

**AREA TABULATIONS**

TOTAL SITE AREA = 201,686 SF OR 4.63 AC.  
 TOTAL AREA OF TAX PARCEL = 4.63 AC.  
 TOTAL DISTURBED AREA WITH THIS PROJECT= 0 SF OR 0 AC.  
 \*NO NEW DISTURBANCE ASSOCIATED WITH THIS MAJOR AMENDMENT (OTHER THAN WHAT WAS COMPENSATED FOR A PART OF THE PREVIOUS MINOR AMENDMENT.)

Complete Streets Table

	New	Upgraded
Crosswalks (number)	1	0
Standard	2	0
High Visibility	1	0
Curb Ramps	2	0
Sidewalks (LF)	0	0
Bicycle Parking (number spaces)	168	0
Public/Visitor	24	0
Private/Garage	154	0
Bicycle On-Street Facilities (LF)	55	0
Multi-Use Trails (LF)	0	0
Pedestrian Signals	0	0

**PLAN SHEET KEY**

N/A  
 SITE IS ON ONE SHEET

**BUILDING CODE DATA**

SITE LOCATION/ADDRESS	BUILDING CODE ANALYSIS*		
	4300 King Street	3103 Park Center Dr.	4401 Ford Ave
USE GROUP	B (Business)	R-2	R-2
NUMBER OF STORIES	4	14	14
TYPE OF CONSTRUCTION	TYPE IIB	TYPE IIA	TYPE IIA
FLOOR AREA/FLOOR (SF)	18,976	39,907	31,132
FIRE PROTECTION PLAN	NFPA23**	NFPA23**	NFPA23**
ACCESSIBLE MEANS OF EGRESS STAIRS REQUIRED	2	2	2
ACCESSIBLE MEANS OF EGRESS STAIRS PROPOSED	2	2	2
ELEVATORS REQUIRED	1	1	1
ELEVATORS PROPOSED	2	2	2

\* A THOROUGH BUILDING CODE ANALYSIS WILL BE PROVIDED FOR PERMIT SUBMISSION. APPLICABLE CODES LISTED BELOW.  
 Virginia Construction Code 2012,  
 Virginia Building & Fire Regulations 2012,  
 Virginia Statewide Fire Prevention Code 2012,  
 Virginia Energy Conservation Code 2012,  
 Virginia Fuel Gas Code 2012,  
 Virginia Mechanical Code 2012,  
 Virginia Maintenance Code 2012,  
 Virginia Plumbing Code 2012.

\*\* FIRE SPRINKLER NFPA23 TO BE RETAINED & RECONFIGURED AS NECESSARY.

**SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS**

CITY APPROVALS FOR PARK CENTER PLAN

- DEVELOPMENT SPECIAL USE PERMIT
- CROWN COVER MODIFICATION
- TMP SPECIAL USE PERMIT
- OPEN SPACE MODIFICATION
- EXISTING DRIVE AISLE WIDTH MODIFICATION

**EXISTING SPECIAL USE PERMITS:**

- 4300 KING ST: SUP#2008-00033
- 3101 PARK CENTER DRIVE: SUP#2012-00076; SUP#2003-00086
- 4401 FORD AVENUE: SUP#2013-00060
- DSP: DSUP#2018-00004
- SUP (SPECIAL USE PERMIT)

**OWNER/DEVELOPER**  
 LOWE  
 1300 CONNECTICUT AVE, NW  
 SUITE 900  
 WASHINGTON, DC 20036  
 202-496-2931

**ARCHITECT**  
 BONSTRA HARESIGN ARCHITECTS  
 1728 14TH ST. NW  
 SUITE 300  
 WASHINGTON, DC 20009  
 202-328-5716

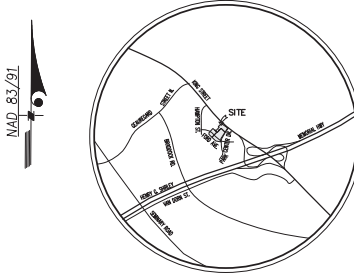
**CIVIL ENGINEER**  
 JOHNSON BERNAT ASSOCIATES, INC.  
 205 N. FREDERICK AVE  
 SUITE 100  
 GAITHERSBURG, MD 20877  
 301-963-1133

**TRAFFIC ENGINEER**  
 GOROVE/SLADE ASSOCIATES, INC.  
 1140 CONNECTICUT AVENUE NW  
 SUITE 600  
 WASHINGTON, DC 20036  
 202-296-8627

**LEGAL COUNSEL**  
 MCGUIREWOODS LLP  
 1750 TYSONS BOULEVARD  
 SUITE 1800  
 TYSONS, VA 22102  
 703-712-5362

PROJECT NAME

**PARK CENTER  
 PARCEL A-1.1, B-1 & B-2**



VICINITY MAP  
 SCALE: 1"=200'

**MAJOR AMENDMENT NARRATIVE**

THE APPLICANT REQUESTS APPROVAL OF THIS MAJOR SITE PLAN AMENDMENT TO THE APPROVED DSP #2018-0004.

SCOPE INCLUDES CONVERSION OF THE A SURFACE PARKING LOT TO A DOG PARK, CLOSING OFF OF ANOTHER SURFACE PARKING LOT FOR RESIDENT ACTIVITY SPACE, FILLING THE SIDEWALK GAP, THE BUS STOP IMPROVEMENTS ON FORD AVENUE, ADJUSTMENT AND ADDITION TO STRIPING AND SIGNAGE ALONG FORD AVENUE, AND REMOVING THE BUS STOP ON PARK CENTER DRIVE.

THE MAJORITY OF THESE IMPROVEMENTS WILL OCCUR DIRECTLY ATOP THE EXISTING HARDSCAPE SURFACES (THEREFORE WILL NOT BE CONSIDERED DISTURBANCE). FOR THE LIMITED AMOUNT OF ACTUAL DISTURBANCE, AN URBAN BIORETENTION PLANTER WILL BE INSTALLED TO TREAT EXISTING IMPERVIOUS RUNOFF TO PROVIDE THE REQUIRED AMOUNT OF STORMWATER/TSS REMOVAL.

**NOTES**

- A. CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
- B. DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.
- C. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

**AREA SUMMARY**  
 NO ADDITION OR CHANGE TO BUILDING SQUARE FOOTAGE

**SANITARY SEWAGE FLOW INCREASES**  
 NO INCREASE IN SANITARY SEWER FLOW

PARCEL	ADDRESS	PROP. LOT AREA	TAX MAP
A-1.1	4300 KING ST	1.28 AC (55,568 SF)	012.01-01-18
B-1	3101 PARK CENTER DR.	2.37 AC (103,240 SF)	012.03-01-17
B-2	4401 FORD AVE.	0.98 AC (42,696 SF)	011.02-01-11

**ZONING TABULATIONS**

SEE SHEET C4.0 FOR PARKING AND SEE C6.0 FOR OPEN SPACE CHANGES

**SHEET INDEX**

- CIVIL SHEETS
  - C1.0 COVER SHEET
  - C3.0 EXISTING CONDITIONS PLAN
  - C4.0 FINAL PLAN
  - C4.12 SWM AND UTILITY DETAILS
  - C4.20 SEDIMENT CONTROL & STORMWATER MANAGEMENT PLAN
  - C4.30 STORM DRAIN ANALYSIS PLAN
  - C6.0 PUBLIC OPEN SPACE PLAN
  - C9.0 TREE CANOPY COVERAGE PLAN
  - C9.1 TREE CANOPY COVERAGE NOTES
  - C12.0 PRECEDENT IMAGES
- LANDSCAPE SHEETS
  - L1.00 OVERALL LANDSCAPE PLAN
  - L1.05A PLAZA LEVEL WEST-PLANTING PLANS
  - L1.05B PLAZA LEVEL WEST-PLANTING PLANS
  - L1.11 HARDSCAPE DETAILS
  - L1.12 HARDSCAPE DETAILS
  - L1.13 HARDSCAPE DETAILS
  - L1.20 PLANTING SCHEDULE, DETAILS, AND NOTES

DSUP#2021-10018

**FINAL PLAN COVER SHEET  
 PARK CENTER  
 PARCEL A-1.1, B-1, & B-2**

CITY OF ALEXANDRIA, VIRGINIA

205 N. Frederick Ave., Suite 100  
 Gaithersburg, MD 20877  
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**J·B·A**  
 Johnson Bernat Associates, Inc.  
 Engineering • Surveying • Planning

REV	DATE	REVISIONS FROM	TO
4/16/21		MAJOR SITE PLAN AMENDMENT	APPROVAL

APPROVED:  
 SPECIAL USE PERMIT NO.  
 DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DATE RECORDED: \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



PLAN NO.: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: 4/16/21  
 SHEET: C1.0  
 FILE NO: 17-009

NOTE: EXISTING CONDITION PLAN IS REFLECTIVE OF ALL WORK ASSOCIATED WITH DSP#2018-00004 INCLUDING THE CURRENT MINOR AMENDMENT.

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4/16/21	MAJOR SITE PLAN AMENDMENT
REV. DATE	REVISIONS FROM TO APPROVAL

**EXISTING CONDITIONS PLAN**  
**PARK CENTER**  
**PARCEL A-1.1, B-1, & B-2**

4/29/18, REVISION NO. 1

DSUP #2021-10018



PLAN NO.:  
 SCALE: 1"=30'  
 DATE: 4/16/21  
 SHEET C3.0  
 FILE NO: 17-009

APPROVED:  
 SPECIAL USE PERMIT NO.  
 DEPARTMENT OF PLANNING AND ZONING

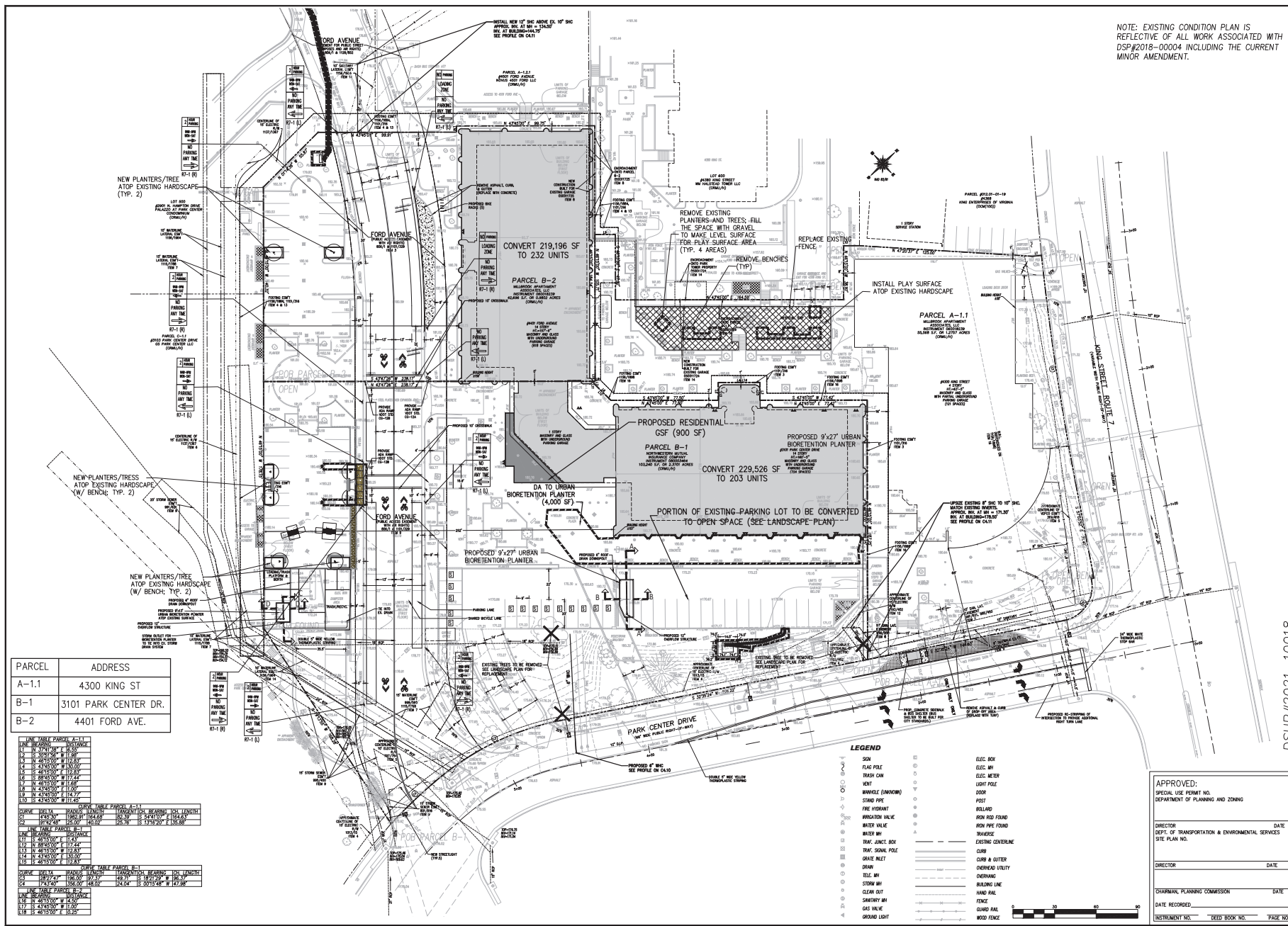
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

LINE TABLE PARCEL A-1.1	LINE TABLE PARCEL B-1	LINE TABLE PARCEL B-2
1	1	1
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100	100	100

**LEGEND**

○	CON	○	ELEC. BOX
○	FLAG POLE	○	ELEC. MH
○	RASH CAN	○	ELEC. METER
○	WHT	○	LIGHT POLE
○	SHRUBS (SHRUBS)	○	LOOK
○	STAND PIPE	○	POST
○	FIRE HYDRANT	○	BOLLARD
○	WATER VALVE	○	IRON ROD FOUND
○	TRAF. SIGNAL BOX	○	IRON ROD FOUND
○	TRAF. SIGNAL POLE	○	WATER VALVE
○	ELEC. MH	○	WATER MH
○	STONE MH	○	WATER VALVE
○	CLEAN OUT	○	EXISTING CONCRETE
○	SANITARY MH	○	CURB
○	GAS VALVE	○	CURB & GUTTER
○	GROUND LIGHT	○	GRAVE PLANT
○		○	OVERHEAD UTILITY
○		○	OVERHANG
○		○	BUILDING LINE
○		○	WALK RAIL
○		○	FENCE
○		○	GUARD RAIL
○		○	WOOD FENCE



IN ORDER TO RELEASE THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT COMPLETION RECORDS SHOWING THE FINISHED WORK AND RECORDS TO THE CITY. THE RECORDS MUST BE APPROVED BY THE CITY AND KEPT BY A PROFESSIONAL REGISTERED IN THE COMMONWEALTH OF VIRGINIA AND COPY TO THE CONSTRUCTION MANAGEMENT FIRM HAS BEEN OBTAINED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.

THE CONSTRUCTION MANAGEMENT FIRM SHALL BE RESPONSIBLE FOR OBTAINING THE CONTRACTS AND INSTALLING THEM IN ACCORDANCE WITH THE FINAL DESIGN PLAN. CLEAR AND FREE OF OBSTRUCTION, AND LATER BY OTHER MEANS BEING PROVIDED OR BROUGHT INTO SERVICE AFTER THE SITE HAS BEEN FINISHED. (END)

THE APPLICANT SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING BEST MANAGEMENT PRACTICES (BMPs) UNTIL ACTIVATION OF THE MAINTENANCE OPERATIONS PROGRAM (MOP) IS COMPLETED. MAINTENANCE OPERATIONS SHALL BE MAINTAINED FOR A MINIMUM OF THREE (3) YEARS, AND THEREAFTER THE CONTRACTOR SHALL MAINTAIN AND MAINTENANCE SHALL BE PROVIDED TO THE RELEASE OF THE PERFORMANCE BOND. A COPY OF THE MAINTENANCE CONTRACT SHALL BE SUBMITTED TO THE CITY. (END)

OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE OPERATION AND OPERATION OF THE BEMP, AND INCLUDE THE BEMP, AND ANY SUPPLEMENTARY INFORMATION. THE MAINTENANCE OPERATIONS MANUAL SHALL BE SUBMITTED TO THE CITY WITH THE PERFORMANCE BOND. A COPY OF THE MAINTENANCE CONTRACT SHALL BE SUBMITTED TO THE CITY. (END)

EX SURFACE TO REMAIN (EX SURFACE STRIPING TO BE BLACKED OUT)

CONTRACTOR TO RELEASE THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT COMPLETION RECORDS SHOWING THE FINISHED WORK AND RECORDS TO THE CITY. THE RECORDS MUST BE APPROVED BY THE CITY AND KEPT BY A PROFESSIONAL REGISTERED IN THE COMMONWEALTH OF VIRGINIA AND COPY TO THE CONSTRUCTION MANAGEMENT FIRM HAS BEEN OBTAINED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.

PROPOSED SEATING AREA (TYP. 6)

NEW ENTRY WAY W/ ACCESS GATES

EXISTING DRIVEWAY AND DRIVEWAY PAVING ARE TO BE REMOVED AND FILLED W/ GRAVEL TO MAKE LEVEL SURFACE

NEW PLANTERS/TREES ATOP EXISTING HARDSCAPE (W/ BENCH; TYP. 2)

INSTALL ARTIFICIAL TURF ATOP EXISTING HARDSCAPE

NEW PLANTERS/TREE ATOP EXISTING HARDSCAPE (W/ BENCH; TYP. 2)

PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

NO.	DATE	DESCRIPTION	BY	APP. BY
1	04/16/21	PRELIMINARY PLAN	[Signature]	[Signature]
2	04/16/21	FINAL PLAN	[Signature]	[Signature]

NO.	DATE	DESCRIPTION	BY	APP. BY
1	04/16/21	PRELIMINARY PLAN	[Signature]	[Signature]
2	04/16/21	FINAL PLAN	[Signature]	[Signature]

**SANITARY SEWAGE FLOW INCREASES**  
 3101 PARK CENTER DRIVE  
 EXISTING GSF = 229,526 X 200gpd/1,000SF = 45,906gpd  
 CONVERTED TO 203 UNITS X 300gpd/UNIT = 60,900gpd  
 INCREASE OF 14,994gpd

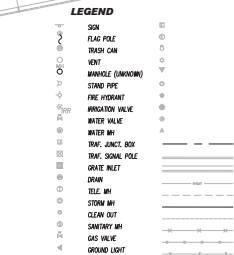
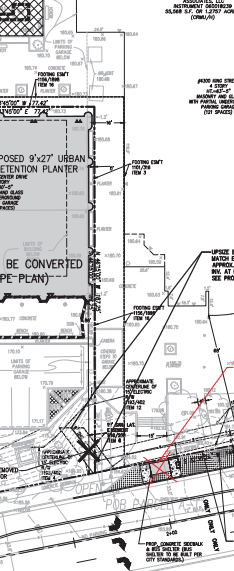
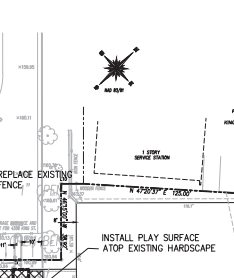
4401 FORD DRIVE  
 EXISTING GSF = 219,196 X 200gpd/1,000SF = 43,840gpd  
 CONVERTED TO 232 UNITS X 300gpd/UNIT = 69,600gpd  
 INCREASE OF 25,760gpd

**LEGEND**

PROPOSED RESIDENTIAL GSF

EXISTING NON-RESIDENTIAL GSF TO BE CONVERTED TO RESIDENTIAL

EXISTING TREE TO BE REMOVED



\*\*\*\*\*SINCE THE ONSITE LIMITS OF DISTURBANCE AND BMP AREA ARE ALL LOCATED ATOP OF THE EXISTING STRUCTURE, THERE IS NO CHANGE IN RUNOFF FROM EXISTING TO PROPOSED. ALSO, ALL ONSITE DISTURBANCE AREAS ARE ROUTED TO THE INTERNAL STORM PLUMBING SYSTEM WHICH OUTLETS TO THE EXISTING STORM DRAIN SYSTEM VIA AN EXISTING STORM DRAIN CONNECTION. SINCE THERE IS NO CHANGE IN RUNOFF AND ALL RUNOFF IS COLLECTED INTERNALLY TO THE BUILDING, NO DOWNSTREAM OUTFALL ANALYSIS WILL BE PROVIDED.

\*AS DISCUSSED WITH STAFF, NO CHANGES ARE PROPOSED TO THE EXISTING SIGNAL EQUIPMENT AT THE INTERSECTION OF PARK CENTER DRIVE AND KING STREET AS A PART OF THE RE-STRIPPING

\*\*\*ALL PROPOSED STRIPING SHALL TO BE 5" WIDE WHITE THERMOPLASTIC STRIPING UNLESS NOTED OTHERWISE

\*\*\*ALL PROPOSED SHARROWS AND TURN LANE SYMBOLS TO BE WHITE THERMOPLASTIC STRIPING

\*\*\*ALL ROOF DRAIN AND SUMP PUMP OUTFALLS ARE INTERNAL TO THE BUILDING

\*\*\*SIGNAGE PLAN IS FOR REFERENCE ONLY

\*\*\*ALL ONSITE STORMWATER CURB INLETS AND PUBLIC CURB INLETS WITHIN 50 FEET OF THE PROPERTY LINE SHALL BE DULY MARKED USING STANDARD CITY MARKERS, OR TO THE SATISFACTION OF THE DIRECTOR OF T&ES

\*\*\*\*\*DETECTABLE WARNING SURFACES WILL BE PROVIDED AT TRANSITIONS OF ALL PEDESTRIAN RAMPS

DSUP #2021-10018

**FINAL PLAN**  
**PARK CENTER**  
**PARCEL A-1.1, B-1, & B-2**

CITY OF ALEXANDRIA, VIRGINIA

PLANNING NO.:  
 SCALE: 1"=30'  
 DATE: 4/16/21  
 SHEET: C4.0  
 FILE NO: 17-009

205 N. Frederick Ave., Suite 100  
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4/16/21 MAJOR SITE PLAN AMENDMENT  
 REV. DATE REVISIONS FROM APPROVAL

4/29/18 REVISIONS FROM APPROVAL

APPROVED:  
 SPECIAL USE PERMIT NO.  
 DEPARTMENT OF PLANNING AND ZONING

DIRECTOR DATE  
 DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO.

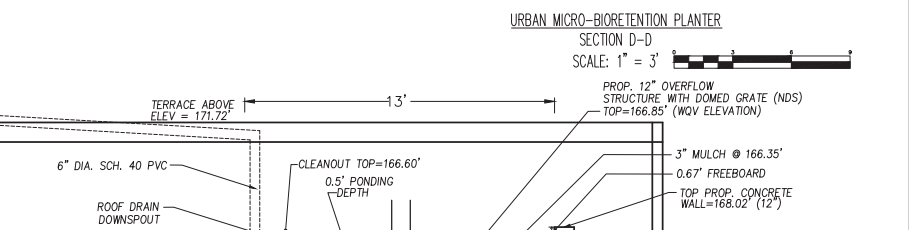
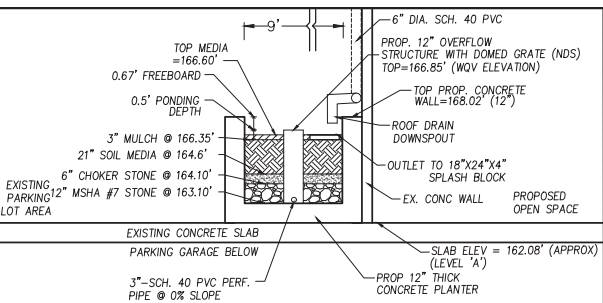
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE  
 DATE RECORDED  
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

Site Information		Site Land Cover Summary										Site Compliance Summary							
Site Information		Pre-Development Land Cover (sq ft)		Pre-Development Land Cover (ac)		Post-Development Land Cover (sq ft)		Post-Development Land Cover (ac)		Site Land Cover Summary		Site Compliance Summary							
Area	%	Asphalt	Grass	Gravel	Impervious	Open Space	Soil	Water	Wood	Other	Asphalt	Grass	Gravel	Impervious	Open Space	Soil	Water	Wood	Other
100	100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Runoff Volume and TN by Drainage Area		Total Phosphorus										3.1. Maintenance Agreements							
Runoff Volume and TN by Drainage Area		Total Phosphorus					3.2. First Year Maintenance Operations					3.3. Routine and Non-Routine Maintenance Tasks							
Runoff Volume and TN by Drainage Area		Total Phosphorus					3.4. Routine and Non-Routine Maintenance Tasks					3.5. Additional Site Information							
Runoff Volume and TN by Drainage Area		Total Phosphorus					3.6. Additional Site Information					3.7. Final Notes							
Runoff Volume and TN by Drainage Area		Total Phosphorus					3.8. Final Notes					3.9. Final Signatures							

### Runoff Volume and CN Calculations

Target Rainfall Event (in)	1-year storm	2-year storm	10-year storm
Target Rainfall Event (in)	2.58	3.12	4.80
Drainage Areas	RV & CN	Drainage Area A	Drainage Area B
CN	0	0	96
1-year return period	RV = 88 (see #)	0.00	2.35
	RV = 88 (see #)	0.00	1.97
	RV = 88 (see #)	0.00	36
	RV = 88 (see #)	0.00	2.89
2-year return period	RV = 88 (see #)	0.00	2.51
	RV = 88 (see #)	0.00	4.58
10-year return period	RV = 88 (see #)	0.00	4.18
	RV = 88 (see #)	0.00	55



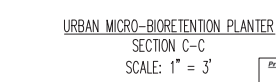
**9.1. Maintenance Agreements**  
 The Virginia Stormwater Management regulations (4VAC 55-600) specify the circumstances under which a maintenance agreement must be executed between the owner and the VSMF authority, and sets forth minimum requirements, compliance procedures if maintenance is neglected, notification of the local program upon transfer of ownership, and right-of-entry for local program personnel.

**9.2. First Year Maintenance Operations**  
 Successful installation of bioretention area requires that the following tasks be undertaken in the first year following installation:  
**Initial Inspections.** For the first 6 months following construction, the site shall be inspected at least twice after rain events that exceed 1/2 inch of rainfall.  
**Spot Rerouting Inspections.** The contractor shall look for holes or erosion in the concrete rain cistern area or any bioretention area, and shall repair them as needed.  
**Fertilization.** Omit spot fertilization by the contractor for initial plantings.  
**Warning.** Warning is necessary once a week for the first 6 months after installation.  
**Remove and replace dead plants.** Since a 10% of the plant stock may die in the first year, contractor must remove and replace them as needed.  
**Erosion.** Erosion is properly addressed, and a review of the first year owner season follow-up, construction. The typical threshold is to know what to replace when the site is 85% of final plant material on a 100% of a review of areas.

**9.3. Maintenance Inspections**  
 It is highly recommended that a regular maintenance inspection be conducted at each bioretention area. The following is a list of the key maintenance problems to look for:  
 • Check for 75% to 90% coverage of leaf litter, excessive pine in, or plants or concentrate flows, an inappropriate residual action.  
 • Check for any weeds or sediments, and remove any sediment.  
 • Check for any bare soil or sediment sources in the contributing drainage area, and stabilize them immediately.  
 • Check for clogging or slow-draining soil, a crust formed on the top layer, inappropriate soil media, or other causes of insufficient infiltration time, and restore proper filtration characteristics.

**9.4. Routine and Non-Routine Maintenance Tasks**  
 Maintenance of bioretention areas should be integrated into routine landscape maintenance tasks. If landscaping contractors will be expected to perform maintenance, their contracts should contain specific provisions for bioretention landscaping needs, such as maintaining elevation differences needed for ponding, proper mulching, sediment and trash removal, and limited use of fertilizers and pesticides. A customized maintenance schedule must be prepared for each bioretention facility, since the maintenance tasks will differ depending on the scale of bioretention, the landscaping template chosen, and the type of surface cover. A generalized summary of common maintenance tasks and their frequency is provided in Table 9.4.

The most common non-routine maintenance problem involves standing water. If water remains on the surface for more than 48 hours after a storm, adjustments to the grading may be needed or underdrain repairs may be needed. The surface of the filter bed should also be checked for accumulated sediment or a fine crust that builds up after the first several storm events. There are several methods that can be used to rehabilitate the filter by the easiest things first, as listed below:  
 • Under the underdrain observation well or cleanout and pour in water to verify that the underdrain is functioning and not clogged or otherwise in need of repair. The purpose of this check is to see if there is standing water all the way down through the soil. If there is standing water on top, but not in the underdrain, then there is a clogged soil layer. If the underdrain and stand pipe indicates standing water, then the underdrain must be cleaned and will need to be installed.  
 • Remove accumulated sediment and fill 2 to 3 inches of sand into the upper 8 to 12 inches of soil.  
 • Install sand wicks from 3 inches below the surface to the underdrain layer. Sand wicks can be installed by excavating or augering (using a rock auger or similar tool) down to the gravel storage zone to create vertical columns which are then filled with a clean open-graded coarse sand material (coarse sand mix similar to the gradation used for the soil media). A sufficient number of sand drains of sufficient dimension should be installed to meet the design dewatering time for the facility.  
 • Last resort - remove and replace some or all of the soil media.



Development	Impervious	Previous	Total
Drainage Area	1,878 SF	0 SF	1,878 SF
Site Area	1,400 SF	5 SF	1,405 SF
On-Site Treatment	0 SF	0 SF	0 SF
Off-Site Treated	0 SF	0 SF	0 SF
Total Treated	0 SF	0 SF	0 SF
Any On-Site Disconnected by a Vegetated Buffer (25 ft)			
Total On-Site Treated or Disconnected			1,400 SF

Water Treatment	Area Treated by BMP (Acres)	Impervious Area Treated by BMP (Acres)	BMP Efficiency (%)
Urban MBP	0.0321	0.0321	40%

**APPROVED:**  
 SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING AND ZONING  
 DIRECTOR: DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 DATE: 4/16/21  
 SHEET: C4.12  
 INSTRUMENT NO.: DEED BOOK NO.: PAGE NO.

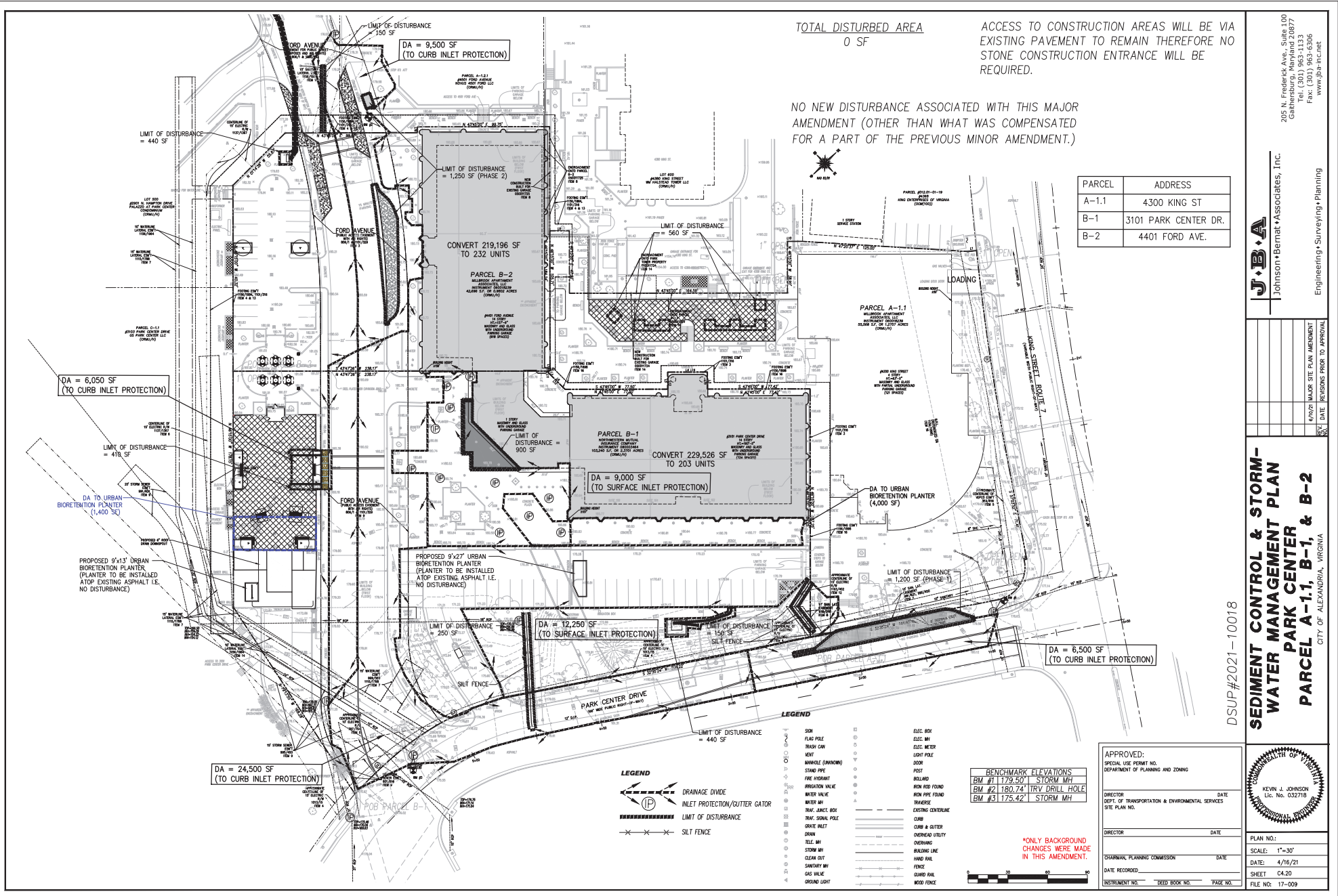
**JBA** Johnson & Benet Associates, Inc.  
 Engineering & Surveying / Planning  
 205 N. Frederick Ave., Suite 100  
 Gaithersburg, MD 20877  
 Phone: (301) 963-1133  
 Fax: (301) 963-0300  
 www.jba-inc.net

6/02/21 MARK SITE PLAN INSTRUMENT NO. APPROVAL  
 REVIEW DATE: 4/16/21 REVISIONS: PROPOSED TO APPROVAL

**SWM AND UTILITY DETAILS**  
**PARCEL A-1.1, B-1, & B-2**  
 CITY OF ALEXANDRIA, VIRGINIA  
 DSUP#2021-10018

**KEYVIN J. JOHNSON**  
 License No. 032718  
 Seal: CITY ENGINEER

PLAN NO.:  
 SCALE: 1"=5'  
 DATE: 4/16/21  
 SHEET: C4.12  
 FILE NO: 17-009



TOTAL DISTURBED AREA  
0 SF

ACCESS TO CONSTRUCTION AREAS WILL BE VIA EXISTING PAVEMENT TO REMAIN THEREFORE NO STONE CONSTRUCTION ENTRANCE WILL BE REQUIRED.

NO NEW DISTURBANCE ASSOCIATED WITH THIS MAJOR AMENDMENT (OTHER THAN WHAT WAS COMPENSATED FOR A PART OF THE PREVIOUS MINOR AMENDMENT.)

PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

205 N. Frederick Ave., Suite 100  
Gaithersburg, MD 20877  
Tel: (301) 963-6333  
Fax: (301) 963-6306  
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REV	DATE	REVISIONS	APPROVAL
4/16/21		MAJOR SITE PLAN AMENDMENT	
		DISCUSS REVISIONS TO APPROVAL	

DSUP #2021-10018  
**SEDIMENT CONTROL & STORM WATER MANAGEMENT PLAN**  
**PARK CENTER WATER TREATMENT PLANT**  
**PARCEL A-1.1, B-1, & B-2**  
CITY OF ALEXANDRIA, VIRGINIA

- LEGEND**
- DRAINAGE DIVIDE
  - INLET PROTECTION/GUTTER GATOR
  - LIMIT OF DISTURBANCE
  - SILT FENCE

- LEGEND**
- SOB
  - FLAG POLE
  - RUSH CAN
  - NET
  - MANHOLE (ENHANCED)
  - STAND PIPE
  - FIRE HYDRANT
  - IRRIGATION VALVE
  - WATER VALVE
  - WATER MH
  - RAW. JUNCT. BOX
  - RAW. SIGNAL POLE
  - GREASE TRAP
  - TELE MH
  - STORM MH
  - CLEAN OUT
  - SANITARY MH
  - GAS VALVE
  - GROUND LIGHT
  - ELEC. BOX
  - ELEC. MH
  - ELEC. METER
  - LIGHT POLE
  - SOB
  - POST
  - ROLLAD
  - IRON ROD FOUND
  - IRON PIPE FOUND
  - TRANSVERSE
  - EXISTING CENTERLINE
  - CURB
  - CURB & GUTTER
  - OVERHEAD UTILITY
  - OVERHUNG
  - BUILDING LINE
  - HAND RAIL
  - FENCE
  - GUARD RAIL
  - WOOD FENCE

**BENCHMARK ELEVATIONS**

BM #1	179.50'	STORM MH
BM #2	180.74'	TRY DRILL HOLE
BM #3	175.42'	STORM MH



APPROVED: \_\_\_\_\_  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

SHEET C4-20

FILE NO: 17-009

\*ONLY BACKGROUND CHANGES WERE MADE IN THIS AMENDMENT.

**Adequate Outfall Analysis**

The disturbance associated within this project is located within two outfall areas (DP #1, DP #2 & DP #3)

**Study Point DP #1**

This study point is located at the southern corner of the site just west of the intersection between Park Center Drive and Ford Avenue. The Study Point includes runoff from a majority of the site assuming both the Ford and Park Center buildings all drain within the below grade parking structure including runoff from the public right of way along Park Center Drive (consisting of approximately 900 sf of disturbance). The improvements will result in a zero net loss of imperviousness. Since the runoff from this portion of disturbance is directed to a closed storm drain system, we have analyzed the first pipe segment from where the disturbed area flow enters the system and have deemed it adequate.

**Study Point DP #2**

This study point is located at the western corner of the intersection between Park Center Drive and King Street. The Study Point includes runoff from a small disturbance area in the public right-of-way for the removal of a parking lot for replacement with a bus shelter, sidewalk and grass area (approximately 1,250 sf of disturbance). The improvements will result in a net decrease in impervious area of approximately 500 sf which results in a decrease in runoff to DP #2. Since the runoff from this portion of disturbance is directed to a closed storm drain system, we have analyzed the first pipe segment from where the disturbed area flow enters the system and have deemed it adequate.

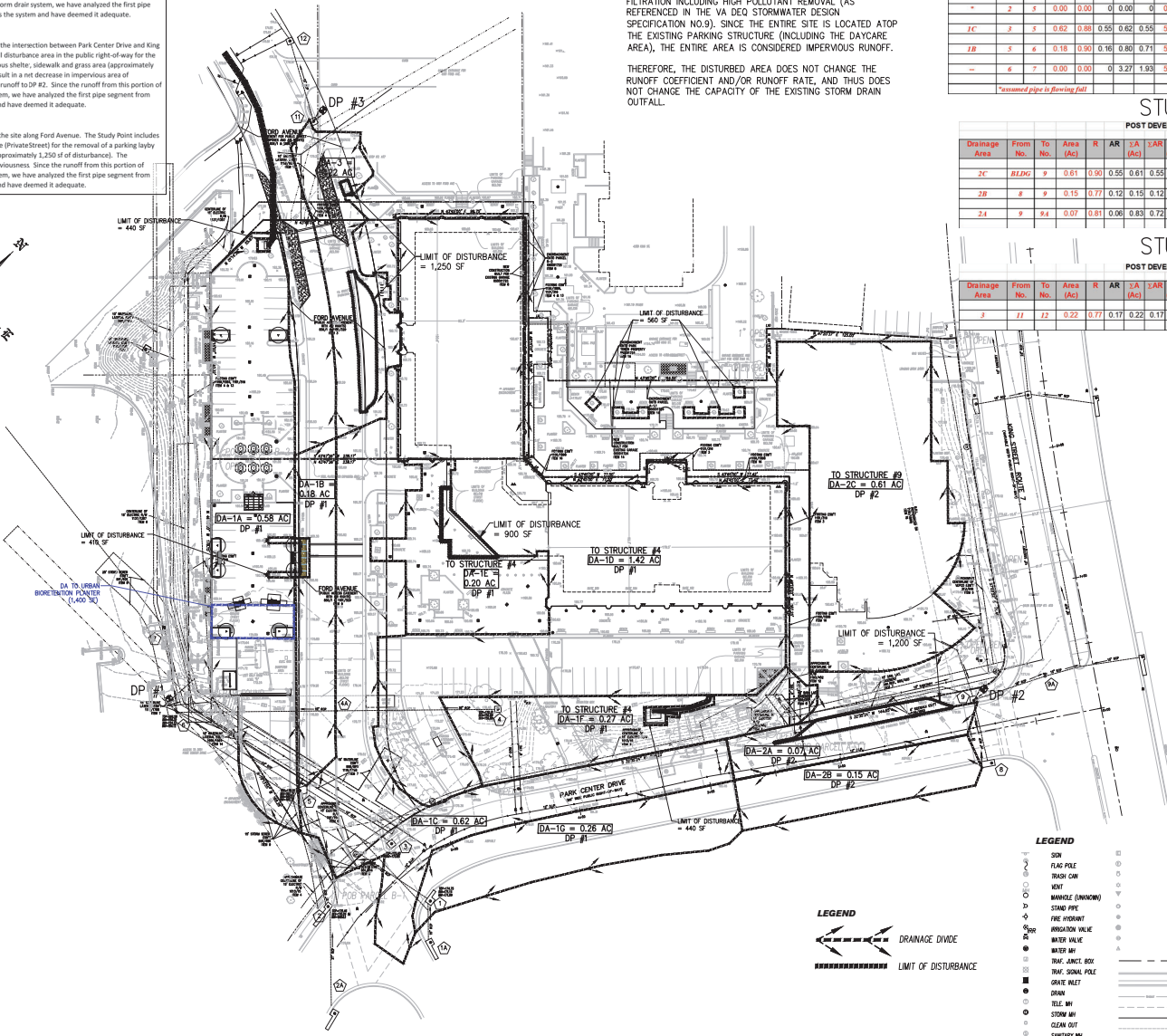
**Study Point DP #3**

This study point is located just to the northwest of the site along Ford Avenue. The Study Point includes runoff from a small disturbance area in Ford Avenue (Private Street) for the removal of a parking lot for replacement with a bus shelter and sidewalk (approximately 1,250 sf of disturbance). The improvements will result in a zero net loss of imperviousness. Since the runoff from this portion of disturbance is directed to a closed storm drain system, we have analyzed the first pipe segment from where the disturbed area flow enters the system and have deemed it adequate.

**NO CHANGE TO STORM DRAINAGE RUNOFF CALCULATIONS  
ONLY BACKGROUND CHANGES WERE MADE IN THIS AMENDMENT.**

NOTE: THE URBAN BIORETENTION PLANTER IS A QUALITY STORMWATER FACILITY THAT REDUCES RUNOFF AND PROVIDES FILTRATION INCLUDING HIGH POLLUTANT REMOVAL (AS REFERENCED IN THE VA DEQ STORMWATER DESIGN SPECIFICATION NO.9). SINCE THE ENTIRE SITE IS LOCATED ATOP THE EXISTING PARKING STRUCTURE (INCLUDING THE DAYCARE AREA), THE ENTIRE AREA IS CONSIDERED IMPERVIOUS RUNOFF.

THEFORE, THE DISTURBED AREA DOES NOT CHANGE THE RUNOFF COEFFICIENT AND/OR RUNOFF RATE, AND THUS DOES NOT CHANGE THE CAPACITY OF THE EXISTING STORM DRAIN OUTFALL.



**STUDY POINT DP#1**

POST DEVELOPMENT PIPE COMPUTATIONS

Drainage Area	From No.	To No.	Area (Ac)	R	AR (Ac)	IA (Ac)	IAAR (Ac)	TC (mm)	I (in/hr)	Q (cfs)	Q (mgd)	Slope %	VH (ft/s)	Vc (ft/s)	Qc (cfs)	Vc (ft/s)	Pa (ft)	Vp (ft/s)	L (ft)	TIP (min)	
1A, 1E, 1F	1	4A	1.89	0.37	0.7	1.89	0.7	5.0	0.7	4.74	18	0.202	0.30	2.66	0.87	0.64	0.49	87.268	5.5	119	0.4
1A	4A	6	0.58	0.50	0.29	1.22	5.4	6.6	8.18	18	0.603	0.30	4.63	3.97	0.64	0.80	112.75	6.4	118	0.3	
1	2	3	0.00	0.00	0	0.00	0	0.0	0.0	33.24	21	4.377	13.62	33.24	13.8	1	115.84	18.0	85	0.1	
1C	3	5	0.62	0.88	0.55	0.62	0.55	5.0	0.78	3.69	15	0.324	0.30	3.01	14.15	11.9	0.28	81.897	9.4	73	0.1
1B	5	6	0.18	0.50	0.16	0.80	0.71	5.0	0.78	38.03	24	2.810	10.05	12.10	74.34	23.7	0.91	99.408	23.5	107	0.1
1	6	7	0.00	0.00	0	3.27	1.93	5.7	0.61	45.99	30	1.251	10.0	9.37	81.72	18.7	0.5	88.838	18.5	63	0.1

*\*retained pipe is flowing full*

**STUDY POINT DP#2**

POST DEVELOPMENT PIPE COMPUTATIONS

Drainage Area	From No.	To No.	Area (Ac)	R	AR (Ac)	IA (Ac)	IAAR (Ac)	TC (mm)	I (in/hr)	Q (cfs)	Q (mgd)	Slope %	VH (ft/s)	Vc (ft/s)	Qc (cfs)	Vc (ft/s)	Pa (ft)	Vp (ft/s)	L (ft)	TIP (min)	
2C	8	9	0.61	0.30	0.55	0.61	0.55	5.0	0.30	3.88	12	1.180	1.30	4.94	3.96	4.94	1.08	115.23	5.2	37	0.1
2B	8	9	0.15	0.77	0.12	0.15	0.12	5.0	0.30	0.82	15	0.016	0.8	0.67	0.78	4.71	0.14	66.058	3.1	45	0.2
2A	9	8A	0.07	0.81	0.06	0.83	0.72	5.0	0.0	5.10	18	0.234	2.88	17.26	0.77	0.3	84.78	8.3	54	0.1	

**STUDY POINT DP#3**

POST DEVELOPMENT PIPE COMPUTATIONS

Drainage Area	From No.	To No.	Area (Ac)	R	AR (Ac)	IA (Ac)	IAAR (Ac)	TC (mm)	I (in/hr)	Q (cfs)	Q (mgd)	Slope %	VH (ft/s)	Vc (ft/s)	Qc (cfs)	Vc (ft/s)	Pa (ft)	Vp (ft/s)	L (ft)	TIP (min)
3	11	12	0.22	0.77	0.17	0.22	0.17	5.0	0.0	1.20	15	0.034	1.08	0.46	5.28	0.19	72.805	3.8	65	0.3

POST-DEVELOPMENT SITE DATA

TOTAL SITE AREA	0.09 AC
TOTAL DISTURBED AREA	0.09 AC
TOTAL IMPERVIOUS AREA WITHIN LIMIT OF WORK	0.08 AC
TOTAL PERVIOUS AREA WITHIN LIMIT OF WORK	0.01 AC

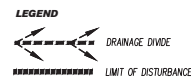
TOTAL DISTURBED AREA = 0.04 AC.  
TOTAL IMPERVIOUS AREA W/IN DISTURBED = 0.04 AC.  
TOTAL PERVIOUS AREA W/IN DISTURBED = 0.00 AC.

Design Point	Drainage Area	Area (ac.)	New Imp. (ac.)
1	D.A. 1	3.32	0
2	D.A. 2	0.83	0.01
3	D.A. 3	0.22	0

PARCEL	ADDRESS
A-1,1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

**LEGEND**

- SON
- FLAG POLE
- RASH CAN
- BENT
- MANHOLE (ANNOUN)
- STAND PIPE
- FIRE HYDRANT
- WIRELESS VALVE
- WATER VALVE
- WATER MH
- TRAC. JUNCT. BOX
- TRAC. SIGNAL POLE
- GRATE INLET
- DRAIN
- BILE MH
- STORM MH
- CLEAN OUT
- SANITARY MH
- GAS VALVE
- GROUND LIGHT
- ELEC. BOX
- ELEC. MH
- ELEC. METER
- LIGHT POLE
- JUNK
- POST
- ROLLUP
- SIGN AND FOUND
- SIGN FOUND
- NON PIPE FOUND
- EXISTING EXTENSIVE
- CURB & GUTTER
- OVERHEAD UTILITY
- OVERHANG
- FILING LINE
- HAND RAIL
- FENCE
- GUARD RAIL
- WOOD FENCE



DSUP#2021-10018

**STORM DRAIN ANALYSIS PLAN  
PARK CENTER  
PARCEL A-1,1, B-1, & B-2**



PLAN NO.:  
SCALE: 1"=40'  
DATE: 4/16/21  
SHEET C-4.30  
FILE NO: 17-009

205 N. Frederick Ave., Suite 100  
Gaithersburg, MD 20878  
Tel: (301) 963-6333  
Fax: (301) 963-6306  
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4/16/21 MAJOR SITE PLAN AMENDMENT  
REV. DATE REVISIONS FROM TO APPROVAL

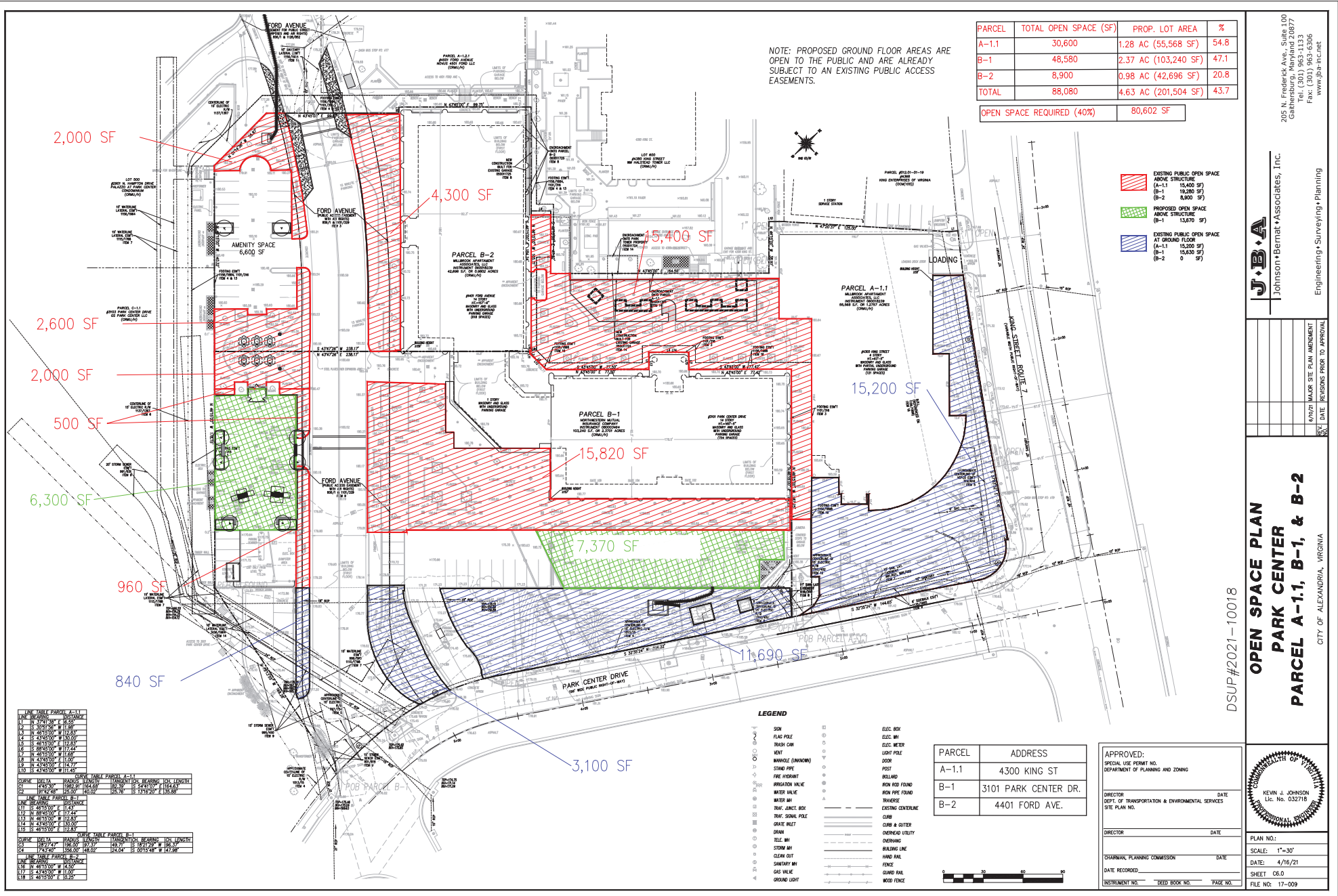
CITY OF ALEXANDRIA, VIRGINIA  
4/21/21 RESUBMISSION NO.

APPROVED:  
SPECIAL USE PERMIT NO.  
DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: DATE  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO.

DIRECTOR: DATE

CHAIRMAN, PLANNING COMMISSION: DATE  
DATE RECORDED:  
INSTRUMENT NO.: DEED BOOK NO.: PAGE NO.:



PARCEL	TOTAL OPEN SPACE (SF)	PROP. LOT AREA	%
A-1.1	30,600	1.28 AC (55,568 SF)	54.8
B-1	48,580	2.37 AC (103,240 SF)	47.1
B-2	8,900	0.98 AC (42,696 SF)	20.8
<b>TOTAL</b>	<b>88,080</b>	<b>4.63 AC (201,504 SF)</b>	<b>43.7</b>
<b>OPEN SPACE REQUIRED (40%)</b>		<b>80,602 SF</b>	

EXISTING PUBLIC OPEN SPACE ABOVE STRUCTURE	PROPOSED OPEN SPACE ABOVE STRUCTURE	EXISTING PUBLIC OPEN SPACE AT GROUND FLOOR
(A-1.1) 15,400 SF	(A-1.1) 19,200 SF	(A-1.1) 15,200 SF
(B-1) 19,200 SF	(B-1) 8,900 SF	(B-1) 15,430 SF
(B-2) 8,900 SF	(B-2) 0 SF	(B-2) 0 SF

**LEGEND**

⊙	SUR	⊙	ELEC. BOX
⊙	FLAG POLE	⊙	ELEC. MH
⊙	TRASH CAN	⊙	ELEC. METER
⊙	VENT	⊙	LIGHT POLE
⊙	MANHOLE (UNKNOWN)	⊙	DOOR
⊙	STAND PIPE	⊙	POST
⊙	BOLLARD	⊙	IRON ROD FOUND
⊙	FIRE HYDRANT	⊙	IRON PIPE FOUND
⊙	IRRIGATION VALVE	⊙	EXISTING CENTERLINE
⊙	WATER VALVE	⊙	CURB
⊙	TRAVELER	⊙	CURB & GUTTER
⊙	WATER MH	⊙	OVERHEAD UTILITY
⊙	TRAV. JUNCT. BOX	⊙	OVERHANG
⊙	IRRATION VALVE	⊙	SEWER MAN
⊙	CURB	⊙	SEWER MAN
⊙	GATE INLET	⊙	HAND RAIL
⊙	DRAIN	⊙	GUARD RAIL
⊙	TELE. MH	⊙	WOOD FENCE
⊙	WATER VALVE	⊙	
⊙	CLEAN OUT	⊙	
⊙	SANITARY MH	⊙	
⊙	GAS VALVE	⊙	
⊙	FENCE	⊙	
⊙	GUARD RAIL	⊙	
⊙	WOOD FENCE	⊙	

PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

**APPROVED:**  
SPECIAL USE PERMIT NO.  
DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**TABLE PARCEL A-1.1**

1.1	15,400	15,400	15,400
1.2	19,200	19,200	19,200
1.3	8,900	8,900	8,900
1.4	15,400	15,400	15,400
1.5	19,200	19,200	19,200
1.6	8,900	8,900	8,900
1.7	15,400	15,400	15,400
1.8	19,200	19,200	19,200
1.9	8,900	8,900	8,900
1.10	15,400	15,400	15,400
1.11	19,200	19,200	19,200
1.12	8,900	8,900	8,900
1.13	15,400	15,400	15,400
1.14	19,200	19,200	19,200
1.15	8,900	8,900	8,900
1.16	15,400	15,400	15,400
1.17	19,200	19,200	19,200
1.18	8,900	8,900	8,900
1.19	15,400	15,400	15,400
1.20	19,200	19,200	19,200
1.21	8,900	8,900	8,900
1.22	15,400	15,400	15,400
1.23	19,200	19,200	19,200
1.24	8,900	8,900	8,900
1.25	15,400	15,400	15,400
1.26	19,200	19,200	19,200
1.27	8,900	8,900	8,900
1.28	15,400	15,400	15,400
1.29	19,200	19,200	19,200
1.30	8,900	8,900	8,900

**TABLE PARCEL B-1**

2.1	19,200	19,200	19,200
2.2	8,900	8,900	8,900
2.3	15,400	15,400	15,400
2.4	19,200	19,200	19,200
2.5	8,900	8,900	8,900
2.6	15,400	15,400	15,400
2.7	19,200	19,200	19,200
2.8	8,900	8,900	8,900
2.9	15,400	15,400	15,400
2.10	19,200	19,200	19,200
2.11	8,900	8,900	8,900
2.12	15,400	15,400	15,400
2.13	19,200	19,200	19,200
2.14	8,900	8,900	8,900
2.15	15,400	15,400	15,400
2.16	19,200	19,200	19,200
2.17	8,900	8,900	8,900
2.18	15,400	15,400	15,400
2.19	19,200	19,200	19,200
2.20	8,900	8,900	8,900

**TABLE PARCEL B-2**

3.1	8,900	8,900	8,900
3.2	15,400	15,400	15,400
3.3	19,200	19,200	19,200
3.4	8,900	8,900	8,900
3.5	15,400	15,400	15,400
3.6	19,200	19,200	19,200
3.7	8,900	8,900	8,900
3.8	15,400	15,400	15,400
3.9	19,200	19,200	19,200
3.10	8,900	8,900	8,900
3.11	15,400	15,400	15,400
3.12	19,200	19,200	19,200
3.13	8,900	8,900	8,900
3.14	15,400	15,400	15,400
3.15	19,200	19,200	19,200
3.16	8,900	8,900	8,900
3.17	15,400	15,400	15,400
3.18	19,200	19,200	19,200
3.19	8,900	8,900	8,900
3.20	15,400	15,400	15,400

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Fax: (301) 963-6306  
www.jb-ba-inc.net

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REVISIONS

NO.	DATE	REVISIONS FROM	TO

**OPEN SPACE PLAN**  
**PARK CENTER**  
**PARCEL A-1.1, B-1, & B-2**

CITY OF ALEXANDRIA, VIRGINIA

DSUP #2021-10018

APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_  
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DEPARTMENT OF PLANNING AND ZONING

DIRETOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

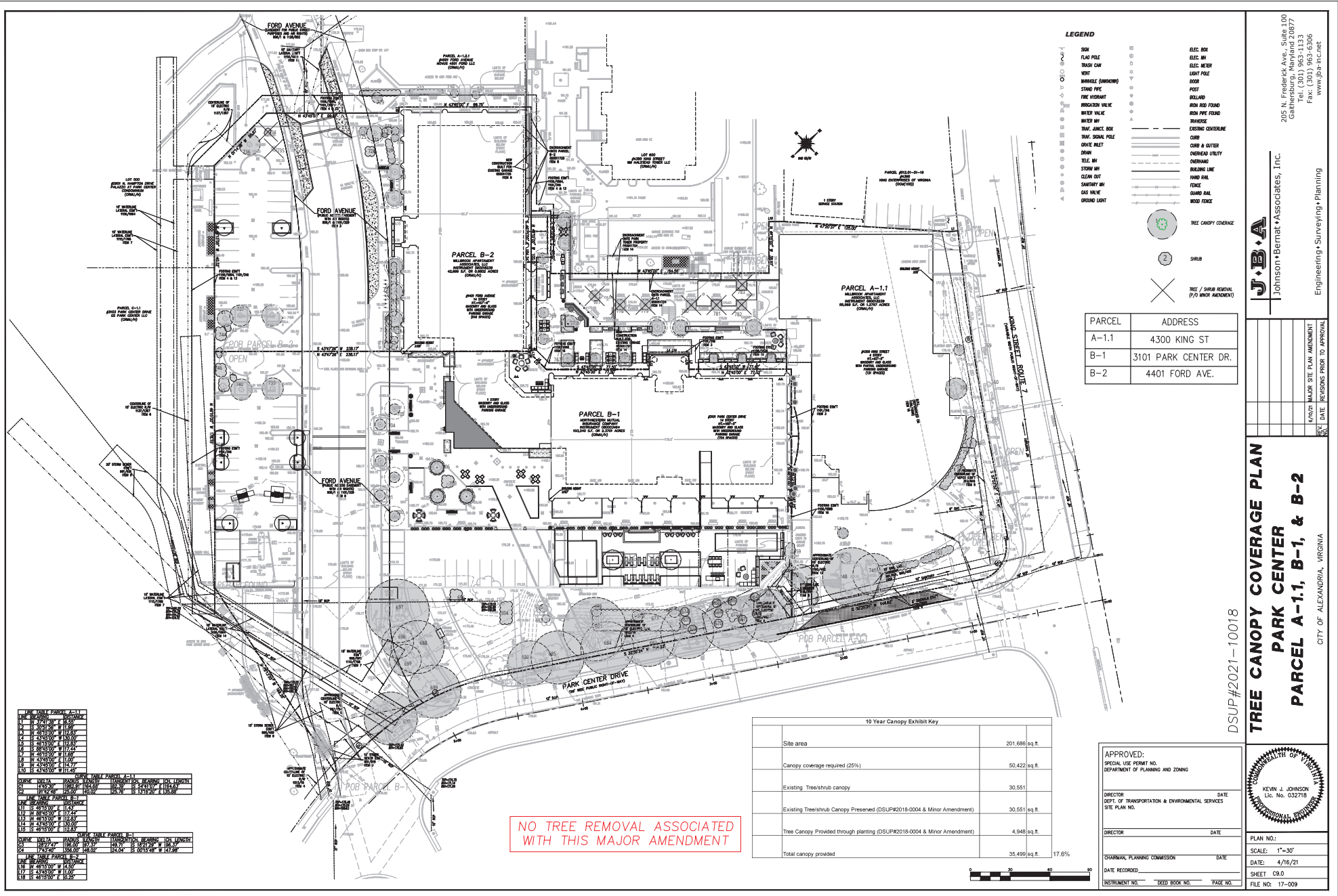
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PLAN NO.: \_\_\_\_\_  
SCALE: 1"=30'  
DATE: 4/16/21  
SHEET: C6.0  
FILE NO: 17-009



- LEGEND**
- SHU
  - FLM POLE
  - TRASH CAN
  - MET
  - MANHOLE (SHOWING)
  - SMOKE PNC
  - FIRE HYDRANT
  - IRRIGATION VALVE
  - WATER VALVE
  - WATER MH
  - TRAV. ANGLE BOX
  - TRAV. SIGNAL POLE
  - GATE MEET
  - DRAIN
  - TELE. MH
  - STORM MH
  - CEM. SET
  - SANITARY MH
  - GAS VALVE
  - GROUND LIGHT
- ELEC. BOX
  - ELEC. MH
  - ELEC. METER
  - LIGHT POLE
  - POLE
  - POST
  - ROLLWAY
  - ROW AND FOUND
  - ROW FIRE FOUND
  - BRIDGE
  - EXISTING CENTERLINE
  - CURB
  - CURB & GUTTER
  - OVERHEAD UTILITY
  - OVERHANG
  - BUILDING LINE
  - FUND. LINE
  - FENCE
  - GUARD RAIL
  - WOOD FENCE
- TREE CANOPY COVERAGE
  - SHRUB
  - TREE / SHRUB REMOVAL (P/O WORK REQUIRED)

PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

10 Year Canopy Exhibit Key

Site area	201,686 sq. ft.
Canopy coverage required (25%)	50,422 sq. ft.
Existing Tree/shrub canopy	30,551
Existing Tree/shrub Canopy Preserved (DSUP#2018-0004 & Minor Amendment)	30,551 sq. ft.
Tree Canopy Provided through planting (DSUP#2018-0004 & Minor Amendment)	4,948 sq. ft.
Total canopy provided	35,499 sq. ft. 17.6%

NO TREE REMOVAL ASSOCIATED WITH THIS MAJOR AMENDMENT

NO.	DATE	DESCRIPTION	BY	CHKD.
1	12/15/20	ISSUED FOR PERMIT	JL	JK
2	12/15/20	REVISION	JL	JK
3	12/15/20	REVISION	JL	JK
4	12/15/20	REVISION	JL	JK
5	12/15/20	REVISION	JL	JK
6	12/15/20	REVISION	JL	JK
7	12/15/20	REVISION	JL	JK
8	12/15/20	REVISION	JL	JK
9	12/15/20	REVISION	JL	JK
10	12/15/20	REVISION	JL	JK
11	12/15/20	REVISION	JL	JK
12	12/15/20	REVISION	JL	JK
13	12/15/20	REVISION	JL	JK
14	12/15/20	REVISION	JL	JK
15	12/15/20	REVISION	JL	JK
16	12/15/20	REVISION	JL	JK
17	12/15/20	REVISION	JL	JK
18	12/15/20	REVISION	JL	JK
19	12/15/20	REVISION	JL	JK
20	12/15/20	REVISION	JL	JK
21	12/15/20	REVISION	JL	JK
22	12/15/20	REVISION	JL	JK
23	12/15/20	REVISION	JL	JK
24	12/15/20	REVISION	JL	JK
25	12/15/20	REVISION	JL	JK
26	12/15/20	REVISION	JL	JK
27	12/15/20	REVISION	JL	JK
28	12/15/20	REVISION	JL	JK
29	12/15/20	REVISION	JL	JK
30	12/15/20	REVISION	JL	JK
31	12/15/20	REVISION	JL	JK
32	12/15/20	REVISION	JL	JK
33	12/15/20	REVISION	JL	JK
34	12/15/20	REVISION	JL	JK
35	12/15/20	REVISION	JL	JK
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39	12/15/20	REVISION	JL	JK
40	12/15/20	REVISION	JL	JK
41	12/15/20	REVISION	JL	JK
42	12/15/20	REVISION	JL	JK
43	12/15/20	REVISION	JL	JK
44	12/15/20	REVISION	JL	JK
45	12/15/20	REVISION	JL	JK
46	12/15/20	REVISION	JL	JK
47	12/15/20	REVISION	JL	JK
48	12/15/20	REVISION	JL	JK
49	12/15/20	REVISION	JL	JK
50	12/15/20	REVISION	JL	JK

DSUP#2021-10018

**TREE CANOPY COVERAGE PLAN**  
**PARK CENTER**  
**PARCEL A-1.1, B-1, & B-2**

205 N. Frederick Ave., Suite 100  
Gaithersburg, MD 20877  
Tel: (301) 963-6313  
Fax: (301) 963-6306  
www.jb-ba-inc.net

**J·B·A**  
Johnson+Bemat Associates, Inc.  
Engineering • Surveying • Planning

NO.	DATE	REVISIONS FROM	TO
1/2021	MAJOR SITE PLAN AMENDMENT		
2/2021	REVISIONS FROM	TO	APPROVAL

CITY OF ALEXANDRIA, VIRGINIA

APPROVED:  
SPECIAL USE PERMIT NO.  
DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO.

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



PLAN NO.:  
SCALE: 1"=30'  
DATE: 4/16/21  
SHEET C9.0  
FILE NO: 17-009



**TREES**

Tag #	Species	Size	***Condition		Crown Radius/dimensions		Canopy coverage	Status
			%		ft.	Sq Ft.		
658	river birch	4,4,3,2	85	6	10	314	presence	
663	common crapemyrtle	4,4,3,3,2	85	6	113	presence		
671	common crapemyrtle	4,4,3,3,3	75	4	50	presence		
677	common crapemyrtle	5,4,5,3,3	85	4	50	presence		
678	common crapemyrtle	5,4,5,3,3	85	4	50	presence		
679	common crapemyrtle	5,4,5,3,3	85	4	50	presence		
680	london planetree	20	85	20	1256	presence		
681	london planetree	22	85	20	1256	presence		
682	london planetree	22	85	20	1256	presence		
683	london planetree	22	85	20	1256	presence		
684	london planetree	22	85	20	1256	presence		
685	london planetree	22	85	20	1256	presence		
686	london planetree	14	85	17	907	presence		
688	london planetree	18	85	20	1256	presence		
689	london planetree	18	85	20	1256	presence		
690	london planetree	18	85	20	1256	presence		
691	decodar cedar	26	85	24	1809	presence		
692	Japanese holly	8	85	3	28	presence		
693	Japanese holly	8	85	3	28	presence		
697	river birch	24	85	24	1809	presence		
698	kwanzan cherry	14	60	12	452	presence		
699	kwanzan cherry	22	60	12	452	presence		
700	common crapemyrtle	4,4,3,3,3	85	4	50	presence		
701	common crapemyrtle	3,3,3,3,3	85	4	50	presence		
702	common crapemyrtle	3,3,3,3,3	85	4	50	presence		
703	common crapemyrtle	3,3,3,3,3	85	4	50	presence		
704	common crapemyrtle	3,3,3,4,4	85	4	50	presence		
705	common crapemyrtle	3,3,3,4,4	85	4	50	presence		
706	flowering plum	6	75	6	113	presence		
707	flowering plum	6	75	6	113	presence		
708	flowering plum	6	75	6	113	presence		
710	holly species	4	75	3	28	presence		
711	holly species	4	75	3	28	presence		
712	holly species	4	75	3	28	presence		
716	kwanzan cherry	6	85	6	113	presence		
717	kwanzan cherry	6	85	6	113	presence		
718	kwanzan cherry	6	85	6	113	presence		
719	kwanzan cherry	6	85	6	113	presence		
720	kwanzan cherry	6	85	6	113	presence		
721	kwanzan cherry	6	85	6	113	presence		
722	holly species	4	75	3	28	presence		
723	holly species	4	75	3	28	presence		
724	holly species	4	75	3	28	presence		
725	holly species	4	75	3	28	presence		
729	common crapemyrtle	4,3,3	85	4	50	presence		
730	common crapemyrtle	4,3,3	85	3	28	presence		
731	common crapemyrtle	4,3,3	85	3	28	presence		
736	common crapemyrtle	4,4,3,3	95	8	201	presence		
737	common crapemyrtle	4,4,3,3	95	8	201	presence		
738	common crapemyrtle	4,4,3,3	95	8	201	presence		
739	common crapemyrtle	4,4,3,3	95	8	201	presence		
740	common crapemyrtle	4,4,3,3	95	8	201	presence		
741	holly species	6	80	6	113	presence		
748	honeylouct	24	80	22	1520	presence		
749	honeylouct	24	80	16	804	presence		
750	common crapemyrtle	4,4,3,3	80	4	50	presence		
751	common crapemyrtle	4,4,3,3	80	4	50	presence		
755	common crapemyrtle	4,3,3,3	75	4	50	presence		
756	common crapemyrtle	4,3,3,3	75	4	50	presence		
757	common crapemyrtle	4,3,3,3,3	75	4	50	presence		
758	flowering dogwood	6	75	8	201	presence		
759	red maple	4	60	0	presence			
760	red maple	4	60	0	presence			
761	red maple	4	60	0	presence			
762	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
763	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
764	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
765	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
766	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
767	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
768	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
769	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
770	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
771	korean dogwood	6	75	6	113	presence		
772	korean dogwood	6	75	6	113	presence		
773	korean dogwood	6	75	6	113	presence		
774	korean dogwood	6	75	6	113	presence		
775	korean dogwood	6	75	6	113	presence		
776	korean dogwood	6	75	6	113	presence		
777	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
778	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
779	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
780	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
781	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
782	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
783	common crapemyrtle	3,3,3,3,3	75	4	50	presence		
789	common crapemyrtle	3,3,3,3,3	75	4	50	presence		

**SHRUBS**

Tag #	Species	Size	***Condition		Crown Radius/dimensions		Canopy coverage	Status
			%		ft.	Sq Ft.		
659	nandina	shrub	70	5x20	100	presence		
660	yew	shrub	75	5x20	100	presence		
661	nandina	shrub	75	5x20	100	presence		
664	Japanese holly	4,4,3,3,2	75	3	28	presence		
665	Japanese holly	4,4,3,3,2	75	3	28	presence		
666	Japanese holly	shrub	75	3	28	presence		
667	Japanese holly	shrub	75	3	28	presence		
668	Japanese holly	4,4,3,3,2	75	3	28	presence		
669	Japanese holly	shrub	75	3	28	presence		
670	Japanese holly	shrub	75	3	28	presence		
672	viburnum species	shrub	75	8x8	64	presence		
673	viburnum species	shrub	75	65x15	976	presence		
674	Japanese holly	shrub	75	3	28	presence		
675	Japanese holly	shrub	75	3	28	presence		
676	Japanese holly	shrub	75	3	28	presence		
694	other species	shrub	85	8x16	128	presence		
696	eucynimus sp.	shrub	85	8x8	64	presence		
709	American arbutovtae	shrub	75	8x8	64	presence		
713	American boxwood	shrub	75	5x3	120	presence		
714	arborvitae	shrub	75	4x4	16	presence		
715	nandina	shrub	75	2x3	60	presence		
726	American boxwood	shrub	85	18x4	72	presence		
727	nandina	shrub	85	6x3	18	presence		
728	globe arborvitae	shrub	85	6x6	36	presence		
732	yew	shrub	85	3x30	90	presence		
733	burning bush	shrub	85	3x25	75	presence		
742	eucynimus sp.	shrub	80	4x4	16	presence		
743	eucynimus sp.	shrub	80	4x4	16	presence		
744	yew	shrub	80	7x6	42	presence		
745	yew	shrub	80	7x6	42	presence		
746	yew	shrub	80	7x6	42	presence		
747	nandina	shrub	80	7x3	21	presence		
752	holly species	shrub	70	8x4	120	presence		
753	cherry laurel	shrub	70	2x4	100	presence		
754	holly species	shrub	60	16x16	256	presence		

TOTAL EXISTING CANOPY COVERAGE = 30,551 SF

NO TREE REMOVAL ASSOCIATED WITH THIS MAJOR AMENDMENT



DSUP #2021-10018

**TREE CANOPY COVERAGE NOTES  
PARK CENTER  
PARCEL A-1.1, B-1, & B-2**

CITY OF ALEXANDRIA, VIRGINIA

205 N. Frederick Ave., Suite 100  
GaitHERS, VA 22037  
Tel: (703) 963-1333  
Fax: (703) 963-0306  
www.jb-b-inc.net

**J•B•A**  
Johnson•Bernat Associates, Inc.  
Engineering • Surveying • Planning

APPROVED:  
SPECIAL USE PERMIT NO.  
DEPARTMENT OF PLANNING AND ZONING

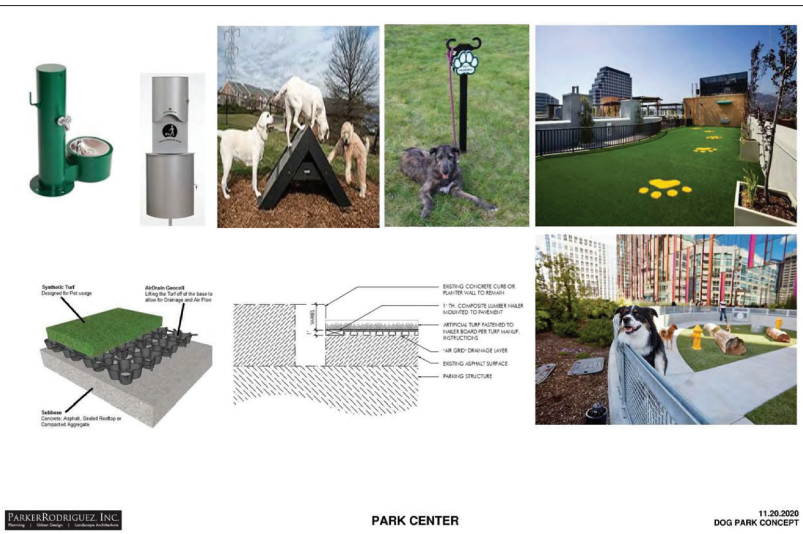
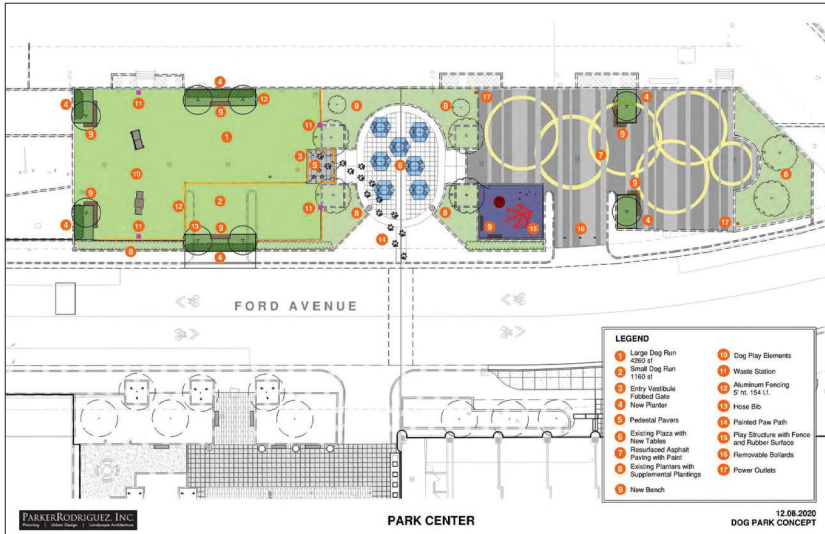
DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

PLAN NO.: \_\_\_\_\_  
SCALE: 1"=30'  
DATE: 3/21/21  
SHEET: C9.1  
FILE NO: 17-009

KEVIN J. JOHNSON  
LIC. NO. C32718



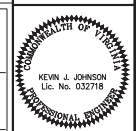
PARCEL	ADDRESS
A-1.1	4300 KING ST
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

APPROVED:  
SPECIAL USE PERMIT NO.  
DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT. OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



PLAN NO.: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: 4/16/21  
SHEET C12.0  
FILE NO: 17-009

DSUP#2021-10018

**PRECEDENT IMAGES**  
**PARK CENTER**  
**PARCEL A-1.1, B-1, & B-2**

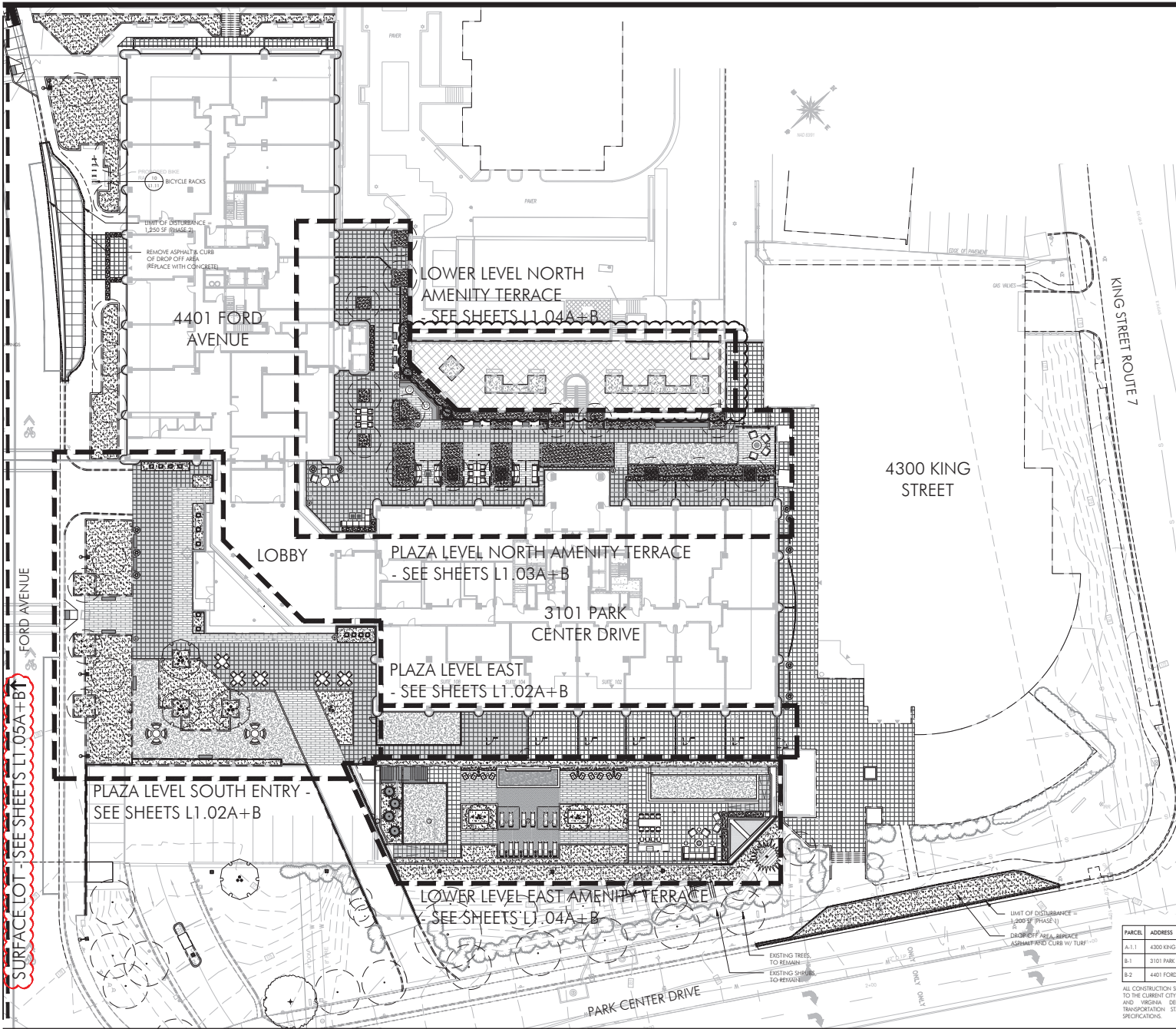
CITY OF ALEXANDRIA, VIRGINIA



Johnson + Bernat Associates, Inc.  
205 N. Frederick Ave., Suite 100  
Gaithersburg, MD 20878  
Tel: (301) 963-6333  
Fax: (301) 963-6306  
www.jb-a-inc.net

Engineering • Surveying • Planning

REV	DATE	REVISIONS FROM TO	APPROVAL
4/16/21		MAJOR SITE PLAN AMENDMENT	
		REVISIONS FROM TO	



**LEGEND - HARDSCAPE**

- TCR-01
- PBE-01
- PBE-02
- RUB-01
- RUB-02
- TURF-01
- CONCRETE CURB
- CONCRETE WALL

**LEGEND - FIXED FURNISHINGS**

- BENCH - BUILT-IN
- BENCH - PREFABRICATED
- PRIVACY SCREEN
- FENCE + GATE
- SHADE STRUCTURE
- GRILLS
- SINK + FAUCET
- TRASH RECEPTACLE
- MISTING STATION
- GFCI RECEPTACLE
- PLANTER
- INDICATES PLANTER TYPE. SEE PLANTER SCHEDULE ON L0.011

**LEGEND - PLANTING**

- EXISTING TREE
- PROPOSED TREE
- PROPOSED PLANTED AREA
  - SHRUBS
  - ORNAMENTAL GRASSES
  - GRASSING COVERS
  - LAWN
- EXISTING PLANTED AREA

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

PARCEL	ADDRESS
A-1.1	4300 KING STREET
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION, STOREWAYS AND SPECIFICATIONS.

**PARK CENTER**  
Alexandria, VA  
PARKER RODRIGUEZ, INC.  
PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE  
1717 North Glebe Rd. #200  
Alexandria VA 22314  
703.548.5010

OWNER  
Iowa Enterprise  
1300 Connecticut Ave. 7th Fl.  
Suite 900  
Washington, DC 20005  
202.464.2921

ARCHITECT  
Benita Henning Architects  
1728 14th Street NW  
Suite 300  
Washington, DC 20009  
202.388.9279

CIVIL  
Johnson Beaman Associates, Inc.  
2025 K Industrial Ave.  
Suite 100  
Cockeysburg, Maryland 20877  
301.963.1133



REVISIONS

NO.	DESCRIPTION	DATE
01	DSUP SUBMISSION	03/04/18
02	DSUP SUBMISSION	04/09/18
03	FINAL SITE PLAN	06/20/18
04	FINAL SITE PLAN	06/07/19
05	FINAL SITE PLAN	08/07/19
06	FINAL SITE PLAN	11/15/19
07	FINAL SITE PLAN	01/03/20
08	SIGNATURE SET	02/21/20
09	MAYOR SITE PLAN AMENDMENT	03/04/21
10	MAYOR SITE PLAN AMENDMENT	04/16/21
11	MAYOR SITE PLAN AMENDMENT	06/09/21

**OVERALL LANDSCAPE PLAN**

ORIGINAL ISSUE DATE  
02/09/09

DESIGNED BY  
TR, SL

DRAWN BY  
SL, NW

CHECKED BY  
TR

NORTH

SCALE  
1" = 20'-0"

0 10 20 FEET

L1.00

DSUP#2021-1-10018

**PARK CENTER**

Alexandria, VA  
**PARKER RODRIGUEZ, INC.**  
 PLANNING • DESIGN • LANDSCAPE ARCHITECTURE  
 1717 North Glebe Road # 203  
 Alexandria VA 22314  
 703.548.9010

OWNER  
 Ionea Enterprises  
 1300 Connecticut Ave, 10th  
 Suite 900  
 Washington, DC 20004  
 202.494.2931

ARCHITECT  
 Benito Henegar Architects  
 1728 14th Street, NW  
 Suite 200  
 Washington, DC 20009  
 202.388.9270

CIVIL  
 Johnson Benoit Associates, Inc.  
 2025 N. Industrial Ave.  
 Suite 100  
 Gaithersburg, Maryland 20878  
 301.963.1133



REVISIONS

DSUP SUBMISSION	03/04/18
DSUP SUBMISSION	04/09/18
FINAL SITE PLAN	06/20/18
FINAL SITE PLAN	06/07/19
FINAL SITE PLAN	08/07/19
FINAL SITE PLAN	11/15/19
FINAL SITE PLAN	03/03/20
SIGNATURE SET	02/21/20
MINOR SITE PLAN AMENDMENT	03/04/21
MAJOR SITE PLAN AMENDMENT	04/16/21
MAJOR SITE PLAN AMENDMENT	06/03/21

**PLAZA LEVEL WEST SURFACE LOT LANDSCAPE PLANS**

ORIGINAL ISSUE DATE: 02/09/20

DESIGNED BY: TR, SL

DRAWN BY: SL, NWR

CHECKED BY: TR

NORTH



SCALE

1" = 1'-0"

0 10 20 FEET

**L1.05A**

**LEGEND - HARDSCAPE**

- PCUR-01
- PRE-01
- PRE-02
- RUB-01
- RUB-02
- TURF-01
- CONCRETE CURB
- CONCRETE WALL

**LEGEND - FIXED FURNISHINGS**

- BENCH - BUILT-IN
- BENCH - PREFABRICATED
- PRIVACY SCREEN
- FENCE - GATE
- SHADE STRUCTURE
- GRILLS
- SINK + FAUCET
- TRASH RECEPTACLE
- MISTING STATION
- GFCI
- GFCI RECEPTACLE
- PLANTER - INDICATES PLANTER TYPE, SEE PLANTER SCHEDULE ON LO 01

**LEGEND - PLANTING**

- EXISTING TREE
- PROPOSED TREE
- PROPOSED PLANTED AREA - SHRUBS, ORNAMENTAL GRASSES, GROUND COVERS, LAWN
- EXISTING PLANTED AREA

**APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_**  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHURCHMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED: \_\_\_\_\_

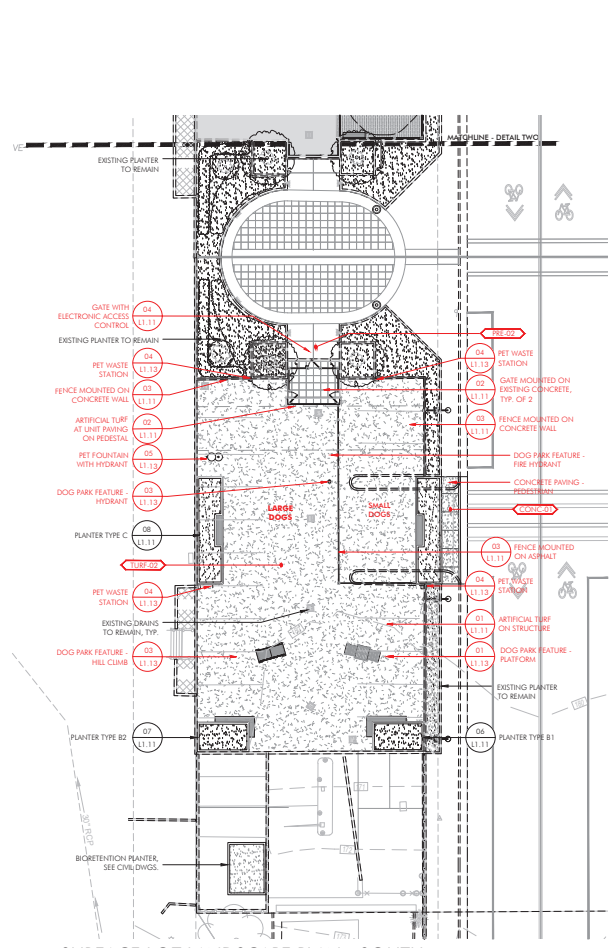
INSTRUMENT NO. \_\_\_\_\_ SEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

- AMENITY SPACE PROGRAM**
- RESIDENTS WILL HAVE FULL ACCESS TO ALL AMENITIES AND OPEN AREAS OF PLAZA.
  - ON A DAILY BASIS, PASSIVE USE OF THE AMENITY SPACE IS ENCOURAGED.
  - WHEN PROGRAMMED, FOOD TRUCKS, FARMERS MARKET AND/OR SUGAR PROGRAMMED USES THAT ARE MANAGED BY THE PROPERTY OWNER AND/OR MANAGEMENT TEAM ARE ENCOURAGED.

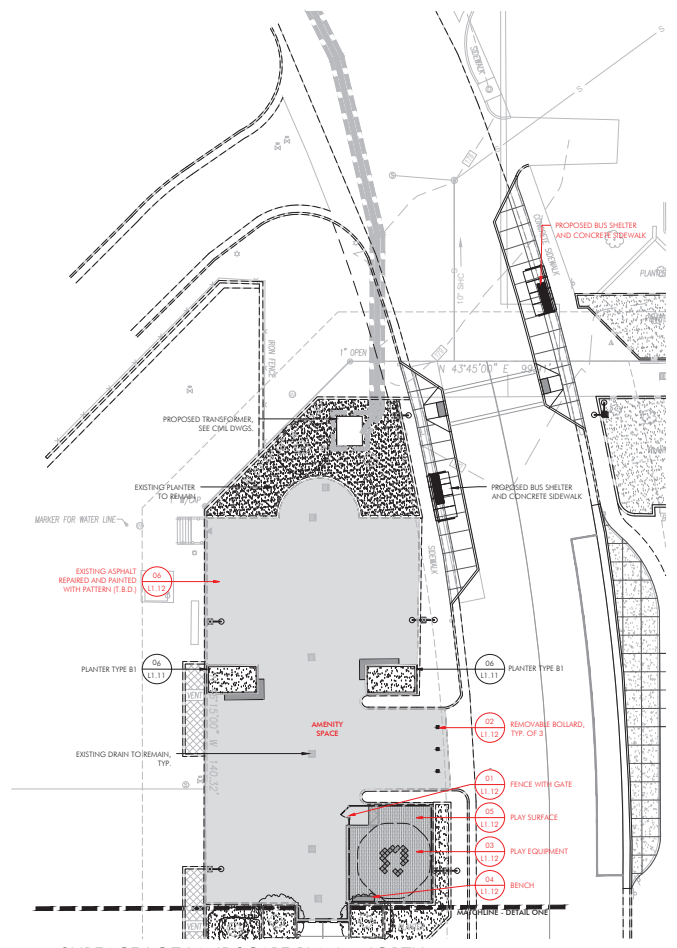
- DOG PARK USE + MAINTENANCE**
- THE DOG PARK WILL BE LOCATED FOR RESIDENT USE ONLY. THE APPLICANT WILL NOT PROVIDE PUBLIC ACCESS TO AMENITY SPACE OR THE DOG PARK.
  - THE DOG PARK WILL BE OPEN FROM SUNRISE TO SUNSET.
  - PROPERTY MANAGEMENT WILL REMOVE PET WASTE ON DAILY BASIS.
  - THE TURF WILL BE CLEANED PER MANUFACTURERS SPECIFICATIONS, WHICH INCLUDE DAILY WASH DOWN OF THE CURB.

PARCEL	ADDRESS
A-1.1	3200 KING STREET
B-1	3101 PARK CENTER DR.
B-2	1461 FORD AVE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION, STOREWAYS AND SPECIFICATIONS.



**01 SURFACE LOT LANDSCAPE PLAN - SOUTH**  
 SCALE: 1/16" = 1'-0"



**02 SURFACE LOT LANDSCAPE PLAN - NORTH**  
 SCALE: 1/16" = 1'-0"

**PARK CENTER**

Alexandria, VA

**PARKER RODRIGUEZ, INC.**  
 PLANNING · URBAN DESIGN · LANDSCAPE ARCHITECTURE  
 1171 North Glebe Rd. # 203  
 Alexandria VA 22314  
 703.548.5010

**OWNER**  
 Home Enterprise  
 1300 Connecticut Ave. NW  
 Suite 100  
 Washington, DC 20004  
 202.464.2921

**ARCHITECT**  
 Benette Henning Architects  
 1728 14th Street NW  
 Suite 200  
 Washington, DC 20009  
 202.889.9270

**CIVIL**  
 Johnson Bernier Associates, Inc.  
 20514 Industrial Ave.  
 Suite 100  
 Gaithersburg, Maryland 20878  
 301.963.1133



REVISIONS

DSUP SUBMISSION	03/04/18
DSUP SUBMISSION	04/09/18
FINAL SITE PLAN	06/20/18
FINAL SITE PLAN	06/07/19
FINAL SITE PLAN	08/07/19
FINAL SITE PLAN	11/15/19
FINAL SITE PLAN	01/03/20
SIGNATURE SET	02/21/20
MAJOR SITE PLAN AMENDMENT	03/04/21
MAJOR SITE PLAN AMENDMENT	04/16/21
MAJOR SITE PLAN AMENDMENT	06/03/21

**PLAZA LEVEL WEST SURFACE LOT PLANTING PLANS**

ORIGINAL ISSUE DATE: 02/09/09

DESIGNED BY: TR, SL

DRAWN BY: SL, HW

CHECKED BY: TR

NORTH

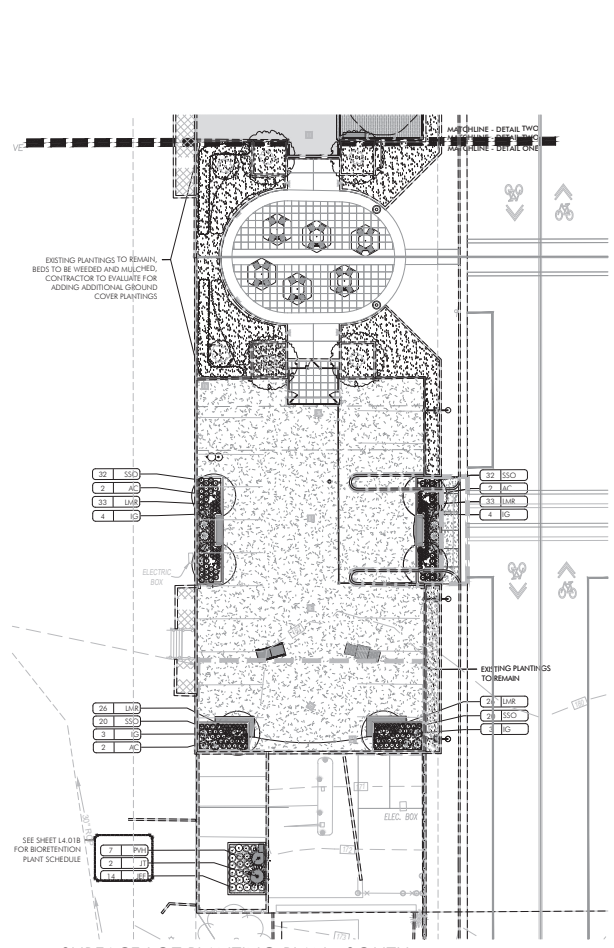


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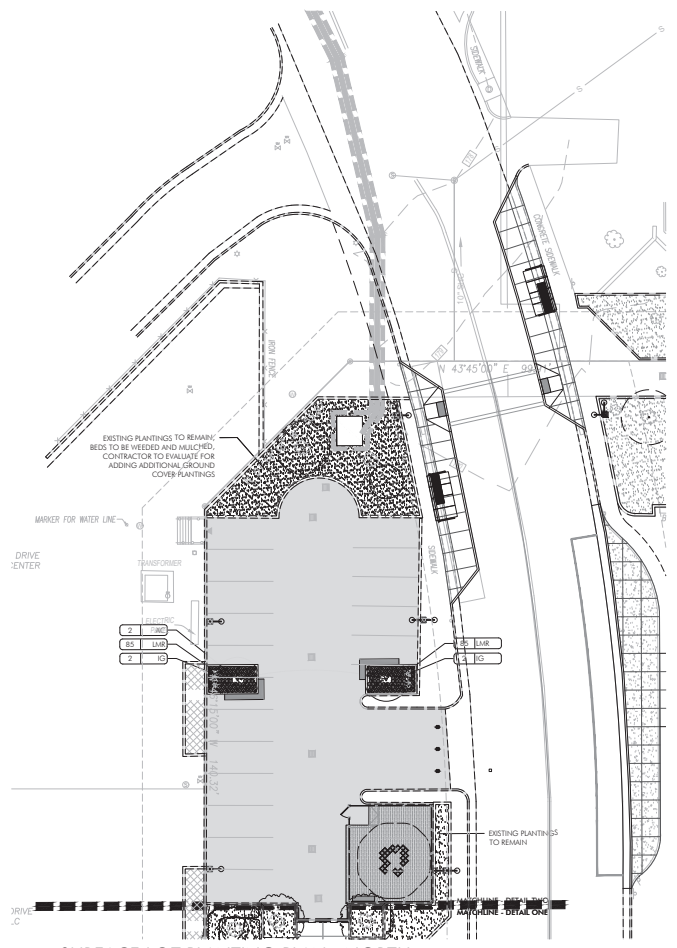


**L1.05B**

DSUP#2021-10018



**01 SURFACE LOT PLANTING PLAN - SOUTH**  
 SCALE: 1/16" = 1'-0"



**02 SURFACE LOT PLANTING PLAN - NORTH**  
 SCALE: 1/16" = 1'-0"

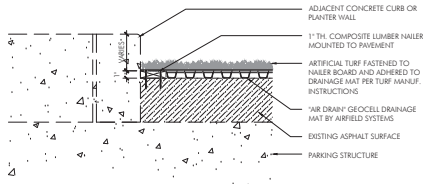
PARCEL	ADDRESS
A-1.1	3200 KING STREET
B-1	3101 PARK CENTER DR.
B-2	4401 FORD AVE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION, STOREFRONTS AND SPECIFICATIONS.

**APPROVED**  
 SPECIAL USE PERMIT NO. \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_

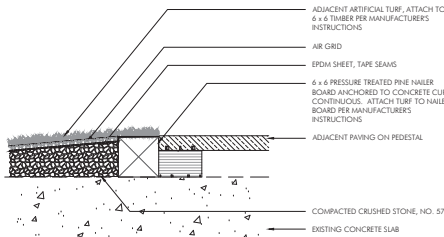
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 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ SEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



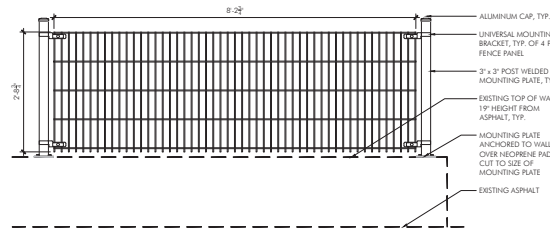
**01** ARTIFICIAL TURF ON STRUCTURE

1 1/2" = 1'-0"



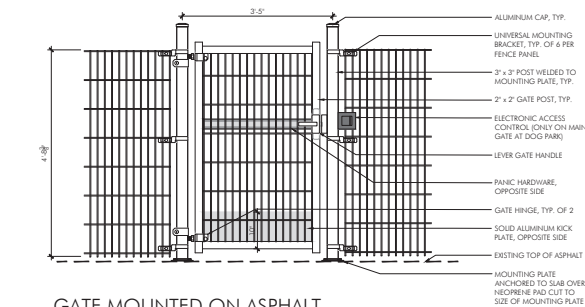
**02** ARTIFICIAL TURF AT UNIT PAVING ON STRUCTURE

1 1/2" = 1'-0"



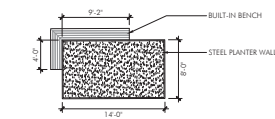
**03** FENCE MOUNTED ON WALL

SCALE AS NOTED



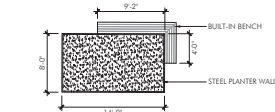
**04** GATE MOUNTED ON ASPHALT

3/4" = 1'-0"



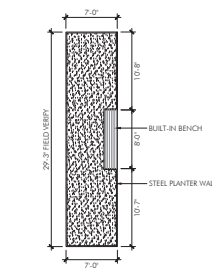
**06** METAL PLANTER TYPE B1

1/8" = 1'-0"



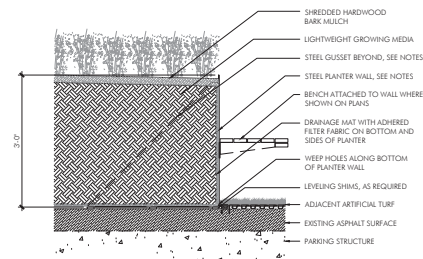
**07** METAL PLANTER TYPE B2

1/8" = 1'-0"



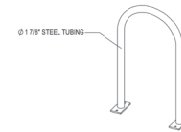
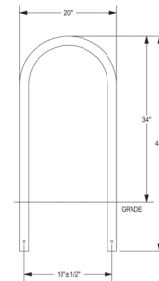
**08** METAL PLANTER TYPE C

1/8" = 1'-0"



**09** METAL PLANTER SECTION

3/4" = 1'-0"



PRODUCT: U19K-105F  
DESCRIPTION: 1\"/>

DATE: 10-18  
ENG: SNC

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NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULT WITH SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

PARCEL	ADDRESS
A-1.1	3200 KING STREET
B-1	3101 PARK CENTER DR.
B-2	1461 FORD AVE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION, STOREWAYS AND SPECIFICATIONS.

<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ DIRECTOR	_____ DATE
_____ DATE RECORDED	_____ DATE
_____ INSTRUMENT NO.	_____ SEED BOOK NO.
_____ PAGE NO.	

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PARKER RODRIGUEZ, INC.  
PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE  
1111 North Glebe Rd. #200  
Alexandria VA 22314  
703.548.5010

OWNER  
Iowa Enterprise  
1300 Commercial Ave. 100  
Suite 100  
Washington, DC 20008  
202.484.2931

ARCHITECT  
Benita Henning Architects  
1728 14th Street NW  
Suite 200  
Washington, DC 20009  
202.388.9279

Civil  
Johnston Bernier Associates, Inc.  
20241 Industrial Ave.  
Suite 100  
Gothalburg, Maryland 20877  
301.563.1133



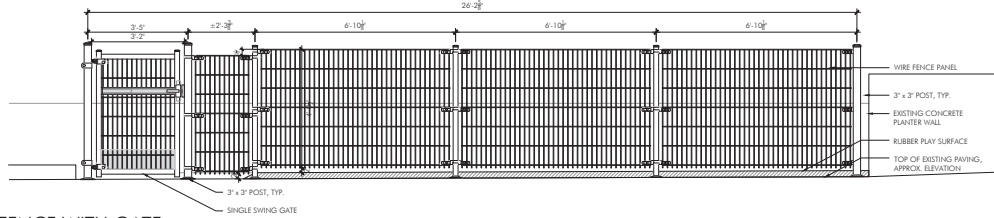
REVISIONS	
DSUP SUBMISSION	03/04/18
DSUP SUBMISSION	04/09/18
FINAL SITE PLAN	06/20/18
FINAL SITE PLAN	06/07/19
FINAL SITE PLAN	11/15/19
FINAL SITE PLAN	03/02/20
SIGNATURE SET	02/21/20
MANOR SITE PLAN AMENDMENT	03/04/21
MANOR SITE PLAN AMENDMENT	04/18/21
MANOR SITE PLAN AMENDMENT	10/01/21

**HARDSCAPE DETAILS**

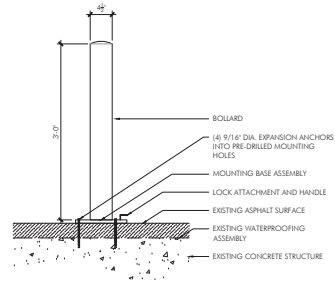
ORIGINAL ISSUE DATE: 02/09/09  
DESIGNED BY: FR, SL  
DRAWN BY: SL, HW  
CHECKED BY: FR  
NORTH  
SCALE: AS SHOWN



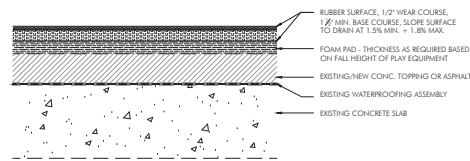
DSUP#2021-10018



**01 FENCE WITH GATE**  
1/2" = 1'-0"



MANUFACTURER: VESTIL MANUFACTURING  
MODEL: BOL-RF-36-4-5  
COLOR: SEMI-GLOSS BLACK SPO-PC-BLK-SG  
OR APPROVED EQUAL



**05 PLAY SURFACE**  
1 1/2" = 1'-0"



MANUFACTURER: PLAYWORD SYSTEMS  
MODEL: T.B.D. - SIMILAR TO PHOTOS  
COLOR: T.B.D.  
OR APPROVED EQUAL

**03 PLAY EQUIPMENT**  
NOT TO SCALE



MANUFACTURER: FORMS + SURFACES  
MODEL: VECTOR  
COLOR: T.B.D.  
OR APPROVED EQUAL

**04 BENCH**  
NOT TO SCALE



**06 PAVEMENT PAINTING PRECEDENTS**

**PARK CENTER**

Alexandria, VA  
1101 North Glebe Rd. #200  
Alexandria VA 22314  
703.548.5010

**PARKER RODRIGUEZ, INC.**  
PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE

OWNER  
Iowa Enterprise  
1300 Connecticut Ave. NW  
Suite 900  
Washington, DC 20005  
202.464.2921

ARCHITECT  
Benette Henning Architects  
1728 14th Street NW  
Suite 300  
Washington, DC 20009  
202.388.9279

CIVIL  
Johnson Baroff Associates, Inc.  
2025 N. Franklin Ave.  
Suite 100  
Columbia, Maryland 21047  
301.963.1133



REVISIONS	DATE
DSUP SUBMISSION	03/06/18
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FINAL SITE PLAN	06/20/18
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MAJOR SITE PLAN AMENDMENT	06/03/21

**HARDSCAPE DETAILS**

ORIGINAL ISSUE DATE  
02/05/09  
DESIGNED BY  
TR, SL  
DRAWN BY  
SL, NW  
CHECKED BY  
TR

SCALE  
AS SHOWN

PARCEL	ADDRESS
A-1.1	3200 KING STREET
B-1	3101 PARK CENTER DR.
B-2	1461 FORD AVE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

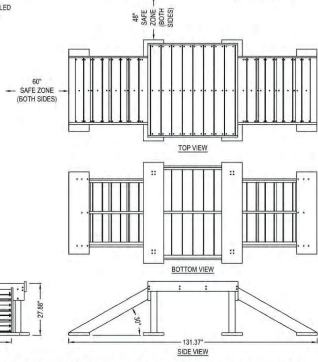
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

DSUP#2021-10018

# GYMS FOR DOGS™ Natural Dog Park Products

GYMS FOR DOGS™  
3815 RIVER CROSSING PKWY SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (800) 931-1562  
FAX: (800) 931-6152  
www.livinthedoglife.com

- SELECT DESIRED RECYCLED POLY WOOD-LIKE FINISH
- NUTMEG
  - TAUPE
  - BLUE
  - RED



- NOTES:**
- SAFE LANDING ZONE: PROVIDE A 4\"/>

**NATURAL DOG PARK - POLY WOOD GRAIN PLAY PRODUCTS**  
GYMS FOR DOGS™ - BRIDGE CLIMB 18\"/>

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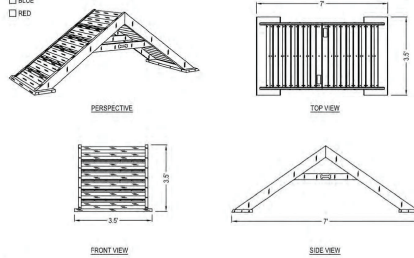
## 01 DOG PARK FEATURE - PLATFORM

NOT TO SCALE

# GYMS FOR DOGS™ Natural Dog Park Products

GYMS FOR DOGS™  
3815 RIVER CROSSING PKWY SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (800) 931-1562  
FAX: (800) 931-6152  
www.livinthedoglife.com

- SELECT DESIRED RECYCLED POLY WOOD-LIKE FINISH
- NUTMEG
  - TAUPE
  - BLUE
  - RED



- NOTES:**
- SAFE ZONE: PLACE EITHER NATURAL MULCH OR WOOD CHIPS OR TRAIL MIX AS A SURROUNDING SURFACE FOR THE PLAY EQUIPMENT. IT IS RECOMMENDED A SAFE ZONE OF 7\"/>

**NATURAL DOG PARK - POLY WOOD GRAIN PLAY PRODUCTS**  
GYMS FOR DOGS™ - HILL CLIMB 32\"/>

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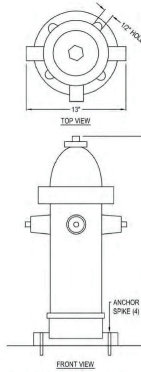
## 02 DOG PARK FEATURE - HILL CLIMB

NOT TO SCALE

# LIVIN THE DOG LIFE™ DOG PARK PRODUCTS & DESIGNS

LIVIN THE DOG LIFE™  
3815 RIVER CROSSING PKWY SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (800) 931-1562  
FAX: (800) 931-6152  
www.livinthedoglife.com

- SELECT DESIRED COLOR
- RED
  - BLACK AND SILVER



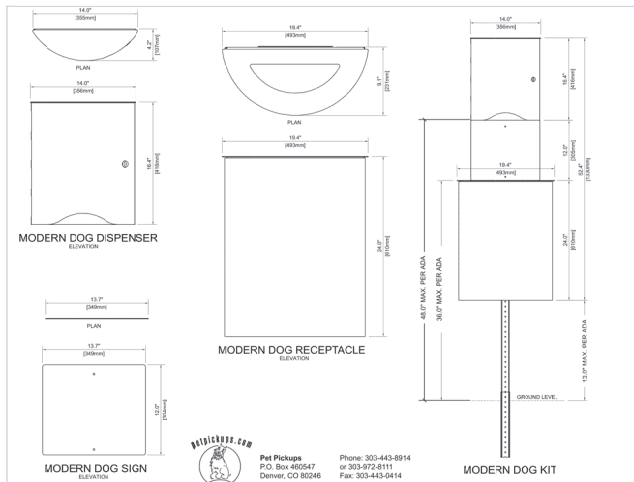
- PRODUCTS DIMENSIONS:**  
- DIMENSIONS (L x W x H): 10\"/>

**FIRE HYDRANTS - DECORATIVE**  
GYMS FOR DOGS™ - DECORATIVE FIRE HYDRANT, 30\"/>

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## 03 DOG PARK FEATURE - HYDRANT

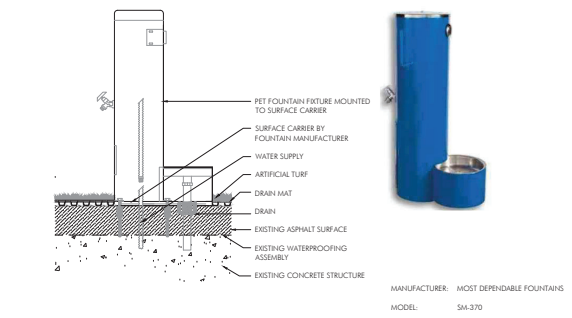
NOT TO SCALE



**PET PICKUPS.COM**  
Pet Pickups  
P.O. Box 460547  
Denver, CO 80246  
Phone: 303-443-8914  
or 303-872-8111  
Fax: 303-443-9414  
OR APPROVED EQUAL.

## 04 PET WASTE STATION

NOT TO SCALE



MANUFACTURER: MOST DEPENDABLE FOUNTAINS  
MODEL: SM-370  
COLOR: T.B.D.  
OR APPROVED EQUAL

## 05 PET FOUNTAIN WITH HYDRANT

1\"/>

PARCEL	ADDRESS
A-1.1	3200 KING STREET
B-1	3101 PARK CENTER DR.
B-2	1461 FORD AVE.

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**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF ALEXANDRIA  
DATE RECORDED \_\_\_\_\_ DATE \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

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Alexandria, VA  
117 North Squires # 2029  
Alexandria VA 22314  
703.548.5010

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PLANNING • DESIGN • LANDSCAPE ARCHITECTURE  
1300 Connecticut Ave., 10th  
Suite 900  
Washington, DC 20004  
202.464.2931

**OWNER**  
Lone Enterprises  
1300 Connecticut Ave., 10th  
Suite 900  
Washington, DC 20004  
202.464.2931

**ARCHITECT**  
Benito Henning Architects  
1728 14th Street, 10th  
Suite 300  
Washington, DC 20009  
202.388.9279

**CIVIL**  
Johnson Baroff Associates, Inc.  
20214 Franklin Ave.  
Suite 100  
Catholicsburg, Maryland 20817  
301.563.1133

**REVISIONS**

REVISIONS	DATE
DSUP SUBMISSION	03/06/18
DSUP SUBMISSION	04/09/18
FINAL SITE PLAN	06/20/18
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MAJOR SITE PLAN AMENDMENT	04/16/21
MAJOR SITE PLAN AMENDMENT	06/03/21

**HARDSCAPE DETAILS**

ORIGINAL ISSUE DATE: 02/09/20  
DESIGNED BY: TR, SL  
DRAWN BY: SL, HW  
CHECKED BY: TR

SCALE: AS SHOWN

11.13

DSUP#2021-10018



# PLANT SCHEDULE

SYMBOL	COMMON NAME	SIZE	CONDITION	REMARKS
AG	Amancher canadensis	8-10' HL	B&B	
BN	Betula nigra 'Duraheart'	12-14' HL	B&B	multistem - 3 stems minimum; full branching
IM	Dragon Lady Holly	8-10' HL	B&B	single leader, full branching
JA	Ilex opaca	10-12' HL	B&B	single leader, full branching
JT	Juncus virginiana 'Taylor'	8-10' HL	B&B	single leader, full branching
LN	Lagerstromia x 'Natchez'	8' HL	B&B	multistem - 3 stems minimum; full branching
PA	Platanus x acerifolia 'Exclamation' TM	3.5-4' cal.	B&B	single leader, full branching
<b>SHRUBS</b>				
BW	Buxus microphylla 'Winter Gem'	24-30" H	Cont.	full branching to ground
IC	Ilex crenata 'Soft Touch'	30-36" H	Cont.	full branching to ground
IS	Ilex crenata 'Suecia'	30-36" H	Cont.	full branching to ground
IG	Ilex glabra 'Nigra'	30-36" H	Cont.	full branching to ground
<b>GROUNDCOVERS</b>				
CBG	Carex esata 'Bowles Golden'	1 gal	Cont.	12" o.c.
LMR	Liriodie muscariflora 'Royal Purple'	1 gal	Cont.	12" o.c.
QJA	Oxysporon japonicum	2 gal	Cont.	12" o.c.
<b>ORNAMENTAL GRASSES &amp; HERBACEOUS PERENNIALS</b>				
ABI	Amonia laterraeomontana 'Blue Ice'	1 gal	Cont.	18" o.c.
CBR	Calamagrostis brachytricha	1 gal	Cont.	24" o.c.
EBW	Elymus virginicus	1 gal	Cont.	18" o.c.
HVC	Heuchera villosa 'Citronelle'	1 gal	Cont.	24" o.c.
JEF	Juncus effusus	1 gal	Cont.	24" o.c.
NTE	Nassella tenuissima	2 gal	Cont.	24" o.c.
PNP	Panicum virgatum 'Heavy Metal'	2 gal	Cont.	24" o.c.
PVS	Panicum virgatum 'Shenandoah'	2 gal	Cont.	24" o.c.
SSO	Schizanthus scoparium 'Standing Ovation'	2 gal	Cont.	18" o.c.

# PLANTING NOTES

- Contractor shall be responsible for becoming familiar with all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Procedures and specifications of work shall conform to the 'Landscape Specifications Guidelines for the Baltimore-Washington Metropolitan Area' (Latest Edition, published jointly by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects, Potomac, Chapter.
- Size and standards of plant materials shall conform to the latest edition of 'USA Standards for Nursery Stock' by the American Association of Nurserymen, Inc. (AAN)
- Final location of plant material shall be subject to the approval of the Landscape Architect. Contractor is to notify Landscape Architect for inspection after layout is complete and before installation.
- No substitutions will be allowed without approval by the Landscape Architect.
- All disturbed areas not planted with trees, shrubs or ground cover shall be sodded lawn unless otherwise noted.
- All materials' specifications shall be in accordance with the industry standard for grading plant material: The American Standard for Nursery Stock (ANSI Z60.1) as produced by the American Association of Nurserymen; Landscape, D.C.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland.
- Prior to commencement of landscape installation / planting operations, a pre-installation / construction meeting will be scheduled and held with the City Arborist and Landscape Architects to review plant installation procedures and processes.
- All protection and preservation measures for existing vegetation, including maintenance shall be approved by the City Arborist in-field prior to commencement of any site disturbing activity.
- Specification for all plantings shall be in accordance with the current and most up to date edition of ANSI-Z60.1, The American Standard for Nursery Stock as produced by the American Association of Nurserymen; Washington, DC.
- The applicant has made suitable arrangements for pre-selection tagging, pre-transport growing, or is undertaking specialized planting stock development with a nursery or grower that is conveniently located to the project site, other procedures that will ensure availability of specified materials. In the event that shortages and/or inability to obtain specified plantings occurs, remedial efforts including species changes, additional plantings and modification to the landscape plan shall be undertaken by the applicant. All remedial efforts shall, with prior approval by the city, be performed to the satisfaction of the Directors of Planning & Zoning, Recreation, Parks & Cultural Activities and Transportation & Environmental Services.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland.
- Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the City Arborist and Landscape Architects to review the scope of installation procedures and processes.
- Maintenance for this project shall be performed in perpetuity, in compliance with City of Alexandria Landscape Guidelines and/or as conditioned by project approval.
- A certification letter for tree wells, tree trenches and plantings above structure shall be provided by the projects Landscape Architect. The letter shall certify that all below grade construction is in compliance with approved drawings and specifications. The letter shall be submitted to the City Arborist and approved prior to approval of the last and final Certificate of Occupancy for the project. The letter shall be submitted by the owner/applicant/successor and sealed and dated as approved by the project's Landscape Architect.
- As-built drawings for this landscape and/or irrigation/water management system will be provided in compliance with City of Alexandria Guidelines. As-built drawings shall include clear identification of all variations and changes from approved drawings including location, quantity and specification of all project elements.

**STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANTS REQUIRING APPROVAL:**

THE FOLLOWING NOTES APPLY TO ALL PLANTS REQUIRING APPROVAL. THE CITY OF ALEXANDRIA IS NOT RESPONSIBLE FOR THE QUALITY OF ANY PLANTS OR MATERIALS. THE CITY OF ALEXANDRIA IS NOT RESPONSIBLE FOR THE QUALITY OF ANY PLANTS OR MATERIALS. THE CITY OF ALEXANDRIA IS NOT RESPONSIBLE FOR THE QUALITY OF ANY PLANTS OR MATERIALS. THE CITY OF ALEXANDRIA IS NOT RESPONSIBLE FOR THE QUALITY OF ANY PLANTS OR MATERIALS.

**STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANTS:**

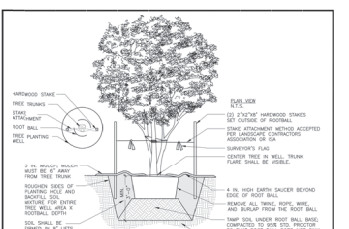
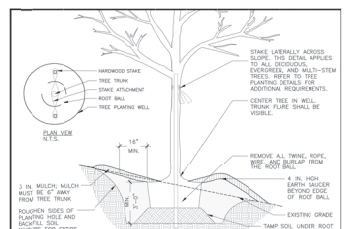
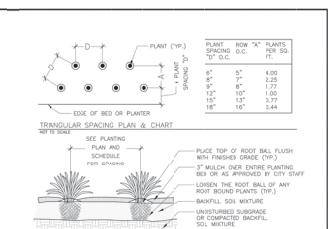
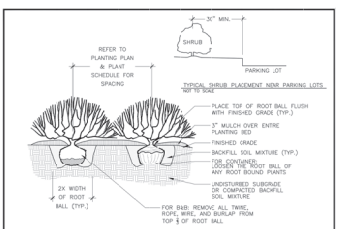
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**A STANDARD LANDSCAPE PLAN NOTES**

NOT TO SCALE

CITY OF ALEXANDRIA, VIRGINIA  
STANDARD LANDSCAPE DETAILS

DATE: 01/15/21  
BY: TR



### PLANTING NOTES

- ALL MATERIALS SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATION STANDARDS INSTITUTE.

**APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING**

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

# PARK CENTER

OWNER  
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301.963.1133

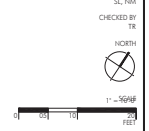


REVISIONS

NO.	DESCRIPTION	DATE
01	DSUF SUBMISSION	03/04/18
02	DSUF SUBMISSION	04/09/18
03	FINAL SITE PLAN	06/20/18
04	FINAL SITE PLAN	06/07/19
05	FINAL SITE PLAN	08/15/19
06	FINAL SITE PLAN	03/03/20
07	SIGNATURE SET	02/21/20
08	MINOR SITE PLAN AMENDMENT	03/04/21
09	MAJOR SITE PLAN AMENDMENT	04/18/21
10	MAJOR SITE PLAN AMENDMENT	06/03/21

# PLANTING SCHEDULE, DETAILS, AND NOTES

ORIGINAL ISSUE DATE: 02/03/20  
DESIGNED BY: FR, SL  
DRAWN BY: TR, SL, NW  
CHECKED BY: TR  
NORTH



11.20

DSUF#2021-1-10018