST.



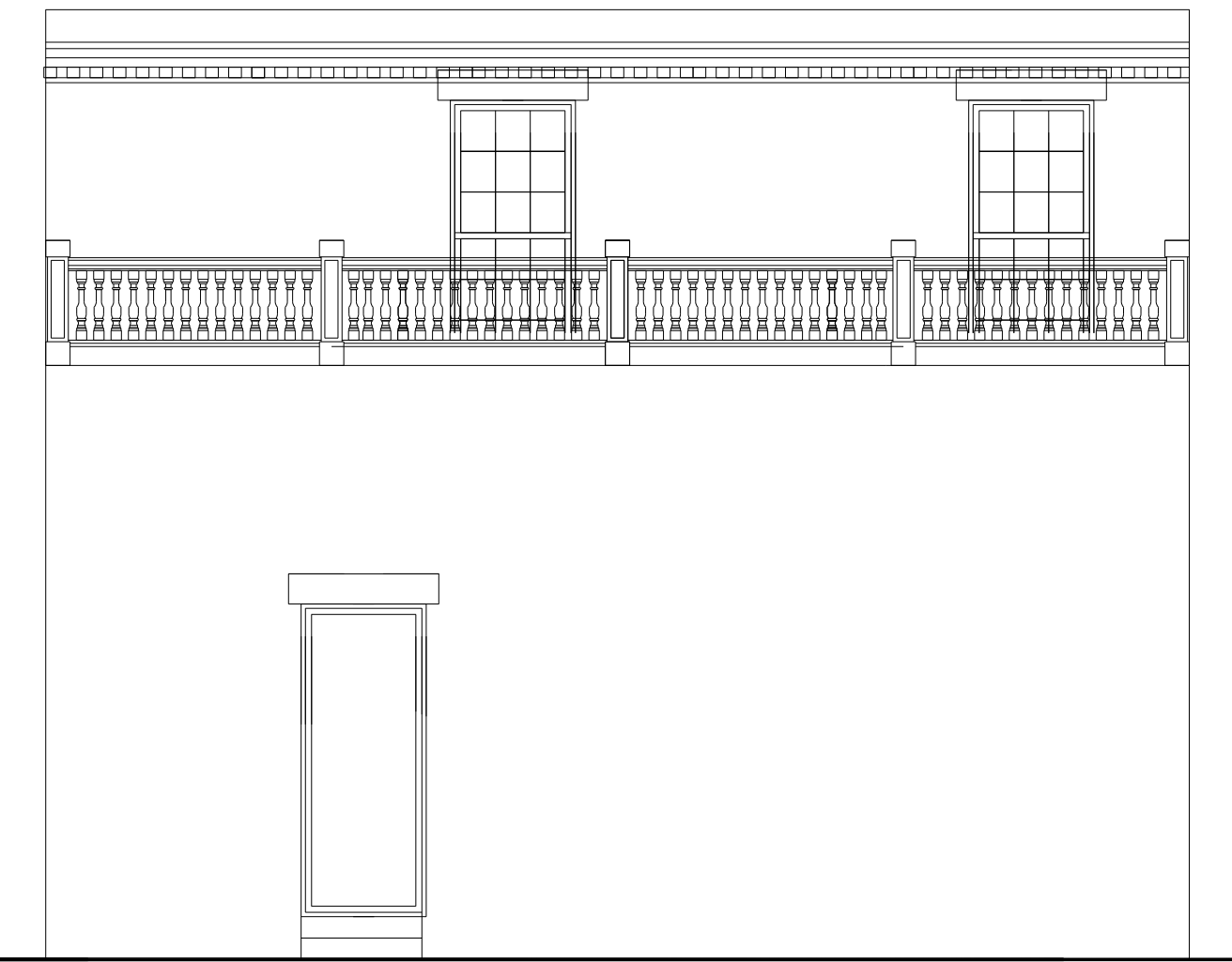
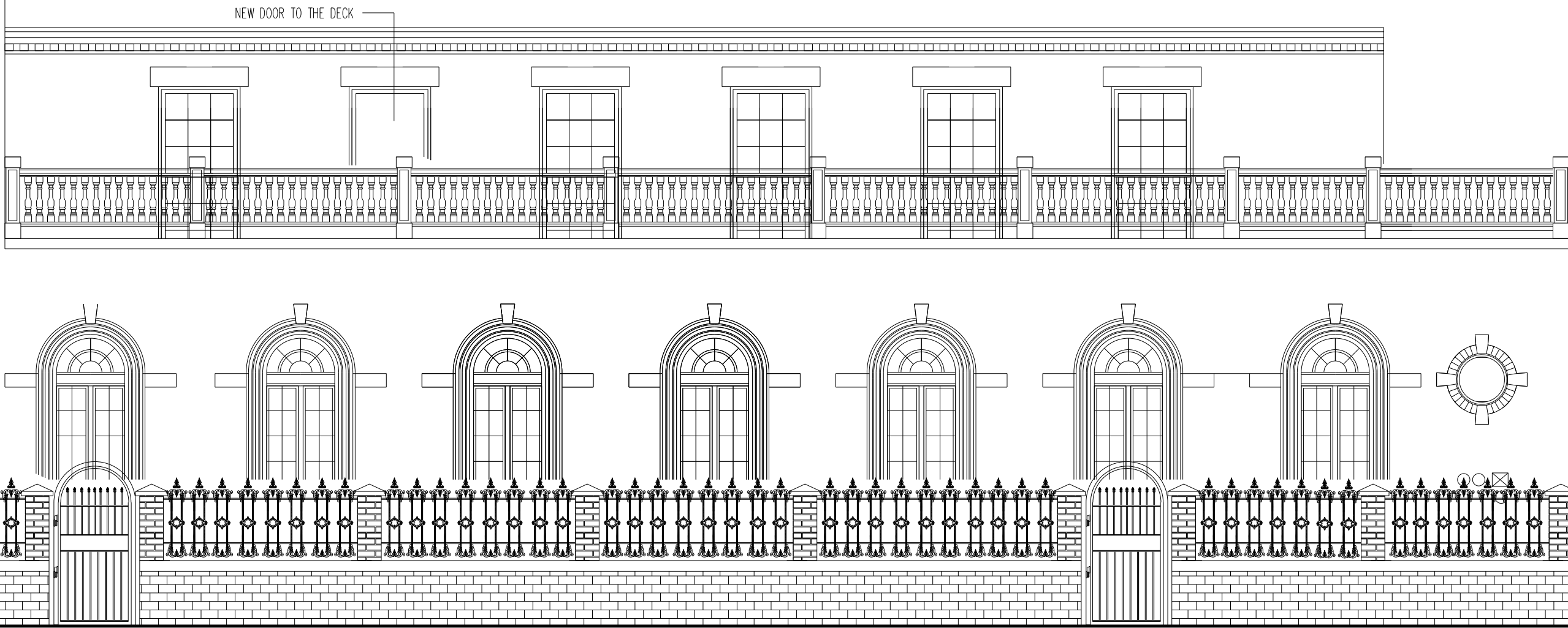
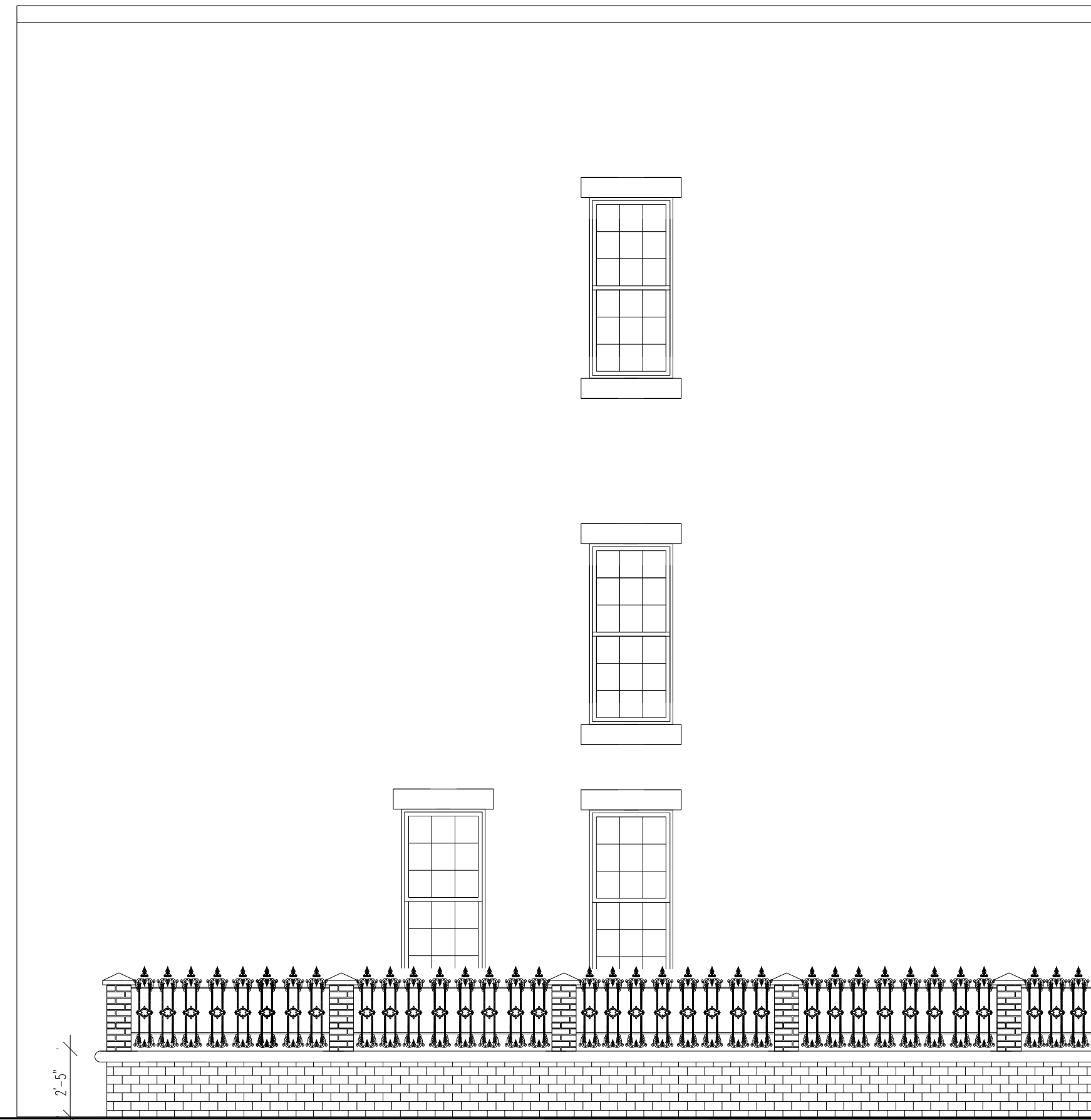
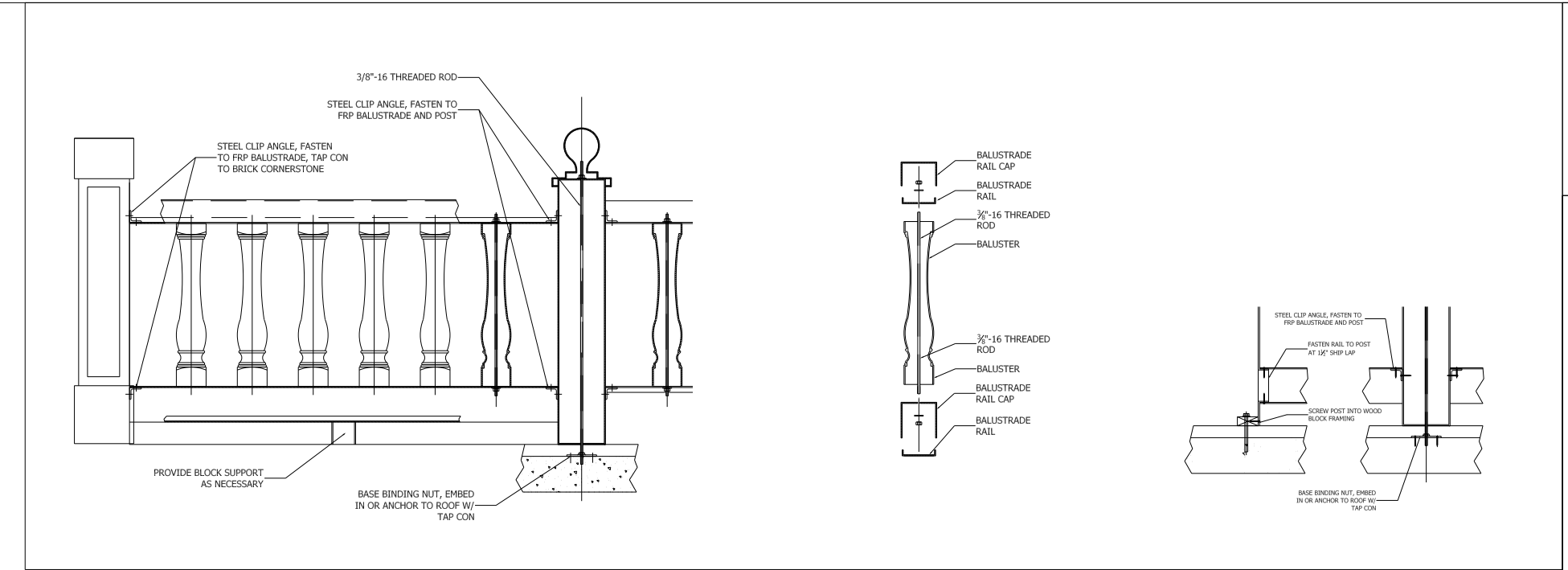
TOTAL A = 757 A

TOTAL finished height = 11" - 13"
from ROOF

59'0"

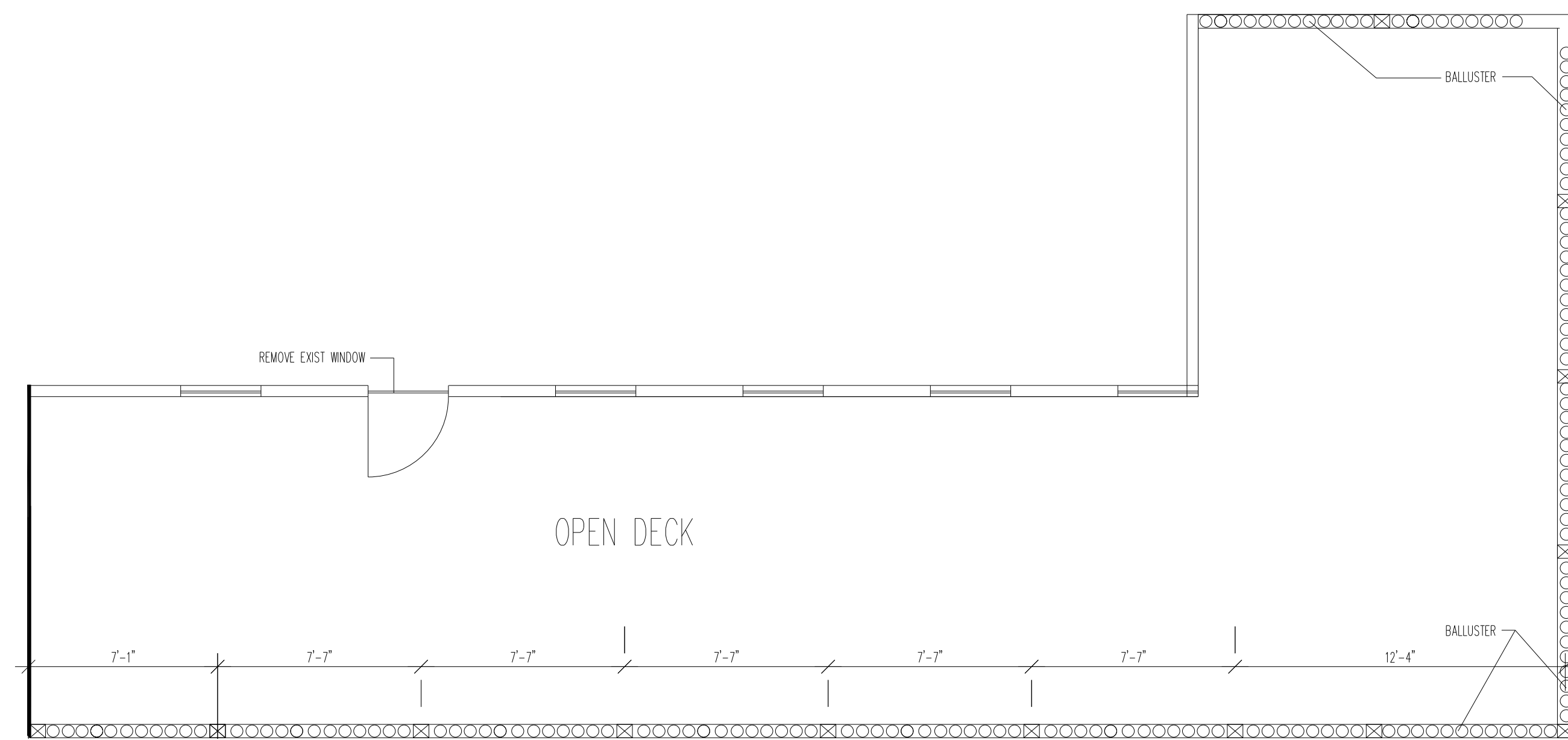
46'4"

Prepared by	Index no.
Date	



WALL ELEVATION FROM ST. ASAPH STREET
SCALE: 1/4" = 1'-0"

UPPER DECK PUBLIC ALLEY SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UPPER ROOF DECK PLAN @ ST. ASAPH STREET
SCALE: 1/4" = 1'-0"

Material	Urethane
UPC Code	740227184496
Width	5" (5 in.) or 127 mm
Height	28" (28 in.) or 711.2 mm
Key Feature #1	Will not crack, warp, or split
Key Feature #2	Impervious to insects
Key Feature #3	Outlasts resin, plastics, wood and aluminum products
Key Feature #4	Solid urethane for maximum durability and detail
Key Feature #5	Lightweight and easy to install
CAD Files	11576
Condition	New
UPC	0740227184496
Brand	Fypon, Ltd.

PRODUCT QUESTIONS & ANSWERS

CUSTOMER REVIEWS



[Write a Review](#)

\$ Free Shipping on orders over \$999
 Save an Additional 5% orders over \$1,999
Save an Additional 10% orders over \$2,499
Save an Additional 15% orders over \$4,999
Save an Additional 20% orders over \$9,999

HOME / FYPON PRODUCTS / BALUSTRADE SYSTEMS / 7"W X 5 1/4"H X 96"L STRAIGHT TOP RAIL



7" W X 5 1/4" H X 96" L STRAIGHT TOP RAIL

Width	Height	Length
7"	5 1/4"	96"

Item No.: BTR7X96

Usually ships in 5-7 business days

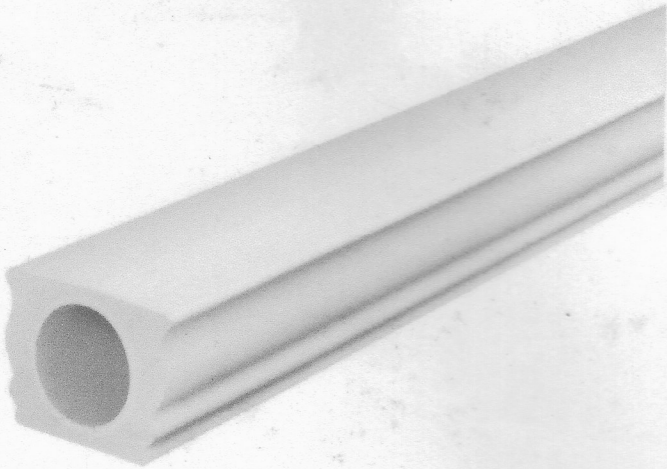


Not yet Rated | [Write a Review](#) | [Ask a Question](#)

\$176.79 EACH

[Add to Wishlist](#)

[Add to Cart](#)



⊕ Hover to zoom

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RELATED PRODUCTS



PL PREMIUM ADHESIVE, 110.6 OZ. CARTRIDGE

Item No.: ADH1

\$9.60

DETAILS

This 7" Balustrade System Top Rail measures 8 feet in length. It is finely molded in design and crafted in durable urethane. The top rail is precision molded in high-density, rigid urethane. The closed cell structure of urethane makes it non-porous and highly resistant to the effects of moisture; the rail resists mildew, decay and insects. The top rail is also reinforced at the core with heavy-duty vinyl tubing. The urethane balustrade system offers unmatched beauty, durability and cost-effectiveness. Our extensive selection of system components ensures that there is a balustrade system that will conform to and accentuate virtually any exterior space. Define and enhance porches, balconies, patios and more.

Free Shipping on orders over \$999

Save an Additional 5% orders over \$1,999

Save an Additional 10% orders over \$2,499

Save an Additional 15% orders over \$4,999

Save an Additional 20% orders over \$9,999

HOME / FYPON PRODUCTS / BALUSTRADE SYSTEMS / 5"W X 28"H CLASSIC BALUSTER, 7 1/2" ON CENTER SPACING FOR 4" SPHERE CODE



5"W X 28"H CLASSIC BALUSTER, 7 1/2" ON CENTER SPACING FOR 4" SPHERE CODE

Width 5" Height 28"

Item No.: BAL5X28CC

Usually ships in 5-7 business days



Not yet Rated | Write a Review | Ask a Question

\$81.34 EACH

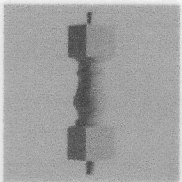
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🛒 Add to Cart

HELPFUL RESOURCES

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- 🔍 View in Catalog
- 📄 Installation Instructions
- 📄 Product Warranty

MORE PHOTOS



RELATED PRODUCTS



PL PREMIUM ADHESIVE, 1 10.6 OZ. CARTRIDGE

Item No.: ADH1

\$9.60

DETAILS

Featuring an elegant profile and traditional character, the Classic Baluster lives up to its name. This minimally detailed baluster has the appeal of a turned spindle and a modern high-density polyurethane construction. This Classic Baluster is designed for use with the 5" Balustrade System, our slimmest balustrade. The Baluster is molded with precision and durable in form, as it is impervious to the warping, cracking and decay caused by moisture and climate. The durable surface is also resistant to staining, so you can spend more time enjoying the defining detail of the balustrade and less time on seasonal maintenance.

SKU

BAL5X28CC



Free Shipping on orders over \$999

Save an Additional 5% orders over \$1,999

Save an Additional 10% orders over \$2,499

Save an Additional 15% orders over \$4,999

Save an Additional 20% orders over \$9,999

HOME / FYPON PRODUCTS / BALUSTRADE SYSTEMS / 7 1/2"W X 48"H PLAIN NEWEL POST



7 1/2"W X 48"H PLAIN NEWEL POST

Width: 7 1/2" Height: 48"

Item No.: NP8X48

Usually ships in 5-7 business days



Not yet Rated | Write a Review | Questions & Answers (1)

\$108.70 EACH

♥ Add to Wishlist

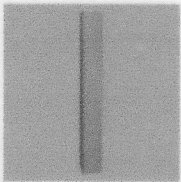
1

🛒 Add to Cart

HELPFUL RESOURCES

- 🔍 View Full Size
- 🔍 View in Catalog
- 📄 Installation Instructions
- 📄 Product Warranty

MORE PHOTOS



RELATED PRODUCTS



PL PREMIUM ADHESIVE, 110.6 OZ. CARTRIDGE

Item No.: ADH1

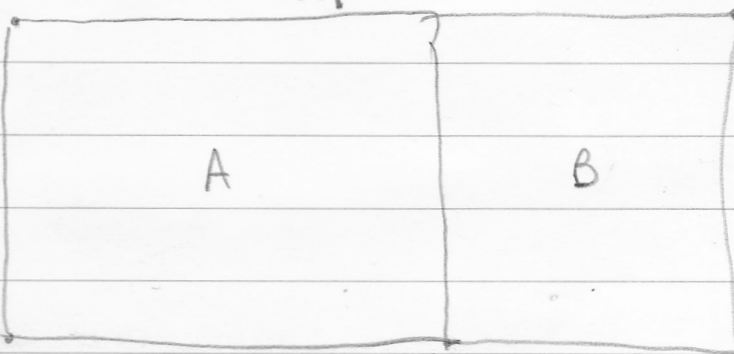
\$9.60

DETAILS

This porch post is designed for use with the 7" balustrade system. The newel post anchors lengths of balustrade. It also strengthens the balustrade. This plain newel post features a durable urethane construction. Urethane molds with great precision and classic detail. Urethane also includes a unique closed cell structure that prevents high levels of moisture absorption. This allows the urethane balustrade to remain free of peeling, cracking and decay. The 7" balustrade system requires little maintenance over time, and it remains beautiful. Define the exterior space with the 7" system, a balanced and detailed choice. Urethane balustrade components are pre-primed and ready for finishing.

516 CAMERON STREET Deck Joist Plan

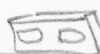
DIRECTION III



Direction III

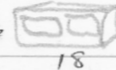
CFR	Joists #	(x2) Brackets	BASE
16"	A 2x8x16 12	8"-24	L=8x2x16 = 1.00
16"	B 2x6x10 10	6"-88	8x4x16 = 1.00
16"	C 2x6x10 18		
16"	D 2x6x10 18		

*Car Block @ Lower, Solid.

*x @ Lower, Corred 

$$\begin{aligned} & \#1.10 \times 88 \times 3 = 290.40 \\ & \#1.00 \times 24 \times 3 = 72.00 \\ & \hline & 362.40 \end{aligned}$$

Columns

6x9x18 

4x8x16 (3 5/8 x 7 5/8 x 15 5/8)

4x6x16 3 5/8 x 5 5/8 x 15 5/8

Direction III

Prepared by

Index no.

Date