

Docket Items #6 & #7
BAR CASE # 2017-00212
2017-00213

BAR Meeting
July 26, 2017

ISSUE: New Construction (two houses)

APPLICANT: 601 North Alfred Street, LLC and 603 North Alfred Street, LLC

LOCATION: 601 and 603 North Alfred Street

ZONE: RB / Residential

BOARD ACTION: Deferred, 7-0

On a motion by Mr. Spencer, seconded by Mr. Conkey, the Parker-Gray Board of Architectural Review voted to defer BAR Case #2017-00212 and BAR Case #2017-00213. The motion carried on a vote of 7-0.

SPEAKERS

Kahan Dhillon, applicant, spoke in support of the project and responded to questions. Bill Lieu, project architect, gave a brief overview of the proposed project and responded to questions.

BOARD DISCUSSION

The Board had extensive discussion regarding the proposed construction of two semi-detached townhouses. The Board inquired as to how the overall character of the project had been selected and it was noted that several Board members found that a building should be of its own time rather than a historicist reproduction. There are examples around the world of how new construction and historic buildings can coexist compatibly and in harmony. However, it was noted that the proportions of the building did not successfully align with the historic Queen Anne-style townhouses to the south that inspired that particular design approach. It was stated that there was more flexibility in new construction with the detailing but they advised that the detailing should be more contextual.

Regarding, third-story partial additions or “pop-ups”, the Board noted that there have been more requests recently for this type of addition and it is time to have a work session on the topic and develop a policy. Until now, the approach has been to try to hide them and limit the visibility since the designs have not always been quite right. At this corner site, the top floor will be visible from many vantage points so there was uniform concern regarding the visibility of the third floor “pop-ups.” The Board did not have any concerns about the roof decks themselves.

The Board noted that there was general support for the proposed siting and the necessary waivers of the vision clearance and the setback requirements, consistent with the development of the block and neighborhood.

In summary, the following concerns and suggestions to incorporate for restudy were identified:

- Character
- Overall height
- Proportions
- Less historicist character but derive rhythm from block face and historic district
- Third-floor element – how to incorporate and design well (603 N Alfred unit is less successful because of L-shaped top)
- Rear elevations read as flat and need more articulation/to read as a volume
- Provide two fronts for the corner townhouse (Alfred St and Pendleton Street)

REASON

The Board expressed a number of concerns and deferred it for further study, though they noted that the project had the potential to be successful.

STAFF RECOMMENDATION:

Staff recommends approval of the Waiver of the Front yard Setback and Waiver of the Vision Clearance, as well as the height, scale, mass and general architectural character, but recommends restudy of the fenestration and the third floor element.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration ([including signs](#)). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the [Virginia Department of Historic Resources \(VDHR\)](#) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2017-00211 & 213
603 North Alfred Street
BAR #2017-00212
601 North Alfred Street**



Note: Staff has coupled the two cases for new dwellings at 601 and 603 North Alfred Street because they are being conceived as one project and have a shared design approach.

I. ISSUE

The applicant requests approval of two new dwellings which will read as semi-detached townhouses. Each townhouse will be two-stories in height with a smaller third-story element. The third-story element on the corner dwelling (601 North Alfred Street) will be inset, with roof terraces at both the front and side, while the third-story element on the interior townhouse (603 North Alfred Street) will only be set back at the front. Each townhouse will be set back approximately 15 feet from the front property line and have significant two-story projecting bay windows. The townhouses are intended to appear as mirror images of one another similar to historic semi-detached townhouses.

The proposed materials include:

- masonry veneer foundation
- fiber cement siding and trim
- two-over-one, double-hung, simulated divided light Jeld-Wen clad windows
- wood doors (four-panel front, single light with panels for side and roof terrace)
- A six foot solid wood fence at the rear

II. HISTORY

The existing freestanding Colonial Revival brick dwelling at 603 North Alfred Street must be demolished to allow for the construction of two new townhouses. The Board is considering the Permit to Demolish simultaneously with this application (BAR Case #2017-0211) but it is a separate action that must be approved before this case may be approved.

III. ANALYSIS

Pursuant to section 3-706(A)(1) of the zoning ordinance, in the RB zone the proposed new dwellings front *building line* shall be the same as the front *lot line*, “or such other line consistent with the character of the district that the Board of Architectural Review approves.” On this block face, no building is located on the front lot line on either side of the block, and the setbacks range from a few feet to more substantial amounts, such as the 15 feet proposed here. Staff supports the proposed 15 foot setback which is consistent with the setback of the existing dwelling, as it is visually appropriate on this block face and is a good transition between the corner and the adjacent townhouse at 605 North Alfred Street, which is set back an even greater distance from the front property line.

Staff notes that even with the proposed setback, a small portion of the house at 601 North Alfred Street will be located in the vision clearance setback. Staff supports the Waiver of Vision Clearance permitted by Section 7-800 of the Zoning Ordinance, and notes that the new house setback will not compromise pedestrian or vehicular safety at the intersection of Pendleton and North Alfred Streets because of the existing four way stop signs and 66’ right-of-way widths.

As the *Design Guidelines* chapter on New Residential Construction notes, the Board is most concerned with the compatibility of new structures with adjacent and nearby historic buildings. The zoning ordinance sec. 10-205(A) requires compatibility “with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area.” Historically, the Board has supported new but contextual background buildings which “allow historic structures to maintain the primary visual importance.” The *Guidelines* specifically state that “...the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th century while still being compatible with the historic character of the districts.” In evaluating the compatibility of new construction, the Board generally focuses on height, scale, mass and architectural character, while also reviewing material selection, fenestration and architectural detailing on a more micro level.

In staff’s opinion, the proposed new townhouses are consistent with the broader recommendations contained in the *Design Guidelines* for new construction. The approach of a pair of semi-detached townhouses is reflective of historic development patterns found throughout Alexandria. In the immediate blocks there is a clear pattern of two-story, three-bay townhouses, some attached and some detached. The west side of the block features a collection of single-family dwellings as well as mid-century Colonial Revival rowhouses, mostly with flat roofs or pent roofs.

The early 20th -century architectural style of the proposed design (Figure 1) might be described as vaguely Victorian, and they clearly take architectural cues from nearby historic buildings on North Alfred Street (Figure 2).



Figure 1. View looking east toward two new townhouses.



Figure 2. Historic townhouses in the 500 block of North Alfred Street.

Unfortunately, the proportions are not quite what they should be, perhaps due to the unusual 22.5 feet width of the lots. This makes what was historically a more vertically oriented Victorian style common in Old Town appear somewhat squat and awkward when applied here. It is certainly commendable that the applicant looked to the context and references the circa 1900 row of frame townhouses to the south; however, care must be taken to not use an entirely historicist approach for 21st-century construction. The use of 2/1 windows is an interesting approach, and will help differentiate these as new construction since we do not historically have many examples of this window type; however, again, they are best applied for vertical emphasis. The cornice on the front elevation appears heavy, particularly at 601 North Alfred Street, and the windows at both stories need added height to improve the solid-to-void ratio. Because the entrance area has substantial room, the door and entry could be expanded, perhaps with the addition of a simple canopy. Both the door and window on this bay might also benefit from being centered. Staff finds the size and scale of the townhouse to be generally appropriate and not overwhelming to nearby historic properties, but that a careful restudy of proportions and avoiding historicist elements will significantly improve the design with relatively little effort.

While the third-story element does not reflect historic development patterns, such top-story additions, whether constructed as part of the current construction or as a later addition, are gaining in popularity as property owners seek to expand in the only manner allowed by the

zoning ordinance. The townhouses at Old Town Commons to the north feature a “loft-style” fourth floor, which are a direct contrast to the architectural style of the main building block. The Board has also approved requests to add top-story additions or roof decks to historic townhouses, most recently at 920 Pendleton Street, so long as they are well-designed and discreetly visible from a public way.

In this location, the vast preponderance of dwellings in the surrounding blocks are only two stories in height and staff notes that the BAR is under no obligation to approve the size of a building unless it meets the standards for appropriateness with its context, regardless of what is otherwise permitted by the zoning ordinance. However, any limitations on the bulk and mass of a building must have a clear rationale that is uniformly applied throughout the district.

When considering a Certificate of Appropriateness, section 10-205(A)(1) of the zoning ordinance specifically requires the BAR to “determine the compatibility of proposed construction...of buildings or structures within the Parker-Gray District based on compatibility with other buildings or structures *on the same block face, the block face across the public street, or the immediate surrounding area within the district.*” Section 10-205(A)(2) lists the standards the BAR must use in passing upon the appropriateness of this proposal:

- (a) for new buildings and additions to existing buildings:
 - 1) Height of the roofline along the street or public way;
 - 2) Scale and mass of the building on the site;
 - 3) Placement of the building on the site;
 - 4) Material, texture and color;
 - 5) Architectural style where there is a predominant style on the block face; and
 - 6) Architectural details, including signs, subject to public view from the public street or public way.

The BAR has recently had discussions about the appropriate locations for these “pop-up” style rooftop features and informal direction for staff during the recent case at 920 Pendleton was that these could be appropriate in blocks where there was an existing variety of building heights and in mid-block locations but should not be prominently visible from a public way. While the applicant has provided a significant setback of the top floor from the west and south elevations, it is located on the corner and these will be plainly visible from a distance on Pendleton Street. At the James Bland redevelopment, the Board spent considerable time debating whether the rooftop element should seek to blend with the building below or be distinct and appear to be a later addition. Many feel that the result at that project was not particularly successful and that those buildings should have been an architecturally honest four stories tall rather than pretending that a lower cornice made them feel smaller. Staff seeks further direction from the BAR about the precedent setting potential for this type of rooftop addition on historic dwellings and whether this is an appropriate prototype for new construction.

As the Board is aware, the Parker-Gray Residential Reference Guide (RRG) permits a wide range of high-quality modern materials for new buildings. Staff notes that the window material (clad wood), siding and trim are all consistent with the RRG. While staff supports the use of

wood doors on the new townhouses, the RRG permits a greater pallet of materials, which staff would support in this location.

In summary, staff recommends approval of the height, scale, mass and general architectural character, as well as the requested waivers, but recommends restudy of the fenestration and the third floor element.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning Comments

- F1 The subject site consists of two recorded lots (since at least January 3, 1949) and continued to exist as two separate lots on one recorded deed. The lots were zoned RM in 1951, then rezoned to RB on March 19, 1963. The lots have remained RB since that time.
- F2 On May 25, 2017, the Department of Planning and Zoning determined that the subject lots, 601 North Alfred Street (Lot 34) and 603 North Alfred Street (Lot 33) are eligible for redevelopment pursuant to section 3-707(B). A single-family dwelling and any accessory structures may be developed on each individual lot that complies with the bulk, open space and parking regulations of the RB zone.
- F3 According to the 1923 subdivision plat, Lot 34 measures 23.17 feet by 87.00 feet and contains approximately 2,016 square feet of lot area. Lot 33 measures 22.00 by 87.00 and contains approximately 1,914 square feet of lot area.
- F4 Per City Code Section 8-1-22(d), the proposed projects require a grading plan(s).
- C-1 Proposed demolition of existing 1-story dwelling and all associated improvements at 603 N Alfred Street (Lot 33 and 34) complies with zoning (BAR2017-00211).
- C-2 Pursuant to section 3-706(A)(1), the proposed new dwellings front building line shall be the same as the front lot line or such other line consistent with the character of the district that the board of architectural review approves. The Board of Architectural Review (BAR) will need to make that determination.
- C-3 Proposed dwellings comply with the bulk, open space and parking regulations of the RB zone (BAR2017-00212 and BAR2017-00213).
- C-4 Proposed roof top terraces must remain open (BAR2017-00212 and BAR2017-00213).
- C-5 Vision clearance waiver is required for 601 N Alfred (BAR2017-00212); section 7-802.

Code Administration

C-1 A building permit, plan review and inspections are required for new construction.

Transportation and Environmental Services

R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F1. An approved grading plan is required for the proposed development. (T&ES)

F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

- C7. Any redevelopment shall comply with Section 5-6-224 (d) of the City Code regarding grading plan requirements. (T&ES)
- C8. Any future development/redevelopment on the lots shall provide adequate storm water outfall per the requirements of Articles XI and XIII of Alexandria Zoning Ordinance. (T&ES)
- C9. The development and redevelopment of the lots shall not adversely impact the storm water drainage or create a nuisance on the public and private properties. (Sec. 5-6-224) (T&ES)
- C10. Any future development/redevelopment on the shall comply with the requirements of City of Alexandria Zoning Ordinance Article XIII Environmental Management Ordinance and the relevant laws of the Commonwealth of Virginia and the City of Alexandria, as applicable, for storm water management regarding water quality improvement and quantity control at the time of submission of the first final plan. (T&ES)

Alexandria Archaeology

- F-1. A review of historic maps indicates that the lots at 601 and 603 N. Alfred St. remained vacant until the mid-twentieth century. The possibility exists that the vacant land was used by Civil War soldiers for tent camps. Although the property has a low probability to contain significant archaeological sites, out of an abundance of caution we ask the applicant to adhere to two conditions.
- R*1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R*2. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

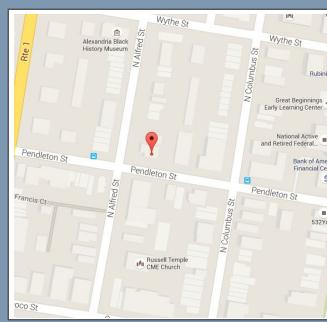
2 – Application for BAR 2017-00212 & 2017-00213: 601 and 603 North Alfred Street

EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016

REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00212
601 N. Alfred St
Application Materials

1607.3043

LOCATION DRAWING

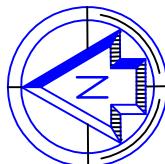
LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

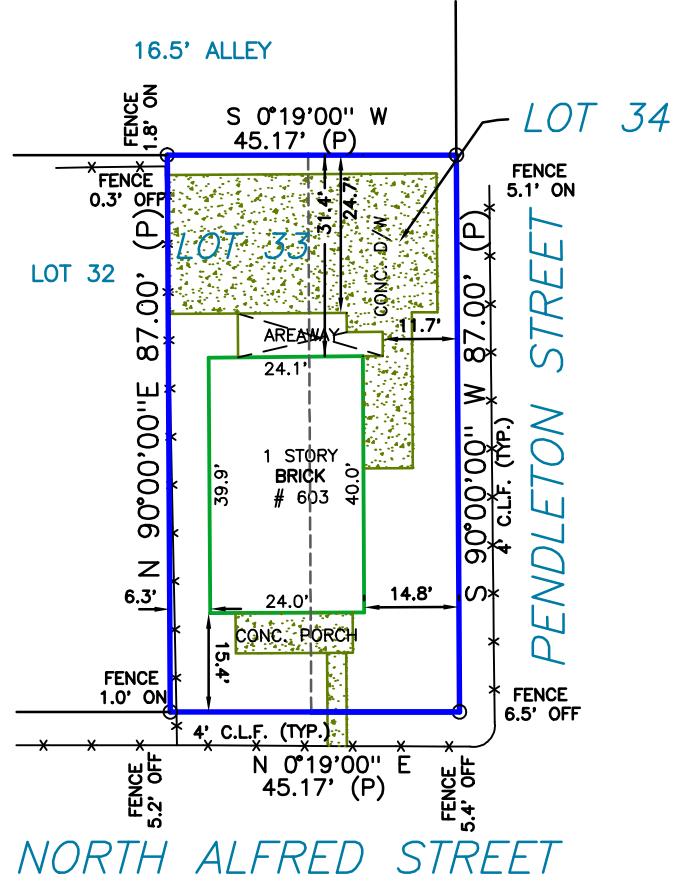
THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

THIS DRAWING HAS BEEN REVISED IN
ORDER TO REMOVE LOT 32 5-11-2017



NOTE - FENCE OWNERSHIP NOT DETERMINED



30 0 15 30
GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

POINTS OF INTEREST:

NONE VISIBLE

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

SELLER:

CERTIFIED TO:
SMART SETTLEMENTS, LLC

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

POWERED BY:

surveystars

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PREPARED BY:

EXACTA
NATIONAL INFORMATION TECHNOLOGY

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00212
601 N. Alfred St
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
- All corners marked as set are iron rebar with a cap.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed.
- The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover.
- Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Additional logos or references to third party firms are for informational purposes only.
- Structures are measured at ground level.
- Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINETYPES: (UNLESS OTHERWISE NOTED)			
	BOUNDARY LINE	ID.	IDENTIFICATION
	STRUCTURE	ILL.	ILLEGIBLE
	CENTERLINE	INST.	INSTRUMENT
	CHAIN-LINK OR WIRE FENCE	INT.	INTERSECTION
	EASEMENT	L.	LENGTH
	EDGE OF WATER	LB#	LICENSE # - BUSINESS
	IRON FENCE	LS#	LICENSE # - SURVEYOR
	OVERHEAD LINES	(M)	MEASURED
	SURVEY TIE LINE	M.B.	MAP BOOK
	WALL OR PARTY WALL	M.E.S.	MITERED END SECTION
	WOOD FENCE	M.F.	METAL FENCE
	VINYL FENCE	N.R.	NON RADIAL
SURFACE TYPES: (UNLESS OTHERWISE NOTED)		N.T.S.	NOT TO SCALE
	ASPHALT	O.C.S.	ON CONCRETE SLAB
	BRICK OR TILE	O.G.	ON GROUND
	CONCRETE	OFF	OUTSIDE OF SUBJECT PARCEL
	COVERED AREA	O/H.	OVERHANG
	WATER	O/S	OFFSET
	WOOD	(P)	PLAT
SYMBOLS: (UNLESS OTHERWISE NOTED)		P.B.	PLAT BOOK
	BENCH MARK	P.C.	POINT OF CURVATURE
	CENTERLINE	P.C.P.	POINT OF COMPOUND CURVATURE
	CENTRAL ANGLE OR DELTA	P/E	POOL EQUIPMENT
	COMMON OWNERSHIP	P.G.	PAGE
	CONTROL POINT	P.I.	POINT OF INTERSECTION
	CONCRETE MONUMENT	P.L.	PROFESSIONAL LAND SURVEYOR
	CATCH BASIN	PLT.	PLANTED
	ELEVATION	P.O.B.	POINT OF BEGINNING
	 FIRE HYDRANT	P.O.C.	POINT OF COMMENCEMENT
	FND OR SET MONUMENT	P.P.	PINCHED POPE
	GUYWIRE OR ANCHOR	P.R.C.	POINT OF REVERSE CURVATURE
	MANHOLE	P.R.M.	PERMANENT REFERENCE MONUMENT
	TREE	PSM	PROFESSIONAL SURVEYOR AND MAPPER
	UTILITY OR LIGHT POLE	P.T.	POINT OF TANGENCY
	WELL	R.	RADIUS OR RADIAL
PRINTING INSTRUCTIONS:		(R)	RECORD
1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.		RGE.	RANGE
2. Select a printer with legal sized paper.		RES.	RESIDENCE
3. Under "Print Range", click select the "All" toggle.		R/W.	RIGHT OF WAY
4. Under the "Page Handling" section, select the number of copies that you would like to print.		(S)	SURVEY
5. Under the "Page Scaling" selection drop down menu, select "None."		S.B.L.	SET BACK LINE
6. Uncheck the "Auto Rotate and Center" checkbox.		S.C.L.	SURVEY CLOSURE LINE
7. Check the "Choose Paper size by PDF" checkbox.		SCR.	SCREEN
TO PRINT IN BLACK + WHITE:			
1. In the main print screen, choose "Properties".			
2. Choose "Quality" from the options.			
3. Change from "Auto Color" or "Full Color" to "Gray Scale".			

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>

To Electronically Sign any survey PDF:

- Save the PDF onto your computer.
- Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
- Select the Hash Method as SHA.
- Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK + WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.



OFFER IS ONLY VALID FOR THIS PROPERTY AND BUYER AS LISTED ON THE FIRST PAGE OF THIS SURVEY



To Whom It May Concern:

The regulations of the Virginia Board of Architects, Professional Engineers, Land Surveyors and certified landscape architects require that when a land surveyor performs a physical improvements survey (house location) for mortgage purposes, he shall also perform a boundary survey of the property and set permanent corner monumentation. This is required even though a boundary survey may have been previously performed on the property.

However, the law further provides that the prospective mortgagor (or his legal agent) may agree in writing to waive the regulatory requirement for the said boundary survey and the placing of the corner monumentation in connection with the survey needed for mortgage purposes.

Accordingly, please be advised that I/we do hereby agree to waive the herein referenced regulatory requirements of the Virginia Board for the performance of a boundary survey and for the placing of the corner monumentation in connection with the physical improvements survey which I/we need at this time for mortgage purposes. By agreeing to this waiver, it is understood that I/we am/are not waiving or surrendering any property rights.

Date

.....
Buyer Name Printed

.....
Buyer Signature

PROPERTY ADDRESS

603 N ALFRED STREET
ALEXANDRIA, VIRGINIA 22314

JOB NO: 1607.3043

LEGAL DESCRIPTION

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

CLIENT NAME

SMART SETTLEMENTS, LLC FAIRFAX

To be completed if above waiver is not executed:

I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date

.....
Buyer Name Printed

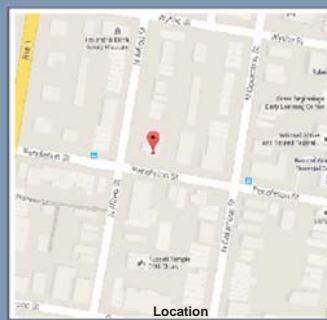
.....
Buyer Signature

EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016 REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00212
601 N. Alfred St
Application Materials

1607.3043

LOCATION DRAWING

LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

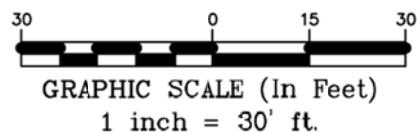
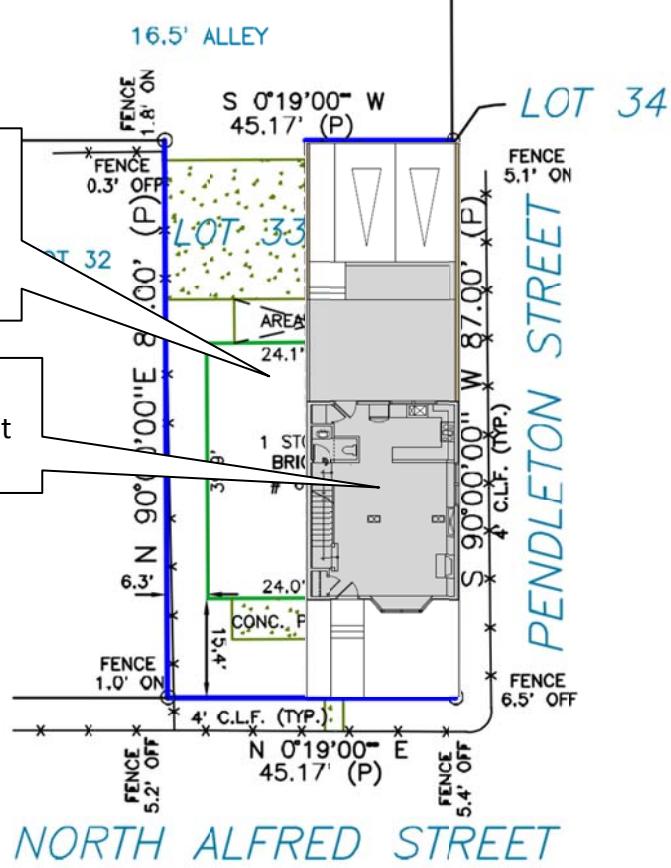
THIS DRAWING HAS BEEN REVISED IN
ORDER TO REMOVE LOT 32 5-11-2017



Work associated with
demolition of existing
house is under
separate application

New Residence
601 N. Alfred Street
Alexandria, VA

NOTE - FENCE OWNERSHIP NOT DETERMINED



POINTS OF INTEREST:

NONE VISIBLE

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

SELLER:

CERTIFIED TO: SMART SETTLEMENTS, LLC

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

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PREPARED BY:

EXACTA

NATIONAL INFORMATION TECHNOLOGY

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00212
601 N. Alfred St
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
- All corners marked as set are iron rebar with a cap.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Additional logos or references to third party firms are for informational purposes only.
- Structures are measured at ground level.
- Points of interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINETYPE: (UNLESS OTHERWISE NOTED)							
BOUNDARY LINE	B.R.	AIR CONDITIONING	ID.	IDENTIFICATION	SEC.	SECTION	
STRUCTURE	B.C.	BEARING REFERENCE	ILL.	ILLEGIBLE	SEP.	SEPTIC TANK	
CENTERLINE	B.F.P.	BLOCK CORNER	INST.	INSTRUMENT	SEW.	SEWER	
CHAIN LINK or WIRE FENCE	BLK.	BLOCKFLOW PREVENTOR	INT.	INTERSECTION	S/GD	SET GLUE DISC	
EASEMENT	BLDG.	BUILDING	L.	LENGTH	SIRC	SET IRON ROD & CAP	
EDGE OF WATER	B.R.L.	BENCHMARK	L.B.	LICENSE # - BUSINESS	SN&D	SET NAIL & DISC	
IRON FENCE	BSMT.	BUILDING RESTRICTION LINE	L.S.P.	LICENSE # - SURVEYOR	SQ.FT.	SQUARE FEET	
OVERHEAD LINES	B/W	BAY/BOX WINDOW	M.E.S.	MITERED END SECTION	ST.	STORY	
ON - OR - ON	(C)	CALCULATED	M.F.	METAL FENCE	S.T.L.	SURVEY TIE LINE	
SURVEY TIE LINE	C	CURVE	N.R.	NON RADIAL	SV	SEWER VALVE	
WALL OR PARTY WALL	CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE	S/W	SIDEWALK	
WOOD FENCE	C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB	T.BM.	TEMPORARY BENCHMARK	
VINYL FENCE	CHIM.	CHIMNEY	O.G.	ON GROUND	TEL.	TELEPHONE FACILITIES	
	C.L.F.	CHAIN LINK FENCE	OFF.	OUTSIDE OF SUBJECT PARCEL	T.O.B.	TOP OF BANK	
	C.O.	CLEAN OUT	O.H.	OVERHANG	TWP.	TOWNSHIP	
	CONC.	CONCRETE	O.HL.	OVERHEAD LINES	TX	TRANSFORMER	
	COR.	CORNER	ON	INSIDE OF SUBJECT PARCEL	TYP.	TYPICAL	
	CS/W	CONCRETE SIDEWALK	O.R.B.	OFFICIAL RECORD BOOK	U.R.	UTILITY RISER	
	C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME	W/C	WITNESS CORNER	
	C/L	CENTER LINE	O/A	OVERALL	W/F	WATER FILTER	
	C/P	COVERED PORCH	O/S	OFFSET	W.F.	WOODEN FENCE	
	C/S	CONCRETE SLAB	(P)	PLAT	WM	WATER METER/VALVE BOX	
	(D)	DEED	P.B.	PLAT BOOK	WV	WATER VALVE	
	D.F.	DRILL FIELD	P.C.	POINT OF COMPOUND CURVATURE	V.F.	VINYL FENCE	
	D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE			
	D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT			
	ELEV.	ELEVATION	P/E	POOL EQUIPMENT	A.E.	ACCESS EASEMENT	
	ENCL.	ENCLOSURE	P.G.	PAGE	A.N.E.	ANCHOR EASEMENT	
	ENT.	ENTRANCE	P.I.	POINT OF INTERSECTION	C.M.E.	CANAL MAINTENANCE ESMT.	
	EM.	ELECTRIC METER	PLS	PROFESSIONAL LAND SURVEYOR	C.U.E.	COUNTY UTILITY ESMT.	
	F.O.P.	EDGE OF PAVEMENT	PLT	PLANTER	D.E.	DRAINAGE EASEMENT	
	F.O.W.	EDGE OF WATER	P.O.B.	POINT OF BEGINNING	D.U.E.	DRAINAGE AND UTILITY ESMT.	
	(F)	FIELD	P.O.C.	POINT OF COMMENCEMENT	ESMT.	EASEMENT	
	F.CM	FND. CONCRETE MONUMENT	P.R.C.	POINT OF REVERSE CURVATURE	I.E./E.	INGRESS/EGRESS ESMT.	
	F/DH	FOUND DRILL HOLE	P.R.M.	PERMANENT REFERENCE MONUMENT	IRR.E.	IRRIGATION EASEMENT	
	F.F.	FINISHED FLOOR	PSM	PROFESSIONAL SURVEYOR AND	L.A.E.	LIMITED ACCESS ESMT.	
	FIP	FOUND IRON PIPE	MAPPER	MAPPER	L.B.E.	LANDSCAPE BUFFER ESMT.	
	FIPC	FOUND IRON PIPE & CAP			L.E.	LANDSCAPE ESMT.	
	FIR	FOUND IRON ROD	P.T.	POINT OF TANGENCY	L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT	
					M.E.	MAINTENANCE EASEMENT	
					P.U.E.	PUBLIC UTILITY EASEMENT	
					R.O.E.	ROOF OVERHANG ESMT.	
					S.W.E.	SIDEWALK EASEMENT	
					S.W.M.E.	STORM WATER MANAGEMENT EASEMENT	
					T.U.E.	TECHNOLOGICAL UTILITY ESMT.	
					U.E.	UTILITY EASEMENT	

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.ileformat.info/tool/md5sum.htm>.

To Electronically Sign any survey PDF:

- Save the PDF onto your computer.
- Use the online tool at <http://www.ileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
- Select the Hash Method as SHA.
- Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK & WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.





BAR2017-00212
601 N. Alfred St
Application Materials

Contact Us

Phone: 866.735.1916
Fax: 866.744.0882
www.surveystars.com

To Whom It May Concern:

The regulations of the Virginia Board of Architects, Professional Engineers, Land Surveyors and certified landscape architects require that when a land surveyor performs a physical improvements survey (house location) for mortgage purposes, he shall also perform a boundary survey of the property and set permanent corner monumentation. This is required even though a boundary survey may have been previously performed on the property.

However, the law further provides that the prospective mortgagor (or his legal agent) may agree in writing to waive the regulatory requirement for the said boundary survey and the placing of the corner monumentation in connection with the survey needed for mortgage purposes.

Accordingly, please be advised that I/we do hereby agree to waive the herein referenced regulatory requirements of the Virginia Board for the performance of a boundary survey and for the placing of the corner monumentation in connection with the physical improvements survey which I/we need at this time for mortgage purposes. By agreeing to this waiver, it is understood that I/we am/are not waiving or surrendering any property rights.

Date

Buyer Name Printed

Buyer Signature

1607.3043

603 N ALFRED STREET
ALEXANDRIA, VIRGINIA 22314

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

SMART SETTLEMENTS, LLC FAIRFAX

To be completed if above waiver is not executed:

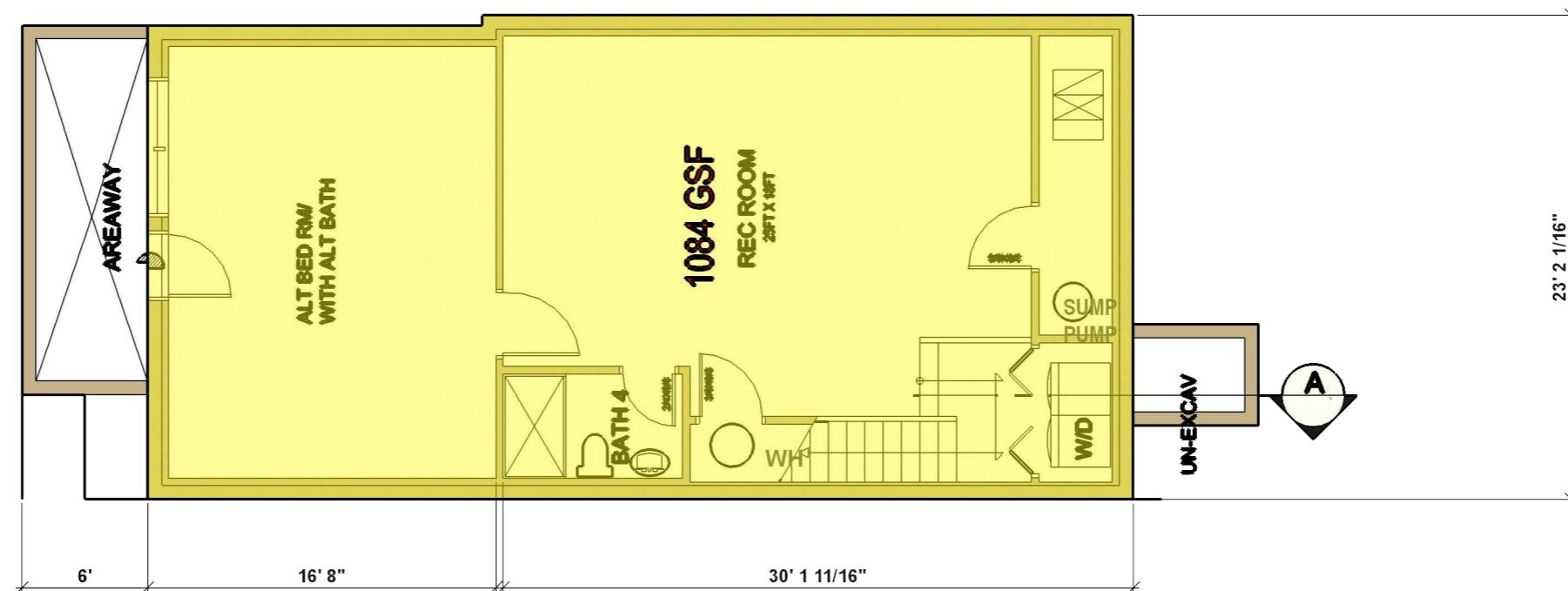
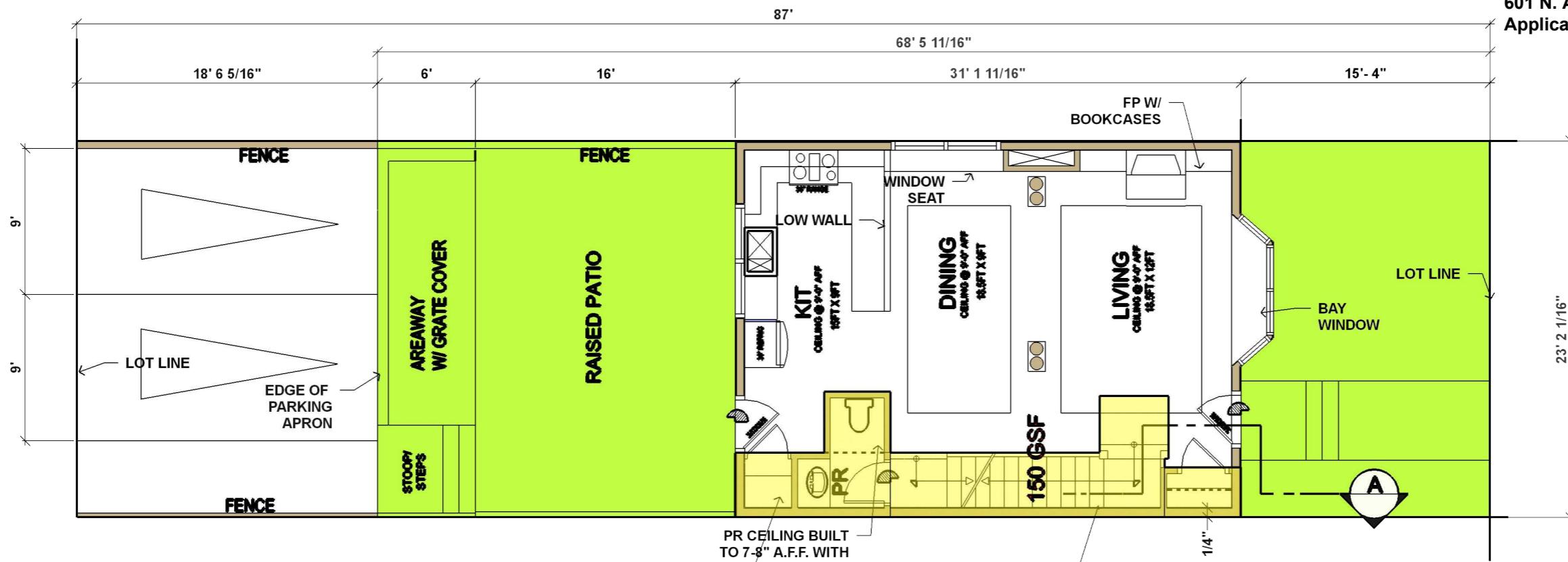
I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date

Buyer Name Printed

Buyer Signature

REVISED 6/26/17
BAR2017-00212
601 N. Alfred St
Application Materials



COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



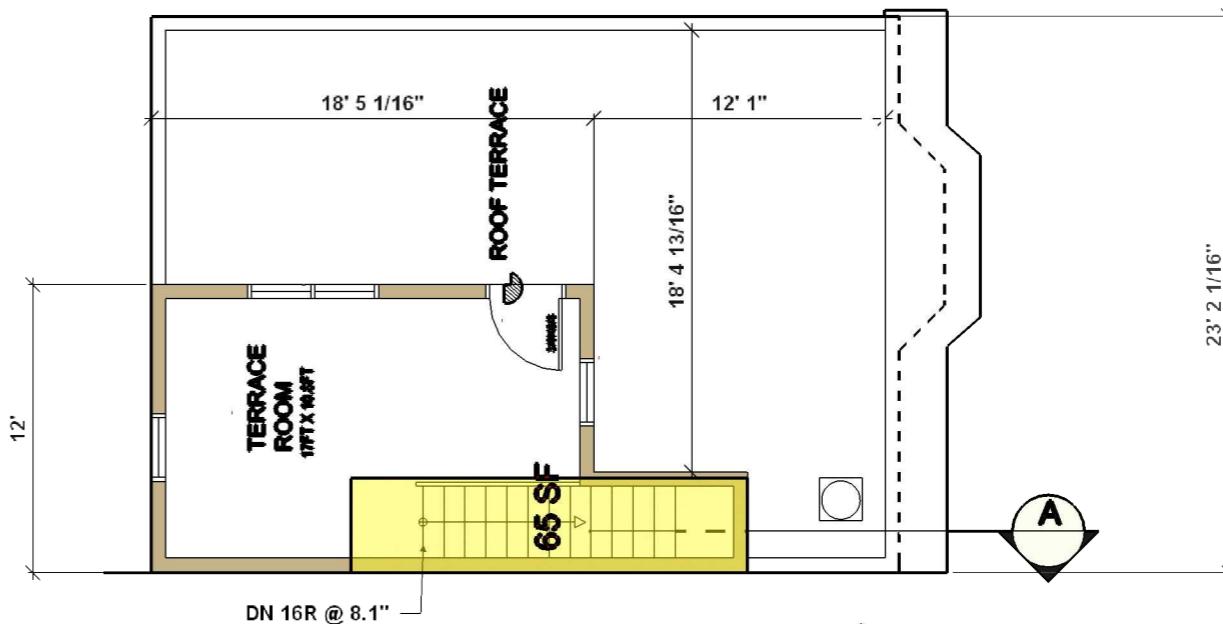
CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 N. Alfred St.
New Residence
DRAWN BY
PROJECT NO.

Basement &
1st Flr Plans

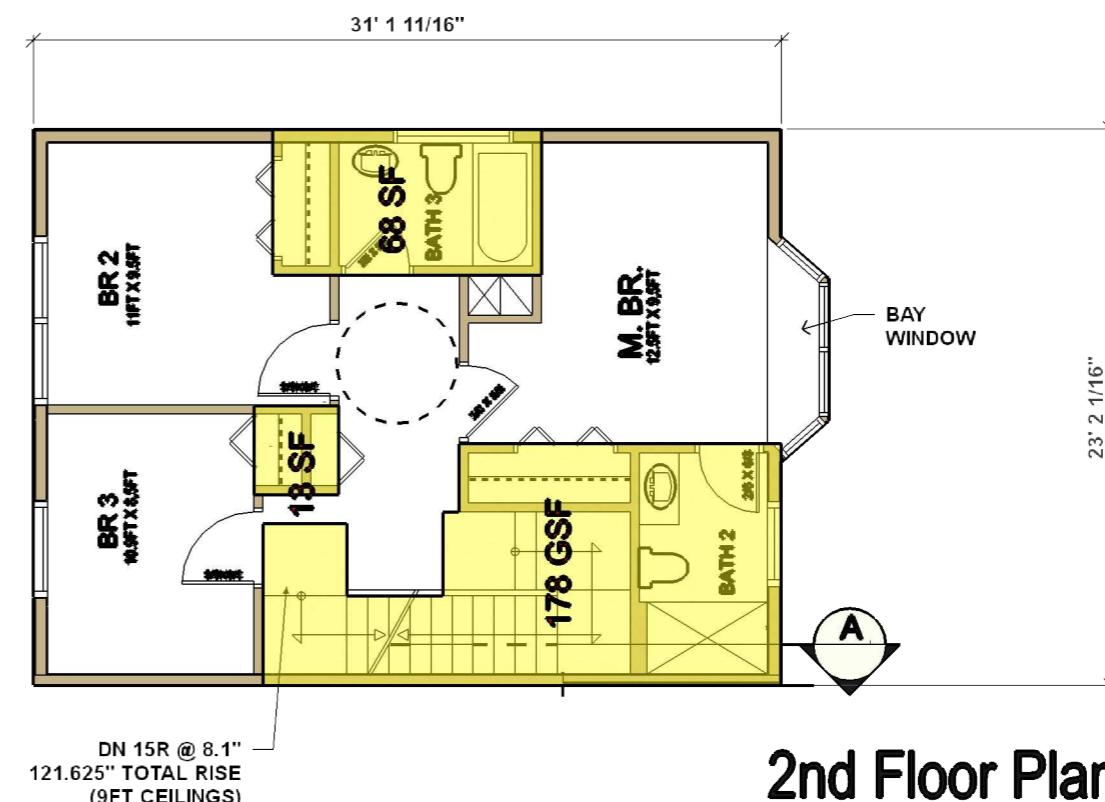
A1

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BAR2017-00212
601 N. Alfred St
Application Materials



Roof Terrace Plan

Scale: 1/8" = 1' - 0"



2nd Floor Plan

Scale: 1/8" = 1' - 0"



**2nd Floor &
Roof Terrace Plans**

A2

COMPANY NAME
The Lieumann Firm, Architects
CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22303
PROJECT NO.
June 21, 2017
601 N. Alfred St.
New Residence
DRAWN BY
PROJECT NO.
703 589 6994



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BAR2017-00212
601 N. Alfred St
Application Materials**

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

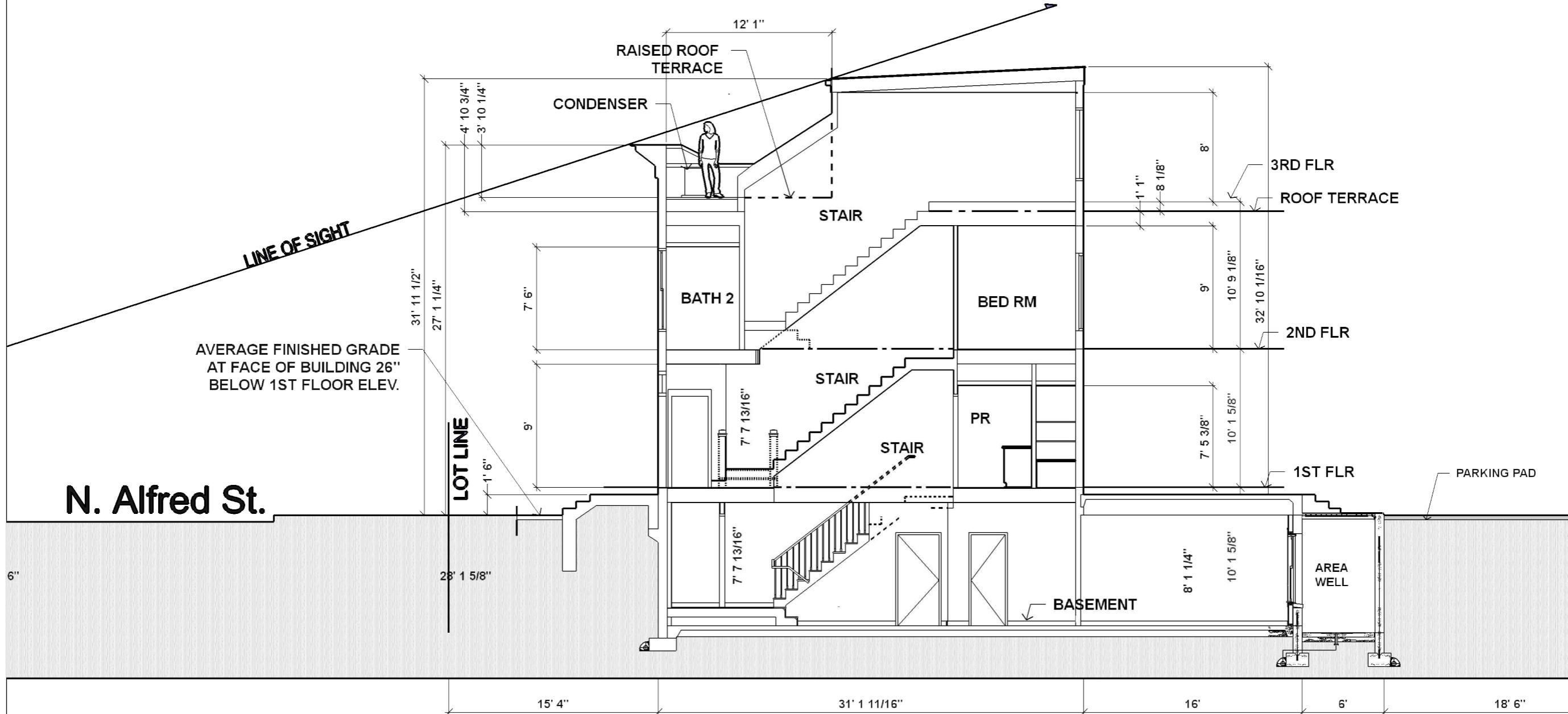


CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22036

ISSUE	PROJECT	PROJECT NO.
June 21, 2017	601 N. Alfred St.	
	New Residence	
DRAWN BY		

Building Section

A3



BUILDING SECTION - A

Scale: 1/8" = 1' - 0"

REVISED 6/26/17
BAR2017-00212
601 N. Alfred St
Application Materials

COMPANY NAME The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT Regent Company
3082 Spring St.
Alexandria, VA 223036

PROJECT	601 N. Alfred St.
ISSUE	New Residence
DRAWN BY	
	June 12, 2017

Building Elevations

A4



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BAR2017-00212
601 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

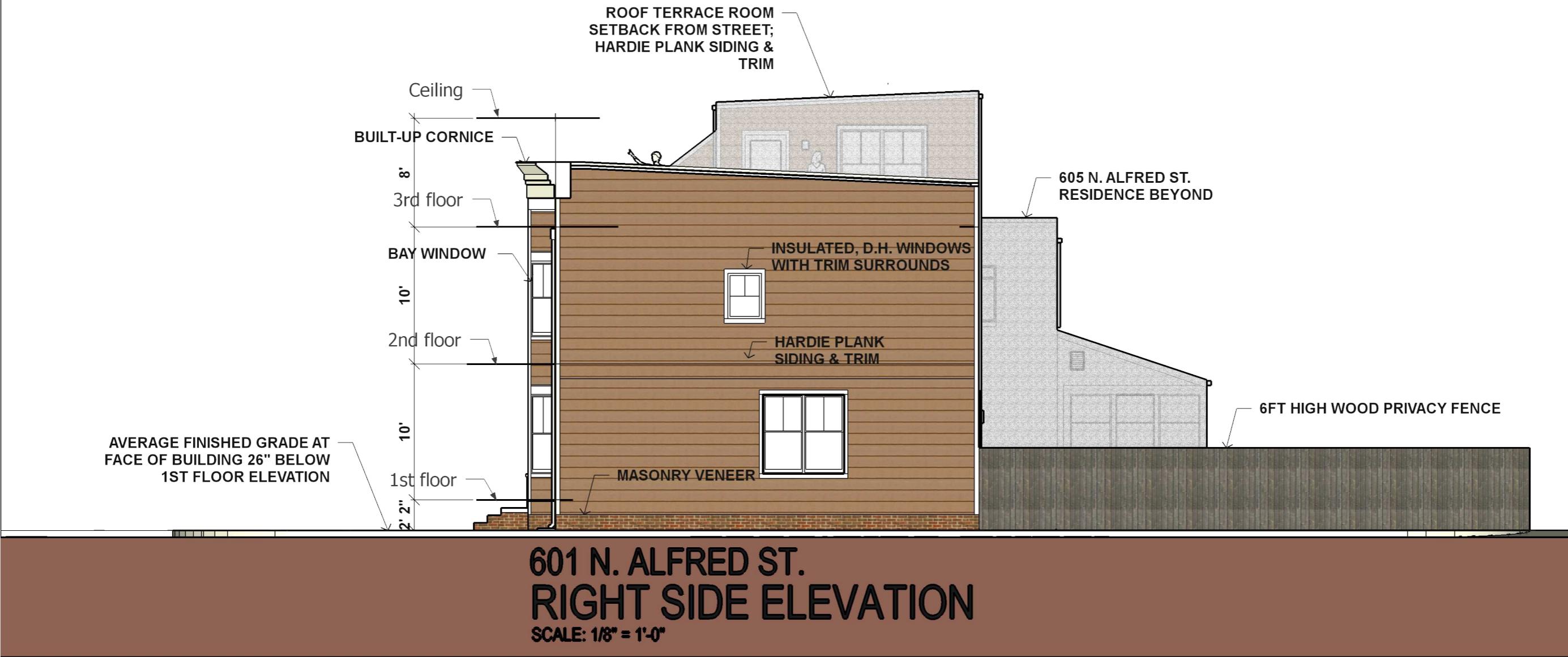


CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 N. Alfred St.
New Residence
PROJECT NO.
DRAWN BY
ISSUE
June 12, 2017

Building Elevations

A5



REVISED 6/26/17
BAR2017-00212
601 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 N. Alfred St.
New Residence
DRAWN BY
ISSUE
June 21, 2017
PROJECT NO.



Building Elevations

A6

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BAR2017-00212
601 N. Alfred St
Application Materials

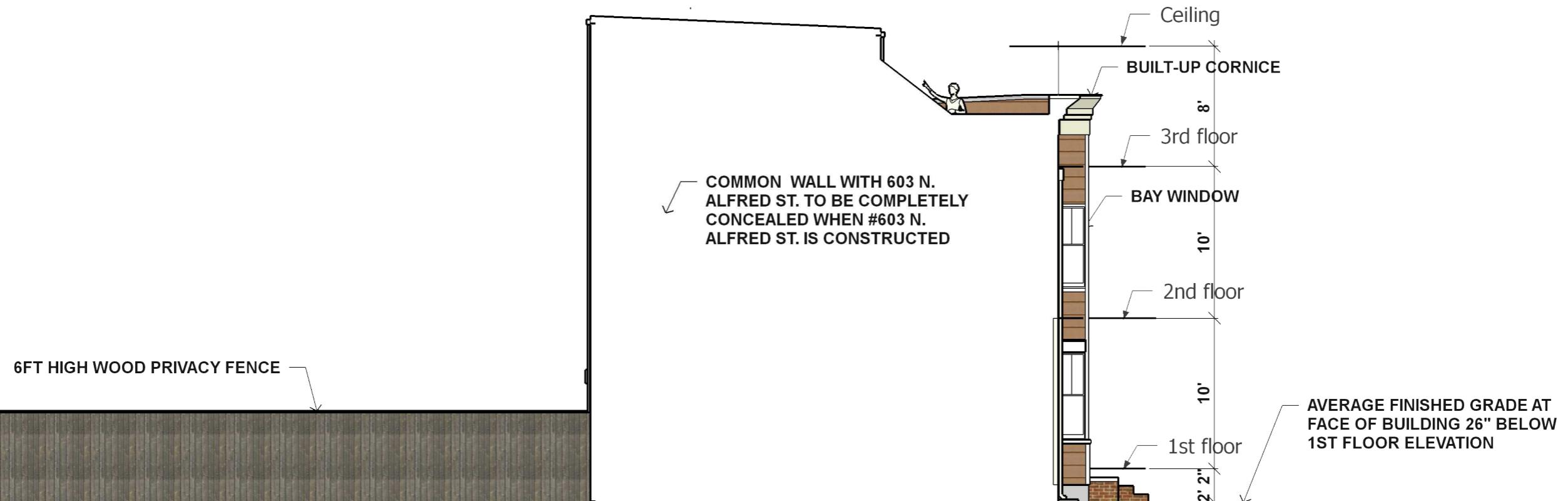
COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 N. Alfred St.
New Residence
PROJECT NO.
A7

Building Elevations

A7



REVISED 6/26/17
BAR2017-00212
601 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22303

PROJECT
601 & 603 N. Alfred St.
New Residence
PROJECT NO.
DRAWN BY
ISSUE
June 21, 2017

3D Building
Elevations

A8





REVISED 6/26/17
BAR2017-00212
601 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 & 603 N. Alfred St.
New Residence
PROJECT NO.
DRAWN BY

ISSUE
June 21, 2017
3D Building
Elevations

A10





3D Building Elevations

A11

PROJECT	601 & 603 N. New Residen	PROJECT NO.
ISSUE	June 21, 2017	
DRAWN BY		

N. Alfred St.
idence

CLIENT Regent Company
3082 Spring St.
Alexandria, VA 22036

COMPANY NAME The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

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REVISED BAR2017-00212

6/26/17 601 N. Alfred St

Application
Materials

DEPARTMENT OF PLANNING AND ZONING

FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property InformationA1. Street Address 601 N. Alfred StreetZone RB

A2. <u>2,016 gsf</u>	<u>x 0.75</u>	<u>= 1,512 gsf</u>
Total Lot Area	Floor Area Ratio Allowed by Zone	Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	N/A	Basement**	N/A
First Floor	N/A	Stairways**	N/A
Second Floor	N/A	Mechanical**	N/A
Third Floor	N/A	Other**	N/A
Porches/ Other	N/A	Total Exclusions	
Total Gross *	N/A		

B1. Existing Gross Floor Area *
N/A Sq. Ft.
B2. Allowable Floor Exclusions**
N/A Sq. Ft.
B3. Existing Floor Area minus Exclusions
N/A Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1,084	Basement**	1,084
First Floor	736	Stairways**	242
Second Floor	736	Mechanical**	0
Third Floor	248	Other**	232
Porches/ Other		Total Exclusions	1,528
Total Gross *	2,804		

C1. Proposed Gross Floor Area *
2,804 Sq. Ft.
C2. Allowable Floor Exclusions**
1,528 Sq. Ft.
C3. Proposed Floor Area minus
Exclusions 1,276 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor AreaD1. Total Floor Area (add B3 and C3) 1,246 Sq. Ft.D2. Total Floor Area Allowed by Zone (A2) 1,512 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

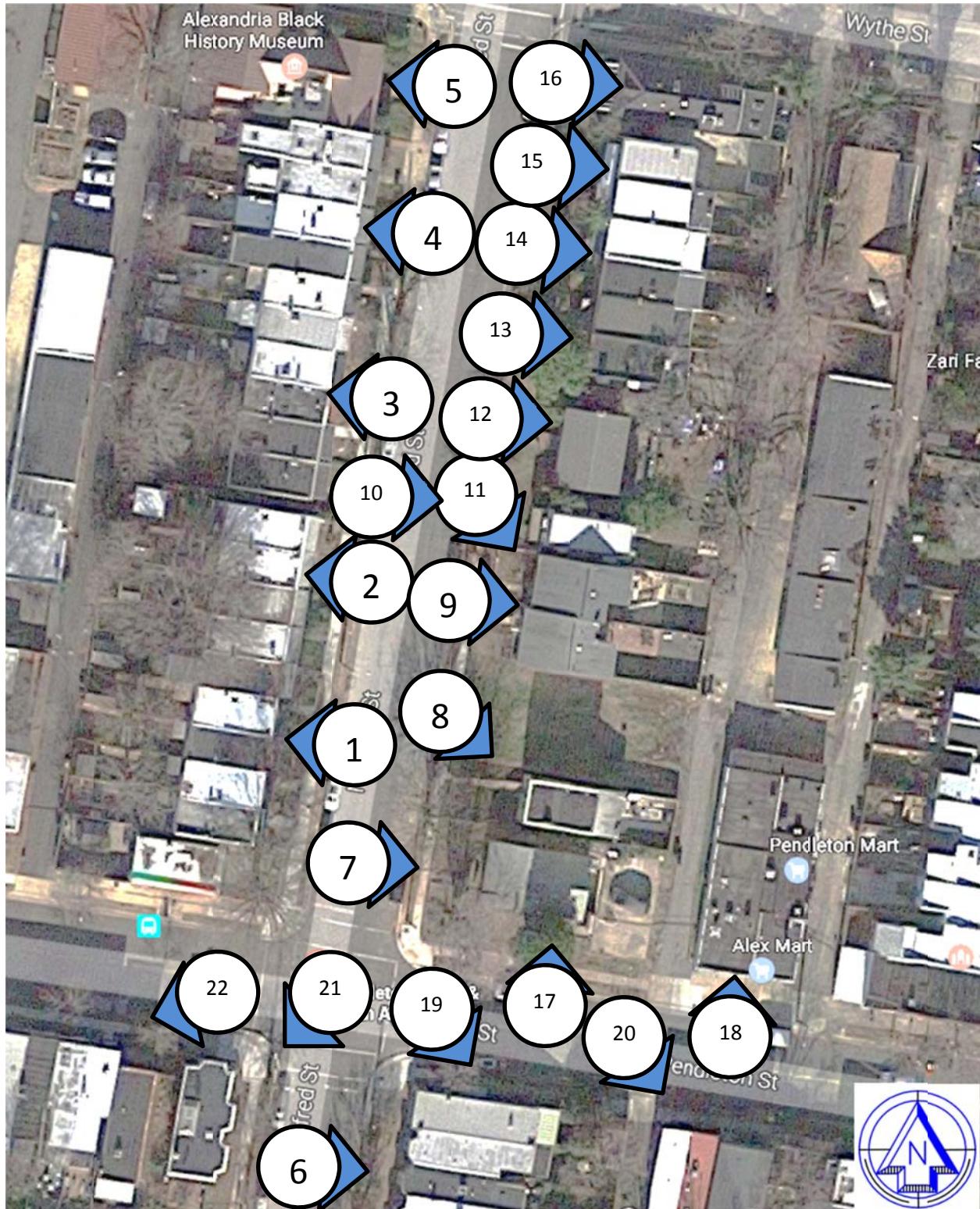
Existing Open Space	N/A
Required Open Space	800
Proposed Open Space	849

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Date: 6/26/2017

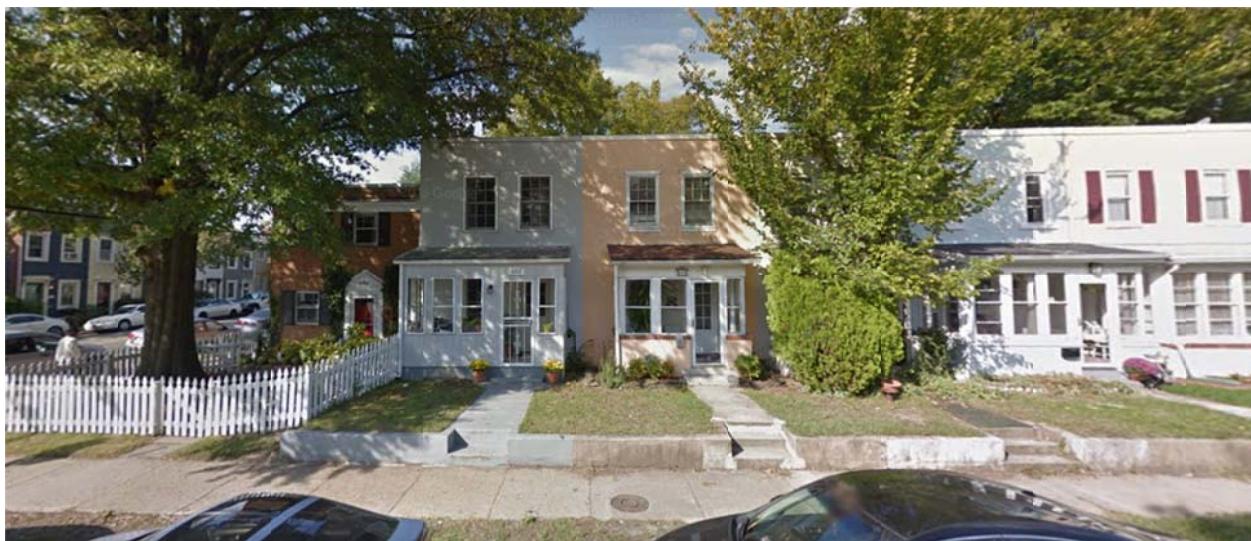
Updated July 10, 2008

Street Views Key (N. Alfred St. and Pendleton Street)

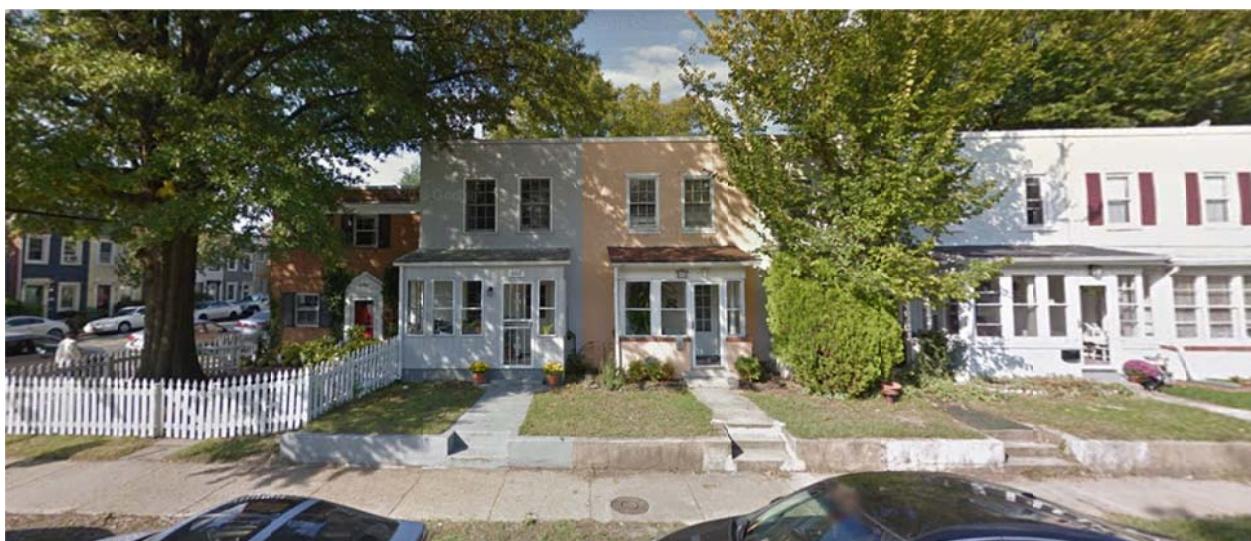


Street Views Key (N. Alfred St. and Pendleton Street)

BAR2017-00212
601 N. Alfred St
Application Materials



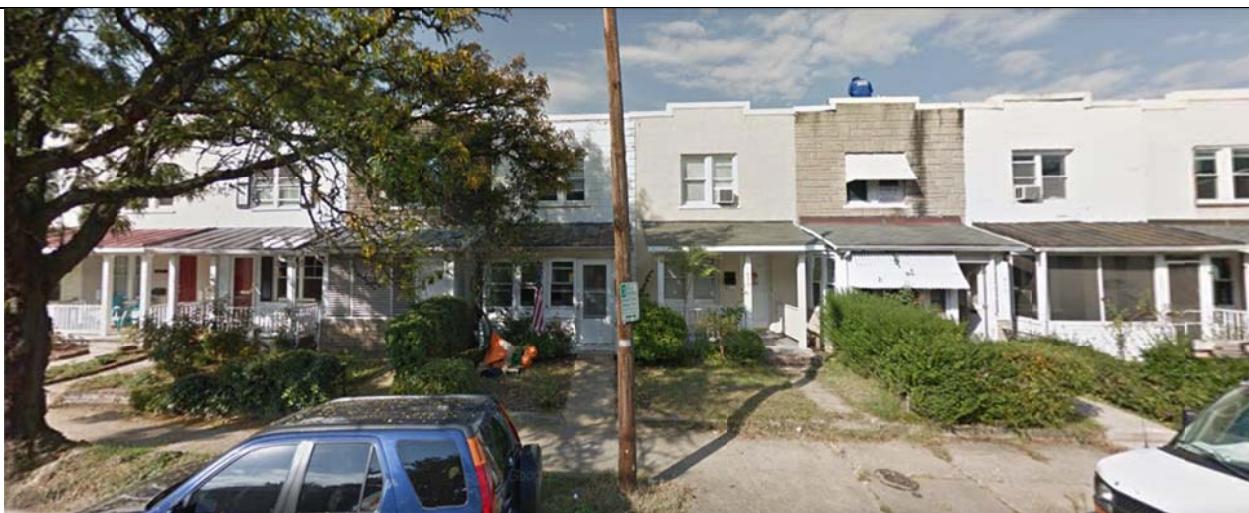
WEST VIEW POINT 1



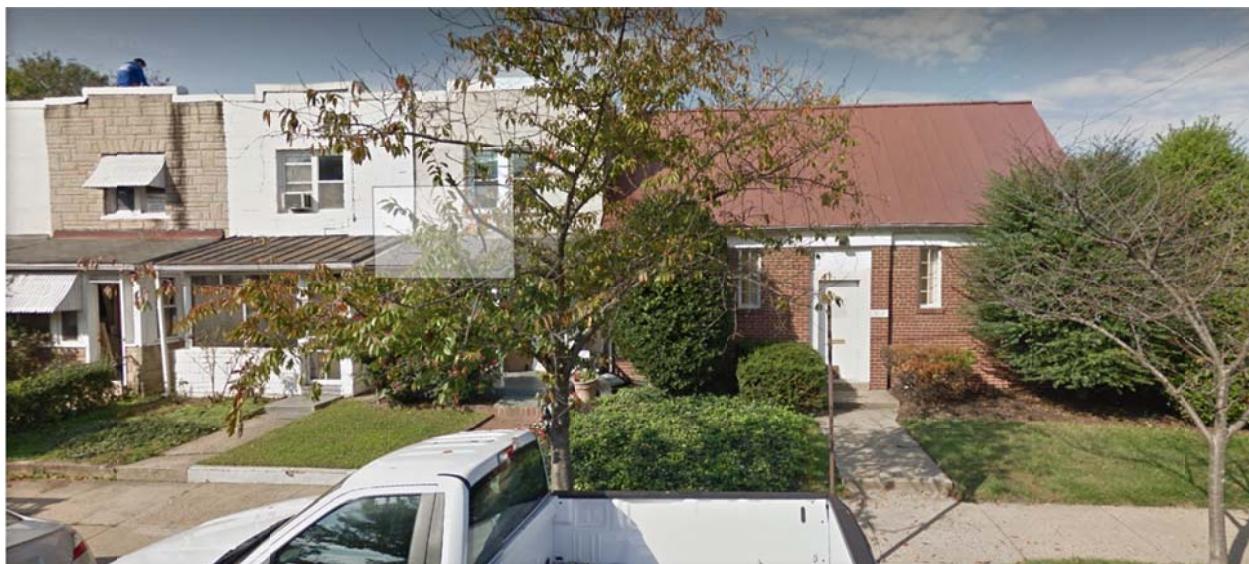
WEST VIEW POINT 2



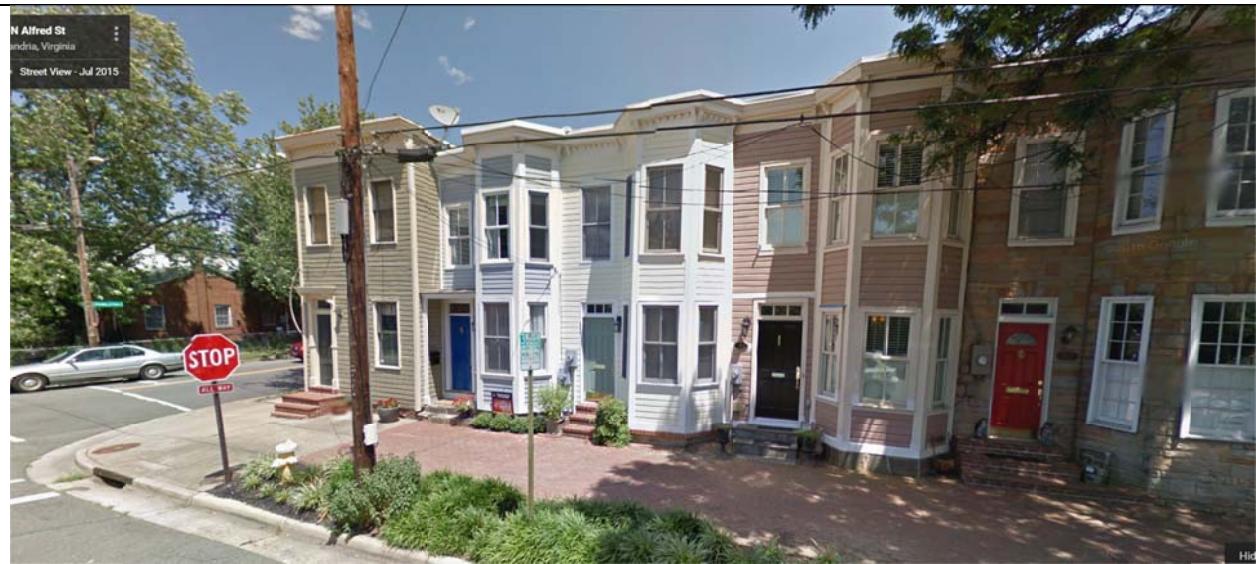
WEST VIEW POINT 3



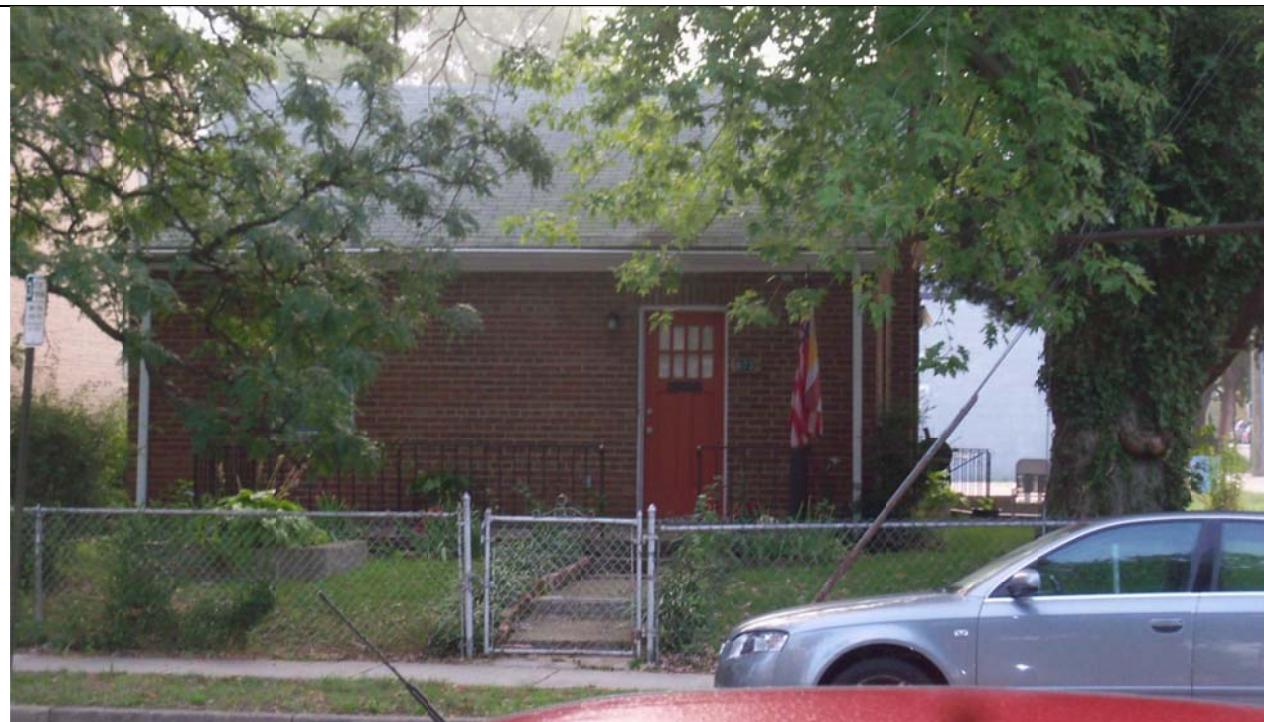
WEST VIEW POINT 4



WEST VIEW POINT 5



EAST VIEW POINT 6



EAST VIEW POINT 7

BAR2017-00212
601 N. Alfred St
Application Materials



EAST VIEW POINT 8



EAST VIEW POINT 9



EAST VIEW POINT 10



EAST VIEW POINT 11

BAR2017-00212
601 N. Alfred St
Application Materials



EAST VIEW POINT 12



EAST VIEW POINT 13



EAST VIEW POINT 14



EAST VIEW POINT 15



EAST VIEW POINT 16

BAR2017-00212

601 N. Alfred St

Application Materials



NORTH VIEW POINT 17



NORTH VIEW POINT 18



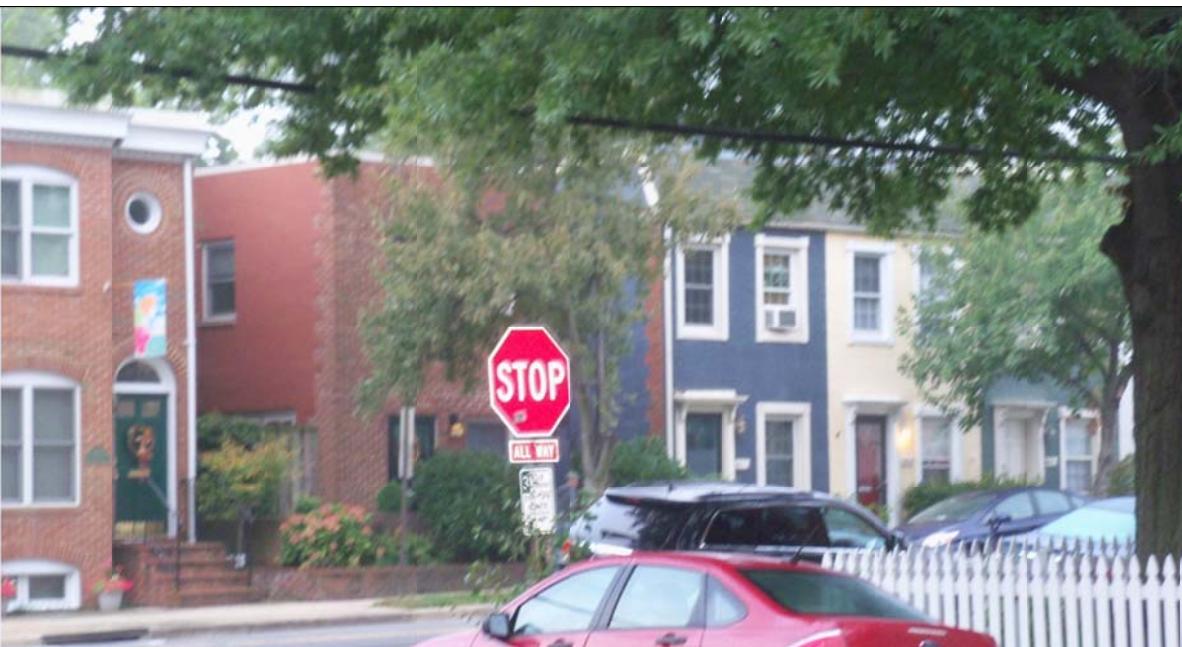
SOUTH EAST VIEW POINT 19



SOUTH EAST VIEW POINT 20



SOUTH WEST VIEW POINT 21



SOUTH WEST VIEW POINT 22

PROPOSED EXTERIOR MATERIALS

FOR 601 N. ALFRED STREET, ALEXANDRIA, VA

NOTE 1: ALL MATERIAL COLORS AND PAINTS SHALL BE SELECTED BASED ON THE APPROVED COLOR PALETTE FOR THIS HISTORIC DISTRICT AS SET FORTH BY THE CITY OF ALEXANDRIA.

NOTE 2: PRODUCT MATERIALS IDENTIFIED IS TO RELAY OVERALL DESIGN INTENT. ACTUAL PRODUCT MATERIALS SELECTED SHALL COMPLY WITH THE DESIGN INTENT.

ROOFING

1. ASPHALT SHINGLE ROOFING: MINIMUM 20 YEAR, SELF-SEALING ASPHALT SHINGLES AS MANUFACTURED BY CERTAINTeed FROM MAUNFACTURER'S STANDARD AT WEBLINK
WWW.CERTAINEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#
2. SINGLE-PLY MEMBRANE ROOFING SYSTEM (BALLASTED, FULLY ADHERED, MECHANICALLY FASTENED) AS MANUFACTURED BY GAF; WEBLINK AT
WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE_PLY_ROOFING
3. ROOF TERRACE WALKING SURFACE
SHALL BE TREX FLOOR PLANKS ON BUILT-UP PRESSURE-TREATED 2"X DRAINAGE FLOOR; OVER SINGLE-PLY MEMBRANE DRAIN SURFACE WITH

ROOF GUTTER

GUTTERS: PRE-FINISHED ALUMINUM EXTRUDED BOX PROFILE WITH MATED, RECTANGULAR DOWNSPOUTS; PRE-CAST CONCRETE SPLASH BLOCKS.

WINDOWS

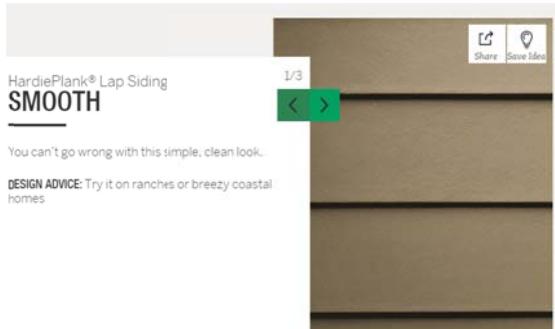
2 OVER 1 LITES, JELD-WEN'S SITELINE EX WOOD CLAD DOUBLE HUNG GLASS UNITS, LOW E, INSULATED GLASS, NO GRILLES, 4-9/16" OR 6-9/16" JAMBS, FULL INSECT SCREENS, BY JELD-WEN, OR EQUAL. GLAZING SHALL BE CLEAR, INSULATED (REFLECTIVE/ TINTED GLAZING PROHIBITED).

EXTERIOR BUILDING TRIM AND WINDOW/ DOOR HEADER TRIM

- BUILDING TRIM SHALL MATCH THE MATERIAL OF THE LAP SIDING.
- HEADER TRIM- BUILT-UP 1"X SHEET TRIM WITH 1"X HEAD CAP

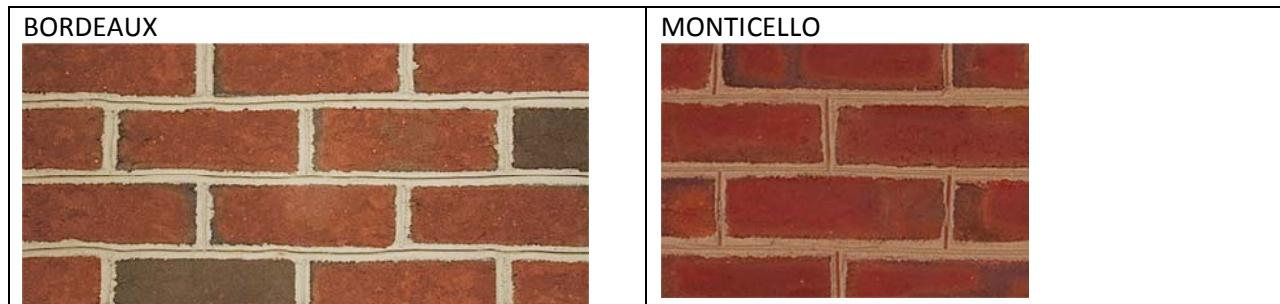
PERIMETER WALLS- BUILDING FRONT, SIDE AND REAR

1. HARDIE PLANK 4" LAP SIDING AS MANUFACTURED BY JAMES HARDIE OR APPROVED EQUAL. SMOOTH TEXTURE, PAINTED WITH MATED TRIM; WEBLINK AT [HTTPS://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING](https://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING).



BRICK MASONRY

BRICK MASONRY TO BE COMPATIBLE WITH PERIOD BRICK SELECTED SIMILAR TO MONTICELLO @ HTTP://WWW.OLDVIRGINIABRICK.COM/BRICK/WOOD_MOULDED.HTML OR BORDEAUX @ <WWW.NASHBRICK.COM/STYLES.HTML>, OR APPROVED EQUAL.



EXTERIOR DOORS

<u>FRONT ENTRY DOOR</u> 4 PANEL WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS OR APPROVED EQUAL	<u>REAR ENTRY DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL	<u>ROOF TERRACE RM DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL.
		

MODEL #5021

MODEL #5021

<p><u>FRONT ENTRY</u></p> <p>QUOIZEL CCR8406CU COPPER BRONZE CHANCELLOR 1 LIGHT 12" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Sconce-with-Clear-Glass/p2243328?source=crto_2243328_outdoorlightingwallsconces_sho</p> 	<p><u>REAR ENTRY</u></p> <p>QUOIZEL CAR8406AC AGED COPPER CARLETON 1 LIGHT 12" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8406</p> 
<p><u>ROOF TERRACE</u></p> <p>QUOIZEL CAR8728AC AGED COPPER CARLETON 1 LIGHT 18" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8728</p> 	

HVAC EQUIPMENT

- I. SPLIT SYSTEMS
- II. LOCATION: ROOFTOP CONDENSERS ON FLAT HOUSEKEEPING PADS/
GENTLY SLOPING ROOFS; AIR HANDLERS IN BUILDING INTERIOR.

ADDRESS OF PROJECT: 601 N. ALFRED STREET
TAX MAP AND PARCEL: 054-09-13-22 ZONING: RB

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: 601 N. ALFRED ST., L.L.C.

Address: 3208 SPRING DRIVE

City: ALEXANDRIA State: VA Zip: 22306

Phone: 703/768-8437 E-mail: KSDJR@REGENTCOMPANY.COM

Authorized Agent (if applicable): Attorney Architect _____

Name: OF BILL LIEU

Phone: 703/589-6994

E-mail: BLIEU@LIEUmann.com

Legal Property Owner:

Name: ABATE ABEBECH DEMESSIE, DEBBIE KALEB FIKRU

& ABRAHAM TIRUNES

Address: 603 N. ALFRED ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: _____

Yes No Is there an historic preservation easement on this property?
 Yes No If yes, has the easement holder agreed to the proposed alterations?
 Yes No Is there a homeowner's association for this property?
 Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply**NEW CONSTRUCTION****EXTERIOR ALTERATION: Please check all that apply.**

<input type="checkbox"/> awning	<input type="checkbox"/> fence, gate or garden wall	<input type="checkbox"/> HVAC equipment	<input type="checkbox"/> shutters
<input type="checkbox"/> doors	<input type="checkbox"/> windows	<input type="checkbox"/> siding	<input type="checkbox"/> shed
<input type="checkbox"/> lighting	<input type="checkbox"/> pergola/trellis	<input type="checkbox"/> painting unpainted masonry	
<input type="checkbox"/> other _____			

 ADDITION DEMOLITION/ENCAPSULATION SIGNAGE**DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).**

It is proposed that a new single family residence be built on Lot 34, designated street address as 601 N. Alfred Street. The new residence shall be a 2 story with walk-up basement, and roof terrace sitting area with an open roof terrace fronting N. Alfred Street and Pendleton Street. See attached plans and elevations with this submission package.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

N/A

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

N/A

- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

N/A

- Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

N/A

- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)

I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

I, the applicant, or an authorized representative will be present at the public hearing.

I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: 6/12/2017

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

BAR2017-00212
601 N. Alfred St
Application Materials

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. REGENT COMPANY, LLC	3208 SPRING ST. ALEXANDRIA, VA 22306	40%
2. KELLI SHOBUE	6517 SARA ALYCE CT BURKE, VA	15%
3. LIFETIME CONSTRUCTION, LLC	23547 EVERGREEN RD ALDIE, VA 20125	45%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 603 N. ALFRED ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ABATE ABEBECH DEMESSIE	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
2. DEBBIE KALEB FIKRU	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
3. ABRAHAM TIRUNES	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

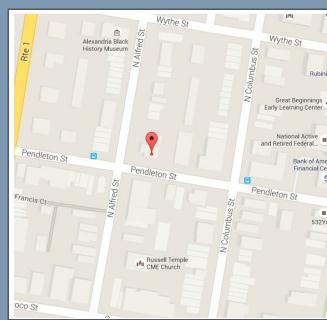
6/12/2017 04 BM LCU 
Date Printed Name Signature

EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016

REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00213
603 N. Alfred St
Application Materials

1607.3043

LOCATION DRAWING

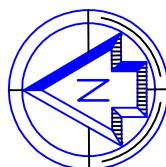
LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

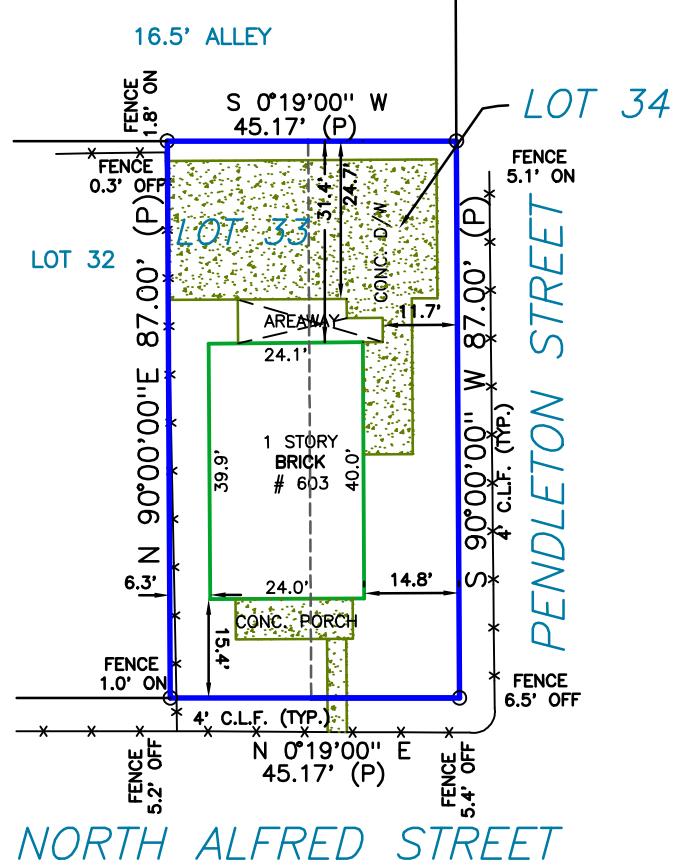
THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

THIS DRAWING HAS BEEN REVISED IN
ORDER TO REMOVE LOT 32 5-11-2017



NOTE - FENCE OWNERSHIP NOT DETERMINED



30 0 15 30
GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

POINTS OF INTEREST:

NONE VISIBLE

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

SELLER:

CERTIFIED TO:
SMART SETTLEMENTS, LLC

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

POWERED BY:

surveystars

www.surveystars.com

PREPARED BY:

EXACTA
NATIONAL INFORMATION TECHNOLOGY

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00213
603 N. Alfred St
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
- All corners marked as set are iron rebar with a cap.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Additional logos or references to third party firms are for informational purposes only.
- Structures are measured at ground level.
- Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINETYPES: (UNLESS OTHERWISE NOTED)			
	BOUNDARY LINE	ID.	IDENTIFICATION
	STRUCTURE	ILL.	ILLEGIBLE
	CENTERLINE	INST.	INSTRUMENT
	CHAIN-LINK OR WIRE FENCE	INT.	INTERSECTION
	EASEMENT	BLK.	LENGTH
	EDGE OF WATER	LB#	LICENSE # - BUSINESS
	IRON FENCE	LS#	LICENSE # - SURVEYOR
	OVERHEAD LINES	(M)	MEASURED
	SURVEY TIE LINE	M.B.	MAP BOOK
	WALL OR PARTY WALL	M.E.S.	MITERED END SECTION
	WOOD FENCE	(C)	CALCULATED
	VINYL FENCE	C	CURVE
SURFACE TYPES: (UNLESS OTHERWISE NOTED)		N.R.	NON RADIAL
	ASPHALT	N.T.S.	NOT TO SCALE
	BRICK OR TILE	O.C.S.	ON CONCRETE SLAB
	CONCRETE	O.G.	ON GROUND
	COVERED AREA	OFF	OUTSIDE OF SUBJECT PARCEL
	WATER	O/I	OVERALL
	WOOD	O/S	OFFSET
SYMBOLS: (UNLESS OTHERWISE NOTED)		(P)	PLAT
	BENCH MARK	P.B.	PLAT BOOK
	CENTERLINE	P.C.	POINT OF CURVATURE
	CENTRAL ANGLE OR DELTA	P.C.P.	POINT OF COMPOUND CURVATURE
	CONTROL POINT	P/E	POOL EQUIPMENT
	CONCRETE MONUMENT	P.G.	PAGE
	CATCH BASIN	P.I.	POINT OF INTERSECTION
	ELEVATION	P.L.	PROFESSIONAL LAND SURVEYOR
	 FIRE HYDRANT	PLT.	PLANTED
	FND OR SET MONUMENT	P.O.B.	POINT OF BEGINNING
	GUYWIRE OR ANCHOR	P.O.C.	POINT OF COMMENCEMENT
	MANHOLE	P.P.	PINCHED PIPE
	TREE	P.R.C.	POINT OF REVERSE CURVATURE
	UTILITY OR LIGHT POLE	P.R.M.	PERMANENT REFERENCE MONUMENT
	WELL	PSM	PROFESSIONAL SURVEYOR AND MAPPER
POINT OF TANGENCY		P.T.	
RADIUS OR RADIAL		R.	
RECORD		(R)	
RANGE		RGE.	
RESIDENCE		RES.	
RIGHT OF WAY		R/W	
SURVEY		(S)	
SET BACK LINE		S.B.L.	
SURVEY CLOSURE LINE		S.C.L.	
SCREEN		SCR.	
SECTION		SEC.	
SEPTIC TANK		SEP.	
SEWER		SEW.	
SET GLUE DISC		S/GD	
SET IRON ROD & CAP		SIRC	
SET NAIL & DISC		SN&D	
SQUARE FEET		SQ.FT.	
STORY		STY.	
SURVEY TIE LINE		S.T.L.	
SEWER VALVE		SV	
SIDEWALK		S/W	
SEAWALL		S.W.	
TEMPORARY BENCHMARK		TBM	
TELEPHONE FACILITIES		TEL.	
TOP OF BANK		T.O.B.	
TOWNSHIP		TWP.	
TRANSFORMER		TX	
TYPICAL		TYP.	
UTILITY RISER		U.R.	
INSIDE OF SUBJECT PARCEL		U.I.	
OFFICIAL RECORD BOOK		U.R.B.	
OFFICIAL RECORD VOLUME		O.R.V.	
OVERALL		O/A	
OFFSET		O/S	
PLAT		P.	
POINT OF CURVATURE		P.C.	
POINT OF COMPOUND CURVATURE		P.C.P.	
POOL EQUIPMENT		P/E	
PAGE		P.G.	
POINT OF INTERSECTION		P.I.	
PROFESSIONAL LAND SURVEYOR		P.L.	
PLANTED		PLT.	
POINT OF BEGINNING		P.O.B.	
POINT OF COMMENCEMENT		P.O.C.	
PINCHED PIPE		P.P.	
POINT OF REVERSE CURVATURE		P.R.C.	
PERMANENT REFERENCE MONUMENT		P.R.M.	
PROFESSIONAL SURVEYOR AND MAPPER		PSM	
MAINTENANCE EASEMENT		M.E.	ACCESS EASEMENT
ANCHOR EASEMENT		A.E.	ANCHOR EASEMENT
CANAL MAINTENANCE ESMT.		C.M.E.	CANAL MAINTENANCE ESMT.
COUNTY UTILITY ESMT.		C.U.E.	COUNTY UTILITY ESMT.
DRAINAGE EASEMENT		D.E.	DRAINAGE EASEMENT
DRAINAGE AND UTILITY ESMT.		D.U.E.	DRAINAGE AND UTILITY ESMT.
EASEMENT		ESMT.	EASEMENT
INGRESS/EGRESS ESMT.		I.E./E.	INGRESS/EGRESS ESMT.
IRRIGATION EASEMENT		IRR.E.	IRRIGATION EASEMENT
LIMITED ACCESS ESMT.		L.A.E.	LIMITED ACCESS ESMT.
LANDSCAPE BUFFER ESMT.		L.B.E.	LANDSCAPE BUFFER ESMT.
LANDSCAPE ESMT.		L.E.	LANDSCAPE ESMT.
LAKE OR LANDSCAPE		L.M.E.	LAKE OR LANDSCAPE
MAINTENANCE EASEMENT		M.E.	MAINTENANCE EASEMENT
PUBLIC UTILITY EASEMENT		P.U.E.	PUBLIC UTILITY EASEMENT
ROOF OVERHANG ESMT.		R.O.E.	ROOF OVERHANG ESMT.
SIDEWALK EASEMENT		S.W.E.	SIDEWALK EASEMENT
STORM WATER		S.W.M.E.	STORM WATER
MANAGEMENT EASEMENT		T.U.E.	MANAGEMENT EASEMENT
TECHNOLOGICAL UTILITY ESMT.		U.E.	TECHNOLOGICAL UTILITY ESMT.

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>

To Electronically Sign any survey PDF:

- Save the PDF onto your computer.
- Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
- Select the Hash Method as SHA.
- Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK + WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.



OFFER IS ONLY VALID FOR THIS PROPERTY AND BUYER AS LISTED ON THE FIRST PAGE OF THIS SURVEY



BAR2017-00213
603 N. Alfred St
Application Materials

Contact Us

Phone: 866.735.1916
Fax: 866.744.0882

www.surveystars.com

To Whom It May Concern:

The regulations of the Virginia Board of Architects, Professional Engineers, Land Surveyors and certified landscape architects require that when a land surveyor performs a physical improvements survey (house location) for mortgage purposes, he shall also perform a boundary survey of the property and set permanent corner monumentation. This is required even though a boundary survey may have been previously performed on the property.

However, the law further provides that the prospective mortgagor (or his legal agent) may agree in writing to waive the regulatory requirement for the said boundary survey and the placing of the corner monumentation in connection with the survey needed for mortgage purposes.

Accordingly, please be advised that I/we do hereby agree to waive the herein referenced regulatory requirements of the Virginia Board for the performance of a boundary survey and for the placing of the corner monumentation in connection with the physical improvements survey which I/we need at this time for mortgage purposes. By agreeing to this waiver, it is understood that I/we am/are not waiving or surrendering any property rights.

Date

.....
Buyer Name Printed

.....
Buyer Signature

PROPERTY ADDRESS

603 N ALFRED STREET
ALEXANDRIA, VIRGINIA 22314

JOB NO: 1607.3043

LEGAL DESCRIPTION

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

CLIENT NAME

SMART SETTLEMENTS, LLC FAIRFAX

To be completed if above waiver is not executed:

I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date

.....
Buyer Name Printed

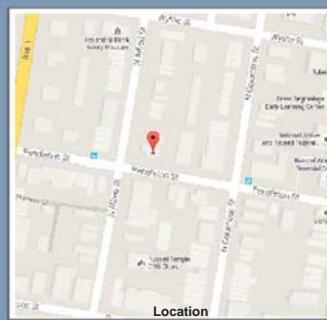
.....
Buyer Signature

EXACTA

NATIONAL INFORMATION TECHNOLOGY

Contact us at

Surveystars.com - Phone: 866-735-1916 - Fax: 866-744-2882



PROPERTY ADDRESS: 603 N ALFRED STREET

ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: 1607.3043

FIELD WORK DATE: 7/26/2016 REVISION HISTORY: (REV.2 5/11/2017) (REV.1 7/27/2016)

BAR2017-00213
603 N. Alfred St
Application Materials

1607.3043

LOCATION DRAWING

LOT 33, AND 34, BLOCK 1

PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC

THE CITY OF ALEXANDRIA, VIRGINIA

07-26-2016 SCALE 1"=30'

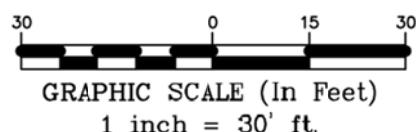
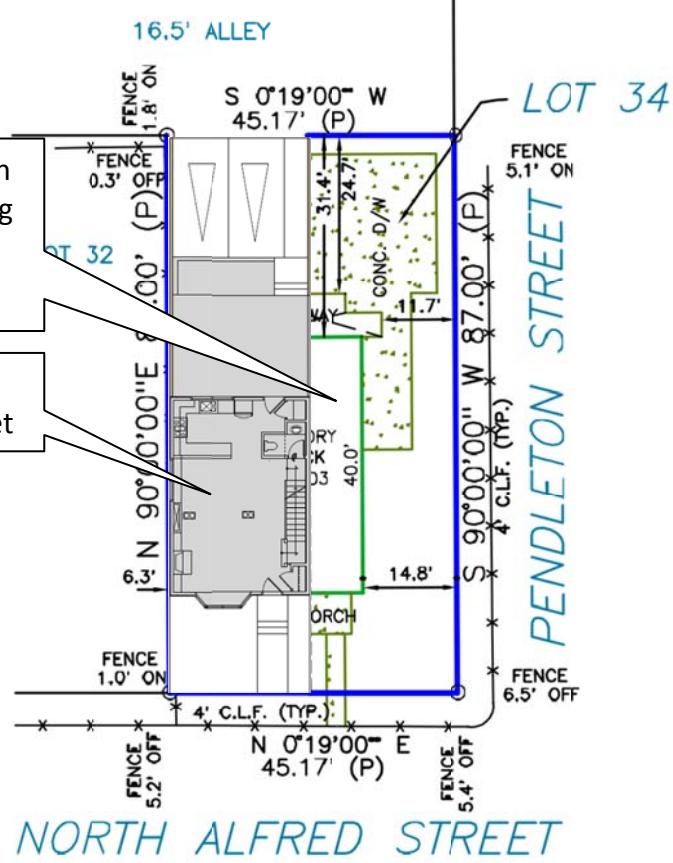
THIS DRAWING HAS BEEN REVISED IN
ORDER TO REMOVE LOT 32 5-11-2017



Work associated with
demolition of existing
house is under
separate application

New Residence
603 N. Alfred Street

NOTE - FENCE OWNERSHIP NOT DETERMINED



POINTS OF INTEREST:

NONE VISIBLE

CLIENT NUMBER:

DATE: 7/27/2016

BUYER:

SELLER:

CERTIFIED TO: SMART SETTLEMENTS, LLC

THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

POWERED BY

surveystars

www.surveystars.com

PREPARED BY:

EXACTA
NATIONAL INFORMATION TECHNOLOGY

LEGAL DESCRIPTION:

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

BAR2017-00213
603 N. Alfred St
Application Materials

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING SYSTEM SHOWN HEREON HAS BEEN REFERENCED TO A PLAT AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF ALEXANDRIA CITYCOUNTY, VIRGINIA

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to us by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
- All corners marked as set are iron rebar with a cap.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Additional logos or references to third party firms are for informational purposes only.
- Structures are measured at ground level.
- Points of interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINETYPE: (UNLESS OTHERWISE NOTED)							
BOUNDARY LINE	B.R.	AIR CONDITIONING	ID.	IDENTIFICATION	SEC.	SECTION	
STRUCTURE	B.C.	BEARING REFERENCE	ILL.	ILLEGIBLE	SEP.	SEPTIC TANK	
CENTERLINE	B.F.P.	BLOCK CORNER	INST.	INSTRUMENT	SEW.	SEWER	
CHAIN LINK or WIRE FENCE	BLK.	BLOCKFLOW PREVENTOR	INT.	INTERSECTION	S/GD	SET GLUE DISC	
EASEMENT	BLDG.	BUILDING	L.	LENGTH	SIRC	SET IRON ROD & CAP	
EDGE OF WATER	B.R.L.	BENCHMARK	L.B.	LICENSE # - BUSINESS	SN&D	SET NAIL & DISC	
IRON FENCE	BSMT.	BUILDING RESTRICTION LINE	L.S.P.	LICENSE # - SURVEYOR	SQ.FT.	SQUARE FEET	
OVERHEAD LINES	B/W	BAY/BOX WINDOW	M.E.S.	MITERED END SECTION	ST.	STORY	
ON - OR - ON	(C)	CALCULATED	M.F.	METAL FENCE	S.T.L.	SURVEY TIE LINE	
SURVEY TIE LINE	C	CURVE	N.R.	NON RADIAL	SV	SEWER VALVE	
WALL OR PARTY WALL	CATV	CABLE TV RISER	N.T.S.	NOT TO SCALE	S/W	SIDEWALK	
WOOD FENCE	C.B.	CONCRETE BLOCK	O.C.S.	ON CONCRETE SLAB	T/W.	TEMPORARY	
VINYL FENCE	CHIM.	CHIMNEY	O.G.	ON GROUND	TEL.	TELEPHONE FACILITIES	
	C.L.F.	CHAIN LINK FENCE	OFF.	OUTSIDE OF SUBJECT PARCEL	T.O.B.	TOP OF BANK	
	C.O.	CLEAN OUT	OH.	OVERHANG	TWP.	TOWNSHIP	
	CONC.	CONCRETE	OHL.	OVERHEAD LINES	TX.	TRANSFORMER	
	COR.	CORNER	ON	INSIDE OF SUBJECT PARCEL	TYP.	TYPICAL	
	CS/W	CONCRETE SIDEWALK	O.R.B.	OFFICIAL RECORD BOOK	U.R.	UTILITY RISER	
	C.V.G.	CONCRETE VALLEY GUTTER	O.R.V.	OFFICIAL RECORD VOLUME	W/C	WITNESS CORNER	
	C/L	CENTER LINE	O/A.	OVERALL	W/F	WATER FILTER	
	C/P	COVERED PORCH	O/S	OFFSET	W.F.	WOODEN FENCE	
	C/S	CONCRETE SLAB	(P)	PLAT	WM	WATER METER/VALVE BOX	
	(D)	DEED	P.B.	PLAT BOOK	WV	WATER VALVE	
	D.F.	DRIVE FIELD	P.C.	POINT OF CURVATURE	V.F.	VINYL FENCE	
	D.H.	DRILL HOLE	P.C.C.	POINT OF COMPOUND CURVATURE			
	D/W	DRIVEWAY	P.C.P.	PERMANENT CONTROL POINT			
	ELEV.	ELEVATION	P/E.	POOL EQUIPMENT	A.E.	ACCESS EASEMENT	
	ENCL.	ENCLOSURE	P.G.	PAGE	A.N.E.	ANCHOR EASEMENT	
	ENT.	ENTRANCE	P.I.	POINT OF INTERSECTION	C.M.E.	CANAL MAINTENANCE ESMT.	
	EM.	ELECTRIC METER	PLS.	PROFESSIONAL LAND SURVEYOR	C.U.E.	COUNTY UTILITY ESMT.	
	F.O.P.	EDGE OF PAVEMENT	PLT.	PLANTER	D.E.	DRAINAGE EASEMENT	
	E.O.W.	EDGE OF WATER	P.O.B.	POINT OF BEGINNING	D.U.E.	DRAINAGE AND UTILITY ESMT.	
	(F)	FIELD	P.O.C.	POINT OF COMMENCEMENT	ESMT.	EASEMENT	
	F.CM	FND. CONCRETE MONUMENT	P.P.	PINCHED POPE	I.E./E.	INGRESS/EGRESS ESMT.	
	F/DH	FOUND DRILL HOLE	P.R.C.	POINT OF REVERSE CURVATURE	IRR.E.	IRRIGATION EASEMENT	
	F.F.	FINISHED FLOOR	P.R.M.	PERMANENT REFERENCE MONUMENT	L.A.E.	LIMITED ACCESS ESMT.	
	FIP	FOUND IRON PIPE	PSM.	PROFESSIONAL SURVEYOR AND	L.B.E.	LANDSCAPE BUFFER ESMT.	
	FIPC	FOUND IRON PIPE & CAP	MAPPER		L.E.	LANDSCAPE ESMT.	
	FIR	FOUND IRON ROD	P.T.	POINT OF TANGENCY	L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT	
	FIRC	FOUND IRON ROD & CAP	R	RADIUS OR RADIAL	M.E.	MAINTENANCE EASEMENT	
	FN	FOUND NAIL	(R)	RECORD	P.U.E.	PUBLIC UTILITY EASEMENT	
	FND.	FOUND NAIL AND DISC	RGE.	RANGE	R.O.E.	ROOF OVERHANG ESMT.	
	FND.	FOUND	RES.	RESIDENCE	S.W.E.	SIDEWALK EASEMENT	
	FPKN	FOUND PARKER-KALON NAIL	R/W	RIGHT OF WAY	S.W.M.E.	STORM WATER MANAGEMENT EASEMENT	
	FRNSP&D	FOUND RAILROAD SPIKE	(S)	SURVEY	T.U.E.	TECHNOLOGICAL UTILITY ESMT.	
	FRNSP&D	FOUND NAIL & DISC	S.B.L.	SET BACK LINE	U.E.	UTILITY EASEMENT	
	GAR.	GARAGE	S.C.L.	SURVEY CLOSURELINE			
	GM	GAS METER	SCR.	SCREEN			

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.ileformat.info/tool/md5sum.htm>.

To Electronically Sign any survey PDF:

- Save the PDF onto your computer.
- Use the online tool at <http://www.ileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer.
- Select the Hash Method as SHA.
- Click Submit.

Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK & WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYER LISTED ON PAGE 1.



offer is only valid for this property and buyer as listed on the first page of this survey



BAR2017-00213
603 N. Alfred St
Application Materials

Contact Us
Phone: 866.735.1916
Fax: 866.744.0882
www.surveystars.com

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Date

Buyer Name Printed

Buyer Signature

1607.3043

603 N ALFRED STREET
ALEXANDRIA, VIRGINIA 22314

LOTS 33, AND 34, BLOCK 1, PLAT OF LAND OWNED BY CHAS. KING AND SON COMPANY, INC., AS RECORDED IN DEED BOOK 76 AT PAGE 243, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

SMART SETTLEMENTS, LLC FAIRFAX

To be completed if above waiver is not executed:

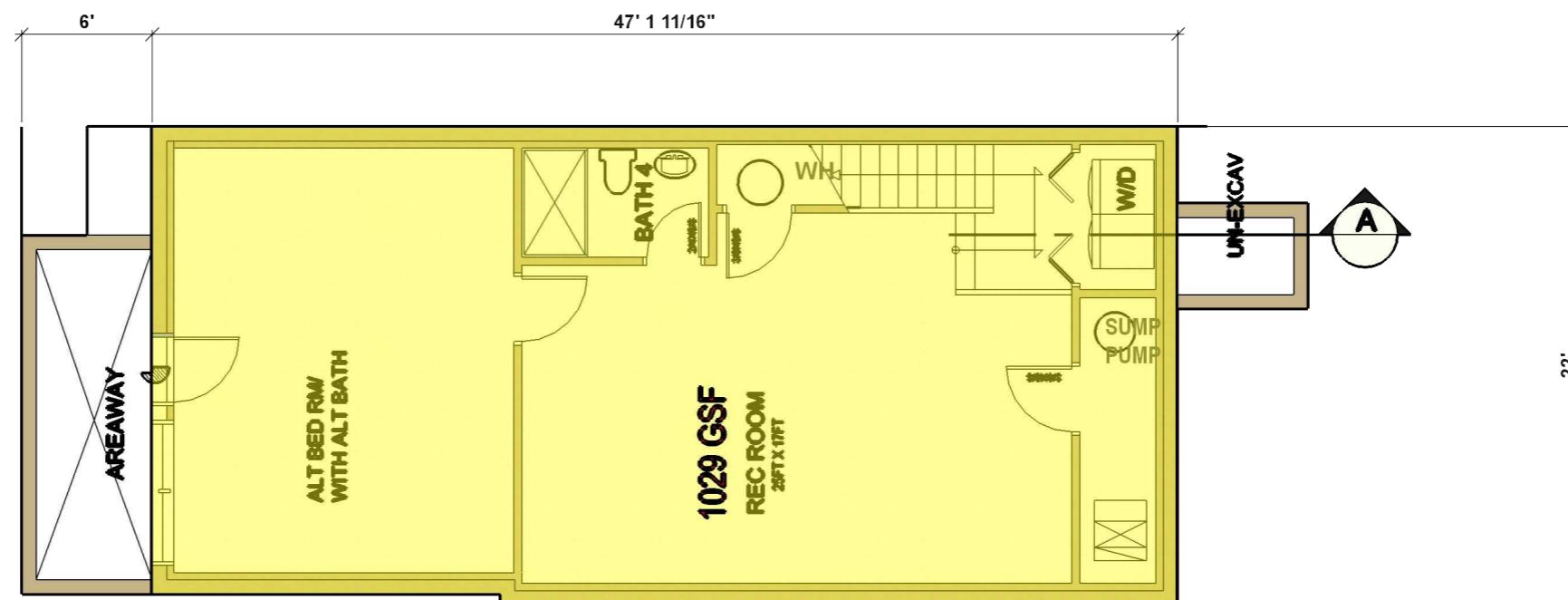
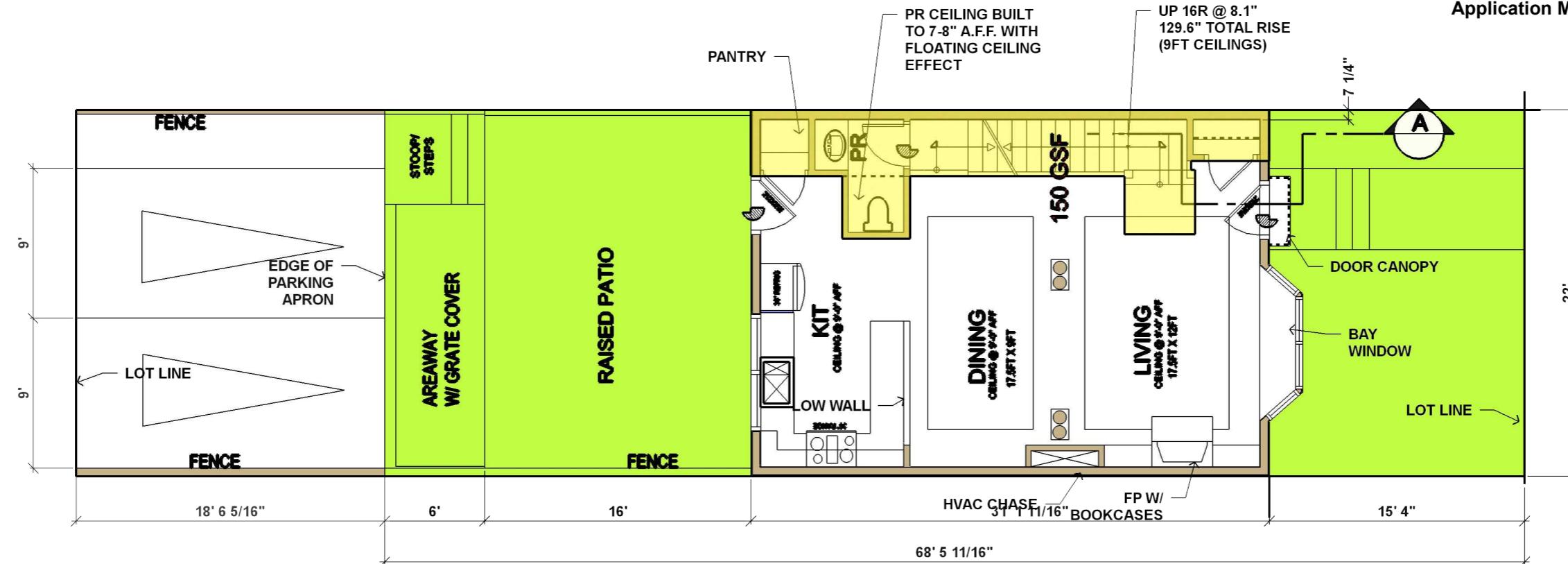
I/We, the prospective mortgagor(s), select to have the boundary survey completed and the property corners set for an additional fee. The additional fee will be collected at closing.

Date

Buyer Name Printed

Buyer Signature

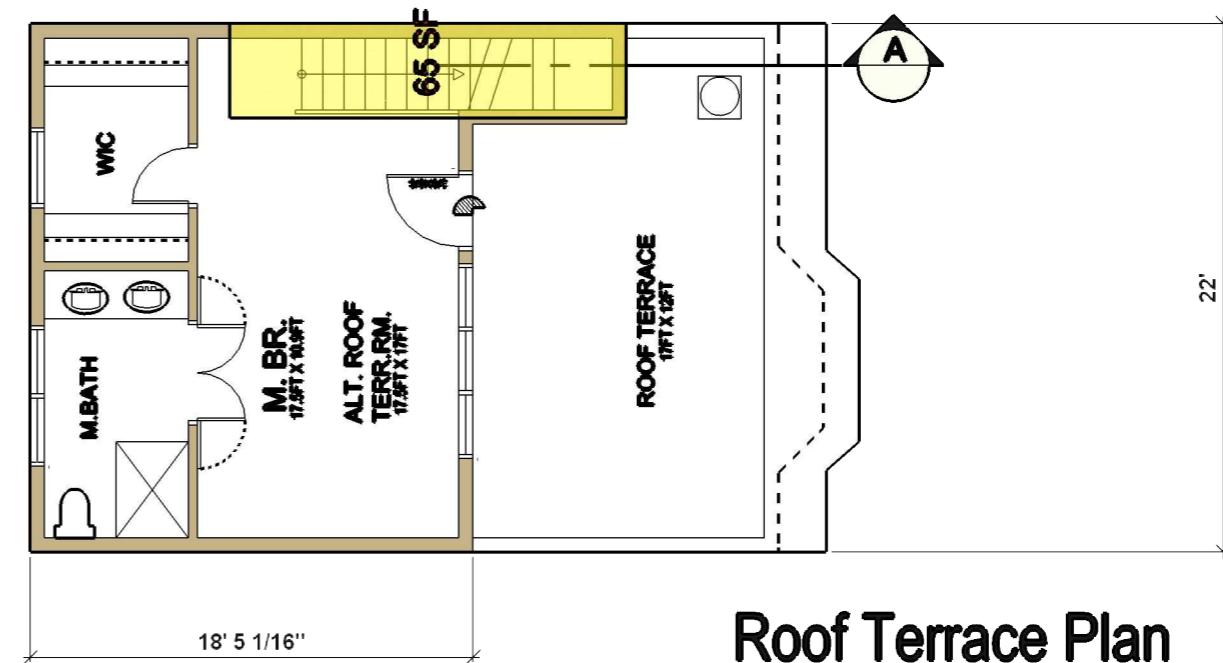
REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials



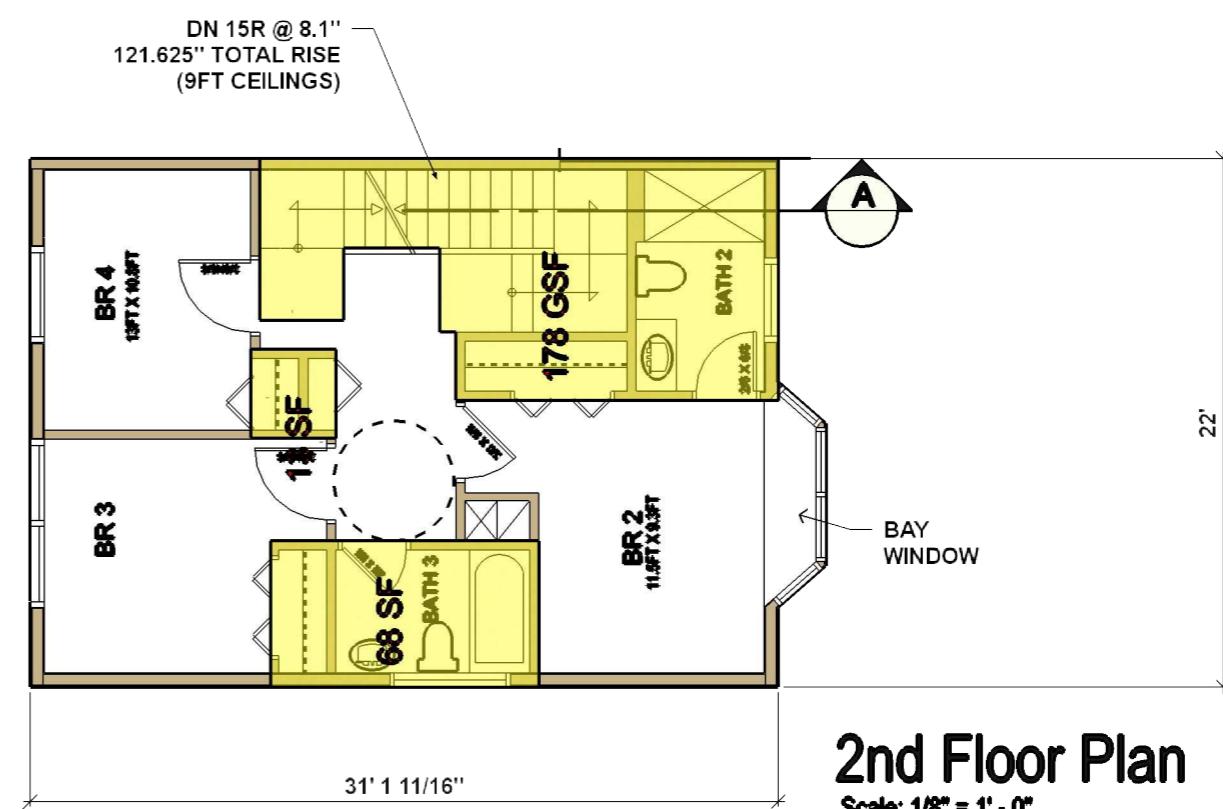
Basement Floor Plan

Scale: 1/8" = 1' - 0"





Roof Terrace Plan
Scale: 1/8" = 1' - 0"



2nd Floor Plan
Scale: 1/8" = 1' - 0"



**REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials**

COMPANY NAME: The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

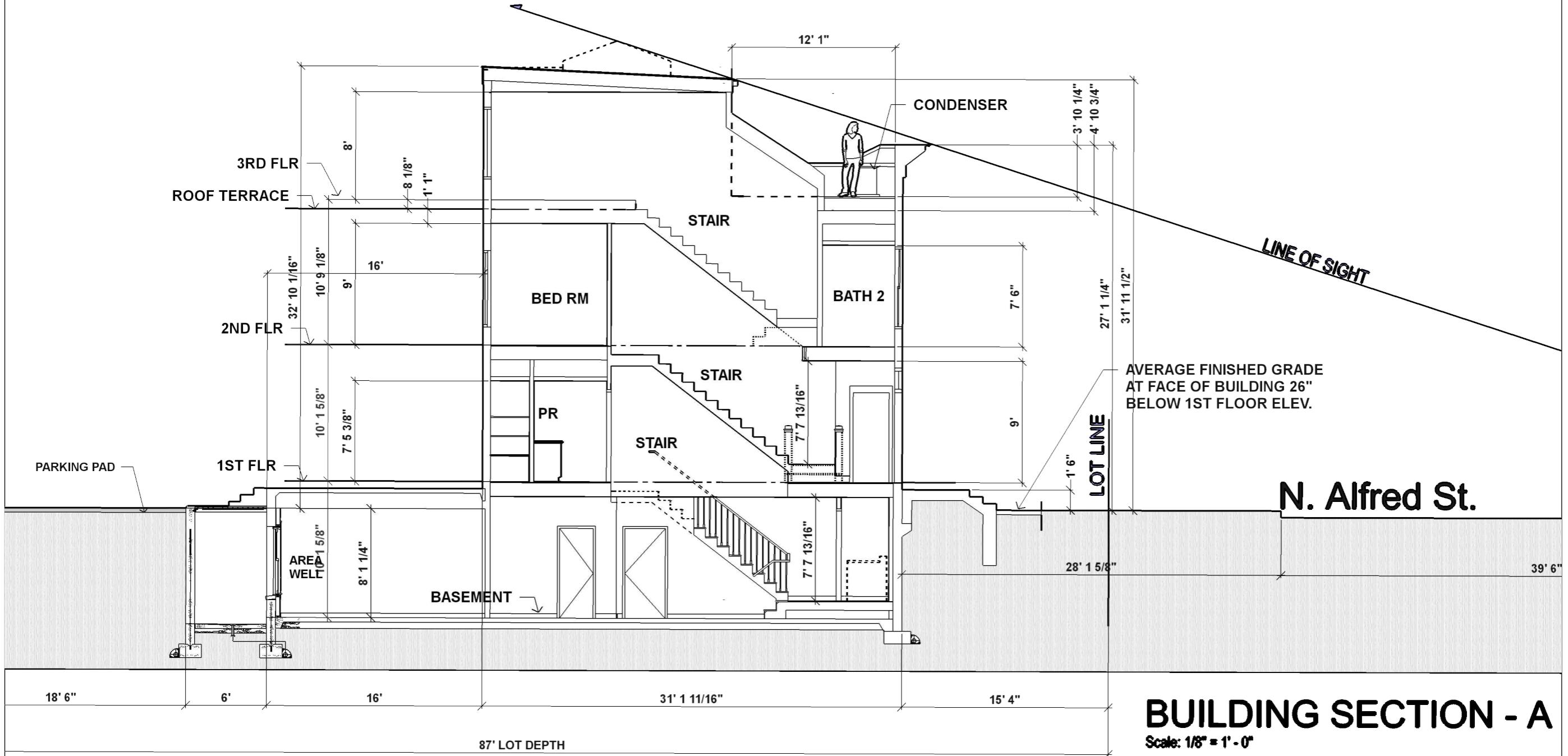


CLIENT: Regent Company
3082 Spring St.
Alexandria, VA 22036

PROJECT NO. 603 N. Alfred St.
2017 New Residence

Building Section

A3



BUILDING SECTION - A

Scale: 1/8" = 1'-0"

REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials

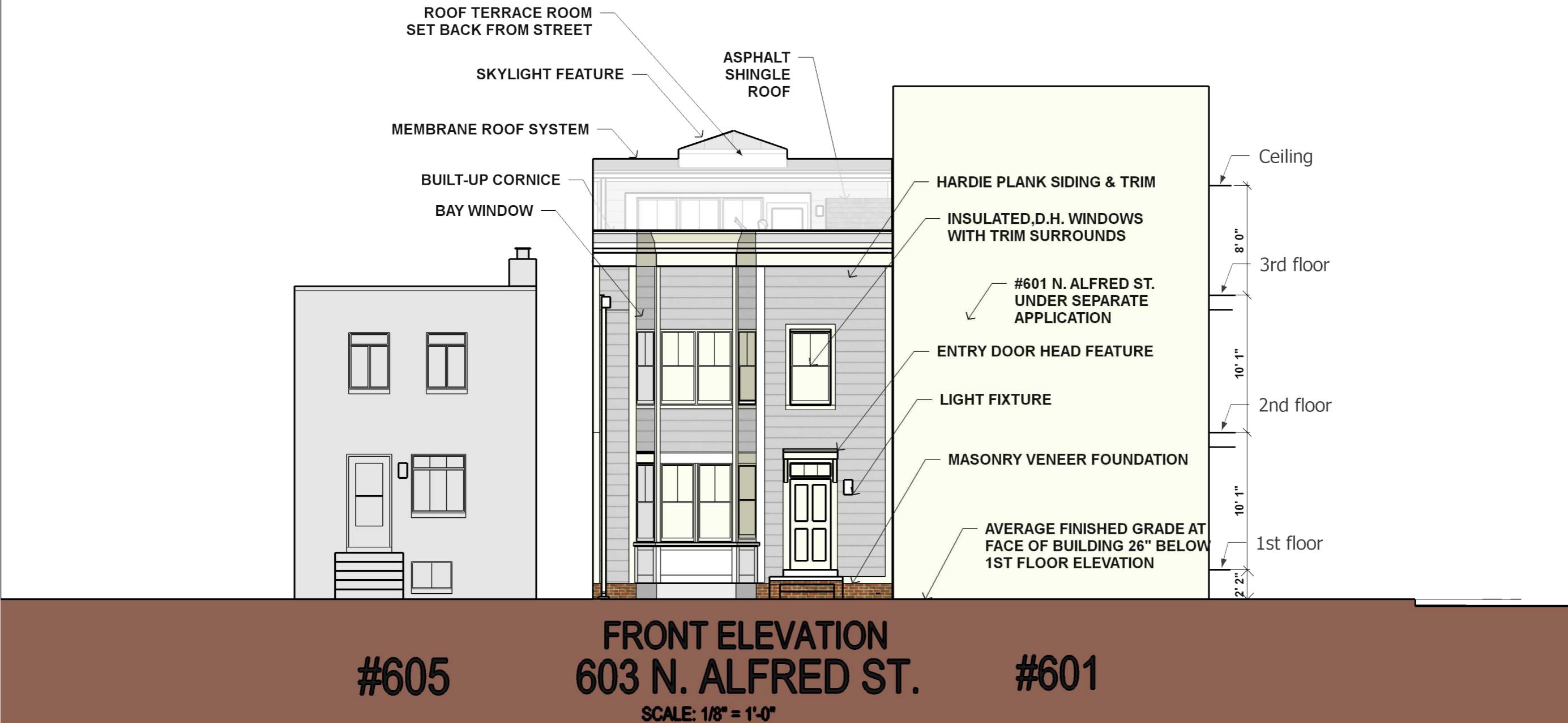
COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

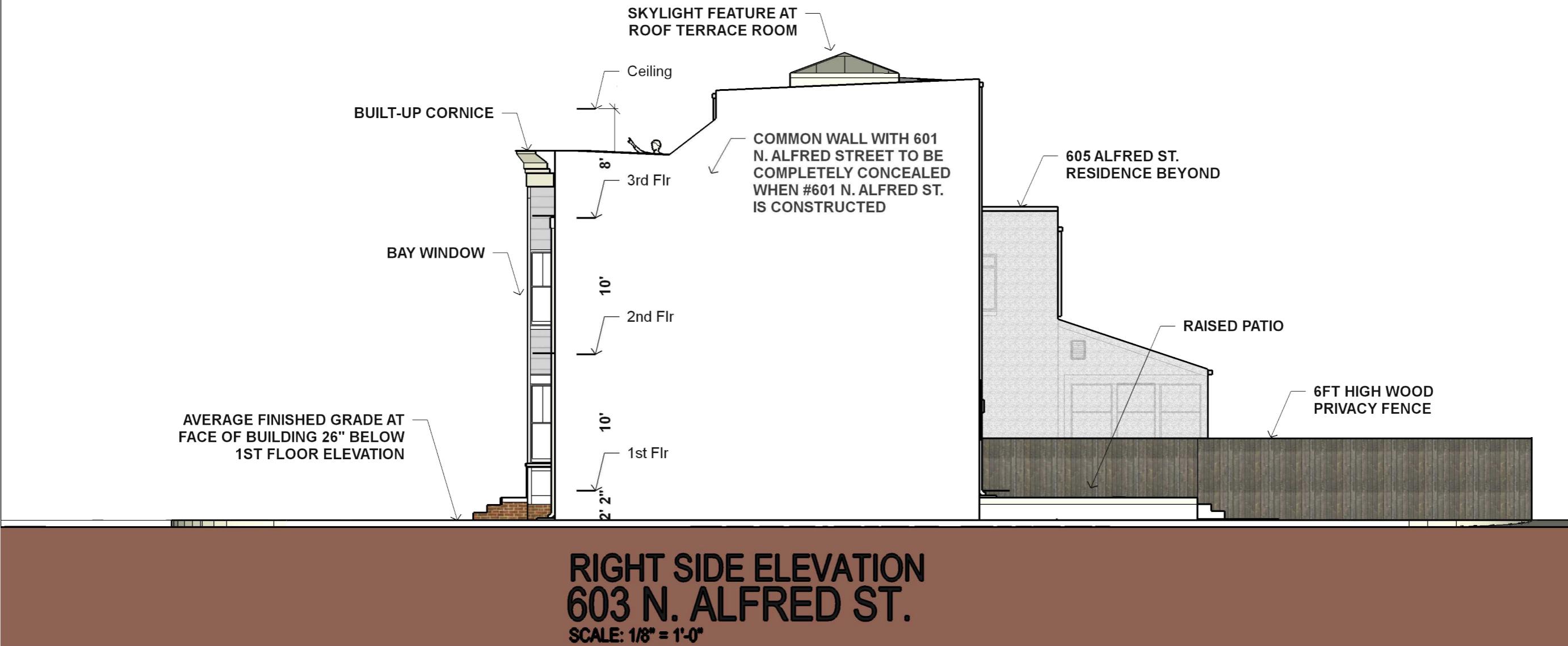


CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
603 N. Alfred St.
New Residence
PROJECT NO.

ISSUE
June 21, 2017
DRAWN BY
Building Elevations
A4





REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials

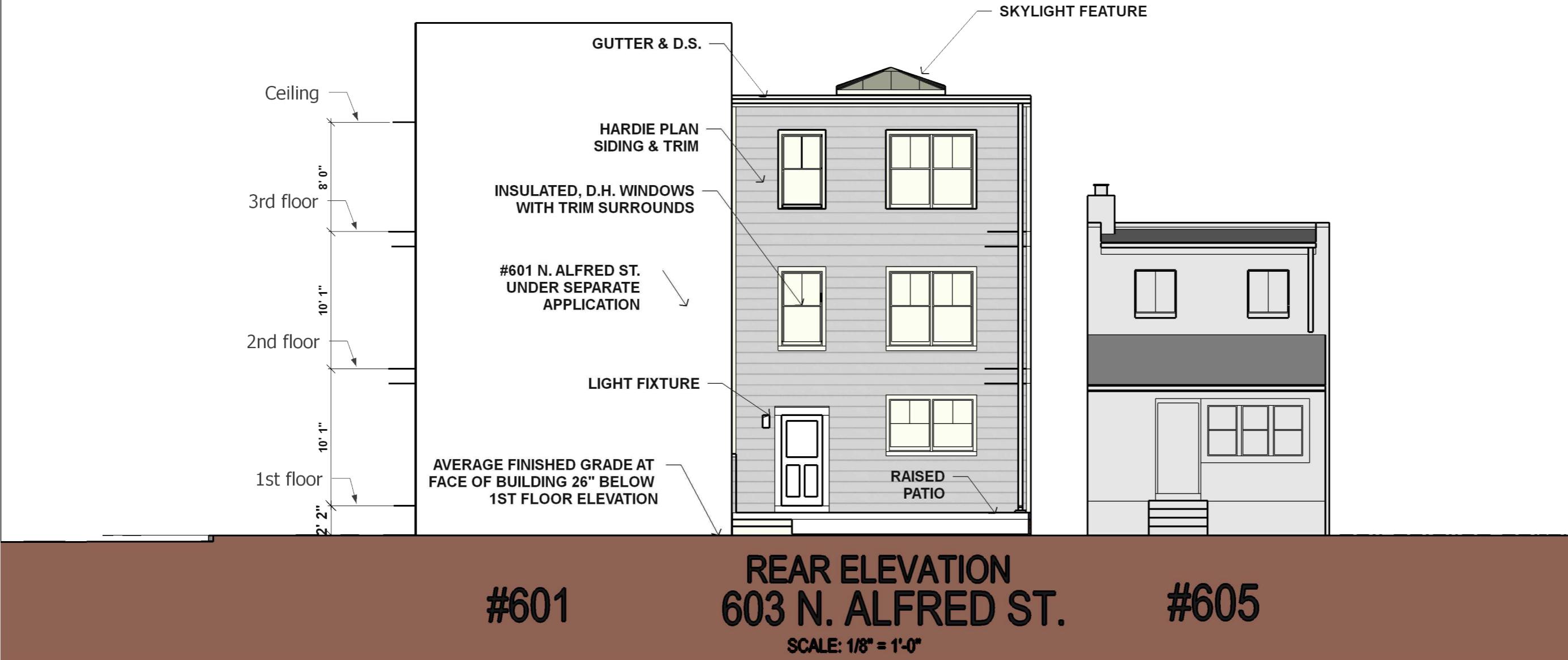
COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
603 N. Alfred St.
New Residence
PROJECT NO.

ISSUE
June 21, 2017
DRAWN BY
Building Elevations
#601 #605
REAR ELEVATION
603 N. ALFRED ST.
SCALE: 1/8" = 1'-0"



REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

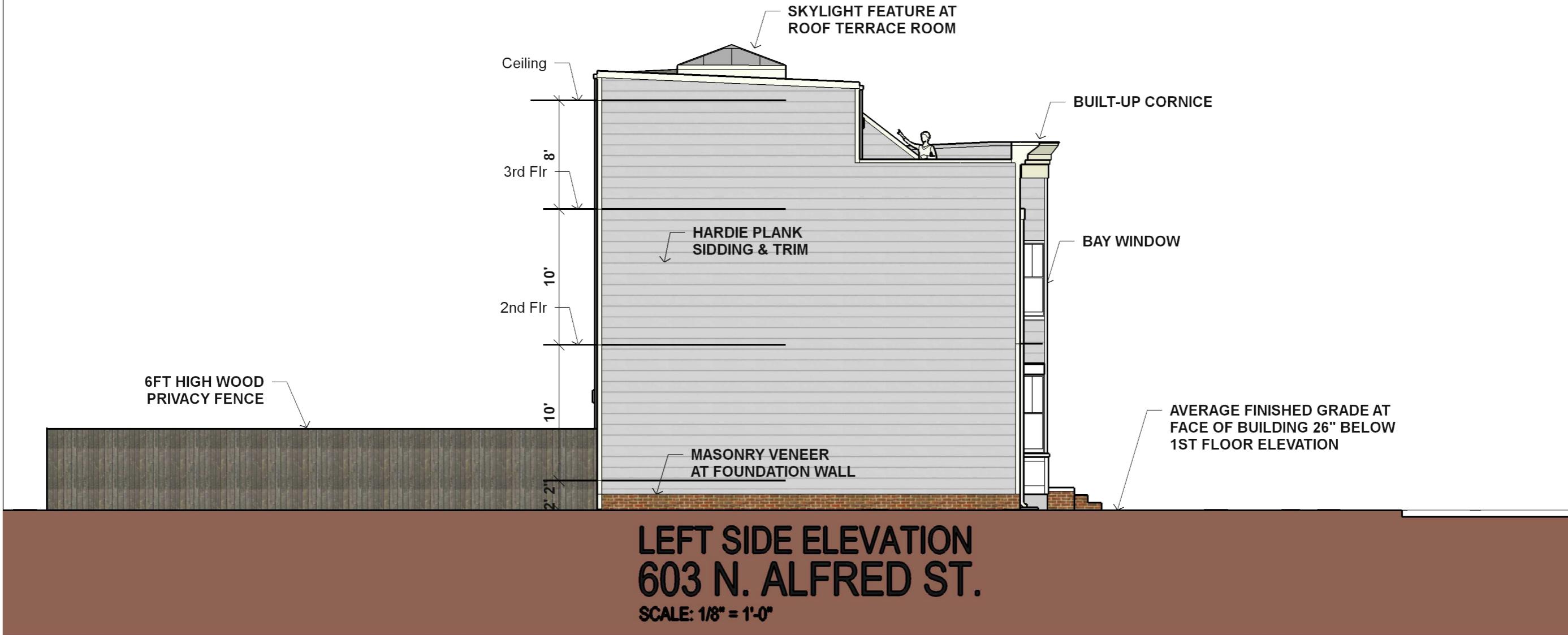


CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
603 N. Alfred St.
New Residence
PROJECT NO.
DRAWN BY
ISSUE
June 12, 2017

Building Elevations

A7



**REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials**

COMPANY NAME The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

CLIENT Regent Company
3082 Spring St.
Alexandria, VA 22036

PROJECT NO.	601 & 603 N New Residence	601 & 603 N New Residence
ISSUE BY	June 21, 2017	June 21, 2017
DRAWN BY		

3D Building Elevations

A8





5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



property line
distance line at sidewalk

property line
distance line at sidewalk

property line
distance line at sidewalk

REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials



3D Building
Elevations

A10

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994

CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22306

PROJECT
601 & 603 N. Alfred St.
New Residence
PROJECT NO.
DRAWN BY

ISSUE
June 21, 2017





REVISED 6/26/17
BAR2017-00213
603 N. Alfred St
Application Materials

COMPANY NAME
The Lieumann Firm, Architects
5705 Deer Pond Road
Centreville, VA 20120
703 589 6994



CLIENT
Regent Company
3082 Spring St.
Alexandria, VA 22303

PROJECT
601 & 603 N. Alfred St.
New Residence
DRAWN BY
PROJECT NO.
ISSUE
June 21, 2017
DRAFTED BY
3D Building
Elevations

A11



REVISED
6/26/17

DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 603 N. Alfred Street

Zone RB

A2. <u>1914 gef</u>	<u>Total Lot Area</u>	<u>x 0.75</u>	<u>= 1,435 gef</u>
		<u>Floor Area Ratio Allowed by Zone</u>	<u>Maximum Allowable Floor Area</u>

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	N/A	Basement**	N/A
First Floor	N/A	Stairways**	N/A
Second Floor	N/A	Mechanical**	N/A
Third Floor	N/A	Other**	N/A
Porches/ Other	N/A	Total Exclusions	
Total Gross *	N/A		

B1. Existing Gross Floor Area *
N/A Sq. Ft.
B2. Allowable Floor Exclusions**
N/A Sq. Ft.
B3. Existing Floor Area minus Exclusions
N/A Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1,022	Basement**	1022
First Floor	705	Stairways**	242
Second Floor	700	Mechanical**	0
Third Floor	432	Other**	232
Porches/ Other		Total Exclusions	1496
Total Gross *	2,859		

C1. Proposed Gross Floor Area *
2,895 Sq. Ft.
C2. Allowable Floor Exclusions**
1,496 Sq. Ft.
C3. Proposed Floor Area minus
Exclusions 1,399 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,399 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 1,435 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

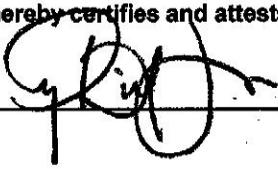
** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	N/A
Required Open Space	800
Proposed Open Space	800

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

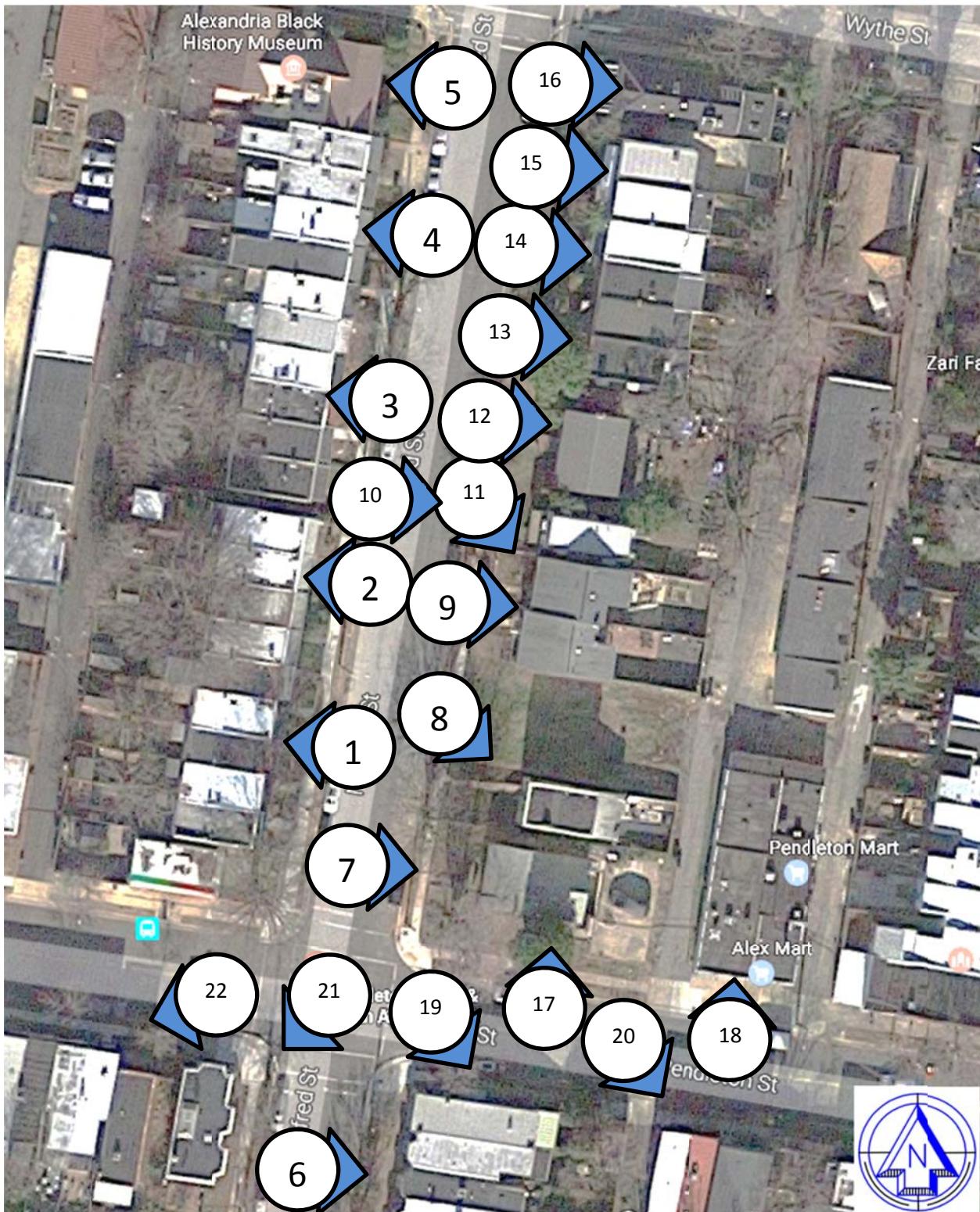
Signature: 

Date: 6/26/2017

Updated July 10, 2008

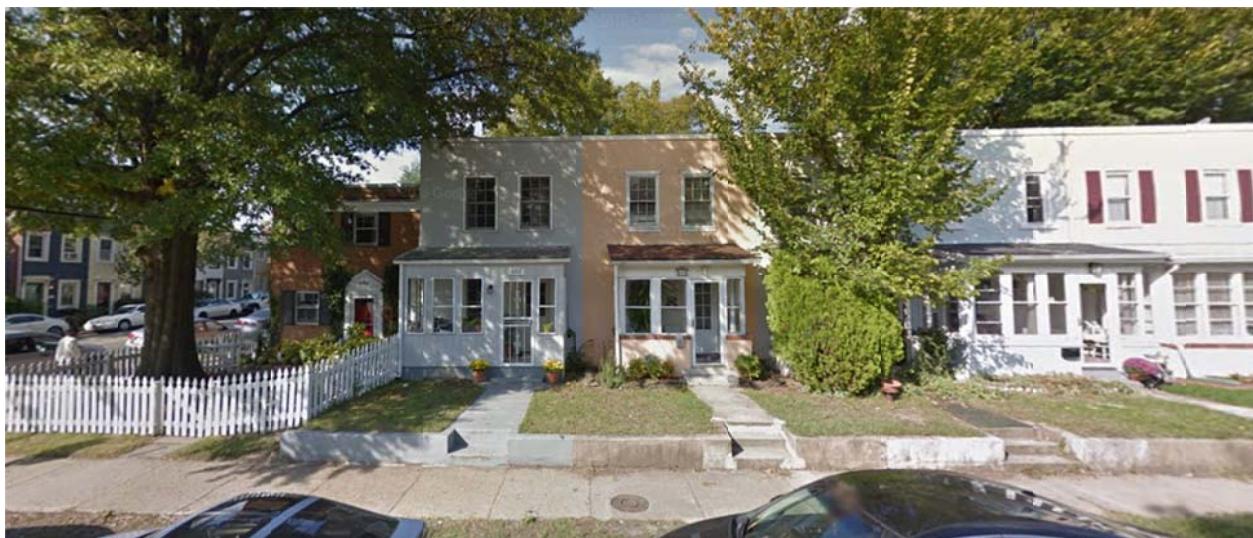
Street Views Key (N. Alfred St. and Pendleton Street)

BAR2017-00213
603 N. Alfred St
Application Materials

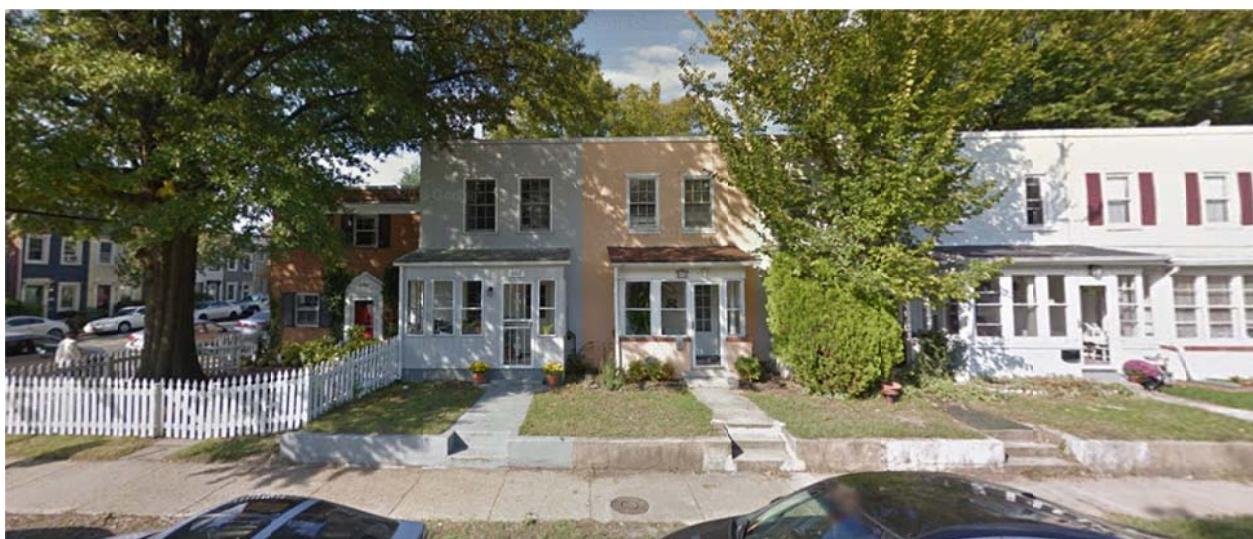


Street Views Key (N. Alfred St. and Pendleton Street)

BAR2017-00213
603 N. Alfred St
Application Materials



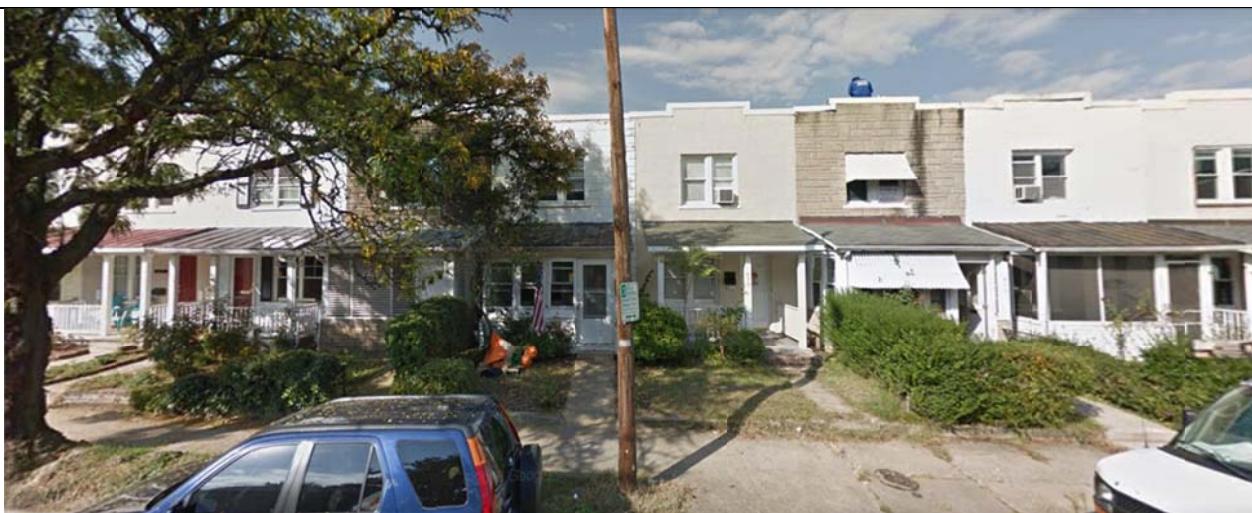
WEST VIEW POINT 1



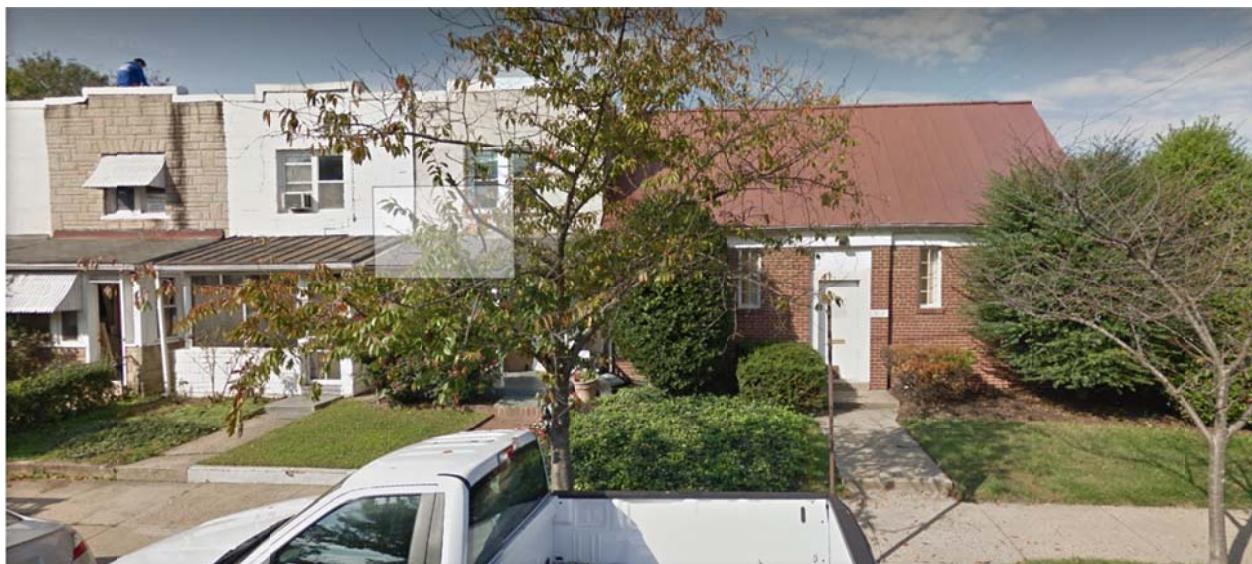
WEST VIEW POINT 2



WEST VIEW POINT 3

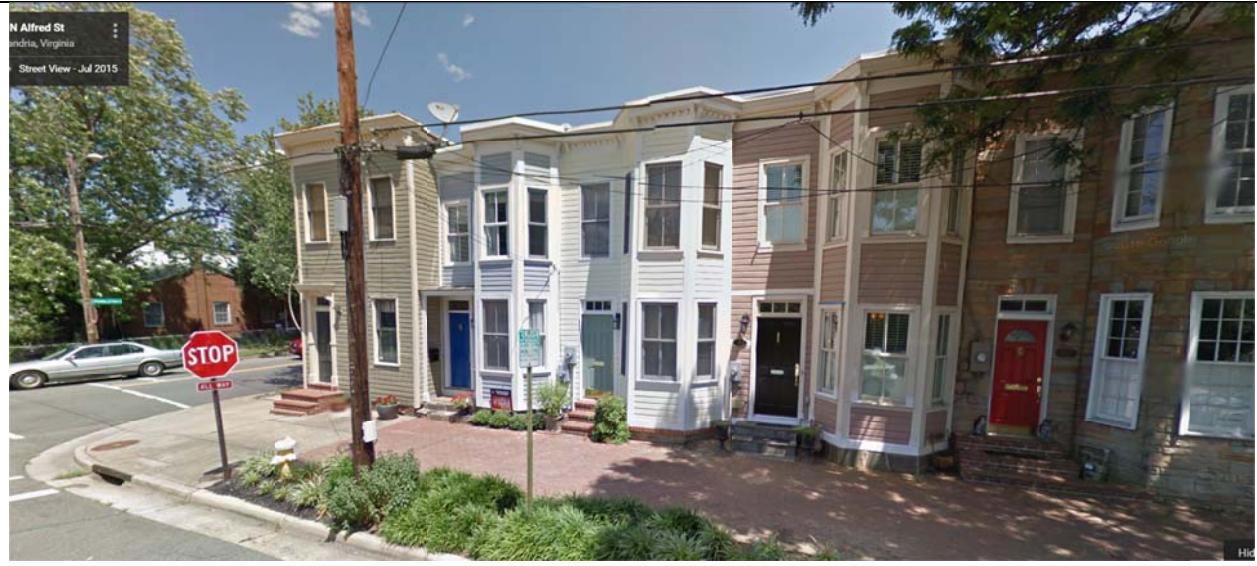


WEST VIEW POINT 4



WEST VIEW POINT 5

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EAST VIEW POINT 6



EAST VIEW POINT 7

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EAST VIEW POINT 8



EAST VIEW POINT 9



EAST VIEW POINT 10



EAST VIEW POINT 11

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EAST VIEW POINT 12



EAST VIEW POINT 13



EAST VIEW POINT 14



EAST VIEW POINT 15



EAST VIEW POINT 16

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NORTH VIEW POINT 17



NORTH VIEW POINT 18



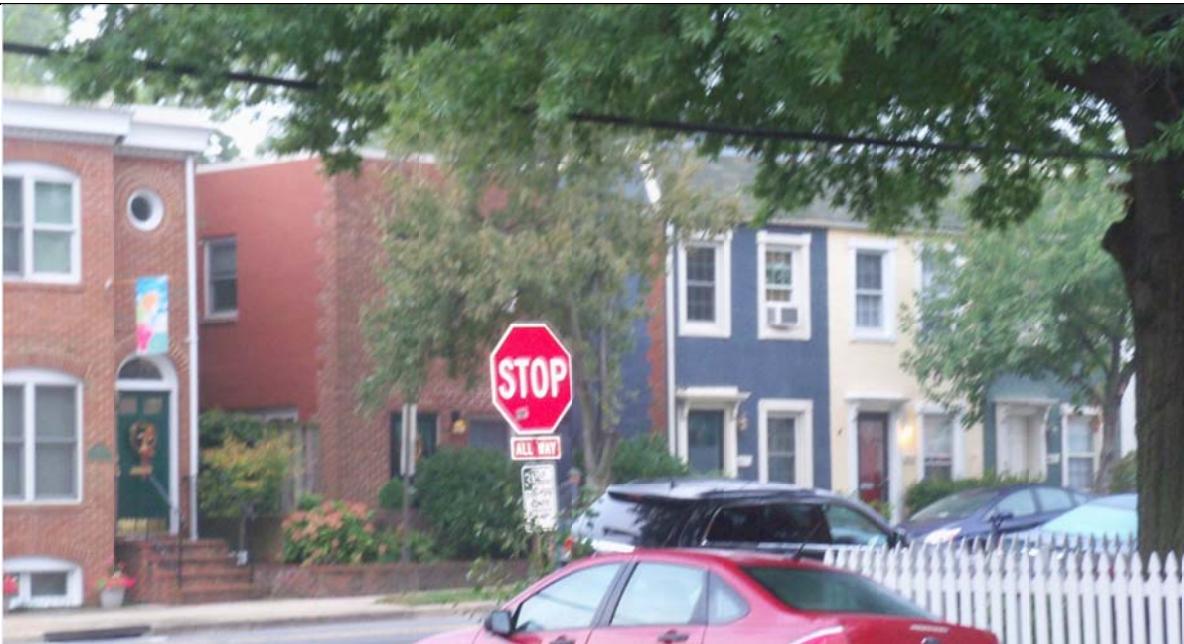
SOUTH EAST VIEW POINT 19



SOUTH EAST VIEW POINT 20



SOUTH WEST VIEW POINT 21



SOUTH WEST VIEW POINT 22

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PROPOSED EXTERIOR MATERIALS

FOR 603 N. ALFRED STREET, ALEXANDRIA, VA

NOTE 1: ALL MATERIAL COLORS AND PAINTS SHALL BE SELECTED BASED ON THE APPROVED COLOR PALETTE FOR THIS HISTORIC DISTRICT AS SET FORTH BY THE CITY OF ALEXANDRIA.

NOTE 2: PRODUCT MATERIALS IDENTIFIED IS TO RELAY OVERALL DESIGN INTENT. ACTUAL PRODUCT MATERIALS SELECTED SHALL COMPLY WITH THE DESIGN INTENT.

ROOFING

1. ASPHALT SHINGLE ROOFING: MINIMUM 20 YEAR, SELF-SEALING ASPHALT SHINGLES AS MANUFACTURED BY CERTAINTeed FROM MAUNFACTURER'S STANDARD AT WEBLINK
WWW.CERTAINEED.COM/PRODUCTS/ROOFING/RESIDENTIAL#
2. SINGLE-PLY MEMBRANE ROOFING SYSTEM (BALLASTED, FULLY ADHERED, MECHANICALLY FASTENED) AS MANUFACTURED BY GAF; WEBLINK AT
WWW.GAF.COM/ROOFING/COMMERCIAL/PRODUCTS/SINGLE_PLY_ROOFING
3. ROOF TERRACE WALKING SURFACE
SHALL BE TREX FLOOR PLANKS ON BUILT-UP PRESSURE-TREATED 2"X DRAINAGE FLOOR; OVER SINGLE-PLY MEMBRANE DRAIN SURFACE WITH

ROOF GUTTER

GUTTERS: PRE-FINISHED ALUMINUM EXTRUDED BOX PROFILE WITH MATED, RECTANGULAR DOWNSPOUTS; PRE-CAST CONCRETE SPLASH BLOCKS.

WINDOWS

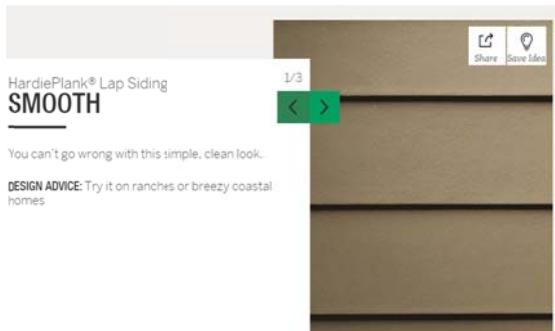
2 OVER 1 LITES, JELD-WEN'S SITELINE EX WOOD CLAD DOUBLE HUNG GLASS UNITS, LOW E, INSULATED GLASS, NO GRILLES, 4-9/16" OR 6-9/16" JAMBS, FULL INSECT SCREENS, BY JELD-WEN, OR EQUAL. GLAZING SHALL BE CLEAR, INSULATED (REFLECTIVE/ TINTED GLAZING PROHIBITED).

EXTERIOR BUILDING TRIM AND WINDOW/ DOOR HEADER TRIM

- BUILDING TRIM SHALL MATCH THE MATERIAL OF THE LAP SIDING.
- HEADER TRIM- BUILT-UP 1"X SHEET TRIM WITH 1"X HEAD CAP

PERIMETER WALLS- BUILDING FRONT, SIDE AND REAR

1. HARDIE PLANK 4" LAP SIDING AS MANUFACTURED BY JAMES HARDIE OR APPROVED EQUAL. SMOOTH TEXTURE, PAINTED WITH MATED TRIM; WEBLINK AT [HTTPS://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING](https://WWW.JAMESHARDIE.COM/PRODUCTS/HARDIEPLANK-LAP-SIDING).



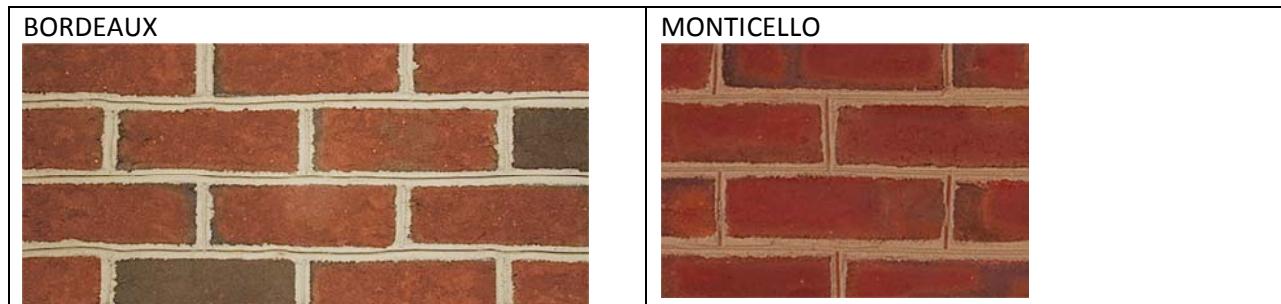
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BRICK MASONRY

BRICK MASONRY TO BE COMPATIBLE WITH PERIOD BRICK SELECTED SIMILAR TO MONTICELLO @ HTTP://WWW.OLDVIRGINIABRICK.COM/BRICK/WOOD_MOULDED.HTML OR BORDEAUX @ <WWW.NASHBRICK.COM/STYLES.HTML>, OR APPROVED EQUAL.



EXTERIOR DOORS

<u>FRONT ENTRY DOOR</u> 4 PANEL WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS OR APPROVED EQUAL	<u>REAR ENTRY DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL	<u>ROOF TERRACE RM DOOR</u> 2-PANEL/ 1/2 TOP LITE, SINGLE GALZED PANEL, WOOD DOOR, PAINTED. COLOR SELECTION SHALL BE FROM THE CITY'S LIST OF PRE-APPROVED COLORS. JELD WEN WINDOWS AND DOORS, OR APPROVED EQUAL.
		

<p><u>FRONT ENTRY</u></p> <p>QUOIZEL CCR8406CU COPPER BRONZE CHANCELLOR 1 LIGHT 12" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/Quoizel-CCR8406-Chancellor-1-Light-12-Tall-Outdoor-Wall-Sconce-with-Clear-Glass/p2243328?source=crto_2243328_outdoorlightingwallsconces_sho</p> 	<p><u>REAR ENTRY</u></p> <p>QUOIZEL CAR8406AC AGED COPPER CARLETON 1 LIGHT 12" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/quoizel-car8406-carleton-1-light-12-tall-outdoor-wall-sconce-with-clear-glass/p290591?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8406</p> 
<p><u>ROOF TERRACE</u></p> <p>QUOIZEL CAR8728AC AGED COPPER CARLETON 1 LIGHT 18" TALL OUTDOOR WALL SCONCE WITH CLEAR GLASS</p> <p>http://www.lightingdirect.com/quoizel-car8728-carleton-1-light-18-tall-outdoor-wall-sconce-with-clear-glass/p290593?intcmp=recs~item_page.rr1~ClickCP~Quoizel~quoizelcar8728</p> 	

HVAC EQUIPMENT

- I. SPLIT SYSTEMS
- II. LOCATION: ROOFTOP CONDENSERS ON FLAT HOUSEKEEPING PADS/
GENTLY SLOPING ROOFS; AIR HANDLERS IN BUILDING INTERIOR.

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ADDRESS OF PROJECT: 603 N. ALFRED STREET
 TAX MAP AND PARCEL: 054 - 04 - 13 - 22 ZONING: RB

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: 603 N. ALFRED ST., L.L.C.

Address: 3208 SPRING DRIVE

City: ALEXANDRIA State: VA Zip: 22306

Phone: 703/768-8437 E-mail: KSDJR@REGENTCOMPANY.COM

Authorized Agent (if applicable): Attorney Architect _____

Name: ED BILL LIEU

Phone: 703/589-6994

E-mail: blieu@liemann.com

Legal Property Owner:

Name: ABATE ABEBECH DEMESSIE, DEBBIE KALEB FIKRU

Address: 603 N. ALFRED ST. # ABRAHAM TIRUNES

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply**NEW CONSTRUCTION****EXTERIOR ALTERATION:** Please check all that apply.

<input type="checkbox"/> awning	<input type="checkbox"/> fence, gate or garden wall	<input type="checkbox"/> HVAC equipment	<input type="checkbox"/> shutters
<input type="checkbox"/> doors	<input type="checkbox"/> windows	<input type="checkbox"/> siding	<input type="checkbox"/> shed
<input type="checkbox"/> lighting	<input type="checkbox"/> pergola/trellis	<input type="checkbox"/> painting unpainted masonry	
<input type="checkbox"/> other _____			

 ADDITION DEMOLITION/ENCAPSULATION SIGNAGE**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

It is proposed that a new single family residence be built on Lot 33, designated street address as 603 N. Alfred Street. The new residence shall be a 2 story with walk-up basement, and roof terrace room with an open roof terrace fronting N. Alfred Street. See attached plans and elevations with this submission package.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

N/A

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.

FAR & Open Space calculation form.

Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.

Existing elevations must be scaled and include dimensions.

Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.

Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.

Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.

For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.

Square feet of existing signs to remain: _____.

Photograph of building showing existing conditions.

Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.

Location of sign (show exact location on building including the height above sidewalk).

Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).

Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.

Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.

Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.

An official survey plat showing the proposed locations of HVAC units, fences, and sheds.

Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)

I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

I, the applicant, or an authorized representative will be present at the public hearing.

I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: 6/12/2017

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

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1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. REGENT COMPANY, LLC	3208 SPRING ST. ALEXANDRIA, VA 22306	40%
2. KELLI SHABE	6517 SARA ALICE CT BURKE, VA	15%
3. LIFETIME CONSTRUCTION, LLC	23547 EVERGREEN RD ALDIE, VA 20125	45%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 603 N. ALFRED ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ABATE ABE BECHT DEMESSIE	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
2. DEBBIE KALEB FIKRU	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%
3. ABRAHAM TIRUNES	603 N. ALFRED ST. ALEXANDRIA, VA	33.33%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

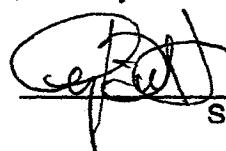
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/12/2017

04 DM LIEU

Date

Printed Name



Signature