

BAR Meeting  
July 26, 2017

**ISSUE:** New Construction (two houses)

**APPLICANT:** 601 North Alfred Street, LLC and 603 North Alfred Street, LLC

**LOCATION:** 601 and 603 North Alfred Street

**ZONE:** RB / Residential

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**BOARD ACTION: Deferred, 7-0**

On a motion by Mr. Spencer, seconded by Mr. Conkey, the Parker-Gray Board of Architectural Review voted to defer BAR Case #2017-00212 and BAR Case #2017-00213. The motion carried on a vote of 7-0.

**SPEAKERS**

Kahan Dhillon, applicant, spoke in support of the project and responded to questions. Bill Lieu, project architect, gave a brief overview of the proposed project and responded to questions.

**BOARD DISCUSSION**

The Board had extensive discussion regarding the proposed construction of two semi-detached townhouses. The Board inquired as to how the overall character of the project had been selected and it was noted that several Board members found that a building should be of its own time rather than a historicist reproduction. There are examples around the world of how new construction and historic buildings can coexist compatibly and in harmony. However, it was noted that the proportions of the building did not successfully align with the historic Queen Anne-style townhouses to the south that inspired that particular design approach. It was stated that there was more flexibility in new construction with the detailing but they advised that the detailing should be more contextual.

Regarding, third-story partial additions or “pop-ups”, the Board noted that there have been more requests recently for this type of addition and it is time to have a work session on the topic and develop a policy. Until now, the approach has been to try to hide them and limit the visibility since the designs have not always been quite right. At this corner site, the top floor will be visible from many vantage points so there was uniform concern regarding the visibility of the third floor “pop-ups.” The Board did not have any concerns about the roof decks themselves.

The Board noted that there was general support for the proposed siting and the necessary waivers of the vision clearance and the setback requirements, consistent with the development of the block and neighborhood.

In summary, the following concerns and suggestions to incorporate for restudy were identified:

- Character
- Overall height
- Proportions
- Less historicist character but derive rhythm from block face and historic district
- Third-floor element – how to incorporate and design well (603 N Alfred unit is less successful because of L-shaped top)
- Rear elevations read as flat and need more articulation/to read as a volume
- Provide two fronts for the corner townhouse (Alfred St and Pendleton Street)

### **REASON**

The Board expressed a number of concerns and deferred it for further study, though they noted that the project had the potential to be successful.

### **STAFF RECOMMENDATION:**

Staff recommends approval of the Waiver of the Front yard Setback and Waiver of the Vision Clearance, as well as the height, scale, mass and general architectural character, but recommends restudy of the fenestration and the third floor element.

### **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2017-00211 & 213**  
**603 North Alfred Street**  
**BAR #2017-00212**  
**601 North Alfred Street**



***Note:** Staff has coupled the two cases for new dwellings at 601 and 603 North Alfred Street because they are being conceived as one project and have a shared design approach.*

## **I. ISSUE**

The applicant requests approval of two new dwellings which will read as semi-detached townhouses. Each townhouse will be two-stories in height with a smaller third-story element. The third-story element on the corner dwelling (601 North Alfred Street) will be inset, with roof terraces at both the front and side, while the third-story element on the interior townhouse (603 North Alfred Street) will only be set back at the front. Each townhouse will be set back approximately 15 feet from the front property line and have significant two-story projecting bay windows. The townhouses are intended to appear as mirror images of one another similar to historic semi-detached townhouses.

The proposed materials include:

- masonry veneer foundation
- fiber cement siding and trim
- two-over-one, double-hung, simulated divided light Jeld-Wen clad windows
- wood doors (four-panel front, single light with panels for side and roof terrace)
- A six foot solid wood fence at the rear

## **II. HISTORY**

The existing freestanding Colonial Revival brick dwelling at 603 North Alfred Street must be demolished to allow for the construction of two new townhouses. The Board is considering the Permit to Demolish simultaneously with this application (BAR Case #2017-0211) but it is a separate action that must be approved before this case may be approved.

## **III. ANALYSIS**

Pursuant to section 3-706(A)(1) of the zoning ordinance, in the RB zone the proposed new dwellings front *building line* shall be the same as the front *lot line*, “or such other line consistent with the character of the district that the Board of Architectural Review approves.” On this block face, no building is located on the front lot line on either side of the block, and the setbacks range from a few feet to more substantial amounts, such as the 15 feet proposed here. Staff supports the proposed 15 foot setback which is consistent with the setback of the existing dwelling, as it is visually appropriate on this block face and is a good transition between the corner and the adjacent townhouse at 605 North Alfred Street, which is set back an even greater distance from the front property line.

Staff notes that even with the proposed setback, a small portion of the house at 601 North Alfred Street will be located in the vision clearance setback. Staff supports the Waiver of Vision Clearance permitted by Section 7-800 of the Zoning Ordinance, and notes that the new house setback will not compromise pedestrian or vehicular safety at the intersection of Pendleton and North Alfred Streets because of the existing four way stop signs and 66’ right-of-way widths.

As the *Design Guidelines* chapter on New Residential Construction notes, the Board is most concerned with the compatibility of new structures with adjacent and nearby historic buildings. The zoning ordinance sec. 10-205(A) requires compatibility “with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area.” Historically, the Board has supported new but contextual background buildings which “allow historic structures to maintain the primary visual importance.” The *Guidelines* specifically state that “...the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th century while still being compatible with the historic character of the districts.” In evaluating the compatibility of new construction, the Board generally focuses on height, scale, mass and architectural character, while also reviewing material selection, fenestration and architectural detailing on a more micro level.

In staff’s opinion, the proposed new townhouses are consistent with the broader recommendations contained in the *Design Guidelines* for new construction. The approach of a pair of semi-detached townhouses is reflective of historic development patterns found throughout Alexandria. In the immediate blocks there is a clear pattern of two-story, three-bay townhouses, some attached and some detached. The west side of the block features a collection of single-family dwellings as well as mid-century Colonial Revival rowhouses, mostly with flat roofs or pent roofs.

The early 20<sup>th</sup> -century architectural style of the proposed design (Figure 1) might be described as vaguely Victorian, and they clearly take architectural cues from nearby historic buildings on North Alfred Street (Figure 2).



Figure 1. View looking east toward two new townhouses.



**Figure 2. Historic townhouses in the 500 block of North Alfred Street.**

Unfortunately, the proportions are not quite what they should be, perhaps due to the unusual 22.5 feet width of the lots. This makes what was historically a more vertically oriented Victorian style common in Old Town appear somewhat squat and awkward when applied here. It is certainly commendable that the applicant looked to the context and references the circa 1900 row of frame townhouses to the south; however, care must be taken to not use an entirely historicist approach for 21<sup>st</sup>-century construction. The use of 2/1 windows is an interesting approach, and will help differentiate these as new construction since we do not historically have many examples of this window type; however, again, they are best applied for vertical emphasis. The cornice on the front elevation appears heavy, particularly at 601 North Alfred Street, and the windows at both stories need added height to improve the solid-to-void ratio. Because the entrance area has substantial room, the door and entry could be expanded, perhaps with the addition of a simple canopy. Both the door and window on this bay might also benefit from being centered. Staff finds the size and scale of the townhouse to be generally appropriate and not overwhelming to nearby historic properties, but that a careful restudy of proportions and avoiding historicist elements will significantly improve the design with relatively little effort.

While the third-story element does not reflect historic development patterns, such top-story additions, whether constructed as part of the current construction or as a later addition, are gaining in popularity as property owners seek to expand in the only manner allowed by the

zoning ordinance. The townhouses at Old Town Commons to the north feature a “loft-style” fourth floor, which are a direct contrast to the architectural style of the main building block. The Board has also approved requests to add top-story additions or roof decks to historic townhouses, most recently at 920 Pendleton Street, so long as they are well-designed and discreetly visible from a public way.

In this location, the vast preponderance of dwellings in the surrounding blocks are only two stories in height and staff notes that the BAR is under no obligation to approve the size of a building unless it meets the standards for appropriateness with its context, regardless of what is otherwise permitted by the zoning ordinance. However, any limitations on the bulk and mass of a building must have a clear rationale that is uniformly applied throughout the district.

When considering a Certificate of Appropriateness, section 10-205(A)(1) of the zoning ordinance specifically requires the BAR to “determine the compatibility of proposed construction...of buildings or structures within the Parker-Gray District based on compatibility with other buildings or structures *on the same block face, the block face across the public street, or the immediate surrounding area within the district.*” Section 10-205(A)(2) lists the standards the BAR must use in passing upon the appropriateness of this proposal:

- (a) for new buildings and additions to existing buildings:
  - 1) Height of the roofline along the street or public way;
  - 2) Scale and mass of the building on the site;
  - 3) Placement of the building on the site;
  - 4) Material, texture and color;
  - 5) Architectural style where there is a predominant style on the block face; and
  - 6) Architectural details, including signs, subject to public view from the public street or public way.

The BAR has recently had discussions about the appropriate locations for these “pop-up” style rooftop features and informal direction for staff during the recent case at 920 Pendleton was that these could be appropriate in blocks where there was an existing variety of building heights and in mid-block locations but should not be prominently visible from a public way. While the applicant has provided a significant setback of the top floor from the west and south elevations, it is located on the corner and these will be plainly visible from a distance on Pendleton Street. At the James Bland redevelopment, the Board spent considerable time debating whether the rooftop element should seek to blend with the building below or be distinct and appear to be a later addition. Many feel that the result at that project was not particularly successful and that those buildings should have been an architecturally honest four stories tall rather than pretending that a lower cornice made them feel smaller. Staff seeks further direction from the BAR about the precedent setting potential for this type of rooftop addition on historic dwellings and whether this is an appropriate prototype for new construction.

As the Board is aware, the Parker-Gray Residential Reference Guide (RRG) permits a wide range of high-quality modern materials for new buildings. Staff notes that the window material (clad wood), siding and trim are all consistent with the RRG. While staff supports the use of

wood doors on the new townhouses, the RRG permits a greater pallet of materials, which staff would support in this location.

In summary, staff recommends approval of the height, scale, mass and general architectural character, as well as the requested waivers, but recommends restudy of the fenestration and the third floor element.

**STAFF**

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning Comments**

- F1 The subject site consists of two recorded lots (since at least January 3, 1949) and continued to exist as two separate lots on one recorded deed. The lots were zoned RM in 1951, then rezoned to RB on March 19, 1963. The lots have remained RB since that time.
- F2 On May 25, 2017, the Department of Planning and Zoning determined that the subject lots, 601 North Alfred Street (Lot 34) and 603 North Alfred Street (Lot 33) are eligible for redevelopment pursuant to section 3-707(B). A single-family dwelling and any accessory structures may be developed on each individual lot that complies with the bulk, open space and parking regulations of the RB zone.
- F3 According to the 1923 subdivision plat, Lot 34 measures 23.17 feet by 87.00 feet and contains approximately 2,016 square feet of lot area. Lot 33 measures 22.00 by 87.00 and contains approximately 1,914 square feet of lot area.
- F4 Per City Code Section 8-1-22(d), the proposed projects require a grading plan(s).
- C-1 Proposed demolition of existing 1-story dwelling and all associated improvements at 603 N Alfred Street (Lot 33 and 34) complies with zoning (BAR2017-00211).
- C-2 Pursuant to section 3-706(A)(1), the proposed new dwellings front building line shall be the same as the front lot line or such other line consistent with the character of the district that the board of architectural review approves. The Board of Architectural Review (BAR) will need to make that determination.
- C-3 Proposed dwellings comply with the bulk, open space and parking regulations of the RB zone (BAR2017-00212 and BAR2017-00213).
- C-4 Proposed roof top terraces must remain open (BAR2017-00212 and BAR2017-00213).
- C-5 Vision clearance waiver is required for 601 N Alfred (BAR2017-00212); section 7-802.

**Code Administration**

C-1 A building permit, plan review and inspections are required for new construction.

**Transportation and Environmental Services**

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. An approved grading plan is required for the proposed development. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

- C7. Any redevelopment shall comply with Section 5-6-224 (d) of the City Code regarding grading plan requirements. (T&ES)
- C8. Any future development/redevelopment on the lots shall provide adequate storm water outfall per the requirements of Articles XI and XIII of Alexandria Zoning Ordinance. (T&ES)
- C9. The development and redevelopment of the lots shall not adversely impact the storm water drainage or create a nuisance on the public and private properties. (Sec. 5-6-224) (T&ES)
- C10. Any future development/redevelopment on the shall comply with the requirements of City of Alexandria Zoning Ordinance Article XIII Environmental Management Ordinance and the relevant laws of the Commonwealth of Virginia and the City of Alexandria, as applicable, for storm water management regarding water quality improvement and quantity control at the time of submission of the first final plan. (T&ES)

#### **Alexandria Archaeology**

- F-1. A review of historic maps indicates that the lots at 601 and 603 N. Alfred St. remained vacant until the mid-twentieth century. The possibility exists that the vacant land was used by Civil War soldiers for tent camps. Although the property has a low probability to contain significant archaeological sites, out of an abundance of caution we ask the applicant to adhere to two conditions.
- R\*1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R\*2. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3. The statements in archaeology conditions above marked with an asterisk “\*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

#### **V. ATTACHMENTS**

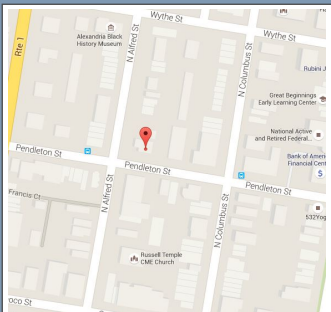
*1 – Supplemental Materials*

*2 – Application for BAR 2017-00212 & 2017-00213: 601 and 603 North Alfred Street*

# EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at  
Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET ALEXANDRIA, VIRGINIA 22314

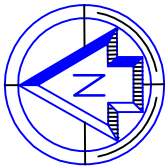
SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016 REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

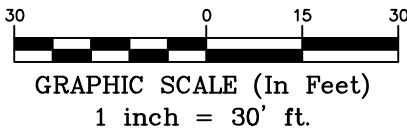
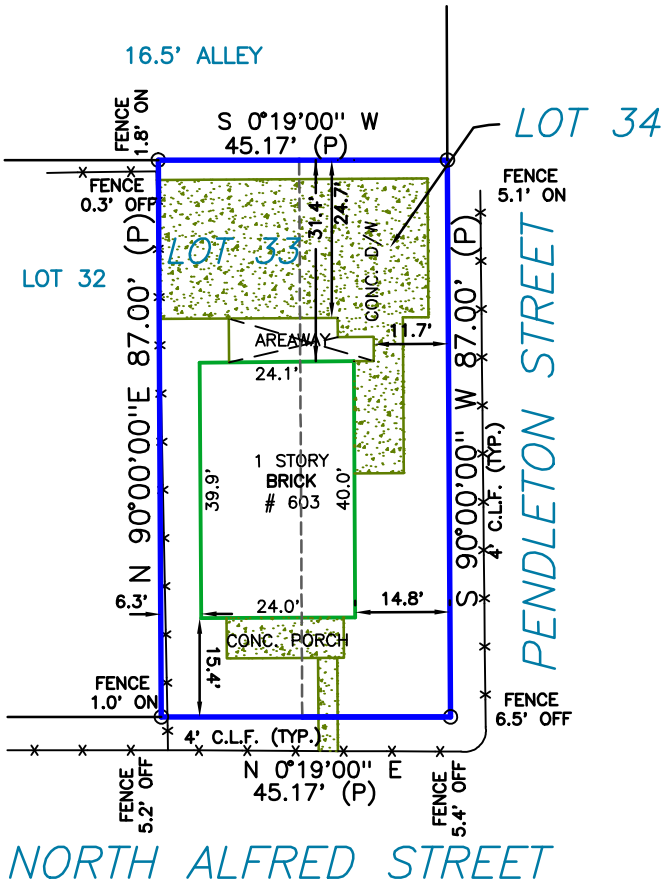
BAR2017-00212  
601 N. Alfred St  
Application Materials

1607.3043  
LOCATION DRAWING  
LOT 33, AND 34, BLOCK 1  
PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC  
THE CITY OF ALEXANDRIA, VIRGINIA  
07-26-2016 SCALE 1"=30'

THIS DRAWING HAS BEEN REVISED IN  
ORDER TO REMOVE LOT 32 5-11-2017



NOTE - FENCE OWNERSHIP NOT DETERMINED



POINTS OF INTEREST:  
NONE VISIBLE

POWERED BY:



www.surveystars.com

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

SELLER:

CERTIFIED TO: SMART SETTLEMENTS, LLC

PREPARED BY:

EXACTA  
NATIONAL INFORMATION TECHNOLOGY

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

This document is not valid without all pages.

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00212  
601 N. Alfred St  
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

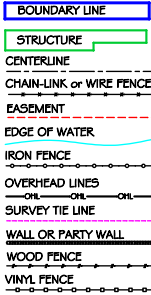
GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located onthis survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
9. All corners marked as set are iron rebar with a cap.
10. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
11. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
12. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
13. Additional logos or references to third party firms are for informational purposes only.
14. Structures are measured at ground level.
15. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
16. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

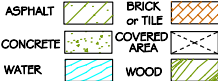
LEGEND:

SURVEYOR'S LEGEND

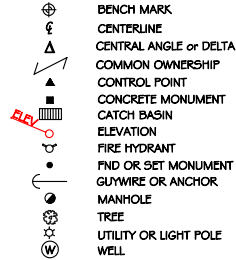
LINETYPES: ( UNLESS OTHERWISE NOTED)



SURFACE TYPES: ( UNLESS OTHERWISE NOTED)



SYMBOLS: ( UNLESS OTHERWISE NOTED)



A/C	AIR CONDITIONING	ID.	IDENTIFICATION	SEC.	SECTION
B.R.	BEARING REFERENCE	ILL.	ILLEGIBLE	SEP.	SEPTIC TANK
B.C.	BLOCK CORNER	INST.	INSTRUMENT	SEW.	SEWER
B.F.P.	BACKFLOW PREVENTOR	INT.	INTERSECTION	S/GD.	SET GLUE DISC
B.K.	BLOCK	L	LENGTH	SIRC.	SET IRON ROD & CAP
BLDG.	BUILDING	LB#	LICENSE # - BUSINESS	SN&D.	SET NAIL & DISC
BM	BENCHMARK	LS#	LICENSE # - SURVEYOR	SQ.FT.	SQUARE FEET
B.R.L.	BUILDING RESTRICTION LINE	(M)	MEASURED	STY.	STORY
BSMT.	BASEMENT	M.B.	MAP BOOK	S.T.L.	SURVEY TIE LINE
B/W	BAY/BOX WINDOW	M.E.S.	MITERED END SECTION	SV	SEWER VALVE
(C)	CALCULATED	M.F.	METAL FENCE	S/W	SIDEWALK
C	CURVE	N.R.	NON RADIAL	S.W.	SEAWALL
CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE	TBM	TEMPORARY BENCHMARK
C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB	TEL.	TELEPHONE FACILITIES
CHIM.	CHIMNEY	O.G.	ON GROUND	T.O.B.	TOP OF BANK
C.L.F.	CHAIN LINK FENCE	OFF	OUTSIDE OF SUBJECT PARCEL	TWP.	TOWNSHIP
C.O.	CLEAN OUT	OH.	OVERHANG	TX	TRANSFORMER
CONC.	CONCRETE	OHL	OVERHEAD LINES	TYP.	TYPICAL
COR.	CORNER	ON	INSIDE OF SUBJECT PARCEL	U.R.	UTILITY RISER
CS/W	CONCRETE SIDEWALK	O.R.B.	OFFICIAL RECORD BOOK	W/C	WITNESS CORNER
C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME	W/F	WOODEN FENCE
C/L	CENTER LINE	O/A	OVERALL	WM	WATER METER/VALVE BOX
C/P	COVERED PORCH	O/S	OFFSET	WY	WATER VALVE
C/S	CONCRETE SLAB	(P)	PLAT	Y.F.	VINYL FENCE
DEED	DEED	P.B.	PLAT BOOK		
D.F.	DRAIN FIELD	P.C.	POINT OF CURVATURE	A.E.	ACCESS EASEMENT
D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE	AN.E.	ANCHOR EASEMENT
D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT	C.M.E.	CANAL MAINTENANCE ESMT.
ELEV.	ELEVATION	P/E	POOL EQUIPMENT	C.U.E.	COUNTY UTILITY ESMT.
ENCL.	ENCLOSURE	P.G.	PAGE	D.E.	DRAINAGE EASEMENT
ENT.	ENTRANCE	P.I.	POINT OF INTERSECTION	D.U.E.	DRAINAGE AND UTILITY ESMT.
EM	ELECTRIC METER	PLS	PROFESSIONAL LAND SURVEYOR	ESMT.	EASEMENT
F.O.P.	EDGE OF PAVEMENT	PLT	PLANTER	I.E./E.	INGRESS/EGRESS ESMT.
F.CM	FIELD	P.O.B.	POINT OF BEGINNING	IRR.E.	IRRIGATION EASEMENT
F/DH	FOUND DRILL HOLE	P.O.C.	POINT OF COMMENCEMENT	L.A.E.	LIMITED ACCESS ESMT.
F.F.	FINISHED FLOOR	P.P.	PINCHED POPE	L.B.E.	LANDSCAPE BUFFER ESMT.
FIP	FOUND IRON PIPE	P.R.C.	POINT OF REVERSE CURVATURE	L.E.	LANDSCAPE ESMT.
FIPC	FOUND IRON PIPE & CAP	P.R.M.	PERMANENT REFERENCE MONUMENT	L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
FIR	FOUND IRON ROD	PSM	PROFESSIONAL SURVEYOR AND MAPPER	M.E.	MAINTENANCE EASEMENT
FIRC	FOUND IRON ROD & CAP	P.T.	POINT OF TANGENCY	P.U.E.	PUBLIC UTILITY EASEMENT
FN	FOUND NAIL	R	RADIUS or RADIAL	R.O.E.	ROOF OVERHANG ESMT.
FN&D	FOUND NAIL AND DISC	(R)	RECORD	S.W.E.	SIDEWALK EASEMENT
FND.	FOUND	RGE.	RANGE	S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
FPKN	FOUND PARKER-KALON NAIL	RES.	RESIDENCE	T.U.E.	TECHNOLOGICAL UTILITY ESMT.
FPKN&D	FOUND PK NAIL & DISC	R/W	RIGHT OF WAY	U.E.	UTILITY EASEMENT
FRKSPK	FOUND RAILROAD SPIKE	(S)	SURVEY		
GAR.	GARAGE	S.B.L.	SET BACK LINE		
GM	GAS METER	S.C.L.	SURVEY CLOSURE LINE		
		SCR.	SCREEN		

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>

To Electronically Sign any survey PDF:

1. Save the PDF onto your computer.
2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
3. Select the Hash Method as SHA.
4. Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK + WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.

EXACTA

OFFERS

25% OFF HOUSE LOCATION DRAWINGS or \$100 OFF BOUNDARIES

OFFER IS ONLY VALID FOR THIS PROPERTY AND BUYER AS LISTED ON THE FIRST PAGE OF THIS SURVEY



BAR2017-00212  
601 N. Alfred St  
Application Materials

Contact Us

Phone: 866.735.1916  
Fax: 866.744.0882

www.surveystars.com

To Whom It May Concern:

The regulations of the Virginia Board of Architects , Professional Engineers, Land Surveyors and certified landscape architects require that when a land surveyor performs a physical improvements survey (house location) for mortgage purposes, he shall also perform a boundary survey of the property and set permanent corner monumentation. This is required even though a boundary survey may have been previously performed on the property.

However, the law further provides that the prospective mortgagor (or his legal agent) may agree in writing to waive the regulatory requirement for the said boundary survey and the placing of the corner monumentation in connection with the survey needed for mortgage purposes.

Accordingly, please be advised that I/we do hereby agree to waive the herein referenced regulatory requirements of the Virginia Board for the performance of a boundary survey and for the placing of the corner monumentation in connection with the physical improvements survey which I/we need at this time for mortgage purposes. By agreeing to this waiver, it is understood that I/we am/are not waiving or surrendering any property rights.

Date .....

.....  
Buyer Name Printed

.....  
Buyer Signature

PROPERTY ADDRESS		JOB NO: 1607.3043
603 N ALFRED STREET ALEXANDRIA, VIRGINIA 22314		
LEGAL DESCRIPTION		
LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.		
CLIENT NAME		
SMART SETTLEMENTS, LLC FAIRFAX		

To be completed if above waiver is not executed:

I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date .....

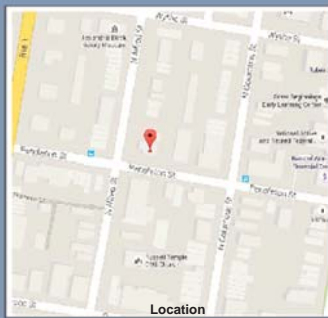
.....  
Buyer Name Printed

.....  
Buyer Signature

## NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



**PROPERTY ADDRESS:** 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

**SURVEY NUMBER:** 1607.3043

FIELD WORK DATE: 7/26/2016 REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00212  
601 N. Alfred St  
Application Materials

1607.3043

LOCATION DRAWING

LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

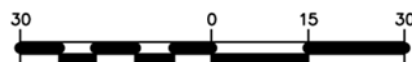
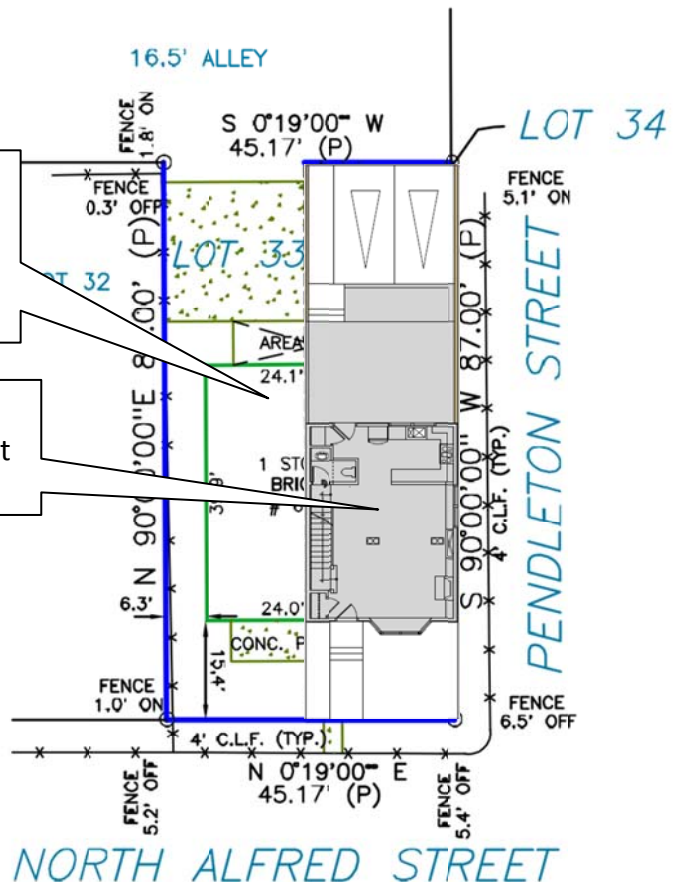
THIS DRAWING HAS BEEN REVISED IN  
ORDER TO REMOVE LOT 32 5-11-2017



Work associated with demolition of existing house is under separate application

New Residence  
601 N. Alfred Street  
Alexandria, VA

NOTE - FENCE OWNERSHIP NOT DETERMINED



GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.

POINTS OF INTEREST:  
NONE VISIBLE

**CLIENT NUMBER:**

DATE: 7/27/2016

**BUYER:**

**SELLER:**

SMART SETTLEMENTS, LLC

**CERTIFIED TO:**

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

POWERED BY



[www.surveystars.com](http://www.surveystars.com)

PREPARED BY:

**EXACTA**  
NATIONAL INFORMATION TECHNOLOGY

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00212  
601 N. Alfred St  
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
9. All corners marked as set are iron rebar with a cap.
10. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
11. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
12. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
13. Additional logos or references to third party firms are for informational purposes only.
14. Structures are measured at ground level.
15. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
16. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND						
LINE TYPES: (UNLESS OTHERWISE NOTED)	A/C	AIR CONDITIONING	ID.	IDENTIFICATION	SEC.	SECTION
	B.R.	BEARING REFERENCE	ILL.	ILLEGIBLE	SEP.	SEPTIC TANK
	B.C.	BLOCK CORNER	INST.	INSTRUMENT	SEW.	SEWER
	B.F.P.	BACKFLOW PREVENTOR	INT.	INTERSECTION	S/GD	SET GLUE DISC
	BLK.	BLOCK	L	LENGTH	SIRC	SET IRON ROD & CAP
	BLDG.	BUILDING	LB#	LICENSE # - BUSINESS	SHRD	SET NAIL & DISC
	CENTERLINE	BENCHMARK	LS#	LICENSE # - SURVEYOR	SQ.FT.	SQUARE FEET
	B.R.L.	BUILDING RESTRICTION LINE	(M)	MEASURED	ST.Y.	STORY
	BSMT.	BASEMENT	M.B.	MAP BOOK	S.T.L.	SURVEY TIE LINE
	B/W	BAV/BOX WINDOW	M.E.S.	MITERED END SECTION	S.V.	SEWER VALVE
	(C)	CALCULATED	M.F.	METAL FENCE	S/W	SIDEWALK
	C	CURVE	N.R.	NON-RADIAL	S.W.	SEAWALL
CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE	TBM	TEMPORARY BENCHMARK	
C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB	TEL	TELEPHONE FACILITIES	
C.H.	CHIMNEY	O.G.	ON GROUND	T.O.B.	TOP OF BANK	
C.L.F.	CHAIN LINK FENCE	OFF	OUTSIDE OF SUBJECT PARCEL	TWP.	TOWNSHIP	
C.O.	CLEAR OUT	OVERHANG	OVERHANG	TX	TRANSFORMER	
CONC.	CONCRETE	OHL	OVERHEAD LINES	TYP.	TYPICAL	
COR.	CORNER	O	INSIDE OF SUBJECT PARCEL	U.R.	UTILITY RISER	
CS/W	CONCRETE SIDEWALK	O.R.B	OFFICIAL RECORD BOOK	W/C	WITNESS CORNER	
C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME	W/F	WATER FILTER	
C/L	CENTER LINE	O/A	OVERALL	W.F.	WOODEN FENCE	
C/P	COVERED POOR	O/S	OFFSET	W.M.	WATER METER/VALVE BOX	
C/S	CONCRETE SLAB	(P)	PLAT	WV	WATER VALVE	
(D)	DEED	P.B.	PLAT BOOK	V.F.	VINYL FENCE	
D.F.	DRAIN FIELD	P.C.	POINT OF CURVATURE			
D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE			
D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT			
ELEV.	ELEVATION	P.E.	POOL EQUIPMENT			
ENCL.	ENCLOSURE	P.G.	PAGE			
ENTR.	ENTRANCE	P.I.	POINT OF INTERSECTION			
EM	ELECTRIC METER	PLS	PROFESSIONAL LAND SURVEYOR			
F.O.P.	EDGE OF PAVEMENT	PLT	PLANTER			
E.O.W.	EDGE OF WATER	P.O.B.	POINT OF BEGINNING			
EUB	ELECTRIC UTILITY BOX	P.O.C.	POINT OF COMMENCEMENT			
F	FIELD	P.P.	PINCHED POPE			
FCM	FIND. CONCRETE MONUMENT	P.R.C.	POINT OF REVERSE CURVATURE			
FDH	FOUND DRILL HOLE	P.R.M.	PERMANENT REFERENCE MONUMENT			
F.F.	FINISHED FLOOR	PSM	PROFESSIONAL SURVEYOR AND MAPPER			
FIP	FOUND IRON PIPE					
FIPC	FOUND IRON PIPE & CAP					
FIR	FOUND IRON ROD	P.T.	POINT OF TANGENCY			
			</			



BAR2017-00212  
601 N. Alfred St  
Application Materials

Contact Us

Phone: 866.735.1916  
Fax: 866.744.0882

www.surveystars.com

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Date .....

.....  
Buyer Name Printed

.....  
Buyer Signature

	1607.3043
603 N ALFRED STREET ALEXANDRIA, VIRGINIA 22314	
LOTS 33, AND 34, BLOCK I, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.	
SMART SETTLEMENTS, LLC FAIRFAX	

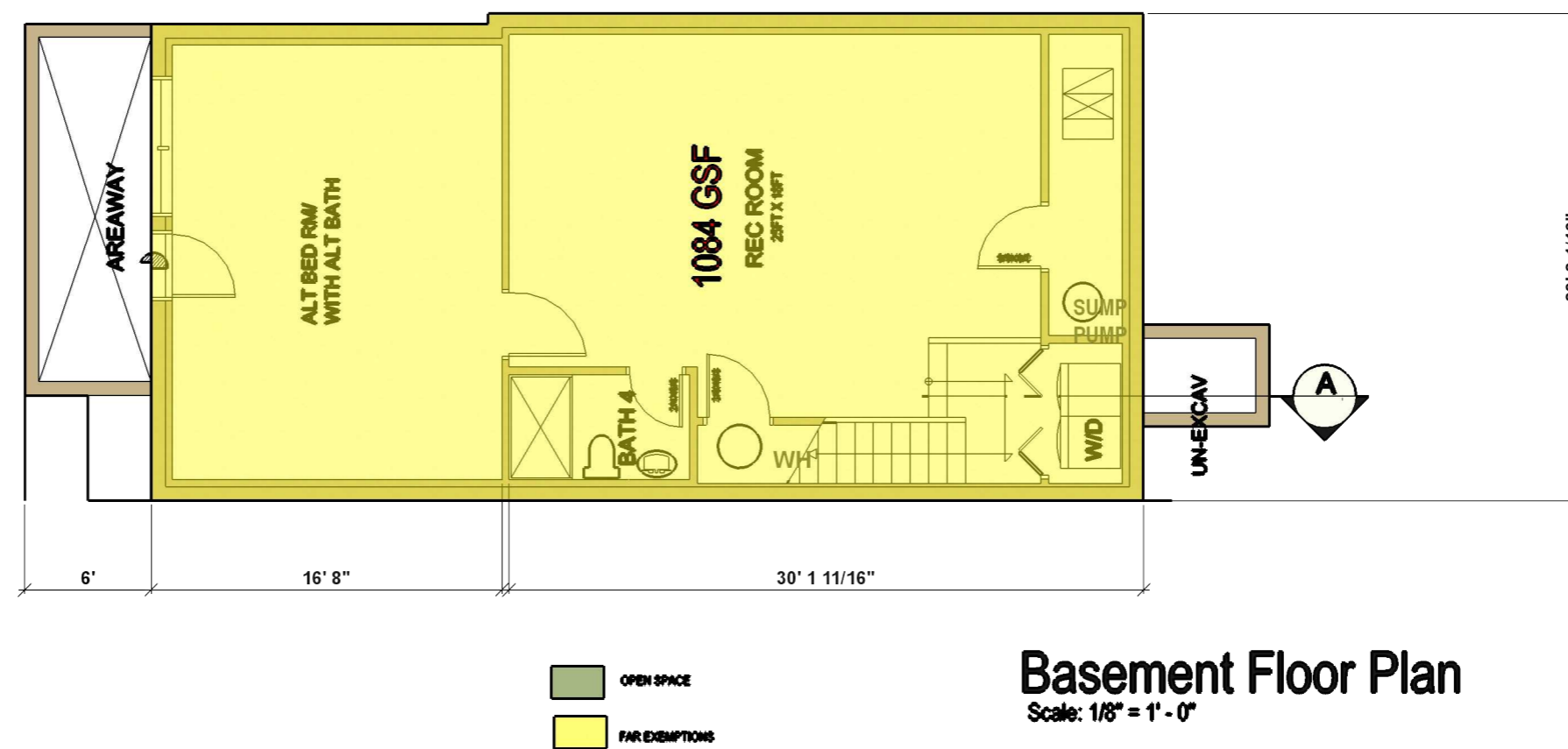
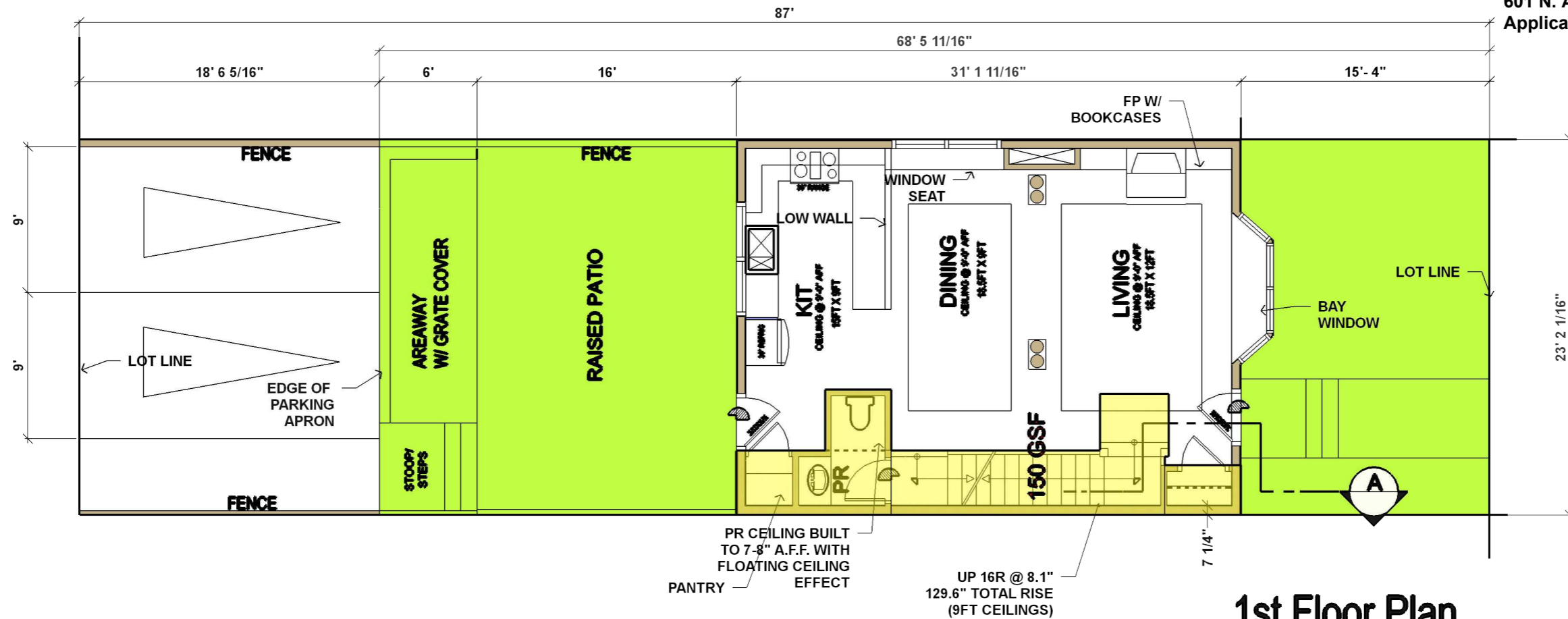
**To be completed if above waiver is not executed:**

I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date .....

.....  
Buyer Name Printed

.....  
Buyer Signature



REVISED 6/26/17  
BAR2017-00212  
601 N. Alfred St  
Application Materials

COMPANY NAME  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994

CLIENT  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

PROJECT  
601 N. Alfred St.  
New Residence

ISSUE  
June 21, 2017

DRAWN BY

Basemt &  
1st Flr Plans

A1

**COMPANY NAME**  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



**CLIENT**  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

**PROJECT**  
601 N. Alfred St.  
New Residence

**PROJECT NO.**

**ISSUE**  
June 21, 2017

**DRAWN BY**

## 2nd Floor & Roof Terrace Plans

## A2



31' 1 11/16"

23' 2 1/16"

BR 2  
11FT X 9.5FT

BR 3  
14.5FT X 8.5FT

M. BR.  
12.5FT X 9.5FT

BATH 2  
25.5 X 6.5

BATH 3  
25.5 X 6.5

178 GSF

BAY WINDOW

DN 15R @ 8.1"  
121.625" TOTAL RISE  
(9FT CEILINGS)

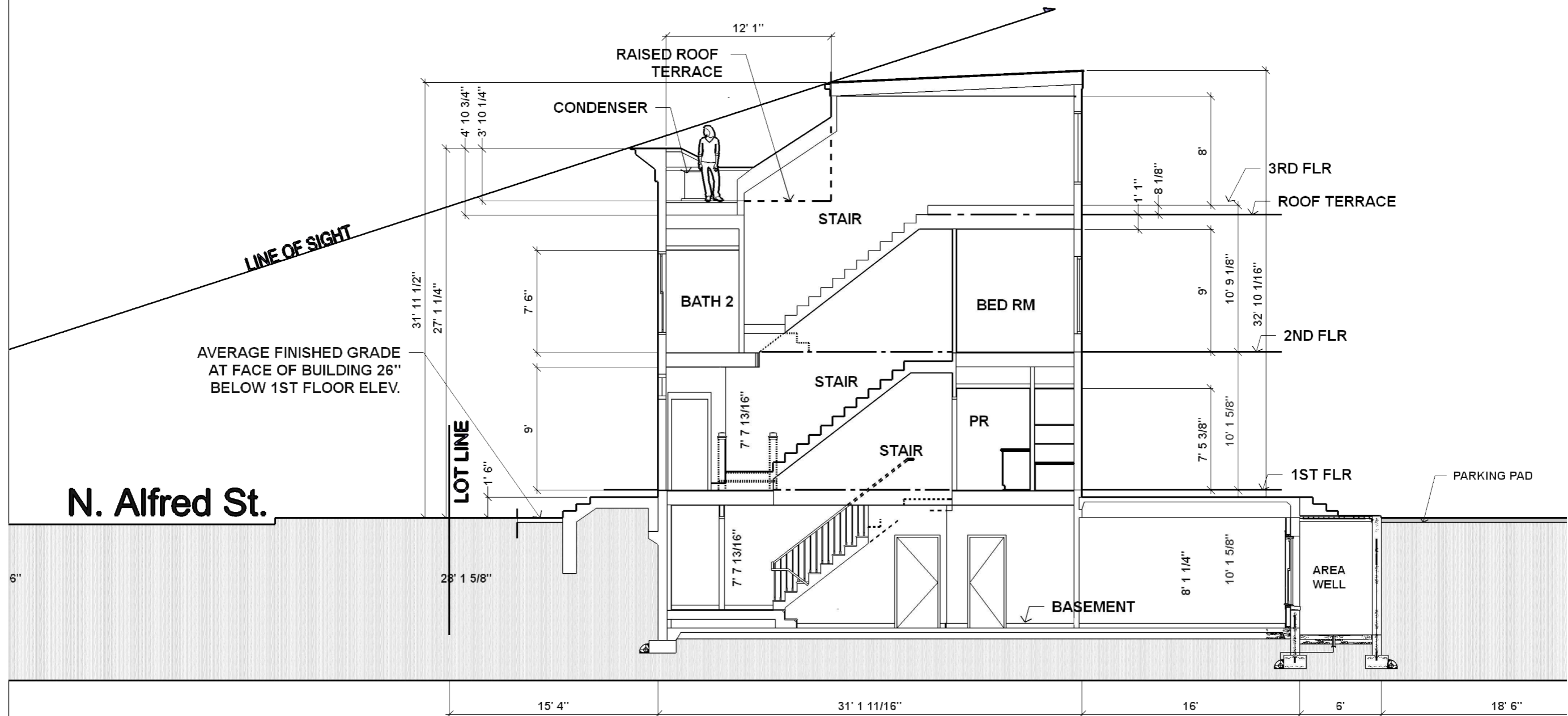
2nd Floor Plan

## 2nd Floor Plan

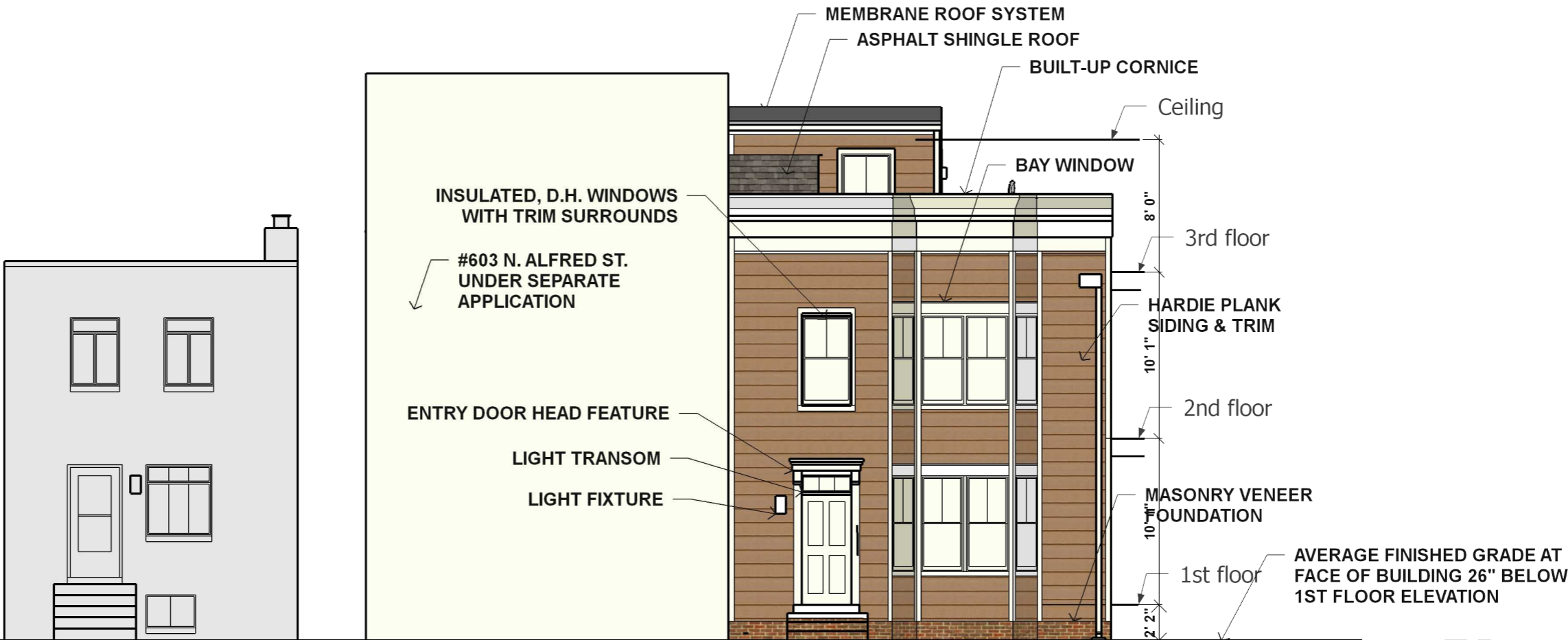
**Scale: 1/8" = 1' - 0"**

 OPEN SPACE

 FAR EXEMPTIONS



**BUILDING SECTION - A**  
 Scale: 1/8" = 1' - 0"



#605

#603

FRONT ELEVATION  
601 N. ALFRED ST.  
SCALE: 1/8" = 1'-0"

REVISED 6/26/17  
 BAR2017-00212  
 601 N. Alfred St  
 Application Materials

COMPANY NAME  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



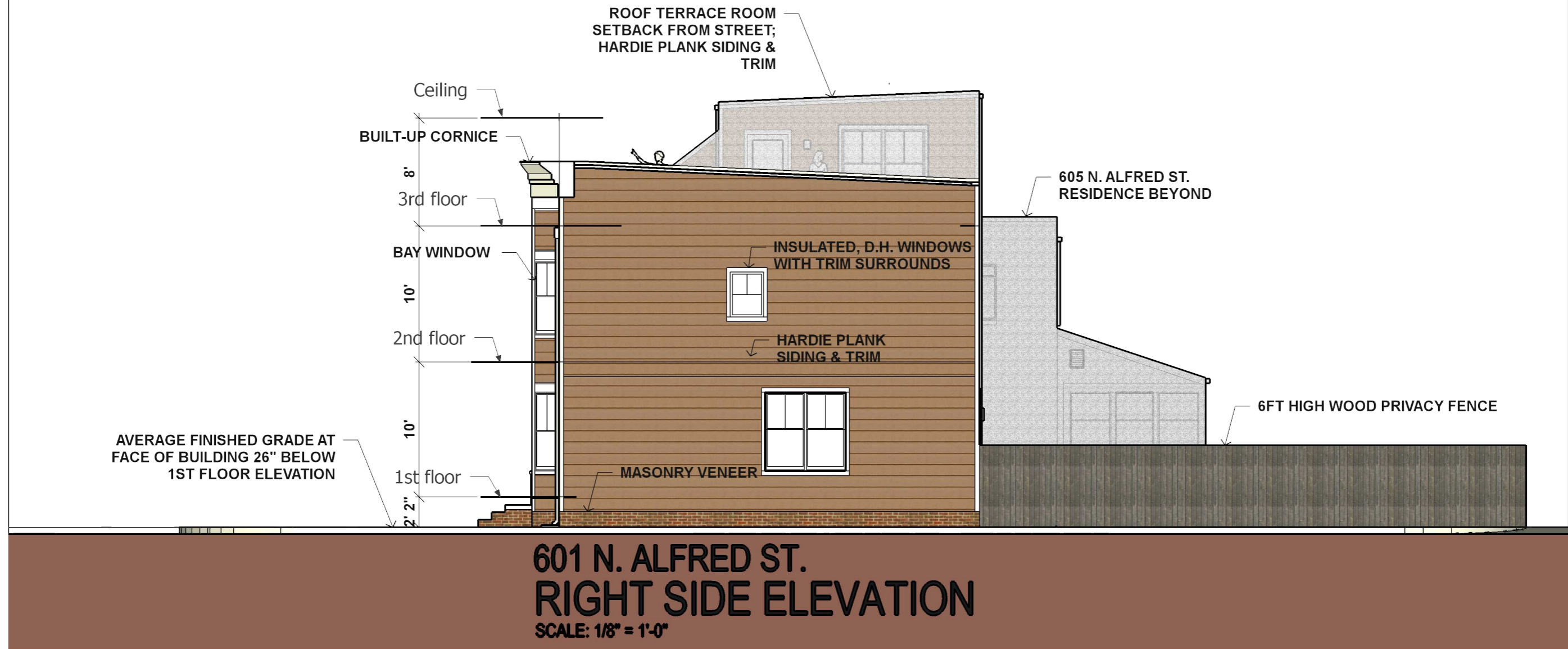
CLIENT  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

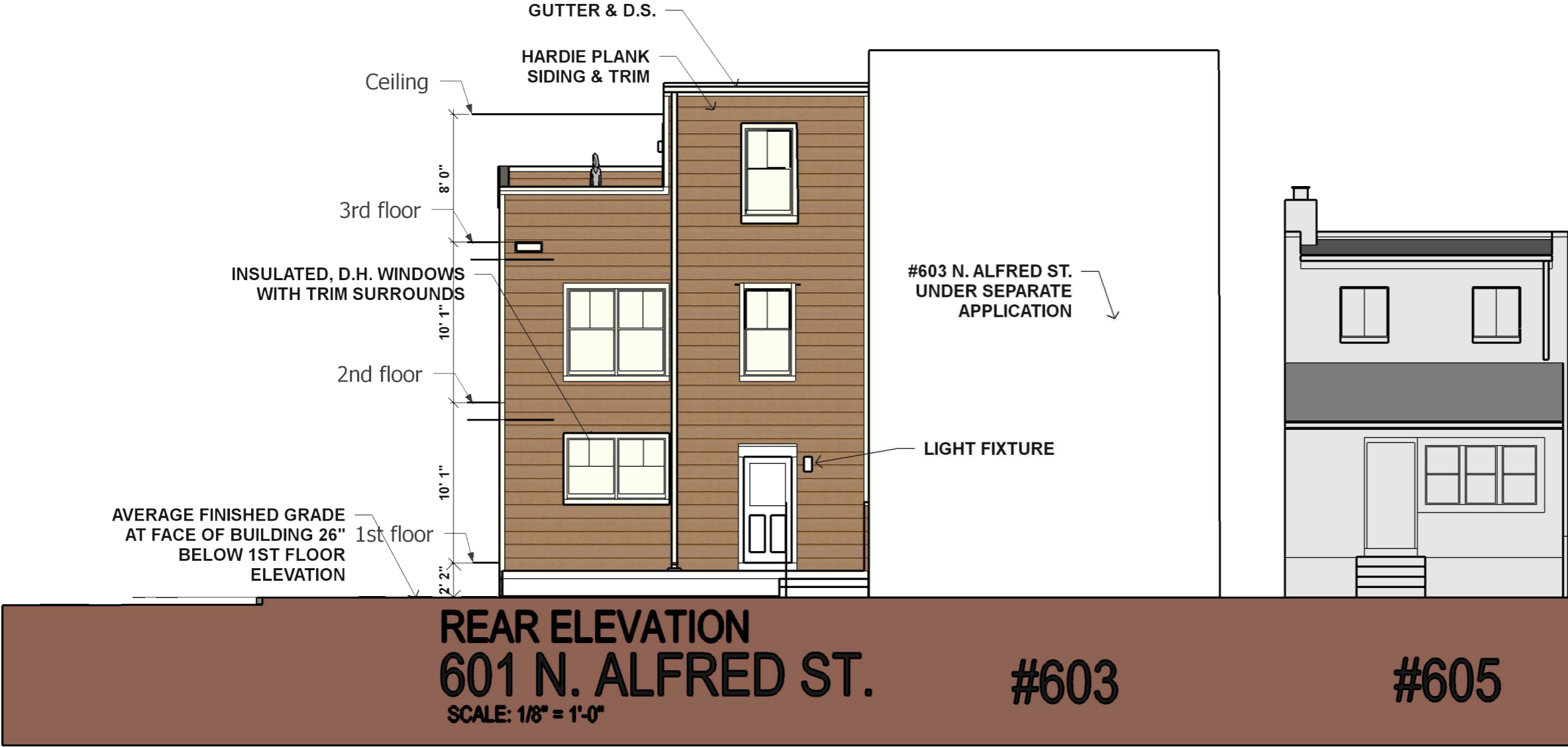
PROJECT  
 601 N. Alfred St.  
 New Residence  
 PROJECT NO.

ISSUE  
 June 12, 2017  
 DRAWN BY

Building Elevations

A5





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 BAR2017-00212  
 601 N. Alfred St  
 Application Materials

COMPANY NAME  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



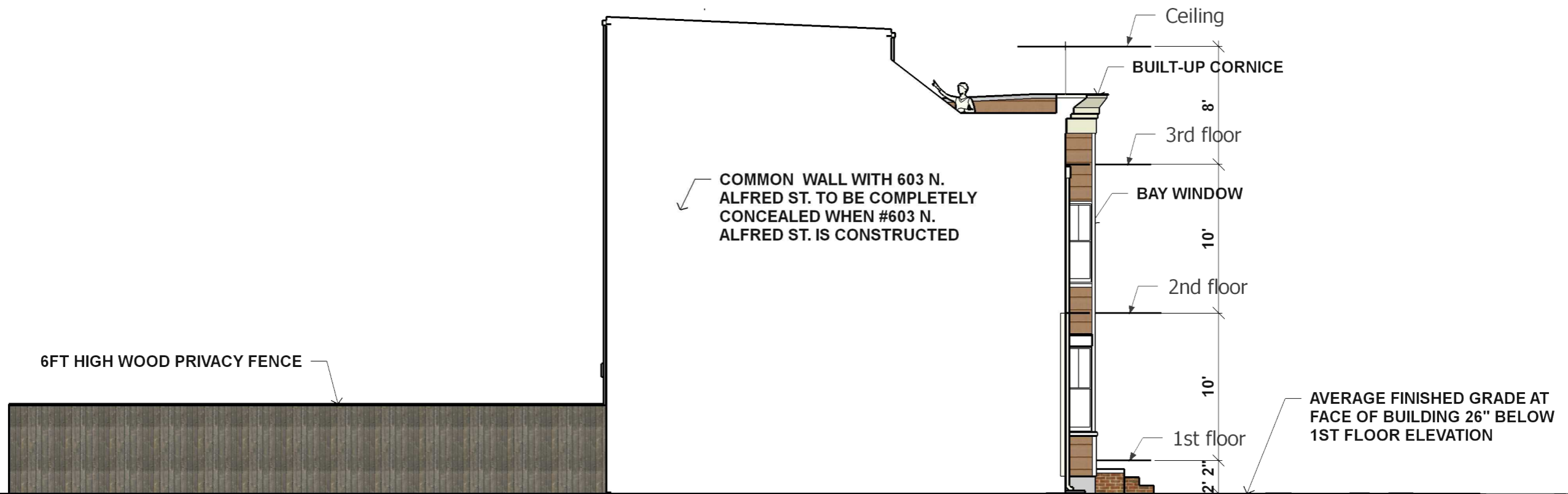
CLIENT  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

PROJECT  
 601 N. Alfred St.  
 New Residence  
 PROJECT NO.

ISSUE  
 June 21, 2017  
 DRAWN BY

Building Elevations

A7



LEFT SIDE ELEVATION  
 601 N. ALFRED ST.  
 SCALE: 1/8" = 1'-0"

REVISED 6/26/17  
BAR2017-00212  
601 N. Alfred St  
Application Materials

COMPANY NAME  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



CLIENT  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

PROJECT  
601 & 603 N. Alfred St.  
New Residence

PROJECT NO.

ISSUE  
June 21, 2017

DRAWN BY

3D Building  
Elevations

A8





REVISED 6/26/17  
BAR2017-00212  
601 N. Alfred St  
Application Materials

**COMPANY NAME**  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



**CLIENT**  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

**PROJECT**  
601 & 603 N. Alfred St.  
New Residence  
**PROJECT NO.**

**ISSUE**  
June 21, 2017  
**DRAWN BY**

3D Building  
Elevations

**A9**





REVISED 6/26/17  
 BAR2017-00212  
 601 N. Alfred St  
 Application Materials

**COMPANY NAME**  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



**CLIENT**  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

**PROJECT**  
 601 & 603 N. Alfred St.  
 New Residence  
**PROJECT NO.**

**ISSUE**  
 June 21, 2017  
**DRAWN BY**

**3D Building  
 Elevations**

**A11**



# DEPARTMENT OF PLANNING AND ZONING

## FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

**A. Property Information**A1. Street Address 601 N. Alfred StreetZone RBA2. 2,016 gsfx 0.75= 1,512 gsfTotal Lot AreaFloor Area Ratio Allowed by ZoneMaximum Allowable Floor Area**B. Existing Gross Floor Area**

Existing Gross Area*		Allowable Exclusions	
Basement	N/A	Basement**	N/A
First Floor	N/A	Stairways**	N/A
Second Floor	N/A	Mechanical**	N/A
Third Floor	N/A	Other**	N/A
Porches/ Other	N/A	Total Exclusions	
<b>Total Gross *</b>	<b>N/A</b>		

B1. Existing Gross Floor Area \*

N/A Sq. Ft.

B2. Allowable Floor Exclusions\*\*

N/A Sq. Ft.

B3. Existing Floor Area minus Exclusions

N/A Sq. Ft.

(subtract B2 from B1)

**C. Proposed Gross Floor Area (does not include existing area)**

Proposed Gross Area*		Allowable Exclusions	
Basement	1,084	Basement**	1,084
First Floor	736	Stairways**	242
Second Floor	736	Mechanical**	0
Third Floor	248	Other**	232
Porches/ Other		Total Exclusions	1,558
<b>Total Gross *</b>	<b>2,804</b>		

C1. Proposed Gross Floor Area \*

2,804 Sq. Ft.

C2. Allowable Floor Exclusions\*\*

1,558 Sq. Ft.

C3. Proposed Floor Area minus

Exclusions 1,246 Sq. Ft.

(subtract C2 from C1)

**D. Existing + Proposed Floor Area**D1. Total Floor Area (add B3 and C3) 1,246 Sq. Ft.D2. Total Floor Area Allowed by Zone (A2) 1,512 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

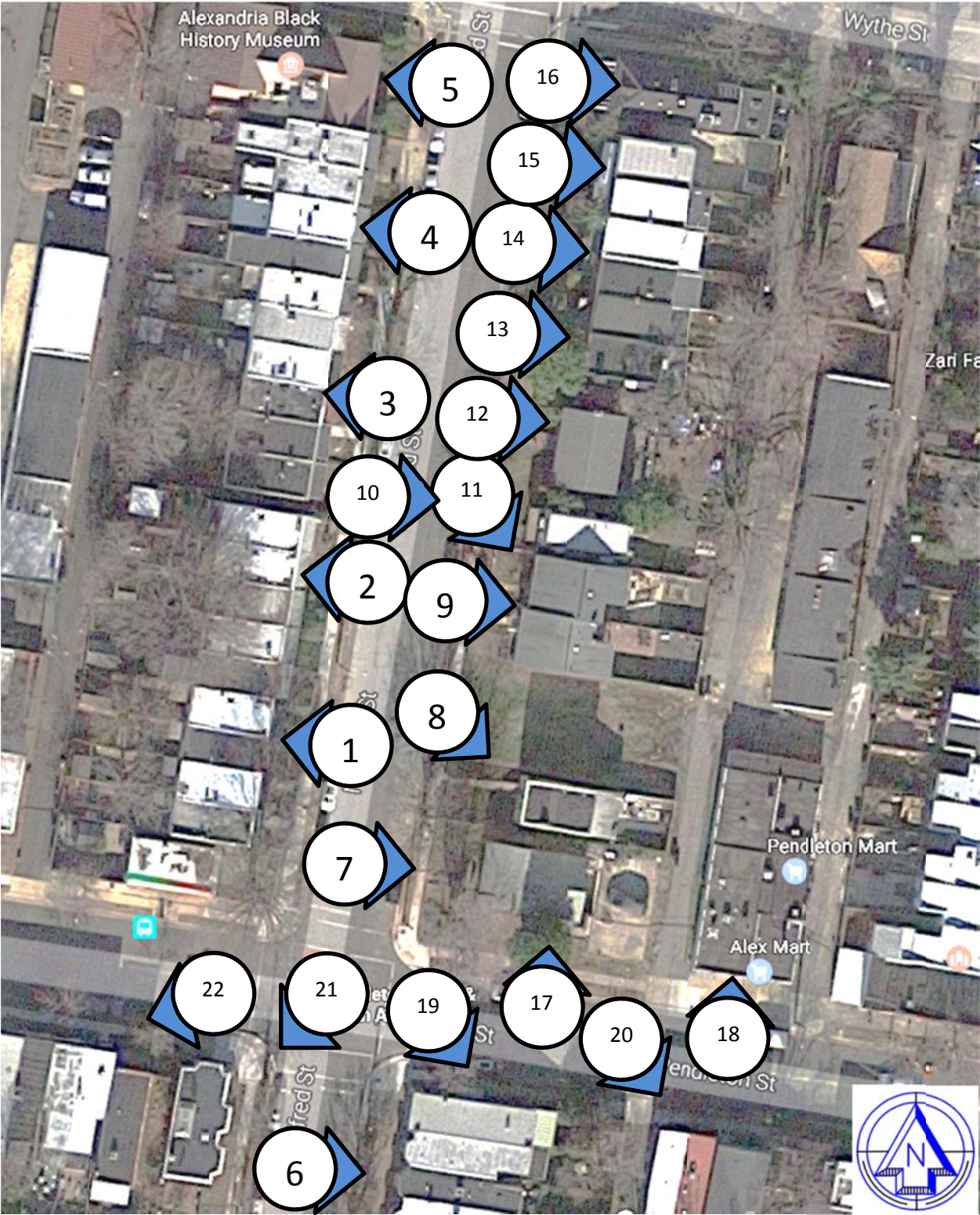
**F. Open Space Calculations**

Existing Open Space	N/A
Required Open Space	800
Proposed Open Space	849

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature]Date: 6/26/2017

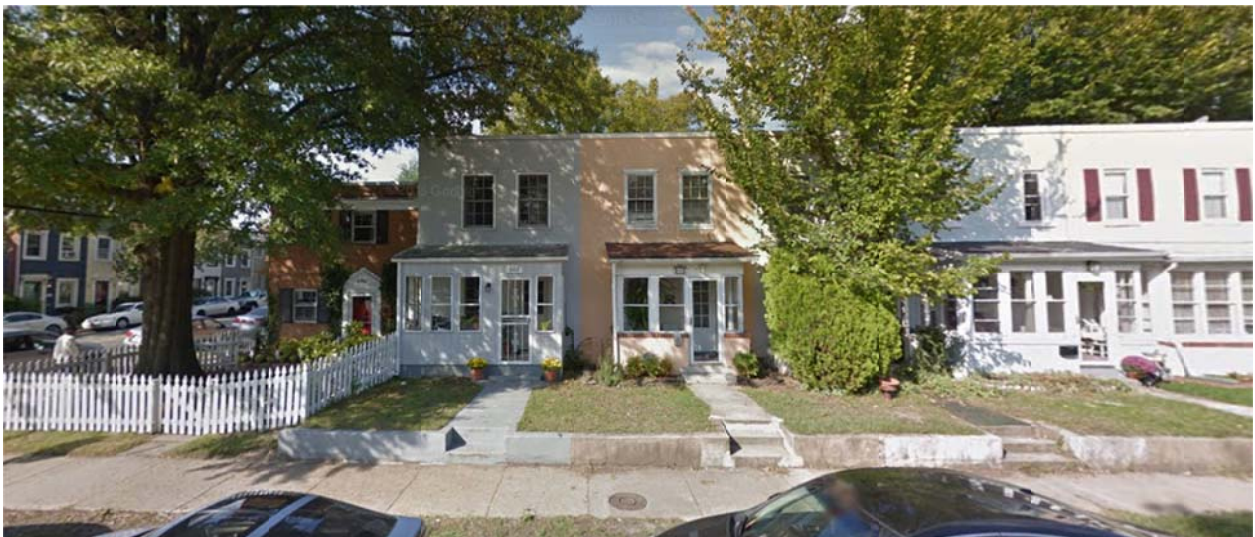
Street Views Key (N. Alfred St. and Pendleton Street)



**Street Views Key (N. Alfred St. and Pendleton Street)**



WEST VIEW POINT 1



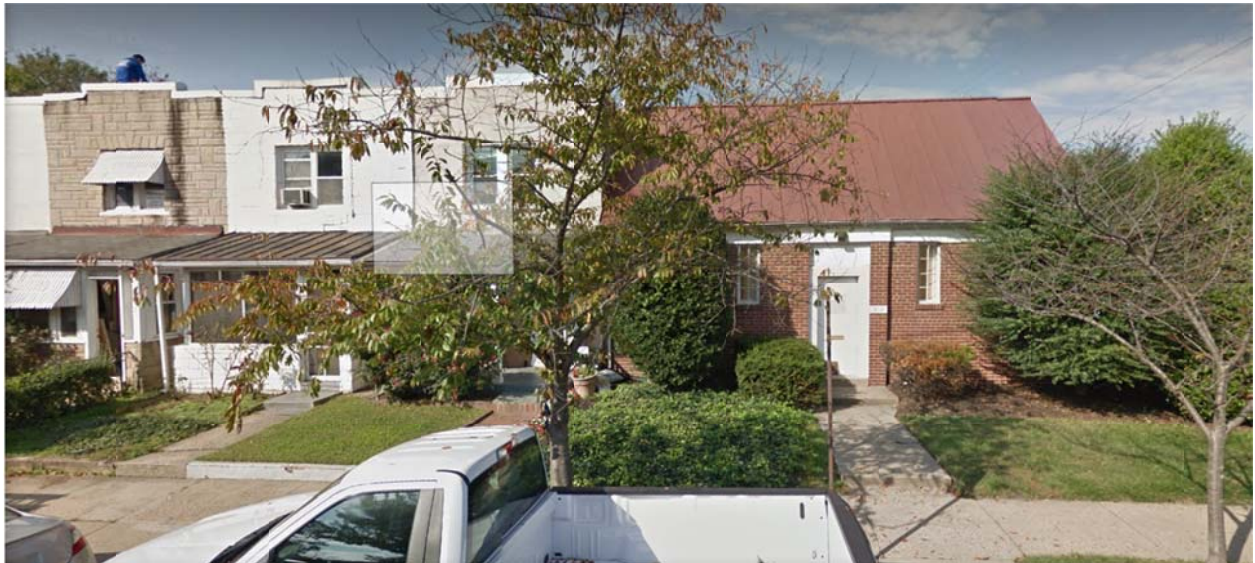
WEST VIEW POINT 2



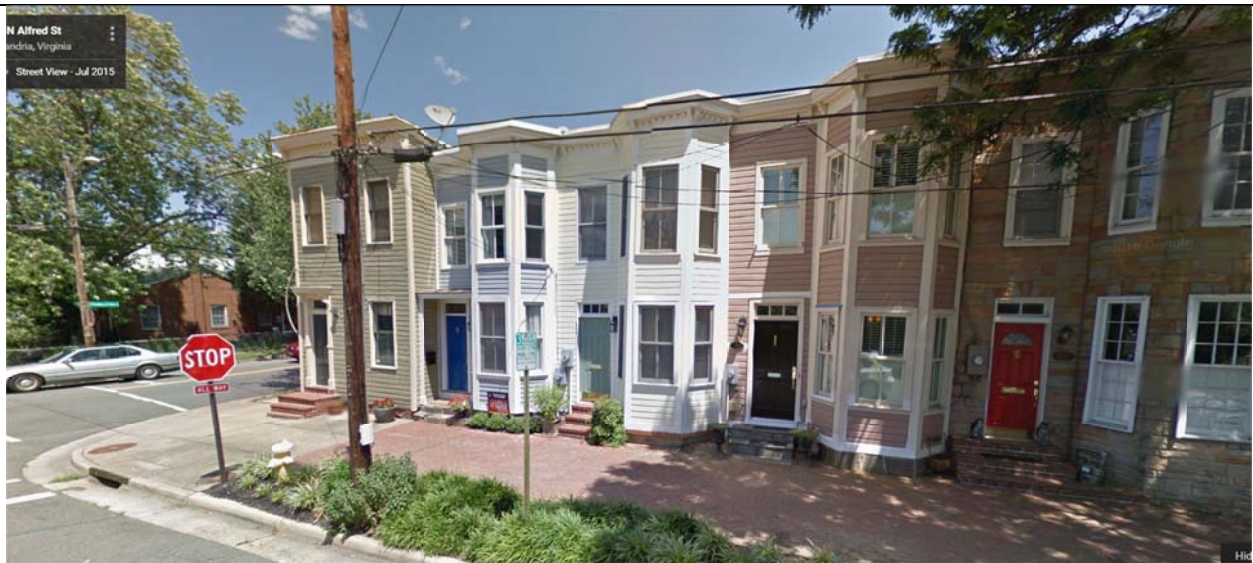
WEST VIEW POINT 3



WEST VIEW POINT 4



WEST VIEW POINT 5

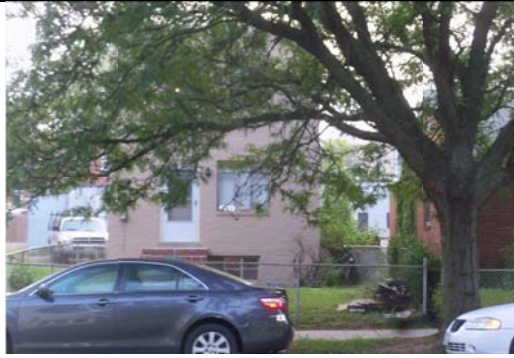


EAST VIEW POINT 6



EAST VIEW POINT 7

BAR2017-00212  
601 N. Alfred St  
Application Materials



EAST VIEW POINT 8



EAST VIEW POINT 9



EAST VIEW POINT 10



EAST VIEW POINT 11



EAST VIEW POINT 12



EAST VIEW POINT 13



EAST VIEW POINT 14



EAST VIEW POINT 15



EAST VIEW POINT 16



NORTH VIEW POINT 17



NORTH VIEW POINT 18



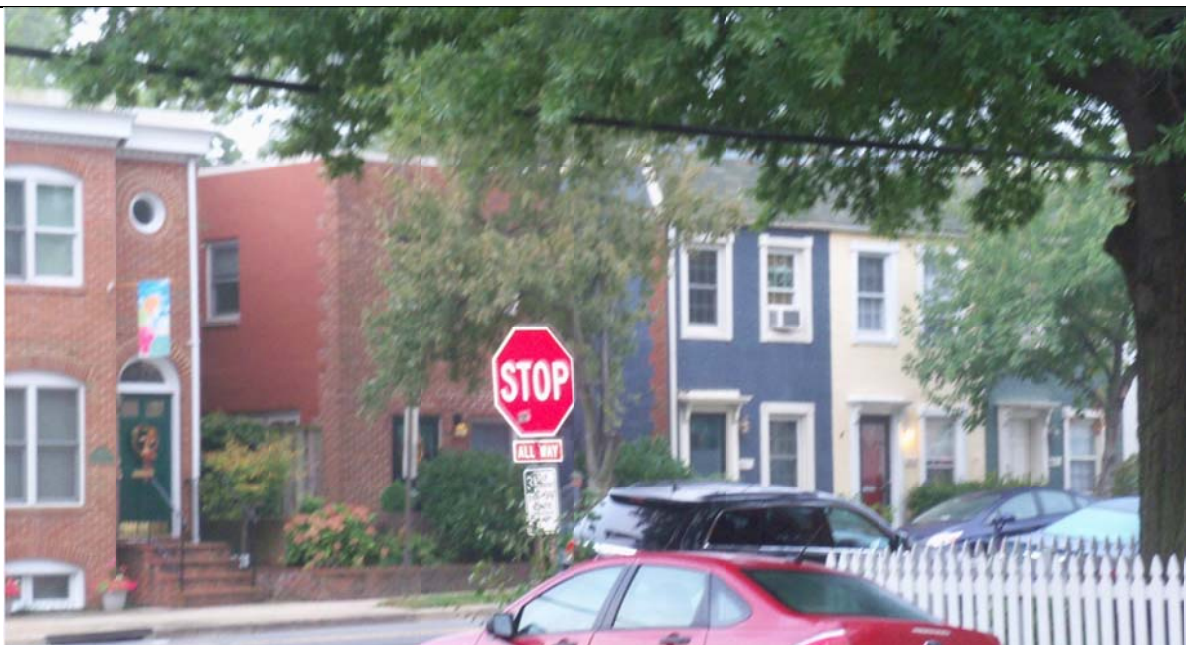
SOUTH EAST VIEW POINT 19



SOUTH EAST VIEW POINT 20



SOUTH WEST VIEW POINT 21



SOUTH WEST VIEW POINT 22

## PROPOSED EXTERIOR MATERIALS

FOR 601 N. ALFRED STREET, ALEXANDRIA, VA

NOTE 1: ALL MATERIAL COLORS AND PAINTS SHALL BE SELECTED BASED ON THE APPROVED COLOR PALETTE FOR THIS HISTORIC DISTRICT AS SET FORTH BY THE CITY OF ALEXANDRIA.

NOTE 2: PRODUCT MATERIALS IDENTIFIED IS TO RELAY OVERALL DESIGN INTENT. ACTUAL PRODUCT MATERIALS SELECTED SHALL COMPLY WITH THE DESIGN INTENT.

### ROOFING

1. ASPHALT SHINGLE ROOFING: MINIMUM 20 YEAR, SELF-SEALING ASPHALT SHINGLES AS MANUFACTURED BY CERTAINTEED FROM MAUNFACTURER'S STANDARD AT WEBLINK  
[WWW.CERTAINTEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#](http://WWW.CERTAINTEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#)
2. SINGLE-PLY MEMBRANE ROOFING SYSTEM (BALLASTED, FULLY ADHERED, MECHANICALLY FASTENED) AS MANUFACTURED BY GAF; WEBLINK AT  
[WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE\\_PLY\\_ROOFING](http://WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE_PLY_ROOFING)
3. ROOF TERRACE WALKING SURFACE  
SHALL BE TREX FLOOR PLANKS ON BUILT-UP PRESSURE-TREATED 2"X DRAINAGE FLOOR; OVER SINGLE-PLY MEMBRANE DRAIN SURFACE WITH

### ROOF GUTTER

GUTTERS: PRE-FINISHED ALUMINUM EXTRUDED BOX PROFILE WITH MATED, RECTANGULAR DOWNSPOUTS; PRE-CAST CONCRETE SPLASH BLOCKS.

### WINDOWS

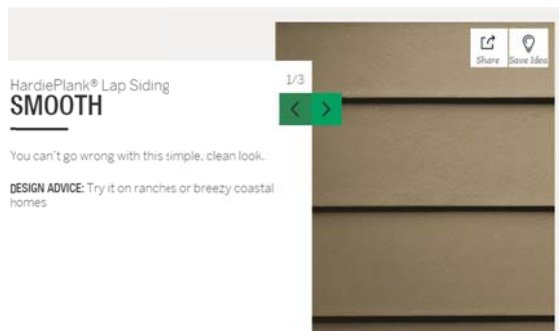
2 OVER 1 LITES, JELD-WEN'S SITELINE EX WOOD CLAD DOUBLE HUNG GLASS UNITS, LOW E, INSULATED GLASS, NO GRILLES, 4-9/16" OR 6-9/16" JAMBS, FULL INSECT SCREENS, BY JELD-WEN, OR EQUAL. GLAZING SHALL BE CLEAR, INSULATED (REFLECTIVE/ TINTED GLAZING PROHIBITED).

### EXTERIOR BUILDING TRIM AND WINDOW/ DOOR HEADER TRIM

- BUILDING TRIM SHALL MATCH THE MATERIAL OF THE LAP SIDING.
- HEADER TRIM- BUILT-UP 1"X SHEET TRIM WITH 1"X HEAD CAP



### PERIMETER WALLS- BUILDING FRONT, SIDE AND REAR

1. HARDIE PLANK 4" LAP SIDING AS MANUFACTURED BY JAMES HARDIE OR APPROVED EQUAL. SMOOTH TEXTURE, PAINTED WITH MATED TRIM; WEBLINK AT [HTTPS://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING](https://www.jameshardie.com/products/hardieplank-lap-siding).






**BRICK MASONRY**

BRICK MASONRY TO BE COMPATIBLE WITH PERIOD BRICK SELECTED SIMILAR TO MONTICELLO @ [HTTP://WWW.OLDVIRGINIABRICK.COM/BRICK/WOOD\\_MOULDED.HTML](http://www.oldvirginiabrick.com/brick/wood_moulded.html) OR BORDEAUX @ [WWW.NASHBRICK.COM/STYLES.HTML](http://www.nashbrick.com/styles.html), OR APPROVED EQUAL.

BORDEAUX	MONTICELLO
	

**EXTERIOR DOORS**

<u>FRONT ENTRY DOOR</u> 4 PANEL WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS OR APPROVED EQUAL	<u>REAR ENTRY DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL	<u>ROOF TERRACE RM DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL.
	 <b>MODEL #5021</b>	 <b>MODEL #5021</b>

FRONT ENTRY

QUOIZEL CCR8406CU COPPER BRONZE  
CHANCELLOR 1 LIGHT 12" TALL  
OUTDOOR WALL SCONCE WITH CLEAR  
GLASS  
[http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Scnce-with-Clear-Glass/p2243328?source=crt0\\_2243328\\_outdoorlightingwallsconces\\_sho](http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Scnce-with-Clear-Glass/p2243328?source=crt0_2243328_outdoorlightingwallsconces_sho)



REAR ENTRY

QUOIZEL CAR8406AC AGED COPPER  
CARLETON 1 LIGHT 12" TALL OUTDOOR  
WALL SCONCE WITH CLEAR GLASS  
[http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item\\_page.rr1~ClickCP~Quoizel~quoizelcar8406](http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8406)



ROOF TERRACE

QUOIZEL CAR8728AC AGED COPPER  
CARLETON 1 LIGHT 18" TALL OUTDOOR  
WALL SCONCE WITH CLEAR GLASS  
[http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item\\_page.rr1~ClickCP~Quoizel~quoizelcar8728](http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8728)



HVAC EQUIPMENT

- I. SPLIT SYSTEMS
- II. LOCATION: ROOFTOP CONDENSERS ON FLAT HOUSEKEEPING PADS/  
GENTLY SLOPING ROOFS; AIR HANDLERS IN BUILDING INTERIOR.

BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 601 N. ALFRED STREET  
TAX MAP AND PARCEL: 054 - 04-13-22 ZONING: RB

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☒ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: 601 N. ALFRED ST., L.L.C.

Address: 3208 SPRING DRIVE

City: ALEXANDRIA State: VA Zip: 22306

Phone: 703/768-8437 E-mail: KSDJR@REGENTCOMPANY.COM

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: OLY BUI LIEU

Phone: 703/589-6994

E-mail: OLIEU@LIEUMANN.COM

Legal Property Owner:

Name: ABATE ABEBECH DEMESSIE, DEBBIE KALEB FIKRU  
# ABRAHAM TIRUNES

Address: 603 N. ALFRED ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply***NEW CONSTRUCTION****EXTERIOR ALTERATION:** *Please check all that apply.*☐ awning☐ fence, gate or garden wall☐ HVAC equipment☐ shutters☐ doors☐ windows☐ siding☐ shed☐ lighting☐ pergola/trellis☐ painting unpainted masonry☐ other \_\_\_\_\_**ADDITION****DEMOLITION/ENCAPSULATION****SIGNAGE****DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

It is proposed that a new single family residence be built on Lot 34, designated street address as 601 N. Alfred Street. The new residence shall be a 2 story with walk-up basement, and roof terrace sitting area with an open-roof terrace fronting N. Alfred Street and Pendleton Street. See attached plans and elevations with this submission package.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*



N/A



Survey plat showing the extent of the proposed demolition/encapsulation.



Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.



Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.



Description of the reason for demolition/encapsulation.



Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

---

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Date: 6/12/2017

**OWNERSHIP AND DISCLOSURE STATEMENT**  
Use additional sheets if necessary

BAR2017-00212  
601 N. Alfred St  
Application Materials

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. REGENT COMPANY, LLC	3208 SPRING ST. ALEXANDRIA, VA 22306	40%
2. KELLI SHORE	6517 SARA ALICE CT BURKE, VA	15%
3. LIFETIME CONSTRUCTION, LLC	23547 EVERGREEN RD ALDIE, VA 20125	45%

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 603 N. ALFRED ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ABATE ABEBECH DEMESSIE	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
2. DEBBIE KALEB FIKRU	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
3. ABRAHAM TIRFES	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

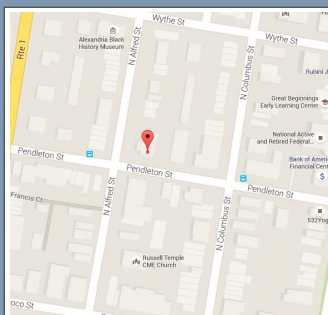
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/12/2017      DY BM LIEU        
Date                      Printed Name                      Signature

## NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



**PROPERTY ADDRESS:** 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

**SURVEY NUMBER:** 1607.3043

FIELD WORK DATE: 7/26/2016

**REVISION HISTORY:** (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00213  
603 N. Alfred St  
Application Materials

1607.3043

*LOCATION DRAWING*

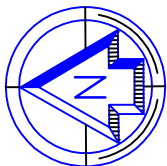
LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

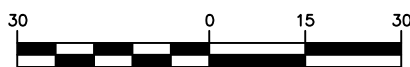
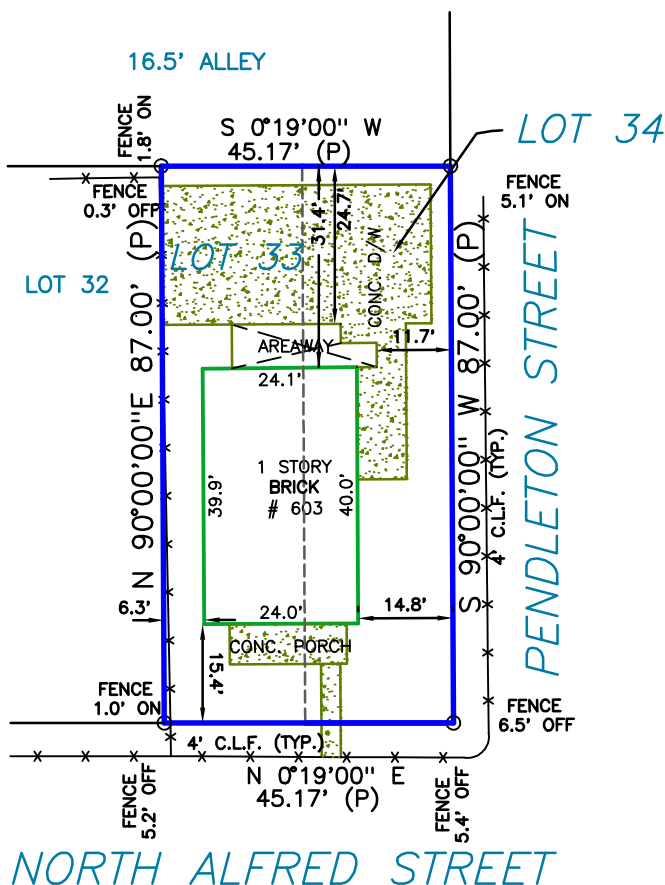
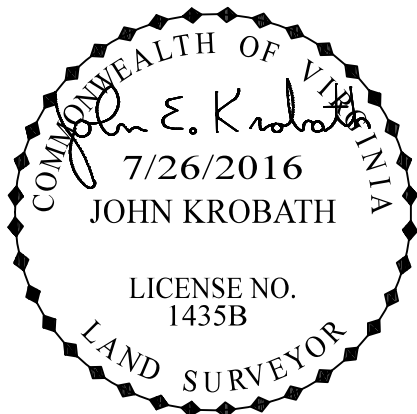
*THE CITY OF ALEXANDRIA, VIRGINIA*

07-26-2016 SCALE 1"=30'

THIS DRAWING HAS BEEN REVISED IN  
ORDER TO REMOVE LOT 32 5-11-2017



NOTE - FENCE OWNERSHIP NOT DETERMINED



GRAPHIC SCALE (In Feet)

$$1 \text{ inch} = 30' \text{ ft.}$$

POINTS OF INTEREST:  
NONE VISIBLE

POWERED BY:



[www.surveystars.com](http://www.surveystars.com)

**CLIENT NUMBER:**

**DATE:** 7/27/2016

**BUYER:**

**SELLER:**

**CERTIFIED TO:** SMART SETTLEMENTS, LLC

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

PREPARED BY:

# EXACTA

## NATIONAL INFORMATION TECHNOLOGY

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00213  
603 N. Alfred St  
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

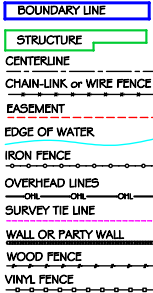
GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located onthis survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
9. All corners marked as set are iron rebar with a cap.
10. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
11. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
12. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
13. Additional logos or references to third party firms are for informational purposes only.
14. Structures are measured at ground level.
15. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
16. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

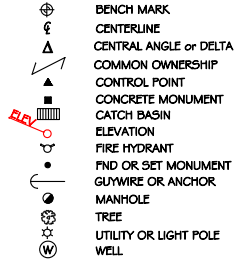
LINETYPES: ( UNLESS OTHERWISE NOTED)



SURFACE TYPES: ( UNLESS OTHERWISE NOTED)



SYMBOLS: ( UNLESS OTHERWISE NOTED)



A/C	AIR CONDITIONING	ID.	IDENTIFICATION	SEC.	SECTION
B.R.	BEARING REFERENCE	ILL.	ILLEGIBLE	SEP.	SEPTIC TANK
B.C.	BLOCK CORNER	INST.	INSTRUMENT	SEW.	SEWER
B.F.P.	BACKFLOW PREVENTOR	INT.	INTERSECTION	S/GD.	SET GLUE DISC
B/K.	BLOCK	L	LENGTH	SIRC.	SET IRON ROD & CAP
BLDG.	BUILDING	LB#	LICENSE # - BUSINESS	SN&D.	SET NAIL & DISC
BM	BENCHMARK	LS#	LICENSE # - SURVEYOR	SQ.FT.	SQUARE FEET
B.R.L.	BUILDING RESTRICTION LINE	(M)	MEASURED	STY.	STORY
BSMT.	BASEMENT	M.B.	MAP BOOK	S.T.L.	SURVEY TIE LINE
B/W	BAY/BOX WINDOW	M.E.S.	MITERED END SECTION	SV	SEWER VALVE
(C)	CALCULATED	M.F.	METAL FENCE	S/W	SIDEWALK
C	CURVE	N.R.	NON RADIAL	S.W.	SEAWALL
CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE	TBM	TEMPORARY BENCHMARK
C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB	TEL.	TELEPHONE FACILITIES
CHIM.	CHIMNEY	O.G.	ON GROUND	T.O.B.	TOP OF BANK
C.L.F.	CHAIN LINK FENCE	OFF	OUTSIDE OF SUBJECT PARCEL	TWP.	TOWNSHIP
C.O.	CLEAN OUT	OH.	OVERHANG	TX	TRANSFORMER
CONC.	CONCRETE	OHL	OVERHEAD LINES	TYP.	TYPICAL
COR.	CORNER	ON	INSIDE OF SUBJECT PARCEL	U.R.	UTILITY RISER
CS/W	CONCRETE SIDEWALK	O.R.B.	OFFICIAL RECORD BOOK	W/C	WITNESS CORNER
C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME	W/F	WOODEN FENCE
C/L	CENTER LINE	O/A	OVERALL	WM	WATER METER/VALVE BOX
C/P	COVERED PORCH	O/S	OFFSET	WY	WATER VALVE
C/S	CONCRETE SLAB	(P)	PLAT	Y.F.	VINYL FENCE
D.E.	DEED	P.B.	PLAT BOOK		
D.F.	DRAIN FIELD	P.C.	POINT OF CURVATURE	A.E.	ACCESS EASEMENT
D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE	AN.E.	ANCHOR EASEMENT
D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT	C.M.E.	CANAL MAINTENANCE ESMT.
ELEV.	ELEVATION	P/E	POOL EQUIPMENT	C.U.E.	COUNTY UTILITY ESMT.
ENCL.	ENCLOSURE	P.G.	PAGE	D.E.	DRAINAGE EASEMENT
ENT.	ENTRANCE	P.I.	POINT OF INTERSECTION	D.U.E.	DRAINAGE AND UTILITY ESMT.
EM	ELECTRIC METER	PLS	PROFESSIONAL LAND SURVEYOR	ESMT.	EASEMENT
F.O.P.	EDGE OF PAVEMENT	PLT	PLANTER	I.E./E.	INGRESS/EGRESS ESMT.
F.CM	FIELD	P.O.B.	POINT OF BEGINNING	IRR.E.	IRRIGATION EASEMENT
F/DH	FOUND DRILL HOLE	P.O.C.	POINT OF COMMENCEMENT	L.A.E.	LIMITED ACCESS ESMT.
F.F.	FINISHED FLOOR	P.P.	PINCHED POPE	L.B.E.	LANDSCAPE BUFFER ESMT.
FIP	FOUND IRON PIPE	P.R.C.	POINT OF REVERSE CURVATURE	L.E.	LANDSCAPE ESMT.
FIPC	FOUND IRON PIPE & CAP	P.R.M.	PERMANENT REFERENCE MONUMENT	L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
FIR	FOUND IRON ROD	PSM	PROFESSIONAL SURVEYOR AND MAPPER	M.E.	MAINTENANCE EASEMENT
FIRC	FOUND IRON ROD & CAP	P.T.	POINT OF TANGENCY	P.U.E.	PUBLIC UTILITY EASEMENT
FN	FOUND NAIL	R	RADIUS or RADIAL	R.O.E.	ROOF OVERHANG ESMT.
FN&D	FOUND NAIL AND DISC	(R)	RECORD	S.W.E.	SIDEWALK EASEMENT
FND.	FOUND	RGE.	RANGE	S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
FPKN	FOUND PARKER-KALON NAIL	RES.	RESIDENCE	T.U.E.	TECHNOLOGICAL UTILITY ESMT.
FPKN&D	FOUND PK NAIL & DISC	R/W	RIGHT OF WAY	U.E.	UTILITY EASEMENT
FRKSPK	FOUND RAILROAD SPIKE	(S)	SURVEY		
GAR.	GARAGE	S.B.L.	SET BACK LINE		
GM	GAS METER	S.C.L.	SURVEY CLOSURE LINE		
		SCR.	SCREEN		

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>

To Electronically Sign any survey PDF:

1. Save the PDF onto your computer.
2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
3. Select the Hash Method as SHA.
4. Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK + WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.

EXACTA

OFFERS

25% OFF HOUSE LOCATION DRAWINGS or \$100 OFF BOUNDARIES

OFFER IS ONLY VALID FOR THIS PROPERTY AND BUYER AS LISTED ON THE FIRST PAGE OF THIS SURVEY

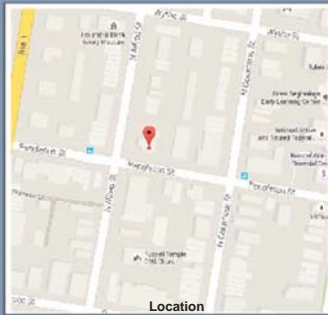


# EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016 REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00213  
603 N. Alfred St  
Application Materials

1607.3043

LOCATION DRAWING

LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

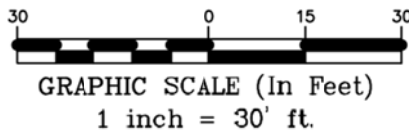
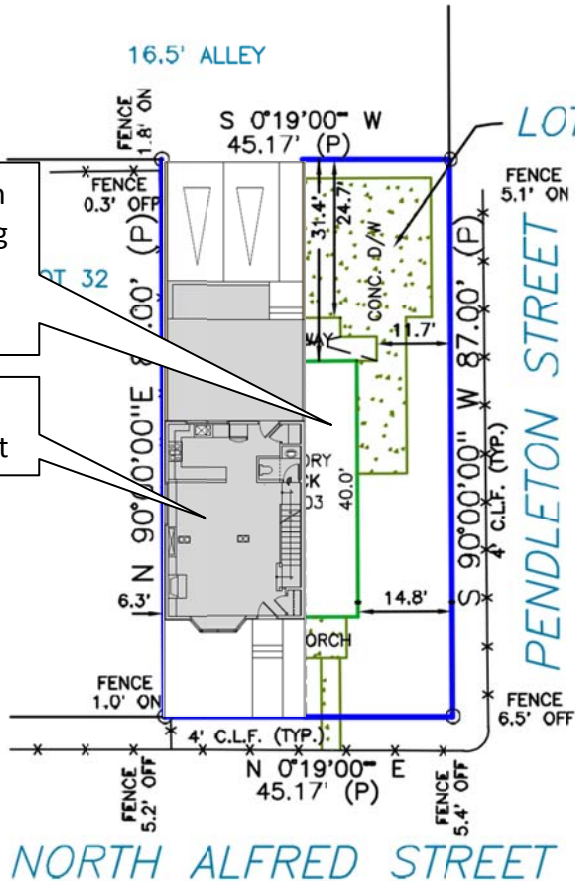
THIS DRAWING HAS BEEN REVISED IN  
ORDER TO REMOVE LOT 32 5-11-2017



Work associated with  
demolition of existing  
house is under  
separate application

New Residence  
603 N. Alfred Street

NOTE - FENCE OWNERSHIP NOT DETERMINED



POINTS OF INTEREST:  
NONE VISIBLE

POWERED BY



www.surveystars.com

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

PREPARED BY:

SELLER:

CERTIFIED TO: SMART SETTLEMENTS, LLC

EXACTA  
NATIONAL INFORMATION TECHNOLOGY

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00213  
603 N. Alfred St  
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
- All corners marked as set are iron rebar with a cap.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Additional logos or references to third party firms are for informational purposes only.
- Structures are measured at ground level.
- Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINE TYPES: (UNLESS OTHERWISE NOTED)

BOUNDARY LINE

STRUCTURE

CHIMNEY, or WARE FENCE

EASEMENT

EDGE OF WATER

OVERHEAD LINES

SURVEY TIE LINE

WALL OR PARTY WALL

WOOD FENCE

VINYL FENCE

SURFACE TYPES: (UNLESS OTHERWISE NOTED)

ASPHALT

CONCRETE

WATER

SYMBOLS: (UNLESS OTHERWISE NOTED)

BENCH MARK

CENTERLINE

COMMON OWNERSHIP

CONTROL POINT

CONCRETE MONUMENT

CATCH BASIN

ELEVATION

FIRE HYDRANT

FOUND IRON ROD & CAP

GUYWIRE OR ANCHOR

MANHOLE

TRIE

UTILITY OR LIGHT POLE

WELL

A/C	AIR CONDITIONING	ID.	IDENTIFICATION
B.R.	BEARING REFERENCE	ILL.	ILLEGIBLE
B.C.	BLOCK CORNER	INST.	INSTRUMENT
B.F.P.	BACKFLOW PREVENTOR	INT.	INTERSECTION
BLK.	BLOCK	L	LENGTH
BLDG.	BUILDING	LB#	LICENSE # - BUSINESS
BM	BENCHMARK	LS#	LICENSE # - SURVEYOR
B.R.L.	BUILDING RESTRICTION LINE	(M)	MEASURED
BSMT.	BASEMENT	M.B.	MAP BOOK
B/W	BAY/BOX WINDOW	M.E.S.	MITERED END SECTION
(C)	CALCULATED	M.F.	METAL FENCE
C	CURVE	N.R.	NON-RADIAL
CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE
C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB
CHIM.	CHIMNEY	O.G.	ON GROUND
C.L.F.	CHAIN LINK FENCE	OFF	OUTSIDE OF SUBJECT PARCEL
C.O.	CLEAN OUT	OH.	OVERHANG
CONC.	CONCRETE	OHL	OVERHEAD LINES
COR.	CORNER	ON	INSIDE OF SUBJECT PARCEL
CS/W	CONCRETE SIDEWALK	O.R.B.	OFFICIAL RECORD BOOK
C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME
C/L	CENTER LINE	O/A	OVERALL
C/P	COVERED PORCH	O/S	OFFSET
C/S	CONCRETE SLAB	(P)	PLAT
(D)	DEED	P.B.	PLAT BOOK
D.F.	DRAIN FIELD	P.C.	POINT OF CURVATURE
D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE
D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT
ELEV.	ELEVATION	P/E	POOL EQUIPMENT
ENCL.	ENCLOSURE	PG.	PAGE
ENT.	ENTRANCE	P.I.	POINT OF INTERSECTION
EM	ELECTRIC METER	PLS	PROFESSIONAL LAND SURVEYOR
F.O.P.	EDGE OF PAVEMENT	PLT	PLANTER
F.O.W.	EDGE OF WATER	P.O.B.	POINT OF BEGINNING
EUB	ELECTRIC UTILITY BOX	P.O.C.	POINT OF COMMENCEMENT
(F)	FIELD	P.P.	PINCHED POPE
FCM	FND. CONCRETE MONUMENT	P.R.C.	POINT OF REVERSE CURVATURE
F/DH	FOUND DRILL HOLE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.F.	FINISHED FLOOR	PSM	PROFESSIONAL SURVEYOR AND MAPPER
FIP	FOUND IRON PIPE		
FIPC	FOUND IRON PIPE & CAP	P.T.	POINT OF TANGENCY
FIR	FOUND IRON ROD		
FIRC	FOUND IRON ROD & CAP	R	RADIUS or RADIAL
FN	FOUND NAIL	(R)	RECORD
FND	FOUND NAIL AND DISC	RGE.	RANGE
FND.	FOUND	RES.	RESIDENCE
FPKN	FOUND PARKER-KALON NAIL	R/W	RIGHT OF WAY
FPKN&D	FOUND PK NAIL & DISC	(S)	SURVEY
FRRSPK	FOUND RAILROAD SPIKE	S.B.L.	SET BACK LINE
GAR.	GARAGE	S.C.L.	SURVEY CLOSURE LINE
GM	GAS METER	SCR.	SCREEN

SEC.	SECTION
SEP.	SEPTIC TANK
SEW.	SEWER
S/GD	SET GLUE DISC
SIRC	SET IRON ROD & CAP
SN&D	SET NAIL & DISC
SQ.FT.	SQUARE FEET
STY.	STORY
S.T.L.	SURVEY TIE LINE
SV	SEWER VALVE
S/W	SIDEWALK
S.W.	SEAWALL
TBM	TEMPORARY BENCHMARK
TEL.	TELEPHONE FACILITIES
T.O.B.	TOP OF BANK
TWP.	TOWNSHIP
TK	TRANSFORMER
TYP.	TYPICAL
U.R.	UTILITY RISER
W/C	WITNESS CORNER
W/F	WATER FILTER
W.F.	WOODEN FENCE
WM	WATER METER/VALVE BOX
WW	WATER WAVE
V.F.	VINYL FENCE

A.E.	ACCESS EASEMENT
AN.E.	ANCHOR EASEMENT
C.M.E.	CANAL MAINTENANCE ESMT.
C.U.E.	COUNTY UTILITY ESMT.
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE AND UTILITY ESMT.
ESMT.	EASEMENT
I.E./E.E.	INGRESS/EGRESS ESMT.
IRR.E.	IRRIGATION EASEMENT
L.A.E.	LIMITED ACCESS ESMT.
L.B.E.	LANDSCAPE BUFFER ESMT.
L.E.	LANDSCAPE ESMT.
L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT

M.E.	MAINTENANCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.E.	ROOF OVERHANG ESMT.
S.W.E.	SIDEWALK EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.U.E.	TECHNOLOGICAL UTILITY ESMT.
U.E.	UTILITY EASEMENT

ELECTRONIC SIGNATURE:

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- Use the online tool at <http://www.ileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
- Select the Hash Method as SHA.
- Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

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- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK & WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.

**EXACTA**

OFFERS

25% off House location drawings  
or  
\$100 off boundaries

offer is only valid for this property and buyer as listed on the first page of this survey



BAR2017-00213  
603 N. Alfred St  
Application Materials

Contact Us  
Phone: 866.735.1916  
Fax: 866.744.0882  
  
www.surveystars.com

To Whom It May Concern:

The regulations of the Virginia Board of Architects , Professional Engineers, Land Surveyors and certified landscape architects require that when a land surveyor performs a physical improvements survey (house location) for mortgage purposes, he shall also perform a boundary survey of the property and set permanent corner monumentation. This is required even though a boundary survey may have been previously performed on the property.

However, the law further provides that the prospective mortgagor (or his legal agent) may agree in writing to waive the regulatory requirement for the said boundary survey and the placing of the corner monumentation in connection with the survey needed for mortgage purposes.

Accordingly, please be advised that I/we do hereby agree to waive the herein referenced regulatory requirements of the Virginia Board for the performance of a boundary survey and for the placing of the corner monumentation in connection with the physical improvements survey which I/we need at this time for mortgage purposes. By agreeing to this waiver, it is understood that I/we am/are not waiving or surrendering any property rights.

Date .....

.....  
Buyer Name Printed

.....  
Buyer Signature

	1607.3043
603 N ALFRED STREET ALEXANDRIA, VIRGINIA 22314	
LOTS 33, AND 34, BLOCK I, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.	
SMART SETTLEMENTS, LLC FAIRFAX	

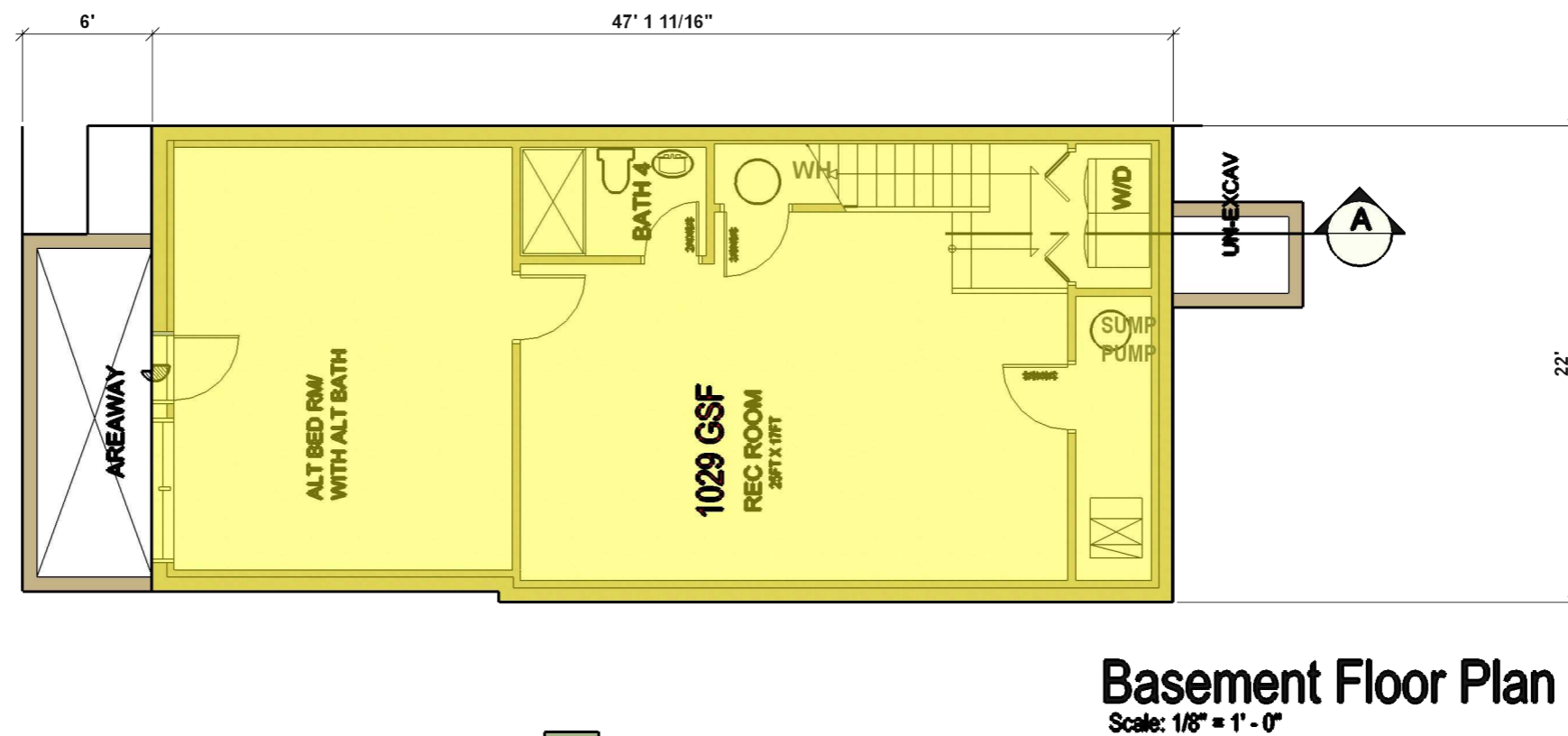
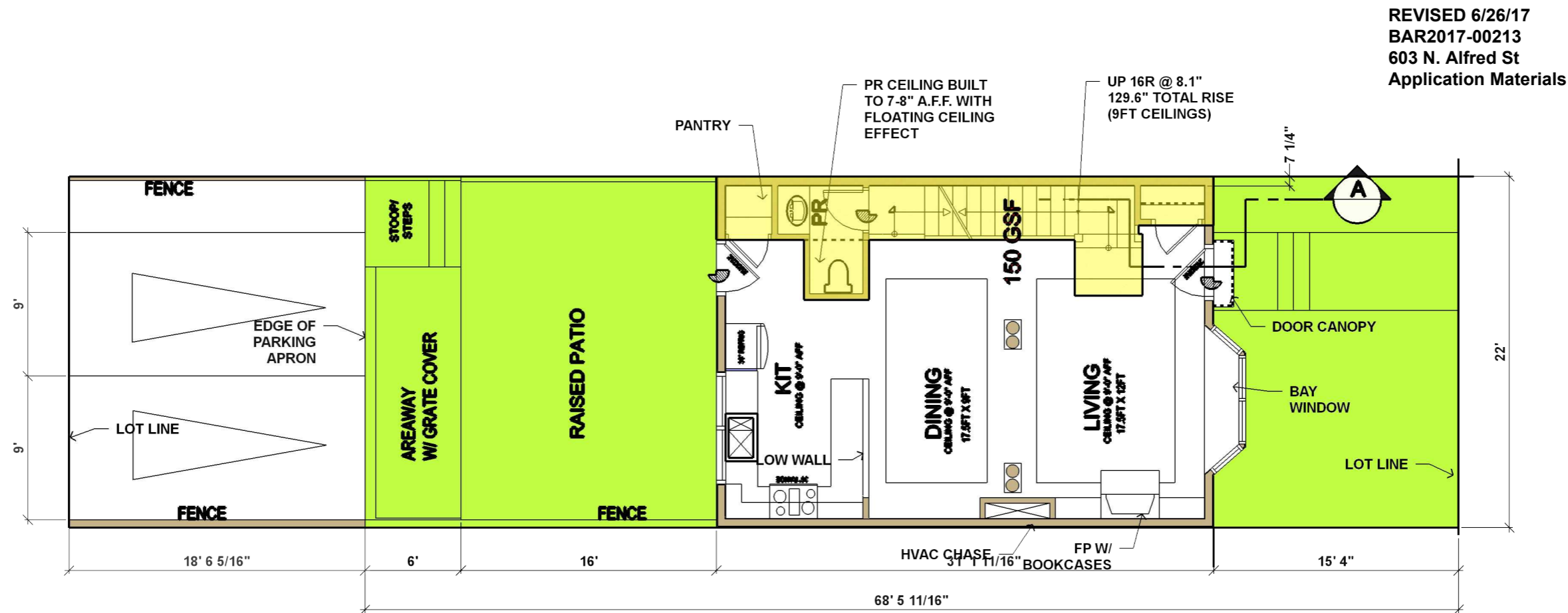
**To be completed if above waiver is not executed:**

I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date .....

.....  
Buyer Name Printed

.....  
Buyer Signature



OPEN SPACE  
 FAR EXEMPTIONS

REVISED 6/26/17  
 BAR2017-00213  
 603 N. Alfred St  
 Application Materials

**COMPANY NAME**  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994

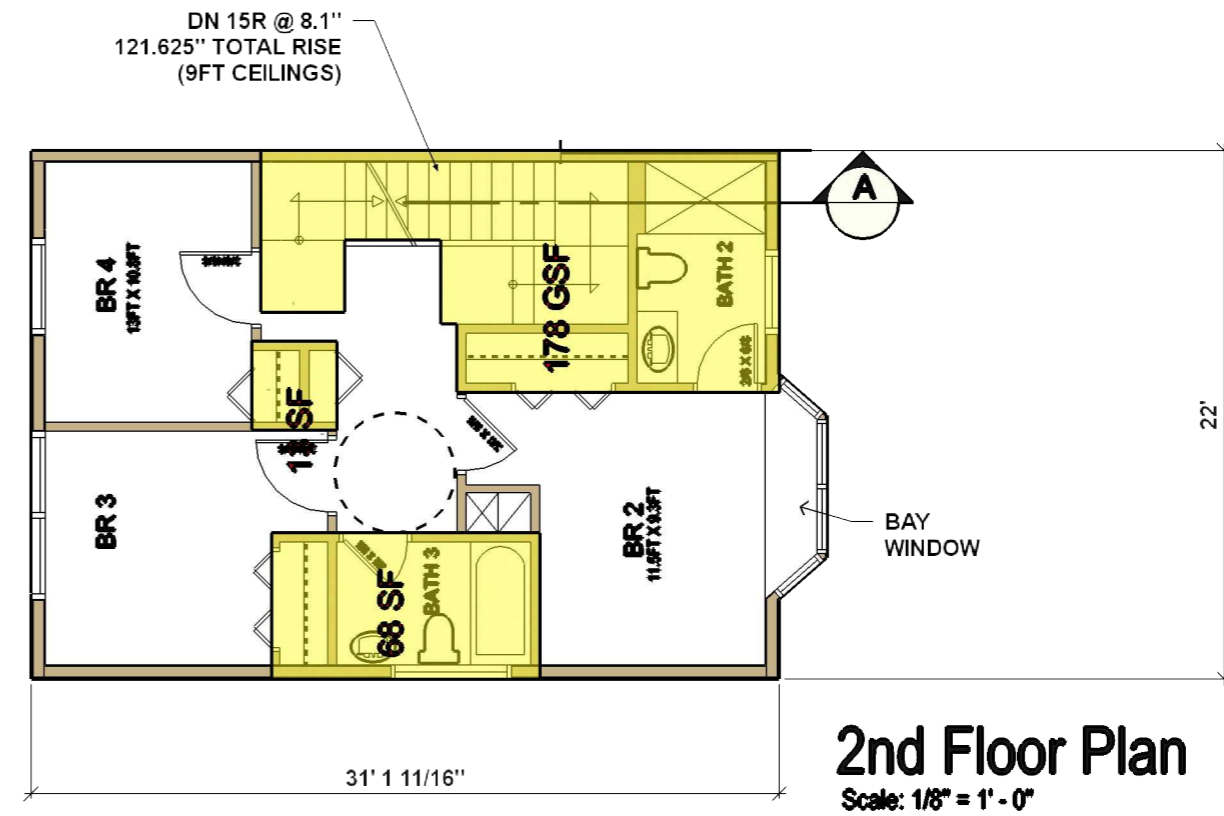
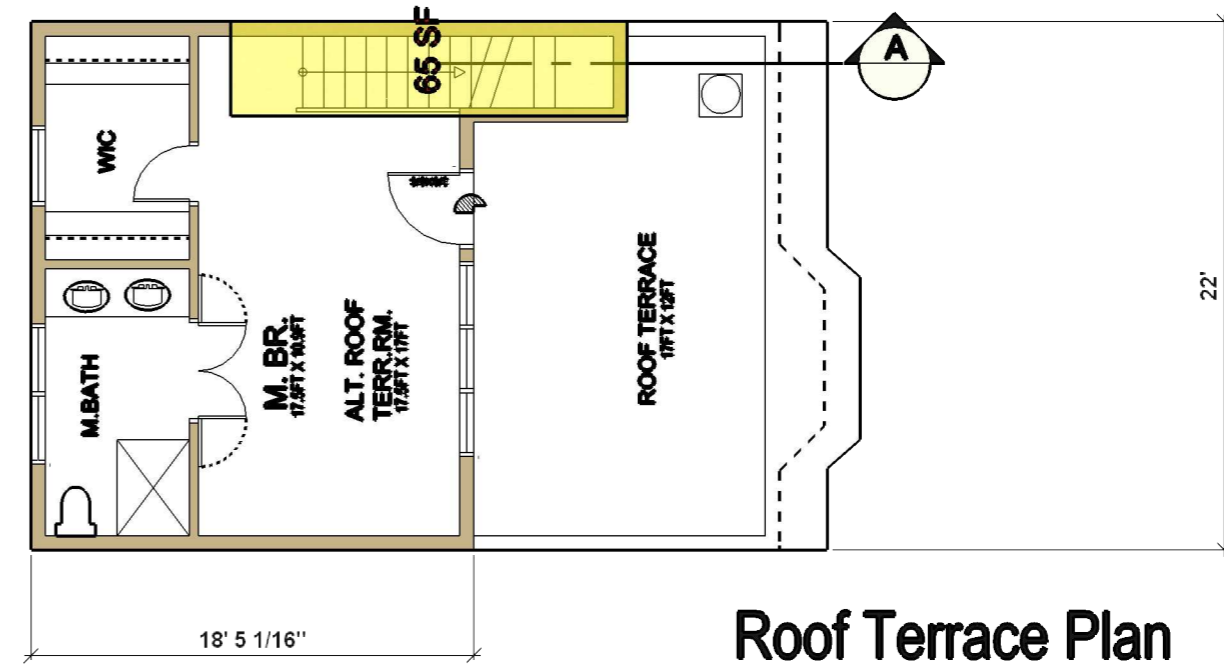
**CLIENT**  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

**PROJECT**  
 603 N. Alfred St.  
 New Residence  
**PROJECT NO.**

**ISSUE**  
 June 21, 2017  
**DRAWN BY**

**Basemt & 1st Floor Plans**

**A1**



**COMPANY NAME**  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994

**CLIENT**  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

**PROJECT**  
 603 N. Alfred St.  
 New Residence  
**PROJECT NO.**

**ISSUE**  
 June 21, 2017  
**DRAWN BY**

**2nd Floor & Roof Terrace Plans**

REVISED 6/26/17  
 BAR2017-00213  
 603 N. Alfred St  
 Application Materials

COMPANY NAME  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



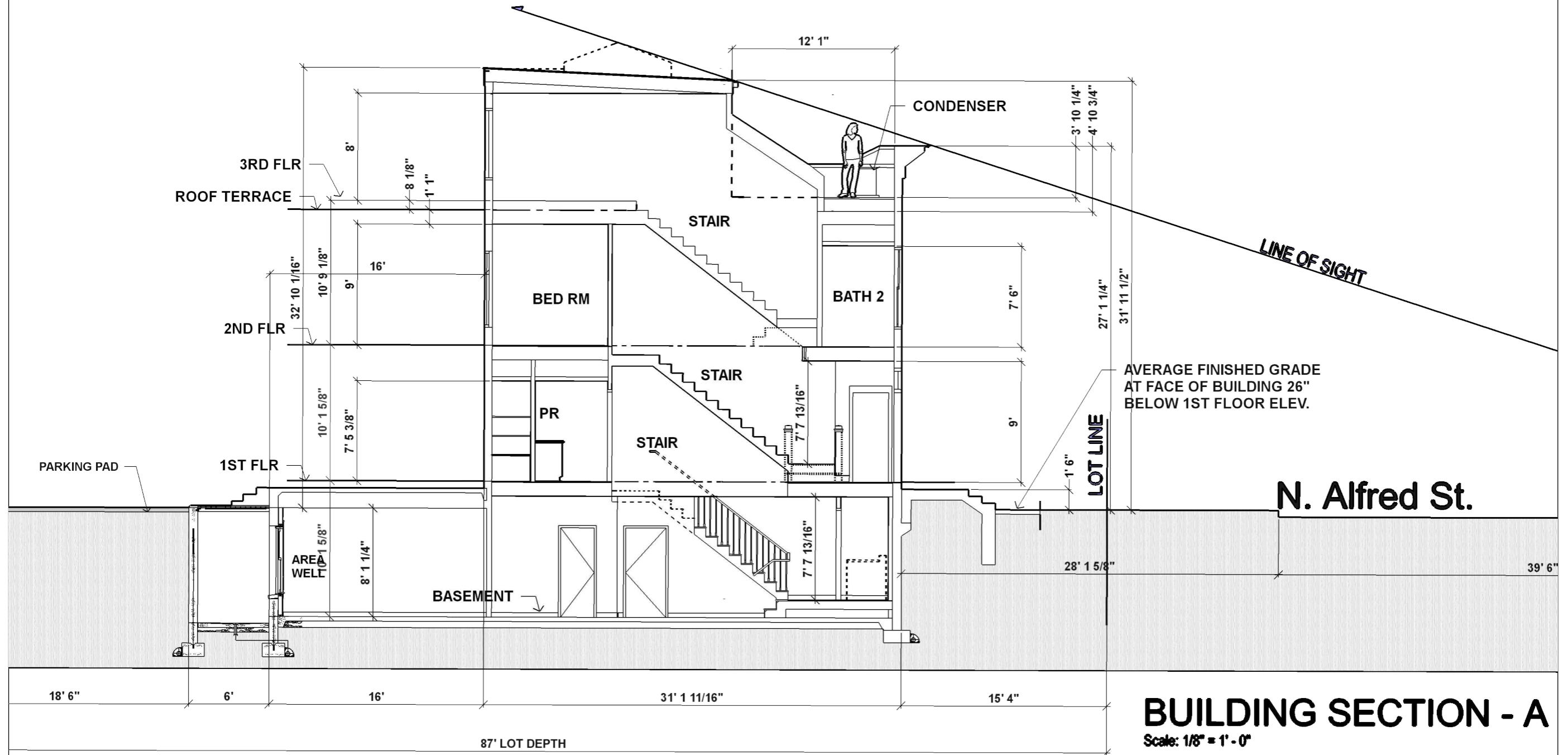
CLIENT  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

PROJECT  
 603 N. Alfred St.  
 New Residence  
 PROJECT NO.

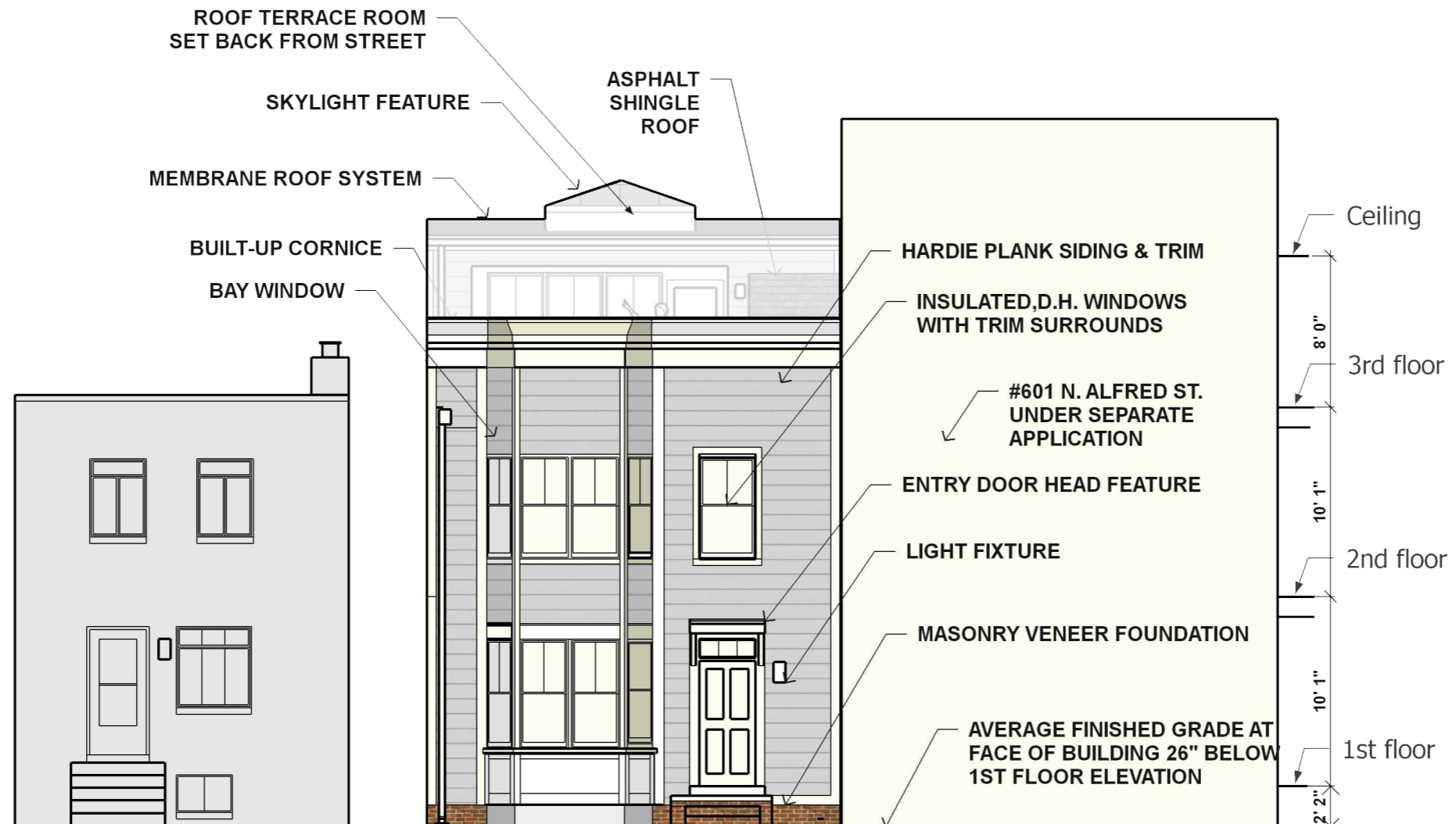
ISSUE  
 June 21, 2017  
 DRAWN BY

Building Section

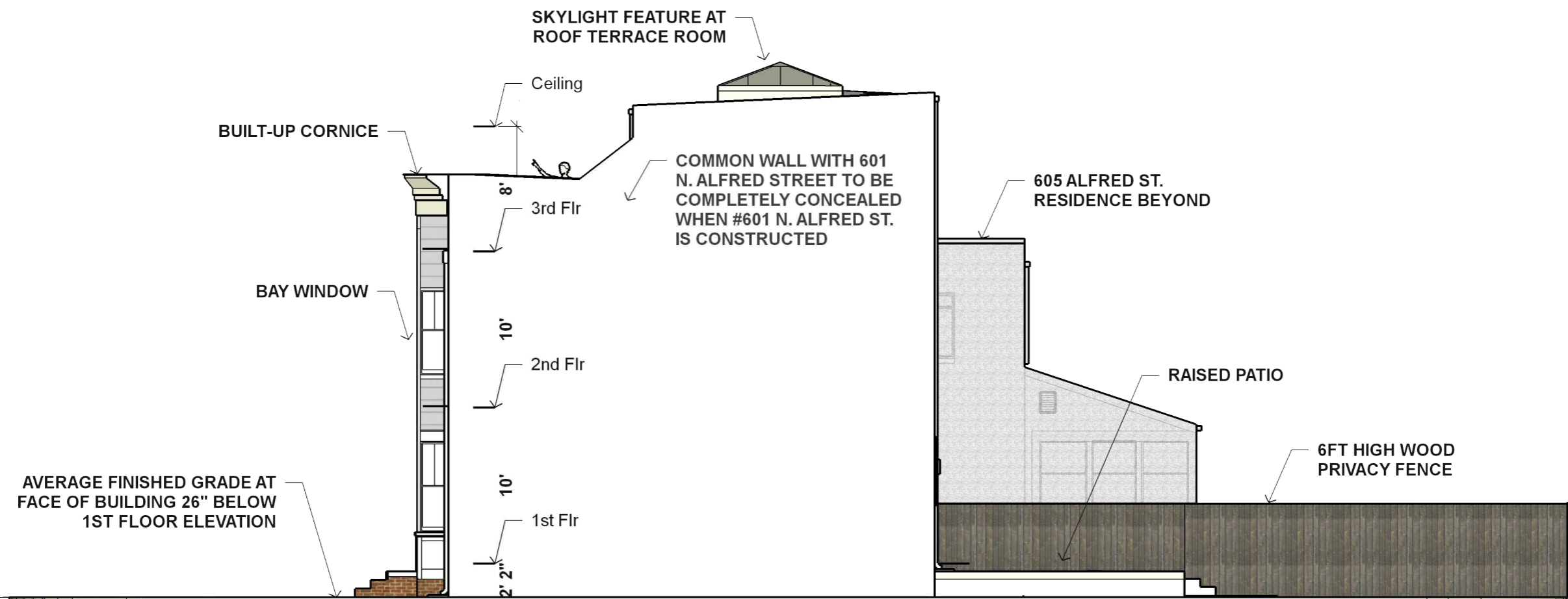
A3



**BUILDING SECTION - A**  
 Scale: 1/8" = 1' - 0"



#605      FRONT ELEVATION      #601  
603 N. ALFRED ST.  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION  
 603 N. ALFRED ST.**  
 SCALE: 1/8" = 1'-0"

REVISED 6/26/17  
BAR2017-00213  
603 N. Alfred St  
Application Materials

COMPANY NAME  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



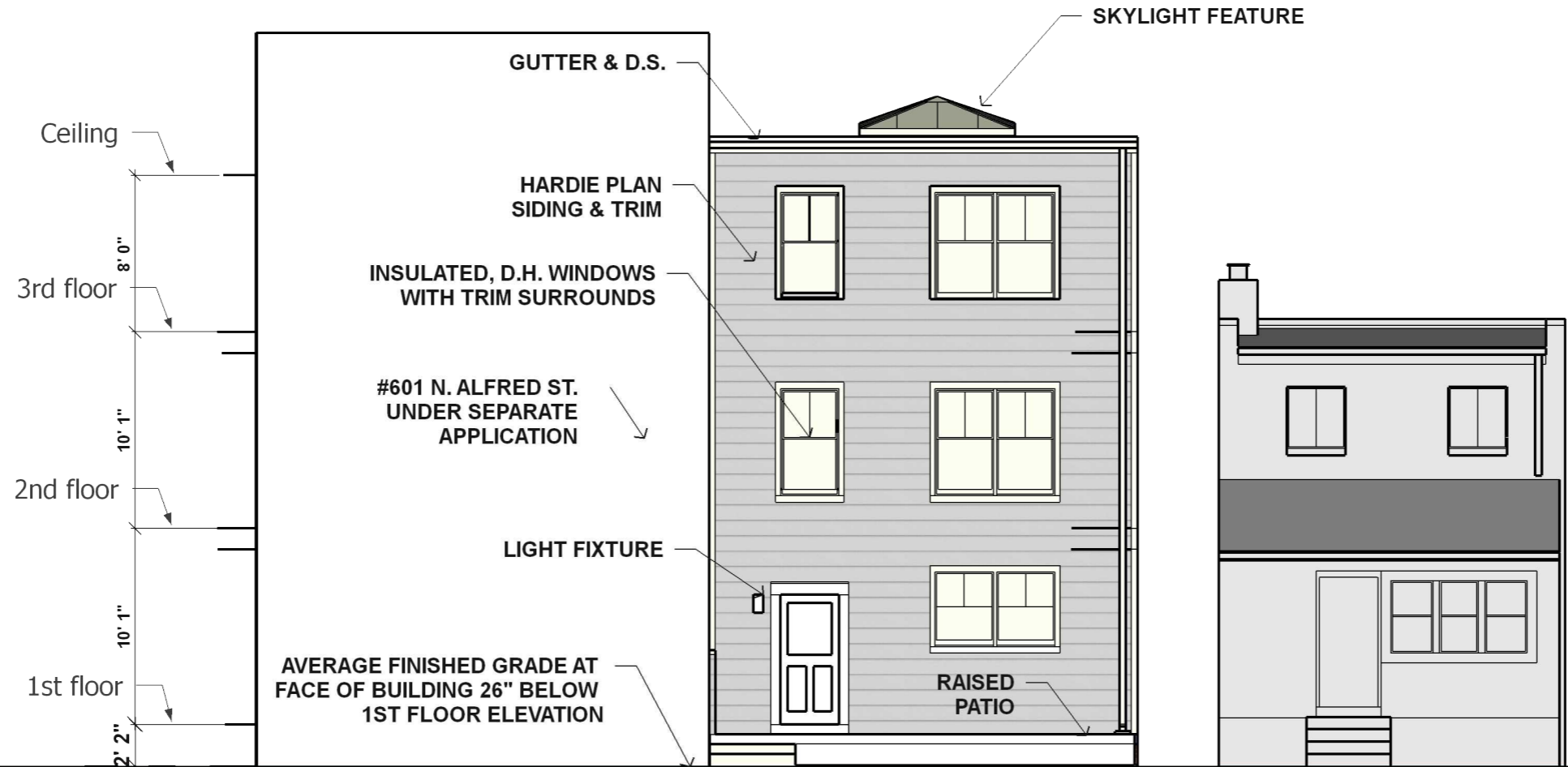
CLIENT  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

PROJECT  
603 N. Alfred St.  
New Residence  
PROJECT NO.

ISSUE  
June 21, 2017  
DRAWN BY

Building Elevations

A6



#601

REAR ELEVATION  
603 N. ALFRED ST.

SCALE: 1/8" = 1'-0"

#605

REVISED 6/26/17  
BAR2017-00213  
603 N. Alfred St  
Application Materials

COMPANY NAME  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



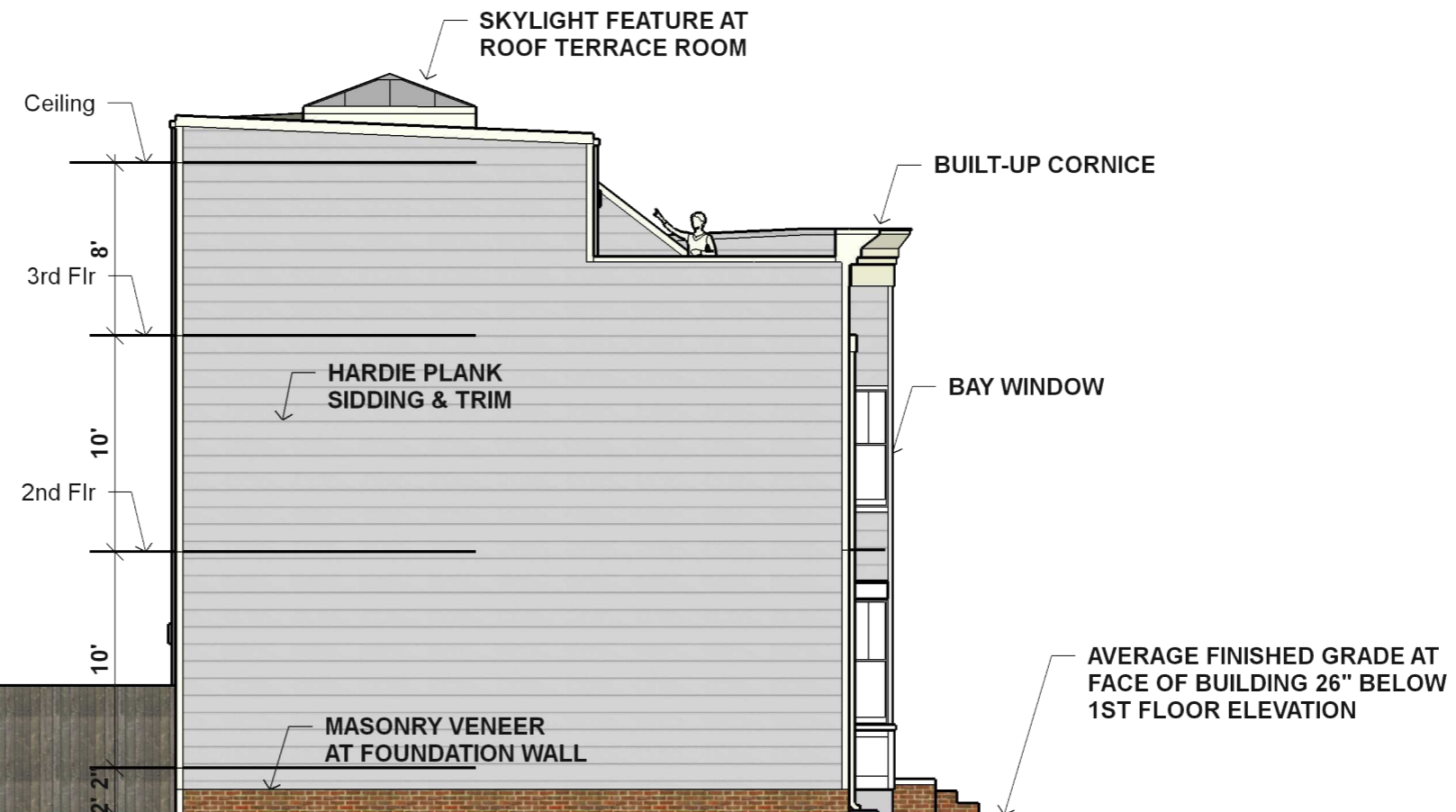
CLIENT  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

PROJECT  
603 N. Alfred St.  
New Residence  
PROJECT NO.

ISSUE  
June 12, 2017  
DRAWN BY

Building Elevations

A7



LEFT SIDE ELEVATION  
603 N. ALFRED ST.  
SCALE: 1/8" = 1'-0"

REVISED 6/26/17  
BAR2017-00213  
603 N. Alfred St  
Application Materials

COMPANY NAME  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



CLIENT  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

PROJECT  
601 & 603 N. Alfred St.  
New Residence

ISSUE  
June 21, 2017

DRAWN BY  
PROJECT NO.

3D Building  
Elevations

A8





REVISED 6/26/17  
 BAR2017-00213  
 603 N. Alfred St  
 Application Materials

**COMPANY NAME**  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



**CLIENT**  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

**PROJECT**  
 601 & 603 N. Alfred St.  
 New Residence  
**PROJECT NO.**

**ISSUE**  
 June 21, 2017  
**DRAWN BY**

3D Building  
 Elevations

**A9**

REVISED 6/26/17  
 BAR2017-00213  
 603 N. Alfred St  
 Application Materials



**COMPANY NAME**  
 The Lieumann Firm, Architects  
 5705 Deer Pond Road  
 Centreville, VA 20120  
 703 589 6994



**CLIENT**  
 Regent Company  
 3082 Spring St.  
 Alexandria, VA 22036

**PROJECT**  
 601 & 603 N. Alfred St.  
 New Residence  
**PROJECT NO.**

**ISSUE**  
 June 21, 2017  
**DRAWN BY**

3D Building  
 Elevations

**A10**

**COMPANY NAME**  
The Lieumann Firm, Architects  
5705 Deer Pond Road  
Centreville, VA 20120  
703 589 6994



Client  
Regent Company  
3082 Spring St.  
Alexandria, VA 22036

**PROJECT**  
601 & 603 N. Alfred St.  
New Residence

ISSUE  
June 21, 2017

1  
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# 3D Building Elevations

## A11



REVISED  
6/26/17

## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address 603 N. Alfred Street

Zone RB

A2. 1914 gsf

x 0.75

= 1,435 gsf

Total Lot Area

Floor Area Ratio Allowed by Zone

Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	N/A	Basement**	N/A
First Floor	N/A	Stairways**	N/A
Second Floor	N/A	Mechanical**	N/A
Third Floor	N/A	Other**	N/A
Porches/ Other	N/A	Total Exclusions	
<b>Total Gross *</b>	<b>N/A</b>		

B1. Existing Gross Floor Area \*  
N/A Sq. Ft.

B2. Allowable Floor Exclusions\*\*  
N/A Sq. Ft.

B3. Existing Floor Area minus Exclusions  
N/A Sq. Ft.  
(subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1,022	Basement**	1022
First Floor	705	Stairways**	242
Second Floor	700	Mechanical**	0
Third Floor	432	Other**	232
Porches/ Other		Total Exclusions	1496
<b>Total Gross *</b>	<b>2,859</b>		

C1. Proposed Gross Floor Area \*  
2,895 Sq. Ft.

C2. Allowable Floor Exclusions\*\*  
1,496 Sq. Ft.

C3. Proposed Floor Area minus Exclusions  
1,399 Sq. Ft.  
(subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,399 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 1,435 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	N/A
Required Open Space	800
Proposed Open Space	800

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

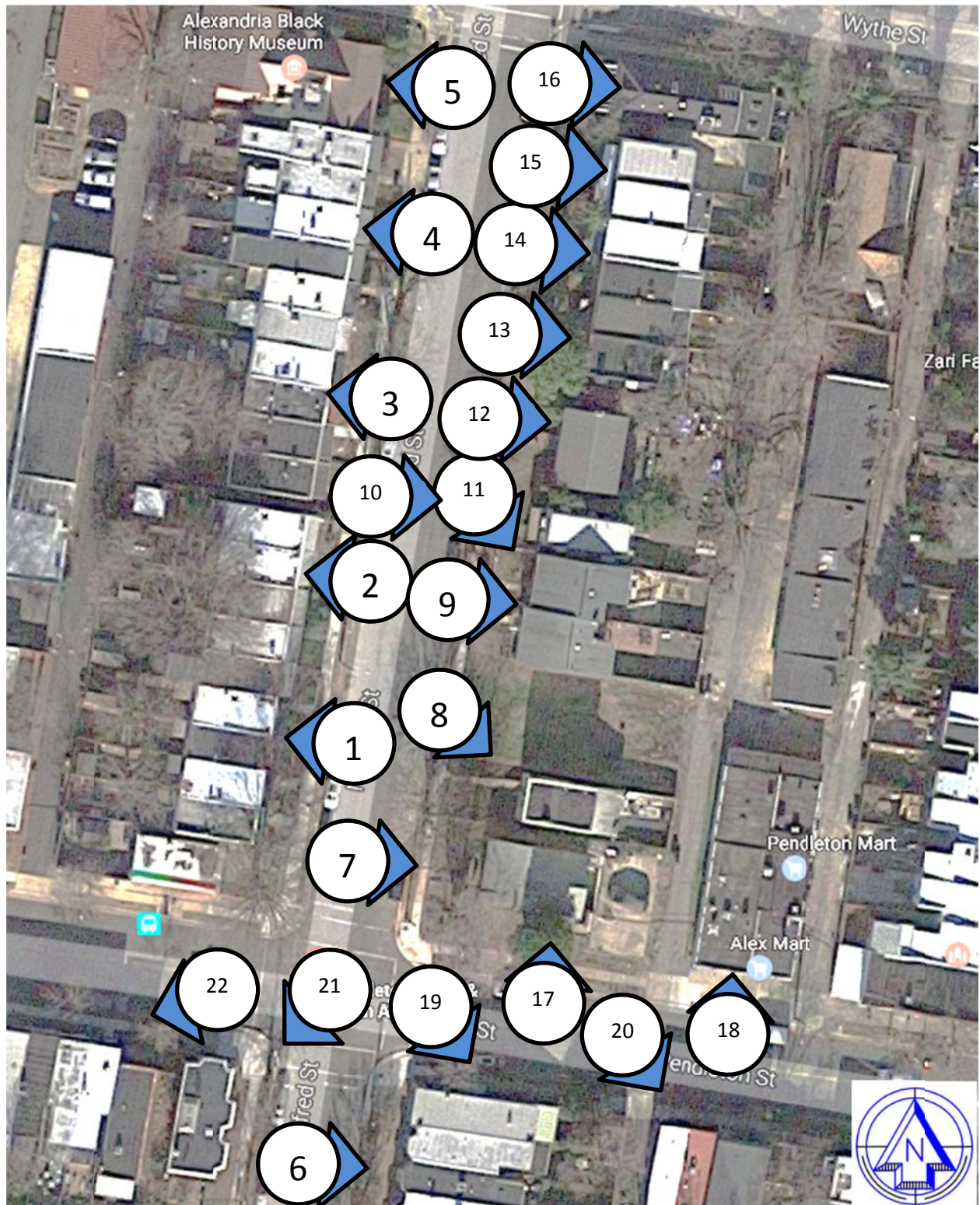
Signature: [Signature]

Date: 6/26/2017

Updated July 10, 2008

# Street Views Key (N. Alfred St. and Pendleton Street)

BAR2017-00213  
603 N. Alfred St  
Application Materials



**Street Views Key (N. Alfred St. and Pendleton Street)**

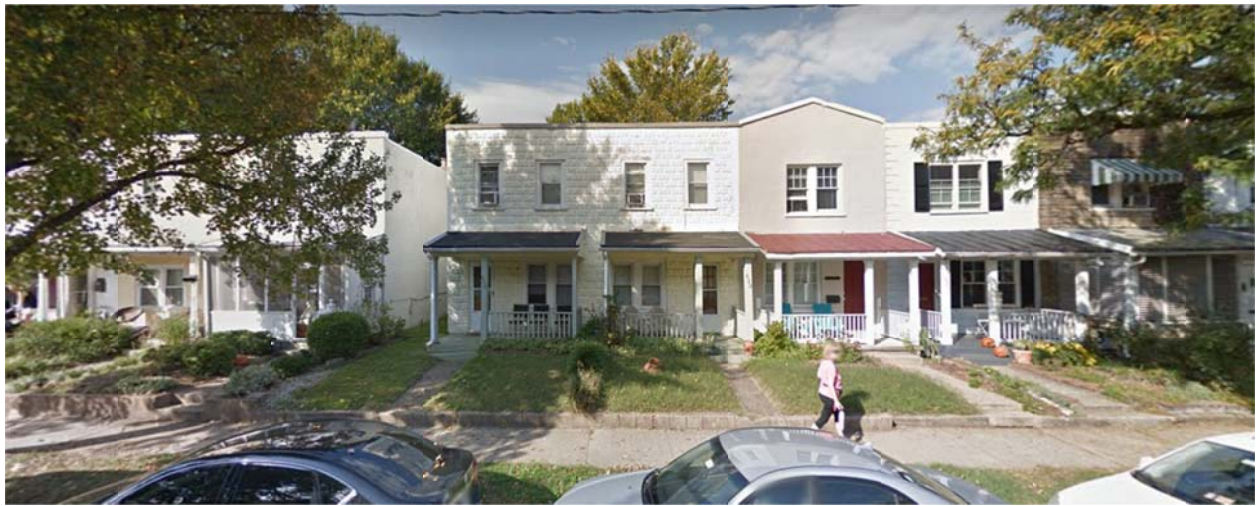
BAR2017-00213  
603 N. Alfred St  
Application Materials



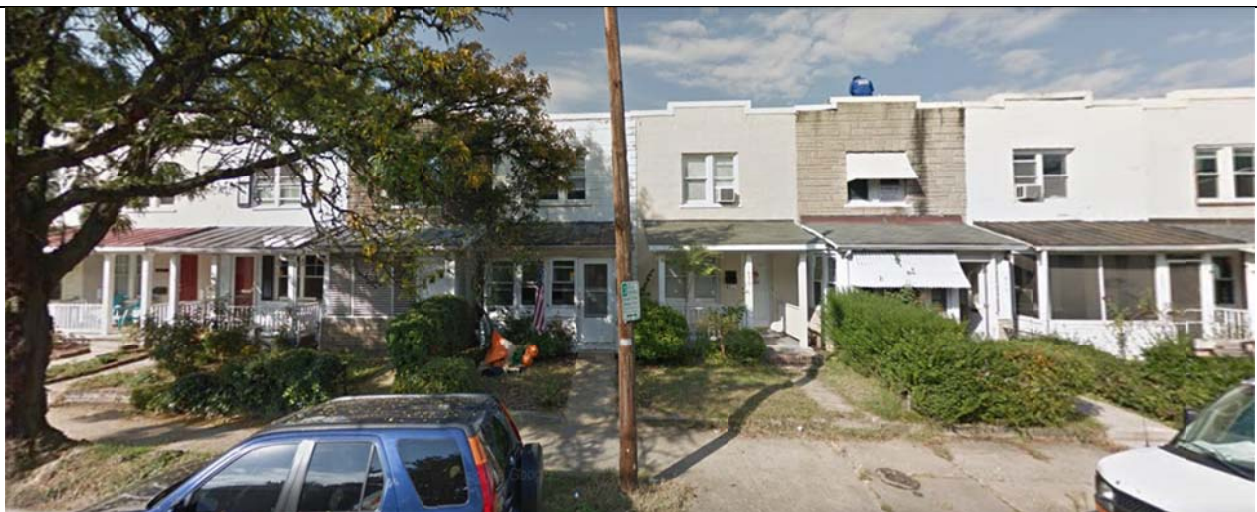
WEST VIEW POINT 1



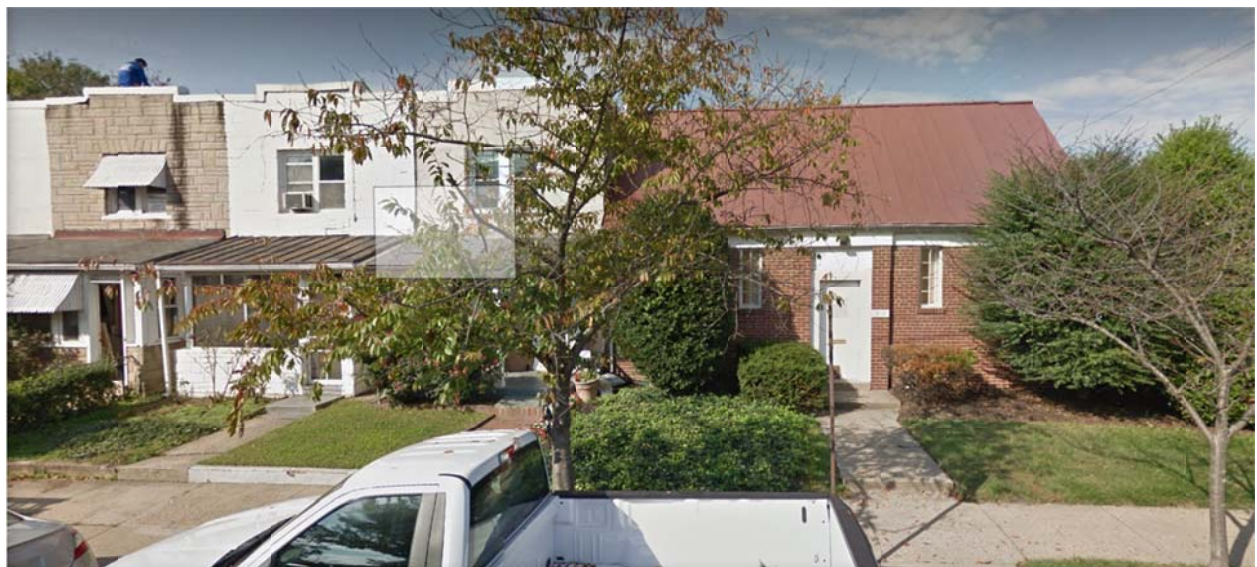
WEST VIEW POINT 2



WEST VIEW POINT 3

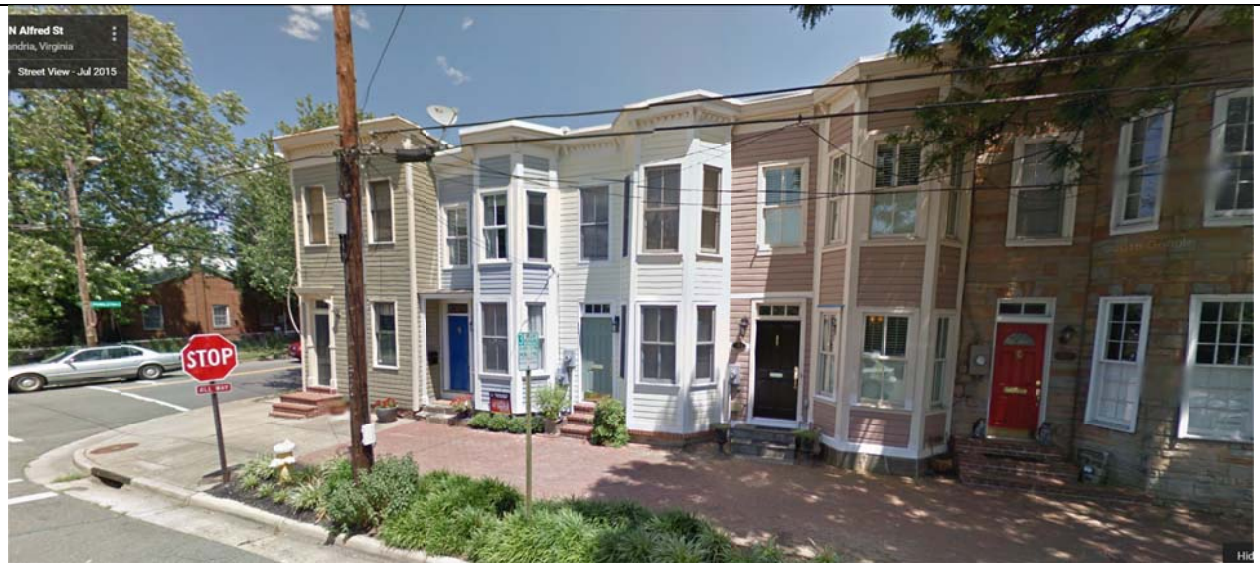


WEST VIEW POINT 4



WEST VIEW POINT 5

BAR2017-00213  
603 N. Alfred St  
Application Materials

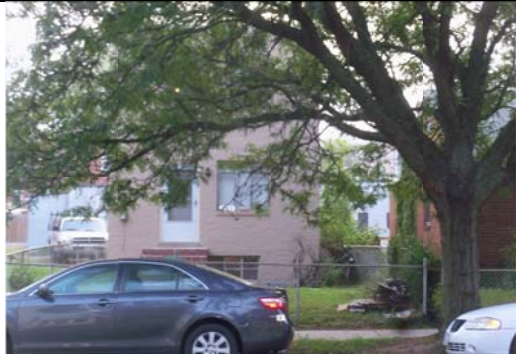


EAST VIEW POINT 6



EAST VIEW POINT 7

BAR2017-00213  
603 N. Alfred St  
Application Materials



EAST VIEW POINT 8



EAST VIEW POINT 9



EAST VIEW POINT 10



EAST VIEW POINT 11



EAST VIEW POINT 12



EAST VIEW POINT 13



EAST VIEW POINT 14



EAST VIEW POINT 15



EAST VIEW POINT 16



NORTH VIEW POINT 17



NORTH VIEW POINT 18



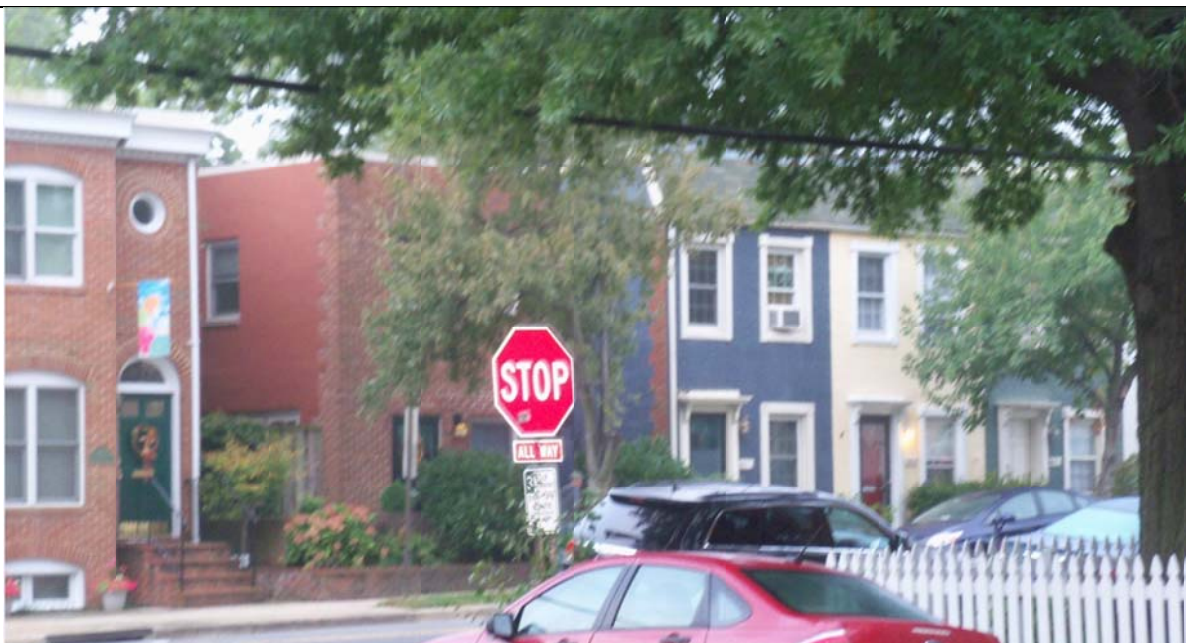
SOUTH EAST VIEW POINT 19



SOUTH EAST VIEW POINT 20



SOUTH WEST VIEW POINT 21



SOUTH WEST VIEW POINT 22

# PROPOSED EXTERIOR MATERIALS

FOR 603 N. ALFRED STREET, ALEXANDRIA, VA

NOTE 1: ALL MATERIAL COLORS AND PAINTS SHALL BE SELECTED BASED ON THE APPROVED COLOR PALETTE FOR THIS HISTORIC DISTRICT AS SET FORTH BY THE CITY OF ALEXANDRIA.

NOTE 2: PRODUCT MATERIALS IDENTIFIED IS TO RELAY OVERALL DESIGN INTENT. ACTUAL PRODUCT MATERIALS SELECTED SHALL COMPLY WITH THE DESIGN INTENT.

## ROOFING

1. ASPHALT SHINGLE ROOFING: MINIMUM 20 YEAR, SELF-SEALING ASPHALT SHINGLES AS MANUFACTURED BY CERTAINTEED FROM MAUNFACTURER'S STANDARD AT WEBLINK  
[WWW.CERTAINTEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#](http://WWW.CERTAINTEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#)
2. SINGLE-PLY MEMBRANE ROOFING SYSTEM (BALLASTED, FULLY ADHERED, MECHANICALLY FASTENED) AS MANUFACTURED BY GAF; WEBLINK AT  
[WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE\\_PLY\\_ROOFING](http://WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE_PLY_ROOFING)
3. ROOF TERRACE WALKING SURFACE  
SHALL BE TREX FLOOR PLANKS ON BUILT-UP PRESSURE-TREATED 2"X DRAINAGE FLOOR; OVER SINGLE-PLY MEMBRANE DRAIN SURFACE WITH

## ROOF GUTTER

GUTTERS: PRE-FINISHED ALUMINUM EXTRUDED BOX PROFILE WITH MATED, RECTANGULAR DOWNSPOUTS; PRE-CAST CONCRETE SPLASH BLOCKS.

## WINDOWS

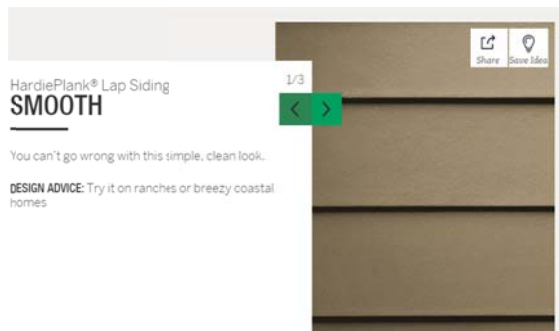
2 OVER 1 LITES, JELD-WEN'S SITELINE EX WOOD CLAD DOUBLE HUNG GLASS UNITS, LOW E, INSULATED GLASS, NO GRILLES, 4-9/16" OR 6-9/16" JAMBS, FULL INSECT SCREENS, BY JELD-WEN, OR EQUAL. GLAZING SHALL BE CLEAR, INSULATED (REFLECTIVE/ TINTED GLAZING PROHIBITED).

## EXTERIOR BUILDING TRIM AND WINDOW/ DOOR HEADER TRIM

- BUILDING TRIM SHALL MATCH THE MATERIAL OF THE LAP SIDING.
- HEADER TRIM- BUILT-UP 1"X SHEET TRIM WITH 1"X HEAD CAP



## PERIMETER WALLS- BUILDING FRONT, SIDE AND REAR

1. HARDIE PLANK 4" LAP SIDING AS MANUFACTURED BY JAMES HARDIE OR APPROVED EQUAL. SMOOTH TEXTURE, PAINTED WITH MATED TRIM; WEBLINK AT [HTTPS://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING](https://www.jameshardie.com/products/hardieplank-lap-siding).






## BRICK MASONRY

BRICK MASONRY TO BE COMPATIBLE WITH PERIOD BRICK SELECTED SIMILAR TO MONTICELLO @ [HTTP://WWW.OLDVIRGINIABRICK.COM/BRICK/WOOD\\_MOULDED.HTML](http://www.oldvirginiabrick.com/brick/wood_moulded.html) OR BORDEAUX @ [WWW.NASHBRICK.COM/STYLES.HTML](http://www.nashbrick.com/styles.html), OR APPROVED EQUAL.

BORDEAUX	MONTICELLO
	

## EXTERIOR DOORS

<u>FRONT ENTRY DOOR</u> 4 PANEL WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS OR APPROVED EQUAL	<u>REAR ENTRY DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL	<u>ROOF TERRACE RM DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL.
	 <b>MODEL #5021</b>	 <b>MODEL #5021</b>

FRONT ENTRY

QUOIZEL CCR8406CU COPPER BRONZE  
CHANCELLOR 1 LIGHT 12" TALL  
OUTDOOR WALL SCONCE WITH CLEAR  
GLASS

[http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Sconce-with-Clear-Glass/p2243328?source=crt0\\_2243328\\_outdoorlightingwallsconces\\_sho](http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Sconce-with-Clear-Glass/p2243328?source=crt0_2243328_outdoorlightingwallsconces_sho)



REAR ENTRY

QUOIZEL CAR8406AC AGED COPPER  
CARLETON 1 LIGHT 12" TALL OUTDOOR  
WALL SCONCE WITH CLEAR GLASS

[http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item\\_page.rr1~ClickCP~Quoizel~quoizelcar8406](http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8406)



ROOF TERRACE

QUOIZEL CAR8728AC AGED COPPER  
CARLETON 1 LIGHT 18" TALL OUTDOOR  
WALL SCONCE WITH CLEAR GLASS

[http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item\\_page.rr1~ClickCP~Quoizel~quoizelcar8728](http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8728)



HVAC EQUIPMENT

- I. SPLIT SYSTEMS
- II. LOCATION: ROOFTOP CONDENSERS ON FLAT HOUSEKEEPING PADS/  
GENTLY SLOPING ROOFS; AIR HANDLERS IN BUILDING INTERIOR.

BAR Case #

603 N. Alfred St

Application Materials

ADDRESS OF PROJECT: 603 N. ALFRED STREET  
 TAX MAP AND PARCEL: 054-04-13-22 ZONING: RB

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
 (Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)Name: 603 N. ALFRED ST., L.L.C.Address: 3208 SPRING DRIVECity: ALEXANDRIA State: VA Zip: 22306Phone: 703/768-8437 E-mail: KSDJR@REGENTCOMPANY.COMAuthorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ \_\_\_\_\_Name: DR. BILL LIEUPhone: 702/589-6994E-mail: BLIEU@LIEUMANN.COM

Legal Property Owner:

Name: ABATE ABEDECH DEMESSIE, DEBBIE KALEB FIKRUAddress: 603 N. ALFRED ST. # ABRAHAM TIRUNESCity: ALEXANDRIA State: VA Zip: 22314

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ **NEW CONSTRUCTION**
- ☐ **EXTERIOR ALTERATION:** *Please check all that apply.*
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☐ **ADDITION**
- ☐ **DEMOLITION/ENCAPSULATION**
- ☐ **SIGNAGE**

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

It is proposed that a new single family residence be built on Lot 33, designated street address as 603 N. Alfred Street. The new residence shall be a 2 story with walk-up basement, and roof terrace room with an open roof terrace fronting N. Alfred Street. See attached plans and elevations with this submission package.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ **N/A**
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**BAR Case #**

603 N. Alfred St

Application Materials

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Date: 6/12/2017

**OWNERSHIP AND DISCLOSURE STATEMENT**  
Use additional sheets if necessary

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**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. PRESENT COMPANY, LLC	3208 SPRING ST. ALEXANDRIA, VA 22306	40%
2. KELLI STORBE	6517 SARA ALICE CT BURKE, VA	15%
3. LIFETIME CONSTRUCTION, LLC	23547 EVERGREEN RD ALDIE, VA 20125	45%

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 603 N. ALFRED ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ABATE ABE BECH DEMEESIE	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
2. DEBBIE KALEB FIKRU	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
3. ABRAHAM TIRWES	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

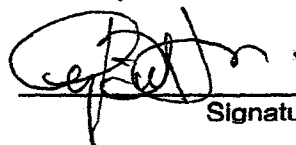
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/12/2017  
Date

DY EMU WELU  
Printed Name

  
Signature