

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and an addition.

APPLICANT: Pat and Kerry Adams

LOCATION: Old and Historic Alexandria District
107 North Fairfax Street

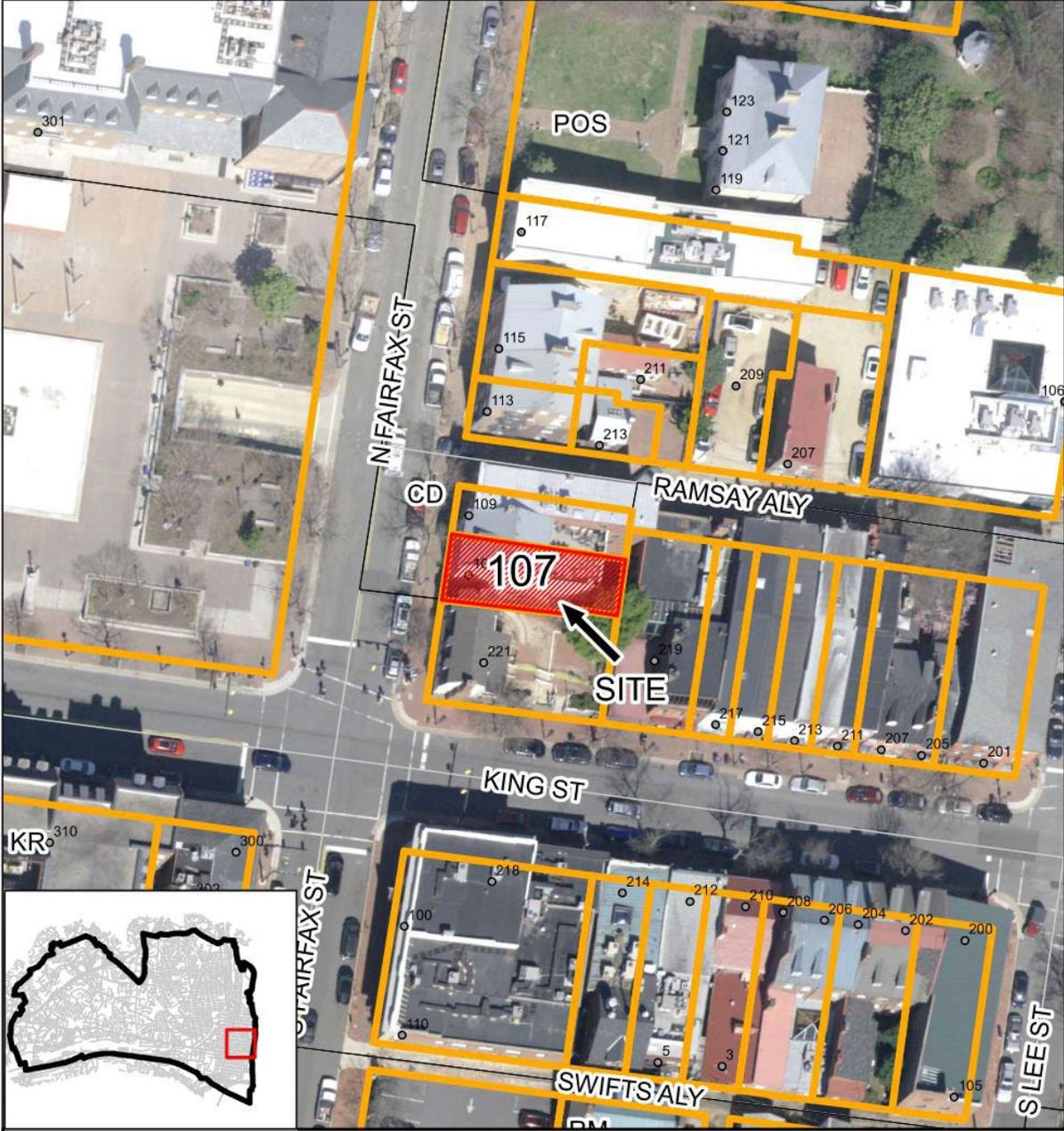
ZONE: CD/Commercial downtown zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and an addition, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2025-00501) and Certificate of Appropriateness (BAR #2025-00502) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a rear addition with roof deck, as well as alterations, at 107 North Fairfax Street.

Permit to Demolish/Capsulate

Approximately 154 square feet of wall surface will be encapsulated on the rear/east elevation. In addition, a section of roof here will be removed in order to construct a new dormer addition. See Figure 1.

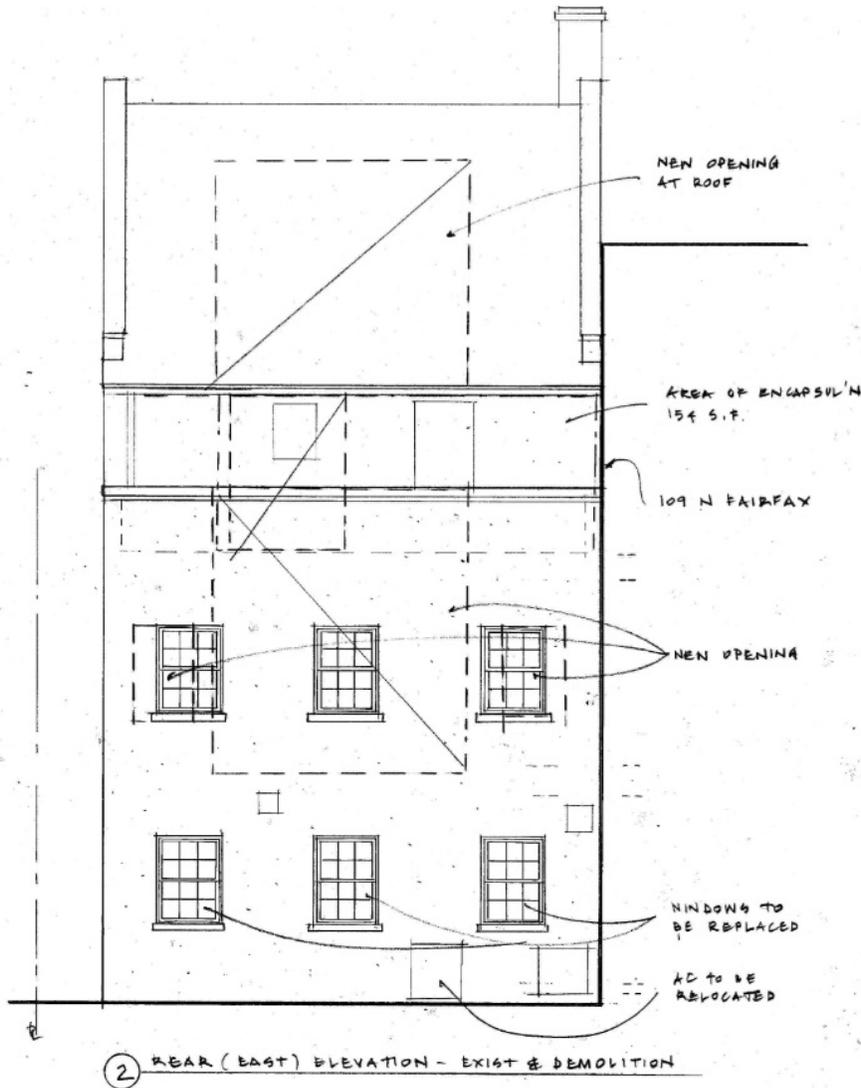


Figure 1: Area to be encapsulated on E elevation

Certificate of Appropriateness

Addition

The applicant proposes a rear two-story projecting bay addition with a spiral stair and a roof deck. The addition will be appended to the second floor of the existing rear/east addition, with the new third floor and roof deck above. A dormer addition will extend from the rear/east roof of the main block. See Figure 2.

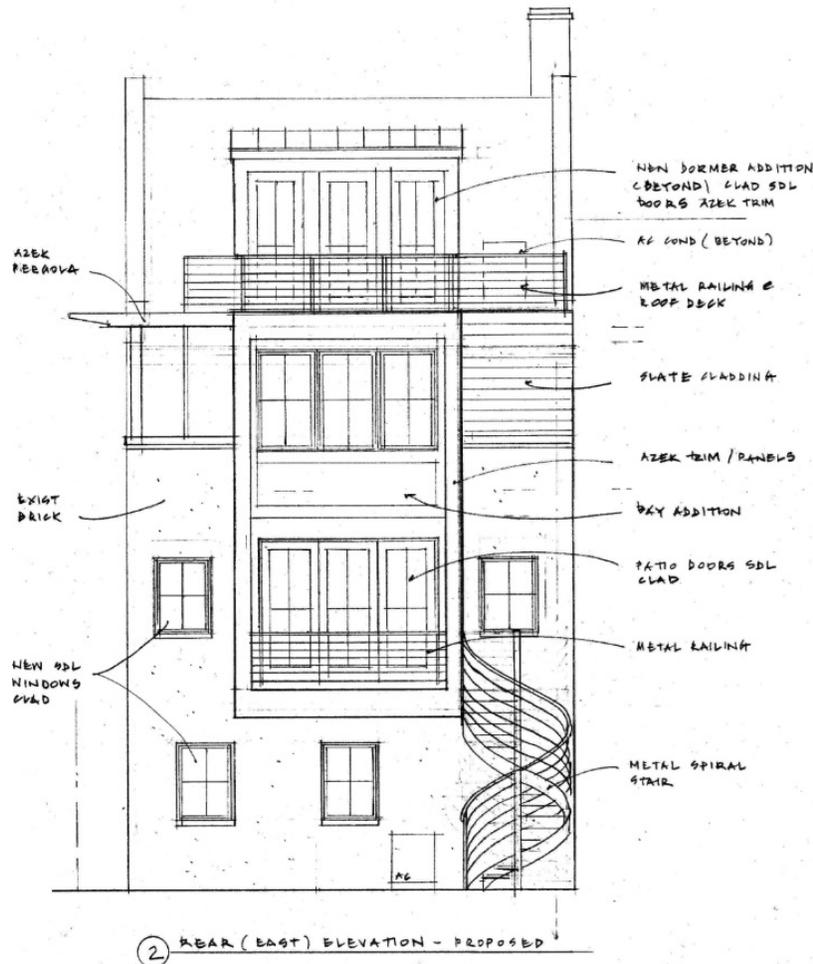


Figure 2: Proposed E elevation.

Alterations

All windows will be replaced, including the window and dormer on the west/primary elevation. The west/primary elevation will have wood true divided lite windows and the east/rear and south/side elevations will have aluminum-clad simulated divided lite windows. The exterior lighting and the door on the south/side elevation will also be replaced. A new window will be added at the attic level on the south elevation and new star ties will replace the existing. Jack arches above the windows and trim above the door on the south elevation will be removed. A drainpipe on the south elevation will also be removed and a vent at the attic level will be infilled.

Site context

The south elevation of the rear of the building is slightly visible from King Street. See Figure 3.



Figure 3: South elevation as seen from King Street

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, 107 North Fairfax was: “Built by Bernard Bryan on a lot he bought from Dennis Ramsay, son of William Ramsay, in 1795. In his will, signed February 6, 1841, Bryan bequeathed to his daughter Susanna “the house and lot on Fairfax street, my present residence, with all the furniture therein contained.” The main portion of the house therefore most likely dates to the late 18th century. However, permit #24242, issued on April 11, **1967**, approves that the “existing 1 story addition to be removed and replaced with 2 story masonry addition with basement.” Associated plats show this addition at the rear of the main block. In addition, permit BLD2007-00091 was issued January 7, 2007 to remove the existing metal roof and replace it with a standing seam roof. Therefore, the proposed addition will not affect the 18th century main block of the house. It will only affect the 1967 addition to the building and the 2007 roof.

Previous BAR Approvals

10/9/2018: BAR2018-00454: administrative approval for repairs to brick to remove a bow in south wall. The associated building permit, BLD2018-02006, describes the work: “to remove brick wall and retoothe south exterior wall with same brick.”

There are several cases for signage, which staff chose not to include here.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to

neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated. They are also not historic. As noted above, the wall on which the addition will be added was constructed in 1967 and the roof area to be affected dates to 2007.

Certificate of Appropriateness

The *Design Guidelines* state that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.” As noted in the History section above, the proposed encapsulation and addition will only affect the areas of the building constructed in 1967 and the 2007 roof. Nothing of historic significance or architectural importance will be affected. All materials comply with City guidelines and policies. The window materials, as noted above, differ based on their location on the building. The rear/east

elevation will have metal railings for the roof deck, second floor patio, and spiral stair, and be clad in smooth Hardie siding. The proposed use of Azek for the trim and pergola railings, Hardie siding, and slate cladding are all appropriate for this building. In addition, these details will be minimally visible from a public right of way. Replacing the star ties on the south elevation will improve its appearance, as will replacing the door and lighting on this elevation.

Staff therefore recommends approval of the project, as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed additions will comply with Zoning.

F-1 Property was granted a special use permit SUP2025-00044 which granted property and FAR of 2.5 instead of the regular 1.50.

F-2 Property is developed as first floor commercial, and the upper floors are auxiliary dwelling units. This makes the whole property nonresidential as the use types are both commercial uses. Therefore, the building isn't subject to the setbacks, open space and parking requirements for residential use within the CD district.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria’s Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No formal Archaeology conditions.

V. ATTACHMENTS

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

BAR CASE# _____

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 107 NORTH FAIRFAY ST

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 75.01-02-19 ZONING: CD

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: PAT & KERRY ADAMS

[Redacted]

City: [Redacted]

Phone: [Redacted] E-mail: [Redacted]

Authorized Agent (if applicable): Attorney Architect _____

Name: PATRICK CAMUS Phone: [Redacted]

E-mail: [Redacted]

Legal Property Owner:

Name: KAPS LLC

Address: [Redacted]

City: [Redacted] State: [Redacted]

Phone: [Redacted] E-mail: [Redacted]

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REQUEST APPROVAL FOR A TWO STOREY REAR
BAY ADDITON AND A THIRD FLOOR ADDITON N A ROOF
DECK

REMOVAL OF REAR PORTON OF EXIST ROOF AND REAR
WALL TO ALLOW FOR ADDITION.

REPLACEMENT OF FRONT WINDONS WITH NEN WOOD TDL
& REAR WITH CLAD SCL

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: PATRICK CAMUS

Date: 5 NOV 2025

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Patrick and Kerry Adams		100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 509 North Quaker Lane Alexandria VA 22304 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3. Patrick and Kerry Adams		100%

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Patrick and Kerry Adams	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

23 July 25

Patrick Camus

Date

Printed Name



Signature



Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 107 North Fairfax Street Street Address		CD Zone
A2. 2028 Total Lot Area	x 1.5 / 2.5 with SUP Floor Area Ratio Allowed by Zone	= 3042 / 5070 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	813	Basement**	813	B1. 5217
First Floor	1389	Stairways**	225	Existing Gross Floor Area*
Second Floor	1389	Mechanical**	25	B2. 1673
Third Floor	813	Attic less than 7"	480	Allowable Floor Exclusions**
Attic	813	Porches**		B3. 3542
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck		Lavatory***	150	Comments for Existing Gross Floor Area
Lavatory***		Other**		
Other**				
B1. Total Gross	5217	B2. Total Exclusions	1673	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**	894	C1. 894
First Floor		Stairways**	0	Proposed Gross Floor Area*
Second Floor	64	Mechanical**		C2. 0
Third Floor	540	Attic less than 7"		Allowable Floor Exclusions**
Attic	281	Porches**		C3. 894
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other**				
C1. Total Gross	894	C2. Total Exclusions	0	

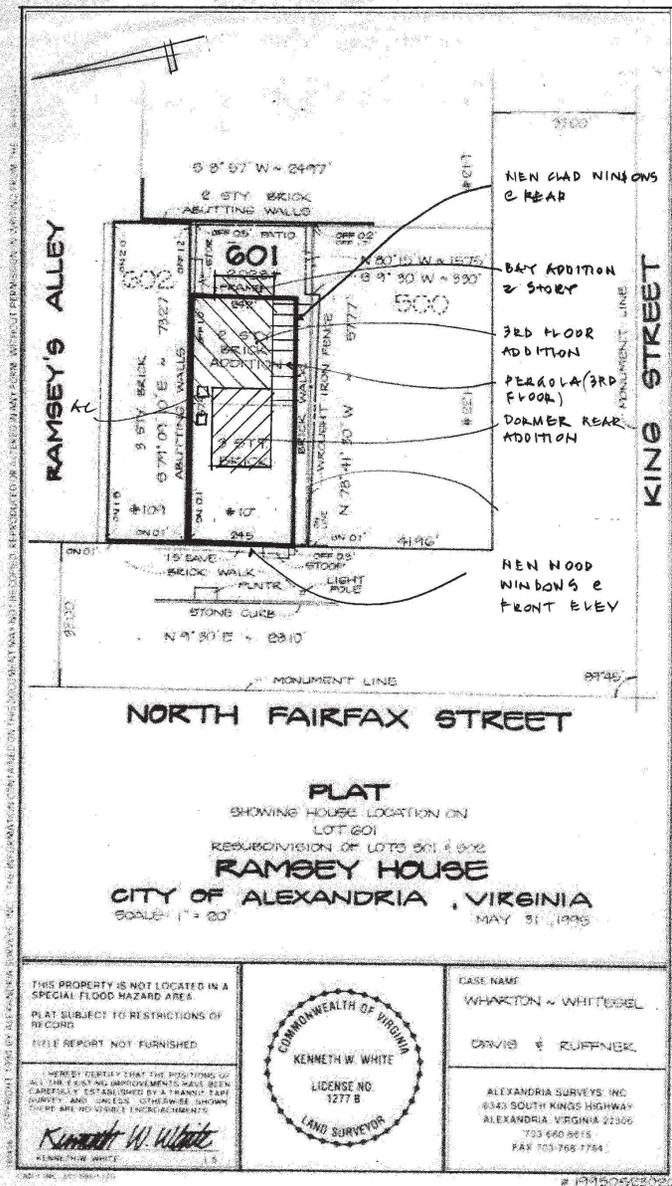
D. Total Floor Area

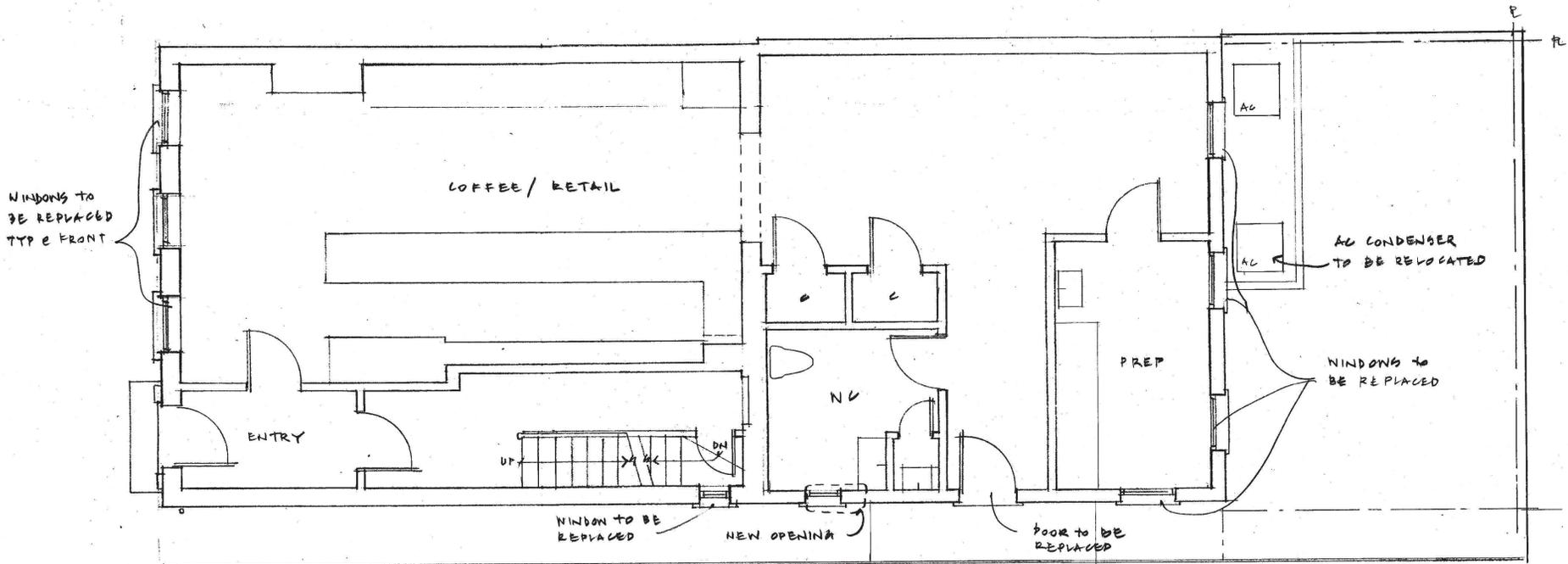
D1. 5070 w/SUP	Sq. Ft.	E1. 400	Sq. Ft.
Total Floor Area (add B3 and C3)		Existing Open Space	
D2. 4436	Sq. Ft.	E2. 0	Sq. Ft.
Total Floor Area Allowed by Zone (A2)		Required Open Space	
		E3. 336	Sq. Ft.
		Proposed Open Space	

Notes
*Gross floor area is the sum of all areas inside and out of a building, measured from the face of exterior walls, including basements, garages, sheds, porches, guest buildings and other accessory buildings.
** Refer to the Zoning Ordinance (Section 2-143(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.
***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

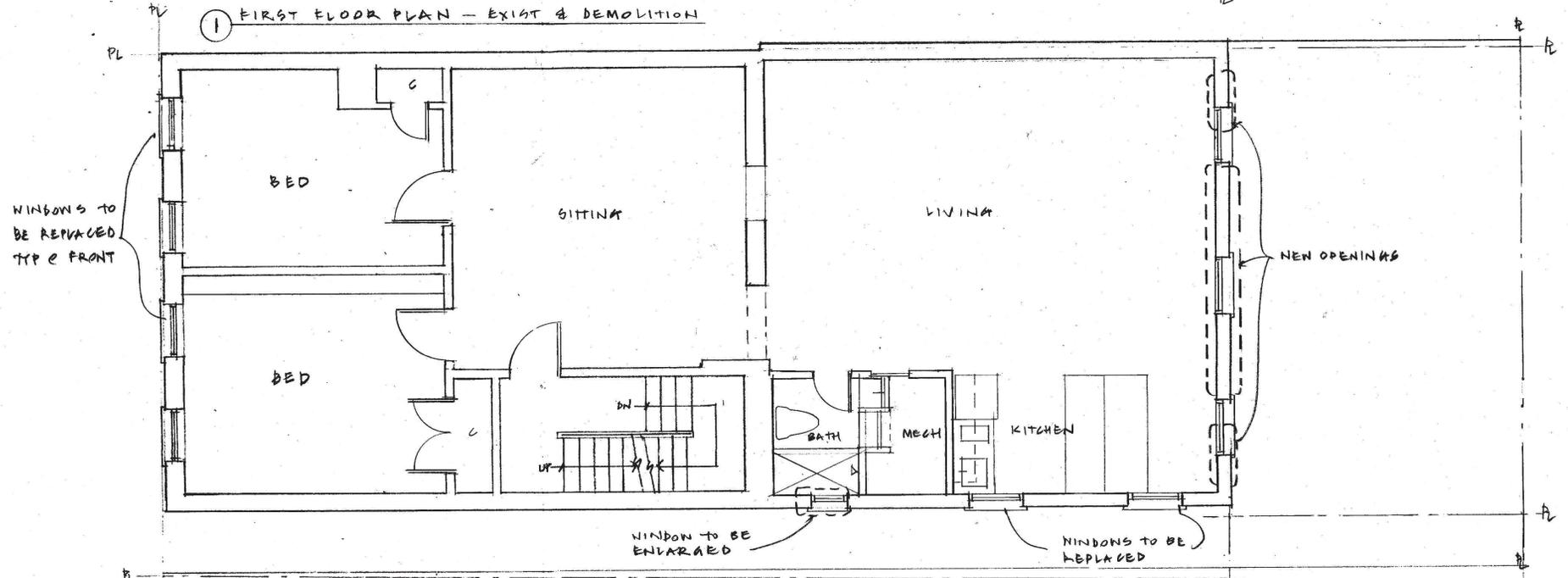
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: *Patricia* Date: 24 July 2025





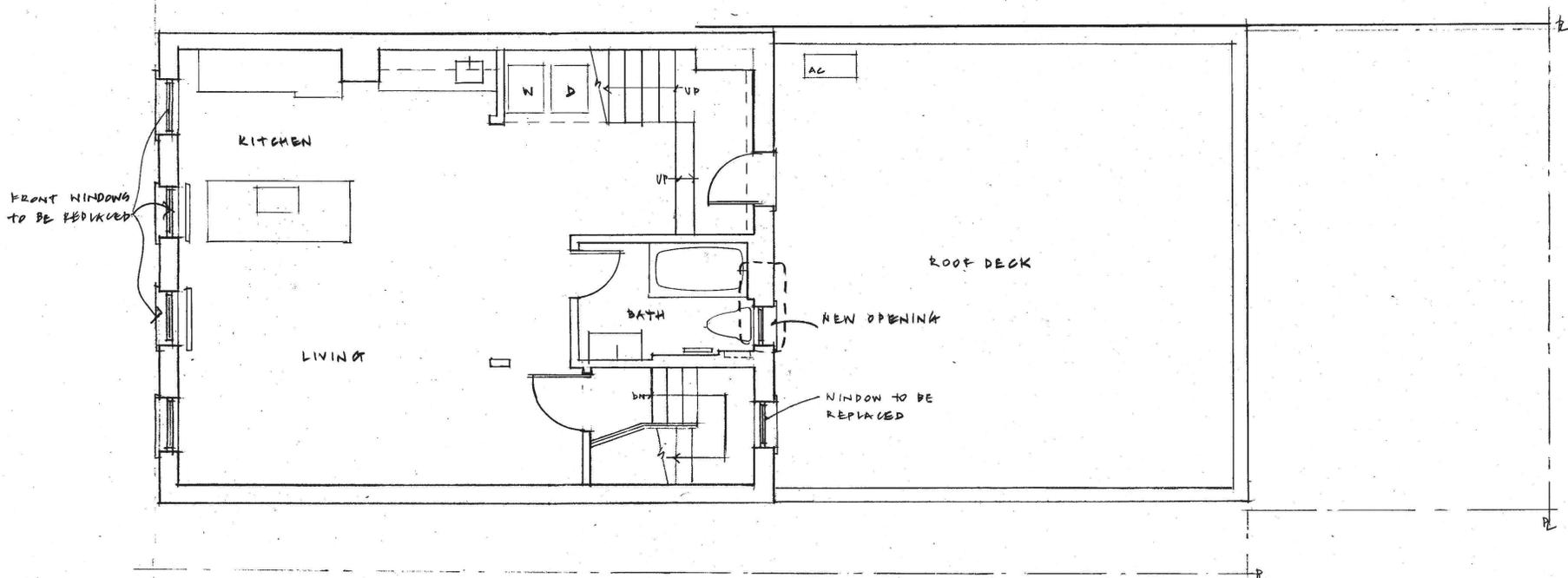
① FIRST FLOOR PLAN - EXIST & DEMOLITION



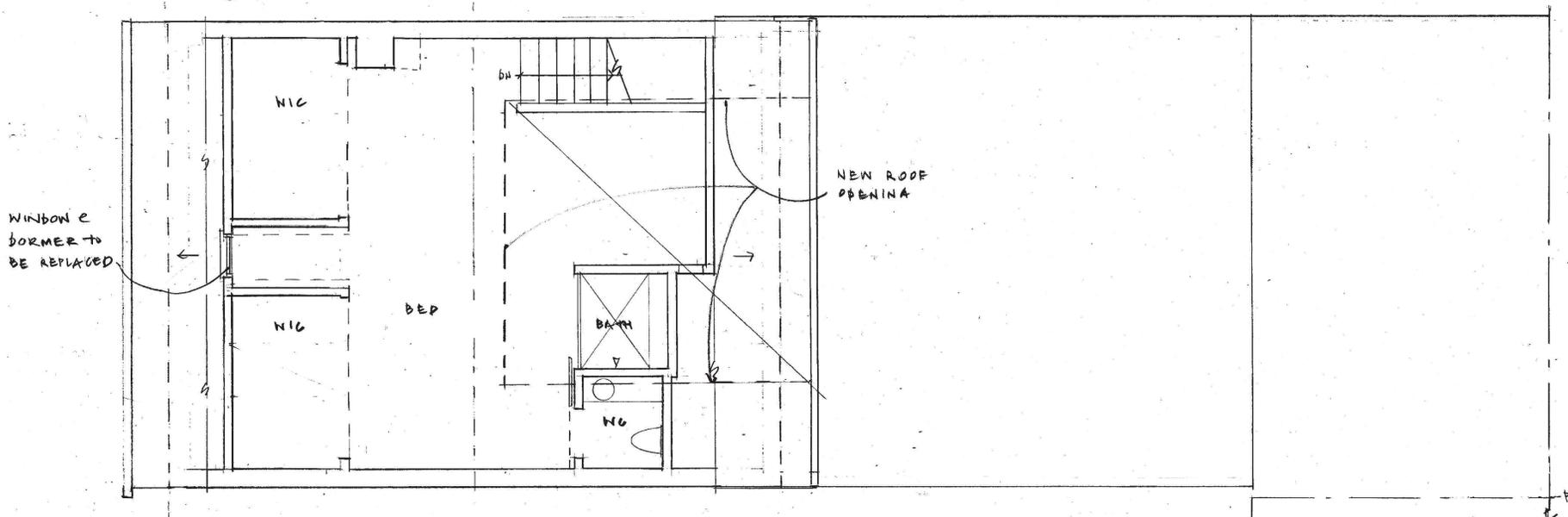
② SECOND FLOOR PLAN - EXIST & DEMOLITION



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@camcast.net Patrick 703 626 1984
 Lynette 703 989 3777



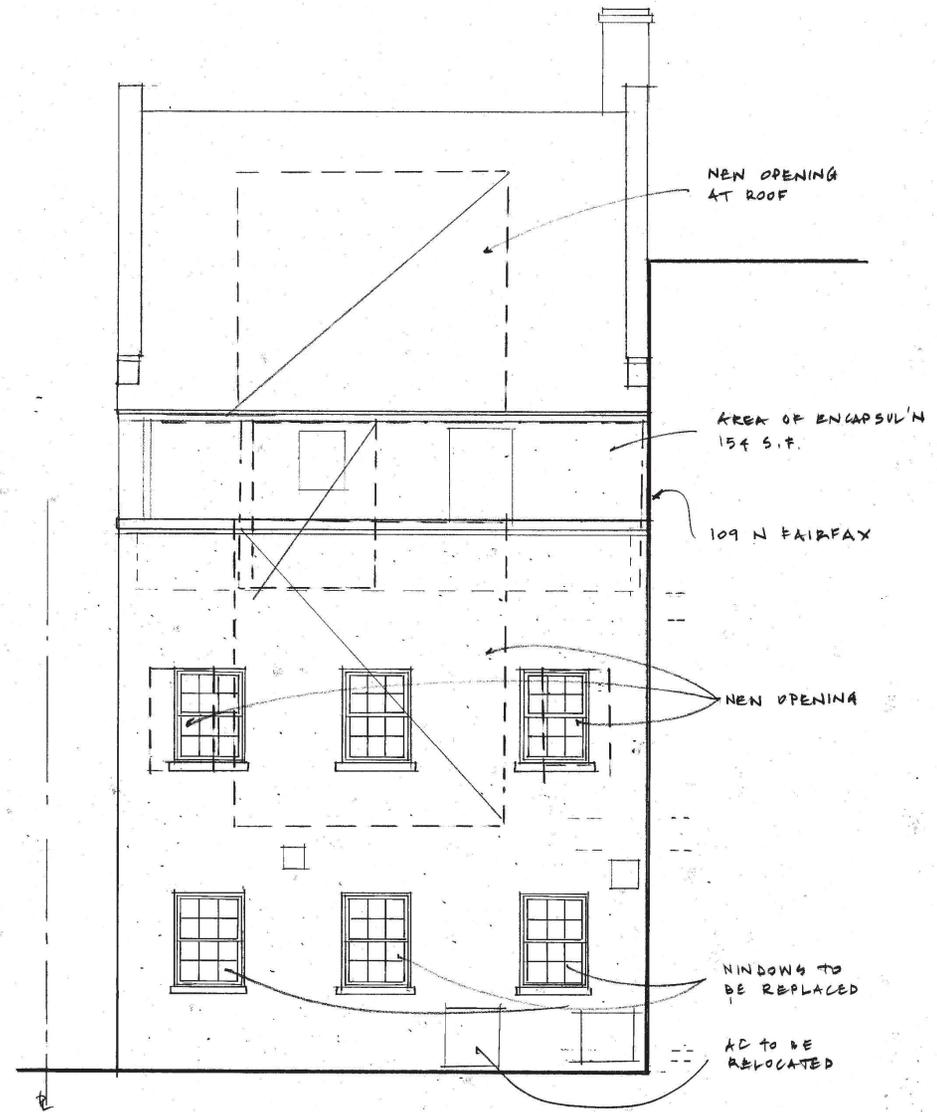
① THIRD FLOOR PLAN - EXIST & DEMOLITION



② FOURTH FLOOR PLAN - EXIST & DEMOLITION



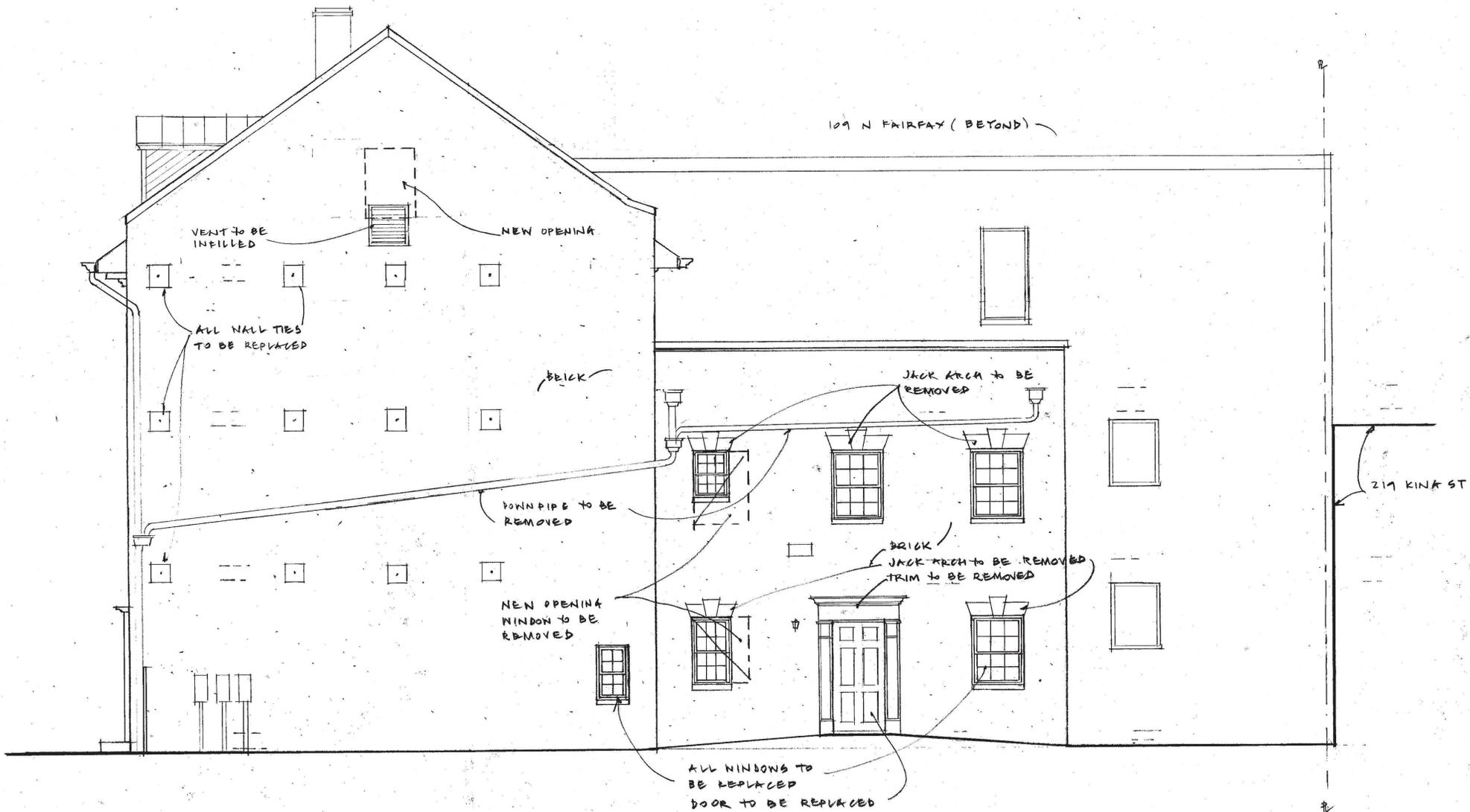
① FRONT (WEST) ELEVATION - EXIST & DEMOLITION



② REAR (EAST) ELEVATION - EXIST & DEMOLITION



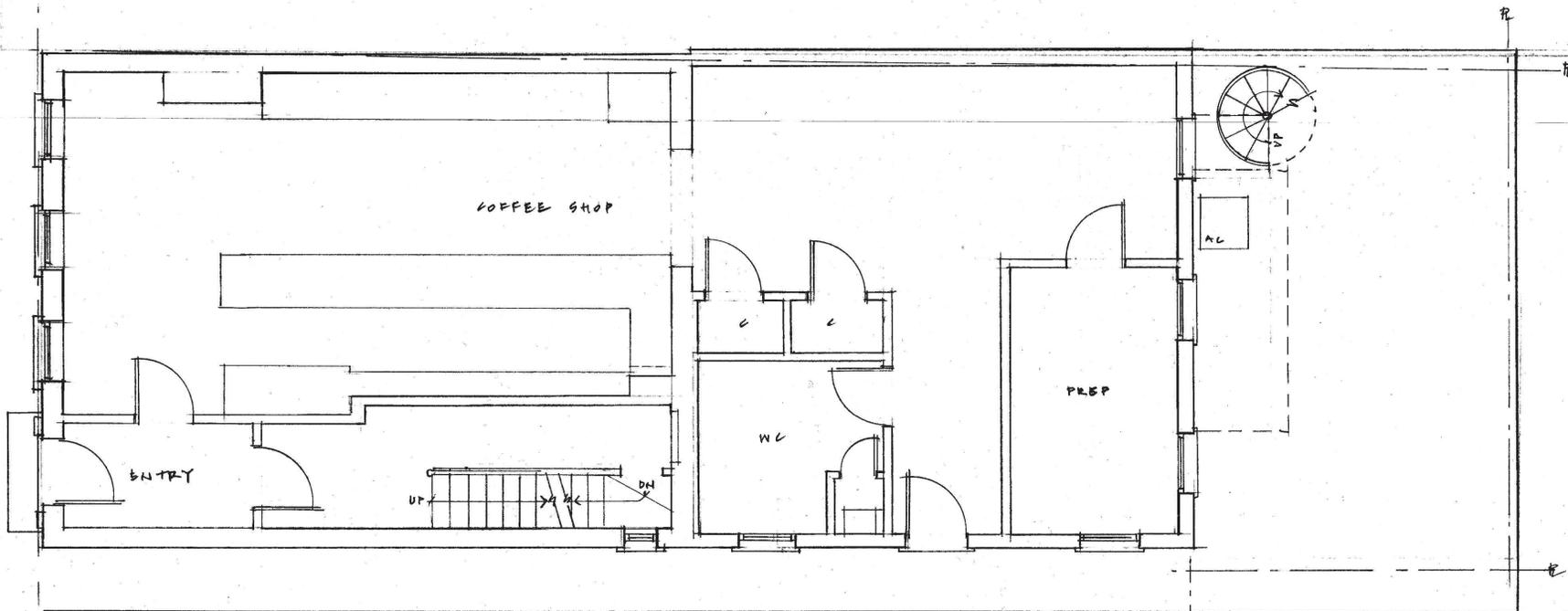
STUDIO CAMUS LLC
 225 North Pitt Street, Alexandria, Virginia 22314.
 studiocamus@camus2.net
 Lynnette 703 989 3777 Patrick 703 626 1984



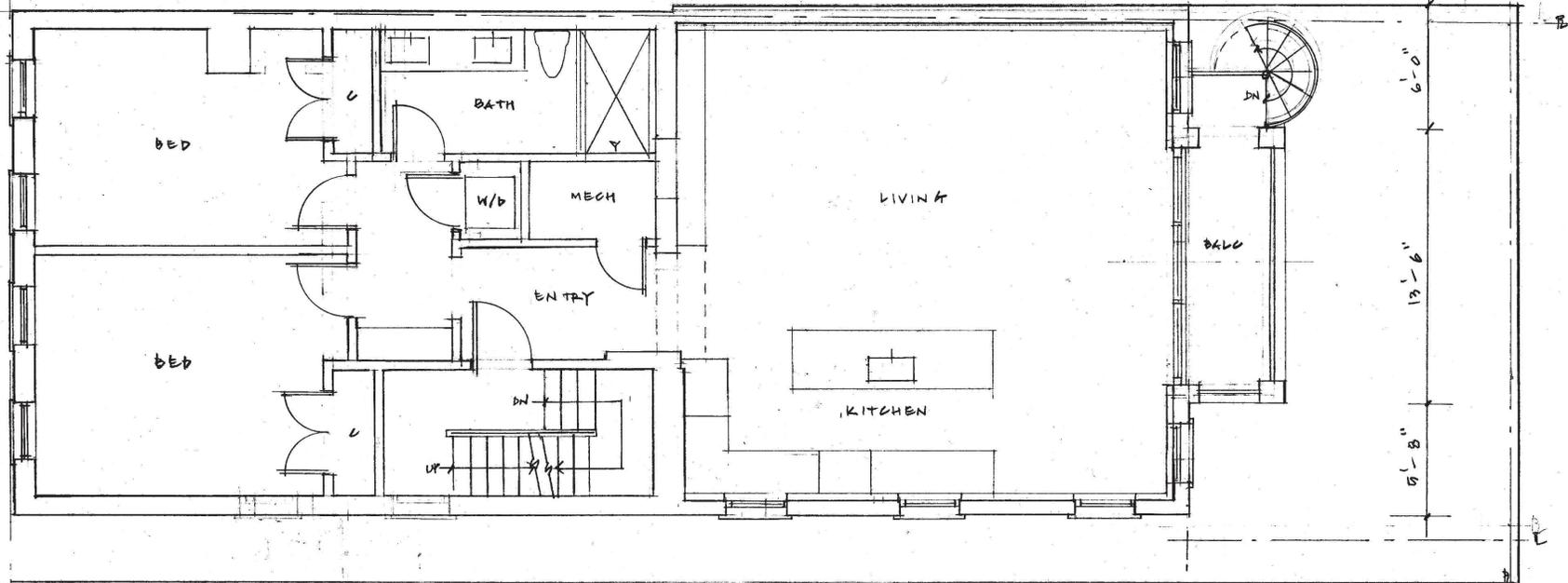
1 SIDE (SOUTH) ELEVATION - EXISTING & DEMOLITION



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984



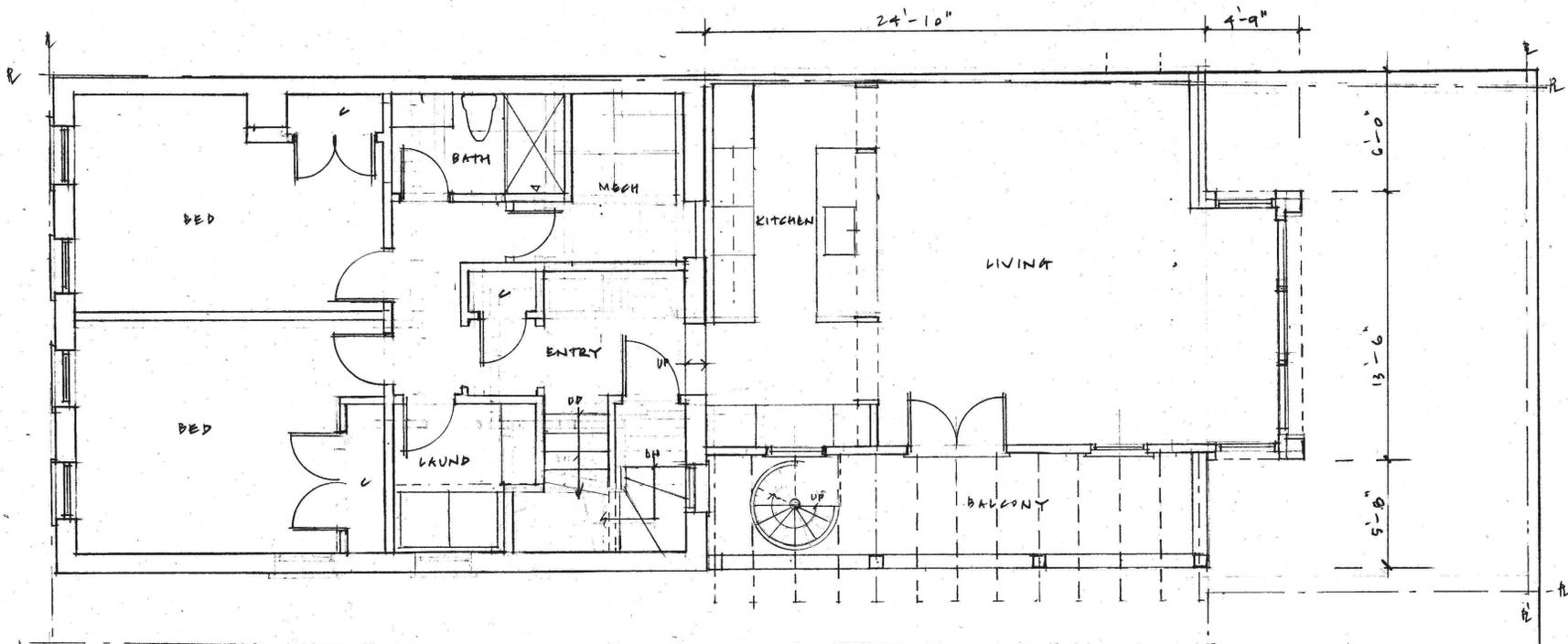
1 FIRST FLOOR PLAN - PROPOSED



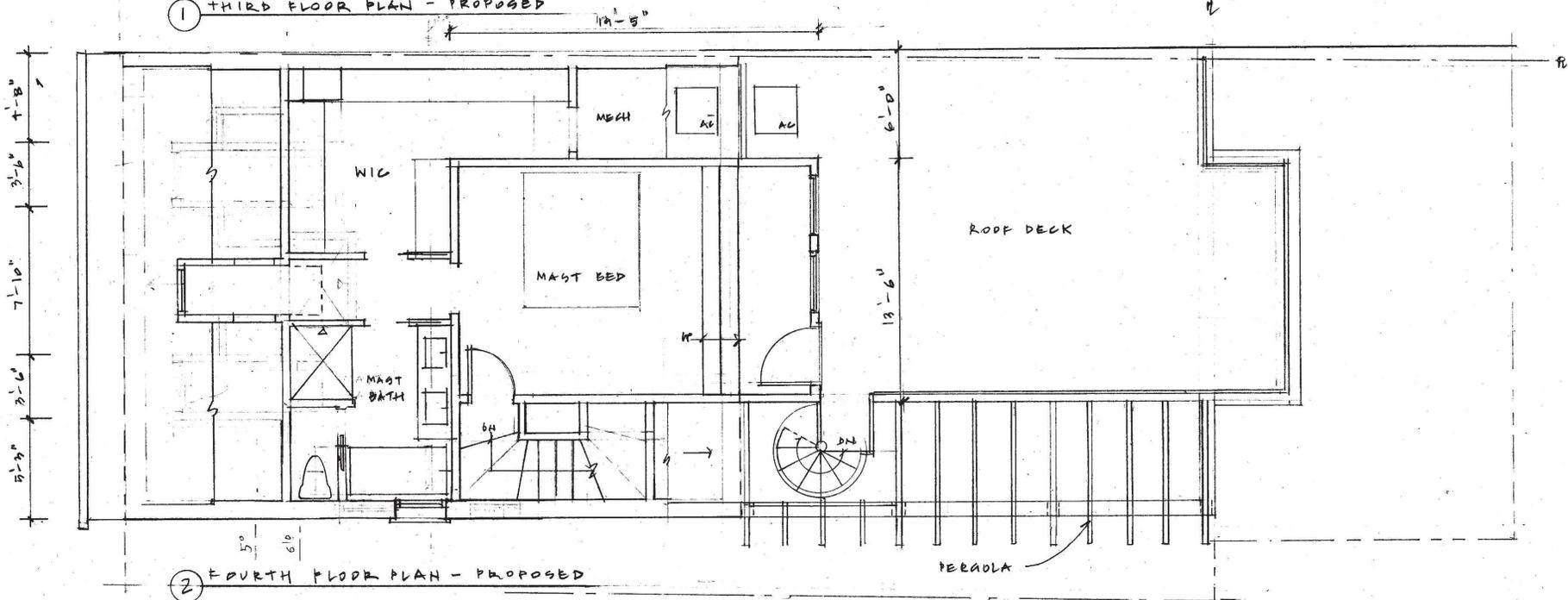
2 SECOND FLOOR PLAN - PROPOSED



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynette 703 989 3777 Patrick 703 626 1984



1 THIRD FLOOR PLAN - PROPOSED



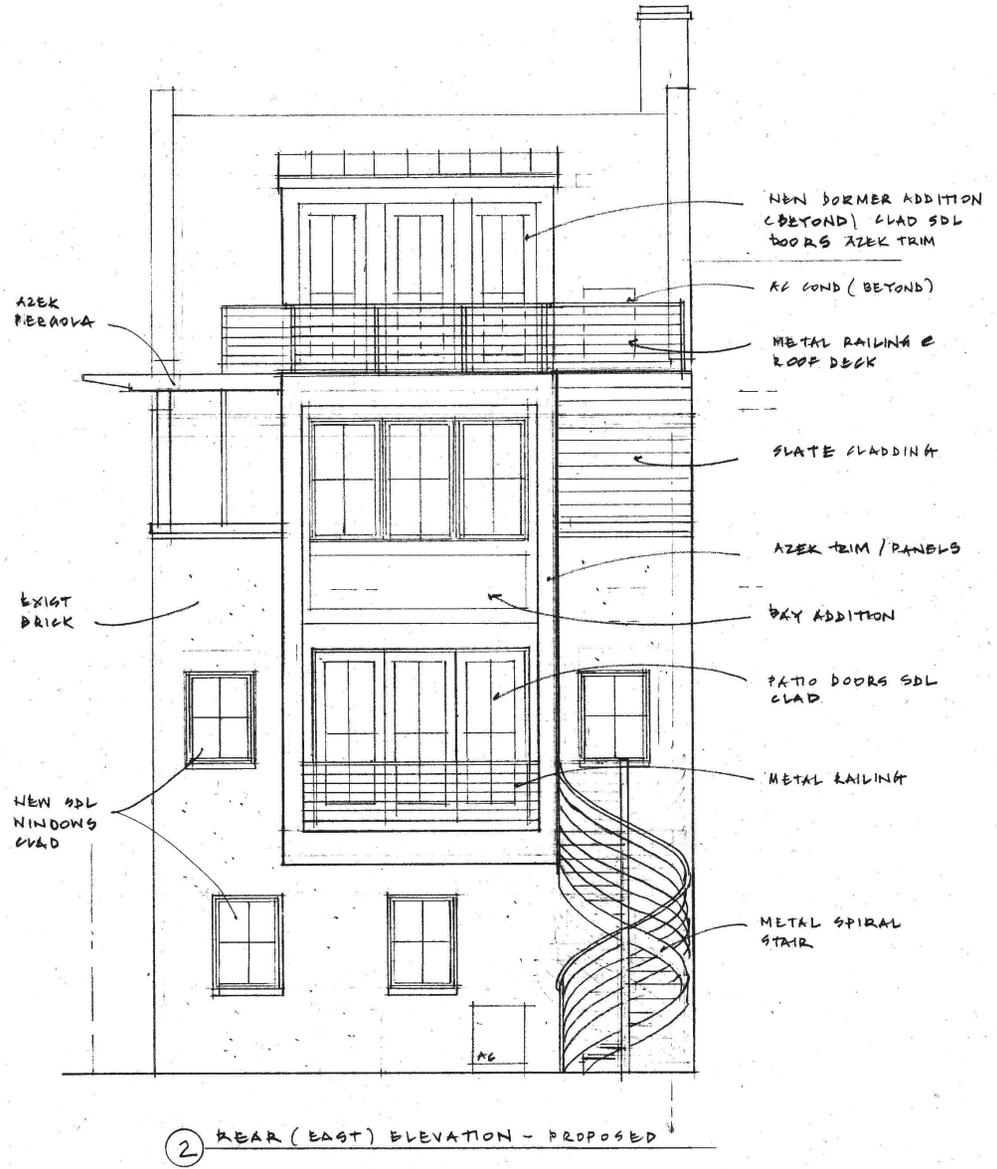
2 FOURTH FLOOR PLAN - PROPOSED



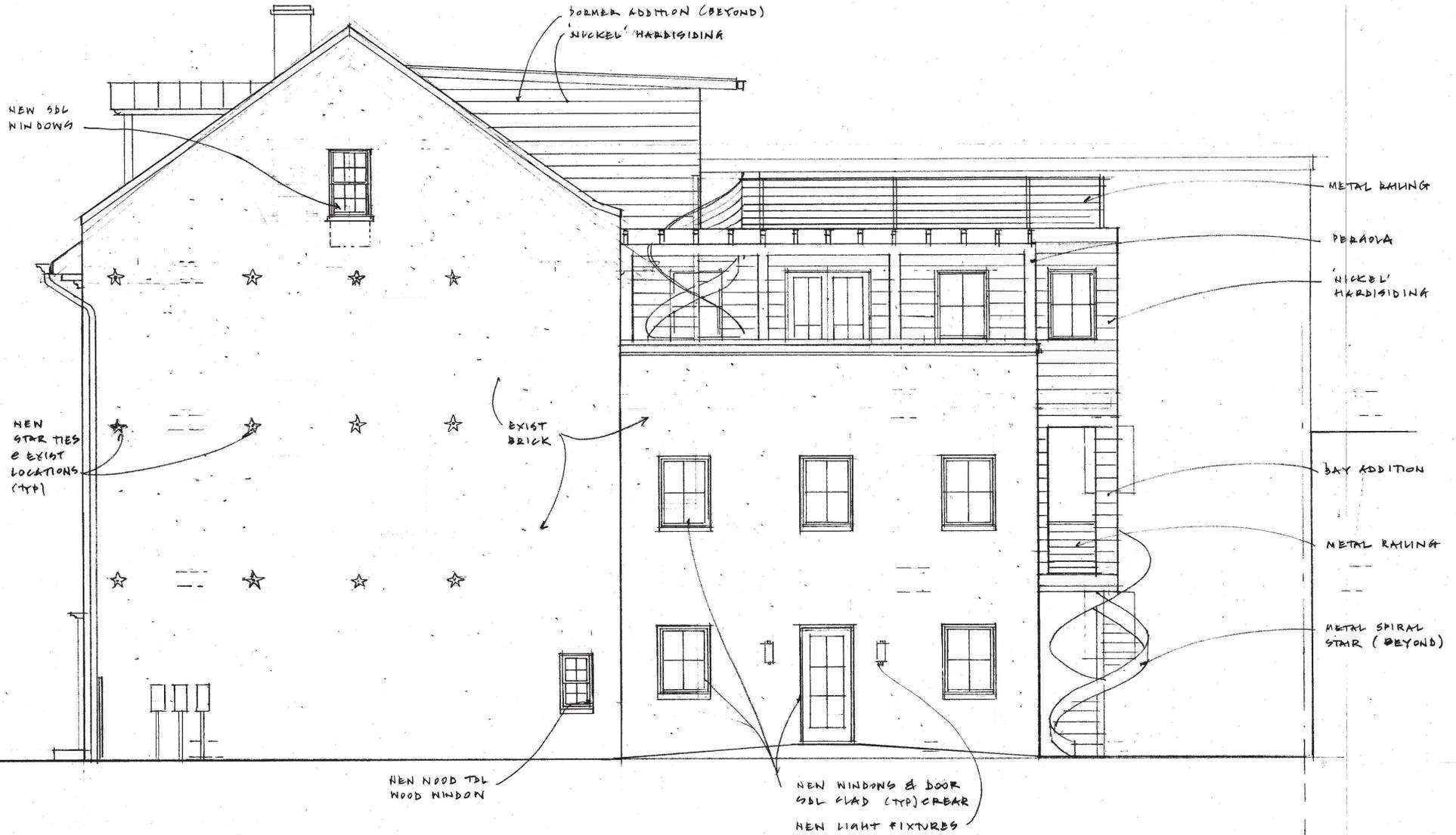
STUDIO CAMUS LLC
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 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984



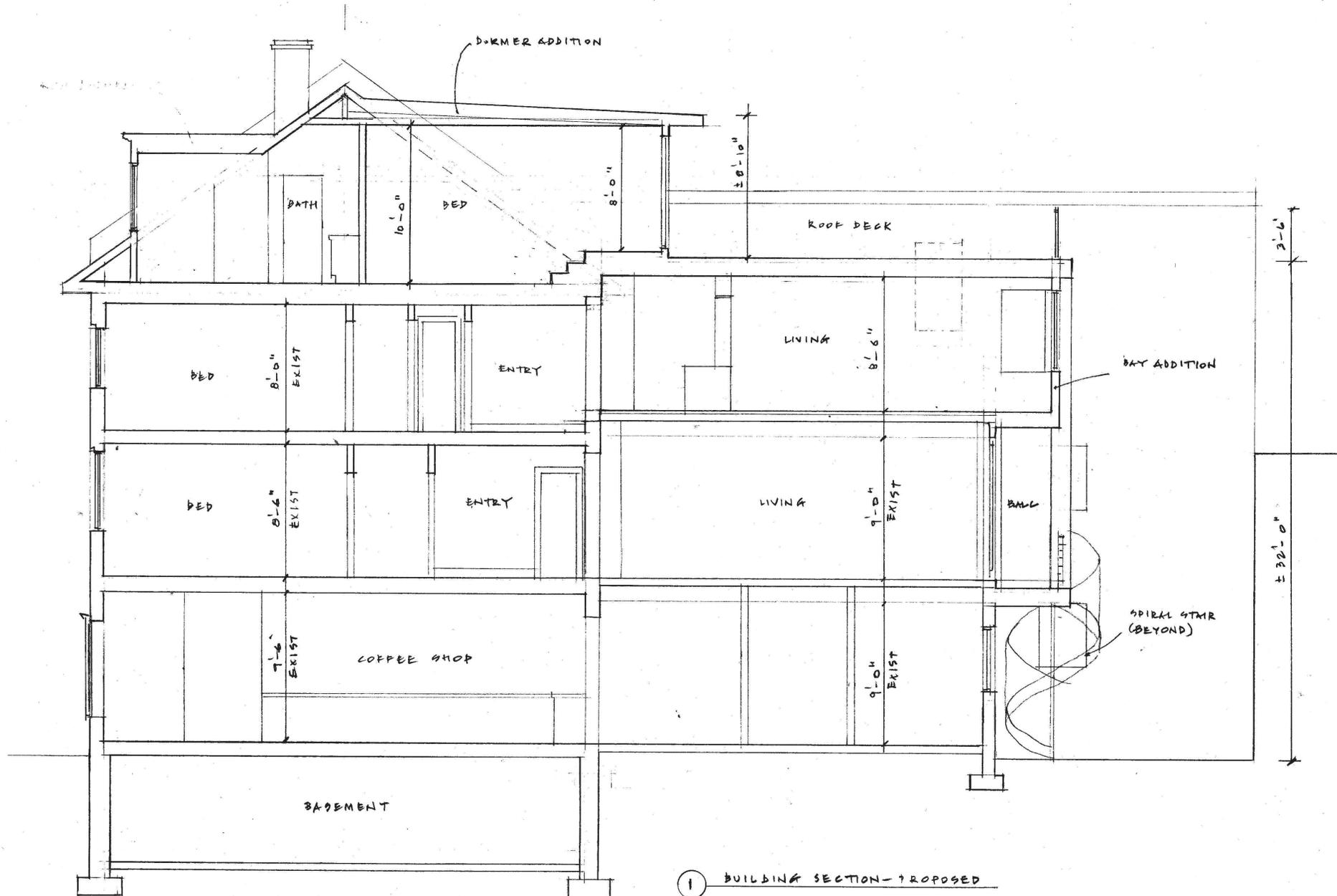
① FRONT (WEST) ELEVATION - PROPOSED



② REAR (EAST) ELEVATION - PROPOSED



1 SIDE (SOUTH) ELEVATION - PROPOSED



1 BUILDING SECTION - PROPOSED



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 107 North Fairfax Street CD
Street Address Zone

A2. 2028 x 1.5 / 2.5 with SUP = 3042 / 5070
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement	813	Basement**	813
First Floor	1389	Stairways**	225
Second Floor	1389	Mechanical**	25
Third Floor	813	Attic less than 7'***	460
Attic	813	Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Lavatory***	150
Lavatory***		Other**	
Other**		Other**	
B1. Total Gross	5217	B2. Total Exclusions	1673

B1. 5217 Sq. Ft.
Existing Gross Floor Area*

B2. 1673 Sq. Ft.
Allowable Floor Exclusions**

B3. 3542 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement		Basement**	
First Floor		Stairways**	
Second Floor	64	Mechanical**	
Third Floor	549	Attic less than 7'***	
Attic	281	Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Lavatory***	
Lavatory***		Other**	
Other		Other**	
C1. Total Gross	894	C2. Total Exclusions	0

C1. 894 Sq. Ft.
Proposed Gross Floor Area*

C2. 0 Sq. Ft.
Allowable Floor Exclusions**

C3. 894 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

D. Total Floor Area

D1. 5070 w/SUP Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 4436 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 400 Sq. Ft.
Existing Open Space

E2. 0 Sq. Ft.
Required Open Space

E3. 336 Sq. Ft.
Proposed Open Space

Notes

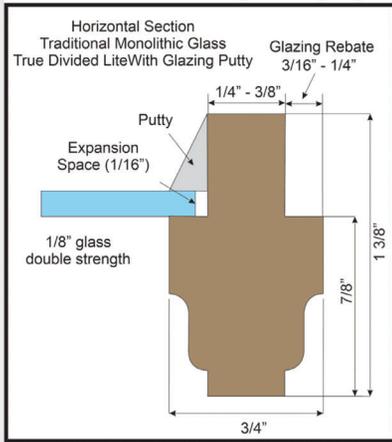
*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:



Historic True Divided Lite Cross Section

This image will be a pretty close, if not identical, illustration of your original muntins. The two most important dimensions in the illustration are, a) the overall thickness of 3/4", and b) the glazing rebate shoulder which is usually either 3/16" or 1/4". If you do the math and look at the other side, after leaving 1/16" for glass expansion, movement and fit, the glass only rests on a shoulder/shelf of 1/8" - 3/16".



Rejuvenation 'Rawley'
5 1/2"W x 16" H x 6 3/8" D

Exterior Lights, Side Elevation

Heirloom Windows
2511 S 600 W
Crawfordsville, IN 47933
1.765.376.3880

Wood Double Hung Window Features

Double hung windows are by far the most common style in traditional American fenestration. Unfortunately, original double hung windows are notorious for air-infiltration issues with potential leakage around the entire perimeter, with the added challenge of the meeting rail. We take pride in providing a super-efficient, contemporary weather-stripping system that stops all air-infiltration while being completely hidden from sight. A properly balanced double hung window is a joy to operate but original double hung windows often don't operate at all due to swelling, misapplied paint, broken ropes, stuck pulleys or any number of other maladies. The contemporary balance system we provide is maintenance free, perfectly balanced and completely hidden, returning the joy to opening your windows. Again, like all our sash, double hung windows are available with all the muntin and glass configurations found under our [window solutions page](#).



Wood TDL Windows, Front



Clad SDL Windows, Rear

JELD WEN Simulated Divided Lites

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.

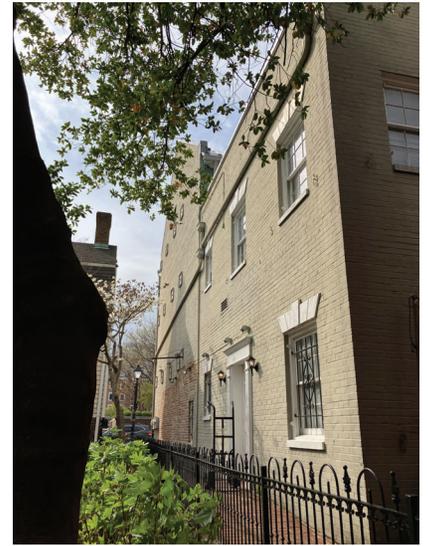
C² STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
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Lynnette 703 989 3777 Patrick 703 626 1984

Proposed Modifications to
107 NORTH FAIRFAX STREET
Alexandria Virginia

DATE 5 Nov 2025	SHEET D1
SCALE NTS	



Front North Fairfax View



Side Views South Elevation



King Street View



Rear Views East Elevation

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