

Docket Item # 1 & 2  
BAR CASE #2013-0013/0014

BAR Meeting  
February 20, 2013

**ISSUE:** Permit to Demolish/Capsulate and Certificate of Appropriateness

**APPLICANT:** Fred Brewer by Christine Kelly, AIA

**LOCATION:** 416 N Union Street

**ZONE:** RM / Residential

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**STAFF RECOMMENDATION:**

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness with the conditions that:

1. That the final design details for the dormers, cornice, parapet, roof and balcony balustrade, and the brackets be approved by Staff;
2. That all proposed materials be in conformance with BAR policies and be reviewed and approved by BAR staff prior to submission of construction permit drawings.
3. That the faux slate will be installed with two shades of the same color and randomly mixed;
4. That all new simulated divided-light, aluminum-clad wood windows comply with the BAR's Window Policy.
5. That when/if the owners elect to replace the existing windows on the house in the future, that the windows be replaced with more compatible 2/2 window configuration.
6. That the muntin width of the new windows match the existing windows 5/8" muntin.
7. That the cornice along the top edge of the parapet abutting the adjacent neighbor may not extend beyond the property line unless the applicant obtains an easement prior to submission of construction permit drawings.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**BAR2013-0013 & BAR2013-0014** 

## **I. ISSUE**

The applicant is requesting approval of a Certificate of Appropriateness at 416 N Union Street for the following:

### **Permit to Demolish/Capsulate**

1. Demolish the existing hip roof.

### **Certificate of Appropriateness**

2. Construct a new, mansard roof in replace of the previous hip roof with a 1' high parapet.
3. Install a 2'-2" high composite "sawn" balustrade on top of the new parapet wall.
4. Construct a pedimented dormer with a 6/6 SDL aluminum-clad wood window, a pedimented dormer with a pair of 15-light SDL, aluminum-clad wood French doors and a 3' x 11'-2" balcony detailed with a 3' high composite "sawn" balustrade supported by decorative brackets on the east elevation.
5. Install a composite garage door surround, to visually align the garage with the other fenestrations on the façade.
6. Construct pedimented dormers with 6/6 SDL aluminum-clad wood windows on the south elevation.
7. Construct a pedimented dormer with a pair of 6/6 SDL aluminum-clad wood windows on the west elevation.
8. Replace the existing 6/6 windows and wood, affixed to the wall shutters on the west elevation with new 6/6 SDL aluminum-clad wood windows and wood composite, affixed shutters.
9. Replace in-kind the existing roof-top condensing units. (New units will be screened by new rooftop balustrade. Waiver of rooftop screening not required.)

## **II. HISTORY**

The dwelling at 416 North Union Street is a one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which was approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. At the time the area was developed it was not within the boundaries of the Old and Historic Alexandria District, but it was added to the district in June of 1984. 416 North Union is a 3½ story, three-bay, side-entry, interior end unit constructed in a simple Colonial Revival style. It has a brick façade laid in a running bond pattern, cast concrete sills, and a front facing garage. The house was originally constructed with three, single 6/6 windows on the second floor. In 2010, the BAR approved the replacement of two of these windows with the current bay window.

### *Previous Approvals:*

BAR2002-0294/0295	Rooftop AC installation/Waiver of HVAC Screening
BAR2009-0122	Roof access Deck and Roof Railing Installation (Not Installed)
BAR2010-0116	Window Replacement

## **III. ANALYSIS**

### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, Sec. 10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

During the past several years, the Board has reviewed a number of substantial alterations and additions to the upper levels on properties within this development. The proposed demolition of the existing roof structure and subsequent replacement with a new design is a radical change that will alter this building's current architectural style. Due to the eclectic array of roof forms and architectural styles within this development and previous changes approved by the BAR on neighboring houses (photos below), Staff finds that this 1970s building is not historic and that none of the above criteria are met and supports the Permit to Demolish.



**Figure 1: Photos of Rooftop Additions approved by BAR within Development**

### **Certificate of Appropriateness**

The original use for the fourth floor of the townhouses in this development was for attic storage. As homeowners have tried to take advantage of the views of the river and the extra space, and with increasing property values, many have requested new dormers on the front and rear in order to increase the useable floor area. Although Staff feels strongly that townhouses facing the public park should reflect the highest standards of design, some previous alterations to what were

originally modest townhouses have been more successful than others. Some alterations, perhaps done prior to incorporation of this neighborhood into the historic district, are simply awful. The present applicant is willing to raise the bar and encourage higher quality designs on North Union Street.

In order for the applicant to make full use of the master suite and utilize their roof for views of the adjacent City Park and Potomac River, they originally proposed a balcony projecting from the center of the roof at the fourth floor level. However, because the form and scale of this large dormer/balcony were not compatible with the simple Colonial Revival townhouse and visually overwhelmed the façade below, Staff recommended that the applicant consider completely changing the existing architectural style so that the proposed improvements could be better integrated into the overall design. The applicant now proposes removal of the existing simulated side gable roof, replacing it with a Mansard roof form, new dormers, a balcony and a rooftop deck. The proposed alterations effectively change the current architectural style of the building from a Neo-Colonial to a Neo-Victorian Second Empire style.

### ***New Roof Structure***

The *Design Guidelines* state that “additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood.” In Staff’s opinion, because the houses in this development along North Union are not historic and most have experienced major alterations to their fourth floor, Staff does not object to the proposed alterations to the roof structure and architectural style change to this property. Additionally, varied roof forms and combinations of architectural styles are common within this development and the adjacent development of Queen’s Row along Union Street, as shown in the photos below. There is, in fact, a history of adding Mansard roofs to Federal style buildings in Alexandria, such as those at 131 N. Washington and 706 Prince Street.



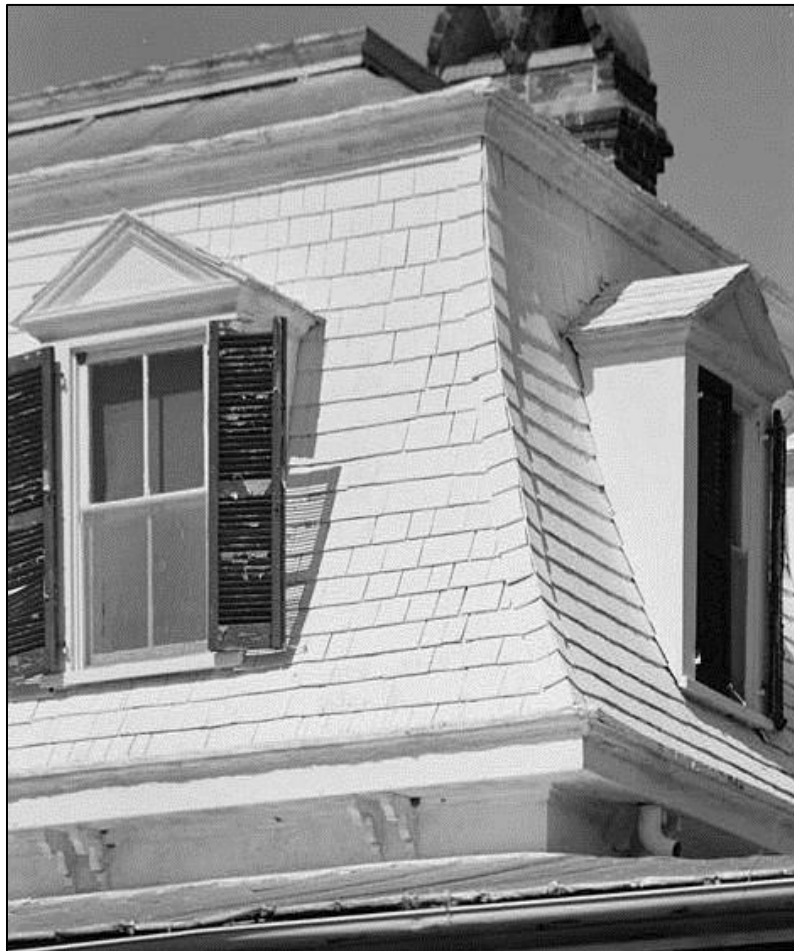
**Figure 2: Photos of Neighboring Houses**

Staff notes that the cornice along the top edge of the parapet abutting the adjacent neighbor appears to extend beyond the property line. Staff recommends that the architect verify that it does not extend beyond the property line or obtain an easement from the neighbor (which Staff recommends) prior to submission of construction permit drawings. Finally, it is recommended that the construction drawings include design details for the cornice and parapet for final review by Staff to insure that they are compatible with the proposed new architectural style.

***Dormers***

The *Design Guidelines* state that “dormers should align with the existing windows or be centered between the windows.” Historically, “dormers are generally tall and narrow with minimal trim at the sides of the windows.” The applicant is proposing to add pedimented dormers to the front, side and rear elevations clad in HardiePlank siding with a five inch reveal and sheathed in metal or faux slate. Based on the elevation drawings, the dormers appear to have slightly different detailing on each elevation. Therefore, it is recommended that the architect work with staff to refine the dormer’s detailing prior to the submission of construction permits.

The *Design Guidelines* and the Board’s *Window Policy* support the use of a aluminum-clad wood, simulated divided light windows on buildings constructed after 1969, however in this situation, since all the windows are not being replaced, it is recommended that the muntin width of the new windows match the existing windows 5/8” muntin width. In addition, since the house is being converted into a Neo-Victorian, it is the strong preference of the Board, that architectural elements of a particular style not be mixed and matched on modern or historic buildings within the district, therefore, it is recommended that when the owners elect to replace the existing windows on the house in the future, that the windows be replaced with a 2/2 window configuration - a more compatible window treatment for the Second Empire style.



**Figure 3: Example of a historic pedimented dormer and 2/2 windows**

### ***Roof Deck***

The *Design Guidelines* state that “roof decks should be constructed so that they do not interfere with the historic roofline of a building” and that they should be built using “materials which are sympathetic to the building materials generally found in the historic district.” They also suggest that they should be painted the color of the trim work, which the applicant intends to do.

The applicant is proposing a simple 2’-2” high composite “sawn” balustrade that runs along the perimeter of the existing flat roof that recalls the sawn porch balusters from the late 19<sup>th</sup> century. There will also be a similarly designed balustrade (3 feet high) surrounding the fourth floor balcony. In 2009 the BAR approved a rooftop deck and balustrade for this property which was never constructed (BAR2009-0122.) Although most of the roofs of this development appear to be gable designs from the street, they are actually flat for a large portion of the central area. Many homeowners have adapted to use this flat roof area for observation of the Potomac River (see photo below.) Staff supports the design as compatible with the house’s new Neo-Victorian style and use of a solid and paintable composite wood material for the balustrades, given the late 20<sup>th</sup> century age of the house.

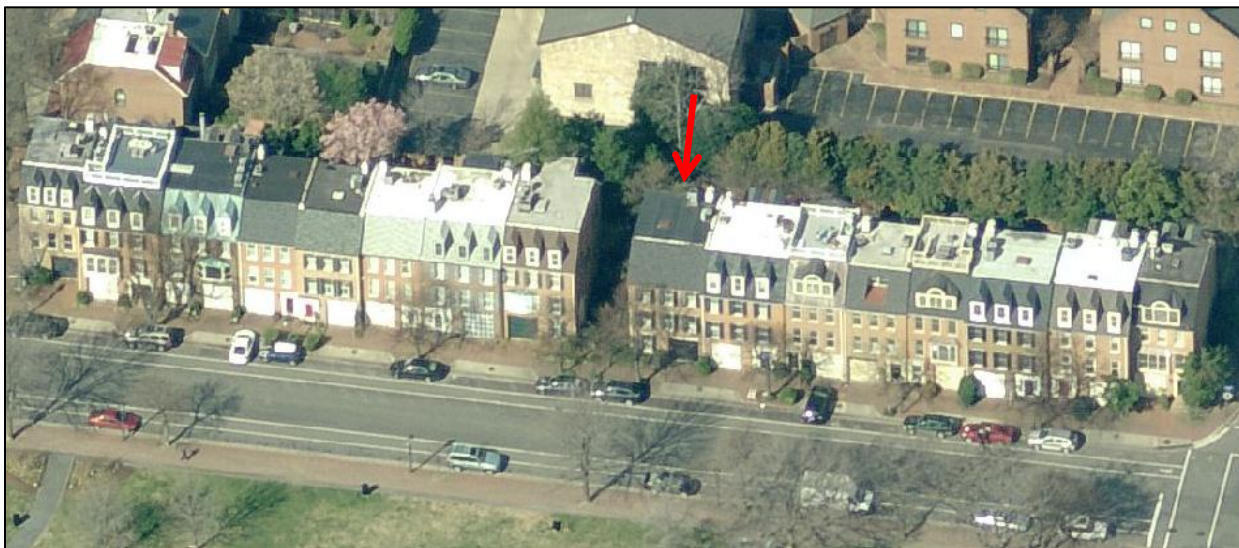


Figure 4: Ariel view of the 400 block of N Union showing existing roof decks.

### ***Garage Door Trim***

Staff finds that installing the new door paneling and surround to align the existing garage door with the upper level fenestrations consistent with the symmetrical characteristics of the Second Empire Style. Additionally, staff supports the use of a solid, paintable composite material for this modern application.

As mentioned above, these 1970s townhouses are not historic buildings, yet are compatible with the overall character of the historic district. Previous BAR approved rooftop additions alterations and decks within this development have complemented the contemporary designs of these buildings. The subject rooftop addition will alter the original style of the building, yet continue to maintain compatibility with the overall development. Staff believes the Neo-Victorian style is far more compatible with the proposed dormers and roof deck than the original

design and recommends approval with the above recommended conditions so that the architectural details are further refined prior to release of the building permit.

**STAFF**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning Section

C-1 Proposed addition appears to comply with zoning. The flat top of the mansard style roof slopes ever so slightly towards the rear and acts a ridge facing the street, therefore the height of the of building cannot exceed 45 feet.

C-2 The applicant will need to submit floor plans showing the areas to be excluded from FAR.

Code Administration

C-1 Building and trade permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as framing schematics shall accompany the permit application(s). If a Virginia licensed design professional prepares drawings, the plans shall bear the signature and seal of the Virginia licensed design professional in accordance with the Code of Virginia Section 54.1-410B.

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, Code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) 703-746-4193. (Code)

C-1 A Demolition permit is required for this project. Five sets of *construction documents to the Code Administration office*.

C-2 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to the Code Administration office to demonstrate the construction techniques utilized will keep construction solely on the referenced property.

C-3 Where a structure has been demolished or removed, the vacant lot shall be filled and maintained to the existing grade in accordance with Virginia Residential Code (VRC2009) section 117.3

C-4 Service utility connections shall be discontinued and capped in accordance with City of Alexandria, Utility providers and VRC 2009 section 117.3 requirements.

OEQ

Parcel in NOT in the RPA.

Transportation and Environmental Services

FINDINGS:

- F1. This property is located in the 100-yr floodplain and as such may be subject to the City's Floodplain Ordinance; which states that if the cost of the improvements amount to 50% of the value of the building or more, the lowest floor elevation must be brought to 1' above the Base Flood Elevation of 10'. (Engineering)
- F2. This parcel is tagged as being located within an RPA. However after review, this parcel is not located within a Resource Protection Area (RPA). (OEQ)

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

CITY CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

**V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application BAR2013- 00013 & BAR2013-00014 at 416 N Union Street*





416 NORTH UNION - EAST ELEVATION



416 NORTH UNION - EAST ELEVATION

416 NORTH UNION - SOUTH ELEVATION



416 NORTH UNION - EAST ELEVATION





416 NORTH UNION - WALKWAY



416 NORTH UNION - SOUTH ELEVATION



DELANEY REALTY BUILDING - HISTORIC EXAMPLE







509

507

505



*Delaney*  
REALTY CO.  
548-8711

P

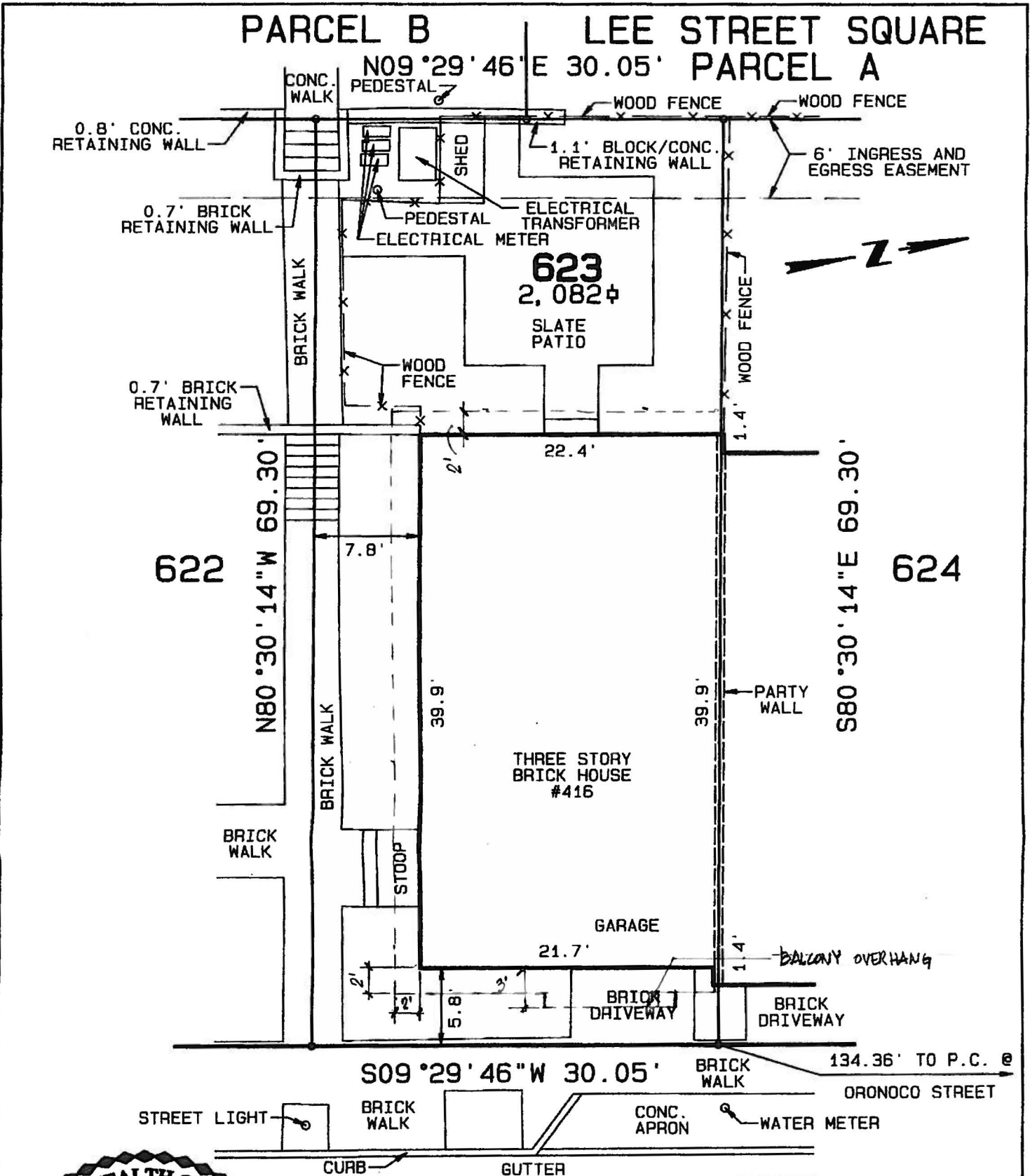






ST ASAPH ST 500  
ORONOCO ST 500





**NORTH UNION STREET**  
57.5' R/W  
**PHYSICAL IMPROVEMENTS SURVEY**  
LOT 623, SECTION 5  
**OLD TOWNE**  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1"=10'      DATE: AUGUST 15, 2008

CASE NAME: MATHESON  
TO BREWER (OTA0807061)

**MBH**  
Settlement Group, L.C.

NO TITLE REPORT FURNISHED.  
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.  
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY  
AND DO NOT CERTIFY AS TO OWNERSHIP.

**LARRY N. SCARTZ, LTD.**

LARRY N. SCARTZ      LOCAL (703) 494-4181  
CERTIFIED LAND SURVEYOR      METRO (703) 690-4955  
WOODBRIDGE, VIRGINIA      FAX (703) 690-3999

**LNS**



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address 416 North Union Zone Rm  
 A2. 2082 x 1.5 = 3123  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	865	Basement**	
First Floor	865	Stairways**	199
Second Floor	865	Mechanical**	69
Third Floor	865	Other**	108
Porches/ Other		Total Exclusions	376
<b>Total Gross *</b>	<b>3463.32</b>		

B1. Existing Gross Floor Area \*  
3463.32 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
376 Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
3087 Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	149
Second Floor		Mechanical**	30
Third Floor	232	Other**	31.4
Porches/ Other		Total Exclusions	210.4
<b>Total Gross *</b>			

C1. Proposed Gross Floor Area \*  
232 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
210.4 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
21.6 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 3108.6 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3123 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	1195
Required Open Space	
Proposed Open Space	1195

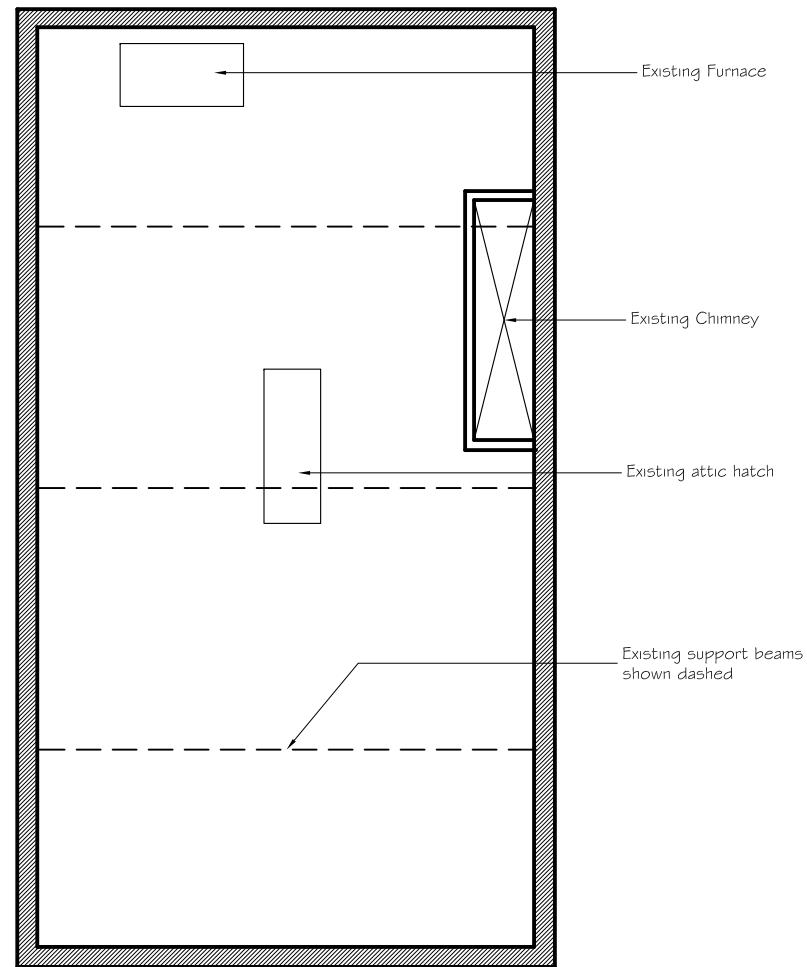
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

*C. Kelly*

Date: \_\_\_\_\_

2/1/2013



② Existing Fourth Floor Plan  
SCALE: 1/8" = 1'-0"



① Existing East Elevation  
SCALE: 1/8" = 1'-0"

CRAFTED ARCHITECTURE LLC

Christine A. Kelly, AIA  
 2109 Popkins Lane Alexandria, Virginia 22307  
 ph 703-768-7371 fax 703-768-8444  
 e-mail christine@craftedarchitecture.com

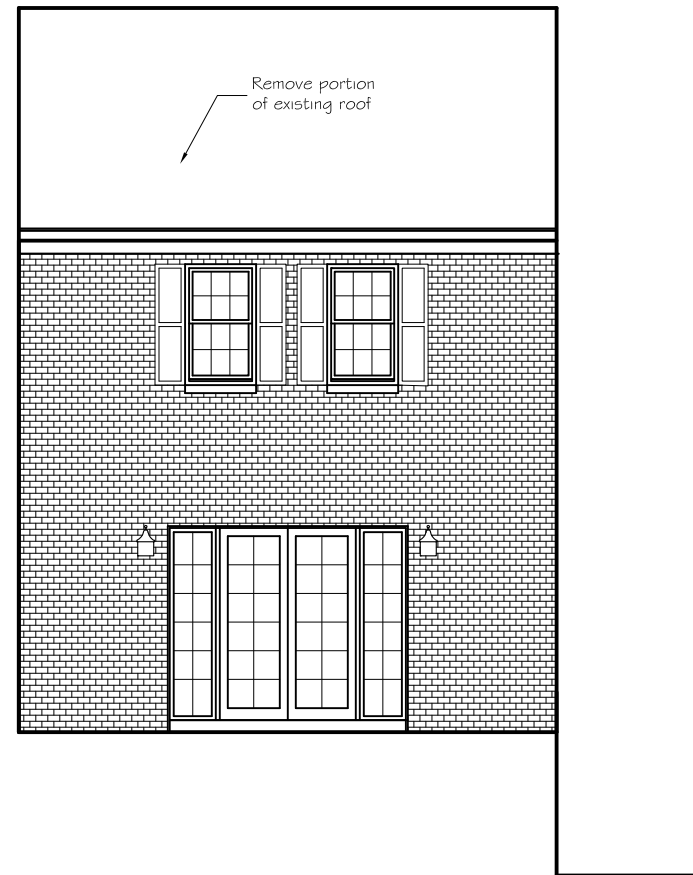
PROJECT  
 Brewer Bose Residence  
 416 North Union Street  
 Alexandria, VA 22314

DRAWING  
 Existing Floor Plan  
 Existing East Elevation  
 DATE  
 January 19, 2013

**A1**



② Existing South Elevation  
SCALE: 1/8" = 1'-0"



① Existing West Elevation  
SCALE: 1/8" = 1'-0"

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PROJECT

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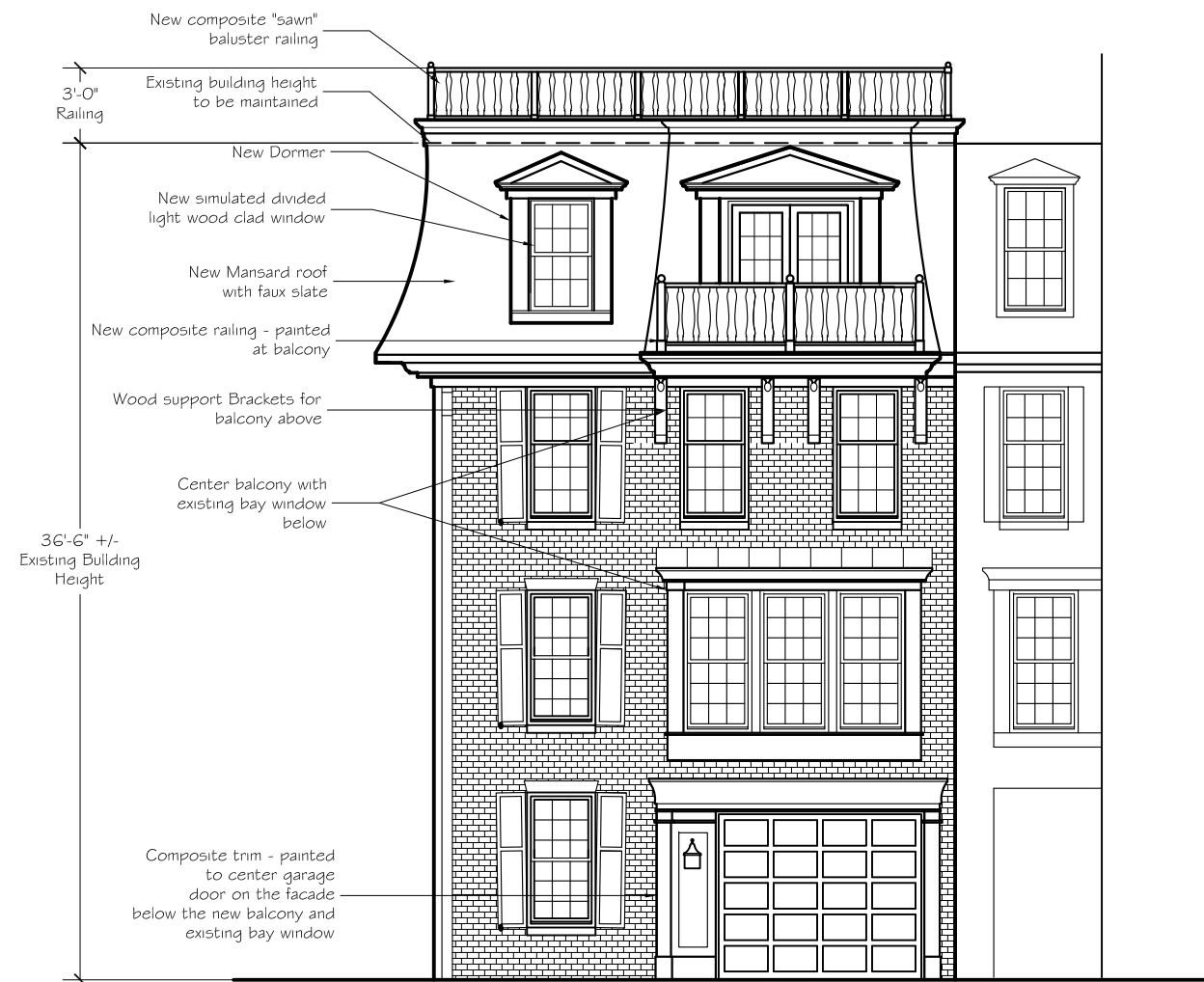
DRAWING

Existing Exterior  
Elevations

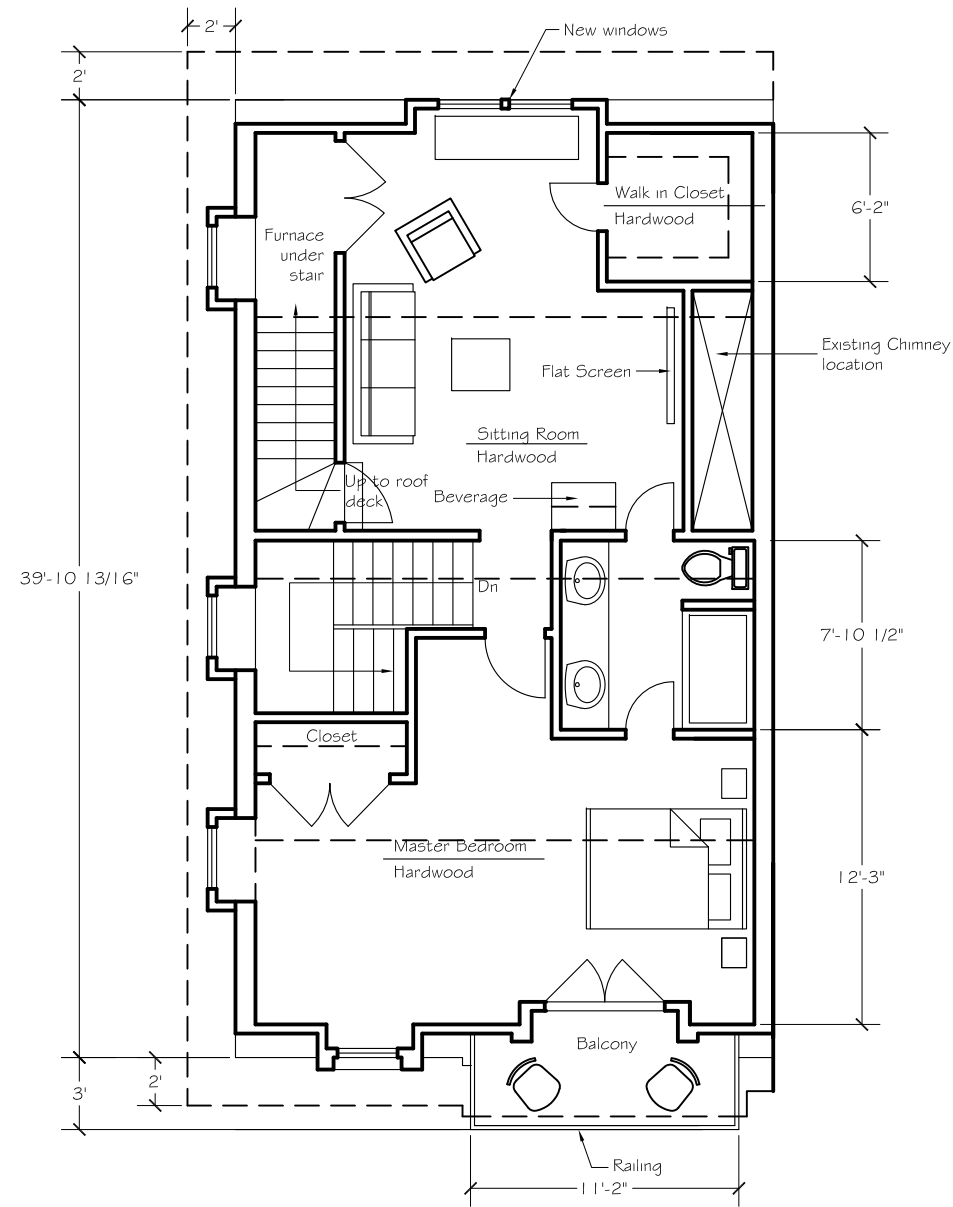
DATE

January 19, 2013

A2



② Proposed East Elevation  
SCALE: 1/8" = 1'-0"



① Proposed Fourth Floor Plan  
SCALE: 1/8" = 1'-0"

CRAFTED ARCHITECTURE LLC

Christine A. Kelly, AIA

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ph 703-768-7371 fax 703-768-8444

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PROJECT

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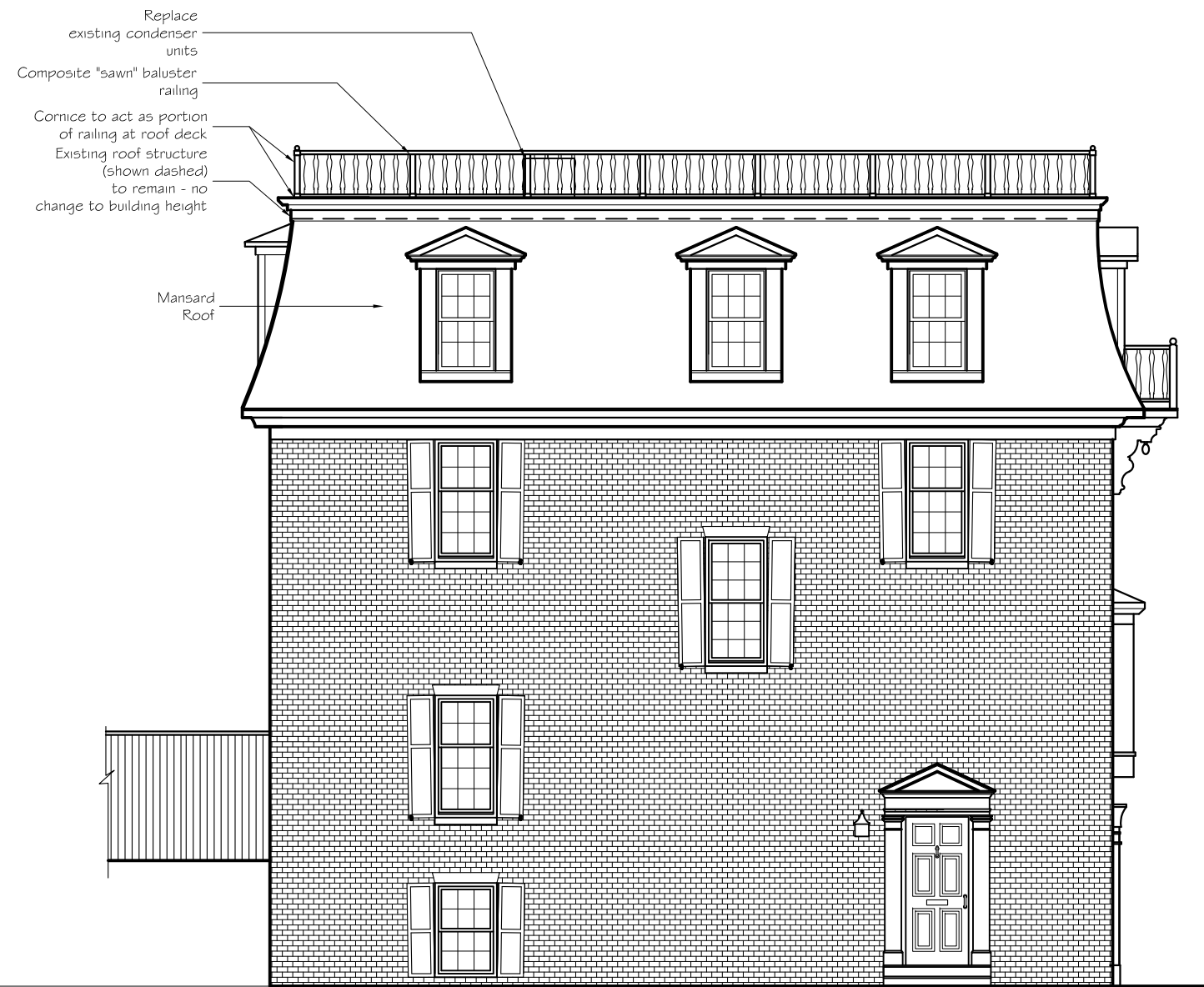
DRAWING

Proposed Floor Plan  
Proposed East Elevation

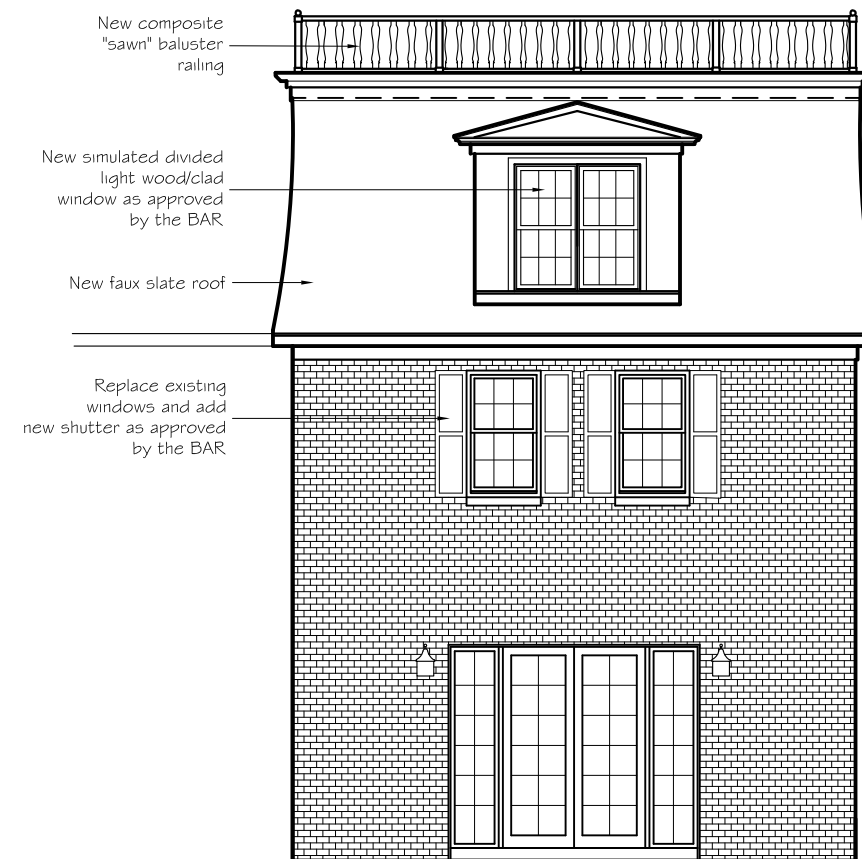
DATE

January 19, 2013  
Revised 2/11/2013

**A3**



② Proposed South Elevation  
SCALE: 1/8" = 1'-0"



① Proposed West Elevation  
SCALE: 1/8" = 1'-0"

CRAFTED ARCHITECTURE LLC

Christine A. Kelly, AIA

2109 Popkins Lane Alexandria, Virginia 22307

ph 703-768-7371 fax 703-768-8444

e-mail christine@craftedarchitecture.com

PROJECT

Brewer Bose Residence  
416 North Union Street  
Alexandria, VA 22314

DRAWING

Proposed Exterior Elevations

DATE

January 19, 2013  
Revised 2/11/2013

**A4**

BAR Case # 2013-0013BAR Case # 2013-0014ADDRESS OF PROJECT: 416 North Union StreetTAX MAP AND PARCEL: 065.01-04-23 ZONING: RM

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant:  Property Owner  Business (Please provide business name & contact person)Name: FRED BREWERAddress: 416 North Union StreetCity: Alexandria State: VA Zip: 22314Phone: 301 755 7294 E-mail: FRED389@gmail.comAuthorized Agent (if applicable):  Attorney  Architect  \_\_\_\_\_Name: Christine KellyPhone: 703-768-7371E-mail: christine@craftedarchitecture.com

Legal Property Owner:

Name: Fred BrewerAddress: 416 North Union StreetCity: Alexandria State: VA Zip: 22314Phone: 301-755-7294 E-mail: Fred389@gmail.com

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - doors
  - lighting
  - other \_\_\_\_\_
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Expand existing third floor to create a new master suite.  
 The new design will include a mansard style roof with balcony  
 and a new roof deck.

Replace existing condenser units currently located on the roof

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup>  Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

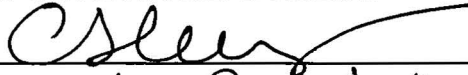
**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature:   
Printed Name: Christine Kelly  
Date: 1/19/2013

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Fred Brewer	416 North Union 22314	100%
2.			
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 416 North Union 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Same as above		
2.			
3.			

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	FRED BREWER	NONE	NONE
2.			
3.			

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/19/2013  
Date

Christine Kelly  
Printed Name

[Signature], Authorized Agent  
Architect