

Docket Item #4 Development Special Use Permit #2025-10006 912-920 King Street – Extension

Application	General Data		
<b>Project Name:</b> 912-920 King St. Project	PC Hearing:	June 4, 2025	
	CC Hearing:	June 14, 2025	
	If approved, DSUP Expiration:	June 14, 2030 (five years to allow for completion of the parking structure at 116 S. Henry Street)	
	Plan Acreage:	$.25 \text{ acres} (10,703 \text{ SF})^1$	
<b>Location:</b> 912-920 King St.	Zone:	KR / King Street Retail	
	Proposed Use:	Mixed-use (residential, retail)	
	Dwelling Units:	31	
<b>Applicant:</b> Galena Capital Partners, represented by Mary Catherine Gibbs, attorney	Gross Floor Area:	33,308 SF	
	Net Floor Area:	26,755 SF	
	Small Area Plan:	Old Town / King Street Retail Strategy	
	Historic District:	Old & Historic Alexandria District	
	Green Building:	2009 Green Building Policy	
	Schools:	Lyles Couch Traditional Academy George Washington Middle School Alexandria City High School	

### **Purpose of Application**

The applicant requests a five-year extension of a previously approved Development Special Use Permit (DSUP#2019-00032) with site plan to construct a mixed-use multi-unit building with ground floor retail.

### Special Use Permits and Modifications Requested

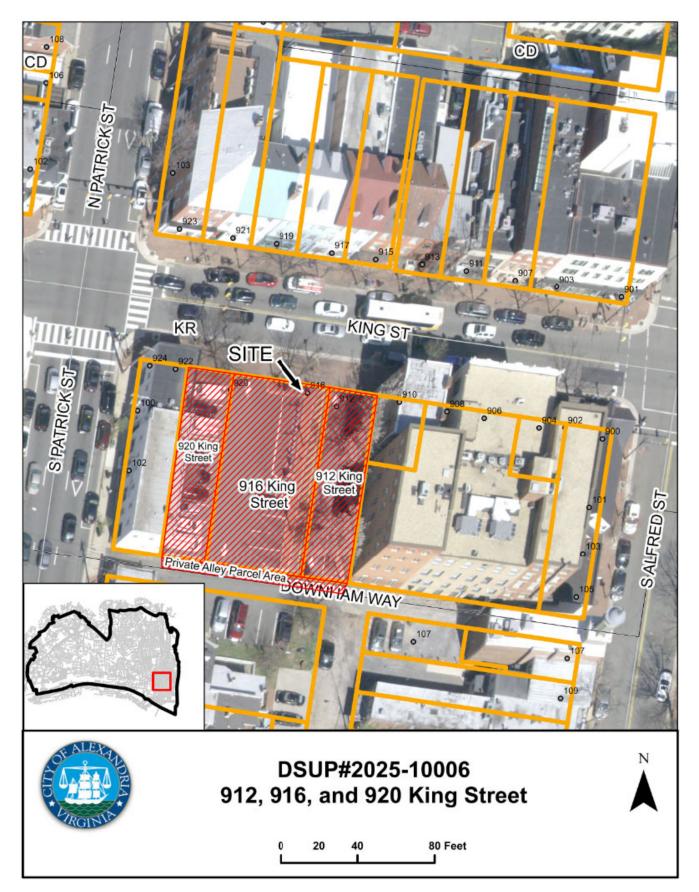
- DSUP with site plan for a mixed-use building (31 units)
- Special Use Permit for increase in residential FAR to 2.5 in the KR zone
- Special Use Permit for a parking reduction to allow off-site residential parking
- Special Use Permit for a reduction of the loading space requirement (for clearance height)
- Modification to the requirement for storefront glass on King Street
- Modification to the crown coverage requirement

### Staff Recommendation: APPROVAL WITH CONDITIONS

#### **Staff Reviewers:**

Robert M. Kerns, AICP, Chief of Development Catherine Miliaras, AICP, Principal Planner Stephanie Sample, Urban Planner <u>robert.kerns@alexandriava.gov</u> <u>catherine.miliaras@alexandriava.gov</u> <u>stephanie.sample@alexandriava.gov</u>

<sup>&</sup>lt;sup>1</sup> Area includes adjacent portion of private alley in addition to the main parcel.



# I. <u>SUMMARY</u>

Staff recommends approval of a five-year extension of a previously approved Development Special Use Permit (DSUP) for the construction of a mixed-use development with 31 residential units and ground floor retail. This project, along with a related project at 116 S. Henry Street (DSUP#2019-00033 original approval; DSUP#2025-10005 project extension), is part of the redevelopment of two City-owned surface parking lots. Although this project has not yet expired it is part of the larger redevelopment involving 116 S. Henry Street, which expires this summer, and must be completed before the subject property can be redeveloped. All prior approvals associated with the project will be extended, except for two SUPs (one for a Transportation Management Plan and the other for a restaurant), which are no longer necessary due to zoning changes implemented following the project's approval.

This is the first project extension request, and staff finds that it continues to be a reasonable and appropriate use for this site and is consistent with the Old Town Small Area Plan. The applicant noted several reasons for the construction delay including economic downturn following the pandemic; construction price increases; and delays associated with the project at 116 S. Henry Street.

The project continues to provide the following benefits:

- High-quality, compatible design and architectural character that has been approved by the Board of Architectural Review;
- Infill development that removes a surface parking lot from King Street and will enhance the retail corridor and fill-in the blockface;
- Ground-floor commercial space fronting King Street that is designed generally in conformance with the King Street Retail Strategy and KR zone;
- Residential units on King Street that will add to the mixed-use character of Old Town and the creation of "retail-ready" (live/work) units facing the private alley that can be converted to commercial use;
- Streetscape and pedestrian improvements, including new brick sidewalks, granite curb and street trees on King Street and a publicly accessible pedestrian alley along the eastern portion of the site;
- Green building and site design, including a minimum LEED Certified (or equivalent) for residential and LEED Silver (or equivalent) building certification;
- Public art contribution (at a minimum value of \$9,992);
- A Housing Trust Fund contribution (approximately \$109,359);
- A \$5,000 contribution to Capital Bikeshare; and
- A \$4,980 contribution to the Urban Forestry Fund.

## II. <u>BACKGROUND</u>

### A. Procedural Background

The original five-year approval was granted on September 12, 2020, but was extended to July 17, 2027, by the City Council's passage of an ordinance in connection with the Covid-19 local emergency declaration allowing for project extensions. The applicant submitted several final site plans and the plan was set to be released pending approval of the bond package.

### B. Disposition of 116 S. Henry and 912-920 King Street and Section 9.06 Review

In 2009, the City declared the two surface parking lots surplus properties and in 2017 a Request for Proposals (RFP) was issued for the disposition, sale and redevelopment of the properties. In 2019, the City entered into a contract with Galena Capital Partners, LLC to redevelop both sites. The contract requires that the projects be phased, with the parking garage on the Henry Street site constructed and operable prior to the commencement of the King Street building to maintain public parking in the immediate vicinity. The applicant will close on the sale of the properties after the approval of the building permits.

The Planning Commission reviewed the sale of the properties per City Charter Section 9.06 on October 3, 2019, finding that the sale was consistent with the goals of the Old Town Small Area Plan, which advocates for a balance of commercial and residential.

## C. Site Context

The site consists of an existing surface parking lot with a Capital Bikeshare station and frontage on both King Street and Downham Way. The site area includes a 745-square foot section of the adjacent private alley (Downham Way) to its centerline. Based on Virginia case law, the adjacent portion of a private alley (noted below as the "private alley parcel area") is owned by the adjacent property owner. The applicant is utilizing this portion of the alley for floor area purposes and will consolidate the parcels, though it will remain unobstructed and have a public access easement.



Figure 1: Site location

### **D.** General Project Description

The proposed mixed-use, 31-unit building includes 3,484 square feet of new ground-floor retail space fronting King Street and three ground-floor retail-ready units on the rear alley. The four-story building will fill the majority of the site, excluding a 10-foot-wide pedestrian alley along the eastern edge of the site which will provide access to the rear alley and the residential building entrance. Parking for residents and visitors will be provided one block to the west at 116 S. Henry Street automated garage. The building will have a maximum height of 50 feet, and completes the street wall along the 900 block of King Street with a variable-height front façade with a setback at the fourth floor on the west half of the building. The project appears as two slightly offset building. The setbacks and brick variety help to break down the project into different building masses consistent with the other historic buildings on the block.



Figure 2: King Street rendering

# III. ZONING

#### Table 1 – Zoning Tabulations

Property	912-920 King Street		
Addresses	_		
Total Site Area	10,703 SF (.25 acres)		
Zone	KR/King Street Retail zone		
Current Use	Surface parking lot		
Proposed Use	Mixed-use residential/retail		
	Permitted/Required	Proposed/ Provided	
FAR	2.5 with SUP	2.5	
Height	50	50	

Open	150 SF per unit (4,500 SF)	4,500 SF
Space		
Crown	25% required (2,676 SF)	$0 \mathrm{SF}^2$
Coverage		
Parking	28-32 residential spaces	28 spaces (minimum) provided off-site at 116 S. Henry St. garage <sup>3</sup>
Loading Spaces	1	14

# IV. STAFF ANALYSIS

Staff recommends extending the period of validity for the previously approved Development Special Use Permit and associated approvals for five years.

### A. Consistency with Small Area Plan

The site is in the boundaries of both the Old Town Small Area Plan and the King Street Retail Strategy. The plan meets several of the SAP's recommendations to maintain the balance of residential and commercial uses. Likewise, the project complies with several elements of the King Street Strategy elements, such as sidewalks and a vital retail environment.

### **B.** City Policies

All City policies in effect at the time of the original approval are applicable for the first extension. In addition, the monetary contributions to the Housing Trust Fund, the Urban Forestry Fund, the Public Art Fund and Capital Bikeshare have already been calculated per the 2020 approval.

### Affordable Housing Policy

The applicant will provide a voluntary monetary contribution of \$109,359 to the City's Housing Trust Fund based on a Non-Residential contribution of \$2.29 per square foot, a Tier 1 Residential contribution of \$3.06 per square foot, and a Tier 2 Residential contribution of \$6.11 per square foot. The contribution is consistent with the City's Procedures Regarding Affordable Housing Contributions and supports the goals and strategies of the City's Housing Master Plan.

### Green Building Policy

The project is subject to 2009 Green Building Policy, which requires that the project achieve LEED Certified (or equivalent) for residential uses and LEED Silver (or equivalent) for non-residential uses.

<sup>&</sup>lt;sup>2</sup> Crown coverage modification granted (DSUP#2019-00032)

<sup>&</sup>lt;sup>3</sup> Parking reduction granted for off-site parking (DSUP#2019-00032)

<sup>&</sup>lt;sup>4</sup> Loading space reduction granted for a lower clearance height (DSUP#2019-00032)

### Public Art Policy

The applicant has indicated that they will pay a contribution to the Public Art Fund, which is estimated to be approximately \$9,992.

### C. Board of Architectural Review

Following approval of the original DSUP, the Board of Architectural Review approved the Certificate of Appropriateness for the project on April 6, 2022 (BAR#2022-00103). The BAR approval is associated with the DSUP and therefore the Certificate of Appropriateness will be extended for another five years as part of this request.

### **D.** Additional Considerations

### Conditions

The original DSUP conditions have been carried forward with the following changes:

#### Amended/deleted:

- Removed the condition that notes that if there were fireplaces in the development, they were required to be gas powered (original Condition #87)
- Removed of the commercial kitchen condition referencing the need for an Oil and Grease Separator Maintenance Agreement (original Condition #57)
- Removed of the conditions related to the restaurant SUP, because restaurants are now approved via administrative approval (original Conditions #125-141)
- Replaced the previous TMP conditions (original Conditions #48-52) with new City-managed TMP conditions
- Updated the sewer tap fee condition (original Condition #56)
- Updated the DSUP and BAR case numbers and approval dates

### E. School Impacts

When the project was first approved the student generation rate for the 31 residential units in a marketrate, mid-rise building was .03 students per unit, or one student. Using the most recent formula of .04 students per unit, the number of students generated is still one.

# V. <u>COMMUNITY</u>

The applicant hosted a virtual community meeting on May 19, 2025, where both the King and Henry streets projects. The Old Town Civic Association and the Upper King Street Neighborhood Association, as well as nearby neighbors, were invited to attend. The applicant explained the project and answered questions related to construction timing and the operation of the garage.

# VI. CONCLUSION

Staff recommends approval of the five-year extension of a previously approved DSUP (DSUP#2019-00032) with site plan to construct a mixed-use multi-unit building with ground floor retail subject to compliance with all applicable codes and the following staff recommendations.

Staff: Robert M. Kerns, AICP, Chief, Development Division Catherine Miliaras, AICP, Principal Planner, Development Division Stephanie Sample, Urban Planner, Development Division

# VII. ADDITIONAL GRAPHICS

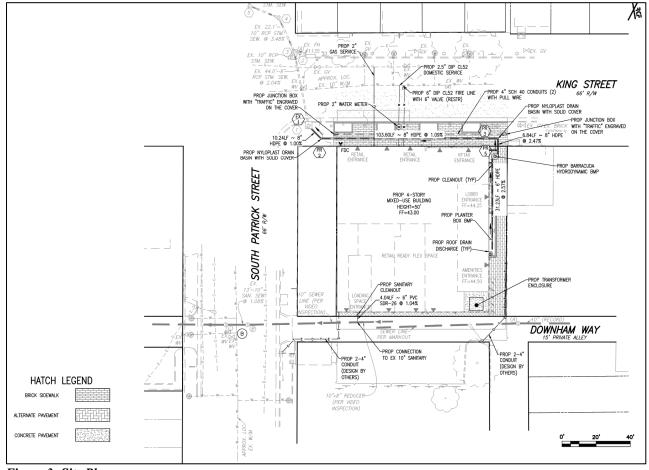


Figure 3: Site Plan

# VIII. STAFF RECOMMENDATIONS

1. **CONDITION AMENDED BY STAFF:** The Final Site Plan shall be in substantial conformance with the Plan dated May 1, 2020 –October 13, 2023 and comply with the following conditions of approval.

# I. <u>SITE PLAN</u>

- 2. **CONDITION AMENDED BY STAFF:** Per Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 60 months after initial approval (plus any extensions per the July 7, 2020 City Council Docket Item 15.a. due to the COVID-19 emergency) and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 36 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. The period of validity may be extended upon petition by the applicant and after adequate notice and public hearing. (P&Z)
- 3. Submit the plat and all applicable easements prior to the Final Site Plan submission. The plat(s) shall be approved prior to or concurrently with the release of the Final Site Plan. (P&Z) (T&ES) \*
- 4. The plat shall be recorded, and a copy of the recorded plat, dedications and deeds shall be submitted with the first request for a building permit. (P&Z) (T&ES) \*\*
- 5. The plat shall include the consolidation of the site with the adjacent portion of the private alley labeled as the "private alley parcel area" on the Preliminary Plan. (P&Z) (T&ES) \*
- 6. Provide public access easements to the following areas. The easement language shall be reviewed by the Office of the City Attorney and to the satisfaction of the Directors of P&Z and T&ES:
  - a. The pedestrian alley from the King Street right-of-way to the southern property line.
  - b. The linear strip of walkway in front of the private alley retail-ready units.
  - c. The private alley parcel area. (P&Z) (T&ES) (CC) \*, \*\*
- 7. Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include:
  - a. Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
  - b. Minimize conflicts with plantings, pedestrian areas and major view sheds.
  - c. Do not locate above grade utilities in dedicated open space areas and tree wells.
  - d. If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z) (T&ES) (BAR)

- 8. Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or P&Z in consultation with the Chief of Police and shall include the following:
  - a. Clearly show location of all existing and proposed streetlights and site lights, shading back less relevant information.
  - b. Determine if existing lighting meets minimum standards within the City right-ofway adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
  - c. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
  - d. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
  - e. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed streetlights and site lights.
  - f. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and streetlights to minimize light spill into adjacent residential areas.
  - g. If site lights are included in the photometric plan to comply with City's lighting standards, then these lights shall be put on photovoltaic switches.
  - h. Provide location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
  - i. Detail information indicating proposed light pole and any footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
  - j. The lighting for the areas not covered by the City of Alexandria's standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
  - k. Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development.
  - 1. Light fixtures for open canopies shall be recessed into the ceiling for any areas that can be seen from the public ROW.
  - m. Upon installation of all exterior light fixtures for the site/building, the applicant shall provide photographs of the site demonstrating compliance with this condition.
  - n. Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties.
  - o. All streetlights fronting the site shall be replaced with Alexandria Historic Street Lights (or subsequent designated streetlight) with details coordinated with the City. (P&Z) (T&ES) (Police)(BAR)(Code)
- 9. Provide a unit numbering plan for each floor of a multi-unit building with the first Final Site Plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers

for third floor and continue in this scheme for the remaining floors. Indicate the use of the unit (i.e.: residential, retail, office) if known. (P&Z)

10. Provide a georeferenced CAD file in .dwg format of the dimension plan of this project. This information will be used to compile a master CAD reference to ensure all elements / layers are correctly located and will connect. (P&Z) (DPI) \*

### A. <u>BUILDING:</u>

- 11. **CONDITION AMENDED BY STAFF:** The building design, including the appearance, color and quality of materials, final detailing, three-dimensional expression shall be generally consistent with the elevations dated June 12, 2020, and the <u>April 6, 2022 Board</u> of Architectural Review approved Certificate of Appropriateness (<u>BAR2022-00103</u>) from the Board of Architectural Review and the following conditions. (P&Z)
- 12. Provide the following building refinements to the satisfaction of the Director of P&Z:
  - a. Any ventilation for the retail/commercial uses (including for retail-ready spaces fronting the private alley) shall be integrated with the overall building design, reviewed and approved to the satisfaction of the Director of Planning and Zoning.
  - b. All wall mounted vents shall be flush mounted and architecturally integrated with the building design with regard to both placement and color.
  - c. The unit count may increase to 31 units subject to the applicant providing the required additional 150 square feet of open space as shown on the memo from the applicant's attorney dated August 24, 2020, as well as satisfying any other requirements to ensure consistency with all applicable Zoning Ordinance regulations. (P&Z)
- 13. Work with staff on the continued refinement of the area of the eastern building wall elevation labeled in the Preliminary Plan as "potential art wall w[ith] lighting." The refinements could include the following:
  - a. Additional brick and architectural detailing as determined through the BAR Certificate of Appropriateness review.
  - b. The determination prior to the release of Final Site Plan that a potential addition of an artistic installation or public art piece can be added in consultation with the City Office of the Arts. (P&Z) (BAR) (RP&CA) \*
- 14. Provide detailed drawings (enlarged and coordinated plan-section-elevation studies, typically at ¼"=1'-0" scale, in color, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the Final Site Plan review. Separate design drawings shall be submitted for each building typology or different bay type. (P&Z)
- 15. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the Preliminary Plan and as set forth in the associated *Guidelines for Preparations of Mock-Up Panels*

Memo to Industry, effective May 16, 2013. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:

- a. Provide a materials board that includes all proposed materials and finishes at first Final Site Plan. \*
- b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant. \*\*\*
- c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. \*
- d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel requires a building permit and shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. \*\*
- e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. \*\*\* (P&Z) (Code)
- 16. Building materials, finishes and architectural details shall be subject to review and approval by the Board of Architectural Review. A materials board shall be submitted as part of the Certificate of Appropriateness approval (BAR)
- 17. The BAR shall review and approve any reduction and changes to the building massing and architecture made necessary if the "private alley parcel area" is not consolidated with the site prior to the release of the Final Site Plan and a building massing reduction is required. (P&Z) (BAR) \*
- 18. Per the City's Green Building Policy adopted April 18, 2009, achieve LEED Certified (or equivalent) for the residential portion of the building and LEED Silver (or equivalent) for the commercial portion of the building and retail-ready units to the satisfaction of the Directors of P&Z and T&ES. In addition to the compliance with the 2009 Green Building Policy, the applicant shall demonstrate additional commitment to green building practices by seeking to achieve one of the following:
  - a. LEED Silver / 2 Green Globes (or equivalent) for the entire building.
  - b. Meeting one of the performance points requirements for Green Globes outlined in the 2019 Green Building Policy:
    - i. 3.3.1.1 Assessing Energy Performance
    - ii. 3.3.9.1.1 / 3.3.9.1.2 / 3.3.9.2.1 Renewable Energy
    - iii. 3.4.1.1 Indoor Water Consumption
    - iv. 3.7.1.1 / 3.7.1.2 / 3.7.2.1 Indoor Air Quality
- 19. Diligent pursuance and achievement of the applicable green building certification and performance points shall be monitored through the following:

- a. Provide evidence of the project's registration with LEED (or equivalent) with the submission of the first Final Site Plan and provide a draft checklist showing how the project plans to achieve the certification.\*
- b. Provide evidence of submission of materials for Design Phase credits to the U.S. Green Building Council (USGBC) (or equivalent) prior to issuance of a certificate of occupancy. \*\*\*
- c. Provide evidence of submission of materials for Construction Phase credits to USGBC (or equivalent) within six months of obtaining a final certificate of occupancy.
- d. Provide documentation of certification within two (2) years of obtaining a final certificate of occupancy.
- e. Failure to achieve LEED Certified (or equivalent) for the residential portion of the project and LEED Silver (or equivalent) for the commercial and retail-ready portion of the project, and the additional green building requirement as outlined above will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply.
- f. Provide documentation to future retail tenants encouraging them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Commercial Interiors certification. (P&Z) (T&ES) (RP&CA)
- 20. Increase the loading dock clearance height at the building opening to a minimum 11.5 feet above the Downham Way elevation finished floor to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) \*
- 21. The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES) (P&Z)
- 22. Install Energy Star labeled appliances in all multi-family residential units. (T&ES)
- 23. In order to provide a more sustainable use of natural resources, the applicant shall use EPAlabeled WaterSense or equivalent low flow fixtures. In addition, the applicant is encouraged to explore the possibilities of adopting water reduction strategies (i.e., use of gray water system on-site) and other measures that could reduce the consumption of potable water on this site. A list of applicable mechanisms can be found at: www.epa.gov/WaterSense. (T&ES)

### B. <u>OPEN SPACE/LANDSCAPING:</u>

24. Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. Landscape plans shall be submitted in accordance with the City of Alexandria's Landscape Guidelines, available online at:  $\underline{www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGuidelinesFina}\\ \underline{lv2Final.pdf}$ 

- 25. If existing soils will not be used and imported soils are specified, provide a soil sample test report documenting the imported soil's pH concurrent with the landscape installation/planting operations pre-installation/construction meeting. (P&Z) \*\*\*
- 26. Develop a palette of site furnishings in consultation with staff. Site furnishings may include benches, bicycle racks, trash and recycling receptacles, and other associated features (P&Z) (T&ES) \*
- 27. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) (Code) \*
- 28. Provide, implement and follow a <u>Tree and Vegetation Protection Plan</u> per the City of Alexandria Landscape Guidelines. (P&Z) (RP&CA)

### C. <u>ARCHAEOLOGY:</u>

- 29. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the pedestrian alley and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the Final Site Plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.\* (Arch)(P&Z)(RP&CA)
- 30. Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
- 31. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. \* (Archaeology)

- 32. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 33. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 34. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.\*\*\* (Archaeology)

### D. <u>PEDESTRIAN/STREETSCAPE:</u>

- 35. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
  - a. Complete all pedestrian improvements prior to the issuance of a certificate of occupancy permit.
- 36. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet.
  - a. All brick sidewalks shall comply with the City's Memos to Industry 05-08 and 01-13.
  - b. All existing granite curbing fronting the site shall be retained and matching granite curbing shall replace areas of existing concrete curbing.
  - c. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts. \*\*\* (P&Z) (T&ES)
- 37. The design of the pedestrian alley along the eastern portion of the site shall include the following:
  - a. The alley should be visually integrated with the adjacent sections of King Street sidewalk and rear walkway of the site, including flush transitions.
  - b. The alley shall feature pedestrian-scale<u>d</u> lighting.
  - c. The walkway shall not be gated or obstructed on either end with the exception of removable pedestrian safety enhancements at the southern end of the walkway within the property line to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES)

### E. <u>PARKING:</u>

38. Parking reserved in the off-site garage at the 116 S. Henry Street development for the residential and commercial uses shall be consistent with the requirements of the Zoning

Ordinance in effect at the time of approval by City Council and/or Planning Commission. (P&Z) (T&ES)

- 39. All residential parking shall be unbundled (i.e., the cost to purchase or lease a parking space in the garage at the 116 S. Henry Street development is separate from the cost to purchase or lease the residential unit). (T&ES)
- 40. Provide a Parking Management Plan in coordination with the development at 116 S. Henry Street with the Final Site Plan submission. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and comply with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. In addition to the requirements of the Memo to Industry, include the agreement between this development and the development and garage at 116 S. Henry Street, a narrative of the shared use of the garage and accessibility to the public, and a description of the automatic garage operations and management. (P&Z) (T&ES)
- 41. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)
- 42. CONDITION AMENDED BY STAFF: Provide 12 bicycle parking spaces per Alexandria's current Bicycle Parking Standards and note the required versus proposed amounts of short-term and long term spaces on the cover sheet of the plan set. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on bicycle parking shall be provided on the Final Site Plan. Bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) \*\*\*

# II. TRANSPORTATION

### A. <u>STREETS/TRAFFIC:</u>

- 43. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction / installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
- 44. A pre-construction walk / survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)

- 45. Show turning movements of the largest delivery vehicle projected to use the loading dock. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)
- 46. Furnish and install two 4-inch Schedule 40 PVC conduits with pull wires, and junction boxes underneath the sidewalks along the frontage of King Street. These conduits shall terminate in an underground junction box at each of the public street corners of the site. The junction box cover shall have the word "TRAFFIC" engraved in it. (T&ES)
- 47. Asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)
- 48. The private alley providing access to abutting property owners shall be jointly managed and maintained to the satisfaction of the Director of T&ES. A maintenance agreement between the applicant and the City for the portion of the public alley labeled as the "private alley parcel area" on the Preliminary Plan shall be approved and recorded prior to release of the Site Plan. (T&ES) \*

### B. TRANSPORTATION MANAGEMENT PLAN (SUP#2020-0034):

## CONDITIONS AMENDED BY STAFF:

City Managed TMPs

- 49. <u>Contribute to the Citywide Transportation Management Plan (TMP) at the rate specified</u> by the current TMP policy. Unless the upfront payment or partial upfront payment option is chosen as described below, payments are due once per year no later than September 30 for 30 years with rates adjusted annually for inflation based on the April-to-March Consumer Price Index change reported by the Bureau of Labor Statistics. (T&ES)
- 50. Projects that obtain their first Certificate of Occupancy prior to July 1, will have their first year of assessment in the current calendar year. Projects that obtain their first Certificate of Occupancy on July 1 or later will have their first year of assessment in the next calendar year.
- 51. <u>A development may receive a 35% discount for paying the entire 30-year amount</u> (unadjusted for inflation) prior to receipt of the first Certificate of Occupancy. Under this option, no further TMP payments are required. \*\*\*
- 52. <u>A development may receive a 25% discount for paying one quarter of the entire 30-year</u> amount (unadjusted for inflation) before receipt of the final Certificate of Occupancy and five standard subsequent payments over the next five years. The five annual payments will be made no later than September 30 each year. After these payments are made, no further TMP payments are required. \*\*\*

- 53. The applicant/owner may request permission to manage its own TMP fund subject to the approval of the Director of T&ES. The property must have achieved specific single occupancy vehicle targets for at least three years in a row, as specified in the current TMP policy, and have provided the City with detailed information about how the applicant/owner will manage the TMP for the development. Development would retain the annual TMP contributions and must spend it exclusively on transportation related activities approved bv the Director of T&ES or designee. (T&ES)
- 54. Designate an on-site TMP Coordinator prior to the issuance of the first Certificate of Occupancy. Provide the name, address, email, and telephone number of the coordinator to the City's Mobility Services Division, updating this information annually or as needed. This person will be the City's point of contact for the development and will be responsible for paying invoices, coordinating with staff on TMP-related activities as needed. (T&ES) \*\*\*
- 55. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement Transportation Demand Management (TDM) strategies to discourage single occupancy vehicle (SOV) travel and encourage residents and employees to take public transportation, walk, bike or share a ride. (T&ES)
- 56. A TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for assisting the City in implementing and facilitating the TMP on site. The coordinator must provide City staff access to the property and tenants/residents in order to implement TDM measures such as surveys, mailings and hosting events to inform residents and tenants about benefits and alternatives to SOV travel. (T&ES) \*\*\*
- 57. The TMP shall be required to make a monetary payment twice per year to the Citywide TDM Fund. TMP funds shall be deposited to the Citywide TDM Fund on January 15 and July 15 of each year. The annual base assessment rate for this development shall be determined as set forth in section 11-708 (TMP Assessments Schedule and Adjustments). The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins. (T&ES)
- 58. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the property may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the City Council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (T&ES)

59. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)

#### C. <u>BUS STOPS AND BUS SHELTERS:</u>

- 60. Show all existing bus stops, bus shelters, and bus stop benches in the vicinity of the site on the Final Site Plan. (T&ES) (Code)
- 61. Street trees in proximity to bus stop approaches or directly adjacent to travel lanes shall be planted and maintained pursuant to the Landscape Guidelines:
  - a. Located to avoid conflict with vehicles, specifically:
    - i. Trees shall be excluded from a 40-foot zone which represents the length of the bus as it is serving the stop.
    - ii. Trees within both the 10-foot departure zone and the 20-foot approach zone (on either side of the 40-foot zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.

# III. <u>PUBLIC WORKS</u>

### A. <u>WASTEWATER/SANITARY SEWERS:</u>

- 62. The project lies within the Combined Sewer System (CSS) area district, therefore, stormwater management and compliance with the state stormwater quality and quantity requirements and the City's Alexandria Water Quality Volume Default shall be coordinated with the project's compliance with the CSS Management Policy set forth in Memo to Industry 07-14, effective July 1, 2014. The applicant is proposing to discharge both the sanitary flow and the stormwater from the site to the combined sanitary sewer system. With respect to sanitary requirements, the applicant shall contribute \$58,338.00 based on a formula of \$1.5 per gallon of peak sanitary flow (\$1.5 per gallon x 9,723 gallons x 4). With respect to the stormwater requirement, the applicant is proposing bioretention to help mitigate stormwater impacts on combined sewer discharges. Staff has determined that the size of the proposed green roof would meet 37 percent of their stormwater requirements. Therefore, the applicant shall contribute based on a formula of \$200,000 per acre x 0.27-acre x (1-0.37), which results in a contribution of \$34,020.00. The sanitary and stormwater contribution fee is due prior to release of the final site plan.(T&ES)
- 63. **CONDITION AMENDED BY STAFF:** <u>Pay t</u>The sewer connection fee <u>per City Code</u> Sec. 5-6-25.1(a). (T&ES) must be paid prior to release of the Final Site Plan. (T&ES)

(Former Condition #57) If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The

agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES) \*

#### B. <u>UTILITIES:</u>

- 64. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)
- 65. Undergrounding shall be consistent with the exhibit entitled, "King Street and S. Henry Street Dry Utility Plan" provided to the City of Alexandria on August 6<sup>th</sup>, 2020. Any deviations to the dry utility plan shall be approved by the Director of T&ES. (T&ES)
- 66. No transformer and switch gears shall be located in the public right of way. (T&ES)

#### C. <u>SOLID WASTE:</u>

- 67. If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection vehicles must be able to pick up solid waste from private streets without backing up. The containers must be stored inside the units or within an enclosure that completely screens them from view. Where the City of Alexandria provides the solid waste collection services; all refuse/recycling shall be placed at the City Right-of-Way for collection. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
- 68. All trash collectors for the project site are required to take their collected trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
- 69. Provide \$1,402 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES) \*
- 70. Provide \$1,626 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)

# IV. ENVIRONMENTAL

#### A. <u>STORMWATER MANAGEMENT:</u>

- 71. The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)
- 72. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
- 73. All stormwater Best Management Practices (BMPs) must be designed to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs. This includes site specific plan views, cross sections, planting plans, and complete design calculations for each BMP. (T&ES)
- 74. Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (bercentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees (NAD83). (T&ES)
- 75. Construction inspection checklists and associated photographic documentation must be completed for each stormwater best management practice (BMP) and detention facility during construction. Prior to the release of the performance bond, the applicant must submit all documents required by *The City of Alexandria As-Built Stormwater Requirements* to the City including as built plans, CAD data, BMP certifications and completed construction inspection checklists. (T&ES)
- 76. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
  - a. Constructed and installed as designed and in accordance with the released Final Site Plan.
  - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (T&ES) \*\*\*\*

- 77. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
- 78. Submit two (2) originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the Final Site Plan. (T&ES) \*
- 79. The applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the master association. Prior to transferring maintenance responsibility for the BMPs to the master association, the applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three (3) years, and transfer the contract to the, master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. (T&ES) \*\*\*\*
- 80. If units will be sold as individual units and a Master Association established the following two conditions shall apply:
  - a. The applicant shall furnish the Master Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
  - b. The developer shall furnish each home / property purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the property owners and the Master Association with respect to maintenance requirements. Upon activation of the Master Association, the Developer shall furnish five copies of the brochure per unit to the Master Association for distribution to owners. (T&ES)
- 81. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division on digital media prior to release of the performance bond. (T&ES) \*\*\*\*
- 82. Prior to release of the performance bond, the applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. (T&ES) \*\*\*\*

#### B. <u>WATERSHED, WETLANDS, & RPAs:</u>

83. Provide Environmental Site Assessment Notes that clearly delineate, map, describe and/or explain the following environmental features if located on site: individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams and associated buffers; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)

### C. <u>CONTAMINATED LAND:</u>

- 84. Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
- 85. If environmental site assessments or investigations discover the presence of contamination on site, the final [site plan/demo plan/grading plan] shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
  - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
  - b. Submit a Risk Assessment indicating any risks associated with the contamination.
  - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with "clean" soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
  - d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
  - e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
  - f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. (T&ES) \*

- 86. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)
- 87. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

### D. <u>NOISE</u>

- 88. Prepare a noise study identifying the levels of noise residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD). In addition, include analysis of the levels of noise residents of the project will be exposed to due to loading and unloading activities, idling and traffic. Identify options to minimize noise and vibration exposure to future residents at the site, particularly in those units closest to the commercial activities, loading areas, garage entrances, interstate highway, railroad tracks and airport traffic, including triple-glazing for windows, additional wall / roofing insulation, installation of resilient channels between interior gypsum board and wall studs, installation of a berm or sound wall and any other special construction methods to reduce sound transmission. If needed, the applicant shall install some combination of the above to the satisfaction of the Directors of P&Z and T&ES. (T&ES)
- 89. The noise study and noise commitment letter shall be submitted and approved prior to Final Site Plan release.\* (T&ES)
- 90. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- 91. No vehicles associated with this project shall be permitted to idle for more than 10 minutes when parked. This includes a prohibition on idling for longer than 10 minutes in the loading dock area. The applicant shall post of minimum of two "no idling for greater than 10 minutes" signs in the loading dock area in plain view. (T&ES)

### E. <u>AIR POLLUTION:</u>

**CONDITION AMENDED BY STAFF:** (Former Condition #87) If fireplaces are utilized in the development, the applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)

92. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

## V. <u>CONSTRUCTION MANAGEMENT</u>

- 93. Parking shall remain operational and construction shall not commence until the garage at the 116 S. Henry Street development project is operational, to the satisfaction of the Directors of P&Z, T&ES and General Services. (P&Z) (T&ES)
- 94. Submit a separate construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall:
  - a. No street lights shall be removed without authorization from the City of Alexandria.
  - b. If street lights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning of new lights.
  - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
  - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
  - e. Include an overall proposed schedule for construction;
  - f. Include a plan for temporary pedestrian circulation;
  - g. Include the location and size of proposed construction trailers, if any;
  - h. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
  - i. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
- 95. Provide off-street parking for all construction workers without charge to the construction workers. The applicant shall be responsible for ensuring that all contractors use the off-street parking provided. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
  - a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers

will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.

- b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
- c. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z) (T&ES) \*
- 96. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of pedestrian access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 97. Bicycle facilities including Capital Bikeshare stations adjacent to the site shall remain open during construction. If a bicycle facility, including a Capital Bikeshare station, must be closed, bicycle access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. If the Capital Bikeshare station is required to be removed from its existing location and cannot be moved to the proposed permanent location immediately, the applicant shall relocate the station to a temporary location as requested by the City and then relocate the station to the permanent location as soon as construction activities allow. The temporary location shall be in the parking lane in front of 116 S. Alfred Street, or a similar publicly accessible location within the vicinity of the project, subject to outreach with adjacent property owners and stakeholders. The plan for maintenance of bicycle access and relocation of the Bikeshare Station (as needed) shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 98. No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES) \*\*
- 99. Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the stop(s), a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)
- 100. Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tie-backs etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)
- 101. A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes

during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)

- 102. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)
- 103. Prior to commencement of landscape installation/planting operations, a preinstallation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)
- 104. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z) (T&ES)
- 105. Install a temporary informational sign on the site prior to release of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)
- 106. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City's Green Building Policy and conditions herein. (T&ES)
- 107. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code) \*\*\*
- 108. Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as

depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)

- 109. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) \*\*\*
- 110. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
- 111. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

## VI. CONTRIBUTIONS

- 112. Contribute \$5,000 to the City prior to Final Site Plan to install a Capital Bikeshare station in the vicinity of the project and/or to fund relocation of the existing bikeshare station on the site to the proposed new location along the 900 block of King Street by the City. (T&ES) \*
- 113. In lieu of fully meeting the 25-percent crown coverage requirement of the Zoning Ordinance, the applicant shall provide a monetary contribution, in an amount equal to \$5,352 to the City of Alexandria's Living Landscape fund. The contribution will be provided prior to first Certificate of Occupancy. (P&Z) \*\*\*
- 114. A voluntary contribution of \$109,359 to the Housing Trust Fund would be consistent with the conclusions of the Developer's Housing Contribution Work Group accepted by The Alexandria City Council in December 2013.
- 115. Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building.

In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)

- a. The next submission shall identify the location, type and goals for public art. Prior to release of the Final Site Plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) \*, \*\*\*
- b. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy. (RP&CA) (P&Z) \*\*\*

# VII. USES AND SIGNS

### A. <u>RETAIL USES:</u>

- 116. Provide documentation (lease agreement or similar) to future retail tenants requiring them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Retail or LEED for Commercial Interiors certification at a Silver level.
- 117. Ensure the following for the retail and retail-ready units within the development, to the satisfaction of the Director of P&Z:
  - a. Provide the minimum floor-to-floor heights per the Preliminary Site Plan.
  - b. All entrances along are required to be operable and ADA-accessible, even if the retail-ready space is used for residential purposes. This requirement shall be included as part of the lease for each tenant.
  - c. All windows and doors shall be a storefront system as depicted in the Preliminary Site Plan. The placement or construction of items that block the visibility of the interior of the store from the street and sidewalk (e.g. storage cabinets, carts, shelving, boxes, coat racks, storage bins, closets, etc.) shall be prohibited. This is not intended to prevent retailers from displaying their goods in display cases that are oriented towards the street frontage. This requirement shall be included as part of the lease for each tenant. The interior layout of retail-ready units must consist of full-height space off of the storefront entrance and include a bathroom that can be publicly accessible.
  - d. The location for signage shall be identified as part of the coordinated site plan.
  - e. The retail-ready unit type shall be listed on all promotion material / websites to encourage active uses. (P&Z)
- 118. The applicant shall encourage its employees who drive to use off-street parking. (T&ES)
- 119. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at <u>goalex@alexandriava.gov</u> for information on establishing an employee transportation benefits program. (T&ES)

- 120. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
- 121. The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

### B. <u>SIGNAGE:</u>

122. Design and develop a coordinated sign plan, which includes a color palette, for all proposed commercial signage, including for the retail-ready spaces. The plan shall be included as part of the Final Site Plan and BAR Certificate of Appropriateness and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of P&Z.\* (P&Z) (BAR)

## VIII. <u>DISCLOSURE REQUIREMENTS</u>

- 123. All master association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City Council.
  - a. All landscaping and open space areas within the development shall be maintained by the master association.
  - b. The property includes areas with public access easements, including the pedestrian alley and private alley.
  - c. The site is located in the Old and Historic Alexandria District, and any exterior alterations are subject to review and approval by the Board of Architectural Review.
  - d. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
  - e. Develop a noise control by-law aimed at controlling noise levels in the proposed development and resolving noise issues between neighboring occupants and disclose this by-law to all involved at the time of sale or lease agreement.
  - f. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
  - g. Stormwater facility BMPs must be inspected and adequately maintained as designed to ensure proper functioning.
  - h. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
  - i. Residents are not eligible for residential street parking permits because the property is not located within a residential permit parking district and are not eligible for a permit in a sub-district based on code requirements. (P&Z) (T&ES) (CC) \*\*\*

- 124. If environmental site assessments or investigations discover the presence of onsite contamination, the applicant or its agent shall furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclosures shall be made to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
- 125. Notify prospective buyers, in their homeowner / property owner documents, that the Downham Way Alley is a private street and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the Downham Way Alley are private and shall be maintained privately until a utility easement is recorded allowing for City of Alexandria maintenance. (T&ES)
- 126. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Directors of P&Z and T&ES, and the City Attorney:
  - a. That the loading dock clearance is under 14'6", and the building operator and/or commercial tenants shall coordinate with trash and delivery services accordingly.
  - b. That Route 1 is an existing / planned location for Transit Corridor A, which will traverse in a north-south direction in the general vicinity of Route 1 and connect to future transit corridors in Fairfax and Arlington counties.
  - c. That the site is located on King Street and is subject to noise and traffic impacts in this portion of the City. (P&Z) (T&ES) (City Attorney)

## IX. RESTAURANT SUP (SUP#2020-0033)

#### **CONDITIONS DELETED BY STAFF:**

(Former Conditions #123-#139)

The conditions contained herein relating to restaurant uses cover any of the ground-floor commercial or retail-ready tenant spaces included in DSUP#2019-0032. (P&Z)(T&ES).

The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)

Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape, invasion by animals, or leaking. No trash or debris shall be allowed to accumulate outside of those containers. Outdoor containers shall be maintained to the satisfaction of the Directors of P&Z and T&ES, including replacing damaged lids and repairing/replacing damaged dumpsters. (P&Z) (T&ES)

Live entertainment shall be limited to indoor only. The applicant shall conform with the City's noise ordinance and no amplified sound shall be audible at the property line after 11:00 p.m. (T&ES)

Kitchen equipment, including floor mats, shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer. (T&ES)

Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00 p.m. and 7:00 a.m. (T&ES)

Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

All waste products including but not limited to organic compounds (solvents and cleaners) shall be disposed of in accordance with all local, state and federal ordinances or regulations. (T&ES)

Exterior power washing of the building shall not be completed using any kind of detergents. (T&ES)

Chemicals, detergents or cleaners stored outside the building shall be kept in an enclosure with a roof. (T&ES)

If used cooking oil is stored outside, the lid of the used cooking oil drum shall be kept securely closed (using a bung) when not receiving used oil. The drum shall be placed on secondary containment and situated under cover to prevent rainwater from falling on it. (T&ES)

Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)

The applicant shall encourage its employees who drive to use off-street parking. (T&ES)

The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at <u>goalex@alexandriava.gov</u> for information on establishing an employee transportation benefits program. (T&ES)

The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)

The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

The Director of Planning and Zoning shall review the Special Use Permit after it has been operational for one (1) year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which

create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

## X. <u>CITY DEPARTMENT CODE COMMENTS</u>

Legend: C - Code Requirement R - Recommendation S - Suggestion F - Finding

#### Planning and Zoning (P&Z)

- R-1 For all first-floor bays with a street-facing door providing their primary access, please coordinate with the Geographic Information Systems (GIS) Division for address assignments at tenant fit out. These uses are not permitted to use the primary building address as their address. Please contact the Addressing Coordinator in the GIS Division (703-746-3823) as each new tenant is determined, and an appropriate address based on the location of the primary entrance door of the new space will be assigned.
- C 1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) \*\*\*\*
- C 2 Tree conservation and protection plans shall identify all trees to be removed, and all trees to be protected / preserved. Construction methods to reduce disturbance within driplines shall also be identified. An on-site inspection of existing conditions shall be held with the City Arborist and Natural Resources Division Staff prior to the preparation of the Tree Conservation and Protection Plan.
- C 3 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three (3) years after completion. (P&Z) (T&ES) \*\*\*\*
- C 4 No permits shall be issued prior to the release of the Certificate of Appropriateness from the Board of Architectural Review. (BAR)
- C 5 Parking ratio requirement adjustment. Any parking requirement may be adjusted within 5% of the requirement if the director of Planning and Zoning determines that physical requirements of the building prevent compliance with the specific number of parking spaces required. (Section 8-200(A)(2)(c)(i) of the Zoning Ordinance) (T&ES) (P&Z)

#### **Code Administration (Building Code)**

- F 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.
- C 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.
- C 3 A soils report must be submitted with the building permit application for all new and existing building structures.
- C 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.
- C 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.
- C 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.
- C 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C 9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

#### **Archaeology**

F - 1. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C -1. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

#### **Transportation and Environmental Services (T&ES)**

- F 1. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)
- F 2. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's website: http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf
- F 3. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)
- F 4. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)
- F 5. Include all symbols, abbreviations, and line types in the legend. (T&ES)
- F 6. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES]

- F 7. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4-inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)
- F 8. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)
- F 9. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance shall be encased in concrete. (T&ES)
- F 10. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)
- F 11. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12 inches of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)

- F 12. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)
- F 13. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)
- F 14. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)
- F 15. A Maintenance of Traffic Plan shall be provided within the Construction Management Plan and shall replicate the existing vehicular and pedestrian routes as nearly as practical. Pedestrian and bike access shall be maintained adjacent to the site per Memo to Industry #04-18. These sheets are to be provided as "Information Only." (T&ES)
- F 16. The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES)
  - a. The prepared drawings shall include a statement "FOR INFORMATION ONLY" on all MOT Sheets.
  - b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.
  - c. Contractor shall apply for all necessary permits for uses of the City Right of Way and shall submit MOT Plans with the T&ES Application for final approval at that time. \*
- F 17. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)
- C 10 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate, then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the predevelopment flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)
- C 11 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)
- C 12 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer,

registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)

- C 13 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)
- C 14 If it is determined that the site is not in compliance with Section 13-1-3 of the City Code, then the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with the Code. (T&ES)
- C 15 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)
- C 16 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)
- C 17 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C 18 In compliance with Title 5: Transportation and Environmental Services, Section 5-1-2(12b) of the City Charter and Code, the City of Alexandria shall provide solid waste collection services to the condominium townhomes portion of the development. All refuse / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)

- C 19 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)
- C 20 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recvcling. The City's storage guidelines available online space are at: www.alexandriava.gov/solidwaste or by contacting the City's Solid Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.gov. (T&ES)
- C 21 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)
- C 22 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: <u>www.alexandriava.gov/solidwaste</u> or by calling the Solid Waste Division at 703.746.4410 or by e-mailing <u>CommercialRecycling@alexandriava.gov</u>. (T&ES)
- C 23 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)
- C 24 Bond for the public improvements must be posted prior to release of the site plan. (T&ES)\*
- C 25 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan. (T&ES) \*
- C 26 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)
- C 27 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To ensure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)

- C 28 The thickness of sub-base, base, and wearing course shall be designed using "California Method" as set forth on page 3-76 of the second edition of a book entitled, "Data Book for Civil Engineers, Volume One, Design" written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)
- C 29 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C 30 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)
- C 31 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C 32 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)
- C 33 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C 34 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
  - a. Monday Through Friday from 7 AM To 6 PM and
  - b. Saturdays from 9 AM to 6 PM.
  - c. No construction activities are permitted on Sundays and holidays. Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
  - d. Monday Through Friday from 9 AM To 6 PM and
  - e. Saturdays from 10 AM To 4 PM
  - f. No pile driving is permitted on Sundays and holidays.
     Section 11-5-109 restricts work in the right of way for excavation to the following:
  - g. Monday through Saturday 7 AM to 5 pm
  - h. No excavation in the right of way is permitted on Sundays. (T&ES)
- C 35 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)

C - 36 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)

#### **PWS Comments**

No comments.

#### **AlexRenew Comments**

No comments.

#### VAWC Comments

No comments received.

#### **Fire Department**

No comments received.

#### **Police Department**

- R 1. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R 2. It is recommended that all the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a "breaking and entering" when the windows are open for air.
- R 3. It is recommended that a "door-viewer" (commonly known as a peep-hole) be installed on all doors on the ground level that lead directly into an apartment. This is for the security of the occupant.

#### Asterisks denote the following:

- \* Condition must be fulfilled prior to release of the Final Site Plan
- \*\* Condition must be fulfilled prior to release of the building permit
- \*\*\* Condition must be fulfilled prior to release of the certificate of occupancy
- \*\*\*\* Condition must be fulfilled prior to release of the bond

# XI. <u>ATTACHMENTS</u>

1. DSUP2019-00032 Previously Approved Staff Report

CK NLEDAAL	APPLICATION
	DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN
and the second s	DSUP #2025-10006 Project Name: GCP King Street
PROPER	ry Location: 912, 916 & 920 King Street
TAX MAP	REFERENCE:         074.01-06-04, -03 & -02         zone:         KR
APPLICA	NT:
Name:	Galena Capital Partners
Address:	
PROPER	TY OWNER:
Name:	City of Alexandria
Address:	301 King Street, Alexandria, VA 22314
	<b>The applicant is seeking a DSUP for a four story, mixed-use</b> ment with ground floor retail, flex live/work space and multifamily residential.
MODIFIC	ATIONS REQUESTED For Canopy Coverage and reduction in loading space requirements.
SUP's RE	<b>QUESTED</b> FAR increase to 2.5, parking reduction for the multi-family units for all
parking o	offsite within one block (see associated development at 116 S. Henry St.) and TMP.
	<b>E UNDERSIGNED</b> hereby applies for Development Site Plan with Special Use Permit approval in accordance visions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.
U TH	E UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of

Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED** also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Mary Catherine	Gibbs, Wire Gill, LLF	)		
Print Name of Applicant of	or Agent	Signature		
		-51		
Mailing/Street Address		Telephone #	Fax #	
City and State	Zip Code	Email address	25	
		Date		

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY		
Application Received: Fee Paid and Date:	Received Plans for Completeness:	

**Development SUP #** 2025-10006

#### ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

 The applicant is: (check one) OThe Owner Ø Contract Purchaser OLessee or OOther: \_\_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

Omar Abdul-Baki, 1010 Pendleton St., Alexandria, VA 22314 - 25% Ahmad Abdul-Baki, 1010 Pendleton St., Alexandria, VA 22314 - 75%

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes. Provide proof of current City business license.
- **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

#### OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

<u>1. Applicant.</u> State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
<sup>1.</sup> Omar Abdul-Baki		25%
<sup>2.</sup> Ahmad Abdul-Baki		75%
3.		

<u>2. Property.</u> State the name, address and percent of ownership of any person or entity owning an interest in the property located at <u>116 S. Henry St.</u> (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
<sup>1.</sup> City of Alexandria	301 King St. Alexandria, VA 22314	100%
2.		
3.		

<u>3. Business or Financial Relationships.</u> Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by <u>Section 11-350 of the Zoning Ordinance</u>, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, <u>click here.</u>

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
<sup>1.</sup> Omar Abdul-Baki	None	NA
2. Ahmad Abdul-Baki	None	NA
<sup>3.</sup> Galena Capital Partners	None	NA

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4/10/25 3/20/25 Date

Mary Catherine Gibbs Printed Name

*<sup>4</sup>*Signature

2. Narrative description. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

The Applicant is seeking a extension of the previously approved DSUP and associated other applications. This exciting and innovative project has fallen prey to multiple delay factors including:

1. Recovering from the COVID-19 pandemic's economic downturn;

2. An appeal of the DSUP by one neighbor that was settled amicably, but took significant time and required a minor change to the site plan to accomodate an access easement;

 Changeover in staffing at different consultant's offices working on the project;
 Significant increases in interest rates in the lending market making obtaining additional financing much more difficult;

5. Significant construction pricing increases due to multiple factors including material cost increases, an additional downturn in the ecomony in 2023 and 2024; and
6. Changes in what Dominion Va. Power would permit as it pertains to getting electicity to serve the site that were only recently approved by Dominion.

As part of the DSUP approvals, the King Street project cannot begin construction until the automated parking facility on the Henry Street project is open.

During all these delays, the Applicant continued to diligently pursue all their development permits to the best of its ability and it is very close to obtaining final site plan approval that will then permit it to submit for building permits. The expiration of the DSUP and associated approvals, is in July of 2025. In an abundance of caution, the Applicant is filing this application in order to get a hearing in June of 2025.

**3.** How many patrons, clients, pupils and other such users do you expect? Specify time period (i.e., day, hour, or shift).

24 hours a day, 7 days a week for the multi-family residential. Number will vary based on occupany of the 30 units. Retail customers and employees will depend on the ultimate retail tenants.

4. How many employees, staff and other personnel do you expect?

Specify time period (i.e. day, hour, or shift).

TBD based on ultimate retail tenants.

**5.** Describe the proposed hours and days of operation of the proposed use:

Day <b>24/7</b>	Hours	Day	Hours
2-111			

#### 6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons. Typical noise from a multi-family residential building of this modest size and retail of this size.

B. How will the noise from patrons be controlled?

The doors will be secured and kept closed to keep noise inside the building except for modest outdoor activity from retail/residential building of this size.

# 7. Describe any potential odors emanating from the proposed use and plans to control them:

NA

#### 8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

Typical type for a residential use of this size, retail trash to be determined based on ultimate retail tenant.

B. How much trash and garbage will be generated by the use?

Likely at least one dumpster per week.

C. How often will trash be collected?

At least once a week, more if necessary.

D. How will you prevent littering on the property, streets and nearby properties? The applicant will ultimately have a property management company who will be required to maitain the property.

# 9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. Vo.

If yes, provide the name, monthly quantity, and specific disposal method below:

# 10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?

Yes. 🖌 No.

If yes, provide the name, monthly quantity, and specific disposal method below:

# **11.** What methods are proposed to ensure the safety of residents, employees and patrons?

Security measures will be provided by at a minimum key code/pad access with the building locked at all times.

#### ALCOHOL SALES

#### 12. Will the proposed use include the sale of beer, wine or mixed drinks?



If yes, describe alcohol sales below, including if the ABC license will include on-premises and/ or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

Individual retail tenants will have to obtain their own ABC licenses, as needed, but no information is available at this time related to ulitimate retail users.

#### PARKING AND ACCESS REQUIREMENTS

#### **13. Provide information regarding the availability of off-street parking:**

- A. How many parking spaces are required for the proposed use pursuant to section
   8-200 (A) of the zoning ordinance?
   28-32 spaces for residential use of 30 units.
- B. How many parking spaces of each type are provided for the proposed use:
  - 0
     Standard spaces

     0
     Compact spaces

     0
     Handicapped accessible spaces

     0
     Other

**Development SUP #** 2025-10006

C. Where is required parking located? (check one) **on-site off-site** 

If the required parking will be located off-site, where will it be located? Automated parking facility at the associated 116 S. Henry St. project.

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the **Parking Reduction Supplemental** Application.

#### 14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? 1
- B. How many loading spaces are available for the use? 1
- C. Where are off-street loading facilities located? On the alley to the rear of the property.

D. During what hours of the day do you expect loading/unloading operations to occur? Typical loading/unloading hours for residential use of this size and retail of this size.

E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

Daily.

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access is adequate.

51

# FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMEN 912, 916, & 920 KING STREET **CITY OF ALEXANDRIA, VIRGINIA**

# AREA TABULATIONS

TOTAL SITE AREA = 0.2457 AC 10,703 SF

TOTAL AREA OF TAX PARCELS = 0.2286 AC 9,958 SF

TOTAL EXISTING IMPERVIOUS AREA = 0.2132 AC \_\_\_\_\_\_ SF

TOTAL PROPOSED IMPERVIOUS AREA = 0.2286 AC \_\_\_\_\_\_ AC \_\_\_\_\_\_ SF

TOTAL DISTURBED AREA = 0.3387 AC 14,752 SF

# **ENVIRONMENTAL SITE ASSESSMENT**

TIDAL SHORES. TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, HIGHLY ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS, LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND ADDITIONALLY THERE ARE NO KNOWN UNDERGROUND STORAGE DATABASE REPORT REVIEW AND NOTED AS A RECOGNIZED ENVIRONMENTAL CONDITION (REC). A PHASE II ENVIRONMENTAL SITE ASSESSMENT REPORT WAS TO DETERMINE THE EXTENT OF THE CONTAMINATION. BASED ON THE

- CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL. ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WIT FEDERAL. STATE. AND CITY REGULATIONS.
- ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4996.
- 4. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- 5. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 7am TO 6pm AND SATURDAYS FROM 9am TO 6pm; NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS AND HOLIDAYS PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 9am TO 6pm AND SATURDAYS FROM 10am TO 4pm; NO PILE DRIVING ACTIVITIES ARE PERMITTED ON SUNDAYS AND HOLIDAYS. RIGHT OF WAY EXCAVATION IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:

MONDAY THROUGH SATURDAY 7am TO 5pm; NO RIGHT OF WAY EXCAVATION IS PERMITTED ON SUNDAYS.

# **ENVIRONMENTAL PERMITS NOTES**

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES WHICH DISTURB AN AREA LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT **REQUIRED.** 

# **ARCHAEOLOGY NOTES**

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

# **GENERAL NOTES**

- PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH. MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
- . A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
- REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- 6. TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
- IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
- 8. ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
- 9. IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
- 10. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
- 11. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
- 12. THIS SITE IS NOT LOCATED WITHIN 1,000 FEET OF A FORMER LANDFILL OR OTHER DUMP SITE.

# SURVEYOR'S CERTIFICATION

, WIM DE SUTTER, LS, HEREBY CERTIFY THAT THIS PROPERTY IS IN THE NAME OF CITY OF ALEXANDRIA AS RECORDED AT DB. 481, PG. 94, 135, & 236 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VA.

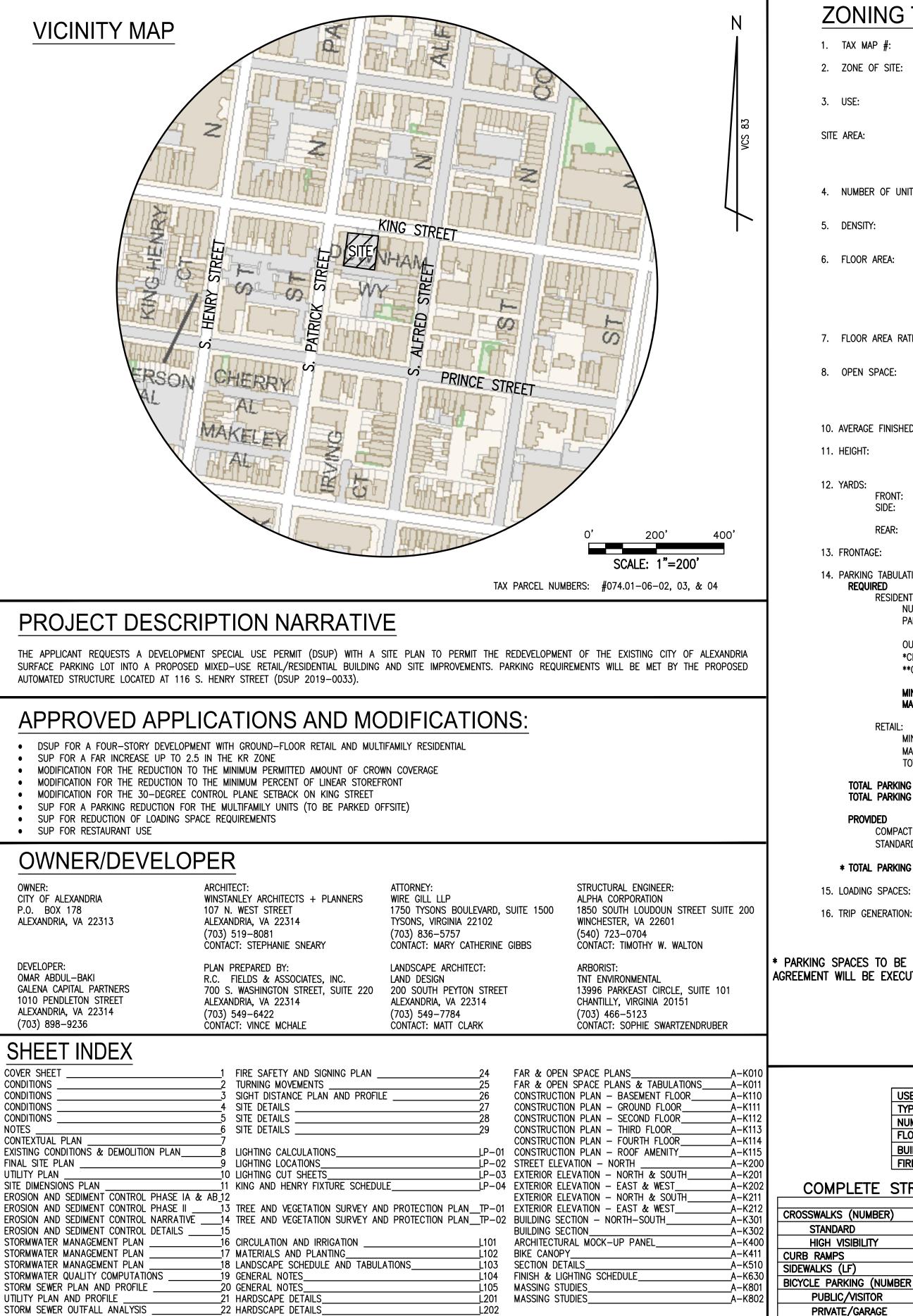
OWNER:

DEVELOPER: OMAR ABDUL-BAKI

ALEXANDRIA, VA 22314 (703) 898-9236

COVER SHEET CONDITIONS CONDITIONS CONDITIONS CONDITIONS NOTES CONTEXTUAL PLAN FINAL SITE PLAN UTILITY PLAN SITE DIMENSIONS PLAN

SANITARY SEWER OUTFALL ANALYSIS



1.501

BICYCLE PATHS (LF)

PEDESTRIAN SIGNALS

23 PLANTING DETAILS

	٦	Т

				di, Sulle	GER: VMCH/	date: Se Rev:	
TABULATIONS			, in the second s	ni sueer, and sueer, and subscription of the s	. MANAGER:		
	6 PARCELS 02, 03, & 04		ING	Alexandria, Virginia	PROJ. EMAIL:	NOTED	
EXISTING KR (K PROPOSED KR (K	(ING STREET RETAIL) (ING STREET RETAIL)			o. wa kandria		AS	
	TY PARKING (735) JSE RETAIL/ RESIDENTIAL			Aley		SCALE:	
MINIMUM PROPOSED PRIVATE ALLEY PARCEL AREA	N/A 9,958 SF (0.2286 ACRES) 745 SF (0.0171 ACRES)		FALTH	OF			
TOTAL SITE AREA TO BE CONSOLIDATE S: PRELIMINARY <u>30 UNITS (28 STUDIO</u>	D10,703_SF_(0.2457_ACRES)	74	Contraction of the second		X	\ \	
FINAL <u>31 UNITS (28 STODIO</u> FINAL <u>31 UNITS (28 S</u>	TUDIOS/1 BDRMS, 3 2 BDRMS)		VINCENT M Lic. No. 04	. MCHALI 02060162			
	_ PROPOSED PRELIMINARY 122.1 DU/ACRE FINAL 126.2 DU/ACRE		Lic. No. 04	TJ, ZUZJ			
GROSS RESIDENTIAL (MULTIFAMILY) 29,745 S	ELIMINARY         FINAL           NET         GROSS         NET           SF         23,271         SF         29,129         SF         23,290         SF						
NONRESIDENTIAL3,563TOTAL33,308	F 3,484 SF 3,563 SF 3,463 SF		DATE				
0: PERMITTED 2.5 (26,757 S EXISTING 0.0 (0 SQ.FT.)	Q.FT.) PER TOTAL PARCEL AREA PROPOSED 2.5 (26,742 SQ.FT.)						
	4,500 SF (150 🚮) FINAL 4,650 SF (150 🚮)		PROVED				
PROPOSED ABOVE GRADE: PRELIMINARY	<u>37.5% (3,735 SF)</u> FINAL <u>43.8% (4,363 SF)</u> <u>45.2% (4,500 SF)</u> FINAL <u>51.5% (5,127 SF)</u>	B	APPI				
GRADE:		APPROVED	REV. BY				
PERMITTED: PROPOSED:	50 FT 50 FT	ON APF	ATE				
	<u>    0   FT  (KING  ST)    </u> FINAL <u>0   FT  (KING  ST)   </u> <u>      0.0   FT  (WEST)          FINAL     0.2   FT  (WEST)    </u>	REVISION					
PRELIMINARY	<u>9.5 FT (EAST)</u> FINAL <u>10.1 FT (EAST)</u> <u>2.2 FT (ALLEY)</u> FINAL <u>2.5 FT (ALLEY)</u>		DESCRIPTION				
REQUIRED <u>N/A</u> PROPOSED	99 FT (KING ST)		DESC				
AL: MBER OF BEDROOMS:	= 32		NO.		+		
RKING RATIO: 1.0 – [1.0 x (0.1*+0.05	(**)] = 0.85			•			
TSIDE METRO STATION WALKSHED (1.0 SP. REDIT FOR WALKSCORE OF 90—100 (10%) REDIT FOR LOCATION ON 4 BUS ROUTES			RIA				
IIMUM RESIDENTIAL PARKING REQUIRED: 0. KIMUM RESIDENTIAL PARKING REQUIRED: 1	85 x 32 = 28 <b>SPACES</b>		M				
				¦ ⊢–	⊢		
I. 0.25 SPACE/1,000 SF (3,563/1,000*0. X. 3 SPACE/1,000 SF (3,563/1,000*3): FAL RETAIL PARKING REQUIRED:	25): 0 SPACES MINIMUM 11 SPACES MAXIMUM 0 SPACES TO 11 SPACES	-	- ∠	Ż	TREET	2ID	
REQUIRED MINIMUM: REQUIRED MAXIMUM:	28 SPACES 39 SPACES		A X	Е	STF	ЧR ЧГ	
(8'X16')	N/A		<u>т</u> П	$ \geq$	NG	RIA,	
) (9'X18.5')	142 SPACES (GARAGE)		⊔ _ -	ÍП	XIII X	NDF	
PROVIDED: REQUIRED 1	142 SPACES (GARAGE)       PROPOSED     1				920	EXANDRIA	
EXISTING <u>N/A</u> EXISTING AM PEAK N/A	 PROPOSED <u>458 ADT</u> PROPOSED AM PEAK 23 AVTE			:Ш		ALE	
EXISTING PM PEAK <u>N/A</u> (PER ITE STANDARI	_ PROPOSED PM PEAK <u>41 AVTE</u> DS) (PER ITE STANDARDS)			$\geq$	, 91	ЧO	
PROVIDED VIA SEPARATE DEVELOPM IED AND SUBMITTED TO THE CITY I	ENT AT 116 SOUTH HENRY STREET. A WRITT FOR RECORD.			и - С	912	Σ	
						ပ	NAME:
							SHEET
BUILDING CODE			C	)			Ϋ́
GROUP(S):R-2/ME OF CONSTRUCTION:VA							
IBER OF STORIES:         4           OR AREA (GROSS):         32,692 S           LDING HEIGHT:         50'	Q. FT.		PROVE al use perm		20	25-10	006
SUPRESSION/DETECTION: SPRINKLE	RED	DEPARTME	NT OF PLANNING & 3	ZONING			
REETS INFORMATION:			DIRECTOR	ION & EN		DATI Al service	_
N/A N/A N/A N/A N/A N/A	ESI	SITE PL					
N/A N/A N/A 110	PEER REVIEW		DIRECTOR			DAT	TE
SPACES)         12         N/A           2         N/A           10         N/A		DATE RE	rman, planning com CORDED	IMISSION		DAT	ГЕ
10 N/A N/A N/A							

**N** 

SHEET: 1 OF 29

DATE

T

 $\mathcal{O}$ 

 $\sim$ 

Ó

()



Application

**Project Name:** 

912 King Street

Location:

## Development Special Use Permit #2019-00032 Special Use Permit (Restaurant) #2020-00033 Transportation Management Plan SUP #2020-00034 912-920 King Street

September 1, 2020

September 12, 2020

 $0.25 \text{ acres} (10,703 \text{ SF})^2$ 

KR / King Street Retail

Public surface parking lot

DSUP Expiration: construction of DSUP2019-0033)

September 12, 2025<sup>1</sup> (5 years, based on

Mixed-use (multifamily and retail/restaurant)

General Data

PC Hearing:

CC Hearing:

If approved,

Zone:

912, 916 and 920 King Existing Uses:

Plan Acreage:

Proposed Uses:

Dwelling Units: 30

Speakers:

Mary Catherine Gibbs, representing the applicant, spoke in favor of the project. Ms. Gibbs requested the Planning Commission recommend approval of the condition changes relating to unit count and limiting public access in the pedestrian alley to allow for an amenity area for residents. She noted that the retail-ready units in the rear of the building could be accessed from the main entry in the alley or from S. Patrick Street and Downham Way. Ms. Gibbs mentioned the pedestrian alley condition is open-ended and will work with staff on the alley design.

Steve Milone, president of the Old Town Civic Association, spoke generally in favor of the project, though advocated for a few changes. Mr. Milone noted that during the King Street Retail Strategy process in the mid-2000s, there was community discussion about converting (either wholly or partially) the parking lot at 912-920 King Street into a park or plaza. Mr. Milone urged the Planning Commission to reject the applicant's request to change Condition 6 to limit the extent of public access in the pedestrian alley, noting the 10-foot-wide pedestrian alley is one of the greatest assets of the project and retaining public access would come closer to the idea of a publicly accessible plaza for the site. Mr. Milone also asked the applicant to consider widening the pedestrian alley by removing the eastern portion of the building located behind a notch at the northeast corner of the building.

# VIII. STAFF RECOMMENDATIONS:

The Final Site Plan shall be in substantial conformance with the Preliminary Plan dated May 1, 2020, and as amended on June 12, 2020, and comply with the following conditions of approval.

# A. SITE PLAN

a.

n.

Gross Floor Area: Net Floor Area: Small Area Plan: Historic District:	33,308 SF 26,755 SF Old Town / King Street Retail Strategy Old and Historic Alexandria
Small Area Plan: Historic District:	Old Town / King Street Retail Strategy Old and Historic Alexandria
Small Area Plan: Historic District:	Old Town / King Street Retail Strategy Old and Historic Alexandria
Historic District:	Old and Historic Alexandria
	2009 Green Ruilding Policy
	2009 Green Building Policy
Crace Duil I'm	<ul> <li>LEED Certified or equivalent for residential</li> </ul>
Green Building:	residential
	LEED Silver or equivalent for
	commercial
· · · · · · · · · · · · · · · · · · ·	
tion of a request for	a development special use permit and site plan
	ly building with ground-floor commercial uses
-owned parking lot.	
odifications Reques	
	Plan to construct a mixed-use building;
	dential FAR to 2.5 in the KR zone;
	activities of the second s
	n to allow for off-site residential parking;
	on for a reduction of the required loading dock
of a foldung feddetic	in for a reduction of the required folding dock
vr a transportation m	anagement nlan:
own coverage requi	rement.
PROVAL WITH O	CONDITIONS
	e conditions of approval based on City Council guidance
COVID-19 pandemic.	
portion of private alley (	745 SF) in addition to the 9,958 SF of parcel area.
ef of Development	robert.kerns@alexandriava.gov
incipal Planner	catherine.miliaras@alexandriava.gov
	michael.swidrak@alexandriava.gov
N ACTION, SEPT	ENIBER 1, 2020:
MAL	dad her Commission Read at N
	ded by Commissioner Koenig, the Planning
이 승규가 다섯 만큼 한 것이 가지만 못 한 것이라. 이 가지 속에 속에서 가지 않는 것이다.	of Development Special Use Permit #2019-
Check Of Contraction of Contraction and Contraction of the Contraction	Fransportation Management Plan Special Use
ended. The motion of	carried on a vote of 5 to 0, with Commissioner
	he staff analysis and with the recommended
snown below:	
8 R 42 300	
	llowing areas. The easement language shall be
of the City Attorney	and to the satisfaction of the Directors of P&Z
pedestrian alley fro	m the King Street right-of-way to the southern
	black to the second
	bject to the applicant providing the required
and the second	own on the memo from the applicant's attorney
Contraction of the second s	any other requirements to ensure consistency
g Ordinance regulati	ons. (P&Z)
	CARDER STR. And CONTRACTOR STR. CONTRACTOR STR. STR. STR. STR. STR. STR. STR. STR
	lanning principles" staff was espousing with
	e alley, though understood and supported the
	lleys are primarily for service and loading and
•	cul-de-sacs exist in Old Town. Commissioner
	elating to the alley, though noting he saw both
o praised the overall	project.
	aff request to maintain full public access to the
	orosity in Old Town and increased utility of the
	his satisfaction with the continued filling in of
oting nearly all of the	e surface parking areas fronting King Street are
	are on 2000 2000
his support for the	project, but also stated some concerns. These
	g, which does not fit into the 30-degree control
	rategy, and that the building height should be
	sioner Brown also stated his concerns with the
0	lents having to cross S. Patrick Street to retrieve
	ix of the proposed building and its location on
	with cars may be less than in other residential
City.	
	,
cuy.	
	et 30-unit multifami -owned parking lot. difications Reques Use Permit and Site r an increase in resider r estaurant use; r a parking reduction r a transportation ma quirement for storef own coverage require PROVAL WITH C may be extended per th OVID-19 pandemic. Fortion of private alley ( f of Development ncipal Planner an Planner NACTION, SEPT r McMahon, secon mend the approval 2020-00033, and f nded. The motion c ission agreed with th hown below: ease to 31 units su of open space as sh s well as satisfying g Ordinance regulati orted the "urban pl public access in the Chair note destrian Chair's comments r o praised the overall al support for the sta portance of block p sible. He also stated ting that pedestrian Chair's comments r o praised the overall al support for the sta portance of block p sible. He also stated ting nearly all of the stapport for the stapport for the stapport of the City Attorney public access in the chair note destrian Chair's comments r o praised the overall al support for the stapport of the stapport for the stapport of the stapport for the stapport of the stapport for the stapport of the unit size and m umber of residents of the stapport of residents of the stapport of the unit size and m and the unit size a

Per Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 60 months after initial approval (plus any extensions per the July 7, 2020 City Council Docket Item 15.a. due to the COVID-19 emergency) and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 36 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. The period of validity may be extended upon petition by the applicant and after adequate notice and public hearing. (P&Z)

Submit the plat and all applicable easements prior to the Final Site Plan submission. The plat(s) shall be approved prior to or concurrently with the release of the Final Site Plan. (P&Z) (T&ES) \*

The plat shall be recorded, and a copy of the recorded plat, dedications and deeds shall be submitted with the first request for a building permit. (P&Z) (T&ES) \*\*

The plat shall include the consolidation of the site with the adjacent portion of the private alley labeled as the "private alley parcel area" on the Preliminary Plan. (P&Z) (T&ES) \*

CONDITION AMENDED BY THE PLANNING COMMISSION: Provide public access easements to the following areas. The easement language shall be reviewed by the Office of the City Attorney and to the satisfaction of the Directors of P&Z and T&ES:

- The majority of the pedestrian alley from the King Street right-of-way to the southern property line.
- The linear strip of walkway in front of the private alley retail-ready units. The private alley parcel area. (P&Z) (T&ES) \*, \*\*
- Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include: a. Location of site utilities including above grade service openings and
  - required clearances for items such as transformers, telephone, HVAC units and cable boxes. Minimize conflicts with plantings, pedestrian areas and major view sheds.
  - Do not locate above grade utilities in dedicated open space areas and tree wells.
  - If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z) (T&ES) (BAR)

Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or

- P&Z in consultation with the Chief of Police and shall include the following: Clearly show location of all existing and proposed streetlights and site lights, shading back less relevant information.
  - Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
- c. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts. Manufacturer's specifications and details for all proposed fixtures including
  - site, landscape, pedestrian, sign(s) and security lighting. A photometric plan with lighting calculations that include all existing and
  - proposed light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed streetlights and site lights.
  - Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and streetlights to minimize light spill into adjacent residential areas.
  - If site lights are included in the photometric plan to comply with City's lighting standards, then these lights shall be put on photovoltaic switches. Provide location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
  - Detail information indicating proposed light pole and any footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
  - The lighting for the areas not covered by the City of Alexandria's standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
  - Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development. Light fixtures for open canopies shall be recessed into the ceiling for any
  - areas that can be seen from the public ROW. Upon installation of all exterior light fixtures for the site/building, the
  - applicant shall provide photographs of the site demonstrating compliance with this condition. Full cut-off lighting shall be used as applicable at the development site to
  - prevent light spill onto adjacent properties.

- All streetlights fronting the site shall be replaced with Alexandria Historic Street Lights (or subsequent designated streetlight) with details coordinated with the City. (P&Z) (T&ES) (Police)(BAR)(Code)
- Provide a unit numbering plan for each floor of a multi-unit building with the first Final Site Plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers for third floor and continue in this scheme for the remaining floors. Indicate the use of the unit (i.e.: residential, retail, office) if known. (P&Z)
- 10. Provide a georeferenced CAD file in .dwg format of the dimension plan of this project. This information will be used to compile a master CAD reference to ensure all elements / layers are correctly located and will connect. (P&Z) (DPI) \*

## **BUILDING:**

- 11. The building design, including the appearance, color and quality of materials, final detailing, three-dimensional expression shall be generally consistent with the elevations dated June 12, 2020, and the approved Certificate of Appropriateness from the Board of Architectural Review and the following conditions. (P&Z)
- CONDITION AMENDED BY THE PLANNING COMMISSION: Provide the 12. following building refinements to the satisfaction of the Director of P&Z: a. Any ventilation for the retail/commercial uses (including for retail-ready spaces fronting the private alley) shall be integrated with the overall building design, reviewed and approved to the satisfaction of the Director of Planning and Zoning.
  - All wall mounted vents shall be flush mounted and architecturally integrated with the building design with regard to both placement and color.
  - The unit count may increase to 31 units subject to the applicant providing the required additional 150 square feet of open space as shown on the memo from the applicant's attorney dated August 24, 2020, as well as satisfying any other requirements to ensure consistency with all applicable Zoning Ordinance regulations. (P&Z)
- 13. Work with staff on the continued refinement of the area of the eastern building wall elevation labeled in the Preliminary Plan as "potential art wall w[ith] lighting." The refinements could include the following:
  - Additional brick and architectural detailing as determined through the BAR a Certificate of Appropriateness review.
  - The determination prior to the release of Final Site Plan that a potential addition of an artistic installation or public art piece can be added in consultation with the City Office of the Arts. (P&Z) (BAR) (RP&CA) \*
- 14. Provide detailed drawings (enlarged and coordinated plan-section-elevation studies, typically at 1/4"=1'-0" scale, in color, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the Final Site Plan review. Separate design drawings shall be submitted for each building typology or different bay type. (P&Z)
- 15. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the Preliminary Plan and as set forth in the associated Guidelines for Preparations of Mock-Up Panels Memo to Industry, effective May 16, 2013. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:
  - Provide a materials board that includes all proposed materials and finishes at first Final Site Plan. \*
  - The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant. \*\*\*
  - Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. \*
  - Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel requires a building permit and shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. \*\*
  - The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. \*\*\* (P&Z) (Code)
- 16. Building materials, finishes and architectural details shall be subject to review and approval by the Board of Architectural Review. A materials board shall be submitted as part of the Certificate of Appropriateness approval (BAR)
- 17. The BAR shall review and approve any reduction and changes to the building massing and architecture made necessary if the "private alley parcel area" is not consolidated with the site prior to the release of the Final Site Plan and a building massing reduction is required. (P&Z) (BAR) \*
- 18. Per the City's Green Building Policy adopted April 18, 2009, achieve LEED Certified (or equivalent) for the residential portion of the building and LEED Silver (or equivalent) for the commercial portion of the building and retail-ready units to the satisfaction of the Directors of P&Z and T&ES. In addition to the compliance with the 2009 Green Building Policy, the applicant shall demonstrate additional commitment to green building practices by seeking to achieve one of the following:
  - LEED Silver / 2 Green Globes (or equivalent) for the entire building. Meeting one of the performance points requirements for Green Globes b outlined in the 2019 Green Building Policy:
    - 3.3.1.1 Assessing Energy Performance
  - 3.3.9.1.1 / 3.3.9.1.2 / 3.3.9.2.1 Renewable Energy 3.4.1.1 - Indoor Water Consumption iii.
  - 3.7.1.1 / 3.7.1.2 / 3.7.2.1 Indoor Air Quality



iv.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM FOR EXACT LOCATIONS OF EXISTING UNDERGROUND U HOURS BEFORE THE START OF ANY EXCAVATION OR CON LOCATION AND DEPTH OF ALL EXISTING UNDERGROUN CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME ALL CONSTRUCTION SHALL CONFORM TO THE CURRE

- 19. Diligent pursuance and achievement of the applicable green building certification and performance points shall be monitored through the following:
  - a. Provide evidence of the project's registration with LEED (or equivalent) with the submission of the first Final Site Plan and provide a draft checklist showing how the project plans to achieve the certification.\*

Z

0

ALTH OF

VINCENT M. MCI

Ζ

Ш S

Ω

Ο

ш

 $\square$ 

ם י

L SITE PL ANDRIA 920 KING XANDRIA

FINAL EXAI 916, & 9 = ALEX

N

Ο

 $\square$ 

 $\bigcirc$ 

ப்

о <sub>Ю</sub>

91 CITY

STREET VIRGINIA

Lic. No. 040206010

ふ OCTOBER 13, 2023 名

- Provide evidence of submission of materials for Design Phase credits to the U.S. Green Building Council (USGBC) (or equivalent) prior to issuance of a certificate of occupancy. \*\*\*
- Provide evidence of submission of materials for Construction Phase credits to USGBC (or equivalent) within six months of obtaining a final certificate of occupancy.
- Provide documentation of certification within two (2) years of obtaining a final certificate of occupancy.
- Failure to achieve LEED Certified (or equivalent) for the residential portion of the project and LEED Silver (or equivalent) for the commercial and retail-ready portion of the project, and the additional green building requirement as outlined above will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will
- Provide documentation to future retail tenants encouraging them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Commercial Interiors certification. (P&Z) (T&ES) (RP&CA)
- 20. Increase the loading dock clearance height at the building opening to a minimum 11.5 feet above the Downham Way elevation finished floor to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) \*
- 21. The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES) (P&Z)
- 22. Install Energy Star labeled appliances in all multi-family residential units. (T&ES)
- 23. In order to provide a more sustainable use of natural resources, the applicant shall use EPA-labeled WaterSense or equivalent low flow fixtures. In addition, the applicant is encouraged to explore the possibilities of adopting water reduction strategies (i.e., use of gray water system on-site) and other measures that could reduce the consumption of potable water on this site. A list of applicable mechanisms can be found at: <u>www.epa.gov/WaterSense</u>. (T&ES)

### **OPEN SPACE/LANDSCAPING:**

- 24. Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. Landscape plans shall be submitted in accordance with the City of Alexandria's Landscape Guidelines, available online at: www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGuideli nesFinalv2Final.pdf
- 25. If existing soils will not be used and imported soils are specified, provide a soil sample test report documenting the imported soil's pH concurrent with the landscape installation/planting operations pre-installation/construction meeting. (P&Z) \*\*\*
- 26. Develop a palette of site furnishings in consultation with staff. Site furnishings may include benches, bicycle racks, trash and recycling receptacles, and other associated features (P&Z) (T&ES) \*
- 27. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails — if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) (Code) \*
- 28. Provide, implement and follow a <u>Tree and Vegetation Protection Plan</u> per the City of Alexandria Landscape Guidelines. (P&Z) (RP&CA)

### **ARCHAEOLOGY:**

- 29. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the pedestrian alley and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the Final Site Plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.\* (Arch)(P&Z)(RP&CA)
- Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource

	Management Plan, as approved by the City An	rchaeologist, will be implemented.		
	(Archaeology)		DATE	REVISION
31.	The Final Site Plan, Grading Plan, or any other p activities (such as coring, grading, filling, ve utilities, pile driving, landscaping and other ex 151 of the Zoning Ordinance) shall not be re confirms that all archaeological field work has b Resource Management Plan is in place to recor- with construction activities. * (Archaeology)	getation removal, undergrounding cavations as defined in Section 2- leased until the City archaeologist been completed or that an approved		
		APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING	SCALE	KED: VMM
	ASSOCIATES, INC. AND MAY NOT BE USED OR R AND/OR LAND SURVEYOR.	DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.	CON	IDITIONS
AVAILABLE FILITIES, N NSTRUCTIO	E RECORDS AND/OR FROM FIELD OBSERVATIONS. OTIFY "MISS UTILITY" AT 1-800-552-7001, 72 N.	DIRECTOR DATE	-	
d utilitie Will Not	S TO BE VERIFIED BY CONTRACTOR PRIOR TO BE THE RESPONSIBILITY OF THIS OFFICE.	CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED	SHEET	2 OF 29
ENT STANI	DARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.	INSTRUMENT NO. DEED BOOK NO. DATE	FILE:	19-153

- 32. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 33. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 34. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.\*\*\* (Archaeology)

#### PEDESTRIAN/STREETSCAPE:

- 35. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
  - Complete all pedestrian improvements prior to the issuance of a certificate a. of occupancy permit. The minimum unobstructed width of newly constructed sidewalks shall be b.
  - 6 feet. All brick sidewalks shall comply with the City's Memos to Industry 05-08 C. and 01-13.
  - All existing granite curbing fronting the site shall be retained and matching granite curbing shall replace areas of existing concrete curbing.
  - All below grade utilities placed within a City sidewalk shall be designed in e. such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts. \*\*\* (P&Z) (T&ES)
- 36. The design of the pedestrian alley along the eastern portion of the site shall include the following:
  - The alley should be visually integrated with the adjacent sections of King a. Street sidewalk and rear walkway of the site, including flush transitions.
  - The alley shall feature pedestrian-scale lighting. The walkway shall not be gated or obstructed on either end with the exception of removable pedestrian safety enhancements at the southern end of the walkway within the property line to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES)

### PARKING:

- 37. Parking reserved in the off-site garage at the 116 S. Henry Street development for the residential and commercial uses shall be consistent with the requirements of the Zoning Ordinance in effect at the time of approval by City Council and/or Planning Commission. (P&Z) (T&ES)
- 38. All residential parking shall be unbundled (i.e., the cost to purchase or lease a parking space in the garage at the 116 S. Henry Street development is separate from the cost to purchase or lease the residential unit). (T&ES)
- 39. Provide a Parking Management Plan in coordination with the development at 116 S. Henry Street with the Final Site Plan submission. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and comply with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. In addition to the requirements of the Memo to Industry, include the agreement between this development and the development and garage at 116 S. Henry Street, a narrative of the shared use of the garage and accessibility to the public, and a description of the automatic garage operations and management. (P&Z) (T&ES)
- 40. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)
- 41. Provide 12 bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and longterm parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) \*\*\*

## B. TRANSPORTATION

### STREETS/TRAFFIC:

- 42. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction / installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
- 43. A pre-construction walk / survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)
- 44. Show turning movements of the largest delivery vehicle projected to use the loading dock. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)
- 45. Furnish and install two 4-inch Schedule 40 PVC conduits with pull wires, and junction boxes underneath the sidewalks along the frontage of King Street. These conduits shall terminate in an underground junction box at each of the public street corners of the site. The junction box cover shall have the word "TRAFFIC" engraved in it. (T&ES)
- 46. Asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)
- 47. The private alley providing access to abutting property owners shall be jointly managed and maintained to the satisfaction of the Director of T&ES. A maintenance agreement between the applicant and the City for the portion of the public alley labeled as the "private alley parcel area" on the Preliminary Plan shall be approved and recorded prior to release of the Site Plan. (T&ES) \*

### TRANSPORTATION MANAGEMENT PLAN (SUP#2020-0034):

- 48. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement Transportation Demand Management (TDM) strategies to discourage single occupancy vehicle (SOV) travel and encourage residents and employees to take public transportation, walk, bike or share a ride. (T&ES)
- A TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for assisting the City in implementing and facilitating the TMP on site. The coordinator must provide City staff access to the property and tenants/residents in order to implement TDM measures such as surveys, mailings and hosting events to inform residents and tenants about benefits and alternatives to SOV travel. (T&ES) \*\*\*
- The TMP shall be required to make a monetary payment twice per year to the 50. Citywide TDM Fund. TMP funds shall be deposited to the Citywide TDM Fund on January 15 and July 15 of each year. The annual base assessment rate for this development shall be determined as set forth in section 11-708 (TMP Assessments Schedule and Adjustments). The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins. (T&ES)
- 51. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the property may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the City Council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (T&ES)
- 52. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)

#### **BUS STOPS AND BUS SHELTERS:**

- 53. Show all existing bus stops, bus shelters, and bus stop benches in the vicinity of the site on the Final Site Plan. (T&ES) (Code)
- 54. Street trees in proximity to bus stop approaches or directly adjacent to travel lanes shall be planted and maintained pursuant to the Landscape Guidelines: a.
  - Located to avoid conflict with vehicles, specifically i. Trees shall be excluded from a 40-foot zone which represents the length of the bus as it is serving the stop.
  - ii. Trees within both the 10-foot departure zone and the 20-foot approach zone (on either side of the 40-foot zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.

#### C. PUBLIC WORKS

#### WASTEWATER/SANITARY SEWERS:

- 55. The project lies within the Combined Sewer System (CSS) area district, therefore, stormwater management and compliance with the state stormwater quality and quantity requirements and the City's Alexandria Water Quality Volume Default shall be coordinated with the project's compliance with the CSS Management Policy set forth in Memo to Industry 07-14, effective July 1, 2014. The applicant is proposing to discharge both the sanitary flow and the stormwater from the site to the combined sanitary sewer system. With respect to sanitary requirements, the applicant shall contribute \$58,338.00 based on a formula of \$1.5 per gallon of peak sanitary flow (\$1.5 per gallon x 9,723 gallons x 4). With respect to the stormwater requirement, the applicant is proposing bioretention to help mitigate stormwater impacts on combined sewer discharges. Staff has determined that the size of the proposed green roof would meet 37 percent of their stormwater requirements. Therefore, the applicant shall contribute based on a formula of \$200,000 per acre x 0.27-acre x (1-0.37), which results in a contribution of \$34,020.00. The sanitary and stormwater contribution fee is due prior to release of the final site plan.(T&ES)
- The sewer connection fee must be paid prior to release of the Final Site Plan. (T&ES) \*
- 57. If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES) \*
- Prior to release of the Final Site Plan, the applicant shall work with the owner of 58. the adjacent property at 922 King Street to have a 10-foot-wide sanitary sewer easement granted to the City for access, inspection, maintenance, and service of the proposed sanitary sewer on Downham Way if required. (T&ES)\*

#### **UTILITIES:**

- 59. Locate all private utilities without a franchise agreement outside of the public rightof-way and public utility easements. (T&ES)
- 60. Undergrounding shall be consistent with the exhibit entitled, "King Street and S. Henry Street Dry Utility Plan" provided to the City of Alexandria on August 6th, 2020. Any deviations to the dry utility plan shall be approved by the Director of T&ES. (T&ES)
- 61. No transformer and switch gears shall be located in the public right of way. (T&ES)

#### SOLID WASTE:

62. If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection

vehicles must be able to pick up solid waste from private streets without up. The containers must be stored inside the units or within an enclo completely screens them from view. Where the City of Alexandria prov solid waste collection services; all refuse/recycling shall be placed at Right-of-Way for collection. The official setout location of the containers approved by the Director of T&ES. (T&ES)

- 63. All trash collectors for the project site are required to take their collected trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
- 64. Provide \$1,402 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES) \*
- 65. Provide \$1,626 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)

### ENVIRONMENTAL

### STORMWATER MANAGEMENT:

- 66. The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)
- 67. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
- 68. All stormwater Best Management Practices (BMPs) must be designed to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs. This includes site specific plan views, cross sections, planting plans, and complete design calculations for each BMP. (T&ES)
- Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage). phosphorous removal efficiency (percentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees (NAD83). (T&ES)
- Construction inspection checklists and associated photographic documentation must be completed for each stormwater best management practice (BMP) and detention facility during construction. Prior to the release of the performance bond, the applicant must submit all documents required by The City of Alexandria As-Built Stormwater Requirements to the City including as built plans, CAD data, BMP certifications and completed construction inspection checklists. (T&ES)
- The stormwater Best Management Practices (BMPs) required for this project shall 71. be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
  - a. Constructed and installed as designed and in accordance with the released Final Site Plan.
  - Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (T&ES) \*\*\*\*
- 72. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
- 73. Submit two (2) originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the Final Site Plan. (T&ES) \*
- 74. The applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the master association. Prior to transferring maintenance responsibility for the BMPs to the master association, the applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three (3) years, and transfer the contract to the, master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. (T&ES) \*\*\*\*



THIS DRAWING IS A SERVICE DOCUMENT OF R. REPRODUCED WITHOUT THE WRITTEN PERMISSION EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FOR EXACT LOCATIONS OF EXISTING UNDERGROUN HOURS BEFORE THE START OF ANY EXCAVATION OF LOCATION AND DEPTH OF ALL EXISTING UNDERGF CONSTRUCTION. INTERFERENCE OR DISRUPTION OF ALL CONSTRUCTION SHALL CONFORM TO THE

t backing
sure that
vides the
the City
s shall be

75.

If u	nits will be sold as individual units and a Master Association established the
	owing two conditions shall apply:
a.	The applicant shall furnish the Master Association with an Owner's
	Operation and Maintenance Manual for all Best Management Practices
	(BMPs) used on site. The manual shall include at a minimum: an

diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. The developer shall furnish each home / property purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the property owners and the Master Association with respect to maintenance requirements. Upon activation of the Master Association, the Developer shall furnish five copies of the brochure per unit

explanation of the functions and operations of the BMP(s); drawings and

76. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division on digital media prior to release of the performance bond. (T&ES) \*\*\*\*

to the Master Association for distribution to owners. (T&ES)

77. Prior to release of the performance bond, the applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. (T&ES) \*\*\*\*

# WATERSHED, WETLANDS, & RPAs:

78. Provide Environmental Site Assessment Notes that clearly delineate, map, describe and/or explain the following environmental features if located on site: individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams and associated buffers; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)

# **CONTAMINATED LAND:**

- 79. Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
- 80. If environmental site assessments or investigations discover the presence of contamination on site, the final [site plan/demo plan/grading plan] shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
  - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
  - Submit a Risk Assessment indicating any risks associated with the b. contamination.
  - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with "clean" soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
  - Submit a Health and Safety Plan indicating measures to be taken during d. remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
  - The applicant shall screen for PCBs as part of the site characterization if e. any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
  - Applicant shall submit three (3) electronic and two (2) hard copies of the £ above. The remediation plan must be included in the Final Site Plan. (T&ES) \*
- 81. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and

Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)

82. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be

converted to an active ventilation	system if warranted. (T&ES)	
	APPROVED special use permit no department of planning & zoning	DESIGN: VM CHECKED: VM SCALE: NC DATE: SEPT 3
C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR OF THE ENGINEER AND/OR LAND SURVEYOR. FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. ND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72	SITE PLAN NO	CONDITIC
R CONSTRUCTION. ROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF	CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE	SHEET 3
© 2021 R.C. FIELDS & ASSOCIATES, INC.		FILE: <b>19</b> –

	FORMERING       FORMERING       FORMERING         ENGINEERING       LAND SURVEYING       PLANNING         TOO S. Washington Street, Suite 220       www.rcfassoc.com         Alexandria, Virginia 22314       (703) 549-6422
	COMPENLITH OF
	S VINCENT M. MCHALE Lic. No. 0402060162 S OCTOBER 13, 2023 A OCTOBER 14 A OCTO
	FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA
	DATE REVISION
	DESIGN: VMM
_	CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021
_	CONDITIONS
	SHEET <b>3</b> OF <b>29</b> FILE: <b>19–153</b>

## NOISE

are a noise study identifying the levels of noise residents of the project will be sed to at the present time, and 10 years into the future in a manner consistent the Noise Guidance Book used by the Department of Housing and Urban lopment (HUD). In addition, include analysis of the levels of noise residents e project will be exposed to due to loading and unloading activities, idling and c. Identify options to minimize noise and vibration exposure to future ents at the site, particularly in those units closest to the commercial activities, ng areas, garage entrances, interstate highway, railroad tracks and airport
c, including triple-glazing for windows, additional wall / roofing insulation, lation of resilient channels between interior gypsum board and wall studs, lation of a berm or sound wall and any other special construction methods to be sound transmission. If needed, the applicant shall install some combination e above to the satisfaction of the Directors of P&Z and T&ES. (T&ES)
noise study and noise commitment letter shall be submitted and approved prior nal Site Plan release.* (T&ES)
ly deliveries, loading, and unloading activities shall not occur between the of 11:00pm and 7:00am. (T&ES)
ehicles associated with this project shall be permitted to idle for more than 10 tes when parked. This includes a prohibition on idling for longer than 10 tes in the loading dock area. The applicant shall post of minimum of two "no g for greater than 10 minutes" signs in the loading dock area in plain view.
UTION:
eplaces are utilized in the development, the applicant is required to install gas aces to reduce air pollution and odors. Animal screens must be installed on neys. (T&ES)
rol odors and any other air pollution sources resulting from operations at the and prevent them from leaving the property or becoming a nuisance to aboring properties, as determined by the Director of Transportation and ronmental Services. (T&ES)
UCTION MANAGEMENT
ng shall remain operational and construction shall not commence until the ge at the 116 S. Henry Street development project is operational, to the faction of the Directors of P&Z, T&ES and General Services. (P&Z) (T&ES)
hit a separate construction management plan to the Directors of P&Z, T&ES Code Administration prior to Final Site Plan release. The plan shall: No street lights shall be removed without authorization from the City of
Alexandria. If street lights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning
of new lights. Include an analysis as to whether temporary street or site lighting is needed
for safety during the construction on the site and how it is to be installed. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
Include an overall proposed schedule for construction; Include a plan for temporary pedestrian circulation;
Include the location and size of proposed construction trailers, if any; Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction
entrances and storage of materials. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
de off-street parking for all construction workers without charge to the ruction workers. The applicant shall be responsible for ensuring that all actors use the off-street parking provided. For the construction workers who Aetro, DASH, or another form of mass transit to the site, the applicant shall dize a minimum of 50% of the fees for mass transit. Compliance with this ition shall be a component of the construction management plan, which shall bmitted to the Department of P&Z and T&ES prior to Final Site Plan release. plan shall:
Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z) (T&ES) *
(P&Z) (T&ES) * valks adjacent to the site shall remain open during construction. If sidewalks be closed, pedestrian access shall be maintained adjacent to the site per Memo dustry #04-18 throughout the construction of the project. The plan for tenance of pedestrian access shall be included in the Construction agement Plan for approval by T&ES. (T&ES)
cle facilities including Capital Bikeshare stations adjacent to the site shall in open during construction. If a bicycle facility, including a Capital share station, must be closed, bicycle access shall be maintained adjacent to te per Memo to Industry #04-18 throughout the construction of the project. If Papital Bikeshare station is required to be removed from its existing location cannot be moved to the proposed permanent location immediately, the cant shall relocate the station to a temporary location as requested by the City hen relocate the station to the permanent location as soon as construction ities allow. The temporary location shall be in the parking lane in front of 116 fred Street, or a similar publicly accessible location within the vicinity of the ct, subject to outreach with adjacent property owners and stakeholders. The

94. No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES) \*\*

T&ES. (T&ES)

95. Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the stop(s), a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)

Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tie-backs etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)

97. A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)

98. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)

99. Prior to commencement of landscape installation/planting operations, a preinstallation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)

100. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z) (T&ES)

101. Install a temporary informational sign on the site prior to release of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)

102. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City's Green Building Policy and conditions herein. (T&ES)

Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code) \*\*\*

104. Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)

105. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) \*\*\*

106. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)

107. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

# F. CONTRIBUTIONS

108. Contribute \$5,000 to the City prior to Final Site Plan to install a Capital Bikeshare station in the vicinity of the project and/or to fund relocation of the existing bikeshare station on the site to the proposed new location along the 900 block of King Street by the City. (T&ES) \*

109. In lieu of fully meeting the 25-percent crown coverage requirement of the Zoning Ordinance, the applicant shall provide a monetary contribution, in an amount equal to \$5,352 to the City of Alexandria's Living Landscape fund. The contribution will be provided prior to first Certificate of Occupancy. (P&Z) \*\*\*

# **HOUSING:**

110. A voluntary contribution of \$109,359 to the Housing Trust Fund would be consistent with the conclusions of the Developer's Housing Contribution Work Group accepted by The Alexandria City Council in December 2013.

# **PUBLIC ART:**

- 111. Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)
  - a. The next submission shall identify the location, type and goals for public art. Prior to release of the Final Site Plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) \*, \*\*\*
  - The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy. (RP&CA) (P&Z) \*\*\*

# G. USES AND SIGNS

# **RETAIL USES:**

- 112. Provide documentation (lease agreement or similar) to future retail tenants requiring them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Retail or LEED for Commercial Interiors certification at a Silver level.
- 113. Ensure the following for the retail and retail-ready units within the development, to the satisfaction of the Director of P&Z:
  - a. Provide the minimum floor-to-floor heights per the Preliminary Site Plan. All entrances along are required to be operable and ADA-accessible, even if the retail-ready space is used for residential purposes. This requirement shall be included as part of the lease for each tenant.
  - c. All windows and doors shall be a storefront system as depicted in the Preliminary Site Plan. The placement or construction of items that block the visibility of the interior of the store from the street and sidewalk (e.g. storage cabinets, carts, shelving, boxes, coat racks, storage bins, closets, etc.) shall be prohibited. This is not intended to prevent retailers from displaying their goods in display cases that are oriented towards the street frontage. This requirement shall be included as part of the lease for each tenant. The interior layout of retail-ready units must consist of full-height space off of the storefront entrance and include a bathroom that can be publicly accessible.
  - The location for signage shall be identified as part of the coordinated site d.
  - The retail-ready unit type shall be listed on all promotion material / websites e. to encourage active uses. (P&Z)
- 114. The applicant shall encourage its employees who drive to use off-street parking. (T&ES)
- 115. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
- 116. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
- 117. The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

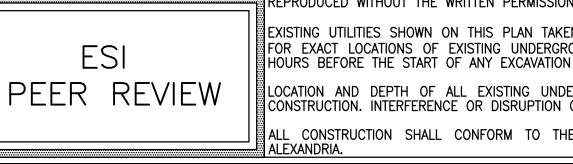
# SIGNAGE:

118. Design and develop a coordinated sign plan, which includes a color palette, for all proposed commercial signage, including for the retail-ready spaces. The plan shall be included as part of the Final Site Plan and BAR Certificate of Appropriateness and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of P&Z.\* (P&Z) (BAR)

# H. DISCLOSURE REQUIREMENTS

- 119. All master association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City Council.
  - a. All landscaping and open space areas within the development shall be maintained by the master association.
  - The property includes areas with public access easements, including the b. pedestrian alley and private alley.
  - The site is located in the Old and Historic Alexandria District, and any exterior alterations are subject to review and approval by the Board of Architectural Review.
  - Exterior building improvements or changes by future residents shall require d. the approval of the City Council, as determined by the Director of P&Z.
  - Develop a noise control by-law aimed at controlling noise levels in proposed development and resolving noise issues between neighbor occupants and disclose this by-law to all involved at the time of sale or agreement.
  - The specific language of the disclosure statement to be utilized shall provided to the City for approval prior to release of any certificate occupancy permit.

THIS DRAWING IS A SERVICE DOCUMENT OF REPRODUCED WITHOUT THE WRITTEN PERMISSION



LOCATION AND DEPTH OF ALL EXISTING UNDE CONSTRUCTION. INTERFERENCE OR DISRUPTION ALL CONSTRUCTION SHALL CONFORM TO THE

g.	Stormwater facility BMPs must be inspected and adequately maintained as
	designed to ensure proper functioning.
1020	이 같다. 김 씨는 것 같은 것 같

- The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit. (P&Z) (T&ES) \*\*\*
- 120. If environmental site assessments or investigations discover the presence of onsite contamination, the applicant or its agent shall furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclosures shall be made to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
- 121. Notify prospective buyers, in their homeowner / property owner documents, that the Downham Way Alley is a private street and shall not be maintained by the City of Alexandria; and that the sanitary and storm sewers located within the Downham Way Alley are private and shall be maintained privately until a utility easement is recorded allowing for City of Alexandria maintenance. (T&ES)
- 122. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Directors of P&Z and T&ES, and the City Attorney:
  - a. That the loading dock clearance is under 14'6", and the building operator and/or commercial tenants shall coordinate with trash and delivery services accordingly.
  - b. That Route 1 is an existing / planned location for Transit Corridor A, which will traverse in a north-south direction in the general vicinity of Route 1 and connect to future transit corridors in Fairfax and Arlington counties.
  - c. That the site is located on King Street and is subject to noise and traffic impacts in this portion of the City. (P&Z) (T&ES) (City Attorney)

### I. RESTAURANT SUP (SUP#2020-0033)

- 123. The conditions contained herein relating to restaurant uses cover any of the groundfloor commercial or retail-ready tenant spaces included in DSUP#2019-0032. (P&Z)(T&ES).
- 124. The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)
- 125. Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape, invasion by animals, or leaking. No trash or debris shall be allowed to accumulate outside of those containers. Outdoor containers shall be maintained to the satisfaction of the Directors of P&Z and T&ES, including replacing damaged lids and repairing/replacing damaged dumpsters. (P&Z) (T&ES)
- 126. Live entertainment shall be limited to indoor only. The applicant shall conform with the City's noise ordinance and no amplified sound shall be audible at the property line after 11:00 p.m. (T&ES)
- 127. Kitchen equipment, including floor mats, shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer. (T&ES)
- 128. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00 p.m. and 7:00 a.m. (T&ES)
- 129. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)
- 130. All waste products including but not limited to organic compounds (solvents and cleaners) shall be disposed of in accordance with all local, state and federal ordinances or regulations. (T&ES)
- 131. Exterior power washing of the building shall not be completed using any kind of detergents. (T&ES)
- 132. Chemicals, detergents or cleaners stored outside the building shall be kept in an enclosure with a roof. (T&ES)
- 133. If used cooking oil is stored outside, the lid of the used cooking oil drum shall be kept securely closed (using a bung) when not receiving used oil. The drum shall be placed on secondary containment and situated under cover to prevent rainwater from falling on it. (T&ES)
- 134. Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)
- 135. The applicant shall encourage its employees who drive to use off-street parking. (T&ES)
- 136. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
- 137. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
- 138. The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

2.			
the			
oring ease II be	APPROVED 2025-10006	DESIG CHECH SCALE	KED: VM
e of	DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE		SEPT
R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR I OF THE ENGINEER AND/OR LAND SURVEYOR.	DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	CON	
N FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. DUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 OR CONSTRUCTION.	DIRECTOR DATE		
RGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO DF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.	CHAIRMAN, PLANNING COMMISSION DATE	SHEET	4
CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.	INSTRUMENT NO. DEED BOOK NO. DATE	FILE:	19-

Construction       Construction       Construction       Construction         Constrent       Construction	
DOCTOBER 13, 2023	
FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA	
DATE REVISION	
 DESIGN: VMM CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021	
 CONDITIONS	
 SHEET <b>4</b> OF <b>29</b> FILE: <b>19–153</b>	

	139.	The Director of Planning and Zoning shall review the Special Use Permit after it has been operational for one (1) year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are problems with the apprentice of the use and that new or project	F - 4.	of meri is show The Fir 09 date at the C http://a 09%20
		that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)	F - 5.	The pla final su plan an
IX. <u>Cľ</u>	FY DE	PARTMENT CODE COMMENTS		or wate the rim
Leger	id: C -	Code Requirement R - Recommendation S - Suggestion F – Finding		manhol stationi
35		<b>1</b> Zoning (P&Z) Il first-floor bays with a street-facing door providing their primary access, please		water li
K-1	coord assign addre	linate with the Geographic Information Systems (GIS) Division for address nments at tenant fit out. These uses are not permitted to use the primary building ess as their address. Please contact the Addressing Coordinator in the GIS Division 746-3823) as each new tenant is determined, and an appropriate address based on		The Pla the pro Include
C - 1	As-bı	ocation of the primary entrance door of the new space will be assigned. ailt documents for all landscape and irrigation installations are required to be itted with the Site as-built and request for Performance Bond release. Refer to City	F - 8.	All sto specific Way (I
C - 2	of Ale Tree to be shall City	exandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) **** conservation and protection plans shall identify all trees to be removed, and all trees protected / preserved. Construction methods to reduce disturbance within driplines also be identified. An on-site inspection of existing conditions shall be held with the Arborist and Natural Resources Division Staff prior to the preparation of the Tree ervation and Protection Plan.		pipe r Alterna Directo 77 SD minimu sewers owned
C - 3	The 1 Main Relea per C	landscape elements of this development shall be subject to the Performance and tenance bonds, based on criteria established by the City and available through T&ES. use of Performance and Maintenance Bonds are subject to inspections by City staff Tity Code requirements. A final inspection for landscaping is also required three (3) after completion. (P&Z) (T&ES) ****	F - 9.	a publi All sa specifi of Way howev
C - 4		ermits shall be issued prior to the release of the Certificate of Appropriateness from oard of Architectural Review. (BAR)		ASTM 52, or Class I
C - 5	5% o requi	ng ratio requirement adjustment. Any parking requirement may be adjusted within f the requirement if the director of Planning and Zoning determines that physical rements of the building prevent compliance with the specific number of parking as required. (Section 8-200(A)(2)(c)(i) of the Zoning Ordinance) (T&ES) (P&Z)		velocit sanitar laterals provid
<u>Code</u>	Admin	istration (Building Code)	F - 10.	Latera edge)
F - 1.	filed f plans. questio	eview by Code Administration is a preliminary review only. Once the applicant has for a building permit, code requirements will be based upon the building permit A preconstruction conference is recommended for large projects. If there are any ons, the applicant may contact the Code Administration Office, Plan Review visor at 703-746-4200.		this he installe above achiev (ANSI (T&ES
C - 1		onstruction or alterations to existing structures must comply with the current edition Uniform Statewide Building Code (USBC).	F - 11.	Crossi
C - 2	on the per flo	eveloper shall provide a building code analysis with the following building code data plan: a) use group; b) number of stories; c) type of construction; d) total floor area por; e) height of structure f) non-separated or separated mixed use g) fire protection in requirements.		bottom main o for sto sanitar (ANSI
	existin	s report must be submitted with the building permit application for all new and og building structures.		distand be cen leakag
	limitat	ost restrictive type of construction shall apply to the structure for height and area ions for non-separated uses.		structu to the than 6-
	parkin	e required per the current edition Virginia Uniform Statewide Building Code exits, g, and facilities shall be accessible for persons with disabilities.	F - 12.	No wa sewer whene
C - 6	fire de	oposed buildings where an occupied floor exceeds 75 feet above the lowest level of partment vehicle access shall meet the Virginia Uniform Statewide Building Code GH-RISE buildings.	F - 13	shall b
C - 7	plan sl that w	o the issuance of a demolition permit or land disturbance permit, a rodent abatement hall be submitted to the Department of Code Administration that will outline the steps vill be taken to prevent the spread of rodents from the construction site to the nding community and sewers.		electri clearan then the A21.5 tested
C - 8	has ob	ng and shoring shall not extend beyond the property line; except when the developer stained a written release from adjacent property owners which has been recorded in ad records; or through an approved encroachment process.	F 14	crossi concre
C - 9		Il location plat prepared by a land surveyor is required to be submitted to the tment of Code Administration prior to any building framing inspection.		Show inform Provid
Archa	<u>neology</u>			to clea
F - 2.	applic: Nation Depart	project is a federal undertaking or involves the use of any federal funding, the ant shall comply with federal preservation laws, in particular Section 106 of the hal Historic Preservation Act of 1966. The applicant will coordinate with the Virginia tment of Historic Resources and the federal agency involved in the project, as well h Alexandria Archaeology.		the pla A Mai and sl Pedest #04-13
C -1.		quired archaeological preservation measures shall be completed in compliance with n 11-411 of the Zoning Ordinance.	F - 18.	The fc a. Th
Trans	sportati	on and Environmental Services (T&ES)		all b. Sie
F - 3,	and Fe show t the pla prefera	the record drawings, maps, and other documents of the City of Alexandria, State, ederal agencies show the true north pointing upwards, therefore, the Site Plan shall the true north arrow pointing upward as is customary; however, for the sake of putting an together and/or ease of understanding, the project north arrow pointing upward, ably east, or west may be shown provided it is consistently shown in the same	1990	sid En c. Co sha
	airecti	on on all the sheets with no exception at all. The north arrow shall show the source		Add cc

of meridian. The project north arrow pointing downward will not be acceptable even if, it vn consistently on all the sheets. (T&ES)

al Site Plan must be prepared per the requirements of Memorandum to Industry 02d December 3, 2009, Design Guidelines for Site Plan Preparation, which is available 'ity's website: lexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-December%203,%202009.pdf

an shall show sanitary and storm sewer, and water line in plan and profile in the first bmission and cross reference the sheets on which the plan and profile is shown, if d profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, line plans and profiles. Provide existing and proposed grade elevations along with and invert elevations of all the existing and proposed sanitary and storm sewer at les, and water line piping at gate wells on the respective profiles. Use distinctive ng for various sanitary and storm sewers (if applicable or required by the plan), and ne in plan and use the corresponding stationing in respective profiles. (T&ES)

in shall include a dimension plan with all proposed features fully dimensioned and perty line clearly shown. (T&ES)

all symbols, abbreviations, and line types in the legend. (T&ES)

orm sewers shall be constructed to the City of Alexandria standards and cations. Minimum diameter for storm sewers shall be 18" in the public Right of (OW) and the minimum size storm sewer catch basin lead is 15". The acceptable naterials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. atively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the or of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-R 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable im and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm immediately upstream of the first manhole in the public Right of Way shall be and maintained privately (i.e., all storm drains not shown within an easement or in c Right of Way shall be owned and maintained privately). (T&ES]

nitary sewers shall be constructed to the City of Alexandria standards and cations. Minimum diameter of sanitary sewers shall be 10 inches in the public Right and sanitary lateral 6 inches for all commercial and institutional developments; er, a 4-inch sanitary lateral will be acceptable for single family residences. The ble pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class einforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); II may be acceptable on private properties. The acceptable minimum and maximum es will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the are being connected to existing Terracotta pipes, replace the section of main and manufactured "Y" or "T", or else install a manhole. (T&ES)

Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to hall be provided between a storm or sanitary sewer and a water line; however, if rizontal separation cannot be achieved then the sewer and water main shall be ed in separate trenches and the bottom of the water main shall be at least 18 inches of the top of the sewer. If both the horizontal and vertical separations cannot be ed, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 A21.51) Class 52 and pressure tested in place without leakage prior to installation.

g Water Main Over and Under a Sanitary or Storm Sewer: When a water main over or under crosses a sanitary / storm sewer then the vertical separation between the of one (i.e., sanitary / storm sewer or water main) to the top of the other (water sanitary / storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches rm sewer; however, if this cannot be achieved then both the water main and the / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 A21.51) Class 52 with joints that are equivalent to water main standards for a e of 10 feet on each side of the point of crossing. A section of water main pipe shall ered at the point of crossing and the pipes shall be pressure tested in place without prior to installation. Sewers crossing over the water main shall have adequate al support (concrete pier support and/or concrete encasement) to prevent damage vater main. Sanitary sewers under creeks and storm sewer pipe crossings with less inch clearance shall be encased in concrete. (T&ES)

er main pipe shall pass through or come in contact with any part of sanitary / storm nanhole. Manholes shall be placed at least 10 feet horizontally from the water main er possible. When local conditions prohibit this horizontal separation, the manhole of watertight construction and tested in place. (T&ES)

g Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and al duct banks shall be crossed maintaining a minimum of 12 inches of separation or ce with water main, sanitary, or storm sewers. If this separation cannot be achieved, he sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI ) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure n place without leakage prior to installation. Sanitary / storm sewers and water main g over the utilities shall have adequate structural support (pier support and/or e encasement) to prevent damage to the utilities. (T&ES)

he drainage divide areas on the grading plan or on a sheet showing reasonable ation on topography along with the structures where each sub-area drains. (T&ES)

proposed elevations (contours and spot shots) in sufficient details on grading plan ly show the drainage patterns. (T&ES)

existing and proposed public and private utilities and easements shall be shown on and a descriptive narration of various utilities shall be provided. (T&ES)

tenance of Traffic Plan shall be provided within the Construction Management Plan all replicate the existing vehicular and pedestrian routes as nearly as practical. ian and bike access shall be maintained adjacent to the site per Memo to Industry These sheets are to be provided as "Information Only." (T&ES)

lowing notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES) prepared drawings shall include a statement "FOR INFORMATION ONLY" on MOT Sheets.

ewalk closures will not be permitted for the duration of the project. Temporary ewalk closures are subject to separate approval from Transportation and vironmental Services (T&ES) at the time of permit application.

tractor shall apply for all necessary permits for uses of the City Right of Way and Il submit MOT Plans with the T&ES Application for final approval at that time. \*

mplete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)

requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate, then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)

- C 11 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article Environmental Management Ordinance, the applicant shall comply with the stormw quality and quantity requirements and provide channel protection and flood protectio accordance with these requirements. If combined uncontrolled and controlled stormw outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be me the project site lies within the Braddock-West watershed or known flooding area, then applicant shall provide an additional 10 percent storage of the pre-development flow this watershed to meet detention requirements. (T&ES)
- C 12 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that req analysis of pressure hydraulic systems, including but not limited to the design of t control structures and stormwater flow conveyance systems shall be signed and sealed a professional engineer, registered in the Commonwealth of Virginia. The design of st sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analy that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)
- C 13 The proposed development shall conform to all requirements and restrictions set fort Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the C of Alexandria Zoning Ordinance. (T&ES)
- C 14 If it is determined that the site is not in compliance with Section 13-1-3 of the City C then the applicant shall make additional improvements to adjust lighting levels to satisfaction of the Director of T&ES to comply with the Code. (T&ES)
- C 15 Location of customer utility services and installation of transmission, distribution and i lines in the public rights of way by any public service company shall be governed franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be loca outside of the public right of way. (T&ES)
- C 16 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexan Code, all new customer utility services, extensions of existing customer utility services existing overhead customer utility services supplied by any existing overhead facil which are relocated underground shall, after October 15, 1971 be installed below surface of the ground except otherwise exempted by the City Code and to the satisfac of the Director, Department of Transportation and Environmental Services. (b) Per requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, ma and appurtenances used or intended to be used to transmit or distribute any service suc electric current, telephone, telegraph, cable television, traffic control, fire alarm, po communication, gas, water, steam or petroleum, whether or not on the streets, alleys other public places of the City shall, after October 15, 1971, be installed below the sur of the ground or below the surface in the case of bridges and elevated highways ex otherwise exempted by the City Code and to the satisfaction of Director, Department Transportation and Environmental Services. (T&ES)
- C 17 Flow from downspouts, foundation drains, and sump pumps shall be discharged to storm sewer per the requirements of Memorandum to Industry 05-14 that is available the City of Alexandria's web site. The downspouts and sump pump discharges shall piped to the storm sewer outfall, where applicable after treating for water quality as per requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C-18 In compliance with Title 5: Transportation and Environmental Services, Section 2(12b) of the City Charter and Code, the City of Alexandria shall provide solid w collection services to the condominium townhomes portion of the development. All re / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)
- C 19 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Sec A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provi total turning radius of 25 feet to the satisfaction of Directors of T&ES and Offic Building and Fire Code Administration and show turning movements of standard vehi in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)
- C 20 The applicant shall provide required storage space for both trash and recycling mater containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Sp Guidelines", or to the satisfaction of the Director of Transportation & Environme Services. The plan shall show the turning movements of the collection trucks and the tru shall not back up to collect trash or recycling. The City's storage space guidelines available online at: www.alexandriava.gov/solidwaste or by contacting the City's S Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.g (T&ES)
- C 21 The applicant shall be responsible to deliver all solid waste, as defined by the City Cha and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at Eisenhower Avenue. A note to that effect shall be included on the plan. The develo further agrees to stipulate in any future lease or property sales agreement that all tena and/or property owners shall also comply with this requirement. (T&ES)
- C-22 The applicants shall submit a Recycling Implementation Plan (RIP) form to the S Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), wh requires all commercial properties to recycle. Instructions for how to obtain a RIP form be found at: www.alexandriava.gov/solidwaste or by calling the Solid Waste Divisio 703.746.4410 or by e-mailing <u>CommercialRecycling@alexandriava.gov</u>. (T&ES)
- C 23 All private streets and alleys shall comply with the City's Minimum Standards for Pri-Streets and Alleys. (T&ES)
- C 24 Bond for the public improvements must be posted prior to release of the site plan. (T&E
- C 25 Plans and profiles of utilities and roads in public easements and/or public Right of must be approved prior to release of the plan. (T&ES) \*
- C 26 Provide a phased erosion and sediment control plan consistent with grading construction plan. (T&ES)
- C 27 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regard a requirement that applicants provide as-built sewer data as part of the final as-t process. Upon consultation with engineering firms, it has been determined that initial survey work and plans will need to be prepared using Virginia State Plane (North Zo coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were u to establish these coordinates should be referenced on the plans. To ensure that requirement is achieved, the applicant is requested to prepare plans in this format include initial site survey work if necessary. (T&ES)



THIS DRAWING IS A SERVICE DOCUMENT OF REPRODUCED WITHOUT THE WRITTEN PERMISSIO EXISTING UTILITIES SHOWN ON THIS PLAN TAKE FOR EXACT LOCATIONS OF EXISTING UNDERGRONN HOURS BEFORE THE START OF ANY EXCAVATION LOCATION AND DEPTH OF ALL EXISTING UNDE ALL CONSTRUCTION SHALL CONFORM TO TH

XIII, water on in water et. If n the ws in	C - 28	The thickness of sub-base, base, and wearing Method" as set forth on page 3-76 of the second Civil Engineers, Volume One, Design" written Bearing Ratios used in the design shall be deter alternate pavement section for Emergency V loading designed using California Bearing Rat investigation and using Virginia Department of Method) and standard material specifications de Transportation and Environmental Services (Te	d edition of a book entitled, "Data Book for by Elwyn E. Seelye. Values of California rmined by field and/or laboratory tests. An ehicle Easements (EVE) to support H-20 io (CBR) determined through geotechnical f Transportation (VDOT) method (Vaswani esigned to the satisfaction of the Director of	Image: Second condition       PLANNING         www.rcfassoc.com       PLANNING
quire flow ed by storm lyses		All pedestrian, traffic, and way finding signag Manual of Uniform Traffic Control Devices (M the Director of T&ES. (T&ES)	IUTCD), latest edition to the satisfaction of	D SURVEYING Suite 220
oriate th in	C - 30	No overhangs (decks, bays, columns, post or o Right of Ways, public easements, and pedestria permitted by the City Code. (T&ES)		LAND Street, Su
City	C - 31	All driveway entrances, curbing, etc. in the p meet City design standards. (T&ES)	ublic ROW or abutting public ROW shall	
Code, o the		All sanitary laterals and/or sewers not show maintained privately. (T&ES)		ENGINEERING • Virginia
main ed by 2 and	C - 33	The applicant shall comply with the City of A Chapter 5, which sets the maximum permissib line. (T&ES)	[ 방방 · · · · · · · · · · · · · · · · · ·	ENGINE 700 S.
ndria s and lities v the ction r the e, all ains, ch as olice vs, or rface cept nt of o the le on all be er the 5-1- vaste efuse ction ide a ce of iicles erials pace ental ucks s are Solid .gov.	C - 35 C - 36 PWS 0 AlexR VAW No con Fire D No con Fire D No con R - 1. R - 2. R - 3.	All construction activities must comply with th Chapter 5, Section 11-5-4(b)(15), which perm the following hours: a. Monday Through Friday from 7 AM To 6 1 b. Saturdays from 9 AM to 6 PM. c. No construction activities are permitted on Section 11-5-4(b)(19) further restricts the F d. Monday Through Friday from 9 AM To 6 1 e. Saturdays from 10 AM To 4 PM f. No pile driving is permitted on Sundays an Section 11-5-109 restricts work in the right g. Monday through Saturday 7 AM to 5 pm h. No excavation in the right of way is permit The applicant shall comply with the Article Ordinance, which includes requirements for sto of the Alexandria Water Quality Volume Defi (T&ES) The applicant shall comply with the City of <i>J</i> Code, Section 5, Chapter 4. (T&ES) <b>Comments</b> No comments. <b>Enew Comments</b> No comments. <b>Comments</b> ments received. <b>Pepartment</b> It is recommended that the buildings have an at to the background, at least 3 inches high, refle the front and back of each home. It is strong numbers are used. This aids in a timely respondenced to the background, at least 3 inches high, reflet the front and back of each home. It is strong numbers are used. This aids in a timely respondenced the is recommended that all the ground floor le hardware that allows windows to be secured in a "breaking and entering" when the windows a It is recommended that a "door-viewer" (comm all doors on the ground level that lead directly of the occupant. <b>Sks denote the following:</b> <b>Condition must be fulfilled prior to release of t</b> Condition must be fulfilled prior to release of t Condition must be fulfilled prior to release of t	its construction activities to occur between PM and Sundays and holidays. Pile Driving to the following hours: PM and d holidays. of way for excavation to the following: ted on Sundays. (T&ES) e XIII of the City of Alexandria Zoning rmwater pollutant load reduction, treatment ault and stormwater quantity management. Alexandria, Erosion and Sediment Control differs number which is contrasting in color ctive, and visible from the street placed on ly suggested that no brass or gold colored nse from emergency personnel should they vel windows be equipped with a device or a partially open position. This is to negate re open for air. nonly known as a peep-hole) be installed on into an apartment. This is for the security he Final Site Plan he building permit he certificate of occupancy	CITY OF ALEXANDRIA UNCENT W. WCHATE PROPAGATION CITY OF ALEXANDRIA DEVELOPMENT 012, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA CITY OF ALEXANDRIA, VIRGINIA
ES)* Way	***	Condition must be fulfilled prior to release of t Condition must be fulfilled prior to release of t		DATE REVISION
and				
rding				
built l site Cone)				
used this				DESIGN: VMM
ıding			APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING	CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021
			DIRECTOR DATE DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	- CONDITIONS
on of the En from	e engineer Available	SSOCIATES, INC. AND MAY NOT BE USED OR AND/OR LAND SURVEYOR. RECORDS AND/OR FROM FIELD OBSERVATIONS.	SITE PLAN NO	
N OR CO	NSTRUCTION		CHAIRMAN, PLANNING COMMISSION DATE	
OF SAME	WILL NOT	TO BE VERIFIED BY CONTRACTOR PRIOR TO BE THE RESPONSIBILITY OF THIS OFFICE. ARDS AND SPECIFICATIONS OF THE CITY OF	DATE RECORDED	SHEET 5 OF 29
		© 2021 R.C. FIELDS & ASSOCIATES, INC.	INSTRUMENT NO. DEED BOOK NO. DATE	— II FILE: 19—153

### CONSTRUCTION NOTES:

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- 4. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION WALK/SURVEY OF THE SITE WITH T&ES CONSTRUCTION MANAGEMENT AND INSPECTION STAFF TO DOCUMENT EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR ENSURING THAT APPROPRIATE EXISTING UTILITIES ARE DISCONNECTED.
- 6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER
- ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS. SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
- 8. EXISTING SEPTIC FIELDS, IF APPLICABLE, SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
- 9. ALL ABOVE GROUND UTILITIES SERVING THE SITE SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
- 10. PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSIONS. DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
- 11. THE CONTRACTOR IS TO VERIFY INVERT, SIZE, AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
- 12. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONSTRUCTION.
- 13. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- 14. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- 15. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS, IF REQUIRED, SHALL BE MADE IN THE FIELD WITH THE APPROVAL OF SITE INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- 16. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
- 17. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
- 18. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL, AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING. BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION. WATERPROOFING FOR FILL AGAINST BUILDINGS, LOCATION OF MECHANICAL EQUIPMENT, AND CONNECTIONS AT THE FACES OF BUILDINGS.
- 19. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR PONDING OF WATER ON THE ROADWAY.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB AND SIDEWALKS, IF APPLICABLE.
- 21. THE CALIFORNIA BEARING RATIO (CBR) VALUES OF ON-SITE MATERIALS SHALL BE DETERMINED BY FIELD AND/OR LABORATORY TESTS FOR ACTUAL DETERMINATION OF REQUIRED THICKNESS OF SURFACE, BASE, SUB-BASE, AND SUB GRADE MATERIALS. THE PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL/LICENSED PROFESSIONAL ENGINEER TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST MEET OR EXCEED EXISTING SECTION.
- 22. THE THICKNESS OF SUB-BASE, BASE, AND WEARING COURSE SHALL BE DESIGNED USING "CALIFORNIA METHOD" AS SET FORTH ON PAGE 3-76 OF THE SECOND EDITION OF A BOOK ENTITLED, "DATA BOOK FOR CIVIL ENGINEERS, VOLUME ONE, DESIGN" WRITTEN BY ELWYN E. SEELYE. AN ALTERNATE PAVEMENT SECTION DESIGNED TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING BASED ON CBR AND VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) METHOD (VASWANI METHOD) AND STANDARD MATERIAL SPECIFICATIONS SHALL BE ACCEPTABLE.
- 23. AMERICAN WITH DISABILITY (ADA) ACCESSIBLE PARKING SPACES MUST BE DELINEATED WITH PAVEMENT MARKINGS PER THE CITY OF ALEXANDRIA STANDARD SIGNAGE AND AMERICAN WITH DISABILITIES (ADA) REQUIREMENTS.
- 24. ALL EARTHWORK OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
- 25. THE CONTRACTORS SHALL NOT CAUSE OR PERMIT VEHICLES TO IDLE FOR MORE THAN 10 MINUTES WHEN PARKED.
- 26. A TEMPORARY CONSTRUCTION TRAILER WILL BE PERMITTED (IF NECESSARY) AND SUBJECT TO APPROVAL OF THE DIRECTOR OF P&Z. THE TRAILER SHALL BE REMOVED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 27. PROVISIONS SHALL BE MADE TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATION ON THE PREMISES OR ADJOINING PROPERTY.
- 28. THE TEMPORARY USE OF STREETS OR PUBLIC PROPERTY FOR THE STORAGE OR HANDLING OF MATERIALS OR OF EQUIPMENT REQUIRED FOR CONSTRUCTION OR DEMOLITION. AND THE PROTECTION PROVIDED TO THE PUBLIC SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE GOVERNING AUTHORITY AND THE BUILDING CODE.
- 29. CONSTRUCTION MATERIALS AND EQUIPMENT SHALL NOT BE PLACED OR STORED SO AS TO OBSTRUCT ACCESS TO FIRE HYDRANTS. STANDPIPES. FIRE OR POLICE ALARM BOXES. CATCH BASINS OR MANHOLES. NOR SHALL SUCH MATERIALS OR EQUIPMENT BE LOCATED WITHIN 20 FEET OF A STREET INTERSECTION. OR PLACED TO OBSTRUCT NORMAL OBSERVATIONS OF TRAFFIC SIGNALS OR TO HINDER THE USE OF PUBLIC TRANSIT LOADING PLATFORMS.
- 30. A SECURITY SURVEY IS TO BE COMPLETED FOR ANY SALES OR CONSTRUCTION TRAILERS THAT ARE PLACED ON THE SITE. THIS IS TO BE COMPLETED AS SOON AS THE TRAILERS ARE PLACED ON SITE BY CALLING THE COMMUNITY RELATIONS UNIT AT 703-746-1920.

### UTILITY NOTES:

ALL NEW INSTALLATIONS AND/OR REINSTALLATIONS OF UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES INCLUDING WATER AND SEWER LATERALS BOTH ON PRIVATE PROPERTY AND IN THE PUBLIC RIGHT OF WAY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH 3" AND 6" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPES (DUWT). THE 3" DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" AND 6" WIDE AT A DEPTH OF 24" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES, SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOILS SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS. THE FOLLOWING ARE THE APWA COLOR CODES:

## COLOR

RED	CAUTION BL	IRIED ELECT
YELLOW	CAUTION GA	S, OIL, STE/
ORANGE	CAUTION CC	MMUNICATIO
BLUE	CAUTION PC	TABLE WATE
PURPLE	CAUTION RE	CLAIMED WA
GREEN	CAUTION SE	WER, DRAIN

### GENERAL NOTES:

- 1. TAX MAP: #074.01-06-(02, 03, & 04)
- ZONE: KR
- CITY OF ALEXANDRIA OWNER: P.O. BOX 178
- ALEXANDRIA, VA 22313 DB. 481 PG. 94, 135, & 236
- TOTAL PARCEL AREA
- 5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 6. TOPOGRAPHIC SURVEY FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #642, ELEVATION = 33.53 FEET. HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983 PER THE FOLLOWING MONUMENTS:
- 37. IF THERE ARE OUTSTANDING PERFORMANCE, COMPLETION OR OTHER BONDS FOR THE BENEFIT OF THE CIT EFFECT FOR THE PROPERTY AT SUCH TIME AS IT MAY BE CONVEYED OR SOLD TO A PARTY OTHER THAN APPLICANT. A SUBSTITUTE BOND MUST BE PROVIDED BY THAT PARTY OR. IN THE ALTERNATIVE, AN ASSIGNMEN THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE OTHER DOCUMENTATION FROM THE BONDING COMPANY INDICATING THAT THE EXISTING BOND REMAINS IN EF KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. THIS SITE DOES NOT DESPITE THE CHANGE IN OWNERSHIP MAY BE PROVIDED. THE BOND(S) SHALL BE MAINTAINED UNTIL SUCH TIME CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS. A SOILS REPORT WILL BE PROVIDED WITH THE BUILDING ALL REQUIREMENTS ARE MET AND THE BOND(S) RELEASED BY THE CITY. PERMIT.
- 38. BOND FOR PUBLIC IMPROVEMENTS MUST BE POSTED PRIOR TO RELEASE OF THIS SITE PLAN. 8. THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES. STREAMS. OR WETLANDS. LOCATED 39. ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTE ON THE SITE, FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT, ADDITIONALLY AGENCY, ARMY CORPS OF ENGINEERS, AND/OR VIRGINIA MARINE RESOURCES SHALL BE IN PLACE FOR ALL PRO THERE ARE NO KNOWN UNDERGROUND STORAGE TANK ON THIS SITE. A PHASE I ENVIRONMENTAL SITE ASSESSMENT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN. THIS INCLUDES THE REPORT WAS PERFORMED BY GEOTECHNICAL CONSULTING & TESTING, INC. (GC&T). HISTORIC DRY CLEANERS REQUIREMENT FOR A STATE GENERAL VPDES PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRU ADJACENT TO THE SITE WERE OBSERVED DURING DATABASE REPORT REVIEW AND NOTED AS A RECOGNIZED ACTIVITIES (GENERAL PERMIT) AND ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR ENVIRONMENTAL CONDITION (REC). A PHASE II ENVIRONMENTAL SITE ASSESSMENT REPORT WAS PERFORMED BY DISTURBING ACTIVITIES EQUAL TO A GREATER THAN ONE (1) ACRE. SEE MEMO TO INDUSTRY 08-14 WHICH CAN TERRACON TO DETERMINE THE EXTENT OF THE CONTAMINATION. BASED ON THE RESULTS, NO FURTHER INVESTIGATION FOUND ON-LINE HERE: HTTP://ALEXANDRIAVA.GOV/TES/INFO/DEFAULT.ASPX?ID=3522. IS RECOMMENDED. CONTAMINATED SOILS. CONTAMINATED MATERIALS, UNDERGROUND STORAGE TANKS, COMBUSTIBLE GASES, LANDFILLS, DUMPS OR DISPOSAL AREAS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED OR TREATED IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL EPA STANDARDS. 40. THE APPLICANTS SHALL SUBMIT A RECYCLING IMPLEMENTATION PLAN (RIP) FORM TO THE RESOURCE RECO
- DIVISION, AS OUTLINED IN ARTICLE H OF TITLE 5 (ORDINANCE NUMBER 4438), WHICH REQUIRES ALL COMMEN 9. STORMWATER MANAGEMENT SHALL BE PROVIDED TO COMPLY WITH ARTICLE XIII OF THE ZONING ORDINANCE AND TO PROPERTIES TO RECYCLE. INSTRUCTIONS FOR HOW TO OBTAIN A RIP FORM CAN BE FOUND AT: THE SATISFACTION OF THE DIRECTOR OF T&ES. ALEXANDRIAVA.GOV/RESOURCERECOVERY OR BY CALLING THE RESOURCE RECOVERY DIVISION AT (703)746-441 BY E-MAILING COMMERCIALRECYCLING@ALEXANDRIAVA.GOV.
- 10. EXISTING UTILITIES SHOWN ARE TAKEN FROM AVAILABLE RECORD AND/OR FIELD OBSERVATIONS. LOCATION AND DEPTH OF ALL EXISTING UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. FOR EXACT LOCATIONS OF 41. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT EXISTING UTILITIES CONTACT "MISS UTILITY" AT 1-800-552-7001 AT LEAST 72 HOURS BEFORE THE START OF ANY SHALL BE SUBMITTED TO THE DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE THE STEPS THAT WILL TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY EXCAVATIONS OR CONSTRUCTION. INTERFERENCE OR DISRUPTION OF UTILITY SERVICE WILL NOT BE THE RESPONSIBILITY OF RC FIELDS & ASSOCIATES, INC. SFWFRS
- 11. TITLE REPORT FURNISHED BY INDEPENDENCE TITLE, CLIENT/CASE # MONUMENT, EFFECTIVE DATE AUGUST 42. ALL BRICK SIDEWALKS AND SPECIALTY PAVING SHALL COMPLY WITH THE CITY'S MEMOS TO INDUSTRY 05-08 9. 2018 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR AND ENGINEER. 01—13. SIDEWALKS SHALL BE FLUSH ACROSS ALL DRIVEWAY CROSSINGS. BRICK AND CONCRETE HYBRID SIL SHALL COMPLY WITH THE CITY'S MEMO TO INDUSTRY NO. 2019-03.
- 12. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA. 43. AS-BUILT DOCUMENTS FOR ALL LANDSCAPE AND IRRIGATION INSTALLATIONS ARE REQUIRED TO THE VIRGINIA AMERICAN WATER COMPANY, AND THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC). SUBMITTED WITH THE SITE AS-BUILT AND REQUEST FOR PERFORMANCE BOND RELEASE. REFER TO CITY ALEXANDRIA LANDSCAPE GUIDELINES, SECTION III A & B. 13. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND. ALL BELOW GRADE UTILITIES ARE DESIGNED TO MINIMIZE VISIBLE
- IMPACTS.
- 44. THE LANDSCAPE ELEMENTS OF THIS DEVELOPMENT SHALL BE SUBJECT TO THE PERFORMANCE MAINTENANCE BONDS, BASED ON CRITERIA ESTABLISHED BY THE CITY AND AVAILABLE THROUGH 14. ALL PRIVATE STREETS AND ALLEYS SHALL COMPLY WITH THE CITY'S MINIMUM STANDARDS FOR PRIVATE STREETS AND RELEASE OF PERFORMANCE AND MAINTENANCE BONDS ARE SUBJECT TO INSPECTIONS BY CITY STAFF PER CITY ALLEYS, IF APPLICABLE. REQUIREMENTS. A FINAL INSPECTION FOR LANDSCAPING IS ALSO REQUIRED THREE YEARS AFTER COMPLETION.
- 15. APPLICANT SHALL COMPLY WITH THE CITY OF ALEXANDRIA, EROSION AND SEDIMENT CONTROL CODE, SECTION 5, 45. THE SEWER CONNECTION FEE MUST BE PAID PRIOR TO RELEASE OF THE SITE PLAN. CHAPTER 4.
- 46. ANY PLATS SHALL BE RECORDED AND A COPY OF THE RECORDED PLAT, DEDICATIONS AND DEEDS SHALL 16. NO UTILITIES MAY BE INSTALLED OUTSIDE THE APPROVED LIMITS OF CLEARING, OR WITHIN TREE PROTECTION ZONES. SUBMITTED WITH THE FIRST REQUEST FOR A BUILDING PERMIT. 17. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED BY THE APPLICANT PRIOR TO ANY OCCUPANCY OF THE BUILDING
- OR PORTION THEREOF. IN ACCORDANCE WITH USBC #118.0.
- 18. COMBINED STORM SEWER SYSTEM.
- 19. ALL IMPROVEMENTS TO THE CITY RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., MUST BE DESIGNED AND CONSTRUCTED AS PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- 21. ALL IMPROVEMENTS TO THE CITY'S INFRASTRUCTURE SHALL BE DESIGNED AND CONSTRUCTED AS PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- 22. THE APPLICANT OR SITE CONTRACTOR SHALL DESIGNATE A COMMUNITY LIAISON PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES. THE COMMUNITY LIAISON SHALL BE THE MAIN CONTACT FOR CITY STAFF AND ADJACENT OWNERS.
- 23. APPLICANT SHALL COMPLY WITH THE CITY OF ALEXANDRIA'S NOISE CONTROL CODE, TITLE 11, CHAPTER 5, WHICH SETS THE MAXIMUM PERMISSIBLE NOISE LEVEL AS MEASURED AT THE PROPERTY LINE.
- ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE PROJECT GEOTECHNICAL CONSU 24. A TEMPORARY INFORMATIONAL SIGN SHALL BE INSTALLED ON THE SITE PRIOR TO THE APPROVAL OF THE FINAL SITE PRIOR TO PLACEMENT AND COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH PLAN FOR THE PROJECT AND SHALL BE DISPLAYED UNTIL CONSTRUCTION IS COMPLETE OR REPLACED WITH A GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE. MARKETING SIGN INCORPORATING THE REQUIRED INFORMATION: THE SIGN SHALL NOTIFY THE PUBLIC OF THE NATURE OF THE UPCOMING PROJECT AND SHALL PROVIDE A PHONE NUMBER FOR PUBLIC QUESTIONS REGARDING THE PROJECT.
- DURING THE CONSTRUCTION PHASE OF THIS DEVELOPMENT. THE SITE DEVELOPER. THEIR CONTRACTOR. CERTIFIED LAND 25. DISTURBER, OR OWNER'S OTHER AGENT SHALL IMPLEMENT A WASTE AND REFUSE CONTROL PROGRAM. THIS PROGRAM SHALL CONTROL WASTES SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER OR TRASH, TRASH GENERATED BY CONSTRUCTION WORKERS OR MOBILE FOOD VENDOR BUSINESS SERVING THEM, AND ALL SANITARY WASTE AT THE CONSTRUCTION SITE AND PREVENT OFFSITE MIGRATION THAT MAY CAUSE ADVERSE IMPACTS TO NEIGHBOR'S PROPERTIES OR TO THE ENVIRONMENT TO THE SATISFACTION OF DIRECTORS OF T&ES AND CODE ADMINISTRATION. ALL WASTE SHALL BE PROPERLY DISPOSED OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.
- 26. THE STORMWATER COLLECTION SYSTEM IS LOCATED WITHIN A COMBINED SEWER SHED. ALL PUBLIC CURB INLETS WITHIN 50 FEET OF THE PROPERTY LINE SHALL BE DULY MARKED USING STANDARD CITY MARKS, OR TO THE SATISFACTION OF THE DIRECTOR OF T&ES. SEE DETAIL WITHIN PLAN SET.
- 27. THE APPLICANT SHALL WORK WITH THE CITY FOR RECYCLING AND/OR REUSE OF THE EXISTING BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS, INCLUDING LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS.
- 28. THE DEVELOPMENT SITE PLAN SHALL EXPIRE AND BECOME NULL AND VOID, UNLESS SUBSTANTIAL CONSTRUCTION OF THE PROJECT IS COMMENCED WITHIN 36 MONTHS AFTER INITIAL APPROVAL AND SUCH CONSTRUCTION IS THEREAFTER PURSUED WITH DUE DILIGENCE. THE APPLICANT SHALL PROVIDE A WRITTEN STATUS REPORT TO STAFF 18 MONTHS AFTER INITIAL APPROVAL TO UPDATE THE CITY COUNCIL ON THE PROJECT STATUS.

#### CODES

FRIC POWER LINES, CABLES, CONDUITS AND LIGHTING CABLES. AM, PETROLEUM OR GASEOUS MATERIALS. NS, ALARM OR SIGNAL LINES, CABLE OR CONDUITS.

ATER, IRRIGATION AND SLURRY LINES. INS LINES AND FORCE MAIN.

- = 9,958 SF OR 0.2286 AC

- ALL DOWNSPOUTS, FOUNDATION DRAINS AND SUMP PUMP DISCHARGES SHALL BE CONNECTED TO THE CLOSED
- 20. ALL PEDESTRIAN IMPROVEMENTS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

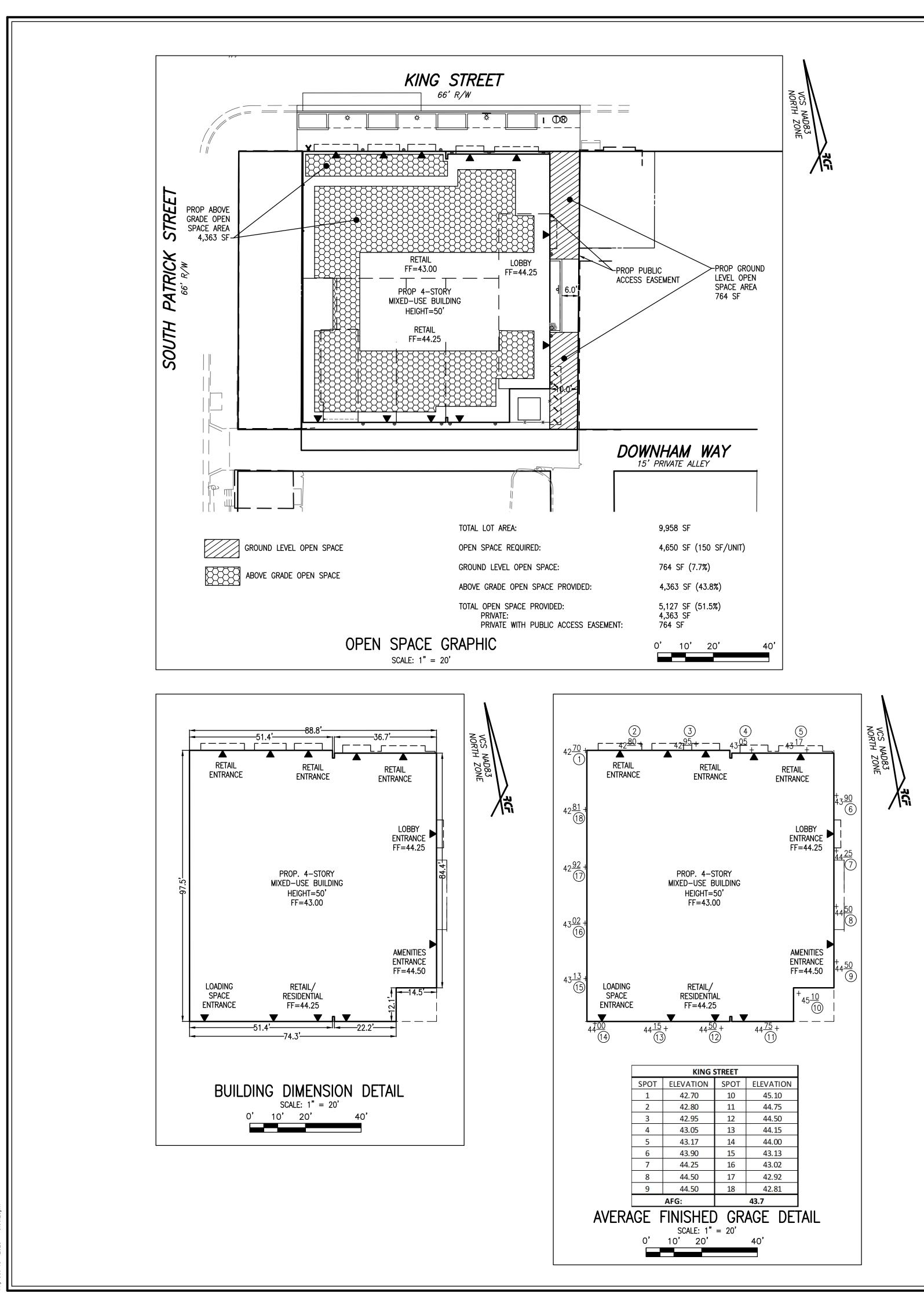
- 29. THE SIDEWALKS SHALL REMAIN OPEN DURING CONSTRUCTION OR PEDESTRIAN ACCESS SHALL BE MAINTAINED T SATISFACTION OF THE DIRECTOR OF T&ES THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- 30. IF THE CITY'S EXISTING PUBLIC INFRASTRUCTURE IS DAMAGED DURING CONSTRUCTION, OR PATCH WORK REQU FOR UTILITY INSTALLATION THEN THE APPLICANT SHALL BE RESPONSIBLE FOR CONSTRUCTION/INSTALLATION OR RE OF THE SAME AS PER CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS, AND TO THE SATISFACTION OF DIRE T&ES.
- 31. DELIVERIES, LOADING AND UNLOADING ACTIVITIES SHALL NOT OCCUR BETWEEN THE HOURS OF 11:00 PM. AND
- 32. SUBMIT A WALL CHECK PRIOR TO THE COMMENCEMENT OF FRAMING FOR THE BUILDING(S). THE WALL CHECK INCLUDE THE BUILDING FOOTPRINT, AS DEPICTED IN THE APPROVED FINAL SITE PLAN, THE TOP-OF-SLAB ELEV/ AND THE FIRST FLOOR ELEVATION. THE WALL CHECK SHALL BE PREPARED AND SEALED BY A REGISTERED ENGI OR SURVEYOR, AND SHALL BE APPROVED BY THE P&Z PRIOR TO COMMENCEMENT OF FRAMING.
- 33. SUBMIT A HEIGHT CERTIFICATION AND A LOCATION SURVEY FOR ALL SITE IMPROVEMENTS TO THE DEPARTMENT OF AS PART OF THE REQUEST FOR A CERTIFICATE OF OCCUPANCY PERMIT. THE HEIGHT CERTIFICATION AND THE LOCA SURVEY SHALL BE PREPARED AND SEALED BY A REGISTERED ARCHITECT. ENGINEER. OR SURVEYOR. THE HE CERTIFICATION SHALL STATE THAT THE HEIGHT AS CALCULATED BASED ON ALL APPLICABLE PROVISIONS OF ZONING ORDINANCE.
- 34. THE APPLICANT SHALL BE RESPONSIBLE TO DELIVER THE SOLID WASTE, AS DEFINED BY THE CITY CHARTER AND OF THE CITY OF ALEXANDRIA, TO THE ALEXANDRIA/ARLINGTON WASTE-TO-ENERGY FACILITY AT COVANTA EN WASTE FACILITY LOCATED AT 5301 EISENHOWER AVENUE. THE DEVELOPER FURTHER AGREES TO STIPULATE IN FUTURE LEASE OR PROPERTY SALES AGREEMENT THAT ALL TENANTS AND/OR PROPERTY OWNERS SHALL COMPLY WITH THIS REQUIREMENT.
- 35. IF THE PLAN IS FOUND TO BE VIOLATED DURING THE COURSE OF CONSTRUCTION, A CORRECTION NOTICE WIL ISSUED TO THE DEVELOPER. IF THE VIOLATION IS NOT CORRECTED WITHIN FIVE (5) BUSINESS DAYS, A "STOP ORDER" WILL BE ISSUED, WITH CONSTRUCTION HALTED UNTIL THE VIOLATION HAS BEEN CORRECTED.
- 36. SUBMIT AN AS-BUILT DEVELOPMENT SITE PLAN SURVEY, PURSUANT TO THE REQUIREMENTS OUTLINED IN THE AS-BUILT SUBMISSION FOR OCCUPANCY PORTION OF THE AS-BUILT DEVELOPMENT SITE PLAN SURVEY CHECKLIS THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES SITE PLAN COORDINATOR PRIOR TO REQUES A CERTIFICATE OF OCCUPANCY PERMIT. THE AS-BUILT DEVELOPMENT SITE PLAN SURVEY SHALL BE PREPARED SEALED BY A REGISTERED ARCHITECT, ENGINEER, OR SURVEYOR, INCLUDED SHALL BE A NOTE WHICH STATES THE HEIGHT WAS CALCULATED BASED ON ALL APPLICABLE PROVISIONS OF THE ZONING ORDINANCE.

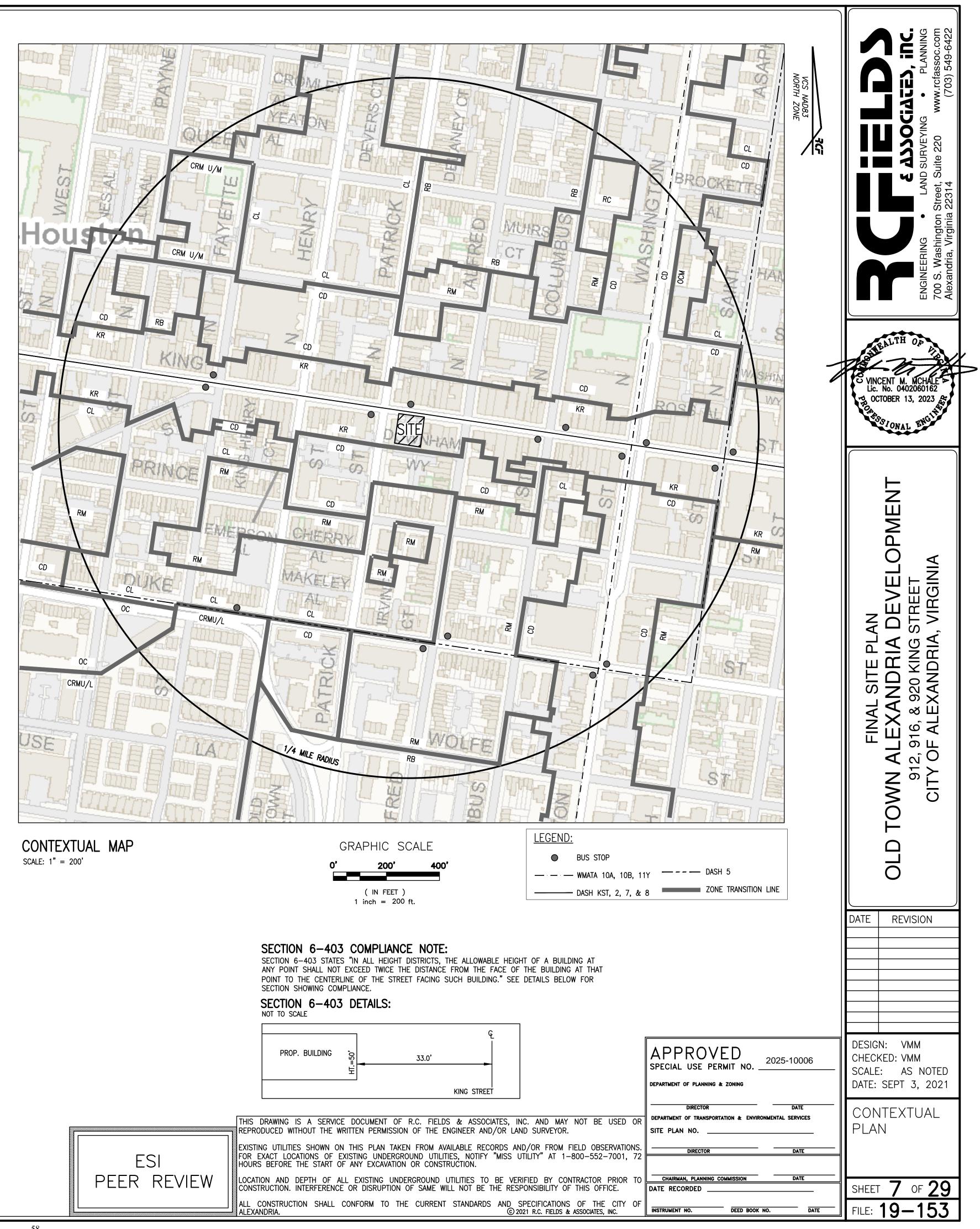
- 47. NO PERMITS SHALL BE ISSUED PRIOR TO RELEASE OF THE CERTIFICATE OF APPROPRIATENESS FROM THE BOARI ARCHITECTURE REVIEW.
- **GRADING NOTES TO CONTRACTOR:** 1. SITE WORK CONTRACTOR TO FIELD CHECK FINAL GRADING TO ENSURE THE DEVELOPMENT IS GRADED IN ACCORE WITH THE APPROVED SITE DEVELOPMENT/GRADING PLAN.
- 2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER. IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGE FACILITIES.
- 3. A SMOOTH GRADE SHALL BE MAINTAINED ACROSS ALL PAVEMENT SURFACES TO PRECLUDE THE FORMING OF GUTTERS AND / OR THE PONDING OF ANY WATER IN THE ROADWAY. FINISHED PAVING SURFACES SHALL BE WITH ABUTTING SURFACES AT THE SAME ELEVATION (i.e. GUTTERS, SIDEWALKS, APRONS, ETC.).
- 4. THE SUB-BASE OF ALL PARKING AREAS AND TRAVEL LANES ON SITE SHALL BE PROOF ROLLED PRIOR T PLACEMENT OF ANY PAVING MATERIALS TO IDENTIFY ANY AREAS OF INADEQUATE OR STRUCTURALLY UNSATISFAC MATERIAL THAT MUST BE UNDERCUT.



THIS DRAWING IS A SERVICE DOCUMENT OF REPRODUCED WITHOUT THE WRITTEN PERMISSION EXISTING UTILITIES SHOWN ON THIS PLAN TAKI FOR EXACT LOCATIONS OF EXISTING UNDERGE HOURS BEFORE THE START OF ANY EXCAVATION LOCATION AND DEPTH OF ALL EXISTING UNDI CONSTRUCTION. INTERFERENCE OR DISRUPTION ALL CONSTRUCTION SHALL CONFORM TO TH

<ul> <li>D THE DEMOLITION NOTES: <ol> <li>A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWE AND SEDIMENT AND TREE PROTECTION CONTROLS ARE SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TREEPAIR</li> <li>ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT N (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIOI COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS SAFETY AND HEATH (NIOSH).</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED</li> <li>THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE COMPANIES AND FOR THE IMPLEMENTATION AND/OR DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND TO BE TAKEN.</li> <li>DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING L SHALL BE DISCONTINUED AND CAPPED PER APPROVED FOR COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL AND THE REQUIREMENTS OF UTILITY PURVEYORS, PAYMENTED AND THE REQUIREMENTS OF UTILITY PURVEYORS, PAYMENTED AND THE REQUIREMENTS.</li> <li>PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPRICATIONS AS TO THE APP</li></ol></li></ul>	IN PLACE AND ARE APPROVED BY AN EROSION AND TRANSPORTATION AND ENVIRONMENTAL SERVICES. WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY N (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL OORDINATION OF WORK WITH REPRESENTATIVE UTILITY UTILITY-RELATED WORK. WINER'S REPRESENTATIVE UPON ENCOUNTERING ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) THILITIES TO BE ABANDONED OR DEMOLISHED BUILDINGS RULES AND USBC 3303.6. DISCONNECTIONS SHALL BE COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, IURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE ENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S ROPRIATE ACTION(S) TO BE TAKEN.	Figure 1       Figure 1         Figure 1       Figure 1         Figure 1       Figure 1         Figure 1       Figure 1         Figure 2       Figure 2         Figure 2       Www.rcfassoc.com         Too S. Washington Street, Suite 220       Www.rcfassoc.com         Alexandria, Virginia 22314       Figure 2
I THE REPRESENTATIVE. IT OR FFECT 9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THAT OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EX	EMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES ACILITIES ENCOUNTERED DURING DEMOLITION AND/OR SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES	VINCENT M. MCHALE
NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATI ACTION(S) TO BE TAKEN. COTION OUECT STATE CONSTRUCTION DEBRS MUST BE REMOVED TO AN / ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL A CONSTRUCTION DEBRS MUST BE REMOVED TO AN / ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL A ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL A ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL A 11. ALL STRUCTURES UNDER CONSTRUCTION, ALTERATION OR ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORD/ DVERY 12. OPENINGS IN EXTERIOR WALLS ARE NOT ALLOWED WHEN L ENVIRONMENTAL SITE ASSESSMENT STATEM THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY HICHLY ERODIBLE/PERWEABLE SOILS OR BUFFER AREAS ASSOC ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS RED THERE ARE NO KNOWN UNDERGROUND STORAGE TANN ON TH REPORT WAS PERFORMED BY GEOTECHICAL CONSULTING & TH CONDITION (RCC). A PHASE II ENVIRONMENTAL SITE ASSES DETERMINE THE EXTENT OF THE CONTAMINATION BASED ECCOMMENDEL CONTAMINATED SOILS, CONTAMINATED MATEF GASES, LANDFILLS, DUMPS OR DISPOSAL AREAS ENCOUNTER TREATED IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FED SATERY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRI BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS ( THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORT/ ENVIRONMENTAL ULLE HANDLED IN ACCORDANCE WITH FE ALL WELLS TO BE DEMOLISHED ON THIS PROJUCT, INCLUDING WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIN AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT / ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING SATURDAYS FROM 9 AM TO 6 PM AND SATURDAYS FROM 9 AM TO 6 PM AND SATURDAYS FROM 10 TO 4 PM. NO ONDAY THROUGH FRIDAY FROM 7 AM TO 5 PM. NO PILE DRIVING ACTIVITIE	VE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE HE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, IS PART OF THE DEMOLITION PROCESS OR THE APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN CT. DEMOLITION SHALL BE PROVIDED WITH NO LESS THAN ANCE WITH THE BUILDING CODE. LESS THAN 3 FEET FROM PROPERTY LINE. ESS THAN 3 FEET FROM PROPERTY LINE. STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, GATED WITH SHORES, STREAMS, OR WETLANDS, LOCATED QUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY IS SITE. A PHASE I ENVIRONMENTAL SITE ASSESSMENT ISTING, INC (GC&T). HISTORIC DRY CLEANERS ADJACENT EVIEW AND NOTED AS A RECOGNIZED ENVIRONMENTAL SSMENT REPORT WAS PERFORMED BY TERRACON TO ON THE RESULTS, NO FURTHER INVESTIGATION IS RALS, UNDERGROUND STORAGE TANKS, COMBUSTIBLE RED DURING CONSTRUCTION SHALL BE REMOVED OR DERAL EPA STANDARDS. ATION AND ENVIRONMENTAL SERVICES, OFFICE OF DR UNANTICIPATED CONTAMINATION OR UNDERGROUND A THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC A FIRE DEPARTMENT MUST BE CLOSED IN ACCORDANCE REMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AT 703–746–4400 EXT 267/255. CANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, THE FOLLOWING HOURS: YS AND HOLIDAYS. S AND HOLIDAYS.	FINAL SITE PLAN         OLD TOWN ALEXANDRIA DEVELOPMENT         912, 916, & 920 KING STREET         CITY OF ALEXANDRIA, VIRGINIA
CONTAMINATION NOTE: SHOULD ANY UNANTICIPATED CONTAMINATION, UNDERGROU O THE ENCOUNTERED AT THE SITE DURING CONSTRUCTION, THE ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONM SHOULD UNANTICIPATED CONDITIONS WARRANT, CONSTRUCTION THE APPROPRIATE ENVIRONMENTAL REPORTS IDENTIFIED IN G APPROVED AT THE DISCRETION OF THE DIRECTOR OF TRANSP 1 THE T.R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR DN OF THE ENGINEER AND/OR LAND SURVEYOR. TEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS ROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1–800–552–7001, 72 N OR CONSTRUCTION. DERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. HE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF (© 2021 R.C. FIELDS & ASSOCIATES, INC.	APPLICANT MUST IMMEDIATELY NOTIFY THE CITY OF MENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY. WITHIN THE IMPACTED AREA SHALL BE STOPPED UNTIL A. THROUGH f. OF CONDITION 78 ARE SUBMITTED AND ORTATION AND ENVIRONMENTAL SERVICES. DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE DIRECTOR DATE	DATE REVISION





•= DEGREES '= MINUTES (OR FEET) "= SECONDS (OR INCHES) %= PERCENT #= NUMBER @= AT lbs.= POUNDS  $\Delta = \Delta RC$ AC.= ACRE ADA = AMERICANS WDISABILITIES ACT APPROX=APPROXIMAT BC=BOTTOM OF CURB BF= BASEMENT FLOOR BLDG.= BUILDING BM= BENCHMARK BOL.= BOLLARD CATV= CABLE UTILITY CL= CLASS CLEAR= CLEARANCE CLF= CHAIN LINK FENCE CMP = CORRUGATED METALPIPE C.I.= CURB INLET C.O.= CLEAN OUT CONC.= CONCRETE C&G= CURB & GUTTER DB= DEED BOOK DIP= DUCTILE IRON PIPE DOM= DOMESTIC DSP= DEVELOPMENT SITE PLAN DSUP= DEVELOPMENT SPECIAL USE PERMIT DU= DWELLING UNIT E= EAST EBOX = ELECTRICAL BOXESMT.= EASEMENT EP= EDGE OF PAVEMENT EVE= EMERGENCY VEHICLE EASEMENT EX=EXISTING FDC= FIRE DEPT. CONNECTION FF= FINISH FLOOR FH= FIRE HYDRANT FT.= FEET GL = GROUND LIGHTG/V = GAS VALVEG/M = GAS METERG.I.= GRATE INLET H.C.= HEADER CURB HDCP.= HANDICAP HDPE= HIGH DENSITY POLYETHYLENE HPS= HIGH PRESSURE SODIUM

IPF= IRON PIPE FOUND INV.= INVERT INSTR.= INSTRUMENT L= LUMENS LOC.= LOCATION LP= LIGHT POLE MAX.= MAXIMUM MH= MANHOLE MIN.= MINIMUM MPH= MILES PER HOUR MW= MONITORING WELL N= NORTH OHW= OVERHEAD WIRE PN = PANELPG= PAGE PP= PER PLAN PROP= PROPOSED PVC= POLYVINYL CHLORIDE R= RADIUS RCP= RE-ENFORCED CONCRETE PIPE RELOC. = RELOCATED RET.= RETAINING RESID.= RESIDENTIAL R/W = RIGHT - OF - WAYS= SOUTH SAN.= SANITARY SEWER S.F.= SQUARE FEET SQ.FT.= SQUARE FEET STM.= STORM SEWER STR.= STRUCTURE SUB= SUBDIVISION PLAN TBR = TO BE REMOVEDTBS = TO BE SAVEDT.M.= TAX MAP TMH= TELEPHONE MANHOLE TC = TOP OF CURBTOW = TOP OF WALLTRAF.SIG.= TRAFFIC SIGNAL TYP= TYPICAL UGE= UNDERGROUND ELECTRIC UP= UTILITY POLE VCS= VIRGINIA COORDINATE SYSTEM VPD= VEHICLES PER DAY W= WATT W= WEST W.S.E.= WATER SURFACE ELEVATION

# CIVIL LEGEND

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK	WALK	WALK
FIRE HYDRANT	-Q-	- <b>Ò</b> -
STRUCTURES		
WATER MAINS	W W W_	v
GAS MAINS	GGG	G
TELEPHONE LINES	T T T _	T
STORM SEWER	= =0= =	
SANITARY SEWER		S
PAVING		
FENCES	X	x
POWER LINES	— — E— — E— — E—	<u>——</u> Е———
SPOT ELEVATIONS	+ 124.5	+ 124 <u>5</u>
CONTOURS	— — —124 — — —	124
BUILDING ENTRANCES	$\bigtriangledown$	▼
UTILITY POLE	G	ъ
LIGHT POLE	¢	¢

WV= WATER VALVE

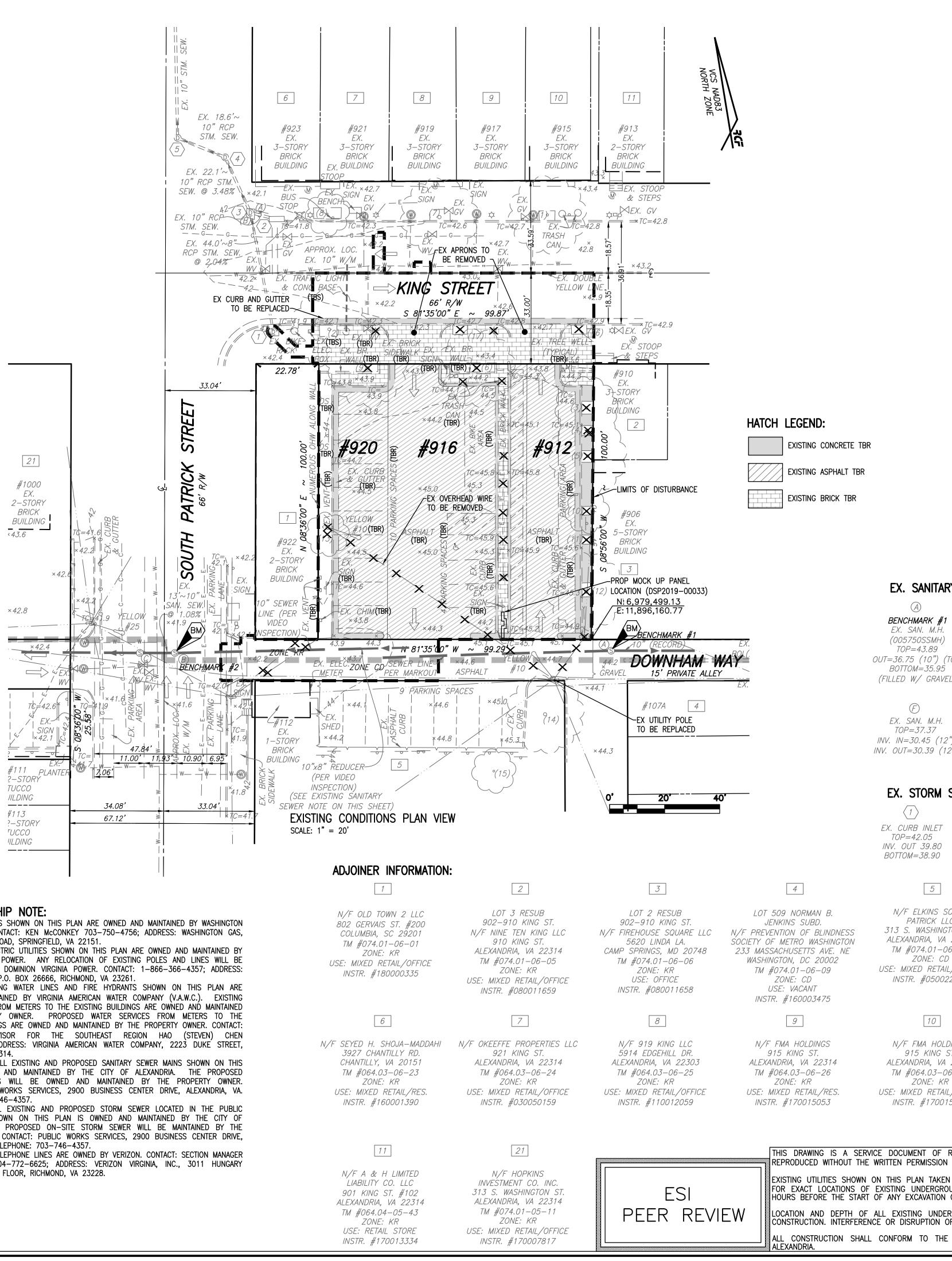
WM= WATER METER

W.W.= WINDOW WELL

# UTILITY OWNERSHIP NOTE:

• GAS: ALL GAS LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY WASHINGTON GAS COMPANY. CONTACT: KEN McCONKEY 703-750-4756; ADDRESS: WASHINGTON GAS, 6801 INDUSTRIAL ROAD, SPRINGFIELD, VA 22151.

- ELECTRIC: ALL ELECTRIC UTILITIES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER. ANY RELOCATION OF EXISTING POLES AND LINES WILL BE COORDINATED WITH DOMINION VIRGINIA POWER. CONTACT: 1-866-366-4357; ADDRESS: DOMINION POWER, P.O. BOX 26666, RICHMOND, VA 23261.
- WATER: ALL EXISTING WATER LINES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY VIRGINIA AMERICAN WATER COMPANY (V.A.W.C.). EXISTING WATER SERVICES FROM METERS TO THE EXISTING BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. PROPOSED WATER SERVICES FROM METERS TO THE PROPOSED BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: NETWORK SUPERVISOR FOR THE SOUTHEAST REGION HAO (STEVEN) CHEN 703-706-3889; ADDRESS: VIRGINIA AMERICAN WATER COMPANY, 2223 DUKE STREET, ALEXANDRIA, VA 22314.
- SANITARY SEWER: ALL EXISTING AND PROPOSED SANITARY SEWER MAINS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. THE PROPOSED SANITARY LATERALS WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357.
- STORM SEWER: ALL EXISTING AND PROPOSED STORM SEWER LOCATED IN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN IS OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. ANY PROPOSED ON-SITE STORM SEWER WILL BE MAINTAINED BY THE PROPERTY OWNER. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357.
- TELEPHONE: ALL TELEPHONE LINES ARE OWNED BY VERIZON. CONTACT: SECTION MANAGER MIKE TYSINGER 804-772-6625; ADDRESS: VERIZON VIRGINIA, INC., 3011 HUNGARY SPRING ROAD, 2ND FLOOR, RICHMOND, VA 23228.



## **GENERAL NOTES:**

- #074.01-06-(02, 03, & 04) 1. TAX MAP:
- 2. ZONE: KR CITY OF ALEXANDRIA 3. OWNER: P.O. BOX 178 ALEXANDRIA, VA 22313 DB. 481, PG. 94, 135, & 236
- 4. A TITLE REPORT WAS NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
- 5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 6. TOTAL SITE AREA = 9.958 S.F. OR 0.2286 AC.
- 7. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
- 8. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- 9. THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
- 10. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.

#### **EXISTING CONDITIONS SURVEY NOTES:**

- 1. UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. 2. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY
- CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

#### TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WIM DE SUTTER LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 28, 2019 AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

### **EXISTING STONE CURB NOTE:**

ANY STONE CURBS ALONG KING STREET OR WITHIN THE SITE SHALL BE RETAINED AND/OR BE REUSED FOR KING STREET CURBING. REUSE BRICK PAVERS IN THE RIGHT-OF-WAY TO THE EXTENT FEASIBLE.

#### EXISTING SANITARY SEWER NOTE:

THE EXISTING 10" SANITARY SEWER WITHIN DOWNHAM WAY WAS VERIFIED BY VIDEO INSPECTION UP TO A 10"X8" REDUCER WHICH PREVENTED THE CAMERA FROM CONTINUING FURTHER UP THE LINE. THEREFORE, NO PORTION OF THE EXISTING SANITARY SEWER BEYOND THE 10"X8" REDUCER IS SHOWN AS IT COULD NOT BE CONFIRMED BY A FIELD SURVEY OR VIDEO INSPECTION.

## EX. SANITARY SEWER DETAILS

B BENCHMARK #2 EX. SAN. M.H. (005863SSMH) TOP=41.86 TO EAST)INV. IN=33.31 (10") INV. OUT=33.26 (10") L)	© EX. SAN. M.H. (005864SSMH) TOP=41.77 INV. IN=33.17 (10") INV. OUT=33.12 (12")	E EX. SAN. M.H. TOP=37.11 INV. IN=29.31 (12") INV. OUT=29.26 (12")		
2") INV. IN=26.66 (15")	H EX. SAN. M.H. TOP=34.54 INV. IN=25.06 (N) (18") INV. IN=27.60 (E) (18") INV. IN=25.46 (SE) (8") INV. OUT=25.00 (36")	() EX. SAN. M.H. TOP=34.31 INV. IN=24.51 (36") INV. OUT=24.49 (36")		
SEWER DETAILS 2 EX. CURB INLET TOP=41.91 (NO ACCESS)	<ul> <li>&lt;3</li> <li>EX. CURB INLET TOP=41.85</li> <li>INV. IN=39.80 (A)</li> <li>INV. IN=38.90 (B)</li> <li>INV. OUT=38.65</li> </ul>	(4) EX. CURB INLET TOP=41.78 INV. IN=37.88 BOTTOM=35.28	<pre></pre>	
OUTH C TON ST. 22314 6–27 /OFFICE 2875			TREE TABLE         1) 10" OAK         2) 12" OAK         3) 12" PEAR         4) 10" PEAR         5) 12" PEAR         6) 14" OAK         7) 15" OAK         8) 6" OAK         9) 16" OAK         10) 7" PEAR         11) 10" STUMP         12) 15" PEAR         13) 8" DOGWOOD         14) 14" OAK         15) 8" CHERRY         16) 3" OAK         17) 4" OAK	
22314 5–27 /OFFICE 5053		APPROVE SPECIAL USE PERMIT DEPARTMENT OF PLANNING & ZON	NO	DE CH SC DA
R.C. FIELDS & ASSOCIATES, IN OF THE ENGINEER AND/OR LAN I FROM AVAILABLE RECORDS ANI UND UTILITIES, NOTIFY "MISS U	ID SURVEYOR. D/OR FROM FIELD OBSERVAT	IONS.		Ξ> C( & ⊇[
OR CONSTRUCTION. RGROUND UTILITIES TO BE VER F SAME WILL NOT BE THE RESF CURRENT STANDARDS AND S	IFIED BY CONTRACTOR PRIO PONSIBILITY OF THIS OFFICE.	R TO CHAIRMAN, PLANNING COMMIS	ISION DATE	SF



•= DEGREES '= MINUTES (OR FEET) "= SECONDS (OR INCHES) %= PERCENT #= NUMBER @= AT lbs.= POUNDS A= ARC AC.= ACREADA = AMERICANS W/DISABILITIES ACT APPROX=APPROXIMATI BC=BOTTOM OF CURB **BF= BASEMENT FLOOR** BLDG.= BUILDING BM= BENCHMARK BOL.= BOLLARD CATV= CABLE UTILITY CL = CLASSCLEAR= CLEARANCE CLF= CHAIN LINK FENCE CMP = CORRUGATED METALPIPE C.I.= CURB INLET C.O.= CLEAN OUT CONC.= CONCRETE C&G= CURB & GUTTER DB= DEED BOOK DIP= DUCTILE IRON PIPE DOM= DOMESTIC DSP= DEVELOPMENT SITE PLAN DSUP= DEVELOPMENT SPECIAL USE PERMIT DU= DWELLING UNIT E= EAST EBOX= ELECTRICAL BOX ESMT.= EASEMENT EP= EDGE OF PAVEMENT EVE= EMERGENCY VEHICLE EASEMENT EX=EXISTING FDC= FIRE DEPT. CONNECTION FF= FINISH FLOOR FH= FIRE HYDRANT FT.= FEET GL = GROUND LIGHTG/V = GAS VALVEG/M = GAS METERG.I.= GRATE INLET H.C.= HEADER CURB HDCP.= HANDICAP HDPE= HIGH DENSITY POLYETHYLENE

IPF= IRON PIPE FOUND INV.= INVERT INSTR.= INSTRUMENT L= LUMENS LOC.= LOCATION LP= LIGHT POLE MAX. = MAXIMUMMH= MANHOLE MIN. = MINIMUMMPH= MILES PER HOUR MW= MONITORING WELL N= NORTH OHW= OVERHEAD WIRE PN = PANELPG= PAGE PP= PER PLAN PROP= PROPOSED PVC= POLYVINYL CHLORIDE R = RADIUSRCP= RE-ENFORCED CONCRETE PIPE RELOC. = RELOCATED RET.= RETAINING RESID.= RESIDENTIAL R/W = RIGHT - OF - WAYS= SOUTH SAN.= SANITARY SEWER S.F.= SQUARE FEET SQ.FT.= SQUARE FEET STM.= STORM SEWER STR.= STRUCTURE SUB= SUBDIVISION PLAN TBR = TO BE REMOVEDTBS = TO BE SAVEDT.M. = TAX MAPTMH= TELEPHONE MANHOLE TC = TOP OF CURBTOW = TOP OF WALLTRAF.SIG.= TRAFFIC SIGNAL TYP= TYPICAL UGE= UNDERGROUND ELECTRIC UP= UTILITY POLE VCS= VIRGINIA COORDINATE SYSTEM VPD= VEHICLES PER DAY W= WATT W= WEST W.S.E.= WATER SURFACE ELEVATION WV= WATER VALVE WM= WATER METER W.W.= WINDOW WELL

# CIVIL LEGEND

HPS= HIGH PRESSURE SODIUM

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK	WALK	WALK
FIRE HYDRANT	-0-	<b></b>
STRUCTURES		
WATER MAINS	WWW	
GAS MAINS	— — G— — G— — G—	G
TELEPHONE LINES	T T T _	T
STORM SEWER		
SANITARY SEWER		
PAVING		
FENCES	×	x
POWER LINES	— — E— — E— — E—	Ε
SPOT ELEVATIONS	+ 124.5	+ 124 <u>5</u>
CONTOURS	<u> </u>	124
BUILDING ENTRANCES	$\bigtriangledown$	▼
UTILITY POLE	Q	ව
LIGHT POLE	¢	<b>\$</b>
LIMITS OF DISTURBANCE		

# ADJOINER INFORMATION:

1

N/F OLD TOWN 2 LLC 802 GERVAIS ST. #200 COLUMBIA, SC 29201 TM #074.01-06-01 ZONE: KR USE: MIXED RETAIL/OFFICE INSTR. #180000335

# 6

N/F SEYED H. SHOJA-MADDAHI 3927 CHANTILLY RD. CHANTILLY, VA 20151 TM #064.03-06-23 ZONE: KR USE: MIXED RETAIL/RES. INSTR. #160001390

# 11

N/F A & H LIMITED LIABILITY CO. LLC 901 KING ST. #102 ALEXANDRIA, VA 22314 TM #064.04-05-43 ZONE: KR USE: RETAIL STORE INSTR. #170013334

2

LOT 3 RESUB 902–910 KING ST. N/F NINE TEN KING LLC 910 KING ST. ALEXANDRIA, VA 22314 TM #074.01-06-05 ZONE: KR USE: MIXED RETAIL/OFFICE INSTR. #080011659

# 7

N/F OKEEFFE PROPERTIES LLC 921 KING ST. ALEXANDRIA, VA 22314 TM #064.03-06-24 ZONE: KR USE: MIXED RETAIL/OFFICE INSTR. #030050159

# 21

N/F HOPKINS INVESTMENT CO. INC. 313 S. WASHINGTON ST ALEXANDRIA, VA 22314 TM #074.01-05-11 ZONE: KR USE: MIXED RETAIL/OFFICE INSTR. #170007817

# 3

LOT 2 RESUB 902–910 KING ST. N/F FIREHOUSE SQUARE LLC 5620 LINDA LA. CAMP SPRINGS, MD 20748 TM #074.01—06—06 ZONE: KR USE: OFFICE INSTR. #080011658

# 8

N/F 919 KING LLC 5914 EDGEHILL DR. ALEXANDRIA, VA 22303 TM #064.03-06-25 ZONE: KR USE: MIXED RETAIL/OFFICE INSTR. #110012059

# EX. STORM SEWER DETAILS

 $\langle 1 \rangle$ EX. CURB INLET TOP=42.05 INV. OUT 39.80 BOTTOM=38.90

 $\langle 2 \rangle$ EX. CURB INLET TOP=41.91 (NO ACCESS)

#1000 2-STORY BRICK BUILDING < 4.3.6

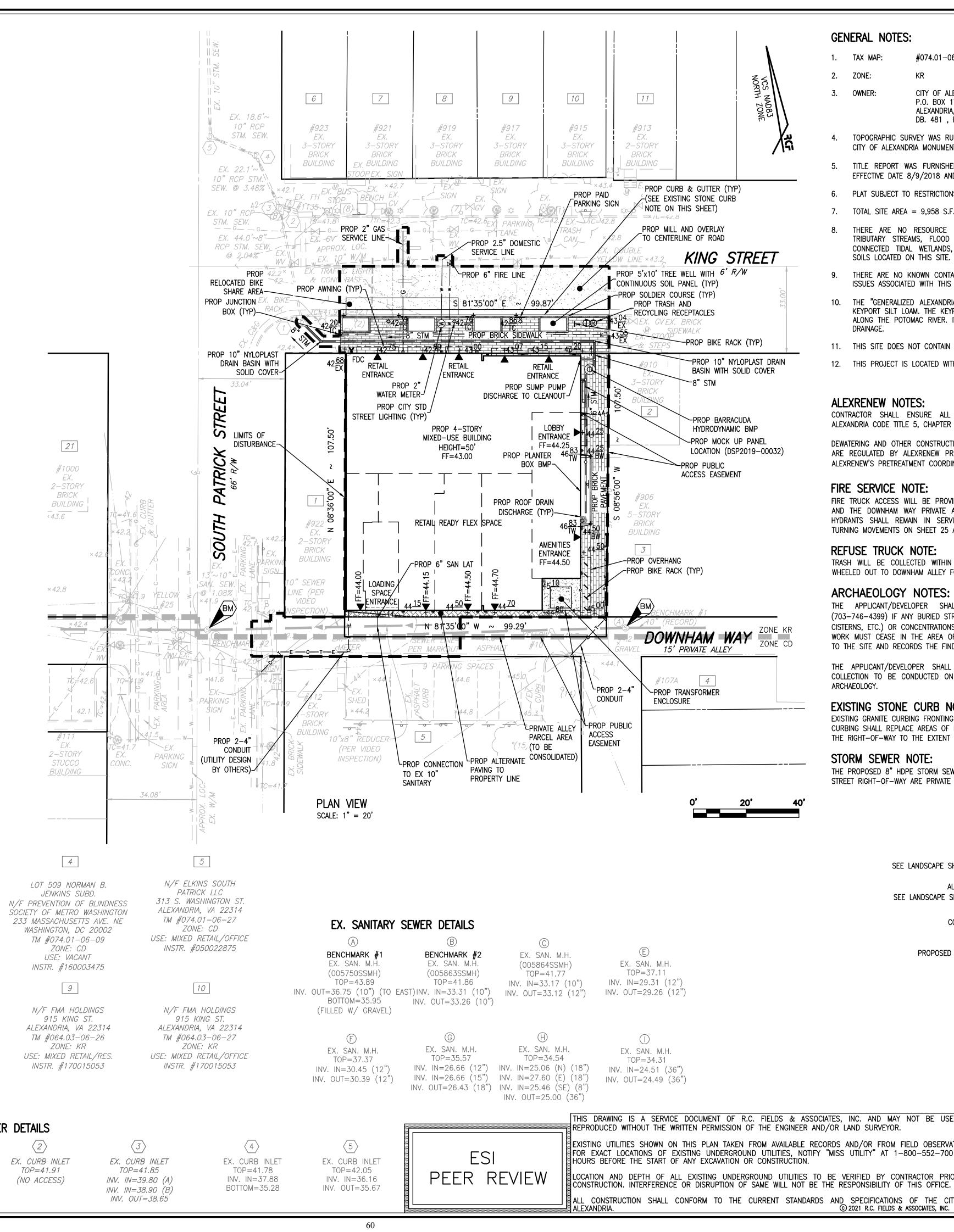
21

× 42.8 ×474 ------



4

9



VCS NAD83 NORTH ZONE
-------------------------

17	ZONE ZONE	

ENERAL	NOTES:
	NULJ.

- #074.01-06-(02, 03, & 04) 1. TAX MAP: 2. ZONE:
- KR 3. OWNER: CITY OF ALEXANDRIA
  - P.O. BOX 178 ALEXANDRIA, VA 22313 DB. 481 , PG. 94, 135, & 236
- 4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #642 ELEVATION 33.53'.
- TITLE REPORT WAS FURNISHED BY INDEPENDENCE TITLE, CLIENT/CASE # MONUMENT, EFFECTIVE DATE 8/9/2018 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.
- 6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 7. TOTAL SITE AREA = 9,958 S.F. OR 0.2286 AC.
- THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
- THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- 10. THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW. SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
- 11. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
- 12. THIS PROJECT IS LOCATED WITHIN THE COMBINED SEWER SHED.

# ALEXRENEW NOTES:

CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.

DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S OR AT 703-549-3381 x2020.

# FIRE SEF

FIRE TRUCK ALONG THE SITE'S FRONTAGE ALONG KING STREET AND THE DO IN THE REAR OF THE SITE. ALL EXISTING FIRE HYDRANTS SHALL REMAIN IN SERVICE AND UNOBSTRUCTED DURING CONSTRUCTION. SEE TURNING MOVEMENTS ON SHEET 25 AND FIRE SAFETY PLAN ON SHEET 24.

# **REFUSE TRUCK NOTE:**

TRASH WILL BE COLLECTED WITHIN THE BUILDING AND STORED ONSITE. TRASH WILL BE WHEELED OUT TO DOWNHAM ALLEY FOR PICKUP.

# ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703–746–4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

# **EXISTING STONE CURB NOTE:**

EXISTING GRANITE CURBING FRONTING THE SITE SHALL BE RETAINED AND MATCHING GRANITE CURBING SHALL REPLACE AREAS OF EXISTING CONCRETE CURBING. REUSE BRICK PAVERS IN THE RIGHT-OF-WAY TO THE EXTENT FEASIBLE.

# STORM SEWER NOTE:

THE PROPOSED 8" HDPE STORM SEWER AND NYLOPLAST DRAIN BASINS WITHIN THE KING STREET RIGHT-OF-WAY ARE PRIVATE AND TO BE PRIVATELY MAINTAINED.

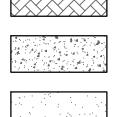
# HATCH LEGEND

SEE LANDSCAPE SHEETS FOR DETAILS

ALTERNATE PAVEMENT SEE LANDSCAPE SHEETS FOR DETAILS

CONCRETE PAVEMENT

PROPOSED MILL AND OVERLAY



APPROVED SPECIAL USE PERMIT NO2025-10006 DEPARTMENT OF PLANNING & ZONING	CHECI SCALE	N: VMM KED: VMM 5: 1" = 20' SEPT 3, 2022
DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE	FINA Pla	AL SITE N
CHAIRMAN, PLANNING COMMISSION DATE		

DEED BOOK NO.

DATE

	FIELDS							NOT	ΒE	USED	OR
OF	THE ENG	GINE	ER AND	)/OR l	_AND	SURVE	YOR.				
I FR	OM AVAI	LABL	E REC	ORDS	AND/	OR FR	ROM F	IELD	OBS	ERVATIC	NS.
	UTILITIE			"MISS	UTILI	TY" A	T 1-	800-	552-	-7001,	72
OR	CONSTRU		JN.								

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.

	ALEAR		.W F	
S PRETRE	ATMEN	IT C	OORD	INATO
	NAT	-		
RVICE	NUI	<b>E:</b>		
ACCESS	WILL	ΒE	PR0\	/IDED
OWNHAM	WAY	PRI\	/ATE	ALLEY
	-	INT		

BRICK SIDEWALK

DATE RECORDED

INSTRUMENT NO.

Construction       Construction <thconstruction< th="">       Construction       <thc< th=""><th></th></thc<></thconstruction<>	
VINCENT M. MCHALE A Lic. No. 0402060162 DOCTOBER 13, 2023 A MOSTONAL ENGINE	
FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA	
DATE REVISION	

SHEET 9 OF 29

FILE: 19-153

•= DEGREES '= MINUTES (OR FEET) "= SECONDS (OR INCHES) %= PERCENT #= NUMBER @= AT lbs.= POUNDS A= ARC AC.= ACREADA = AMERICANS W/DISABILITIES ACT APPROX=APPROXIMATE BC=BOTTOM OF CURB BF= BASEMENT FLOOR BLDG.= BUILDING BM= BENCHMARK BOL.= BOLLARD CATV= CABLE UTILITY CL= CLASS CLEAR= CLEARANCE CLF= CHAIN LINK FENCE CMP = CORRUGATED METALPIPE C.I.= CURB INLET C.O.= CLEAN OUT CONC.= CONCRETE C&G= CURB & GUTTER DB= DEED BOOK DIP= DUCTILE IRON PIPE DOM= DOMESTIC DSP= DEVELOPMENT SITE PLAN DSUP= DEVELOPMENT SPECIAL USE PERMIT DU= DWELLING UNIT E= EAST EBOX= ELECTRICAL BOX ESMT.= EASEMENT EP= EDGE OF PAVEMENT EVE= EMERGENCY VEHICLE EASEMENT EX=EXISTING FDC= FIRE DEPT. CONNECTION FF= FINISH FLOOR FH= FIRE HYDRANT FT.= FEET GL = GROUND LIGHT G/V = GAS VALVEG/M = GAS METERG.I.= GRATE INLET H.C.= HEADER CURB HDCP.= HANDICAP HDPE= HIGH DENSITY POLYETHYLENE

IPF= IRON PIPE FOUND INV.= INVERT INSTR.= INSTRUMENT L= LUMENS LOC.= LOCATION LP= LIGHT POLE MAX.= MAXIMUM MH= MANHOLE MIN.= MINIMUM MPH= MILES PER HOUR MW= MONITORING WELL N= NORTH OHW= OVERHEAD WIRE PN = PANELPG= PAGE PP= PER PLAN PROP= PROPOSED PVC= POLYVINYL CHLORIDE R= RADIUS RCP= RE-ENFORCED CONCRETE PIPE RELOC. = RELOCATED RET.= RETAINING RESID.= RESIDENTIAL R/W= RIGHT-OF-WAY S= SOUTH SAN.= SANITARY SEWER S.F.= SQUARE FEET SQ.FT.= SQUARE FEET STM.= STORM SEWER STR.= STRUCTURE SUB= SUBDIVISION PLAN TBR = TO BE REMOVEDTBS = TO BE SAVEDT.M.= TAX MAP TMH= TELEPHONE MANHOLE TC = TOP OF CURBTOW = TOP OF WALLTRAF.SIG.= TRAFFIC SIGNAL TYP= TYPICAL UGE= UNDERGROUND ELECTRIC UP= UTILITY POLE VCS= VIRGINIA COORDINATE SYSTEM VPD= VEHICLES PER DAY W= WATT W= WEST W.S.E.= WATER SURFACE ELEVATION WV= WATER VALVE WM= WATER METER

# CIVIL LEGEND

HPS= HIGH PRESSURE SODIUM

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK	WALK	WALK
FIRE HYDRANT	-Q-	-Ò-
STRUCTURES		
WATER MAINS	WWW	w
GAS MAINS	— — G— — G— — G—	G
TELEPHONE LINES	T T T_	т
STORM SEWER		
SANITARY SEWER		©
PAVING		
FENCES	X	x
POWER LINES	— — E— — E— — E—	E
SPOT ELEVATIONS	+ 124.5	+ 124 <del>5</del>
CONTOURS	<u> </u>	124
BUILDING ENTRANCES	$\bigtriangledown$	▼
UTILITY POLE	G	ъ
LIGHT POLE	¢	¢
LIMITS OF DISTURBANCE		

W.W.= WINDOW WELL

# HATCH LEGEND

BRICK SIDEWALK

CONCRETE PAVEMENT

ALTERNATE PAVEMENT

# EX. SANITARY SEWER DETAILS

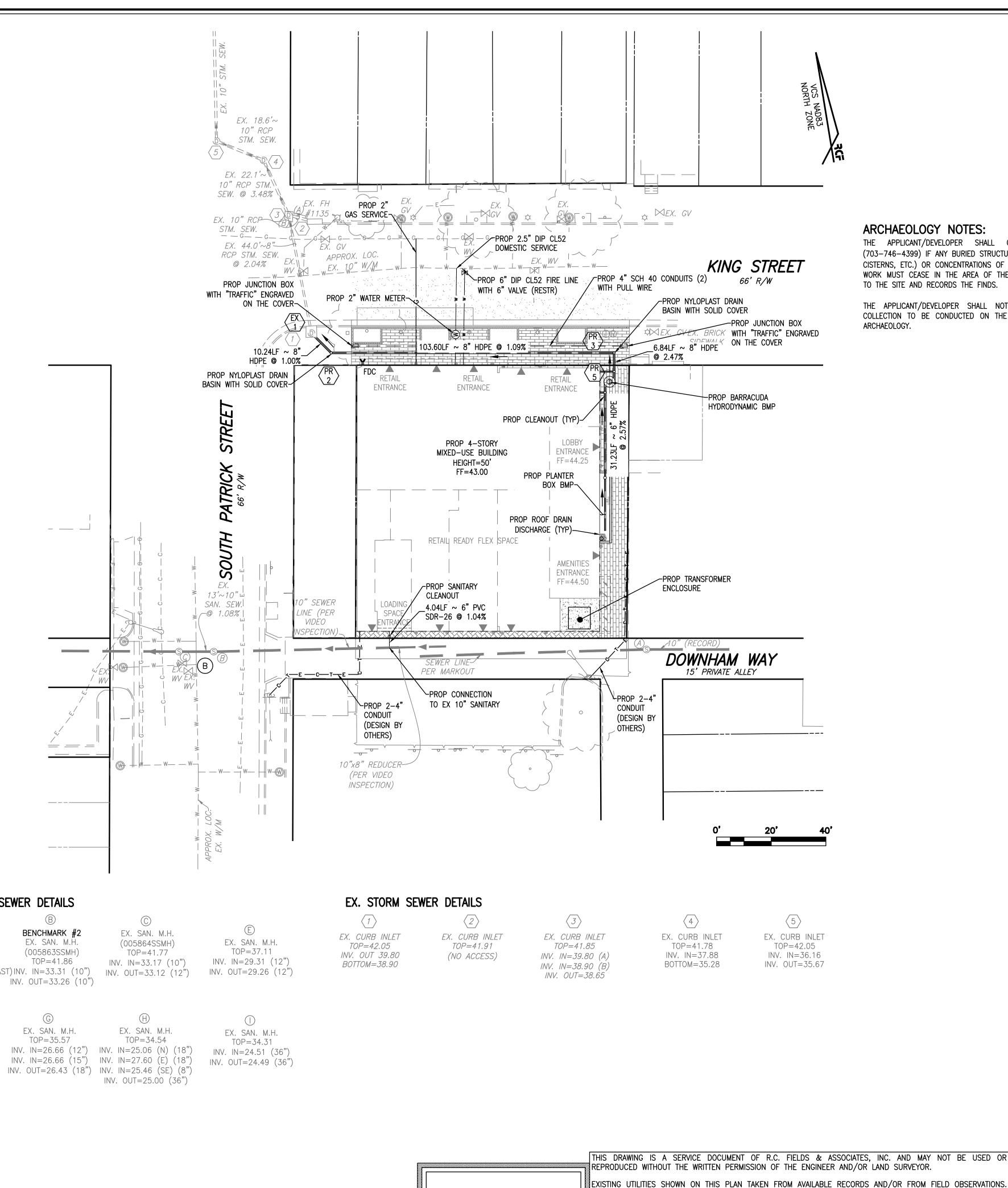
$\bigcirc$	B
BENCHMARK #1 EX. SAN. M.H.	BENCHMARK #2 EX. SAN. M.H.
(005750SSMH)	(005863SSMH)
TOP=43.89 INV. OUT=36.75 (10") (TO	TOP=41.86 EAST)INV. IN=33.31 (10
BOTTOM=35.95 (FILLED W/ GRAVEL)	INV. OUT=33.26 (*

F EX. SAN. M.H. TOP=37.37 INV. IN=30.45 (12") INV. OUT=30.39 (12")

G EX. SAN. M.H. TOP=35.57

\_\_\_\_

\_\_\_\_\_



ES

REVIEW

ALEXANDRIA.

PEER



# **ARCHAEOLOGY NOTES:**

-PROP JUNCTION BOX WITH "TRAFFIC" ENGRAVED

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

2  $\bigcirc$ Ы VINCENT M. Lic. No. 04020601 OCTOBER 13, 2023 Ζ Ш  $\geq$ Ο STREET VIRGINI/ Ш AN  $\overline{\Box}$ Ś L SITE PL/ ANDRIA 920 KING ( XANDRIA, FINAL \_EXA 916, & 9 F ALEX Цюц о, О A 91 CITY NMO  $\square$ \_\_\_\_\_ Ο DATE REVISION DESIGN: VMM CHECKED: VMM SCALE: 1'' = 20'DATE: SEPT 3, 2021 UTILITY PLAN

SHEET **10** of **29** 

FILE: **19–153** 

 $\langle 5 \rangle$ EX. CURB INLET TOP=42.05 INV. IN=36.16 INV. OUT=35.67

FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

© 2021 R.C. FIELDS & ASSOCIATES, INC.

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

DEPARTMENT OF PLANNING & ZONING DATE DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR

APPROVED

SPECIAL USE PERMIT NO.

DATE CHAIRMAN, PLANNING COMMISSION DATE RECORDED DEED BOOK NO. DATE INSTRUMENT NO.

2025-10006

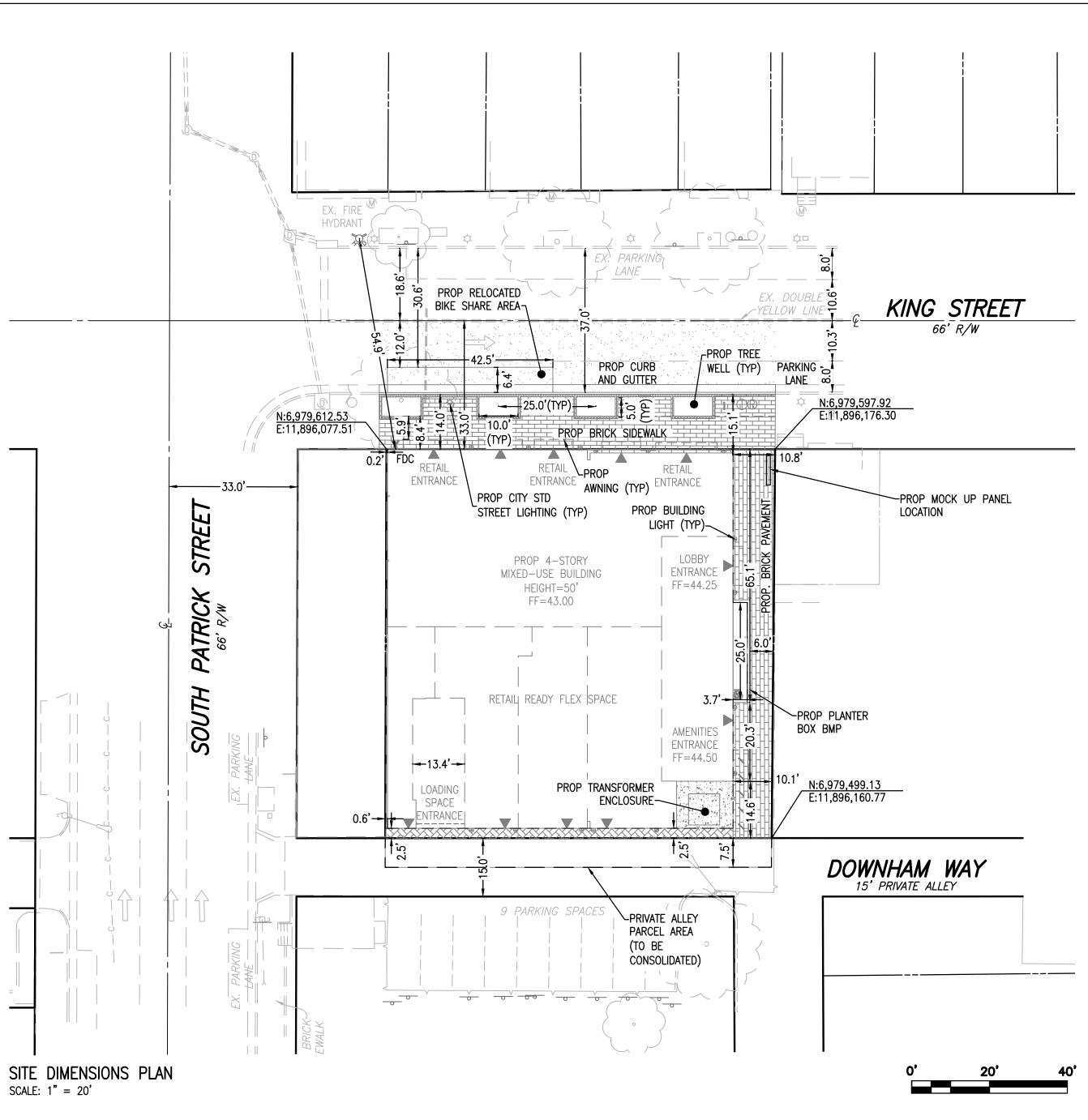
•= DEGREES '= MINUTES (OR FEET) "= SECONDS (OR INCHES) %= PERCENT #= NUMBER @= AT lbs.= POUNDS A= ARC AC.= ACREADA = AMERICANS W/DISABILITIES ACT APPROX=APPROXIMATE BC=BOTTOM OF CURB BF= BASEMENT FLOOR BLDG.= BUILDING BM= BENCHMARK BOL.= BOLLARD CATV= CABLE UTILITY CL= CLASS CLEAR= CLEARANCE CLF= CHAIN LINK FENCE CMP = CORRUGATED METALPIPE C.I.= CURB INLET C.O.= CLEAN OUT CONC.= CONCRETE C&G= CURB & GUTTER DB= DEED BOOK DIP= DUCTILE IRON PIPE DOM= DOMESTIC DSP= DEVELOPMENT SITE PLAN DSUP= DEVELOPMENT SPECIAL USE PERMIT DU= DWELLING UNIT E= EAST EBOX = ELECTRICAL BOXESMT.= EASEMENT EP= EDGE OF PAVEMENT EVE= EMERGENCY VEHICLE EASEMENT EX=EXISTING FDC= FIRE DEPT. CONNECTION FF= FINISH FLOOR FH= FIRE HYDRANT FT.= FEET GL = GROUND LIGHTG/V= GAS VALVE G/M = GAS METERG.I.= GRATE INLET H.C.= HEADER CURB HDCP.= HANDICAP HDPE= HIGH DENSITY POLYETHYLENE HPS= HIGH PRESSURE SODIUM

IPF= IRON PIPE FOUND INV.= INVERT INSTR.= INSTRUMENT L= LUMENS LOC.= LOCATION LP= LIGHT POLE MAX.= MAXIMUM MH= MANHOLE MIN.= MINIMUM MPH= MILES PER HOUR MW= MONITORING WELL N= NORTH OHW= OVERHEAD WIRE PN = PANELPG= PAGE PP= PER PLAN PROP= PROPOSED PVC= POLYVINYL CHLORIDE R= RADIUS RCP= RE-ENFORCED CONCRETE PIPE RELOC. = RELOCATED RET.= RETAINING RESID.= RESIDENTIAL R/W= RIGHT-OF-WAY Ś= SOUTH SAN.= SANITARY SEWER S.F.= SQUARE FEET SQ.FT.= SQUARE FEET STM.= STORM SEWER STR.= STRUCTURE SUB= SUBDIVISION PLAN TBR = TO BE REMOVEDTBS = TO BE SAVED T.M.= TAX MAP TMH= TELEPHONE MANHOLE TC= TOP OF CURB TOW = TOP OF WALLTRAF.SIG.= TRAFFIC SIGNAL TYP= TYPICAL UGE= UNDERGROUND ELECTRIC UP= UTILITY POLE VCS= VIRGINIA COORDINATE SYSTEM VPD= VEHICLES PER DAY W= WATT W= WEST W.S.E.= WATER SURFACE ELEVATION WV= WATER VALVE WM= WATER METER

# CIVIL LEGEND

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
SIDEWALK	WALK	WALK
FIRE HYDRANT	-Q-	- <b>Ò</b> -
STRUCTURES		
WATER MAINS	WWW	W
GAS MAINS	— — G— — G— — G—	G
TELEPHONE LINES	T T T _	T
STORM SEWER		
SANITARY SEWER		©
PAVING		
FENCES	X	x
POWER LINES	— — E— — E— — E—	E
SPOT ELEVATIONS	+ 124.5	+ 124 <u>5</u>
CONTOURS	<u> </u>	124
BUILDING ENTRANCES	$\bigtriangledown$	▼
UTILITY POLE	G	Ъ
LIGHT POLE	¢	¢
LIMITS OF DISTURBANCE		

W.W.= WINDOW WELL



ALTEF

CON

HATCH	LEGEND
BRICK SIDEWALK	
ERNATE PAVEMENT	
NCRETE PAVEMENT	

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. ES PEER REVIEW LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC. ALEXANDRIA.

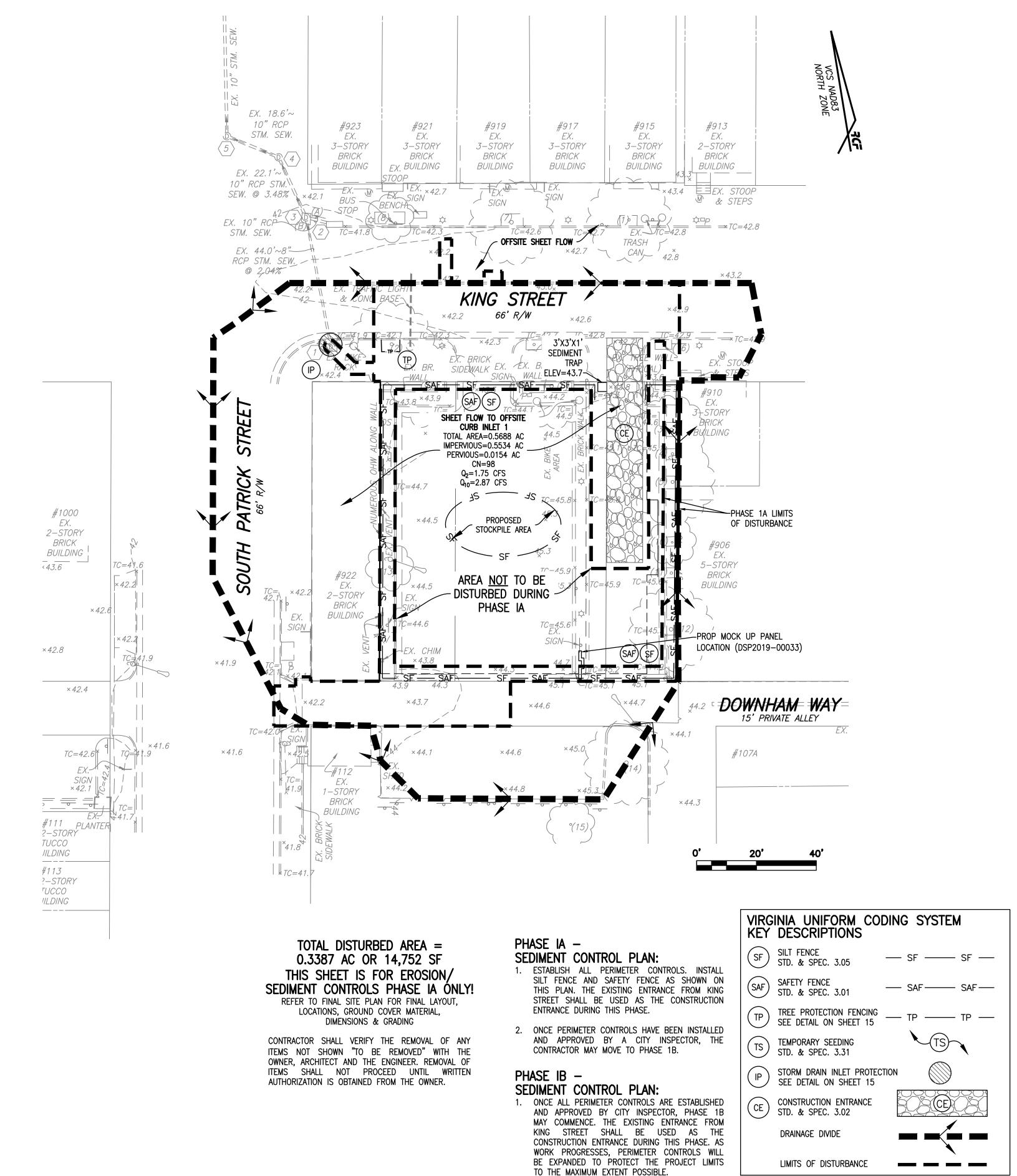
NOF NAD83 FH ZON <u>/</u>

## ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

LEXANDRIA ARCHAEOLOGY IMMEDIATELY AINS (WALL FOUNDATIONS, WELLS, PRIVIES, S ARE DISCOVERED DURING DEVELOPMENT. ERY UNTIL A CITY ARCHAEOLOGIST COMES ANY METAL DETECTION OR ARTIFACT RTY, UNLESS AUTHORIZED BY ALEXANDRIA	Alexandria, Virginia 22314
	OCTOBER 13, 2023 A
	FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA
	DATE REVISION
APPROVED SPECIAL USE PERMIT NO DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: VMM SCALE: 1" = 20' DATE: SEPT 3, 2021
DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.	SITE DIMENSION
DIRECTOR DATE	PLAN
CHAIRMAN, PLANNING COMMISSION     DATE       DATE	SHEET 11 OF 29
INSTRUMENT NO. DEED BOOK NO. DATE	FILE: <b>19–153</b>





- 2. ONCE PERIMETER CONTROLS HAVE BEEN INSTALLED AND APPROVED BY A CITY INSPECTOR, DEMOLITION OF EXISTING STRUCTURES AND IMPROVEMENTS MAY TAKE PLACE.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. REPRODUCED WITHOUT THE WRITTEN PERMISSION OF EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROI FOR EXACT LOCATIONS OF EXISTING UNDERGROUND HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. LOCATION AND DEPTH OF ALL EXISTING UNDE CONSTRUCTION. INTERFERENCE OR DISRUPTION ALL CONSTRUCTION SHALL CONFORM TO THE

ALEXANDRIA.

DIVISION CHIEF.

THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. A WATER TRUCK WILL BE BROUGHT TO THE SITE FOR VEHICLE WASH.

DENUDED AREAS ARE TO BE KEPT TO A MINIMUM. TEMPORARY SEEDING AND MULCH ARE TO BE APPLIED TO ANY AREA WITHIN THE LIMITS OF CLEARING AND GRADING NOT CONTINUOUSLY WORKED FOR SEVEN (7) DAYS AFTER CLEARING AND GRADING. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SILT DAMS SHALL BE SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 48 HOURS AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILES. THE CITY OF ALEXANDRIA REQUIRES THAT ALL SLOPES CREATED BY THIS PLAN THAT ARE 25 PERCENT OR MORE MUST BE SODDED AND PEGGED FOR STABILITY. REFER TO SEEDING SCHEDULE AND SPECIFICATIONS FOR APPROPRIATE SEED MIXTURES, APPLICATION RATES AND THE DATES FOR PLANTING.

THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN ARE THE ULTIMATE LIMITS FOR THIS PROJECT. THE CONTRACTOR MUST APPLY SEPARATELY TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES) FOR ANY WORK. INCLUDING THE PLACEMENT OF CONSTRUCTION FENCING, WITHIN THE PUBLIC RIGHT OF WAY. THE CITY WILL NOT ALLOW INCLUSION OF ANY PORTION OF THE PUBLIC RIGHT OF WAY, INCLUDING SIDEWALKS, INTO THE PROJECT AREA FOR THE PROJECT DURATION. WORK AND ASSOCIATED CLOSURES IN THE PUBLIC RIGHT OF WAY WILL BE PERMITTED SEPARATELY ON AN AS NEEDED BASIS BY T&ES.

# MAINTENANCE PRACTICES:

THE SITE SUPERINTENDENT, OR REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL MECHANICAL CONTROLS AND NEWLY STABILIZED AREAS (I.E. SEEDED AND MULCHED AND/OR SODDED AREAS) ON A DAILY BASIS; ESPECIALLY AFTER A HEAVY RAINFALL EVENT TO ENSURE THAT ALL CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. ANY EXCESS BUILDUP OF SEDIMENTS ALONG PERIMETER SHALL BE DISPOSED OF BY SPREADING ON THE SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL. 2. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED OUT AT 50% TRAP CAPACITY AND THE SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE, THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT FREE.

SILT FENCE NOTE: SILT FENCE MAY BE RELOCATED, ADDED AND OR REMOVED AS REQUIRED DUE TO CONSTRUCTION STAGING AND PROGRESS. CITY OF ALEXANDRIA SITE INSPECTOR MUST BE NOTIFIED AND GIVE PERMISSION PRIOR TO ANY MODIFICATION OF SILT FENCE.

SITE GRADING NOTE: WHERE A STRUCTURE HAS BEEN DEMOLISHED OR REMOVED, IF LEFT VACANT THE LOT SHALL BE FILLED AND MAINTAINED TO THE EXISTING GRADE (USBC 3303.4).

STAGING AREA NOTE: ALL STAGING DURING PHASE DEMOLITION IS TO BE PERFORMED ON-SITE. NO STAGING IS TO OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY. NO VEHICLE SHALL IDLE FOR MORE THAN 10 MINUTES WHEN PARKED.

REQUIRED.

WASH WATER DRAINAGE NOTE: ALL WASH WATER IS TO BE DIRECTED TO EXISTING INLET STRUCTURES WHICH WILL HAVE STANDARD INLET PROTECTIONS FOR SEDIMENT CONTROL.

ES

REVIEW

PEER

# ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY. UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

### CERTIFIED LAND DISTURBER NOTE:

A "CERTIFIED LAND DISTURBER" (CLD) SHALL BE NAMED IN A LETTER TO THE DIVISION CHIEF OF INFRASTRUCTURE RIGHT OF WAY PRIOR TO ANY LAND DISTURBING ACTIVITIES. IF THE CLD CHANGES DURING THE PROJECT, THAT CHANGE MUST BE NOTED IN A LETTER TO THE

#### CONSTRUCTION ENTRANCE:

#### CONSTRUCTION TRAILER NOTE:

TEMPORARY CONSTRUCTION TRAILER(S) SHALL BE PERMITTED AND BE SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PLANNING & ZONING. THE TRAILER(S) SHALL BE REMOVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY PERMIT.

TRAILER LOCATION MAY VARY DURING DIFFERENT STAGES OF CONSTRUCTION TO AVOID ACTIVE AREAS OF THE SITE. TRAILER LOCATION SHALL BE COORDINATED WITH PLANNING & ZONING AND SITE INSPECTIONS DIVISIONS.

#### CONSTRUCTION WORKER PARKING NOTE:

CONSTRUCTION SHALL BE PHASED IN A MANNER TO ENSURE ADEQUATE OFF-STREET CONSTRUCTION WORKER PARKING IS AVAILABLE AT ALL TIMES. MASS TRANSIT INFORMATION (INCLUDING METRO AND BUS ROUTE INFORMATION) SHALL BE MADE AVAILABLE TO WORKERS TO REDUCE THE ON-SITE CONSTRUCTION PARKING NEEDS. ADDITIONALLY, CONTRACTOR WILL ENCOURAGE THE USE OF MASS TRANSIT BY PROVIDING WORKERS WITH A MINIMUM OF 50% SUBSIDY FOR THE FEES OF MASS TRANSIT PER THE DEVELOPMENT CONDITIONS. NO\_ ON-STREET PARKING WILL BE ALLOWED.

### EROSION AND SEDIMENT CONTROL PROGRAM:

#### FENCING NOTE:

FOR CLARITY PURPOSES, CONSTRUCTION SAFETY FENCING AND SILT FENCING ARE SHOWN AS A SINGLE LINE IN PLAN VIEW. IN THE FIELD, ALL FENCING WILL BE INSTALLED PER THE VESCH STANDARDS ALONG THE PROPERTY LINE. CARE SHALL BE TAKEN TO ENSURE NO FENCING IS INSTALLED ON ADJOINING PROPERTIES.

#### LIMITS OF DISTURBANCE NOTE:

#### **RODENT ABATEMENT NOTE:**

#### **VPDES PERMIT NOTE:**

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT ARE LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT

	Construction       Construction <t< th=""></t<>
	South ALTH OA
	C VINCENT M. MCHALE → Lic. No. 0402060162 C OCTOBER 13, 2023 A C ONAL ENGLISS
	FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA
	DATE REVISION
	DESIGN: VMM
-	CHECKED: VMM SCALE: 1" = 20' DATE: SEPT 3, 2021

12<sup>of</sup> 29

Z

FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR	DEPARTME
THE ENGINEER AND/OR LAND SURVEYOR.	SITE PL
M AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.	l
$ T_{i}  =  T_{$	
UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72	
NONCTRUCTION	11

	UTILITIES TO ILL NOT BE T				T
CURRENT	STANDARDS		NS OF		0

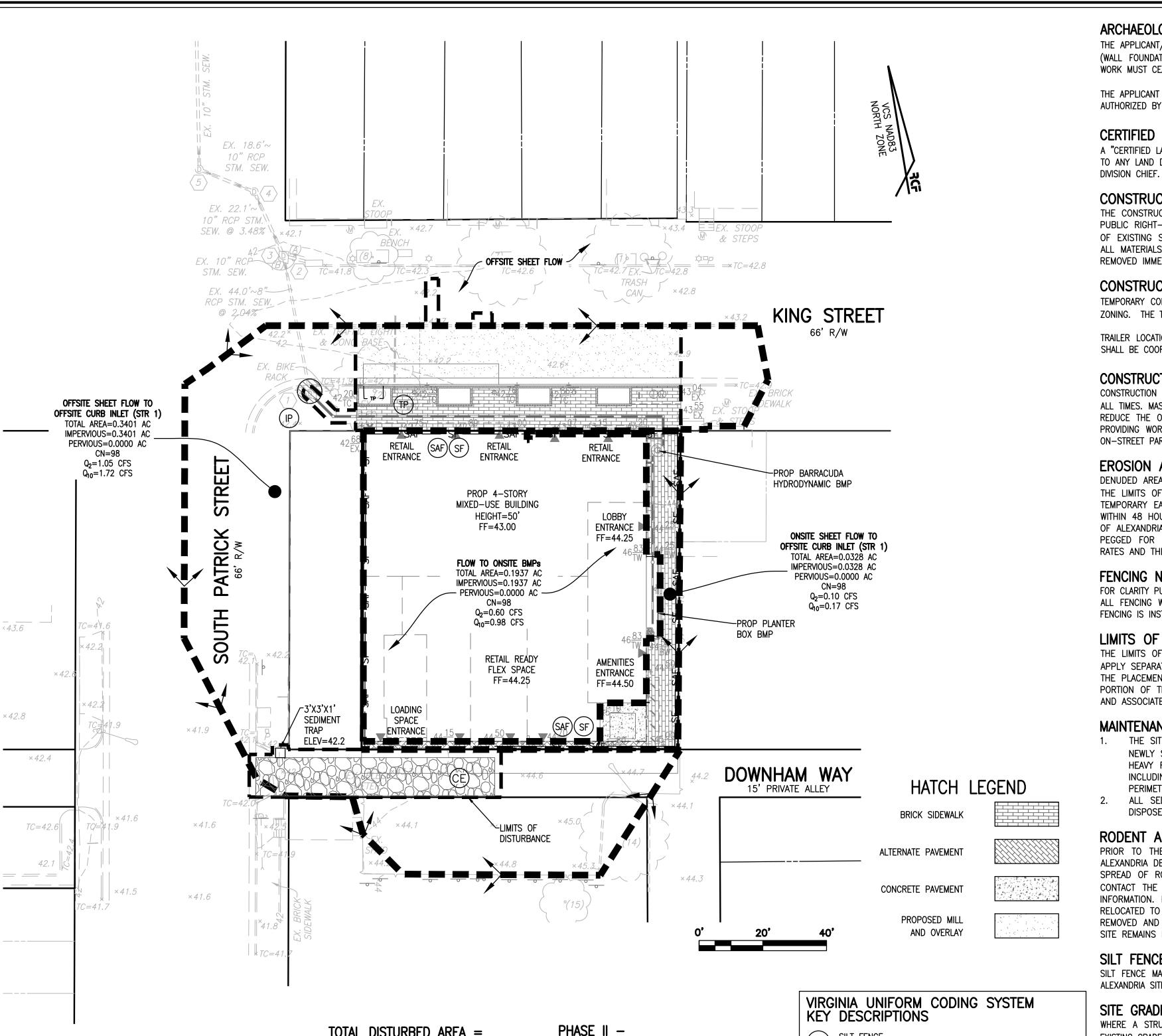
DIRECTOR DATE	EROSION AND
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	SEDIMENT
SITE PLAN NO	CONTROL
DIRECTOR DATE	PHASE IA & I
CHAIRMAN, PLANNING COMMISSION DATE	
DATE RECORDED	SHEET 12 OF 29
INSTRUMENT NO. DEED BOOK NO. DATE	FILE: 19-153

2025-10006

APPROVED

DEPARTMENT OF PLANNING & ZONING

SPECIAL USE PERMIT NO.



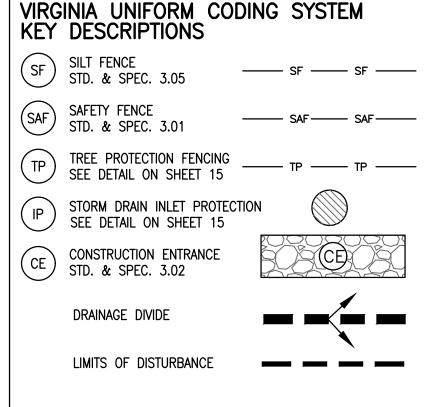


TOTAL DISTURBED AREA = 0.3387 AC OR 14,752 SF THIS SHEET IS FOR EROSION/ SEDIMENT CONTROLS PHASE II ÓNLY! REFER TO FINAL SITE PLAN FOR FINAL LAYOUT. LOCATIONS, GROUND COVER MATERIAL, DIMENSIONS & GRADING

CONTRACTOR SHALL VERIFY THE REMOVAL OF ANY ITEMS NOT SHOWN "TO BE REMOVED" WITH THE OWNER, ARCHITECT AND THE ENGINEER. REMOVAL OF ITEMS SHALL NOT PROCEED UNTIL WRITTEN AUTHORIZATION IS OBTAINED FROM THE OWNER.

# SEDIMENT CONTROL PLAN:

- 1. PERIMETER CONTROLS, INCLUDING SILT FENCE, SAFETY FENCE, TREE PROTECTION, & INLET PROTECTION SHALL BE RELOCATED AS SHOWN ON THIS PLAN. AS WORK PROGRESSES, PERIMETER CONTROLS WILL BE EXPANDED TO PROTECT THE PROJECT LIMITS TO THE MAXIMUM EXTENT POSSIBLE. ALL DEBRIS WILL BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY CITY ORDINANCE.
- 2. ONCE PERIMETER CONTROLS HAVE BEEN INSTALLED AND APPROVED BY A CITY INSPECTOR, CONSTRUCTION OF PROPOSED STRUCTURES AND IMPROVEMENTS MAY COMMENCE.
- 3. SEDIMENT CONTROL STRUCTURES SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE CITY'S EROSION AND SEDIMENT CONTROL INSPECTOR.



THIS DRAWING IS A SERVICE DOCUMENT OF REPRODUCED WITHOUT THE WRITTEN PERMISSION EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. PEER REVIEW LOCATION AND DEPTH OF ALL EXISTING UNDERGE CONSTRUCTION. INTERFERENCE OR DISRUPTION OF ALL CONSTRUCTION SHALL CONFORM TO THE C

ALEXANDRIA.

64

ES

# ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY. UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

## CERTIFIED LAND DISTURBER NOTE:

A "CERTIFIED LAND DISTURBER" (CLD) SHALL BE NAMED IN A LETTER TO THE DIVISION CHIEF OF INFRASTRUCTURE RIGHT OF WAY PRIOR TO ANY LAND DISTURBING ACTIVITIES. IF THE CLD CHANGES DURING THE PROJECT. THAT CHANGE MUST BE NOTED IN A LETTER TO THE

#### CONSTRUCTION ENTRANCE:

THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. A WATER TRUCK WILL BE BROUGHT TO THE SITE FOR VEHICLE WASH.

#### CONSTRUCTION TRAILER NOTE:

TEMPORARY CONSTRUCTION TRAILER(S) SHALL BE PERMITTED AND BE SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PLANNING & ZONING. THE TRAILER(S) SHALL BE REMOVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY PERMIT.

TRAILER LOCATION MAY VARY DURING DIFFERENT STAGES OF CONSTRUCTION TO AVOID ACTIVE AREAS OF THE SITE. TRAILER LOCATION SHALL BE COORDINATED WITH PLANNING & ZONING AND SITE INSPECTIONS DIVISIONS.

### CONSTRUCTION WORKER PARKING NOTE:

CONSTRUCTION SHALL BE PHASED IN A MANNER TO ENSURE ADEQUATE OFF-STREET CONSTRUCTION WORKER PARKING IS AVAILABLE AT ALL TIMES. MASS TRANSIT INFORMATION (INCLUDING METRO AND BUS ROUTE INFORMATION) SHALL BE MADE AVAILABLE TO WORKERS TO REDUCE THE ON-SITE CONSTRUCTION PARKING NEEDS. ADDITIONALLY, CONTRACTOR WILL ENCOURAGE THE USE OF MASS TRANSIT BY PROVIDING WORKERS WITH A MINIMUM OF 50% SUBSIDY FOR THE FEES OF MASS TRANSIT PER THE DEVELOPMENT CONDITIONS. NO ON-STREET PARKING WILL BE ALLOWED.

### EROSION AND SEDIMENT CONTROL PROGRAM:

DENUDED AREAS ARE TO BE KEPT TO A MINIMUM. TEMPORARY SEEDING AND MULCH ARE TO BE APPLIED TO ANY AREA WITHIN THE LIMITS OF CLEARING AND GRADING NOT CONTINUOUSLY WORKED FOR SEVEN (7) DAYS AFTER CLEARING AND GRADING. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SILT DAMS SHALL BE SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 48 HOURS AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILES. THE CITY OF ALEXANDRIA REQUIRES THAT ALL SLOPES CREATED BY THIS PLAN THAT ARE 25 PERCENT OR MORE MUST BE SODDED AND PEGGED FOR STABILITY. REFER TO SEEDING SCHEDULE AND SPECIFICATIONS FOR APPROPRIATE SEED MIXTURES, APPLICATION RATES AND THE DATES FOR PLANTING.

#### FENCING NOTE:

FOR CLARITY PURPOSES, CONSTRUCTION SAFETY FENCING AND SILT FENCING ARE SHOWN AS A SINGLE LINE IN PLAN VIEW. IN THE FIELD, ALL FENCING WILL BE INSTALLED PER THE VESCH STANDARDS ALONG THE PROPERTY LINE. CARE SHALL BE TAKEN TO ENSURE NO FENCING IS INSTALLED ON ADJOINING PROPERTIES.

#### LIMITS OF DISTURBANCE NOTE:

THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN ARE THE ULTIMATE LIMITS FOR THIS PROJECT. THE CONTRACTOR MUST APPLY SEPARATELY TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES) FOR ANY WORK, INCLUDING THE PLACEMENT OF CONSTRUCTION FENCING, WITHIN THE PUBLIC RIGHT OF WAY. THE CITY WILL NOT ALLOW INCLUSION OF ANY PORTION OF THE PUBLIC RIGHT OF WAY, INCLUDING SIDEWALKS, INTO THE PROJECT AREA FOR THE PROJECT DURATION. WORK AND ASSOCIATED CLOSURES IN THE PUBLIC RIGHT OF WAY WILL BE PERMITTED SEPARATELY ON AN AS NEEDED BASIS BY T&ES.

#### MAINTENANCE PRACTICES:

THE SITE SUPERINTENDENT, OR REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL MECHANICAL CONTROLS AND NEWLY STABILIZED AREAS (I.E. SEEDED AND MULCHED AND/OR SODDED AREAS) ON A DAILY BASIS; ESPECIALLY AFTER A HEAVY RAINFALL EVENT TO ENSURE THAT ALL CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. ANY EXCESS BUILDUP OF SEDIMENTS ALONG PERIMETER SHALL BE DISPOSED OF BY SPREADING ON THE SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL. 2. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED OUT AT 50% TRAP CAPACITY AND THE SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.

#### RODENT ABATEMENT NOTE:

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT. A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE, THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT FREE.

#### SILT FENCE NOTE:

SILT FENCE MAY BE RELOCATED, ADDED AND OR REMOVED AS REQUIRED DUE TO CONSTRUCTION STAGING AND PROGRESS. CITY OF ALEXANDRIA SITE INSPECTOR MUST BE NOTIFIED AND GIVE PERMISSION PRIOR TO ANY MODIFICATION OF SILT FENCE.

#### SITE GRADING NOTE:

WHERE A STRUCTURE HAS BEEN DEMOLISHED OR REMOVED, IF LEFT VACANT THE LOT SHALL BE FILLED AND MAINTAINED TO THE EXISTING GRADE (USBC 3303.4).

#### STAGING AREA NOTE:

ALL STAGING DURING PHASE DEMOLITION IS TO BE PERFORMED ON-SITE. NO STAGING IS TO OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY. NO VEHICLE SHALL IDLE FOR MORE THAN 10 MINUTES WHEN PARKED.

#### **VPDES PERMIT NOTE:**

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT ARE LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT REQUIRED.

#### WASH WATER DRAINAGE NOTE:

ALL WASH WATER IS TO BE DIRECTED TO EXISTING INLET STRUCTURES WHICH WILL HAVE STANDARD INLET PROTECTIONS FOR SEDIMENT CONTROL.

Z

		I: VMM ED: VMM
	SCALE:	1" = 20'
	DATE:	SEPT 3, 2021
	FRO	SION AND
		MENT
		TROI
╡	PHAS	
╢	SHEET	<b>13</b> OF <b>29</b>

FILE: **19–153** 

 $\bigcirc$ 

DATE | REVISION

OF THE ENGINEER AND/OR LAND SURVEYOR.	
N FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVAT	ONC

V CONJIN				
ROUND L	JTILITIES TO	BE VERIFIED BY CONTRACTOR PRIOR	то	
SAME WIL	L NOT BE T	BE VERIFIED BY CONTRACTOR PRIOR HE RESPONSIBILITY OF THIS OFFICE.		DA
CURRENT	STANDARDS	AND SPECIFICATIONS OF THE CITY © 2021 R.C. FIELDS & ASSOCIATES, INC.	OF	

SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED BOOK NO.	DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

2025-10006

DATE

APPROVED

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

SPECIAL USE PERMIT NO.

## GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS \$4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- 3. T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
- 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 6. PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
- 7. ALL DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
- 8. ALL TEMPORARY EARTH BERMS. DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
- 9. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- 10. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED THROUGH AN APPROVED FILTERING DEVICE.
- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- 12. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- 13. ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS. NO CONTAMINATED MATERIALS WILL BE STOCKPILED FOR THIS SITE.
- 14. ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL
- 15. TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE(S).
- 16. AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.
- 17. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- 18. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH.
- 19. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED.
- 20. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- 21. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.

### PERIMETER SILT FENCE NOTE:

MAXIMUM ALLOWABLE DRAINAGE AREA UPSTREAM OF THE SILT FENCE IS 0.25 ACRES PER 100 L.F. OF FENCE. DRAINAGE AREA TO SILT FENCE = 0.2286 AC. TOTAL. LINEAR FEET OF PERIMETER SILT FENCE = 350 FEET

MAXIMUM ALLOWABLE AREA FOR 350 FT. OF SILT FENCE= (350/100) X 0.25 = 0.8750 ACRES ACTUAL DRAIN AREA OF 0.2286 ACRES IS LESS THAN 0.8750 ACRES ALLOWABLE. SILT FENCE IS ADEQUATE FOR THIS APPLICATION

## LAND DISTURBANCE NOTE:

ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.

#### CERTIFIED LAND DISTURBER NOTE:

A "CERTIFIED LAND DISTURBER" (CLD) SHALL BE NAMED IN A LETTER TO THE DIVISION CHIEF OF INFRASTRUCTURE RIGHT OF WAY PRIOR TO ANY LAND DISTURBING ACTIVITIES. IF THE CLD CHANGES DURING THE PROJECT. THAT CHANGE MUST BE NOTED IN A LETTER TO THE DIVISION CHIEF.

#### VPDES PERMIT NOTE:

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT ARE LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT REQUIRED.

#### ADDITIONAL E&S MEASURES NOTE:

ADDITIONAL EROSION & SEDIMENT CONTROLS SHALL BE INSTALLED IF DIRECTED BY THE T&ES INSPECTOR.

## **ALEXRENEW NOTES:**

A. ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B. B. DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. ENGINEER/OWNER IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-549-3381 EXT. 202.

# **EROSION & SEDIMENT CONTROL NARRATIVE:**

**PROJECT DESCRIPTION:** THIS PROJECT PROPOSES A MIXED-USE RETAIL/RESIDENTIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

# **EXISTING CONDITIONS:**

ADJACENT PROPERTIES:

THIS PROPERTY IS BOUNDED TO THE SOUTH BY DOWNHAM WAY, A PRIVATE ALLEY, TO THE NORTH BY KING STREET STREET, A 66' RIGHT-OF-WAY, TO THE EAST AND WEST BY COMMERCIAL AND RESIDENTIAL LOTS. CRITICAL AREAS:

CRITICAL AREAS INCLUDE AREAS AROUND THE LIMITS OF DISTURBANCE. SPECIAL CARE SHALL BE TAKEN TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE SPECIFIED LIMITS OF DISTURBANCE.

### SOILS DESCRIPTION:

THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS URBAN LAND-GRIST MILL. IT HAS WELL ESTABLISHED DRAINAGE WITH LOW FREQUENCY OF FLOODING.

STORMWATER RUNOFF CONSIDERATIONS: (BMP STRATEGIES) PERIMETER BMP STRATEGIES WILL INCLUDE INLET PROTECTION, SILT FENCE, SAFETY FENCE, AND A CONSTRUCTION ENTRANCE. THE PROPOSED DEVELOPMENT WILL HONOR ALL NATURAL DRAINAGE DIVIDES. SURFACE RUNOFF FROM THE SITE WILL SHEETFLOW TO THE EXISTING CITY OF ALEXANDRIA STORM SEWER SYSTEM OR BE COLLECTED BY ONSITE AREA DRAINS. ULTIMATELY, ALL RUNOFF FROM THE SITE WILL BE DIRECTED TO THE CITY MAINTAINED COMBINED STORM SEWER SYSTEM.

#### MAINTENANCE PRACTICES

- AWAY IF NOT SUITABLE FOR FILL
- BE HAULED FROM SITE.

THIS PROJECT WILL FOLLOW A SIMPLE. TWO-PHASE EROSION AND SEDIMENT CONTROL PLAN. THE EROSION & SEDIMENT CONTROLS SHALL BE PHASED ACCORDING TO THE PHASE IA. PHASE IB. AND II EROSION AND SEDIMENT CONTROL SHEETS AND NARRATIVES INCLUDED IN THIS PLAN. PERIMETER CONTROLS SHALL BE INSTALLED AS REQUIRED PER PHASE IA. PHASE IB CONTROLS ARE TO BE INSTALLED ONCE ALL PHASE IA PERIMETER CONTROLS HAVE BEEN INSTALLED. PHASE II CONTROLS ARE TO BE INSTALLED AS THE SITE WORK PROGRESSES AND AREAS BECOME NEAR FINISHED CONDITION BUT PRIOR TO SITE STABILIZATION.

#### STOCKPILING PROCEDURES:

ANY EXCAVATED MATERIAL THAT IS NOT TO BE REUSED AS BACKFILL AND CANNOT BE STORED ON-SITE MUST BE HAULED OFF ALONG CITY APPROVED HAUL ROUTES. ANY ADDITIONAL MATERIAL REQUIRED WILL BE BROUGHT TO THE SITE UTILIZING THE SAME HAUL ROUTES.

#### CONTAMINATED SOILS

A PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT WAS PERFORMED BY GEOTECHNICAL CONSULTING & TESTING, INC (GC&T). HISTORIC DRY CLEANERS ADJACENT TO THE SITE WERE OBSERVED DURING DATABASE REPORT REVIEW AND NOTED AS A RECOGNIZED ENVIRONMENTAL CONDITION (REC). A PHASE II ENVIRONMENTAL SITE ASSESSMENT REPORT WAS PERFORMED BY TERRACON TO DETERMINE THE EXTENT OF THE CONTAMINATION. BASED ON THE RESULTS, NO FURTHER INVESTIGATION IS RECOMMENDED. SHOULD ANY UNANTICIPATED CONTAMINATION, UNDERGROUND STORAGE TANKS, DRUMS OR CONTAINERS BE ENCOUNTERED AT THE SITE DURING CONSTRUCTION, THE APPLICANT MUST IMMEDIATELY NOTIFY THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY. SHOULD UNANTICIPATED CONDITIONS WARRANT, CONSTRUCTION WITHIN THE IMPACTED AREA SHALL BE STOPPED UNTIL THE APPROPRIATE ENVIRONMENTAL REPORTS ARE SUBMITTED AND APPROVED AT THE DISCRETION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

OFF-SITE AREAS: OFF-SITE WORK FOR THIS SITE INCLUDES THE CONNECTION OF PROPOSED UTILITIES AND IMPROVEMENTS ALONG THE KING STREET RIGHT-OF-WAY AND WITHIN DOWNHAM WAY.

EROSION & SEDIMENT CONTROL MEASURES: DENUDED AREAS ARE TO BE KEPT TO A MINIMUM. TEMPORARY SEEDING AND MULCHING ARE TO BE APPLIED TO ANY AREAS NOT CONTINUOUSLY WORKED FOR 7 DAYS AFTER CLEARING AND ROUGH GRADING. ALL E/S MEASURES AND CONTROLS ARE TO CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK AND THE CITY OF ALEXANDRIA. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION/SEDIMENT CONTROL MEASURES. REFER TO INDIVIDUAL EROSION AND SEDIMENT CONTROL SHEETS FOR DETAIL ON CONTROL MEASURES. THE DEMOLITION SHALL UTILIZE THE EXISTING ENTRANCE AS A CONSTRUCTION ENTRANCE. ONCE THE ASPHALT SURFACE IS REMOVED A STANDARD CONSTRUCTION ENTRANCE (WITH WASH RACKS IF NECESSARY) SHALL BE INSTALLED.

#### PERMANENT STABILIZATION:

THE AREAS OF THIS SITE NOT COVERED BY THE PROPOSED BUILDINGS OR WALKWAYS WILL BE STABILIZED WITH GRASS. GRASS AREAS WILL BE TREATED WITH SOD OR OTHER FORMS OF STABILIZATION. PLANTING AREAS SHALL BE MULCHED OR PLANTED WITH GROUNDCOVER AS PER THE LANDSCAPING DESIGN PLANS. NO AREAS AFFECTED BY THIS PLAN SHALL BE LEFT IN A DENUDED CONDITION AT THE COMPLETION OF CONSTRUCTION ACTIVITIES.

PUBLICLY OWNED TREATMENT WORKS (POTW) NOTE: SANITARY FLOW FROM THE PROPOSED DEVELOPMENT WILL DRAIN TO THE EXISTING PUBLIC SANITARY SEWER MAIN. THEREFORE A POTW PERMIT IS NOT REQUIRED.

> TOTAL DISTURBED AREA = 0.3387 AC OR 14,752 SF

THIS SITE IS CURRENTLY OCCUPIED BY A CITY OF ALEXANDRIA OWNED PARKING LOT. THE EXISTING IMPROVEMENTS, AS INDICATED ON THE EROSION & SEDIMENT CONTROL PHASE I AND II PLAN AND DEMOLITION PLAN, ARE TO BE REMOVED.

1. THE SITE SUPERINTENDENT, OR REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL MECHANICAL CONTROLS AND NEWLY STABILIZED AREAS (I.E. SEEDED AND MULCHED AND/OR SODDED AREAS) ON A DAILY BASIS: ESPECIALLY AFTER A HEAVY RAINFALL EVENT TO ENSURE THAT ALL CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. ANY EXCESS BUILDUP OF SEDIMENTS ALONG THE PERIMETER SHALL BE DISPOSED OF BY SPREADING ON THE SITE OR HAULING

2. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED OUT AT 50% TRAP CAPACITY AND THE SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL. MAJORITY OF MATERIAL WILL

# SEQUENCE OF CONSTRUCTION NOTES:

PRE-CONSTRUCTION:

- OBTAIN ALL REQUIRED DEMOLITION, BUILDING AND CONSTRUCTION PERMITS. DEVELOP SITE UTILIZATION PLAN. OBTAIN APPROVAL OF TRAFFIC CONTROL PLAN, TEMPORARY STRUCTURES/TRAILERS AND TEMPORARY UTILITIES.
- OBTAIN APPROVAL OF RODENT ABATEMENT PLAN.
- 4. OBTAIN APPROVAL OF CONSTRUCTION PARKING PLAN OBTAIN APPROVAL OF HAULING PERMIT (IF APPLICABLE).
- ESTABLISH PROJECT CONTACT PERSON FOR COORDINATION WITH COMMUNITY.
- DESIGNATE PARKING AREA FOR CONSTRUCTION WORKERS, SEE CONSTRUCTION MANAGEMENT PLAN.

PHASE IA:

- MOBILIZATION/DEMOLITION (4 WEEKS)
- OBTAIN PERMITS TO CLOSE SIDEWALKS IN PUBLIC RIGHT-OF-WAY. IF REQUIRED.
- ESTABLISH PERIMETER CONTROLS AS SHOWN ON PLAN. AS WORK PROGRESSES, PERIMETER CONTROLS TO BE ADJUSTED TO PROTECT THE LIMITS OF THE PROJECT. ACCESS SITE VIA THE CONSTRUCTION ENTRANCE ALONG THE KING STREET RIGHT-OF-WAY ON THE NORTH SIDE OF THE SITE. VEHICLES TO BE CLEANED PRIOR TO LEAVING THE CONSTRUCTION AREA. WASH WATER TO BE
- OBTAINED FROM A PORTABLE WATER SOURCE PROVIDED BY THE CONTRACTOR. COMMENCE CLEARING ACTIVITIES. 5. ALL DEBRIS TO BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY
- CITY ORDINANCE. 6. CONSTRUCTION TRAILERS (IF NECESSARY) TO BE PLACED ON-SITE AND SHALL NOT IMPEDE THE RIGHT-OF-WAY.

#### PHASE IB: MOBILIZATION/DEMOLITION (10 WEEKS)

- 1. PERIMETER CONTROLS SHALL REMAIN IN PLACE ALONG THE LIMITS OF DISTURBANCE OF THE SITE.
- COMMENCE CLEARING ACTIVITIES TO ALLOW FOR INSTALLATION OF PHASE IB PRACTICES. COMMENCE WITH REMAINING CLEARING ACTIVITIES.
- 4. ALL DEBRIS TO BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY CITY ORDINANCE.

#### PHASE II:

- BUILDING CONSTRUCTION (60 WEEKS) PERIMETER CONTROLS SHALL REMAIN IN PLACE ALONG THE LIMITS OF DISTURBANCE OF THE SITE.
- BEGIN ROUGH GRADING OF SITE AND CONSTRUCTION OF PROPOSED BUILDING.
- INSTALL UNDERGROUND UTILITIES (STORM SEWER/SANITARY/WATER/GAS/ELECTRIC)
- FINISH ROUGH GRADING. BUILDING WALLS SHALL BE AT OR NEAR FINAL GRADE AT THIS STAGE. COMPLETE CONSTRUCTION OF PROPOSED BUILDINGS, PROPOSED UTILITIES.
- COMPLETE FINE GRADING REQUIRED FOR THE SITE.
- ALL DEBRIS WILL BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY CITY ORDINANCE.

### CONSTRUCTION ENTRANCE & WASH WATER NOTE:

WASH WATER FOR THE CONSTRUCTION ENTRANCE WILL BE OBTAINED FROM A PORTABLE WATER SOURCE PROVIDED BY THE CONTRACTOR. THE CONSTRUCTION ENTRANCE SHALL BE GRADED SO THAT ALL RUNOFF IS DIRECTED TO THE SILT FENCE TO PREVENT SEDIMENT FROM LEAVING THE SITE.

#### CONSTRUCTION DUST NOTE:

DURING DEMOLITION AND CONSTRUCTION OF THE PROPOSED SITE, FUGITIVE DUST IS TO BE CONTROLLED TO LIMIT SPREAD, SETTLEMENT AND IMPACT ON ADJACENT PROPERTIES. FUGITIVE DUST WILL BE CONTROLLED BY THE WETTING OF THE SITE DURING DEMOLITION AND CONSTRUCTION SHOULD CONDITIONS WARRANT. CONTRACTOR IS TO WET THE SITE AS NECESSARY AND UPON DIRECTION FROM CITY SITE INSPECTOR.

### CONSTRUCTION WASTE AND REFUSE CONTROL PROGRAM:

DURING THE CONSTRUCTION PHASE OF THIS DEVELOPMENT, THE SITE DEVELOPER, ITS CONTRACTOR, CERTIFIED LAND DISTURBER. OR OWNER'S OTHER AGENTS SHALL IMPLEMENT A WASTE AND REFUSE CONTROL PROGRAM. THIS PROGRAM SHALL CONTROL WASTES SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT. CHEMICALS, LITTER OR TRASH, TRASH GENERATED BY CONSTRUCTION WORKERS OR MOBILE FOOD VENDOR BUSINESSES SERVING THEM AND SANITARY WASTE AT THE CONSTRUCTION SITE AND PREVENT ITS OFF SITE MIGRATION THAT MAY CAUSE ADVERSE IMPACTS TO THE NEIGHBORING PROPERTIES OR THE ENVIRONMENT TO THE SATISFACTION OF DIRECTORS OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AND CODE ENFORCEMENT. ALL WASTES SHALL BE DISPOSED OFF SITE PROPERLY IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

#### RODENT ABATEMENT NOTE:

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE. THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT FRFF.

### **ARCHAEOLOGY NOTES:**

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY, FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

#### PRE-CONSTRUCTION TRAFFIC CONTROL PLAN NOTE:

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL MEET WITH THE CONSTRUCTION PERMITTING & INSPECTIONS (PHONE 703-746-4035) TO WORK OUT CONSTRUCTION DETAILING, PROPOSED CONTROLS TO TRAFFIC MOVEMENTS. LANE CLOSURES, CONSTRUCTION ENTRANCES, HAUL ROUTES AND STORAGE AND STAGING FOR THE PROJECT. THIS INFORMATION SHALL BE MADE AVAILABLE TO ALL ADJOINING PROPERTY OWNERS AND CIVIC ASSOCIATIONS. ANY TRAFFIC CONTROL DESIGN PLANS, WORK ZONE TRAFFIC CONTROL PLANS AND TRAFFIC STUDIES THAT ARE REQUIRED SHALL BE SEALED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE COMMONWEALTH OF VIRGINIA. ANY PERMITS FOR CLOSING PORTIONS OF THE RIGHT-OF-WAYS ADJACENT TO SITE TO BE OBTAINED PRIOR TO CONSTRUCTION. ALL WORK WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT VERSION OF THE VIRGINIA WORK AREA PROTECTION MANUAL, AND IT'S LATEST REVISIONS, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

### PRE-CONSTRUCTION MEETING WITH NEIGHBORHOOD NOTE:

PRIOR TO COMMENCING CLEARING AND GRADING OF THE SITE. THE DEVELOPER SHALL HOLD A MEETING WITH NOTICE TO ALL ADJOINING PROPERTY OWNERS AND CIVIC ASSOCIATIONS TO REVIEW THE LOCATION OF CONSTRUCTION WORKER PARKING, PLAN FOR TEMPORARY PEDESTRIAN AND VEHICULAR CIRCULATION, AND HOURS AND OVERALL SCHEDULE FOR CONSTRUCTION. THE DEPARTMENTS OF P&Z AND T&ES SHALL BE NOTIFIED OF THE DATE OF THE MEETING AT LEAST 14 CALENDAR DAYS BEFORE THE MEETING DATE AND BEFORE THE PERMIT IS ISSUED.

### PROJECT PLANNER MEETING NOTE:

PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, THE DEVELOPER SHALL SCHEDULE A PRE-INSTALLATION/CONSTRUCTION MEETING WITH THE PROJECT PLANNER IN THE DEPARTMENT OF PLANNING & ZONING TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.

	APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021
THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.	SITE PLAN NO	EROSION AND SEDIMENT CONTROL NARRATIVE
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.	DATE RECORDED	SHEET <b>14</b> OF <b>29</b> FILE: <b>19–153</b>



### PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

A. METHODS AND PROCEDURES 1. VEGETATION PROTECTION ZONES SHALL BE DEPICTED AND DOCUMENTED ON ALL DEVELOPMENT RELATED DRAWING THAT DEPICT WORK AFFECTING THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION. DRAWING AND DOCUMENTS SHALL INCLUDE: a. SITE/BUILDING DEMOTION.

Č

 $\bigcirc$ 

ALTH OF

-76

Lic. No. 0402060162

👷 OCTOBER 13, 2023 🖌

VINCENT M. MCH

ESSIONAT

Ш

Σ

Ω

Ш

**⊿** 

Шσ

<u>≺</u> D

ත් 🗙

DE/ STRE , VIR(

SITE P NDRI/ 920 KINC

FINAL EXAI 916, & 9 - ALEX

 $\geq$ 

Ο

 $\square$ 

 $\bigcirc$ 

DATE | REVISION

பலட

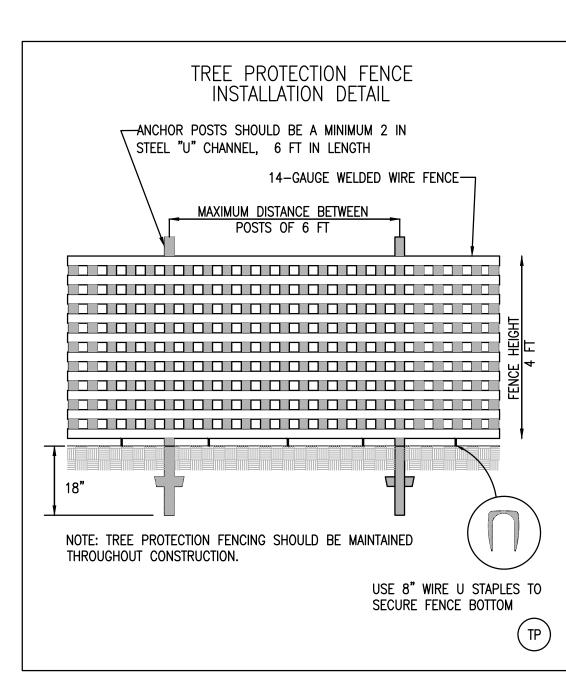
ъ, О

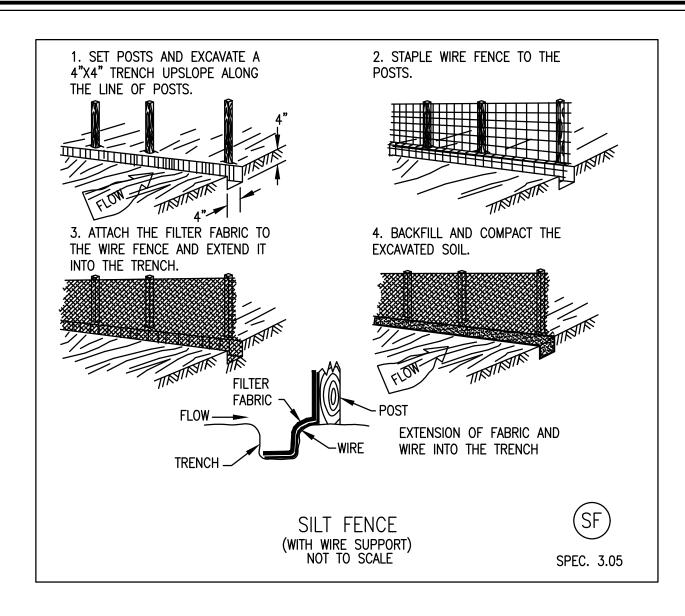
<u>5</u>

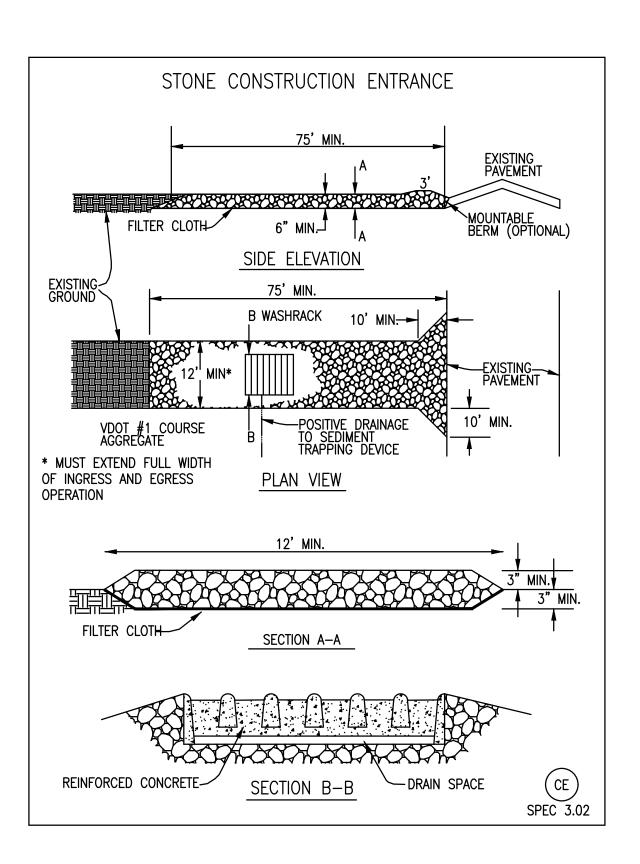
<u>.</u>

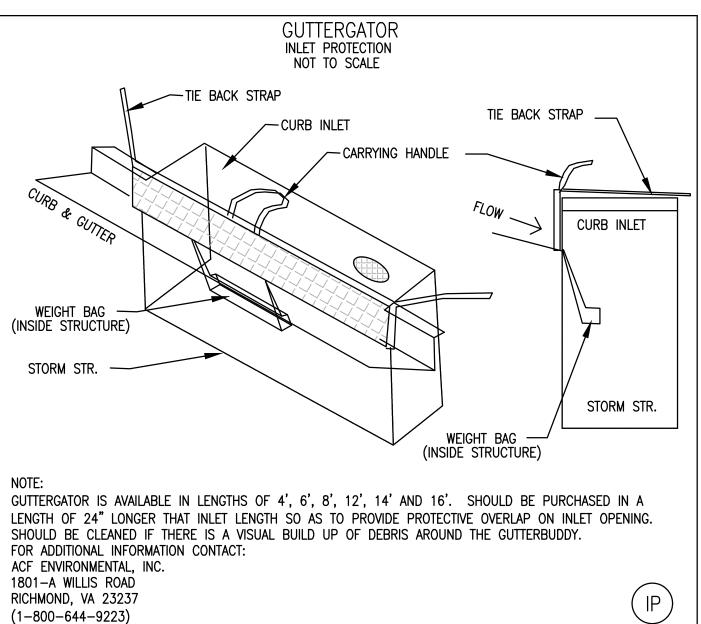
- b. SEDIMENT AND EROSION CONTROL.
- c. SITE UTILITIES AND ARCHITECTURAL FEATURES.
- 2. VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL BE ENCLOSED IN A PROTECTION ZONE THAT ESTABLISHES LIMITS OF CONSTRUCTION DISTURBANCE TO THE ROOT AREA OF DESIGNATED PLANT MATERIAL.
- 3. FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL PROTECTION ZONES. FENCING SHALL BE INSTALLED IN ACCORDANCE WITH FIGURE I-B PER CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- 4. APPROVED FENCING MATERIAL SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM DIMENSIONAL REQUIREMENTS:
- a. LESS THAN FIFTEEN (15) FEET FROM VEGETATION TO BE PROTECTED, PROVIDE CHAIN LINK OR WOOD FENCE. b. GREATER THAN FIFTEEN (15) FEET FROM VEGETATION TO BE PROTECTED, PROVIDE PLASTIC OR WOOD
- SNOW FENCE. c. SILT, EROSION CONTROL OR GEOTECHNICAL FABRIC MATERIALS ARE NOT ACCEPTABLE FOR USE AS FENCE. d. FOR SPECIALLY DESIGNATED, SPECIMEN QUALITY, HISTORIC, OR CULTURALLY SIGNIFICANT VEGETATION PROVIDE EXTRAORDINARY MEASURES AS DIRECTED BY THE CITY ARBORIST.
- 5. TYPE OF VEGETATION PROTECTION AND OR PRESERVATION MATERIAL MAY VARY DUE TO SITE DISTURBANCE LIMITS AND PROXIMITY TO DESIGNATION VEGETATION, SPECIAL OR PAVED AREAS.
- 6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND AT ANY CHANGE OF PROJECT PHASING. THE FOLLOWING PROTECTION ITEMS SHALL BE VERIFIED AND APPROVED IN FIELD BY THE CITY ARBORIST:
- a. LOCATION AND ESTABLISHMENT. b. INSTALLATION PROCEDURES AND METHODS.
- c. ANTICIPATED PHASING AND TIMING OF CONSTRUCTION. d. MAINTENANCE PROCEDURES, METHODS AND MEASURES.
- 7. PRIOR TO ANY ALTERATION OF SITE CONDITIONS, THE FOLLOWING ITEMS SHALL BE VERIFIED AND APPROVED IN-FIELD BY THE CITY ARBORIST: a. CHANGES, ALTERATION OR MODIFICATIONS TO PROTECTION ZONES.
- b. REMOVAL OF PROTECTION FENCING.
- c. SITE DISTURBING ACTIVITIES WITHIN DESIGNATED PROTECTION ZONES INCLUDING ROOT PRUNING, MODIFICATION OR RESTORATION OF GRADE CONDITIONS.
- 8. AREAS WHICH ENCOMPASS GROUPING, OR INDIVIDUAL SPECIMEN VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL NOT BE VIOLATED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO: a. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE
- DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES. b. FELLING AND STORING VEGETATION.
- c. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY.
- d. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/ EQUIPMENT PARKING OR STORAGE
- e. TEMPORARY OF PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION. f. DISPOSAL OF DEBRIS OR CHEMICALS.
- g. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.
- 9. WHEN PROPOSED DEVELOPMENT IMPACT EXISTING VEGETATION ON NEIGHBORING PROPERTIES, PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE THE FOLLOWING: a. DOCUMENTATION THAT INCLUDES; NOTIFICATION OF CONSTRUCTION IMPACT, TIMING/SCHEDULE/PHASING,
- POTENTIAL FOR LOSS OR DAMAGE, AND AGREED UPON REMEDIAL MEASURES SHOULD LOSS OR DAMAGE b. CERTIFIED COMMUNICATION WITH THE SUBJECT OWNER(S) AND JOINTLY APPROVED BINDING AGREEMENT
- BETWEEN AFFECTED PARTIES.
- 10. WHEN PROPOSED DEVELOPMENT IMPACTS EXISTING VEGETATION WITHIN A RESOURCE PROTECTION AREA (RPA) PROVIDE THE FOLLOWING: a. WATER QUALITY ASSESSMENT AS APPROVED BY THE CITY.
- b. EVIDENCE OF QUALITY AND QUANTITY MITIGATION CONSISTENT WITH RIPARIAN BUFFER MODIFICATION AND MITIGATION PRACTICES AS AVAILABLE THROUGH THE COMMONWEALTH OF VIRGINIA, DEPARTMENT OF CONSERVATION AND RECREATION. REFERENCE http://www.state.va.us/dnh/
- B. MAINTENANCE
- VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL CONTINUOUSLY RECEIVE ENHANCED LEVEL OF MAINTENANCE THROUGH OUT THE ENTIRE CONSTRUCTION PERIOD. 1. MAINTENANCE SHALL BE PRO-ACTIVE.
- 2. MAINTENANCE OPERATION SHALL AGGRESSIVELY MONITOR THE HEALTH, GROWTH AND VIGOR OF VEGETATION PRESCRIBE APPROVED SELECTIVE PRUNING, REMOVAL OF VOLUNTEER AND/OR INVASIVE SPECIES, WATER, FERTILIZATION AND INSTALLATION OF MULCH/TOPDRESSING.
- 3. MAINTENANCE SHALL BE PREFORMED TO THE SATISFACTION OF THE CITY ARBORIST.
- C. REPLACEMENT OF DAMAGED VEGETATION IN—KIND\* REPLACEMENT OF DAMAGED EXISTING VEGETATION SHALL BE LOCATED ON PRIVATE OR PUBLIC LANDS TO THE SATISFACTION OF THE CITY ARBORIST. 1. AT THE DETERMINATION OF THE CITY ARBORIST, EGREGIOUS OR SEVERE DAMAGE TO VEGETATION SHALL
- REQUIRE AN ADDITIONAL REVIEW OF THE PROJECT'S SITE PLAN AND/OR SPECIAL USE PERMIT APPROVAL. AMENDMENT PROCEDURE MAY BE REQUIRED. 2. IN-KIND\* REPLACEMENT OF DAMAGED VEGETATION SHALL AT A MINIMUM BE PREFORMED IN ACCORDANCE WITH
- THE FOLLOWING: a. ONE (1) TREE (IN ACCORDANCE WITH SECTION II AND III) PER CALIPER INCH OF THE SUM TOTAL CALIPER INCH MEASUREMENT OF TREE(S) DEEMED SEVERELY TERMINALLY DAMAGED.
- b. GROUPING OF VEGETATION SUCH AS SHRUBS OR OTHER WOODY PLANTS AT AN INSTALLATION SIZE AND QUANTITY TO SATISFACTION OF THE CITY ARBORIST AND DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPIRATION & ENVIRONMENTAL SERVICES
- 3. MONETARY REMUNERATION (BASED ON VALUE EQUAL TO IN-KIND\* REPLACEMENT) MAY BE REQUIRED ON SITE WHERE FULL OR PARTIAL REPLACEMENT IS NOT PRACTICAL. a. MONETARY VALUE SHALL BE BASED ON THE CURRENT MARKET RATE FOR SPECIFICATION. PROCUREMENT.
- INSTALLATION AND WARRANTY FOR TREES (IN ACCORDANCE WITH SECTION II AND III) AND AS REFERENCED IN THE CITY'S REQUIREMENTS FOR BONDING OF LANDSCAPE MATERIALS. b. CONTRIBUTIONS, PENALTIES AND REMUNERATION SHALL BE DEDICATED TO THE CITY TO THE SATISFACTION
- OF THE DIRECTOR OF RECREATION, PARKS & CULTURAL ACTIVATES. 4. APPLICANT, OWNER OR SUCCESSOR LIABILITY FOR REPLACEMENT OF DAMAGED VEGETATION SHALL EXTEND FOR A PERIOD OF CALENDAR YEARS FROM DATE OF THE LAST AND FINAL PROJECT CERTIFICATION OF OCCUPANCY.
- \* "IN-KIND" REFERS TO THE SPECIES CHARACTER AND PROJECTED MATLIRE SIZE OF THE SUBJECT VEGETATION

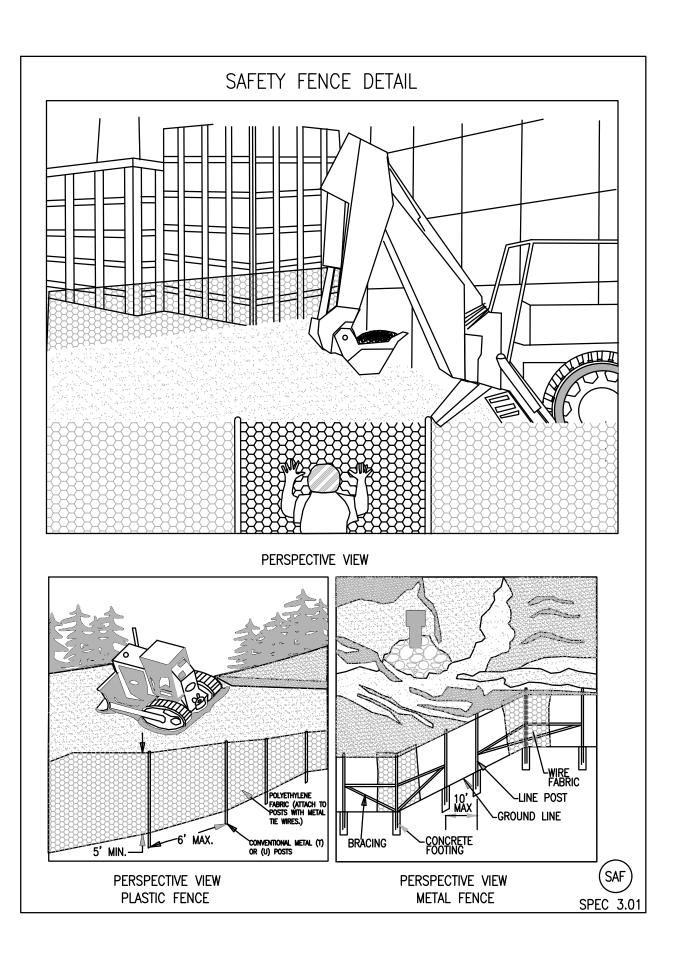
•			IL JELUILS	, CHANACILIN	AND F	NOULCILD MA	NUNL	JIZL	OF THE SUBJE	.01	VLGLIP	
	RFMFDY	REQUIREMENTS	SHALL B	E DETERMINED	AND	UNDERTAKEN	OT I	THF	SATISFACTION	OF	THF	CITY
	ARBORIST	•			/	ONDERMAREN				0.		0111
	ANDONISI	•										











SEEDING SCHEDULE

SPECIES	RATE	APPLICATION DATES
ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100 LBS/ACRE	FEB. 16 TO APRIL 30
GERMAN MILLET	50 LBS/ACRE	MAY 1 TO AUG. 31
50/50 MIX OF ANNUAL RYEGRASS AND CEREAL (WINTER) RYE (SECALE CEREALE)	50–100 LBS/ACRE	SEPT. 1 TO FEB. 15 (WINTER SEED)
TALL FESCUE 90-100%	175-200 LBS/ACRE	APPLY IN ACCORDANCE WITH THE
KENTUCKY BLUEGRASS 0-5%	(4.1 – 4.6 LBS PER 1,000 SQ FT)	MANUFACTURER'S SPECIFICATIONS FOR TIME OF YEAR APPLICABILITY. UTILIZE TEMPORARY SEEDING UNTIL APPROPRIATE
PERENNIAL RYEGRASS 0-5%		TIME TO APPLY PERMANENT SEEDING.
G 5 C T K	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) GERMAN MILLET 50/50 MIX OF ANNUAL RYEGRASS AND CEREAL (WINTER) RYE (SECALE CEREALE) FALL FESCUE 90-100% CENTUCKY BLUEGRASS 0-5%	NNNUAL RYEGRASS (LOLIUM MULTI-FLORUM)60-100 LBS/ACREGERMAN MILLET50 LBS/ACRE50/50 MIX OF ANNUAL RYEGRASS AND CEREAL (WINTER) RYE (SECALE CEREALE)50-100 LBS/ACREGALL FESCUE90-100%175-200 LBS/ACREGALL FESCUE90-100%175-200 LBS/ACREGENTUCKY BLUEGRASS0-5%PER 1,000 SQ FT)

OTHER SEED VARIETIES AND MIXES MAY BE UTILIZED IF THERE IS A PROBLEM WITH PRODUCT AVAILABILITY. CONTACT THE DESIGN ENGINEER AND/OR INSPECTOR FOR THE APPLICABILITY OF OTHER SEED MIXTURES.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. SITE PLAN NO. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. DATE RECORDED ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF INSTRUMENT NO. ALEXANDRIA. © 2021 R.C. FIELDS & ASSOCIATES, INC.

ES

PEER REVIEW

KEY DESCRIPTIONS:

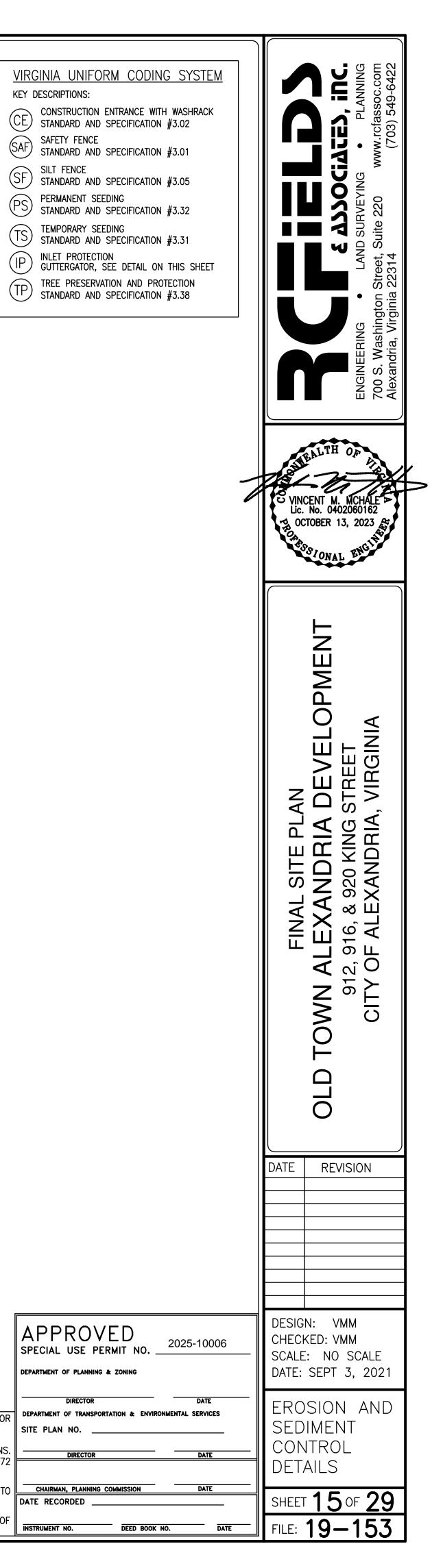
APPROVED

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

DIRECTOR

CHAIRMAN, PLANNING COMMISSION



QIF	REQUES	TL	.ETTER							
	RCF	iZL	ע 3 גם.		ACES				ALEXANDRIA, VA	TE 220 22314
	ENGINEERING	٠	LAND SURVEY	ing •	PLANNING				(703) 54 www.rcfass	
	Sept	embe	er 12, 2020							
	Wat Trar Stor 301	ershe sport mwat King S	aines, MPA, C d Managemen tation & Envir ter and Sanita Street, Room 3 a, VA 22314	it Planner onmental S ry Infrastru						
	Re:		SUP#2019-0 12, 916, & 92		eet					
	Dear	Mr. N	Maines:							
	cont	ributi		xandria W	ater Qualit	y Improvemo			provide a mor tion of the pro	
	hydı	odyn		ility. We are	e providing	the followin	g method	(provided t	ention facility to us by OEQ) fo our approval:	
	9,95	7 sq. f	e water qualit ft. impervious are feet x \$2.0	– 8,439 sq.	ft. treated	= 1,518 sq. ft	. impervic	ous untreate	ed	
	The	result	ting contribut	ion for this	project is \$	3,036.00.				
			roved, this re ite plan subm	-	<b>U</b>				e included as p	art of
	Thai	ık yoı	u for your atte	ntion to thi	is matter.					
		ectfu FIELI	ılly, <b>DS &amp; ASSOCI</b> A	ATES, INC.						
	v	Hu	mitho	A(13						
		e Mc ect M	:Hale Ianager							
QIF	APPROV	AL	LETTER							
						A A A A A A A A A A A A A A A A A A A				

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES Infrastructure and Environmental Quality 2900B Business Center Drive

Alexandria, Virginia 22314

www.alexandriava.gov

10/21/2021

RC Fields & Associates Inc Attn: Vince McHale 730 S. Washington St. Alexandria, Virginia 22314

RE: 912 King St DSUP2019-00032

Dear Vince McHale:

This is in regard to your letter dated September 12, 2020 requesting to meet the Alexandria Water Quality Volume Default (WQVD) in a Resource Management Area per Article XIII, Section 13-109(E)(6) by treating 85 percent of the WQVD in the project area(s) through stormwater quality controls (structural BMPs) and by participating in the City's Water Quality Improvement Fund (WQIF). You have requested to pay a fee in lieu of providing an onsite BMP as outlined in Article XIII, Section 13-110(A)(2). You have agreed to provide a monetary contribution of \$3036.00 (1518 square feet impervious surface x \$2/square foot) to the Alexandria WQIF. This represents 100 percent of the overall WQVD left untreated.

Your request has been approved. The procedure now is to scan your request letter onto your final plan on a sheet that is labeled Stormwater Facility BMP Details or something similar. Your final plan will be eligible for approval when you have paid the fee (\$3036.00). The approval of the plan (with your request therein) will act as the approval of your request.

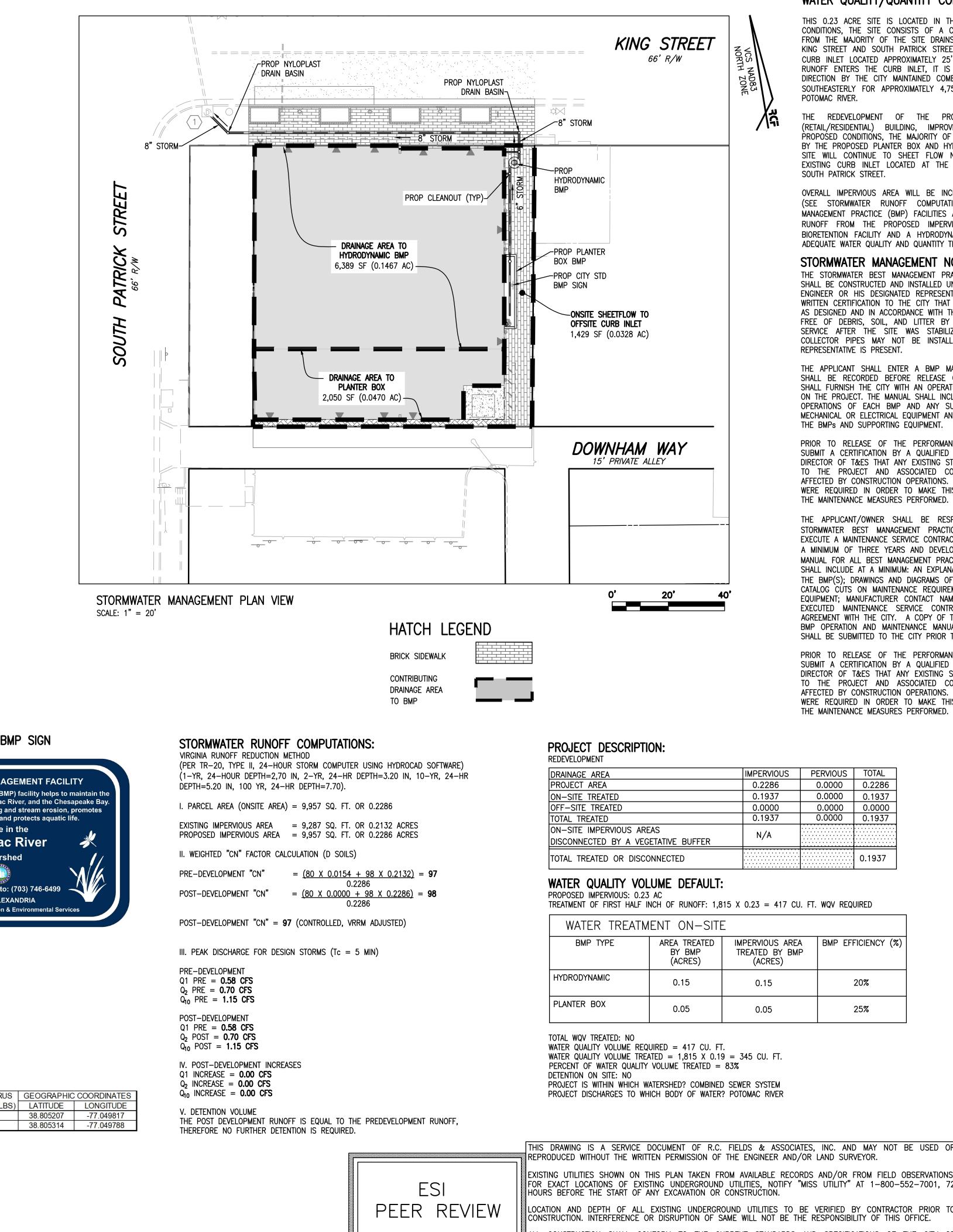
Sincerely

Melanie Mason Principal Planner **TES Stormwater Management** 

BMP FACILITY	AREA TREATED	IMPERVIOUS AREA	PERVIOUS AREA	TP REMOVAL	PHOSPHORU
BIVIP FACILITY	(ACRES)	TREATED (ACRES)	TREATED (ACRES)	EFFICIENCY	REMOVED (LE
BIORETENTION	0.0470	0.0470	0.0000	25%	0.06
HYDRODYNAMIC BMP	0.1467	0. <mark>14</mark> 67	0.0000	20%	0.07

SURFACE BMP SIGN





## WATER QUALITY/QUANTITY COMPLIANCE NARRATIVE:



THIS 0.23 ACRE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS. THE SITE CONSISTS OF A CITY OWNED PUBLIC PARKING LOT. RUNOFF FROM THE MAJORITY OF THE SITE DRAINS NORTHWEST TOWARD THE INTERSECTION OF KING STREET AND SOUTH PATRICK STREET WHERE IT IS COLLECTED BY AN EXISTING CURB INLET LOCATED APPROXIMATELY 25' NORTHWEST OF THE PROPERTY. ONCE THE RUNOFF ENTERS THE CURB INLET. IT IS THEN CONVEYED INITIALLY IN A NORTHERLY DIRECTION BY THE CITY MAINTAINED COMBINED SEWER SYSTEM AND THEN ULTIMATELY SOUTHEASTERLY FOR APPROXIMATELY 4,750' WHERE THE RUNOFF OUTFALLS TO THE POTOMAC RIVER.

THE REDEVELOPMENT OF THE PROJECT PROPOSES A NEW MIXED-USE (RETAIL/RESIDENTIAL) BUILDING, IMPROVED STREETSCAPE AND OPEN SPACE. IN PROPOSED CONDITIONS, THE MAJORITY OF THE SITE WILL BE COLLECTED AND TREATED BY THE PROPOSED PLANTER BOX AND HYDRODYNAMIC BMP. A SMALL PORTION OF THE SITE WILL CONTINUE TO SHEET FLOW NORTHWEST UNTIL IT IS COLLECTED BY AN EXISTING CURB INLET LOCATED AT THE SOUTHEAST CORNER OF KING STREET AND SOUTH PATRICK STREET.

OVERALL IMPERVIOUS AREA WILL BE INCREASED WITH THE PROPOSED DEVELOPMENT (SEE STORMWATER RUNOFF COMPUTATIONS ON THIS SHEET). MULTIPLE BEST MANAGEMENT PRACTICE (BMP) FACILITIES ARE PROPOSED TO TREAT THE MAJORITY OF RUNOFF FROM THE PROPOSED IMPERVIOUS AREAS OF THE SITE (INCLUDING A BIORETENTION FACILITY AND A HYDRODYNAMIC BMP). THESE BMP FACILITIES PROVIDE ADEQUATE WATER QUALITY AND QUANTITY TREATMENT FOR THIS SITE.

### STORMWATER MANAGEMENT NOTE:

THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPs ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN, AND ARE CLEAN AND FREE OF DEBRIS, SOIL, AND LITTER BY HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER THE SITE WAS STABILIZED. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

THE APPLICANT SHALL ENTER A BMP MAINTENANCE AGREEMENT WITH THE CITY THAT SHALL BE RECORDED BEFORE RELEASE OF THE FINAL SITE PLAN. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPs ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPs AND SUPPORTING EQUIPMENT.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORM WATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION. PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING STORMWATER BEST MANAGEMENT PRACTICES (BMPS). THE APPLICANT/OWNER SHALL EXECUTE A MAINTENANCE SERVICE CONTRACT WITH A QUALIFIED PRIVATE CONTRACTOR FOR A MINIMUM OF THREE YEARS AND DEVELOP AN OWNER'S OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT. THE MANUAL SHALL INCLUDE AT A MINIMUM: AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF THE BMP(S): DRAWINGS AND DIAGRAMS OF THE BMP(S) AND ANY SUPPORTING UTILITIES: CATALOG CUTS ON MAINTENANCE REQUIREMENTS INCLUDING MECHANICAL OR ELECTRICAL EQUIPMENT; MANUFACTURER CONTACT NAMES AND PHONE NUMBERS; A COPY OF THE EXECUTED MAINTENANCE SERVICE CONTRACT; AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY. A COPY OF THE CONTRACT SHALL ALSO BE PLACED IN THE BMP OPERATION AND MAINTENANCE MANUAL. A COPY OF THE MAINTENANCE CONTRACT SHALL BE SUBMITTED TO THE CITY PRIOR TO RELEASE OF THE PERFORMANCE BOND.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORMWATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION. PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

APPROVED

SPECIAL USE PERMIT NO.

DATE

DATE

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

CHAIRMAN, PLANNING COMMISSION

DEED BOOK NO.

SITE PLAN NO.

DATE RECORDED

INSTRUMENT NO.

	IMPERVIOUS	PERVIOUS	TOTAL
	0.2286	0.0000	0.2286
	0.1937	0.0000	0.1937
	0.0000	0.0000	0.0000
	0.1937	0.0000	0.1937
R	N/A		
	· · · · · · · · · · · · · · · · · · ·		0.1937

TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.23 = 417 CU. FT. WQV REQUIRED

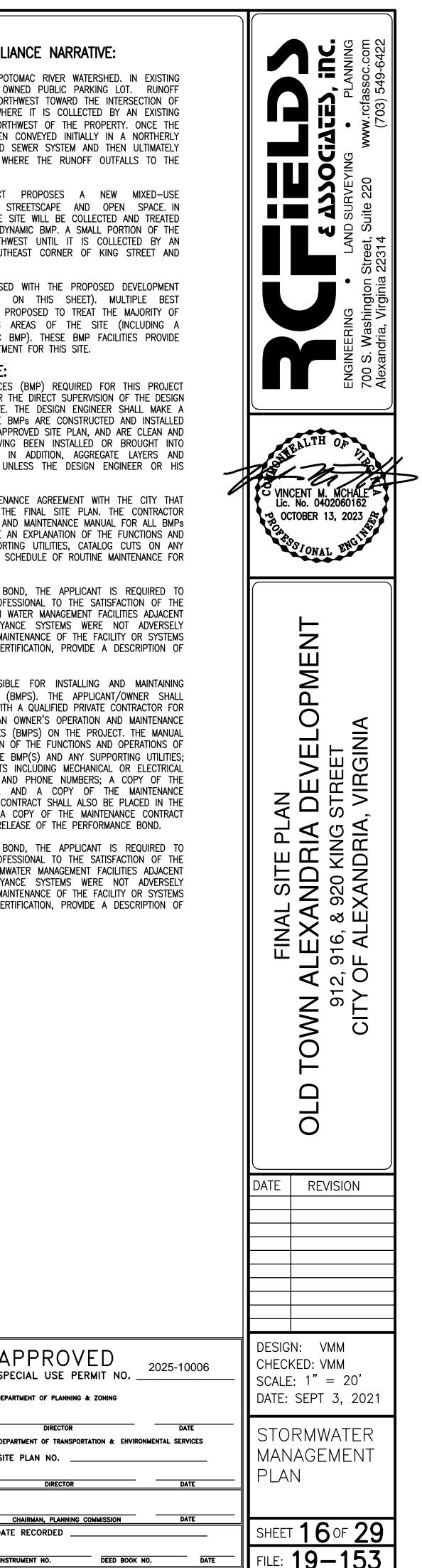
SIT	Ē	
TED	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
	0.15	20%
	0.05	25%

J. FT.			
0.19 =	345	CU.	FT
D = 83%	<b>7</b>		

ALEXANDRIA.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.



## **BIORETENTION MAINTENANCE GUIDELINES:** REFERENCE: VA DEQ STORMWATER DESIGN SPECIFICATION #9: SECTION 9

### **SECTION 9: MAINTENANCE**

### 9.1. Maintenance Agreements

Section 4 VAC 50-60-124 of the regulations specifies the circumstances under which a maintenance agreement to must be executed between the owner and the local program. This section sets forth inspection requirements, compliance procedures if maintenance is neglected, notification of the local program upon transfer of ownership, and right-of-entry for local program personnel.

For bioretention, maintenance agreements must contain recommended maintenance tasks and a copy of an annual inspection checklist. When micro-scale bioretention practices are applied on private residential lots, homeowners will need to be educated regarding their routine maintenance needs. A deed restriction, drainage easement or other mechanism enforceable by the qualifying local program must be in place to help ensure that rain gardens and bioretention filters are maintained and not converted or disturbed, as well as to pass the knowledge along to any subsequent owners. The mechanism should, if possible, grant authority for local agencies to access the property for inspection or corrective action.

#### 9.2. First Year Maintenance Operations

Successful establishment of bioretention areas requires that the following tasks be undertaken in the first year following installation:

- *Initial inspections.* For the first 6 months following construction, the site should be inspected at least twice after storm events that exceed 1/2 inch of rainfall.
- Spot Reseeding. Inspectors should look for bare or eroding areas in the contributing drainage area or around the bioretention area, and make sure they are immediately stabilized with
- grass cover. *Fertilization.* One-time, spot fertilization may be needed for initial plantings.
- Watering. Watering is needed once a week during the first 2 months, and then as needed during first growing season (April-October), depending on rainfall.
- *Remove and replace dead plants.* Since up to 10% of the plant stock may die off in the first year, construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction. The typical thresholds below which replacement is required are 85% survival of plant material and 100% survival of trees.

#### 9.3. Maintenance Inspections

It is highly recommended that a spring maintenance inspection and cleanup be conducted at each pioretention area. The following is a list of some of the key maintenance problems to look for:

- Check to see if 75% to 90% cover (mulch plus vegetative cover) has been achieved in the bed, and measure the depth of the remaining mulch.
- Check for sediment buildup at curb cuts, gravel diaphragms or pavement edges that prevents flow from getting into the bed, and check for other signs of bypassing.
- Check for any winter- or salt-killed vegetation, and replace it with hardier species. Note presence of accumulated sand, sediment and trash in the pre-treatment cell or filter beds, and remove it.
- Inspect bioretention side slopes and grass filter strips for evidence of any rill or gully erosion, and repair it.
- Check the bioretention bed for evidence of mulch flotation, excessive ponding, dead plants or concentrated flows, and take appropriate remedial action.
- Check inflow points for clogging, and remove any sediment.
- Look for any bare soil or sediment sources in the contributing drainage area, and stabilize them immediately
- Check for clogged or slow-draining soil media, a crust formed on the top layer, inappropriate soil media, or other causes of insufficient filtering time, and restore proper filtration characteristics.

Example maintenance inspection checklists for Bioretention areas can be accessed in Appendix C of Chapter 9 of the Virginia Stormwater Management Handbook (2010) or at the Center for Watershed Protection website at:

#### http://www.cwp.org/Resource\_Library/Controlling\_Runoff\_and\_Discharges/sm.htm (scroll to Tool6: Plan Review, BMP Construction, and Maintenance Checklists)

#### 9.4. Routine and Non-Routine Maintenance Tasks

Maintenance of bioretention areas should be integrated into routine landscape maintenance tasks. If landscaping contractors will be expected to perform maintenance, their contracts should contain specifics on unique bioretention landscaping needs, such as maintaining elevation differences needed for ponding, proper mulching, sediment and trash removal, and limited use of fertilizers and pesticides. A customized maintenance schedule must be prepared for each bioretention facility, since the maintenance tasks will differ depending on the scale of bioretention, the landscaping template chosen, and the type of surface cover. A generalized summary of common maintenance tasks and their frequency is provided in **Table 9.7**.

The most common non-routine maintenance problem involves standing water. If water remains on the surface for more than 48 hours after a storm, adjustments to the grading may be needed or underdrain repairs may be needed. The surface of the filter bed should also be checked for accumulated sediment or a fine crust that builds up after the first several storm events. There are several methods that can be used to rehabilitate the filter (try the easiest things first, as listed below):

- Open the underdrain observation well or cleanout and pour in water to verify that the underdrains are functioning and not clogged or otherwise in need of repair. The purpose of this check is to see if there is standing water all the way down through the soil. If there is standing water on top, but not in the underdrain, then there is a clogged soil layer. If the underdrain and stand pipe indicates standing water, then the underdrain must be clogged and will need to be snaked.
- Remove accumulated sediment and till 2 to 3 inches of sand into the upper 8 to 12 inches of soil.
- Install sand wicks from 3 inches below the surface to the underdrain layer. This reduces the average concentration of fines in the media bed and promotes quicker drawdown times. Sand wicks can be installed by excavating or augering (using a tree auger or similar tool) down to the gravel storage zone to create vertical columns which are then filled with a clean opengraded coarse sand material (ASTM C-33 concrete sand or similar approved sand mix for bioretention media). A sufficient number of wick drains of sufficient dimension should be installed to meet the design dewatering time for the facility.

#### BIOF REFER

St

	MATERIAL SPECIFICATIONS: STORMWATER DESIGN SPECIFICATION #9:	BIORETENTION TABLE 9.6
	Table 9.7. Bioretention Materia	
Material	Specification	Notes
Filter Media Composition	Filter Media to contain: • 80% - 90% sand • 10%-20% soil fines • 3%-5% organic matter	The volume of filter media based on 110% of the plan volume, to account for settling or compaction.
Filter Media Testing	Available P between L+ and M per DCR 2005 Nutrient Management Criteria.	The media should be certified by the supplier.
Mulch Layer	Use aged, shredded hardwood bark mulch or stable coarse compost.	Lay a 2 to 3 inch layer on the surface of the filter bed.
Alternative Surface Cover	Use river stone or pea gravel, coir and jute matting, or turf cover.	Lay a 2 to 3 inch layer of to suppress weed growth.
Top Soil For Turf Cover	Loamy sand or sandy loam texture, with less than 5% clay content, pH corrected to between 6 and 7, and an organic matter content of at least 2%.	3 inch surface depth.
Geotextile/Liner	Use a non-woven geotextile fabric with a flow rate of > 110 gal./min./sq. ft. (e.g., Geotex 351 or equivalent)	Apply only to the sides and directly above the underdrain. For hotspots and certain karst sites only, use an appropriate liner on bottom.
Choking Layer	Lay a 2 to 4 inch layer of sand over a 2 i washed gravel), which is laid over the u	nch layer of choker stone (typically #8 or #89 nderdrain stone.
Stone Jacket for Underdrain and/or Storage Layer	1 inch stone should be double-washed and clean and free of all fines (e.g., VDOT #57 stone).	12 inches for the underdrain; 12 to 18 inches for the stone storage layer, if needed
Underdrains, Cleanouts, and Observation Wells	Use 6 inch rigid schedule 40 PVC pipe (or equivalent corrugated HDPE for micro-bioretention), with 3/8-inch perforations at 6 inches on center; position each underdrain on a 1% or 2% slope located nor more than 20 feet from the next pipe.	Lay the perforated pipe under the length of the bioretention cell, and install non- perforated pipe as needed to connect with the storm drain system. Install T's and Y's as needed, depending on the underdrain configuration. Extend cleanout pipes to the surface with vented caps at the Ts and Ys.
Plant Materials	Plant one tree per 250 square feet (15 feet on-center, minimum 1 inch caliper). Shrubs a minimum of 30 inches high planted a minimum of 10 feet on- center. Plant ground cover plugs at 12 to 18 inches on-center; Plant container- grown plants at 18 to 24 inches on- center, depending on the initial plant size and how large it will grow.	Establish plant materials as specified in the landscaping plan and the recommended plant list. In general, plant spacing must be sufficient to ensure the plant material achieves 80% cover in the proposed planting areas within a 3-year period. If seed mixes are used, they should be from a qualified supplier, should be appropriate for stormwater basin applications, and should consist of native species (unless the seeding is to establish maintained turf).

### SECTION 9-A-7: URBAN BIORETENTION MATERIAL SPECIFICATIONS

Please consult the main part of this design specification (Table 9.7) for the typical materials needed for filter media, stone, mulch and other bioretention features. The unique components for urban bioretention may include the inlet control device, a concrete box or other containing shell, protective grates, and an underdrain that daylights to another stormwater practice or connects to the storm drain system. The underdrain should:

- (less than 1% passing a #200 sieve) VDOT #57 stone.
- Have a minimum of 2 inches of gravel laid above and below the pipe.
- Be laid at a minimum slope of 0.5 %.
- may be either centered in the box or offset to one side. • Be separated from the soil media by an appropriate filter fabric for the particular application 3/8 inch pea gravel.

## **SECTION 9-A-9: MAINTENANCE**

Routine operation and maintenance are essential to gain public acceptance of highly visible urban bioretention areas. Weeding, pruning, and trash removal should be done as needed to maintain the aesthetics necessary for community acceptance. During drought conditions, it may be necessary to water the plants, as would be necessary for any landscaped area.

To ensure proper performance, inspectors should check that stormwater infiltrates properly into the soil within 24 hours after a storm. If excessive surface ponding is observed, corrective measures include inspection for soil compaction and underdrain clogging. Consult the maintenance guidance outlined in the main part of this design specification.

Table 9.7. Suggested Annual Maintenance Activities for Bioretention

#### Maintenance Tasks

- Mowing of grass filter strips and bioretention turf cover Spot weeding, erosion repair, trash removal, and mulch raki
- Add reinforcement planting to maintain desired the vegetation density
- Remove invasive plants using recommended control method Stabilize the contributing drainage area to prevent erosion
- Spring inspection and cleanup
- Supplement mulch to maintain a 3 inch layer
- Prune trees and shrubs Remove sediment in pre-treatment cells and inflow points Replace the mulch layer

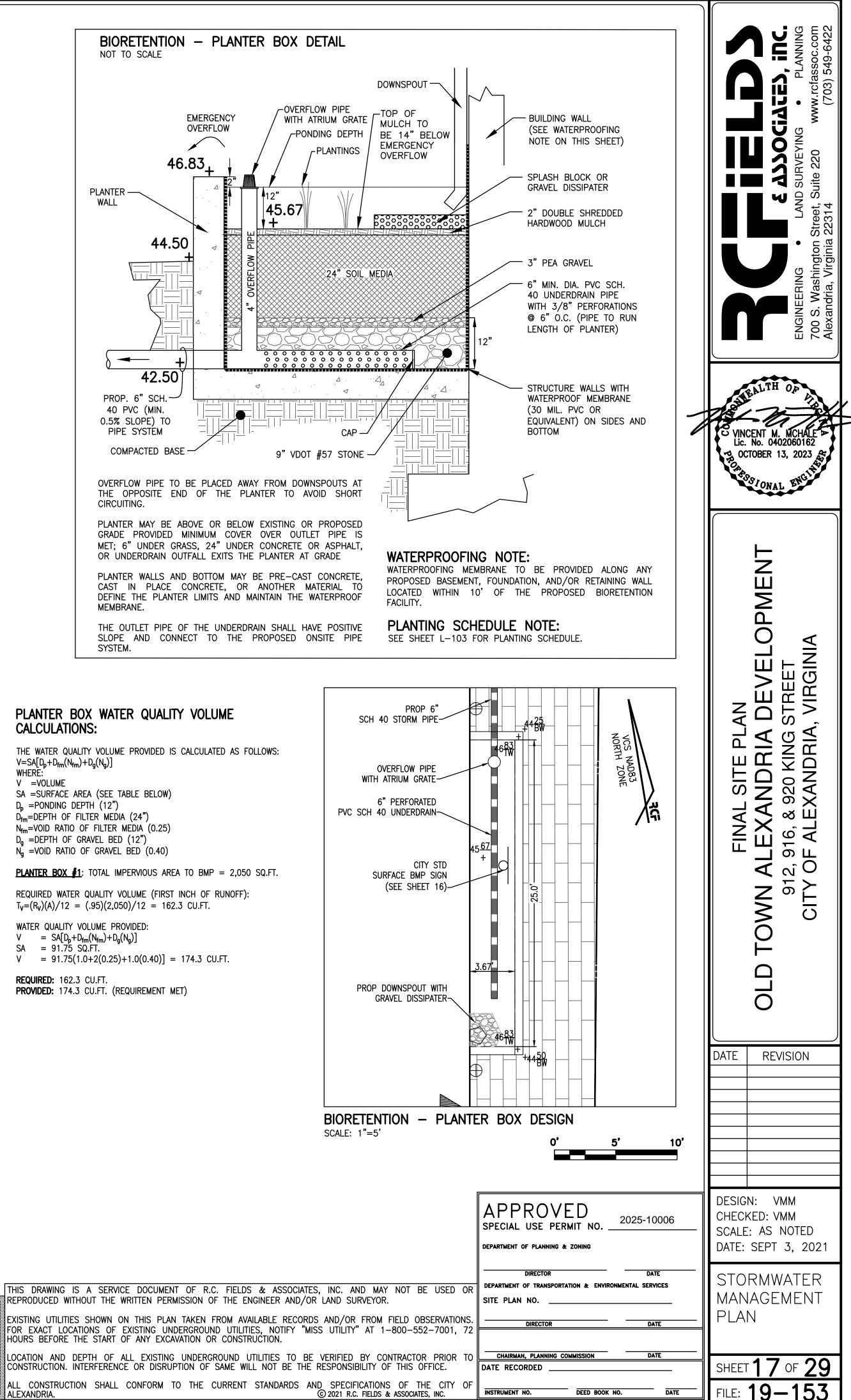
Remove and replace some or all of the soil media.

• Consist of slotted pipe greater than or equal to 4 inches in diameter, placed in a layer of washed

• Extend the length of the box filter from one wall to within 6 inches of the opposite wall, and

based on AASHTO M288-06 or a 2 to 3 inch layer of either washed VDOT #8 stone or 1/8 to

	Frequency
	At least 4 times a year
ing	Twice during growing season
on	
ds	As needed
	Annually
	Once every 2 to 3 years
	Every 3 years



#### PLANTER BOX WATER QUALITY VOLUME CALCULATIONS:

 $V = SA[D_p + D_{fm}(N_{fm}) + D_q(N_q)]$ WHERE:

V =VOLUME SA = SURFACE AREA (SEE TABLE BELOW)

 $D_{n} = PONDING DEPTH (12")$ 

D<sub>fm</sub>=DEPTH OF FILTER MEDIA (24")

N<sub>fm</sub>=VOID RATIO OF FILTER MEDIA (0.25)  $D_{a}$  = DEPTH OF GRAVEL BED (12")

 $N_{a}$  =VOID RATIO OF GRAVEL BED (0.40)

REQUIRED WATER QUALITY VOLUME (FIRST INCH OF RUNOFF):  $T_v = (R_v)(A)/12 = (.95)(2,050)/12 = 162.3$  CU.FT.

WATER QUALITY VOLUME PROVIDED:  $V = SA[D_p+D_{fm}(N_{fm})+D_g(N_g)]$ SA = 91.75 SQ.FT.

V = 91.75(1.0+2(0.25)+1.0(0.40)] = 174.3 CU.FT.

**REQUIRED:** 162.3 CU.FT. **PROVIDED:** 174.3 CU.FT. (REQUIREMENT MET)



ALEXANDRIA.

# URBAN BIORETENTION CONSTRUCTION INSPECTION CHECKLIST:

### **Construction Inspection Checklist: Urban Bioretention**

Project Name:	Address:
DSP/DSUP/GRD #:	Construction Start Date:
Contractor:	Telephone:
Certifying Professional:	Telephone:
BMP ID and General Location:	

- The certifying professional must be a Virginia licensed Professional Engineer, Landscape Architect or Land Surveyor
- A certification is required pursuant to 9VAC25-870-55 of the Virginia Stormwater Management Regulations for all stormwater BMP facilities.
- Inspectors should review the plans carefully and adjust these items and the timing of inspection verification as needed to ensure the intent of the design is met. The standard for design of this practice is based on the Virginia Stormwater BMP Clearinghouse.

Instructions:

- Mark each item as complete or write in "N/A" for those items that are not applicable.
- Fill in the blanks for requested information on dimensions, materials, etc. • Provide one or more labeled photos for applicable items; checkboxes indicate items that require photos. Photos
- requiring measurements (indicated with a dimension to be populated) must include visual verification (ruler, measuring tape, etc.).

Preconstruc	ction Me	eting	
Complete	Photo	Description	Date
		The tentative schedule for construction has been identified and the requirements and schedule for interim inspections verified.	
		A pre-construction meeting with the contractor designated to install the urban bioretention practice, the City SWM/ESC inspector, and the person completing this checklist has been conducted.	
		The SWPPP has been reviewed and requirements verified by the contractor, the person conducting inspections, and the City SWM/ESC inspector (projects over one acre of disturbance)	

BMP Cons	truction	Preparation	
Complete	Photo	Description	Date
		All pervious areas of the contributing drainage areas have been adequately stabilized with a thick layer of vegetation or erosion control measures are still in place and stormwater has been diverted around the area.	
		Impervious cover draining to the BMP has been constructed and area is free of equipment, vehicles and material storage.	
		Stormwater is diverted around the bioretention area and perimeter E&S controls to protect the BMP during construction have been installed.	

Excavation	<u>ı</u>		
Complete	Photo	Description	Date
		The area is marked, and the size and location conform to the approved plan.	
		Excavation has achieved proper grades and the required geometry and elevations.	
Excavation	ı (continu	ued)	
		The box is constructed using the material specified and to the required dimensions as shown on the approved plan/design specifications. Constructed interior dimensions:	

Complete	Photo	Description	Date
		Energy dissipaters and pretreatment practices (forebay, splash rocks, etc.) are installed in accordance with the approved plans/design specifications.	
		All aggregates (stone, sand, etc., as required) conform to the approved plan/design specifications.	
		Impermeable liner/waterproofing (when required) is placed in accordance with manufacturer specifications and the approved plan.	
		#57 stone is placed to achieve the required storage depth per the approved plan/design specifications. Depth of #57 stone ft.	
		Underdrain size and perforations conform to the approved plan/design         specifications. (if applicable)         Underdrain Diameter	
		Placement of underdrain(s), cleanouts/observation wells, and underdrain fittings are in accordance with the approved plan/design specifications.	
		Elevations of underdrain(s) and the outlet structure are in accordance with approved plan.	
		The filter layer (choker stone/pea gravel/sand) is installed per the approved plan/design specifications. Choker material: Depth of choker material:	

Complete	Photo	Description
		Soil media is certified by a supplier or contractor as conforming plan/design specifications.
		Filter media is placed in 12-inch lifts to the design top elevation area. Elevation has been verified after settlement.
		Filter media depth conforms to the approved plan/design spec Depth:ft.

Plant and Outlet Installation			
Complete	Photo	Description	
		The riser or other outlet structure is set to the elevation in the a specifications and functional.	

	Date
ing to the approved	
ion of the bioretention	
cifications.	
	Date
approved plan/design	

Plant and Outlet Installation (continued)				
		Mulch composition and depth conform to the approved plan/design specifications. Depth of mulch layer: Inches		
		Downspouts are installed in accordance with the approved plan/design specifications. (for planter boxes). Inlets are installed in accordance with the approved plan/design specifications. (for BMP tree wells)		
		Ponding depth is in accordance with the approved plan/design specifications after plant and mulch placement. Depth of ponding areainches. (above mulch, 12" maximum)		
		Signs are installed as shown on the approved plan.		
		Plant installation conforms to the approved plan/design specifications and all plants are healthy.		
		Provide a photo of the completed BMP after completion of construction.		

Comments	Date

All items checked above have been inspected by me (or by an individual under my responsible charge) and have been completed to my satisfaction and meet the approved plans and specification (or deviations as noted above).



Date:

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. SITE PLAN NO. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. DATE RECORDED ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF @ 2021 R.C. FIELDS & ASSOCIATES, INC. INSTRUMENT NO. DEED BOOK NO.

69

Certifying Professional's License Number (or Seal): \_\_\_\_\_

Signature:

# HYDRODYNAMIC BMP AS-BUILT CHECKLIST:

Construction Inspection Checklist: Hydrodynamic

	KEIN	
Project Name:	Address:	
DSP/DSUP/GRD #:	Construction Start Date:	
Contractor:	Telephone:	
Certifying Professional:	Telephone:	
BMP ID and General Location:		

BMP ID and General Location:

- The certifying professional must be a Virginia licensed Professional Engineer, Landscape Architect or Land Surveyor
- A certification is required pursuant to 9VAC25-870-55 of the Virginia Stormwater Management Regulations for all stormwater BMP facilities.
- Inspectors should review the plans carefully and adjust these items and the timing of inspection verification as needed to ensure the intent of the design is met. The standard for design of this practice is based on the Virginia Stormwater BMP Clearinghouse. Instructions:
- Mark each item as complete or write in "N/A" for those items that are not applicable.
- Fill in the blanks for requested information on dimensions, materials, etc.
- Provide one or more labeled photos for applicable items; check boxes indicate items that require photos. Photos requiring measurements (indicated with a dimension to be populated) must include visual verification (ruler, measuring tape, etc.).

Preconstruction Meeting

Complete	Photo	Description	Date
		The tentative schedule for construction has been identified and the requirements and schedule for interim inspections verified.	
		A pre-construction meeting with the contractor designated to install the hydrodynamic device, the City SWM/ESC inspector, and the person completing this checklist has been conducted.	
		The SWPPP has been reviewed and requirements verified by the contractor, the person conducting inspections, and the City SWM/ESC inspector (projects over one acre of disturbance)	

#### Hydrodynamic Device Construction Complete Photo Description

Complete	Photo	Description	Date
		Verify the type of hydrodynamic device installed: MTD Manufacturer: MTD Name / Model:	
		Inflow pipe:         Material:          Invert-in elev. (if accessible)          Connection to the BMP structure is in accordance with manufacturer's specification.         Type of connection:	
		Outflow pipe:         Material:          Invert-out elev. (if accessible)          Connection to the BMP structure is in accordance with manufacturer's specification,         Type of connection:	

Hydrodyna	imic Dev	ice Construction (continued)
		Conveyance/overflow structures are installed per the approved plan/design         specifications.         Type:         Dimensions:         Locations:
		All sediment, debris, greases and oils removed from the device after final stabilization.
		Provide a photo of the completed BMP after completion of construction.

All items checked above have been inspected by me (or by an individual under my responsible charge) and have been completed to my satisfaction and meet the approved plans and specification (or deviations as noted above).

Signature:	
-	

Comments

Signature:	Date:	
Certifying Professional's License Number (or Seal):		

APPROVED 2025-10006 DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

CHAIRMAN, PLANNING COMMISSION DATE

	<b>ξ ΔΣΣΟΓΙΔΓΕΙ Ο Σ</b> <b>Δ ΔΣΟΓΙΔΓΕΙ, ΠΩ.</b> LAND SURVEYING • PLANNING set, Suite 220 www.rcfassoc.com 814 (703) 549-6422
r, Landscape Architect or Land water Management Regulations for ming of inspection verification as tis practice is based on the Virginia plicable. te items that require photos. Photos nelude visual verification (ruler,	ENGINEERING • LAND SURVEY 700 S. Washington Street, Suite 220 Alexandria, Virginia 22314
Date       I the requirements and       Install the person completing this	CONTRACTH OF A
be contractor, the etor (projects over one Date	VINCENT M. MCHALE Lic. No. 0402060162 COTOBER 13, 2023 A OCTOBER 13, 2023 A ONAL ENGINE
in. cturer's specification. in. cturer's specification, plan/design after final struction. Date Date Date Units sponsible charge) and n (or deviations as noted above).	FINAL SITE PLAN         PINAL SITE PLAN         OLD TOWN ALEXANDRIA DEVELOPMENT         912, 916, & 920 KING STREET         CITY OF ALEXANDRIA, VIRGINIA
DIRECTOR DATE	DESIGN: VMM CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021 STORMWATER
N NO	MANAGEMENT PLAN

SHEET **18** OF

FILE: **19** 

DATE

#### 912, 916, & 920 King Street ProjecA4:M67t Name: 12/10/2019 Date: Linear Development Project? No

CLEAR ALL (Ctrl+Shift+R)

data input cells constant values calculation cells final results

Site Information

# Post-Development Project (Treatment Volume and Loads)

		Maximum reduction required:			
	The site's net increase in impervious cover (acres) is:				0.0154
	Post-Development TP Load Reduction for Site (lb/yr):				0.08
Pre-ReDevelopment Land Cover (a	cres)				
	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) undisturbed,					0.00
protected forest/open space or reforested					0.00
protected forest, open space of ferorested					0.02
Managed Turf (acres) disturbed, graded for yards or other turf to be				0.02	0.02
Managed Turf (acres) disturbed, graded				0.02	0.25

	A Soils	<b>B</b> Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) undisturbed,					0.00
protected forest/open space or reforested					0.00
Managed Turf (acres) disturbed, graded					0.00
for yards or other turf to be				0.00	0.00
Impervious Cover (acres)				0.27	0.27
Area Check	ОК.	OK.	OK.	OK.	0.27

Constants	
Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (Ib/acre/yr)	0.41
Pj (unitless correction factor)	0.90

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

\_\_\_\_\_

## LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Sumr	narv-Pre	
Pre-Re Development	Listed	Adjusted <sup>1</sup>
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.02	0.00
Weighted Rv(turf)	0.25	0.00
% Managed Turf	6%	0%
Impervious Cover (acres)	0.25	0.25
Rv(impervious)	0.95	0.95
% Impervious	94%	100%
Total Site Area (acres)	0.27	0.25
Site Rv	0.91	0.95
Treatment Volume an	d Nutrient L	oad
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0202	0.0199
Pre-ReDevelopment Treatment Volume (cubic feet)	880	866
Pre-ReDevelopment TP Load (Ib/yr)	0.55	0.54
Pre-ReDevelopment TP Load per acre (Ib/acre/yr)	2.07	2.17
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopmen	tarea excluding	0.10

<sup>1</sup>Adjusted Land Cover Summary:

Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

pervious land proposed for new impervious cover)

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus

acreage of new impervious cover).

Column I shows load reduction requriement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

TP Load Reduction Required (lb/yr) 0.08	
Nitrogen Loads (Informational Purposes Only)	
Pre-Re Development TN Load (Ib/yr) 3.96 Final Post-Develop (Post-Re Develop Impervious	pment & New 4.13

# LAND COVER SUMMARY -- POST DEVELOPMENT Land Cover Summary-Post

Post-ReDevelopment

Land Cover Summary-Post (Final)			
Post ReDev. & New Impervious			
Forest/Open Space Cover (acres)	0.00	Fores	
Weighted Rv(forest)	0.00	Weigh	
% Forest	<mark>0%</mark>		
Managed Turf Cover (acres)	0.00	Mana	
Weighted Rv (turf)	0.00	Weig	
% Managed Turf	0%	<mark>% N</mark>	
Impervious Cover (acres)	0.27	Re De Co	
Rv(impervious)	0.95	Rv(	
% Impervious	100%	%	
Final Site Area (acres)	0.27	Total R	
Final Post Dev Site Rv	0.95	Re	

0.0211

919

0.58

2.17

Final Post-

Development

**Treatment Volume** 

(acre-ft)

**Final Post-**

Development

**Treatment Volume** 

(cubic feet)

**Final Post-Development TP** 

Load (lb/yr) Final Post-Development

TP Load per acre (lb/acre/yr)

Forest/Open Space Cover (acres)	0.00	
Weighted Rv(forest)	0.00	
% Forest	0%	
Managed Turf Cover (acres)	0.00	
Weighted Rv (turf)	0.00	
% Managed Turf	0%	
ReDev. Impervious Cover (acres)	0.25	
Rv(impervious)	0.95	
% Impervious	100%	
Total ReDev. Site Area (acres)	0.25	
Re Dev Site Rv	0.95	

Treatment Volume	and	Nutrient	Load

Post-Re Development Treatment Volume (acre-ft)	0.0199	
Post-Re Development Treatment Volume (cubic feet)	866	
Post-Re Development Load (TP) (Ib/yr)*	0.54	
Post-ReDevelopment TP Load per acre <b>(Ib/acre/yr)</b>	2.17	
Max. Reduction Required (Below Pre- ReDevelopment Load)	10%	
TP Load Reduction Required for Redeveloped Area	0.05	

(lb/yr)

Linear project? No

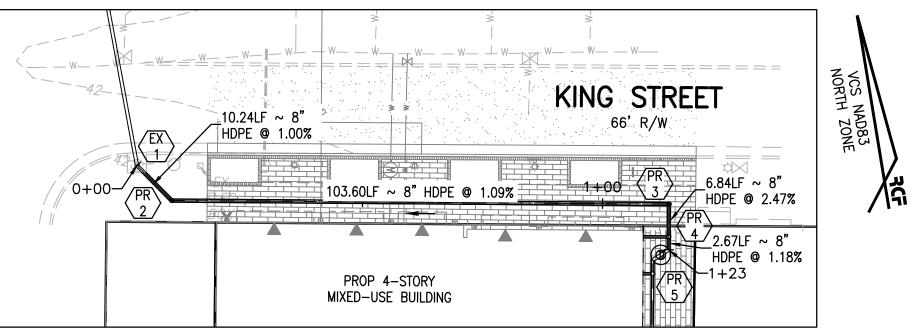
Land cover areas entered correctly? 🖌 🗸

Total disturbed area entered? 🛛 🗸

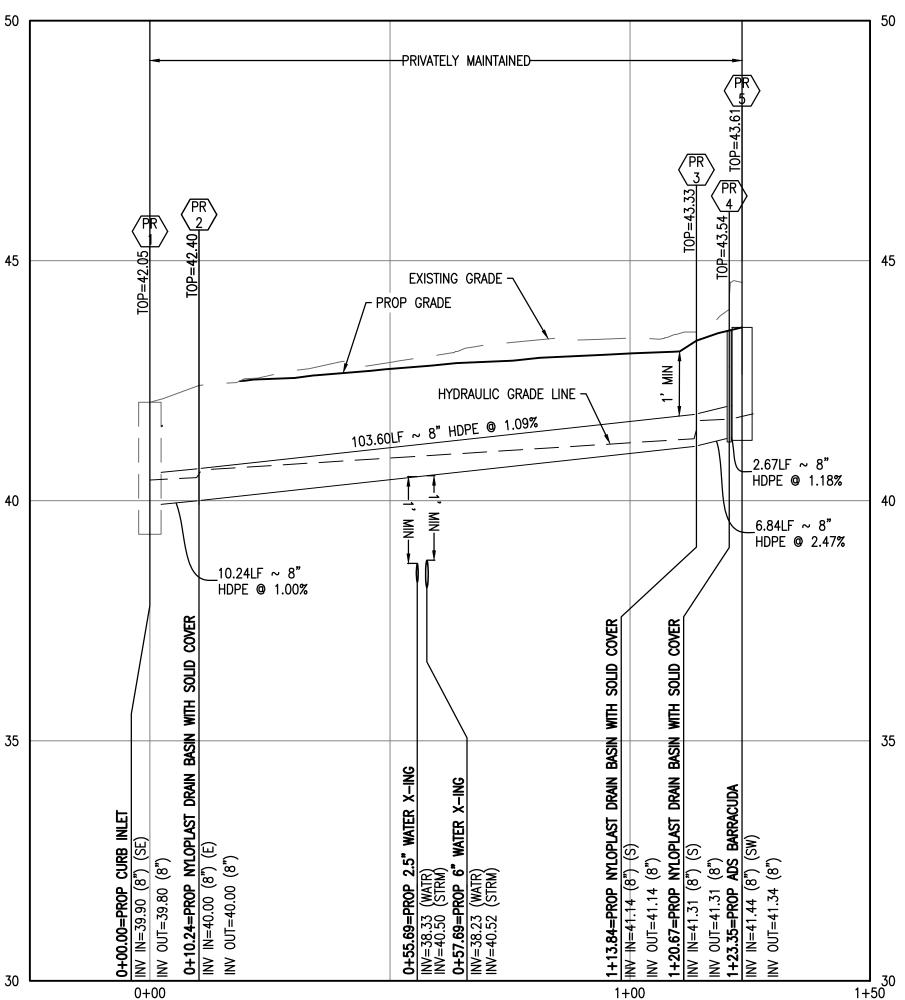
Managed Turf (acres)	A Soils	B Soils	C Soils	D Soils	Totals           0.00           0.00	Land Cover Rv 0.00 0.00							x	
Impervious Cover (acres)				0.00	0.00	0.00		Tota	Phosphorus Ava	lable for Remov	al in D.A. A (Ib/y	r) 0.58		
Practice	Runoff Reduction	Managed Turf Credit	Impervious Cover Credit	Total Volume from Upstream	0.27 Runoff Reduction	Remaining Runoff	Total BMP Treatment	Phosphorus Removal	Post Developmer Phosphorus Load from	t Treatment Volu Untreated Phosphorus	ume in D.A. A (ft Phosphorus Removed By	<ul> <li>919</li> <li>Remaining</li> <li>Phosphorus</li> </ul>	Downstream Practice to be	
Flactice		Area (acres)	Area (acres)	Practice (ft <sup>3</sup> )	(ft <sup>3</sup> )		Volume (ft <sup>3</sup> )	Efficiency (%)	Upstream Practices (lb)	Load to Practice (lb)	Practice (lb)	Load (lb)	Employed	
Rooftop Disconnection (RR) 2.i. To Stormwater Planter,														
Irban Bioretention (Spec #9, Appendix A) Manufactured Treatment Devices (n	40		0.05	0	65	97	162	25	0.00	0.10	0.06	0.05	14.a. MTD - Hydrodynamic	
14.a. Manufactured Treatment Device- Hydrodynamic	0		0.15	97	0	607	607	20	0.05	0.32	0.07	0.29		
i i	'	S	ite Resu	ts (Wate	r Quality	/ Complia	nce)	· · ·						
		Area Che		-	D.A. B	D.A. C	D.A. D	D.A. E	AREA CH	ЕСК				
		r/open space	E (ac) 0.0	00	0.00	0.00	0.00	0.00	ОК.					
IN	MPERVIOUS CO		<b>) (ac)</b> 0.1	19	0.00	0.00	0.00	0.00	ОК. ОК.					
MAM	MANAG NAGED TURF A	ED TURF AREA AREA TREATED			0.00	0.00	0.00	0.00	<u>ОК.</u> ОК.					ALTH OF
		AREA CH	ECK O	K.	ОК.	ОК.	OK.	OK.						
Site	te Treatmer	nt Volume	(ft <sup>3</sup> ) 93	37										Lic. No. 040206
Runoff Reduction Volume	and TP Bv	Drainage A	rea											TO PESSION
	-	-	D.A	li	D.A. B	D.A. C	D.A. D	D.A. E	<u> </u>	L				TONAL B
	DUCTION VOLU				0	0.00	0.00	0.00	65 0.59					
TP LOA	AD REDUCTION TP LOAD R	I ACHIEVED (II REMAINING (II			0.00	0.00	0.00	0.00	0.13					
			. <u></u>	······	,,,,,,,		<u>ار ا</u>	,'	i					
NITROGEN LOA			<u>-</u>	+/	0.00	0.00	0.00	0.00	0.47					DPMENT
FINAL POST	Tota	al Phosphoi NT TP LOAD (II		59										
TP LOA	AD REDUCTION	REQUIRED (I	<b>b/yr)</b> 0.0	)8										
	TP LOAD R	EMAINING (Ib	<b>o/yr):</b> 0.4	16										
REMAINING TP LOA			o/yr): 0.0 JCTION EXCEE		B/YEAR **									
Total Nitrogen (F														
NITROGEN LOA		I ACHIEVED (I	<b>b/yr)</b> 0.4	17										
REMAINING POST-DEVELO		JGEN LOAD (II			r storm 10	-year storm								SIT SIT
			2.70		.20	5.20					<b>—</b> ——			× Z A I
<b>Drainage Area A</b> Forest/Open Space undisturbed,	protected	Area (acre	A	3 Soils .00	.20 B Soils 0.00	5.20 C Soils 0.00	<b>D So</b>		Total Area (a Runoff Redu		-			EXA 16, &
Forest/Open Space undisturbed, forest/open space or reforested	ed land	CN	A 9	Soils         .00           30	B Soils 0.00 55	C Soils 0.00 70	0.0	0	Runoff Redu					FINAL LEXA 916, &
Forest/Open Space undisturbed, forest/open space or reforested	ed land yards or other	CN Area (acre CN	A 9 es) 00 es) 00	Soils       .00       30       .00       39	B Soils         0.00         55         0.00         61	C Soils 0.00 70 0.00 74	0.00 77 0.00 80	0	Runoff Redu	ction				FINAL ALEXA 12, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for	ed land yards or other	CN Area (acre	A 9 es) 00 es) 00 es) 00	Soils         .00           30         .00           .00         .00	<b>B Soils</b> 0.00 55 0.00	C Soils 0.00 70 0.00	0.00 77 0.00 80 0.2 98	0	Runoff Redu	ction				FINAL ALEXA 2, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage	ed land yards or other	CN Area (acre CN Area (acre	A 9 es) 00 es) 00 es) 00	Soils       .00       30       .00       39       .00	B Soils 0.00 55 0.00 61 0.00	C Soils 0.00 70 0.00 74 0.00	0.00 77 0.00 80 0.2	0 0 7 A. A)	Runoff Redu	ction				FINAL ALEXA 12, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage	ed land yards or other	CN Area (acre CN Area (acre	A 9 es) 00 es) 00 es) 00 es) 00	Soils       .00       30       .00       39       .00       39       .00       39       .00	B Soils         0.00         55         0.00         61         0.00         98	C Soils 0.00 70 0.00 74 0.00	0.00 77 0.00 80 0.2 98 CN <sub>(D.</sub> 98	0 0 7 A. A)	Runoff Redu	ction				FINAL ALEXA 12, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover <b>RV<sub>Developed</sub> (watershed-inch</b> )	ad land yards or other ed	CN Area (acre CN Area (acre CN	A : es) 0 es) 0 es) 0 1-year tion* 2	Soils       .00       30       .00       39       .00       39       .00       39       .00	B Soils         0.00         55         0.00         61         0.00         98	C Soils 0.00 70 0.00 74 0.00 98	0.00 77 0.00 80 0.2 98 CN <sub>(D.</sub> 98	0 0 7 A. A)	Runoff Redu	ction				D TOWN ALEXA
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover	ad land yards or other ed	CN Area (acre CN Area (acre CN CN	A : es) 00 es) 00 es) 00 es) 00 <b>1-year</b> tion* 2 tion* 2	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .01         .02         .03         .04         .05         .06         .07         .08         .09         .01         .02         .03         .04	B Soils 0.00 55 0.00 61 0.00 98 ear storm 2.97 2.90	C Soils 0.00 70 0.00 74 0.00 98 <b>10-year stor</b> 4.96 4.90	0.00 77 0.00 80 0.2 98 CN <sub>(D.</sub> 98	0 0 7 A. A)	Runoff Redu	ction				FINAL ALEXA 12, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in	ad land yards or other ad b) with no Ru inch) with Ru	CN Area (acre CN Area (acre CN CN unoff Reduct anoff Reduct Adjusted (	A 9 es) 00 es) 00 es) 00 es) 00 1-year tion* 2 tion* 2 CN* 0	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         38         Storm         2-y         .47         .40         37	B Soils 0.00 55 0.00 61 0.00 98 ear storm 2.97 2.90 97	C Soils 0.00 70 0.00 74 0.00 98 <b>10-year stor</b> 4.96 4.90 <b>97</b>	0.00 77 0.00 80 0.2 98 CN <sub>(D.</sub> 98	0 0 7 A. A)	Runoff Redu	ction				PINAL FINAL OLD TOWN ALEXA 912, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N	ad land yards or other ad ) with no Ru inch) with Ru NARRATIVE	CN Area (acre CN Area (acre CN CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A : as) 0 as)	Soils       .00         30       .00         30       .00         39       .00         .00       .00         .47       .00         .40       .00         .00       .00         .00       .00         .01       .00         .01       .00         .01       .00	B Soils 0.00 55 0.00 61 0.00 98 ear storm 2.97 2.90 97 E COMPLIA	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE):	0.00 77 0.00 80 0.2 98 СN <sub>(Р.</sub> 98 m	0 0 7 A. A)	Runoff Redu Volume	ction (ft <sup>3</sup> ): 65				D TOWN ALEXA
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN	CN Area (acre CN Area (acre CN CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils	B Soils 0.00 55 0.00 61 0.00 98 ear storm 2.97 2.90 97 E COMPLIA BANCE) GENERA	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCI	СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98	O O 7 A. A)	Runoff Redu Volume	(ft <sup>3</sup> ): 65	5. PER A 10%			PINAL FINAL OLD TOWN ALEXA 912, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES ( c), DEVELOPMEN G FROM THE PF METHOD WAS L	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00           30         .00           30         .00           39         .00           .00         .00           .01         .00           .02         .02           .03         .03           .04         .04           .05         .05           .05         .07	Image: style i           B Soils           0.00           55           0.00           61           0.00           98           ear storm           2.97           2.97           2.97           98           BANCE) GENERA           IN A NET INCR           QUALITY MANAGE	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM	СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub> 98 СN <sub>(D.)</sub>	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE	ction         (ft <sup>3</sup> ):       65         /ft <sup>3</sup> ):       65         //ent       65         <	A 10% TION IN			PINAL FINAL OLD TOWN ALEXA 912, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch), RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils	B Soils           0.00           55           0.00           61           0.00           98             ear storm           2.97           2.97           2.97           2.90           97           E COMPLIA           BANCE) GENERA           IN A NET INCR           QUALITY MANAGO           FOR THIS SI	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV EMENT PERFORM TE. THE REDUC	MANCE REQUIRE	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIREE	AFRICATIONS (ft <sup>3</sup> ): 65 MENT CONDITIONS MUST RESULT IN REQUIRED REDUC 10% REDUCTIO	A 10% TION IN N (SEE			PINAL FINAL OLD TOWN ALEXA 912, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	Image: marked state           B Soils           0.00           55           0.00           61           0.00           98             ear storm           2.97           2.97           2.97           2.90           97   E COMPLIA BANCE) GENERA IN A NET INCR QUALITY MANAGO FOR THIS SI REQUIREMENTS HE MAJORITY O	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM TE. THE REDUC FOR THE PROPOSE F THE PROPOSE	MANCE REQUIRE TION ACHIEVED D ONSITE IMPEI	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUC         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA	A 10% TION IN N (SEE 'E BEEN			PINAL FINAL OLD TOWN ALEXA 912, 916, &
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	Image: marked state           B Soils           0.00           55           0.00           61           0.00           98             ear storm           2.97           2.97           2.97           2.90           97   E COMPLIA BANCE) GENERA IN A NET INCR QUALITY MANAGO FOR THIS SI REQUIREMENTS HE MAJORITY O	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM TE. THE REDUC FOR THE PROPOSE F THE PROPOSE	MANCE REQUIRE TION ACHIEVED D ONSITE IMPEI	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUC         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA	A 10% TION IN N (SEE 'E BEEN		ΩVFD	DESIGN: VMM
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	Image: marked state           B Soils           0.00           55           0.00           61           0.00           98             ear storm           2.97           2.97           2.97           2.90           97   E COMPLIA BANCE) GENERA IN A NET INCR QUALITY MANAGO FOR THIS SI REQUIREMENTS HE MAJORITY O	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM TE. THE REDUC FOR THE PROPOSE F THE PROPOSE	MANCE REQUIRE TION ACHIEVED D ONSITE IMPEI	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUC         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA	A 10% TION IN N (SEE 'E BEEN	APPR SPECIAL US	OVED 2025-10006	DESIGN: VMM
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	Image: marked state           B Soils           0.00           55           0.00           61           0.00           98             ear storm           2.97           2.97           2.97           2.90           97   E COMPLIA BANCE) GENERA IN A NET INCR QUALITY MANAGO FOR THIS SI REQUIREMENTS HE MAJORITY O	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM TE. THE REDUC FOR THE PROPOSE F THE PROPOSE	MANCE REQUIRE TION ACHIEVED D ONSITE IMPEI	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUC         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA	A 10% TION IN N (SEE 'E BEEN		E PERMIT NO	DESIGN: VMM CHECKED: VMM
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	B Soils         0.00         55         0.00         61         0.00         98             ear storm         2.97         2.97         2.97         2.97         2.90         97         E COMPLIA         BANCE) GENERA         IN A NET INCR         QUALITY MANAG         FOR THIS SI         REQUIREMENTS	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM TE. THE REDUC FOR THE PROPOSE D IN COMPLIANCE	CN <sub>(D.)</sub> 98 CN <sub>(D.)</sub> 98 CN <sub>(D.)</sub> 98 CN <sub>(D.)</sub> 98 MANCE REQUIRE 10US AREA AND MANCE REQUIRE	O A. A) 7 A. A) 7 RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A DE SECTION 13–	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO 09E-(9) AND SE	AENT CONDITIONS MENT CONDITIONS MUST RESULT IN REQUIRED REDUCTIO 10% REDUCTIO 109E-(5)(c) HAV THE ALEXANDRIA CTION 13-110.	A 10% TION IN N (SEE E BEEN	SPECIAL US DEPARTMENT OF PI	E PERMIT NO	DLD TOWN ALEXA 012, 916, & 012, 916, & 012, 916, & 012, 916, & 012, 916, & 013, 916, & 014, 916, & 01
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET. A HYDRODYNAMIC BMP & PLANTER	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils         .00         30         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         39         .00         .00         .00         .01         .02         .47         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .40         .47         .47         .40	B Soils         0.00         55         0.00         61         0.00         98             ear storm         2.97         2.97         2.90         97         E COMPLIA         BANCE) GENERA         IN A NET INCR         QUALITY MANAGO         FOR THIS SI         REQUIREMENTS	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCL EASE IN IMPERV EMENT PERFORM ITE. THE REDUC FOR THE PROPOSE D IN COMPLIANCE THE PROPOSE D IN COMPLIANCE	CN(D.) CN(D.) 98 CN(D.)	O A. A) RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO 09E-(9) AND SE	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUCTIO         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA         CTION 13-110.         VC. AND MAY 1	A 10% TION IN N (SEE E BEEN	SPECIAL US DEPARTMENT OF PI	E PERMIT NO	DATE REVISION DATE REVISION DATE REVISION DESIGN: VMM CHECKED: VMM SCALE: NO S DATE: SEPT 3, STORMWAT QUALITY
Forest/Open Space undisturbed, forest/open space or reforested anaged Turf disturbed, graded for turf to be mowed/manage Impervious Cover RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-inch, RV <sub>Developed</sub> (watershed-in STORM WATER QUALITY N THE PROPOSED REDEVELOPMENT (0. CITY CODE SECTION 13–109E–(5)(c DECREASE IN PHOSPHORUS LOADING THE VIRGINIA RUNOFF REDUCTION M TOTAL PHOSPHOROUS IS 0.08 LB. SPREADSHEET ON THIS SHEET). THE MET.	ad land yards or other ad b) with no Ru inch) with Ru NARRATIVE 0.2286 ACRES (C c), DEVELOPMEN G FROM THE PF METHOD WAS L A HYDRODYNA EREFORE, THE V BOX ARE PROF	CN Area (acre CN Area (acre CN Area (acre CN CN Area (acre CN CN CN CN CN CN CN CN CN CN CN CN CN	A S as) 0 as)	Soils .00 .00 .00 .00 .00 .00 .00 .0	B Soils         0.00         55         0.00         61         0.00         98	C Soils 0.00 70 0.00 74 0.00 98 10-year stor 4.96 4.90 97 ANCE): ATES A NET INCH EASE IN IMPERV SEMENT PERFORM ITE. THE REDUC FOR THE PROPOSE D IN COMPLIANCH FOR THE PROPOSE D IN COMPLIANCH SEMENT PERFORM ITE. SHOWN ON	CN(D.) CN(D.) 98 CN(D.) CN(D.) CN(D.) CN(D.) CO(D.)	O A. A) 7 A. A) 7 RVIOUS AREA FRO DISTURBING LES MENTS FOR THIS (0.13 LB) MEET ENT PER CITY CO RVIOUS AREA. A DE SECTION 13– 0F R.C. FIELDS	Runoff Redu Volume M PRE-DEVELOP S THAN 1 ACRE PROJECT. THE S THE REQUIRED DE SECTION 13- CONTRIBUTION TO 09E-(9) AND SE & ASSOCIATES, NEER AND/OR LA	ction         (ft <sup>3</sup> ):       65         MENT CONDITIONS         MENT CONDITIONS         MUST RESULT IN         REQUIRED REDUC         10% REDUCTIO         109E-(5)(c) HAV         THE ALEXANDRIA         CTION 13-110.         NC. AND MAY N         ND SURVEYOR.         ND/OR FROM FIE	A 10% TION IN N (SEE E BEEN WATER WATER	SPECIAL US DEPARTMENT OF PI DIRE DR DEPARTMENT OF T SITE PLAN NO IS.	E PERMIT NO	DATE REVISION DATE REVISION DATE NON DESIGN: VMM CHECKED: VMM SCALE: NO DATE: SEPT 3, STORMWAT



Required for New Impervious Area (lb/yr)	0.03
--	------



SCALE: 1" = 20'



EX1-PR4 PROFILE VIEW

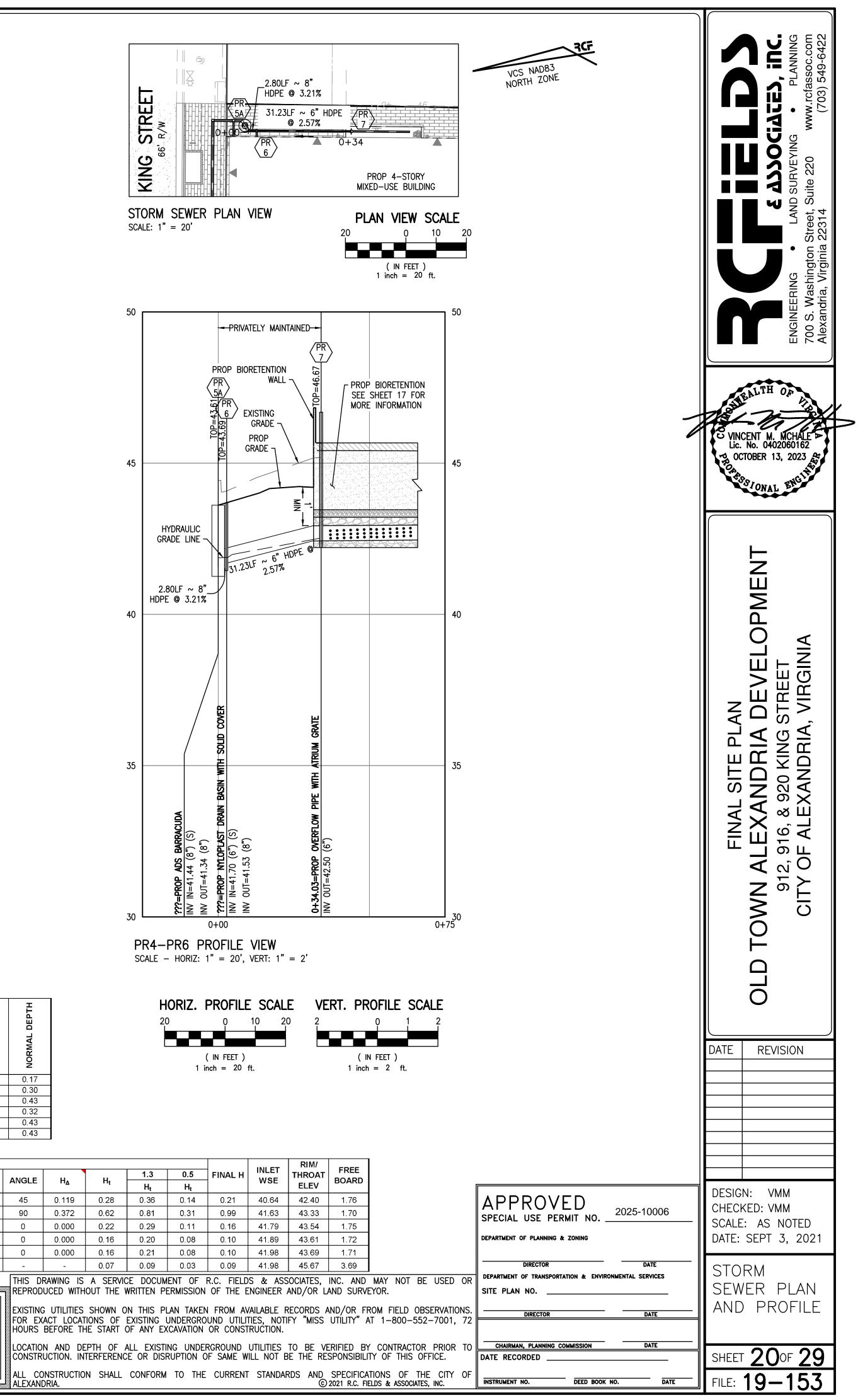
	CTURE	ш	A	R	ТН			٥	R				()	Z	E H	H		(6	I			Н	ORIZ.	Ρ
FROM	ТО	INC. DRAINAGE AREA (AC)	ACCUM. DRAINAGE ARE. (AC)	CURVE NUMBER (CN)	RAINFALL DEP1 (IN)	Tc (MINUTES)	INCREMENTAL "Q" (CFS)	ACCUMULATEI "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	u.	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH			20		( inc
PR7	PR6	0.05	0.05	98	5.20	5	0.24	0.24	6	2.56%	0.012	0.97	4.97	31.23	42.50	41.70	0.80	4.12	0.17					
PR6	PR5A	0.15	0.20	98	5.20	5	0.74	0.98	8	3.21%	0.012	2.35	6.74	2.80	41.53	41.44	0.09	6.43	0.30					
PR5	PR4	-	0.20	-	-	-	-	0.98	8	0.97%	0.012	1.29	3.71	2.67	41.34	41.31	0.03	4.07	0.43					
PR4	PR3	-	0.20	-	-	-	-	0.98	8	2.49%	0.012	2.06	5.93	6.84	41.31	41.14	0.17	5.85	0.32					
PR3	PR2	-	0.20	-	-	-	-	0.98	8	1.00%	0.012	1.31	3.77	103.60	41.14	40.10	1.04	4.12	0.43					
PR2	EX1	-	0.20	-	-	-	-	0.98	8	1.00%	0.012	1.31	3.75	10.24	40.00	39.90	0.10	4.12	0.43					
HYDR																								
		GRA	DE LIN	E CA	LCULA	<b>ATION</b>	S (10	)-YE/	AR. 24	4–HOU	R)													
			<u>de lin</u>	E CA	LCULA	TION	<u>S (10</u>	)_YE/	AR, 24	<u>4-HOU</u>	R)					J		N LOSS						
INLET		LET	DE LIN D <sub>o</sub> (in)		LCULA 20	TION:	S (10   s <sub>f</sub> ₀		AR, 24 <sub>Hr</sub>				0									1.3	0.5	
									-	<b>4—HOU</b> ∨∘	<mark>R)</mark> н.	<b>b</b>	Qi	Vi	Qi*V		UNCTIO	N LOSS H <sub>i</sub>	ANGLE	H <sub>Δ</sub>	H <sub>t</sub>	1.3 H <sub>t</sub>	0.5 H <sub>t</sub>	
		LET		c				%	-				<b>Q</b> i 0.98	V <sub>i</sub> 4.12	<b>Q</b> i*V 4.04	/i V			ANGLE 45	<b>H∆</b> 0.119	<b>Н</b> t 0.28			
INLET	ID OUT W: 40	TLET SE	D <sub>o</sub> (in)	<b>C</b> 0.	<b>1</b> 0 98	L <sub>0</sub>	S <sub>fo</sub>	% 3%	H <sub>f</sub>	Vo	На	66				/i V	/i <sup>2</sup> /2g	Hi			-	Ht	Ht	- F
INLET	ID OUT W 40 40	<b>SE</b>	<b>D<sub>o</sub> (in)</b> 8	0. 0.	<b>1</b> 0 98	L <sub>0</sub> 10.24	<b>S</b> <sub>fo</sub>	% 3% 3%	H <sub>f</sub> 0.07	<b>Vo</b> 4.12	0.00	66 66	0.98	4.12	4.04	/i V 1 (	7; <sup>2</sup> /2g 0.26	<b>Н</b> і 0.09	45	0.119	0.28	<b>H</b> t 0.36	<b>H</b> t 0.14	
INLET PR2 PR3	ID OUT W 40 40 41	LET SE .43 .64	<b>D<sub>o</sub> (in)</b> 8 8	0. 0. 0.	<b>20</b> 98 98	L <sub>0</sub> 10.24 103.60	0.658	% 3% 3% 3%	H <sub>f</sub> 0.07 0.68	<b>Vo</b> 4.12 4.12	0.06	66 66 33	0.98 0.98	4.12 5.85	4.04	/i V 1 ( 3 ( 9 (	7 <mark>i<sup>2</sup>/2g</mark> 0.26 0.53	H <sub>i</sub> 0.09 0.19	45 90	0.119	0.28	H <sub>t</sub> 0.36 0.81	H <sub>t</sub> 0.14 0.31	
INLET PR2 PR3 PR4	ID OUT W 40 40 41 41	.43 .64 .63	D <sub>o</sub> (in) 8 8 8	0. 0. 0. 0.	<b>20</b> 98 98 98	L <sub>0</sub> 10.24 103.60 6.84	<b>S</b> fo 0.658 0.658 0.658	% 3% 3% 3% 3%	H <sub>f</sub> 0.07 0.68 0.05	Vo 4.12 4.12 5.85	0.06	56 56 33 54	0.98 0.98 0.98	4.12 5.85 4.07	4.04 5.73 3.99	/i V 1 (i 3 (i ) (i ) (i)	7 <mark>;<sup>2</sup>/2g</mark> 0.26 0.53 0.26	H <sub>i</sub> 0.09 0.19 0.09	45 90 0	0.119 0.372 0.000	0.28 0.62 0.22	H <sub>t</sub> 0.36 0.81 0.29	H <sub>t</sub> 0.14 0.31 0.11	

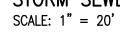
STORM SEWER PLAN VIEW

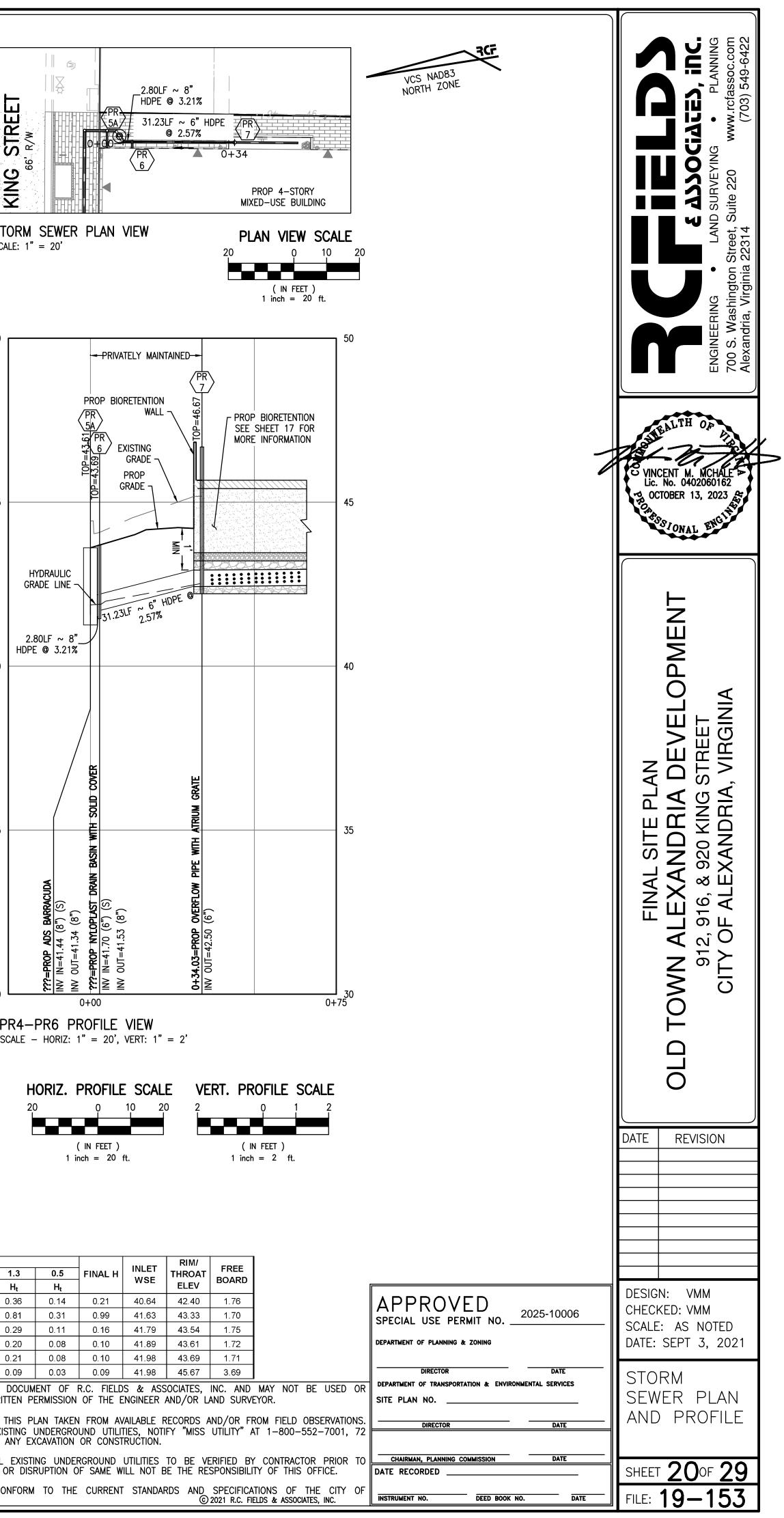
SCALE – HORIZ: 1" = 20', VERT: 1" = 2'

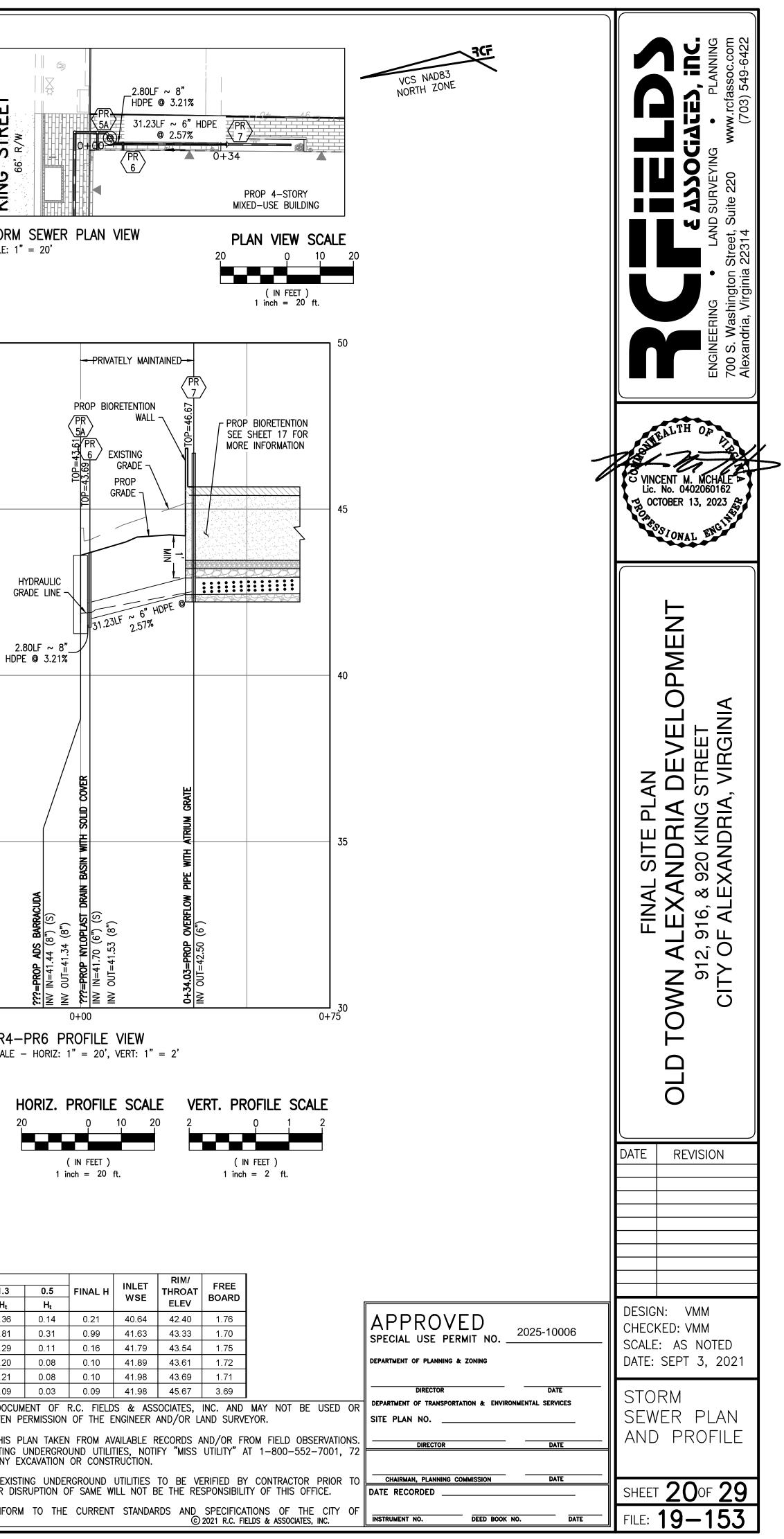
# STORM SEWER CALCULATIONS (10-YEAR, 24-HOUR)

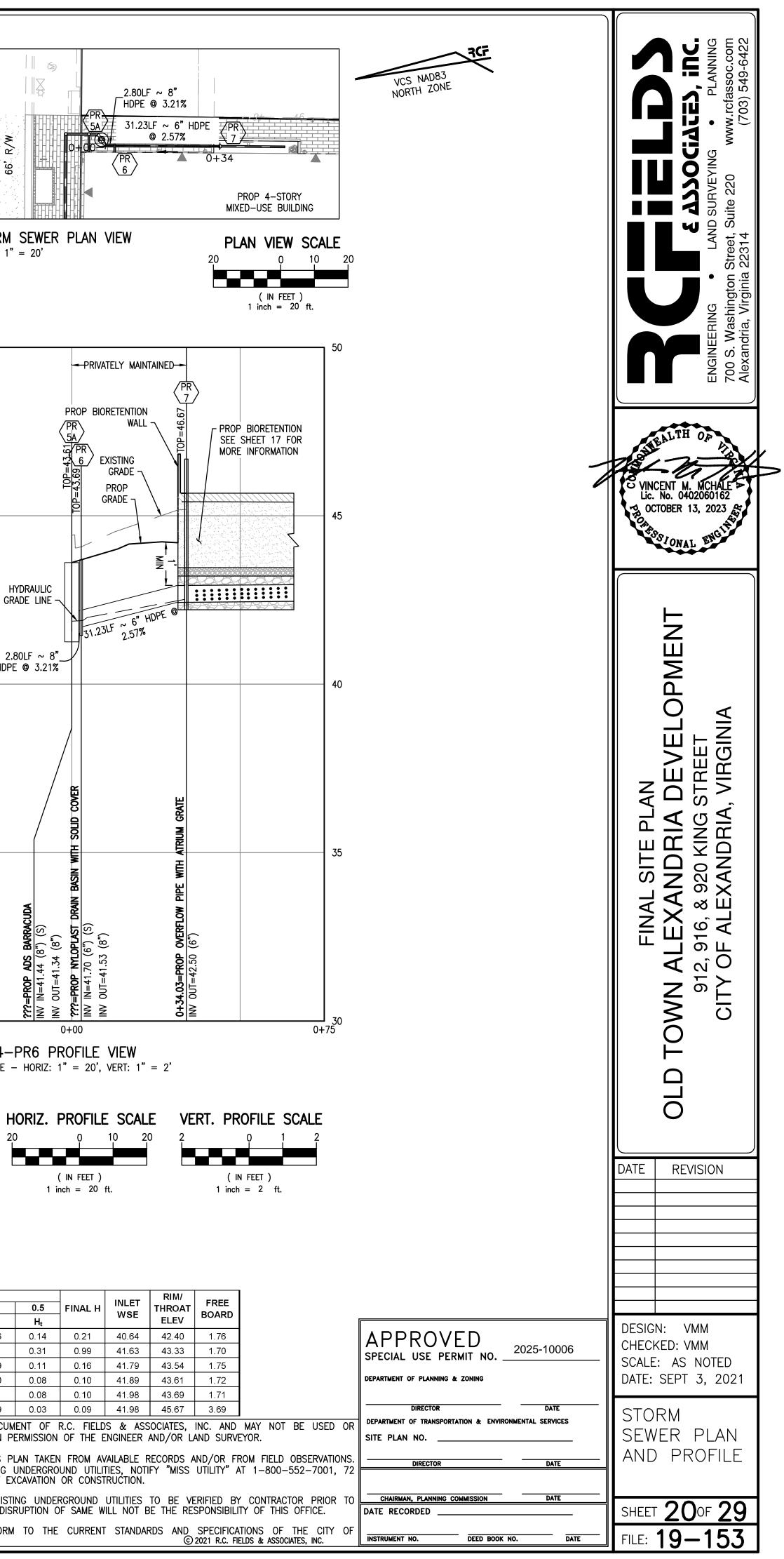


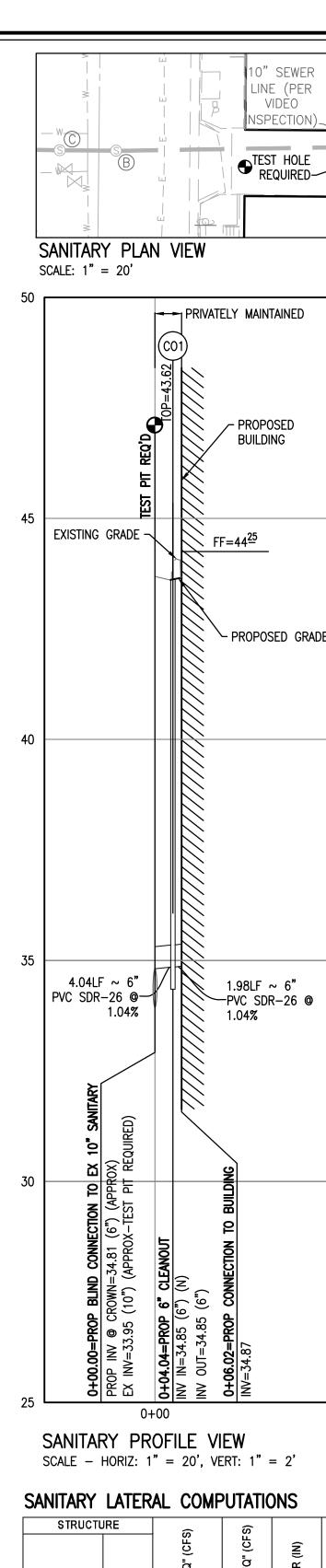




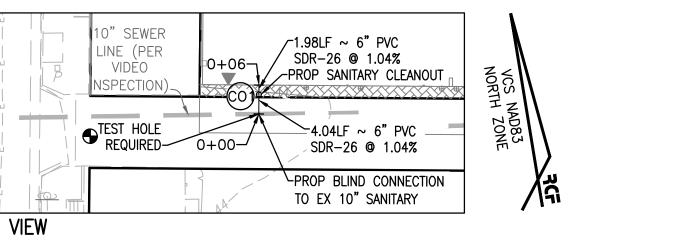


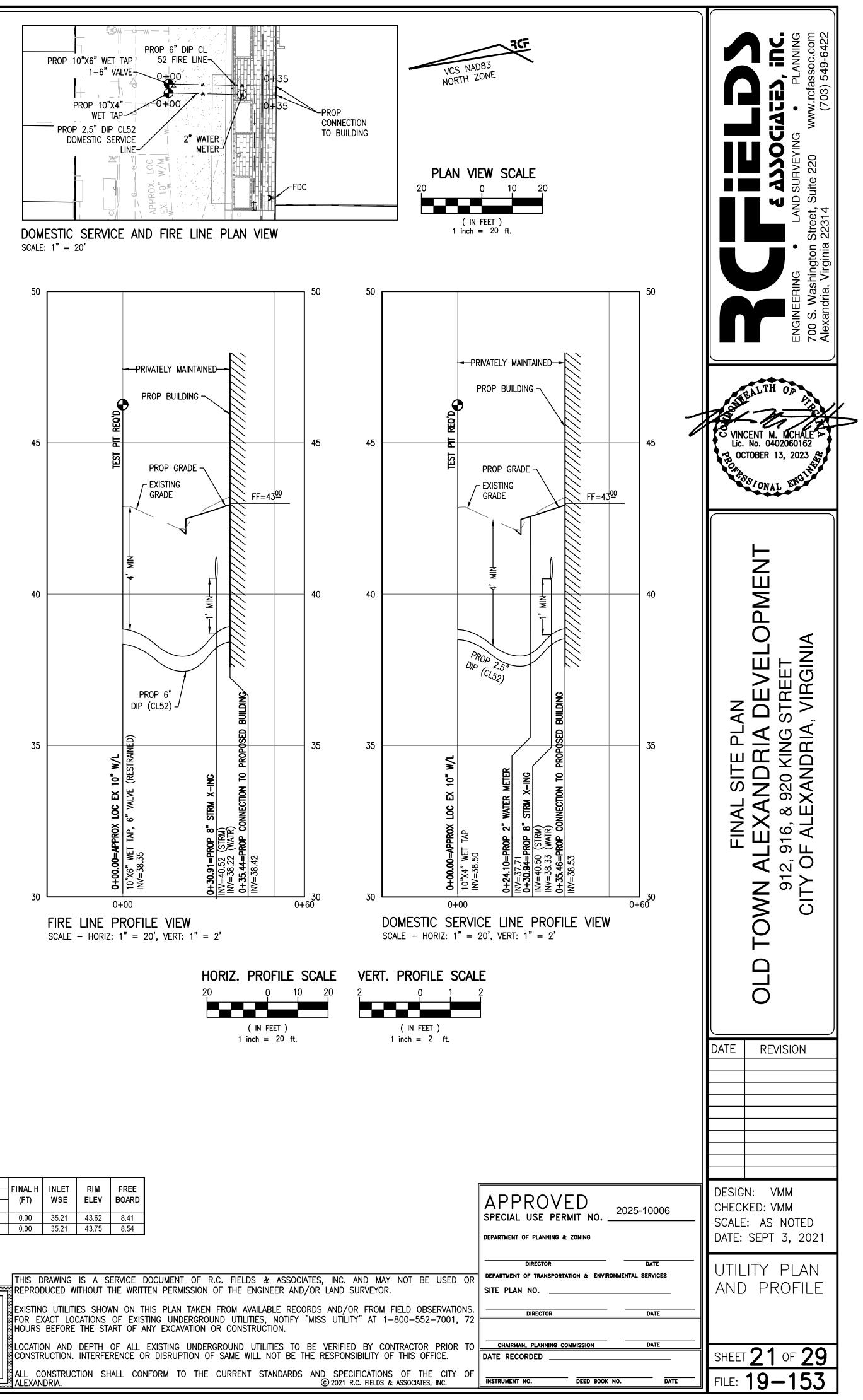


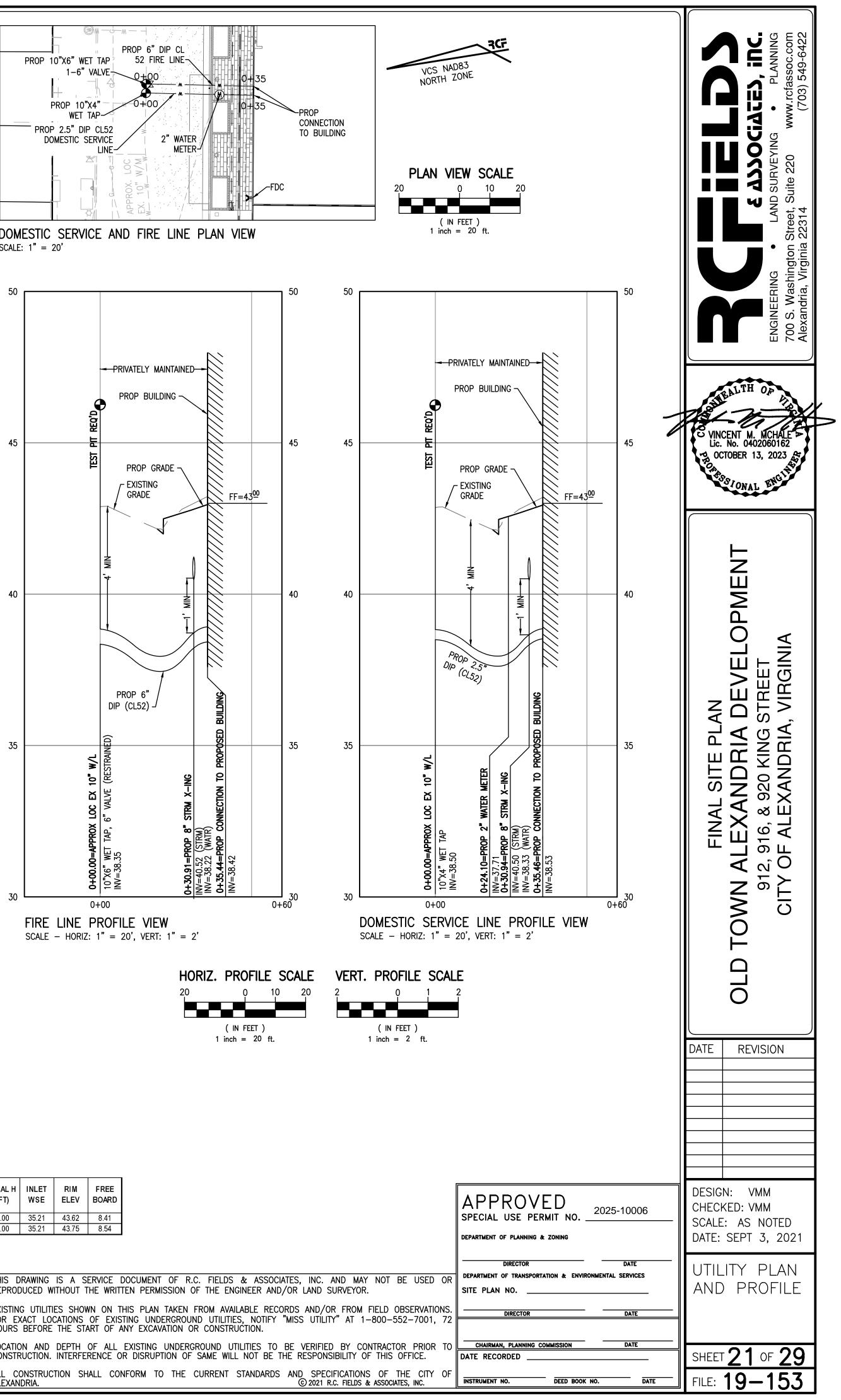




STR	STRUCTURE									-						T	-
FROM	P	_	INUCREMENTAL 4 (ULS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	-4	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH (FT)	
BUILDIN	G C01	0.0	602	0.0602	6	1.04%	PVC	0.010	0.78	3.84	1.98	34.87	34.85	0.02	2.26	0.09	
C01	S1	0.0	000	0.0602	6	1.04%	PVC	0.010	0.78	3.80	4.04	34.85	34.81	0.04	2.26	0.09	
SANITAF	RY LATE	RAL H	IYDRA	ULIC (	GRADE	LINE	COMPUT	ATIONS	6								
	OUTLET											JUNCTIO	N LOSS				_
INLET ID	WSE	D <sub>o</sub> (in)	Qo	L <sub>0</sub>	S <sub>fo</sub>	H <sub>f</sub>	v <sub>o</sub>	Ho	Qi	Vi	Qi*Vi	Vi^2	Hi	ANGLE	н⊿ -	Ht	Ļ
	1			1			1 10 1			•!		2	. 4				







1.04%

PROPOSED BUILDING

∽ PROPOSED GRADE

| FF=44<sup>25</sup>

45

40

35

-30

0+50

TEST HOLE NOTES:

PROVIDED.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO PROVIDE THE DESIGN ENGINEER AND SURVEYOR WITH TEST HOLE INFORMATION PRIOR TO CONSTRUCTION. THE LOCATION AND DEPTH OF EXISTING UTILITIES, ESPECIALLY AT CRITICAL TIE-INS AND CROSSINGS, MUST BE PROVIDED TO ENSURE CONSTRUCTIBILITY. IT

IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE UTILITIES HORIZONTALLY AND VERTICALLY DURING TEST PIT OPERATIONS AND

STAKE OUT AND CUT SHEETS OF THE PROPOSED DESIGN WILL NOT

BE PERFORMED BY R.C. FIELDS AND ASSOCIATES, INC UNTIL TEST HOLES ARE PERFORMED AND DETAILED UTILITY INFORMATION IS

PROVIDE THE INFORMATION TO THE DESIGN ENGINEER.

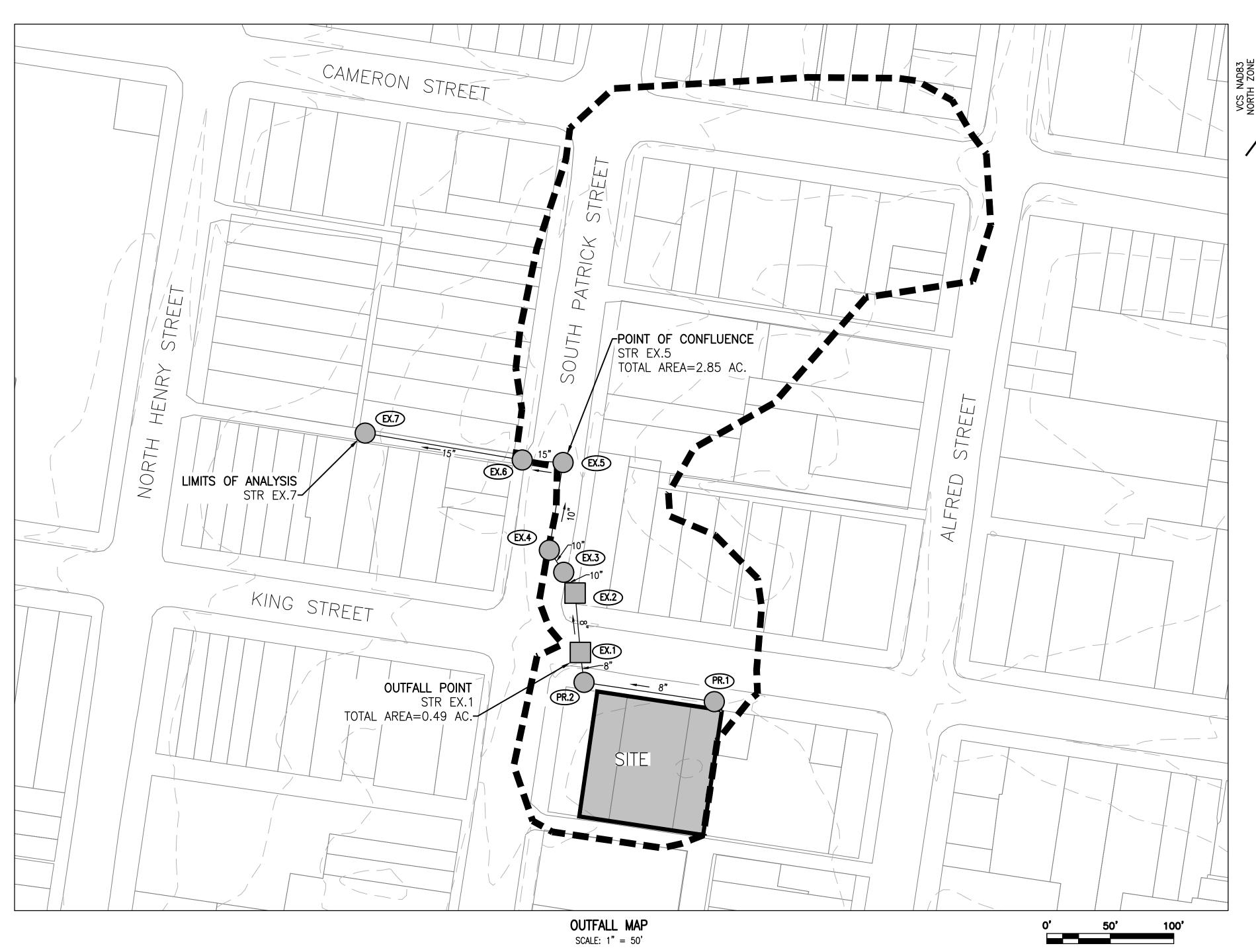
• DENOTES PROPOSED TEST HOLE LOCATION.

	OUTLET						JUNCTION LOSS											FINAL H	INLET	RIM	FREE	
INLETID	WSE	D <sub>o</sub> (in)	Qo	Lo	Sfo	H <sub>f</sub>	v		0	v	0.*\/	Vi^2	ш			Ht	1.3	0.5	FINAL ⊓ (FT)	WSE	ELEV	BOARD
	WOL						Vo	Ho	Ui	Vi	Qi*Vi	2g	Πi	ANGLE	H∆		Ht	Ht	(Г 1)	W SE	ELEV	BUARD
CO1	35.21	6	0.060	4.04	0.0001	0.00	0.09	0.000	0.060	0.09	0.01	0.00	0.000	90	0.000	0.000		0.00	0.00	35.21	43.62	8.41
BUILDING	35.21	6	0.060	1.98	0.0001	0.00	0.09	0.000	-	-	-	-	-	-	-	0.000		0.00	0.00	35.21	43.75	8.54

ESI

PEER REVIEW

# 72



SCALE: 1" = 50'

# STORMWATER OUTFALL NARRATIVE:

PRE-DEVELOPMENT CONDITIONS: THE 0.23 ACRE SITE IS LOCATED IN THE COMBINED SEWER SYSTEM. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A SURFACE PARKING LOT. THE SITE HAS ONE OUTFALL POINT.

OUTFALL #1: THE SITE DRAINS TO THE EXISTING STORM SYSTEM IN THE KING STREET AND SOUTH PATRICK STREET RIGHT-OF-WAYS. A PORTION OF THE SURFACE PARKING SHEETFLOWS IN A NORTHERLY DIRECTION AND ENTERS THE CURB AND GUTTER SYSTEM IN THE KING STREET RIGHT-OF-WAY. THE RUNOFF THEN ENTERS THE CITY MAINTAINED STORM SEWER SYSTEM THROUGH A CURB INLET (EX.1) LOCATED AT THE SOUTHEAST CORNER OF KING STREET AND SOUTH PATRICK STREET. THE REMAINING PORTION OF THE SURFACE PARKING SHEETFLOWS IN A SOUTHERLY DIRECTION UNTIL IT ENTER DOWNHAM WAY, A PRIVATE ALLEY. THE RUNOFF THEN FLOWS IN A WESTERLY DIRECTION UNTIL IT ENTERS THE CURB AND GUTTER SYSTEM IN THE SOUTH PATRICK STREET RIGHT-OF-WAY WHERE IT CONTINUES IN A NORTHERLY DIRECTION UNTIL IT ENTERS THE CITY MAINTAINED COMBINED SEWER SYSTEM THROUGH AN EXISTING CURB INLET (EX.1) LOCATED ON THE SOUTHEAST CORNER OF KING STREET AND SOUTH PATRICK STREET. THE RUNOFF CONTINUES WITHIN THE COMBINED SEWER SYSTEM AND EVENTUALLY OUTFALLS TO THE POTOMAC RIVER.

### POST-DEVELOPMENT CONDITIONS:

THE REDEVELOPMENT OF THE PROJECT PROPOSES A MIXED-USE BUILDING (RETAIL/MULTIFAMILY RESIDENTIAL) AND ASSOCIATED SITE IMPROVEMENTS WHICH WILL RESULT IN A MINOR INCREASE IN TOTAL ON-SITE IMPERVIOUS AREA. A PORTION OF THE RUNOFF FROM THE ROOF OF THE PROPOSED BUILDING WILL BE COLLECTED BY ROOF DRAINS AND DIRECTED TO A PROPOSED BIORETENTION PLANTER BOX ON THE EAST SIDE OF THE PROPOSED BUILDING. THE TREATED RUNOFF FROM THE PLANTER BOX, AND THE REMAINING ROOF AREA, WILL BE DIRECTED TO A HYDRODYNAMIC BMP FACILITY AT THE NORTHEAST CORNER OF THE PROPERTY. THE RUNOFF IS THEN PIPED TO A CURB INLET (EX.1), LOCATED AT THE SOUTHEAST CORNER OF THE KING STREET AND SOUTH PATRICK STREET INTERSECTION AS IN EXISTING CONDITIONS. AT THIS POINT, THE RUNOFF ENTERS THE CITY MAINTAINED COMBINED SEWER SYSTEM. THE REMAINING RUNOFF FROM THE SITE SHEETFLOWS IN A NORTHERLY DIRECTION UNTIL IT ENTERS THE CURB AND GUTTER SYSTEM WITHIN THE KING STREET RIGHT-OF-WAY. THIS RUNOFF IS THEN CONVEYED IN A WESTERLY DIRECTION UNTIL IT ENTERS THE CITY MAINTAINED COMBINED SEWER SYSTEM THROUGH AN EXISTING CURB INLET (EX.1) AND CONVERGES WITH THE TREATED ONSITE RUNOFF.

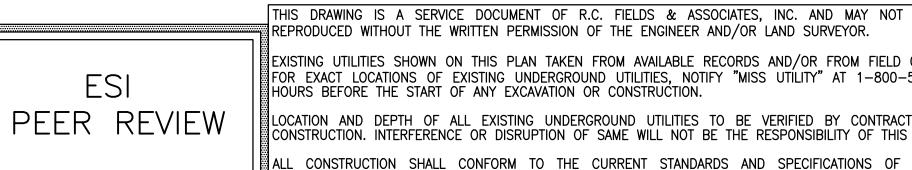
THE TOTAL DRAINAGE AREA AT THE POINT OF OUTFALL (EX.1) IS 0.49 ACRES. RUNOFF CONTINUES IN A NORTHERLY DIRECTION WITHIN THE CITY MAINTAINED COMBINED SEWER SYSTEM BEFORE REACHING THE CONFLUENCE POINT AT STRUCTURE EX. 5. AT THIS POINT, THE RUNOFF CONVERGES WITH A DRAINAGE AREA OF 1.97 ACRES WHICH IS GREATER THAN 90% OF THE CONTRIBUTING DRAINAGE AREA (0.85 ACRES) UP TO THAT POINT. THE ANALYSIS CONCLUDES AT STRUCTURE EX. 7 WHICH IS AN ADDITIONAL 150 FEET DOWNSTREAM FROM THE POINT OF CONFLUENCE.

CONCLUSION: COMPUTATIONS SHOWN ON THIS SHEET DEMONSTRATE THAT THE EXISTING SYSTEM EXPERIENCES LOCALIZED FLOODING IN EXISTING CONDITIONS. COMPUTATIONS SHOWN ON SHEET 6 DEMONSTRATE THAT THERE IS NO INCREASE IN THE PEAK FLOW RATE WITH THE PROPOSED DEVELOPMENT. THE FLOOD PROTECTION FOR THIS SITE IS THEREFORE IN COMPLIANCE WITH SECTION 13-109F(2)(b)(ii). DUE TO SITE DRAINAGE OUTFALLING TO AN EXISTING UNDERSIZED MANMADE STORM SEWER SYSTEM, NO OFFSITE IMPROVEMENTS TO THE SYSTEM ARE REQUIRED.

PER THE LIMITS OF ANALYSIS PER CITY CODE SECTION 13-109F-2(d)(i) AND REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS.

	10-YR, 24-HR STORM SEWER COMPUTATIONS																
STRU	CTURE	Ξ	ĒA	:R	тн		-	ED	R				s)	N	τ	π	
FROM	TO	INC. DRAINAG AREA (AC)	ACCUM. DRAINAGE ARE (AC)	CURVE NUMBER	RAINFALL DEP (IN)	T <sub>c</sub> (MINUTES)	INCREMENTAL "Q" (CFS)	ACCUMULATE "Q" (CFS)	PIPE DIAMETE (IN)	SLOPE (%)	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FP:	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)
EX.1	EX.2	0.30	0.30	93	5.20	5	1.43	1.43	8	2.05%	0.015	1.56	4.30	44	39.80	38.90	0.90
EX.2	EX.3	0.39	0.69	93	5.20	5	1.33	2.76	10	3.48%	0.015	3.70	6.52	22	38.65	37.88	0.77
EX.3	EX.4	0.00	0.69	93	5.20	5	0.00	2.76	10	8.71%	0.015	5.85	10.30	19	37.78	36.16	1.62
EX.4	EX.5	0.00	0.69	93	5.20	5	0.00	2.76	10	1.72%	0.015	2.60	4.58	91	35.67	34.11	1.56
EX.5	EX.6	1.97	2.66	93	5.20	5	9.47	12.23	15	1.22%	0.015	6.45	5.05	32	33.41	33.02	0.39
EX.6	EX.7	0.00	2.66	93	5.20	5	0.00	12.23	15	1.21%	0.015	6.43	5.04	125	32.92	31.40	1. <mark>5</mark> 2

COMBINED SEWER SYSTEM NOTE: THIS SITE DISCHARGES TO THE COMBINED SEWER SYSTEM. PER MEMO TO INDUSTRY 07-14, THE APPLICANT WILL PROVIDE A CONTRIBUTION FOR STORMWATER AND SANITARY RUNOFF GENERATED ONSITE IN LIEU OF OFFSITE SEPARATION AS THERE IS NO OPPORTUNITY FOR SEPARATION WITHIN THE VICINITY OF THIS SITE.



ALEXANDRIA.

ESI

	APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
S, INC. AND MAY NOT BE USED OR LAND SURVEYOR. S AND/OR FROM FIELD OBSERVATIONS. SS UTILITY" AT 1-800-552-7001, 72	SITE PLAN NO
VERIFIED BY CONTRACTOR PRIOR TO RESPONSIBILITY OF THIS OFFICE.	CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED
ND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.	INSTRUMENT NO. DEED BOOK NO. DATE

		HIT HIT BIGINEERING - LAND SURVEYING - PLANNING 700 S. Washington Street, Suite 220 www.rcfassoc.com Alexandria, Virginia 22314 (703) 549-6422
		CENT M. MCHALE
	FINAL SITE PLAN	
	DATE	REVISION
06 ES	CHECH SCALE DATE: STO	N: VMM KED: VMM : 1" = 50' SEPT 3, 2021 RM SEWER FALL
	ANA	LYSIS
DATE		<u>22₀ 29</u> 19–153

í	~
	7
	1
	A
	SAN SCALE
	JUALE

# INCREMENTAL SANITARY SEWER FLOW CALCULATIONS:

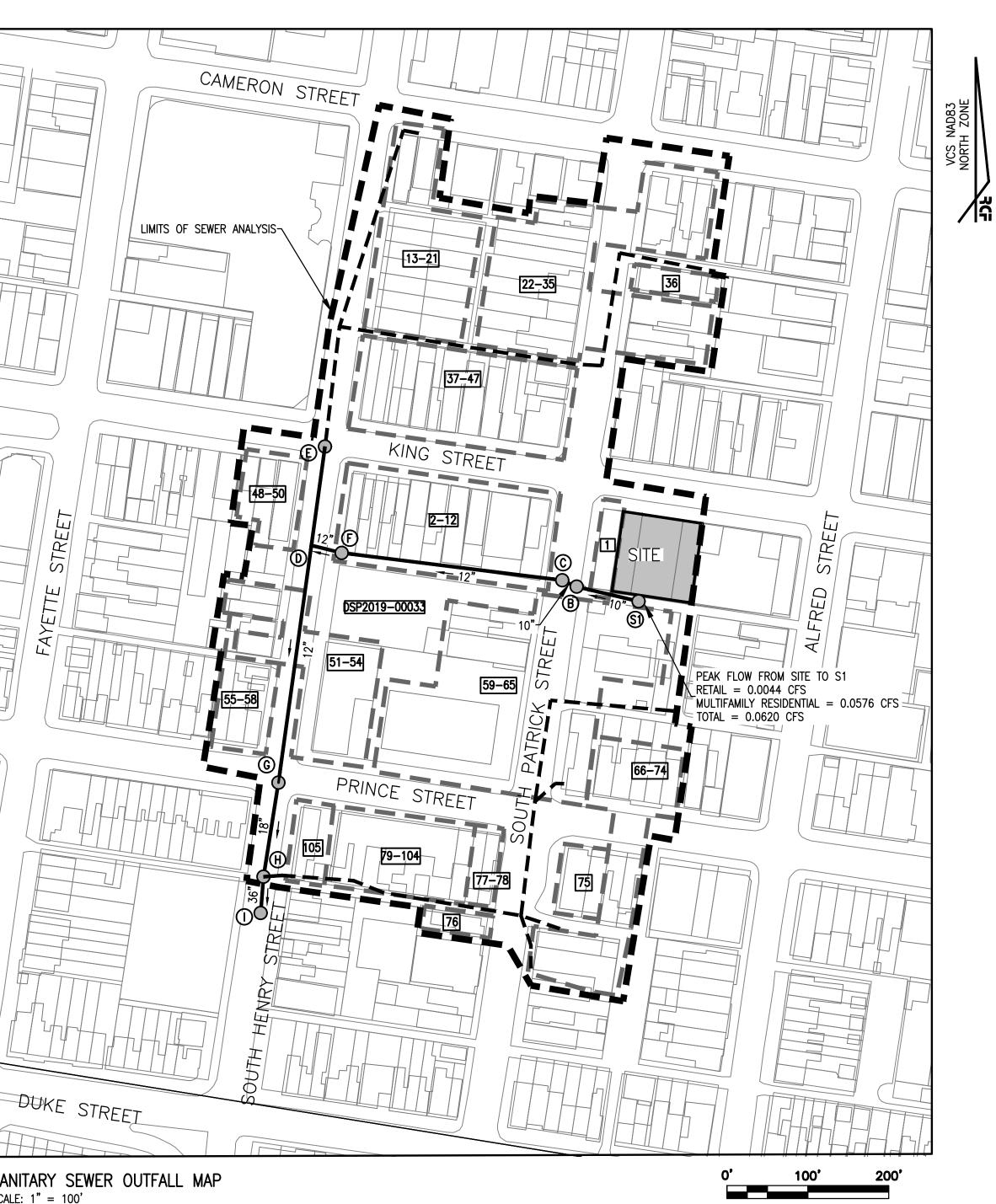
	BLD#	USE	<b>DESIGN FLOW</b>	UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	<b>FLOWS TO</b>
	SITE	MULTI-FAMILY	300	EA.	31	9,300	388	0.0144	0.0576	<mark>S1</mark>
	SIL	RETAIL	0.2	GPD/SF	3,563	713	30	0.0011	0.0044	51
	1	OFFICE	0.2	GPD/SF	4,770	954	40	0.0015	0.0059	В
	2-12	RETAIL	0.2	GPD/SF	35,722	7,144	298	0.0111	0.0442	F
	13-21	RETAIL	0.2	GPD/SF	26,289	5,258	219	0.0081	0.0325	
	22-35	SINGLE FAMILY	350	EA	14	4,900	204	0.0076	0.0303	
	36	RETAIL	0.2	GPD/SF	6,566	1,313	55	0.0020	0.0081	
	37-47	RETAIL	0.2	GPD/SF	41,369	8,274	345	0.0128	0.0512	D
	48-50	RETAIL	0.2	GPD/SF	16,108	3,222	134	0.0050	0.0199	
*	DSP2019-00033	RETAIL	0.2	GPD/SF	1,517	303	13	0.0005	0.0019	
*	DSP2019-00033	SP2019-00033 MULTIFAMILY		EA	19	5,700	238	0.0088	0.0353	
	51-54	RETAIL	0.2	GPD/SF	28,148	5,630	235	0.0087	0.0348	G
	55-58	SINGLE FAMILY	350	EA	4	1,400	58	0.0022	0.0087	0
	59-65	RETAIL	0.2	GPD/SF	40,367	8,073	336	0.0125	0.0500	
	66-74	SINGLE FAMILY	350	EA	9	3,150	131	0.0049	0.0195	
	75	RETAIL	0.2	GPD/SF	10,816	2,163	90	0.0033	0.0134	
	76	RETAIL	0.2	GPD/SF	3,200	640	27	0.0010	0.0040	Н
	77-78	SINGLE FAMILY	350	EA	2	700	29	0.0011	0.0043	
	79-104	MULTIFAMILY	300	EA	26	7,800	325	0.0121	0.0483	
	105	SINGLE FAMILY	350	EA	1	350	15	0.0005	0.0022	
					TOTAL	76,987	3,208	0.1191	0.4765	

# SANITARY SEWER OUTFALL CALCULATIONS:

	SANITARY OUTFALL COMPUTATIONS																					
	STRUC WO	OL	Facil Woy		INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	Normal Depth	FLOW AREA (SF)	WETTED PERIMETER (FT)	HYDRAULIC RADIUS	RIM ELEV
	S1	В	NEW MANHOLE	005863SSMH	0.0602	0.060	10	1.00%	PVC	0.010	2.97	5.22	64.32	33.95	33.31	0.64	2.09	0.08	0.0300	0.5300	0.06	43.6
	В	С	005863SSMH	005864SSMH	0.0059	0.066	10	0.71%	RCP	0.015	1.67	2.93	12.74	33.26	33.17	0.09	1.48	0.12	0.0500	0.6500	0.08	41.86
	С	F	005864SSMH	005211SSMH	0.0000	0.066	12	0.99%	DIP	0.013	3.69	4.52	270.93	33.12	30.45	2.67	1.77	0.10	0.0400	0.6300	0.06	41.77
	F	D	005211SSMH	NO STRUCTURE	0.0442	0.110	12	2.56%	DIP	0.013	5.95	7.28	36.70	30.39	29.45	0.94	2.82	0.09	0.0400	0.6300	0.06	37.29
*	D	G	NO STRUCTURE	005237SSMH	0.1793	0.290	12	0.62%	RCP	0.015	2.53	3.09	290.60	28.45	26.66	1.79	2.02	0.21	0.1200	0.9600	0.13	37.1
	G	Н	005237SSMH	005210SSMH	0.0435	0.333	18	1.14%	VCP	0.013	11.72	6.37	119.78	26.43	25.06	1.37	2.82	0.18	0.1200	1.0500	0.11	35.57
	Н	I	005210SSMH	N/A	0.1416	0.475	36	1.17%	RCP	0.015	65.16	8.86	42.00	25.00	24.51	0.49	2.62	0.19	0.1800	1.5100	0.12	34.54

# \* DSP2019-00033 SANITARY FLOW NOTE:

DUE TO DSP2019-00033 ALSO UNDER CONCURRENT REVIEW, THE PROPOSED SANITARY FLOW FROM DSP2019-00033 HAS BEEN INCLUDED IN THIS SANITARY OUTFALL ANALYSIS.



# HYDRAULIC GRADE LINE COMPUTATIONS:

			-					HYDRAU	JLIC GR/	ADE LIN	E COMP	UTATIO	VS					
											JUN	CTION LO	DSS					
	OUTLET	D <sub>O</sub> (in)	Qo	L <sub>0</sub>	S <sub>fo %</sub>	H <sub>f</sub>	Vo	ц	~	V	0*1	ц		ш	ц	1.3	0.5	
ID	WSE						V0	Ho	Q <sub>i</sub>	Vi	Q <sub>i</sub> *V <sub>i</sub>	H <sub>i</sub>	ANGLE	$H_{\Delta}$	Ht	Ht	Ht	H
Н	24.70	36	0.475	42.00	1.2083	0.51	2.62	0.027	0.333	2.82	0.94	0.043	10	0.070	0.140	-	0.07	0.58
G	25.24	18	0.333	119.78	1.0637	1.27	2.82	0.031	0.290	2.02	0.59	0.022	0	0.081	0.135	-	0.07	1.34
D	26.87	12	0.290	290.60	0.9499	2.76	2.02	0.016	0.110	2.82	0.31	0.043	90	0.042	0.101	-	0.05	2.81
F	29.54	12	0.110	36.70	2.2983	0.84	2.82	0.031	0.066	1.77	0.12	0.017	0	0.081	0.129	-	0.06	0.91
С	30.55	12	0.066	270.93	0.8249	2.24	1.77	0.012	0.066	1.48	0.10	0.012	0	0.032	0.056	-	0.03	2.26
В	33.29	10	0.066	12.74	0.5442	0.07	1.48	0.009	0.060	2.09	0.13	0.024	0	0.022	0.055	-	0.03	0.10
S1	33.39	10	0.060	64.32	0.8387	0.54	2.09	0.017	0.060	2.09	0.13	0.024	0	0.045	0.085	-	0.04	0.58

ES

PEER REVIEW

THIS DRAWING IS A SERVICE DOCUMENT OF REPRODUCED WITHOUT THE WRITTEN PERMISSIO EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FOR EXACT LOCATIONS OF EXISTING UNDERGRO HOURS BEFORE THE START OF ANY EXCAVATION

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOD CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALEXANDRIA.

74

# SANITARY SEWER OUTFALL CALCULATIONS:

THE EXISTING USE (CITY PARKING LOT) DOES NOT PRODUCE A SANITARY FLOW AS NO STRUCTURE IS LOCATED ON SITE. THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT IS A COMBINATION OF MULTIFAMILY (31 UNITS) AND RETAI (3,563 SF). THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

MULTIFAMILY: 300 GPD/UNIT = 31 UNITS X 300 GPD/UNIT = 9,300 GPD OR 0.0144 CFS RETAIL: 200 GPD/1000 SF = 200 GPD/1000 SF X 3,563 SF = 713 GPD OR 0.0011 CFS TOTAL: 10,013 GPD OR 0.0155 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

10,013 GPD X 4 = 40,052 GPD0.0155 CFS X 4 = 0.0620 CFS

TOTAL PEAK FLOW = 40,052 GPD OR 0.0620 CFS

### SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WAST OUTFLOW. A FLOW OF APPROXIMATELY 10,013 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN PEAK FLOW OF 40,052 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFAL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL ACCORDANCE WITH MEMO TO INDUSTRY 06-14. THE GENERAL AREA IS NOT KNOWN TO HAVE SANITAR SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL CONNECT TO AN EXISTING 10" SANITARY SEWER AT A PROPOSED BLIND CONNECTION S1. SANITARY FLOW IS THEN CONVEYED WEST THROUGH THE EXISTING 10" SANITARY SEWER BEFOR CONNECTING INTO AN EXISTING 10" SANITARY SEWER AT STRUCTURE B. THE SANITARY FLOW CONTINUE WEST BENEATH DOWNHAM WAY UNTIL IT ENTERS AN EXISTING 12" SANITARY SEWER THROUGH A BLIN CONNECTION WITHIN SOUTH HENRY STREET. THE FLOW CONTINUES IN A SOUTHERLY DIRECTION UNTIL ENTERS AN EXISTING 36" SANITARY SEWER AT STRUCTURE G. PER MEMORANDUM TO INDUSTRY NO. 06-14 THE LIMITS OF ANALYSIS FOR THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE TH DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24". THEREFORE, THE SANITARY SEWER ANALYS CONCLUDES AT STRUCTURE G.

# COMBINED SEWER SYSTEM NOTE:

THIS SITE DISCHARGES TO THE COMBINED SEWER SYSTEM. PER MEMO TO INDUSTRY 07-14, THE APPLICANT WILL PROVIDE A CONTRIBUTION FOR STORMWATER AND SANITARY RUNOFF GENERATED ONSITE IN LIEU OF OFFSITI SEPARATION AS THERE IS NO OPPORTUNITY FOR SEPARATION WITHIN THE VICINITY OF THIS SITE.

AL I	INLET WSE	RIM ELEV	FREE BOARD
58	25.28	34.54	9.26
34	26.58	35.57	8.99
31	29.68	-	
)1	30.45	37.29	6.84
26	32.81	41.77	8.96
0	33.39	41.86	8.47
58	33.97	43.6	9.63

ATER DISCHARGE FLOW CALCULATIONS WERE XANDRIA IN MEMORANDUM TO INDUSTRY NO. TON OF MULTIFAMILY (31 UNITS) AND RETAIL = 9,300 GPD OR 0.0144 CFS 3,563 SF = 713 GPD OR 0.0011 CFS MULTIPLIED BY A FACTOR OF 4: 0.0620 CFS EXCESS OF 10,000 GPD IN SANITARY WASTE ED FOR THIS DEVELOPMENT RESULTING IN A SUBJECT TO A SANITARY SEWER OUTFALL ADEQUACY OF SANITARY SEWER OUTFALL IN AREA IS NOT KNOWN TO HAVE SANITARY SEWER AT A PROPOSED BLIND CONNECTION, IE EXISTING 10" SANITARY SEWER BEFORE JCTURE B. THE SANITARY FLOW CONTINUES 5 12" SANITARY SEWER THROUGH A BLIND NUES IN A SOUTHERLY DIRECTION UNTIL IT	ENGINEERING - LAND SURVEYING - TOO S. Washington Street, Suite 220 www.	
PER MEMORANDUM TO INDUSTRY NO. 06–14, ATE OUTFALL IS AT A POINT WHERE THE HEREFORE, THE SANITARY SEWER ANALYSIS	VINCENT M. MCHALE Lic. No. 0402060162 COTOBER 13, 2023	>
MO TO INDUSTRY 07-14, THE APPLICANT WILL OFF GENERATED ONSITE IN LIEU OF OFFSITE I THE VICINITY OF THIS SITE.	PILE       FINAL SITE PLAN         PILE       FINAL SITE PLAN         OLD TOWN ALEXANDRIA DEVELOPMENT         912, 916, & 920 KING STREET         CITY OF ALEXANDRIA, VIRGINIA	
APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: VMM SCALE: 1" = 100' DATE: SEPT 3, 2021	
DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE	SANITARY SEWER OUTFALL ANALYSIS	

Ĭ

Ш

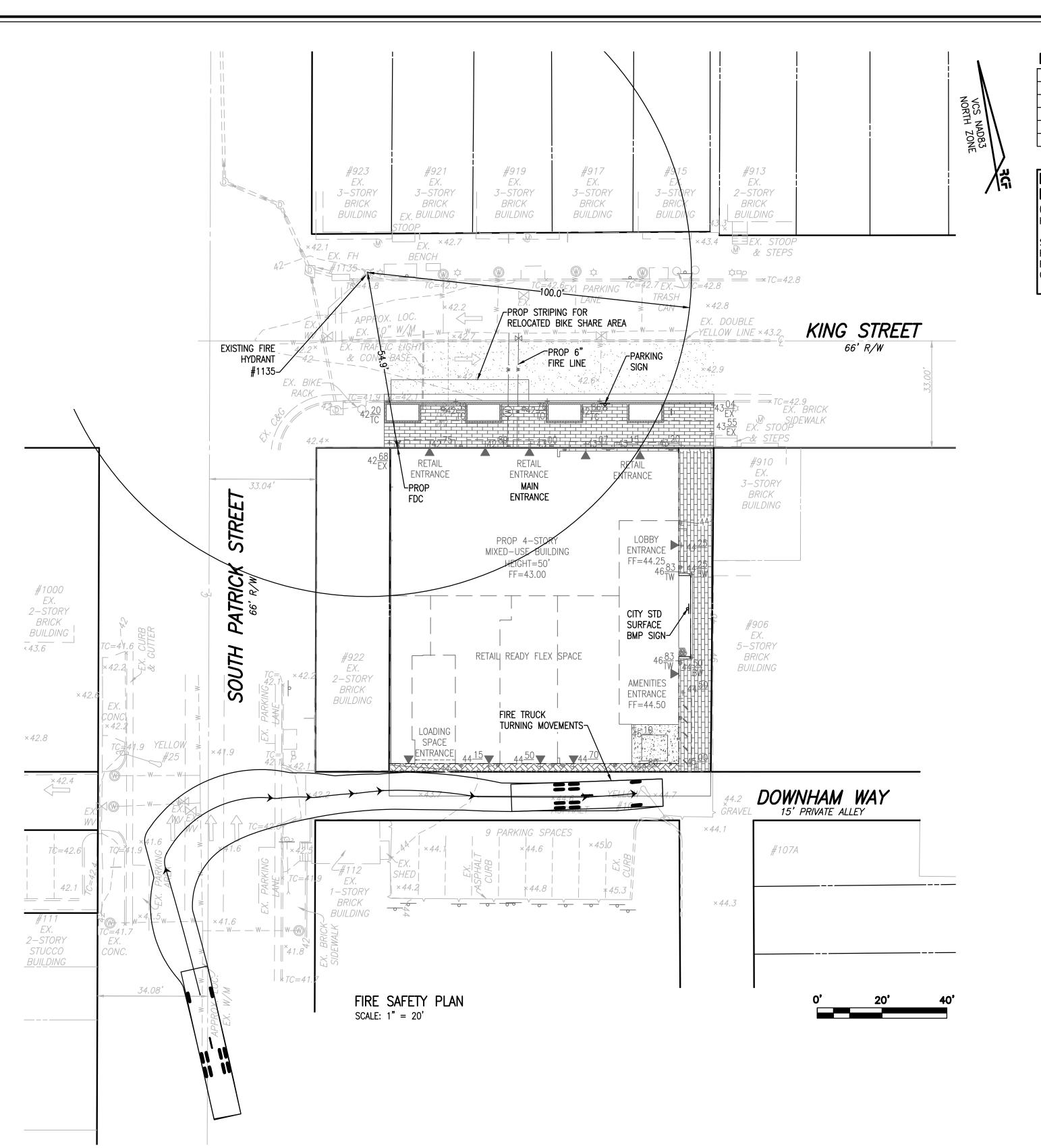
R.C. FIELDS & ASSOCIATES, INC. AND MAY ON OF THE ENGINEER AND/OR LAND SURVEYOR.	NOT	BE	USED	OR

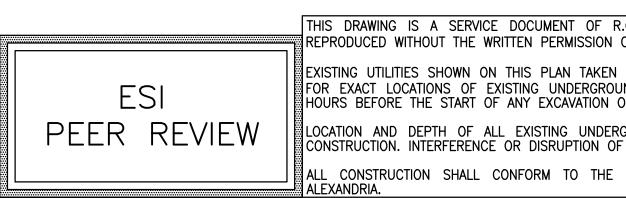
n From A Dund Util Or Cons	ITIES, NOT	ΊFΥ	)rds "Miss	AND/OR S UTILITY'	FRC AT	0M FIELD 1-800-	0BS  -552-	ERVATIO -7001,	N: 7
RGROUND	UTILITIES	TO	BE	VERIFIED	BY	CONTRAC	TOR	PRIOR	Т

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

SITE PLAN NO	5
	C
DIRECTOR DATE	
	' '
CHAIRMAN. PLANNING COMMISSION DATE	
CHAIRMAN, PLANNING COMMISSION DATE	
DATE RECORDED	Sł
INSTRUMENT NO. DEED BOOK NO. DATE	FI

APPROVED





# BUILDING CODE ANALYSIS:

USE GROUP(S):	R-2/M
TYPE OF CONSTRUCTION:	VA
NUMBER OF STORIES:	4
FLOOR AREA (GROSS):	32,692 SQ. FT.
BUILDING HEIGHT:	50.0'
FIRE SUPRESSION/DETECTION:	SPRINKLERED

### FIRE HYDRANT FLOW INFORMATION:

(PROVIDED BY VIRGINIA AMERICAN WATER) HYDRANT NUMBER: 1135 (KIING STREET)

	=	41 PSI 37 PSI
RESIDUAL TLOW	=	2,430 GPM
20	=	5,949 GPM

# FIRE PROTECTION INFORMATION:

ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).

- 1. A FIRE PREVENTION CODE PERMIT IS REQUIRED FOR THE PROPOSED OPERATION.
- 2. THE PROPOSED BUILDING IS TO BE FULLY SPRINKLERED.
- 3. A FINAL FIRE FLOW ANALYSIS REPORT, IN ACCORDANCE WITH CITY STANDARDS AND PREPARED BY A LICENSED ENGINEER, HAS BEEN SUBMITTED AND APPROVED BY THE CITY OF ALEXANDRIA FIRE/EMS DEPARTMENT. VERIFICATION THAT THE PROPOSED INFRASTRUCTURE IS CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW IS PROVIDED IN THE REPORT.

# EMERGENCY ACCESS NOTE:

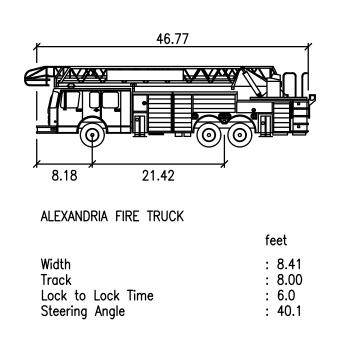
ACCESS TO THE SITE IN CASE OF EMERGENCY IS ALONG KING STREET AND DOWNHAM WAY, A PRIVATE ALLEY TO THE SOUTH OF THE SUBJECT PROPERTY.

# LOADING DOCK SIGN:

THE APPLICANT SHALL POST OF MINIMUM OF TWO "NO IDLING FOR GREATER THAN 10 MINUTES" SIGNS IN THE LOADING DOCK AREA IN PLAIN VIEW PER CONDITION 86.

# PAVEMENT MARKING SPECIFICATIONS:

THE BIKE SHARE AREA PAVEMENT MARKING IS TO BE DELINEATED WITH HIGH QUALITY, WHITE, TRAFFIC-RATED PAINT TO BE A MINIMUM OF FOUR (4) INCHES IN WIDTH AND TO THE LENGTHS SHOWN.



# PARKING SIGN DETAIL



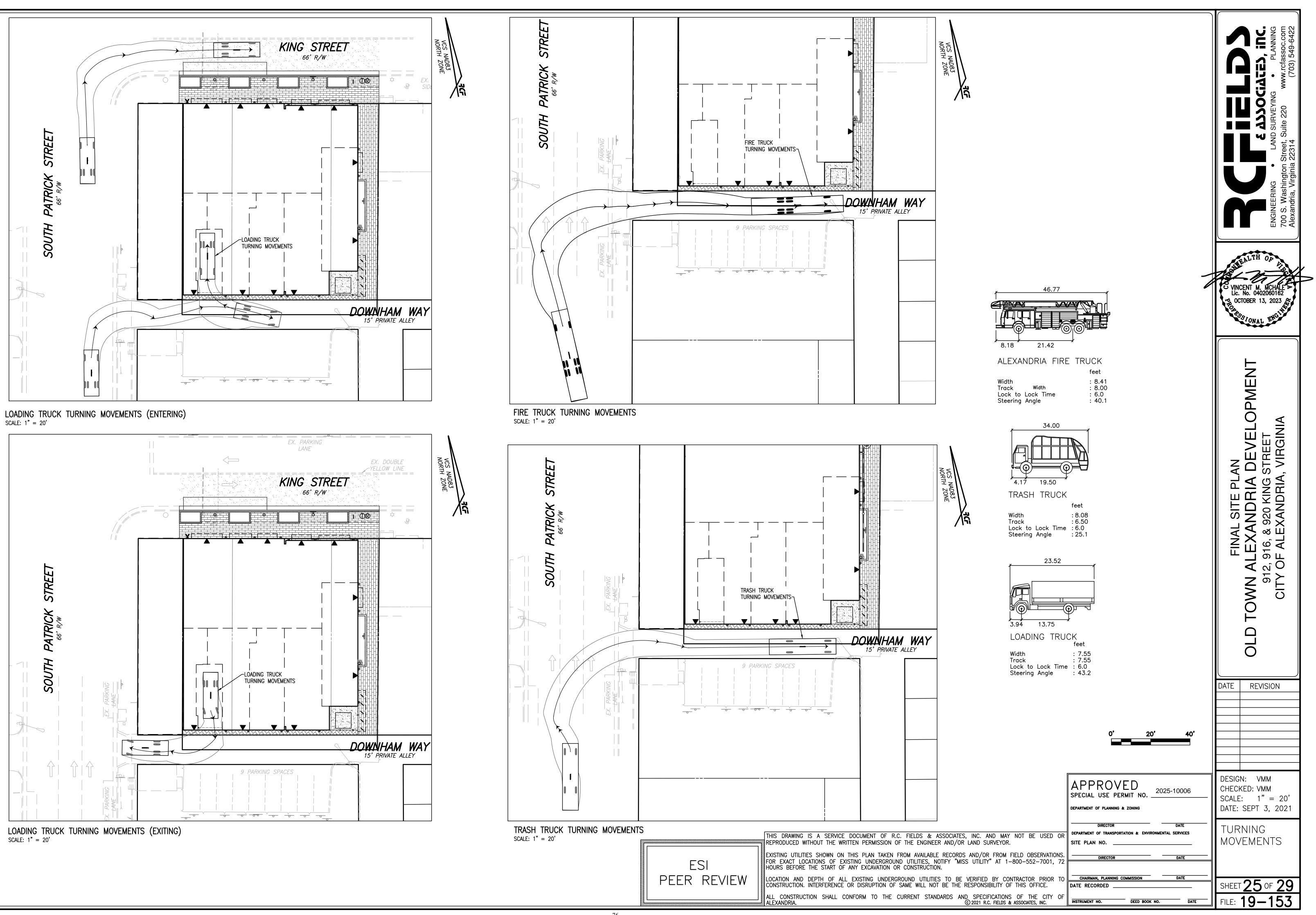
18" x 12" STEEL U-CHANNEL POST

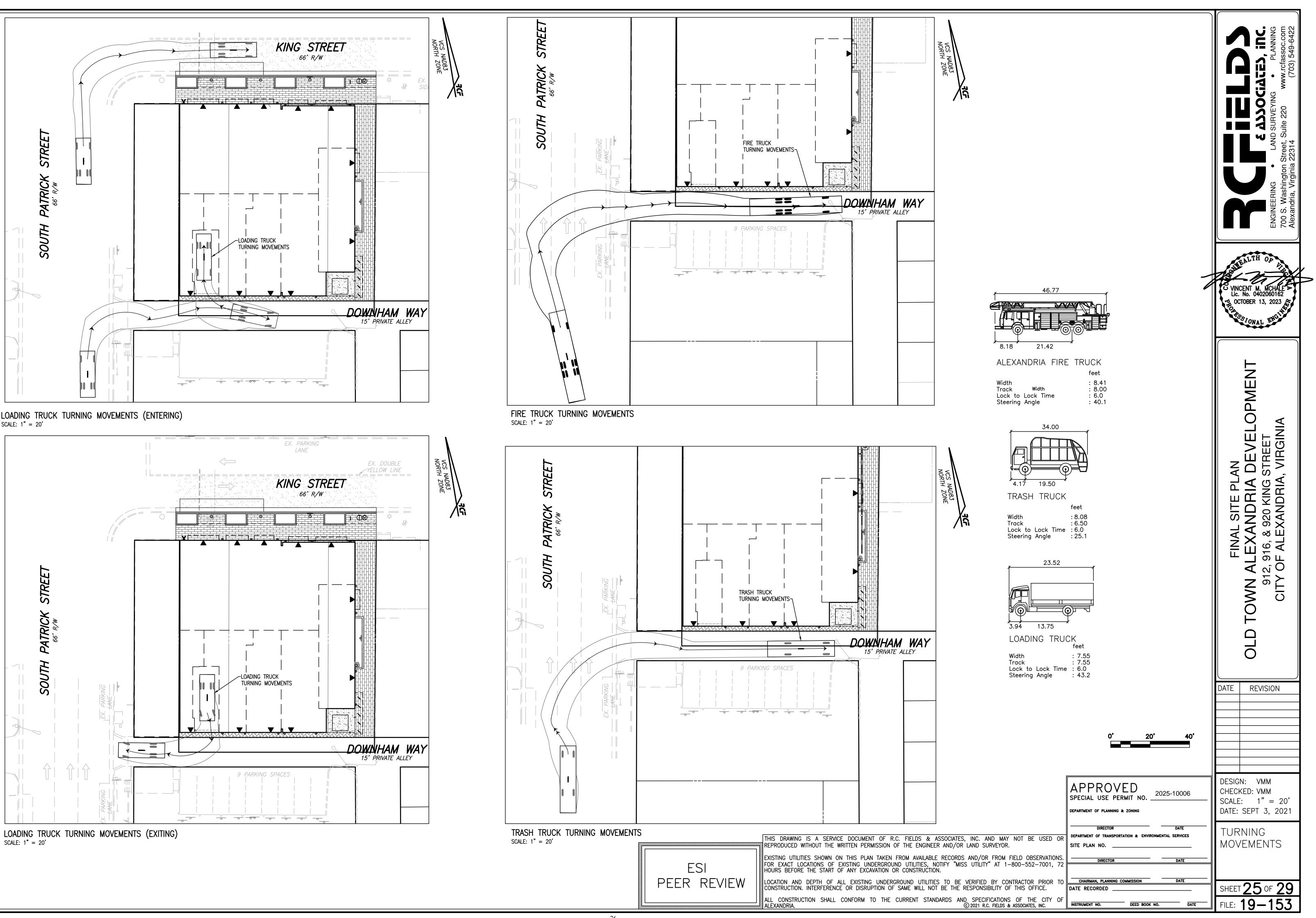
### GENERAL SIGNING NOTES

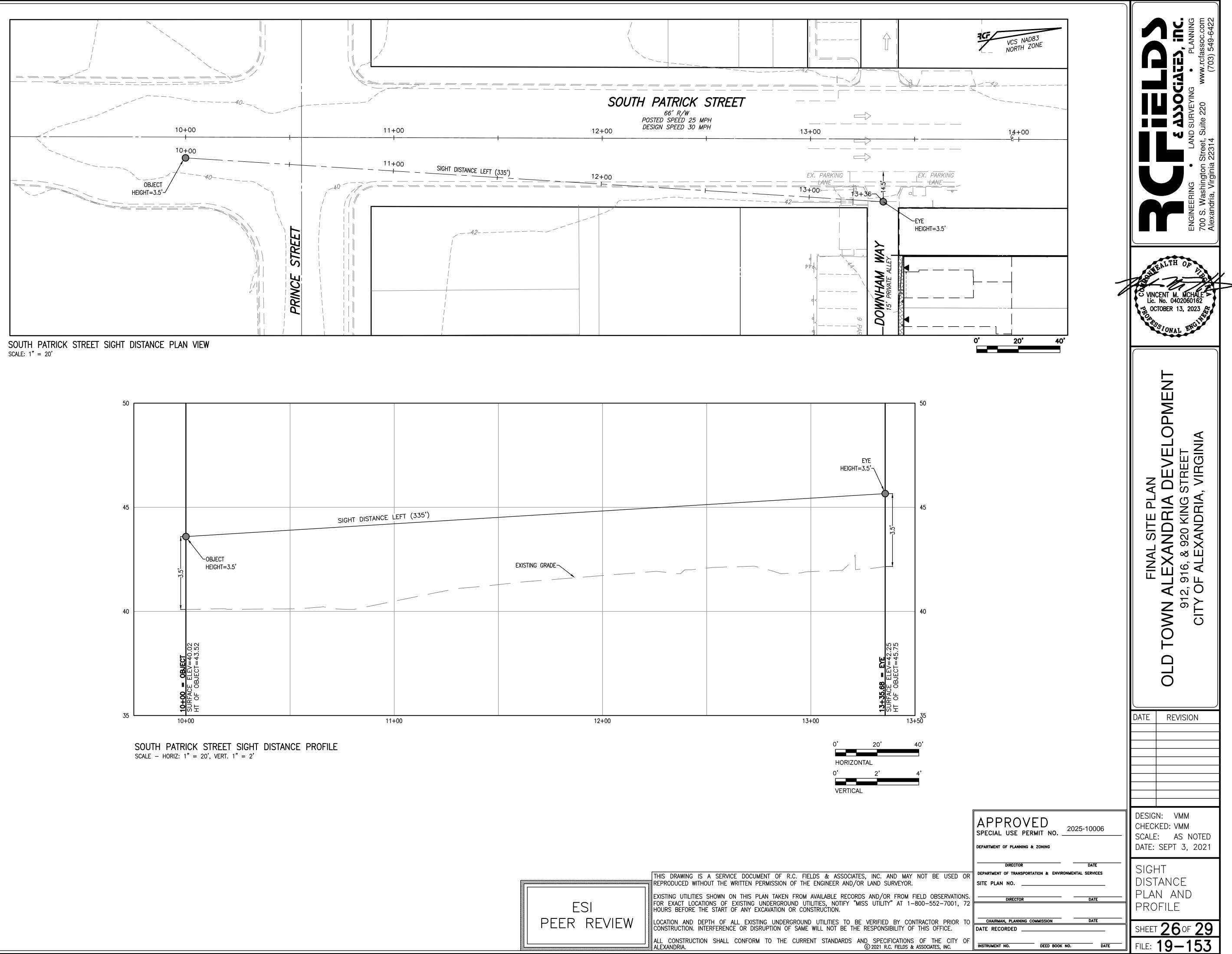
- 1. SIGNS AND PAVEMENT MARKINGS ARE TO BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE FOLLOWING AND ANY **REVISIONS THERETO:** A. THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- B. THE VDOT ROAD AND BRIDGE STANDARDS C. THE VDOT ROAD AND BRIDGE SPECIFICATIONS
- 2. PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE

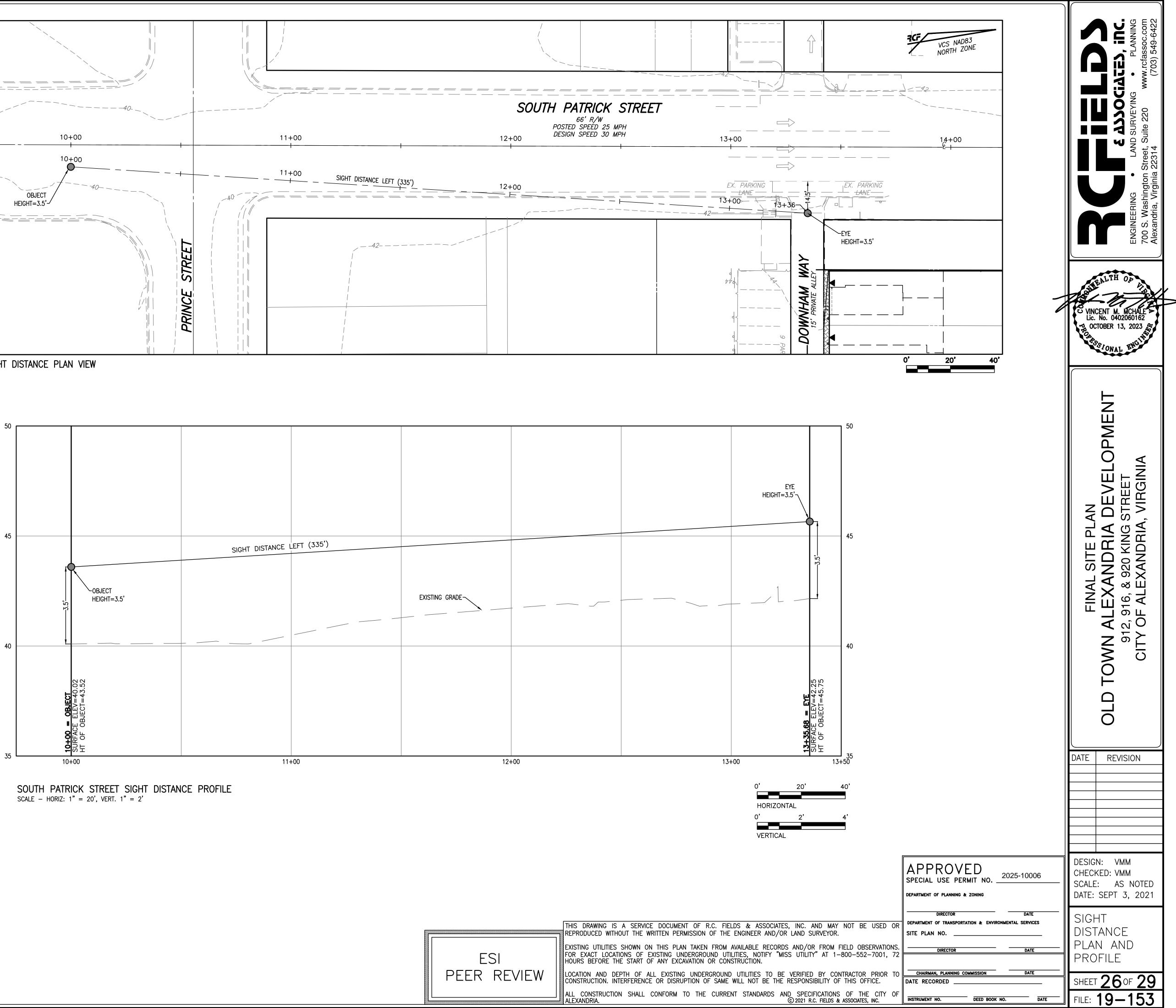
<ul> <li>MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDI UTILITIES OR OTHER OBSTRUCTIONS AND TO COMPLY REFERENCES IN NOTE 1 ABOVE.</li> <li>3. NEW SIGN FACINGS SHALL BE OF HIGH INTENSITY F SHEETING (ENCAPSULATED LENS TYPE).</li> <li>4. EXISTING SIGNS ARE TO BE RETAINED UNLESS OTHERWISE</li> </ul>	ERGROUND WITH THE REFLECTIVE	
	APPROVED SPECIAL USE PERMIT NO DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: VMM SCALE: 1" = 20' DATE: SEPT 3, 2021
R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR OF THE ENGINEER AND/OR LAND SURVEYOR. FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. JND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 OR CONSTRUCTION.	DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE	FIRE SAFETY AND SIGNING PLAN
GROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO F SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2021 R.C. FIELDS & ASSOCIATES, INC.	CHAIRMAN, PLANNING COMMISSION     DATE       DATE     DATE       INSTRUMENT NO.     DEED BOOK NO.	SHEET 24 OF 29 FILE: 19-153

	Construction       Construction <t< th=""></t<>
	South EALTH OAD
	13 - 1/12
	S VINCENT M. MCHALE → Lic. No. 0402060162
	OCTOBER 13, 2023 AT
	FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA
	DATE REVISION
06	DESIGN: VMM CHECKED: VMM SCALE: 1" = 20' DATE: SEPT 3, 2021
:s 	FIRE SAFETY AND SIGNING PLAN
	SHEET 24 OF 29
	EILE. 10_153

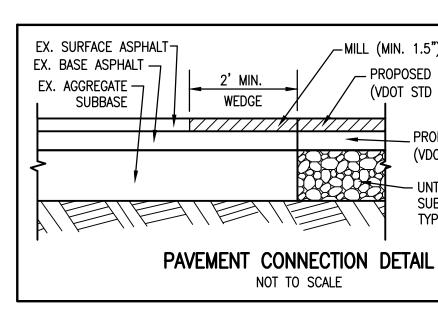




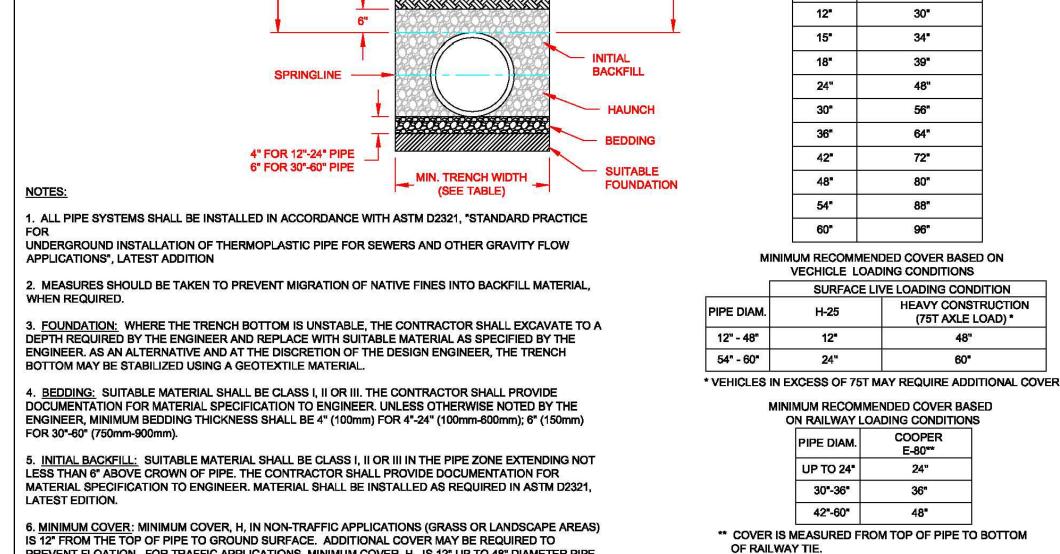








TO ASTM F 2306 PIPE.

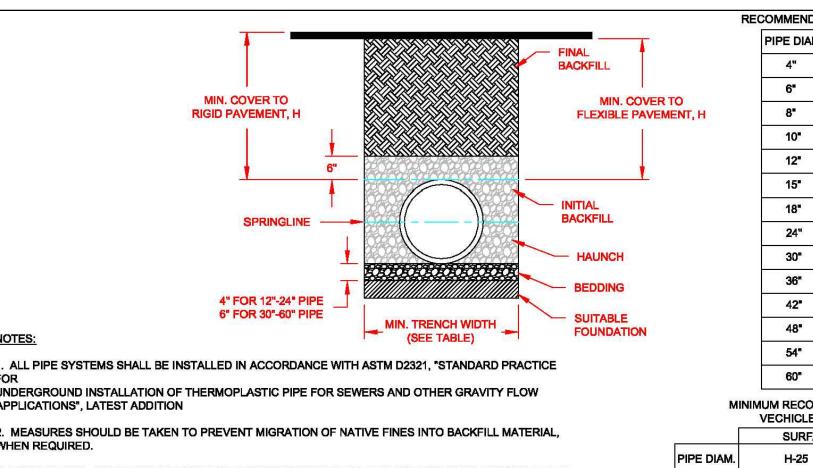


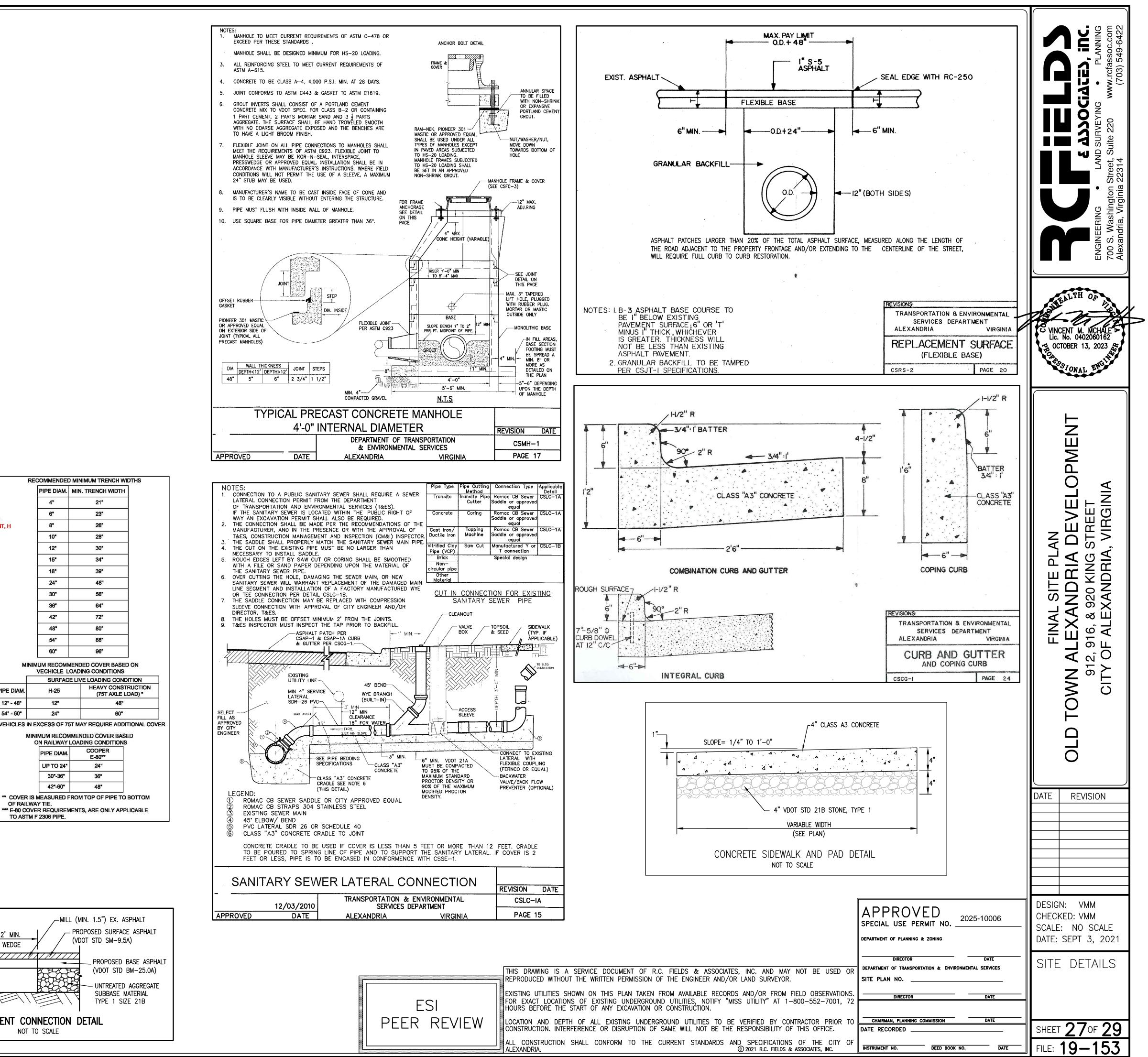
HDPE PIPE INSTALLATION DETAIL

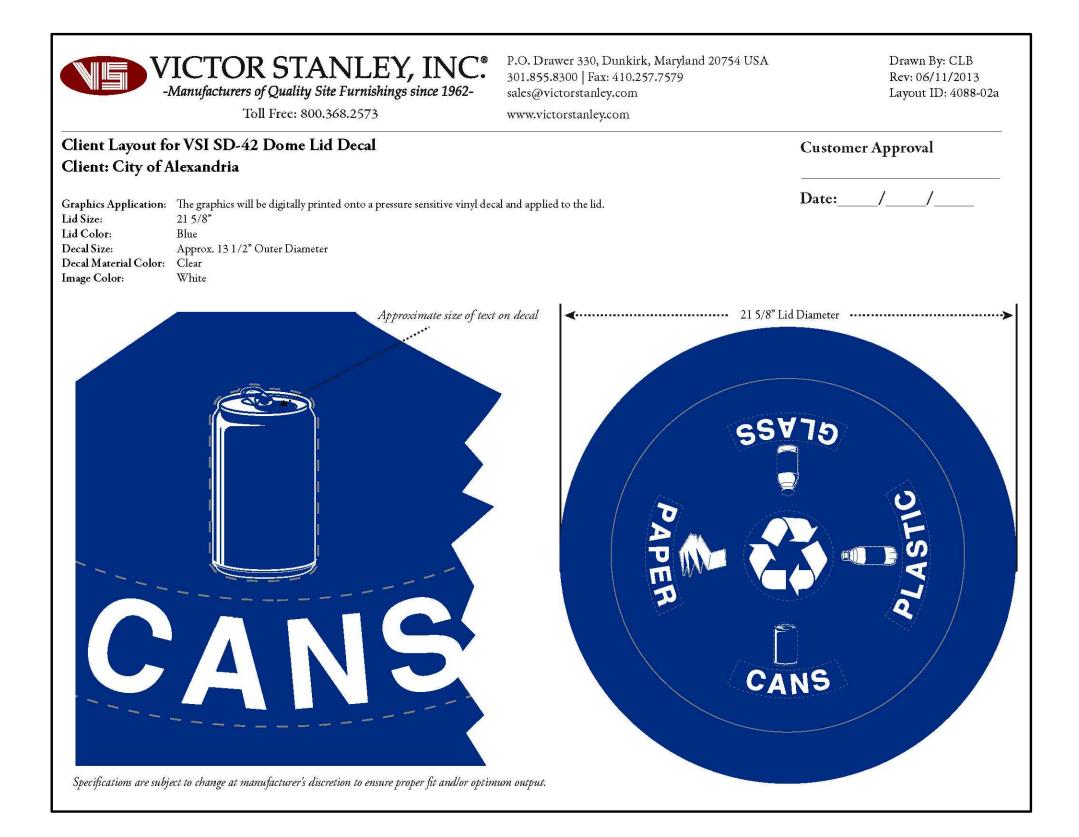
PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE

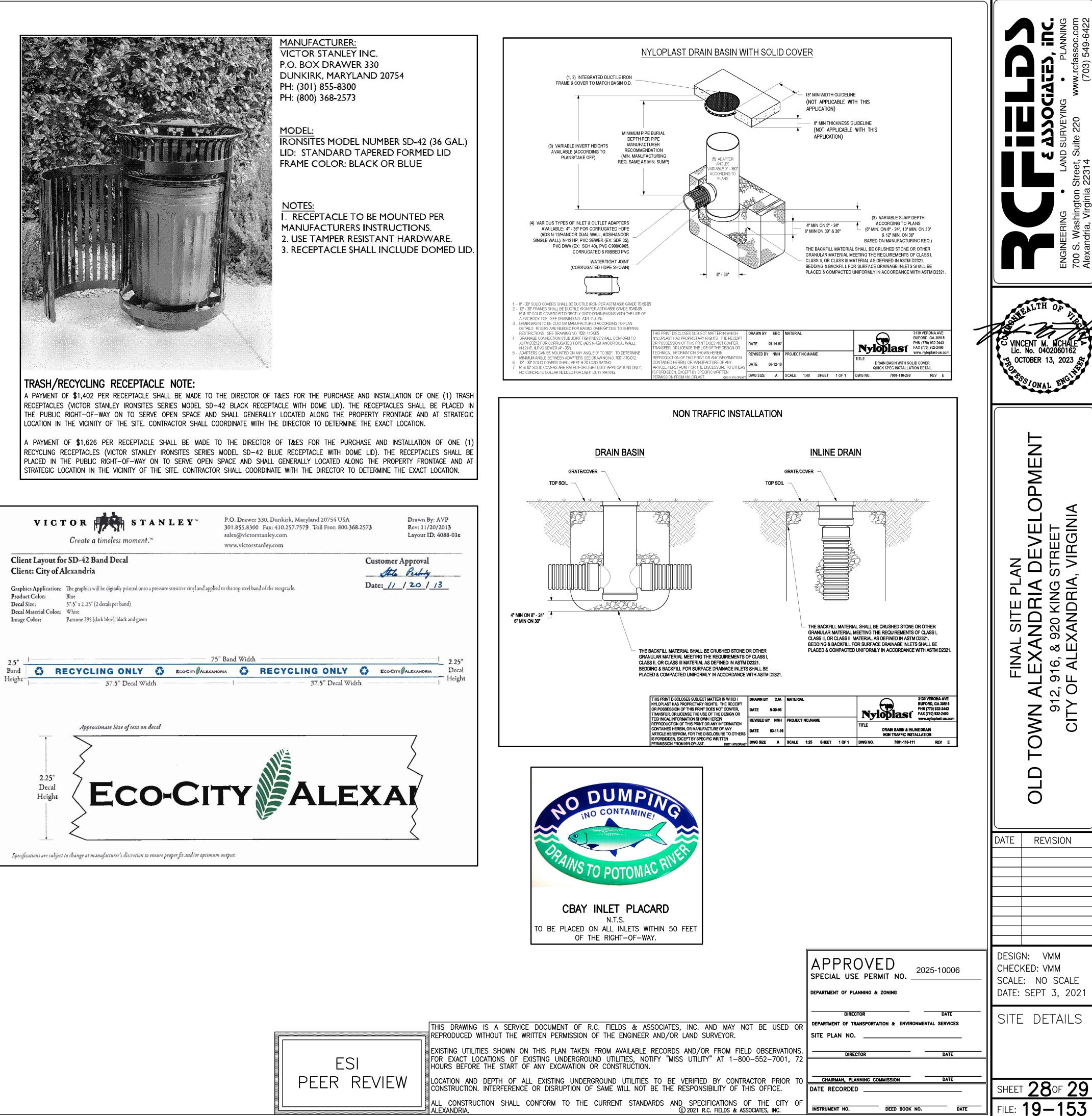
AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE

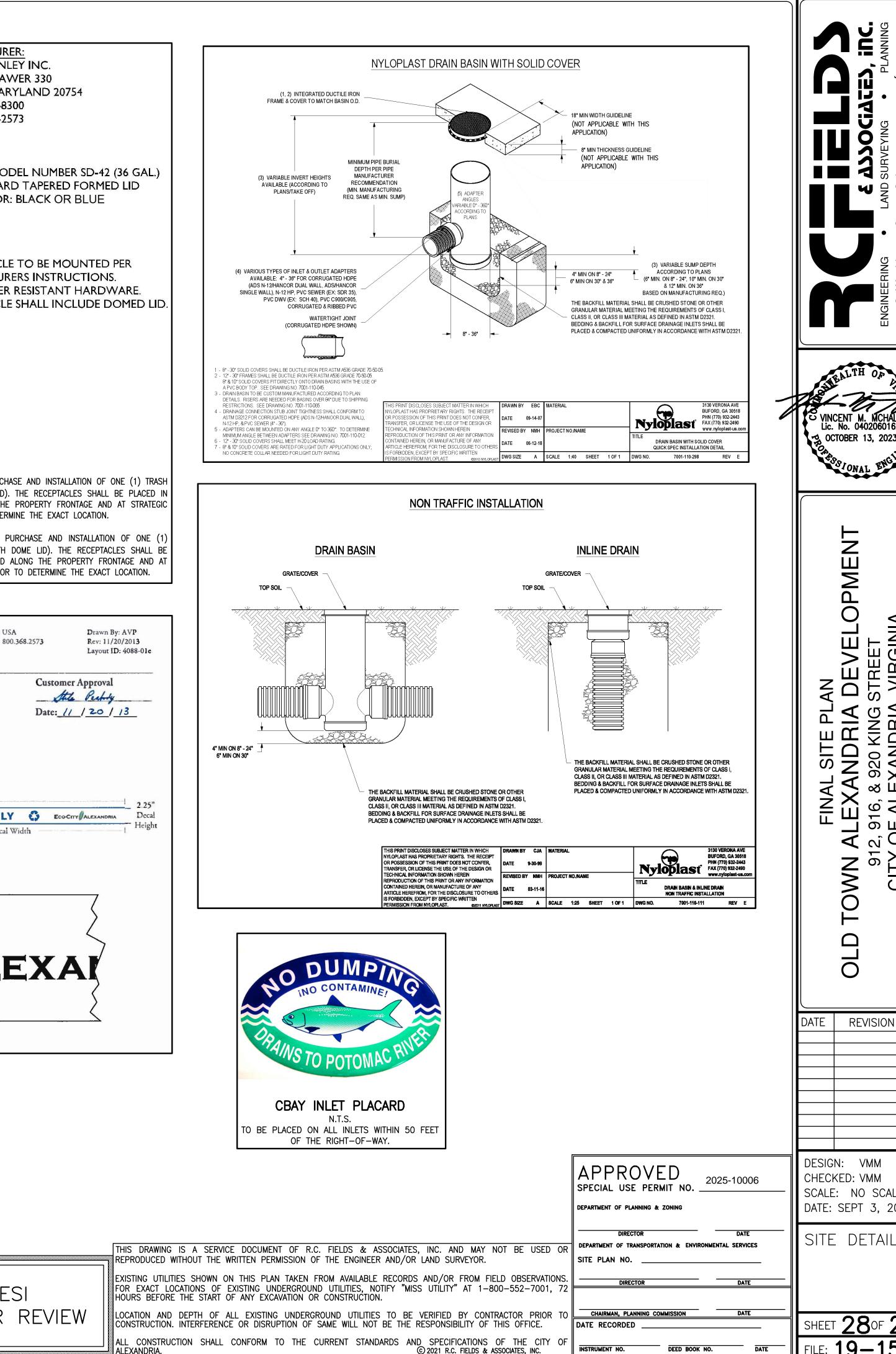
PAVEMENT OR TO TOP OF RIGID PAVEMENT.

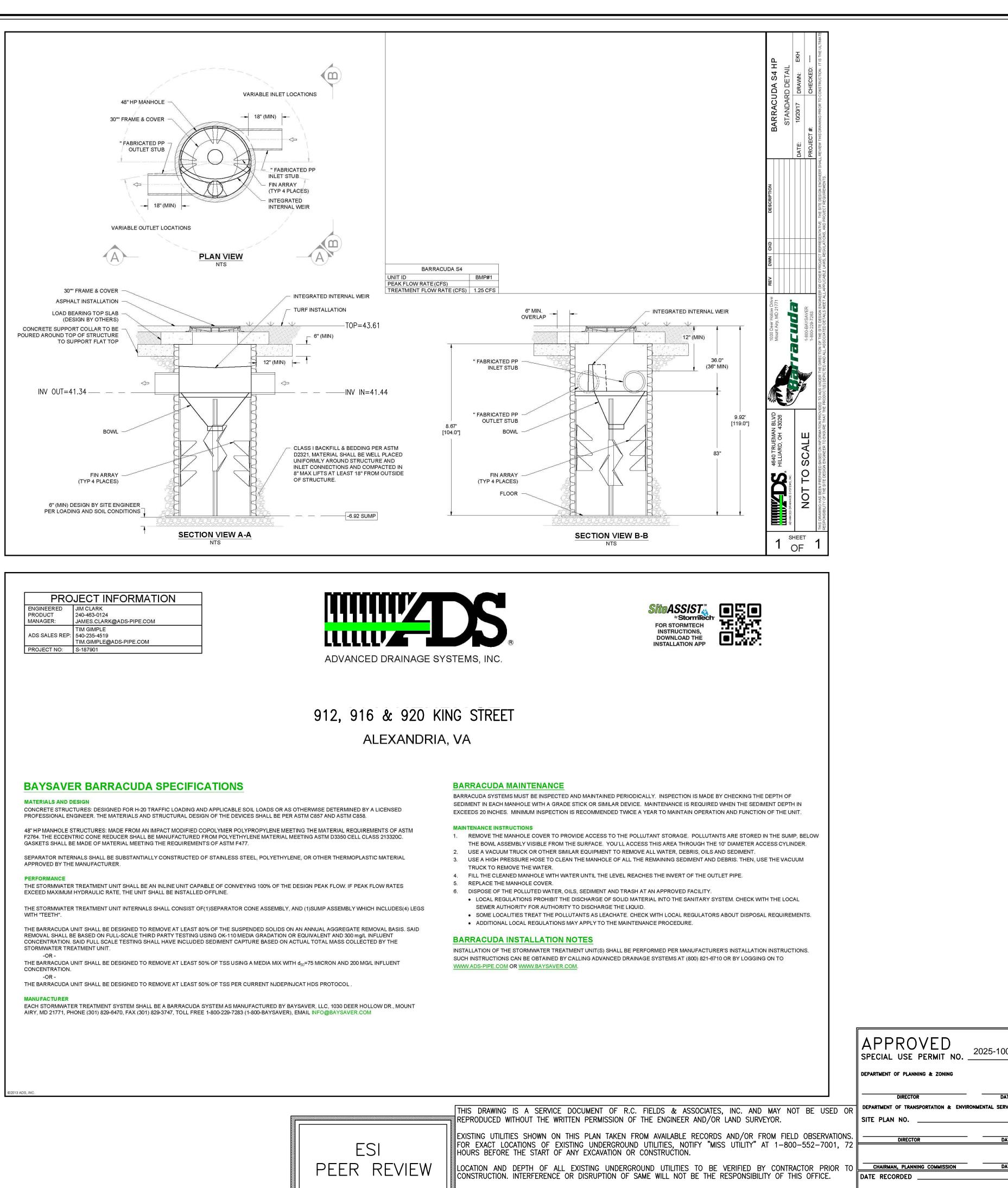






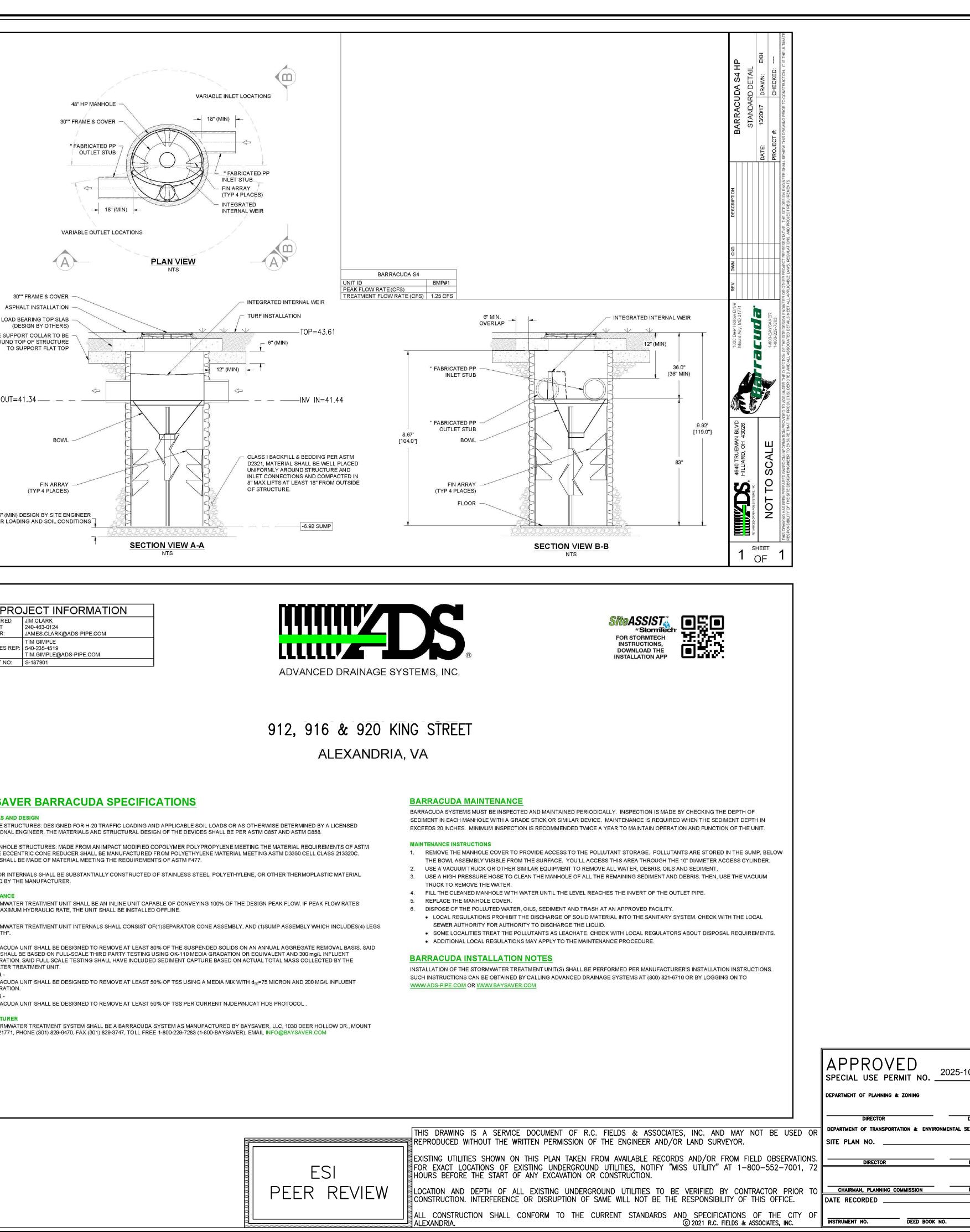




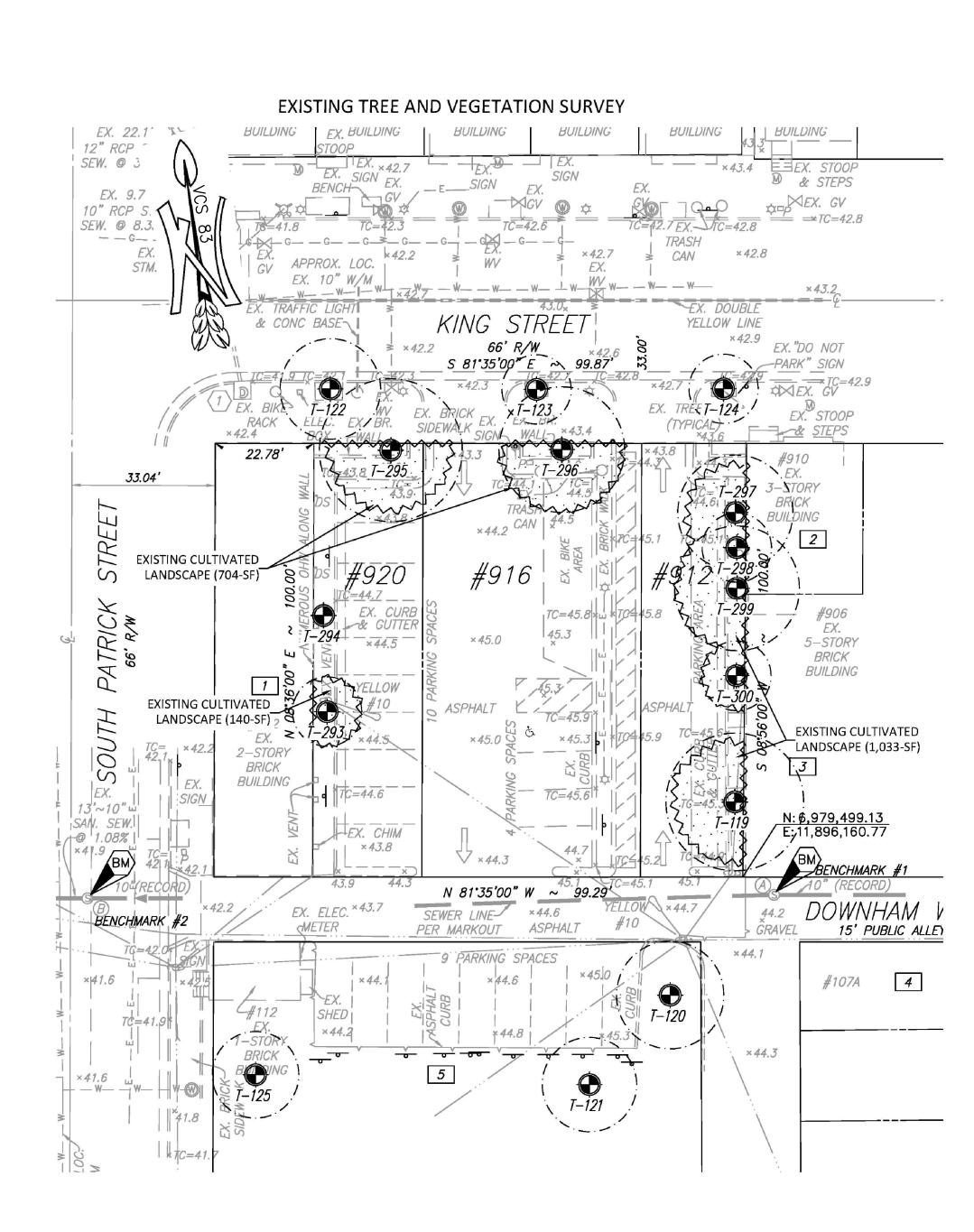


PROJECT INFORMATION					
ENGINEERED PRODUCT MANAGER:	JIM CLARK 240-463-0124 JAMES.CLARK@ADS-PIPE.COM				
ADS SALES REP:	TIM GIMPLE 540-235-4519 TIM.GIMPLE@ADS-PIPE.COM				
DBO JEOT NO	C 107001				

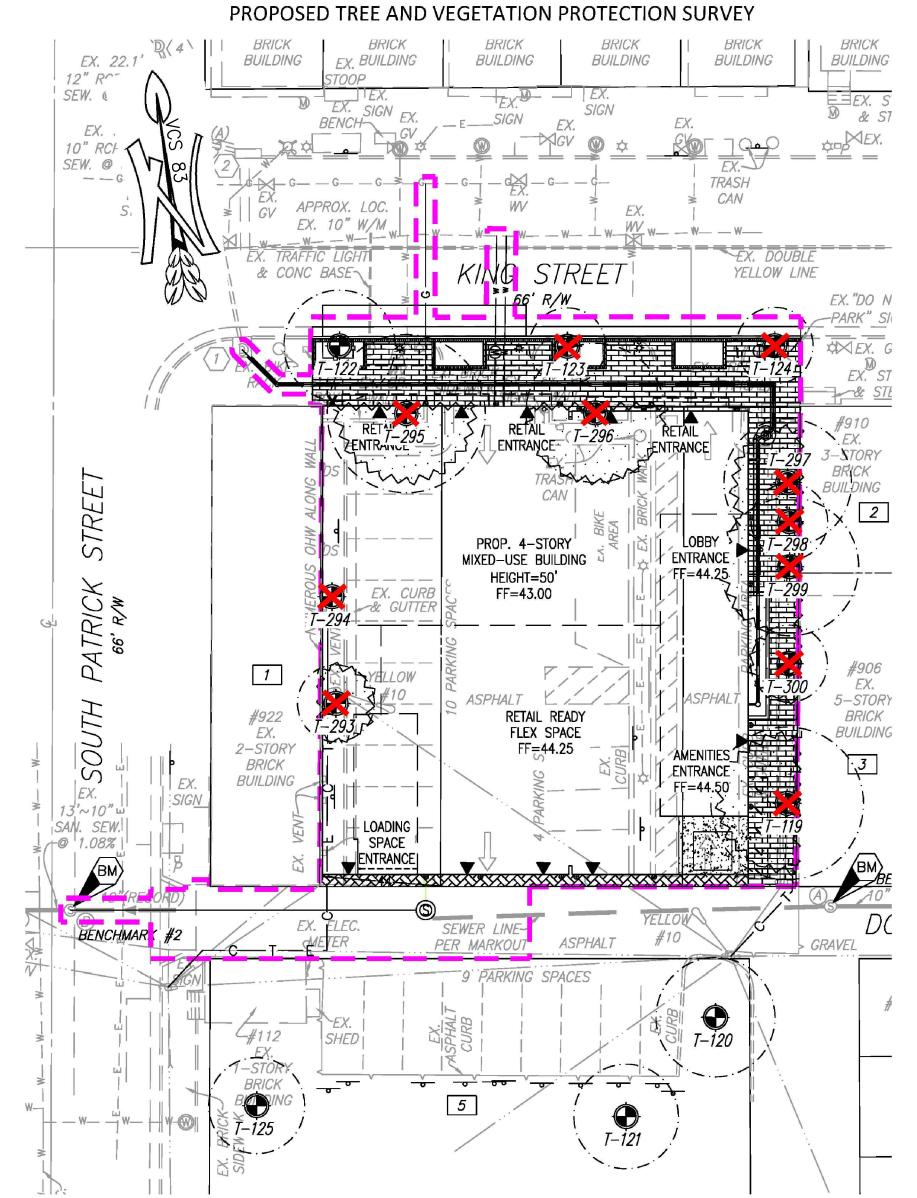


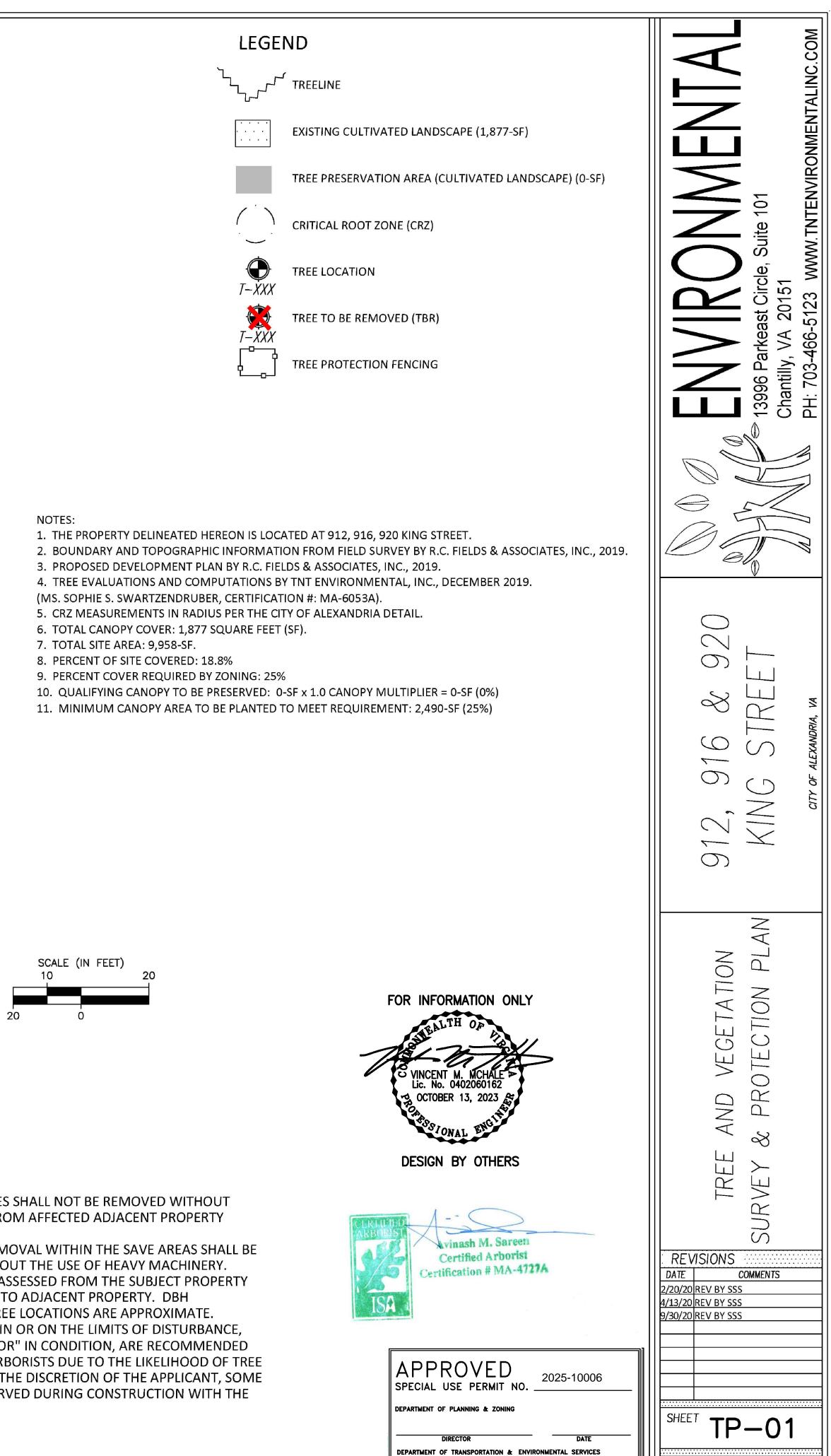


	Fight Construction       Fight Construction         Association       Association         Engine Engine       Land Suff Construction         700 S. Washington Street, Suite 220       www.rcfassoc.com         Alexandria, Virginia 22314       (703) 549-6422
	VINCENT M. MCHALE Lic. No. 0402060162
	OCTOBER 13, 2023 A
	FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT 912, 916, & 920 KING STREET CITY OF ALEXANDRIA, VIRGINIA
	DATE REVISION
0006	DESIGN: VMM CHECKED: VMM SCALE: NO SCALE DATE: SEPT 3, 2021
NATE RVICES	SITE DETAILS
DATE	SHEET <b>29</b> OF <b>29</b> FILE: <b>19–153</b>



Tree Number	Common Name	Scientific Name	Size (dia. @ 54-in. above grade)	Critical Root Zone (feet)		Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
119	Bradford Pear	Pyrus calleryana	15.9	15.9	50%	None, within LOD	TBR		Leaning, shallow roots, cavity at base, poor form, dead limbs.
120	Northern Red Oak	Quercus rubra	12.4	12.4	91%	High	SAVE	Offsite	A few dead limbs, some improperly pruned limbs in lower canopy.
121	Kwanzan Cherry	Prunus serrulata 'Kanzan'	10.9	10.9	81%	High	SAVE	Offsite	Improperly pruned limbs, some minor dieback.
122	Northern Red Oak	Quercus rubra	11.6	11.6	75%	High	SAVE	Offsite	Shallow roots, some dead limbs.
123	Northern Red Oak	Quercus rubra	3.0	8.0	59%	High	TBR	Offsite	Girdled/shallow roots, some dead limbs, previously improperly pruned.
124	Willow Oak	Quercus phellos	3.0	8.0	100%	High	TBR	Offsite	Newly planted.
125	Kwanzan Cherry	Prunus serrulata 'Kanzan'	10.0	10.0	81%	High	SAVE	Offsite	Improperly pruned limbs, some minor dieback.
293	Flowering Dogwood	Cornus florida	7.2	8.0	75%	None, within LOD	TBR		Shallow roots, growing against building, some dead limbs.
294	Dead	-	-	-	25%	None, within LOD	TBR		Dead
295	Northern Red Oak	Quercus rubra	16.5	16.5	69%	None, within LOD	TBR		Girdled roots, shallow roots, dead limbs/broken limbs, previously improperly pruned.
296	Northern Red Oak	Quercus rubra	14.5	14.5	66%	None, within LOD	TBR		Previously improperly pruned, some dead limbs/broken limbs, girdled/shallow roots.
297	Bradford Pear	Pyrus calleryana	13.3	13.3	56%	None, within LOD	TBR		Topped, poor form, dead limbs, wire around base, broken co-leader.
298	Bradford Pear	Pyrus calleryana	7.3	8.0	56%	None, within LOD	TBR		Broken co-leader, cavity, wire around base.
299	Bradford Pear	Pyrus calleryana	14.4	14.4	56%	None, within LOD	TBR		Broken co-leader, cavity, wire around base.
300	Bradford Pear	Pyrus calleryana	6.3	8.0	63%	None, within LOD	TBR		One-sided, previously improperly pruned, deadwood, broken limbs.





NOTES:

1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.

2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY. 3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE. 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.

> ESI PEER REVIEW

CHAIRMAN, PLANNING COMMISSIO DATE RECORDED DEED BOOK NO. DATE INSTRUMENT NO.

SITE PLAN NO.

DIRECTOR

SCALE: 1" – 20'

DRAFT:

SSS

PROJECT DATE:

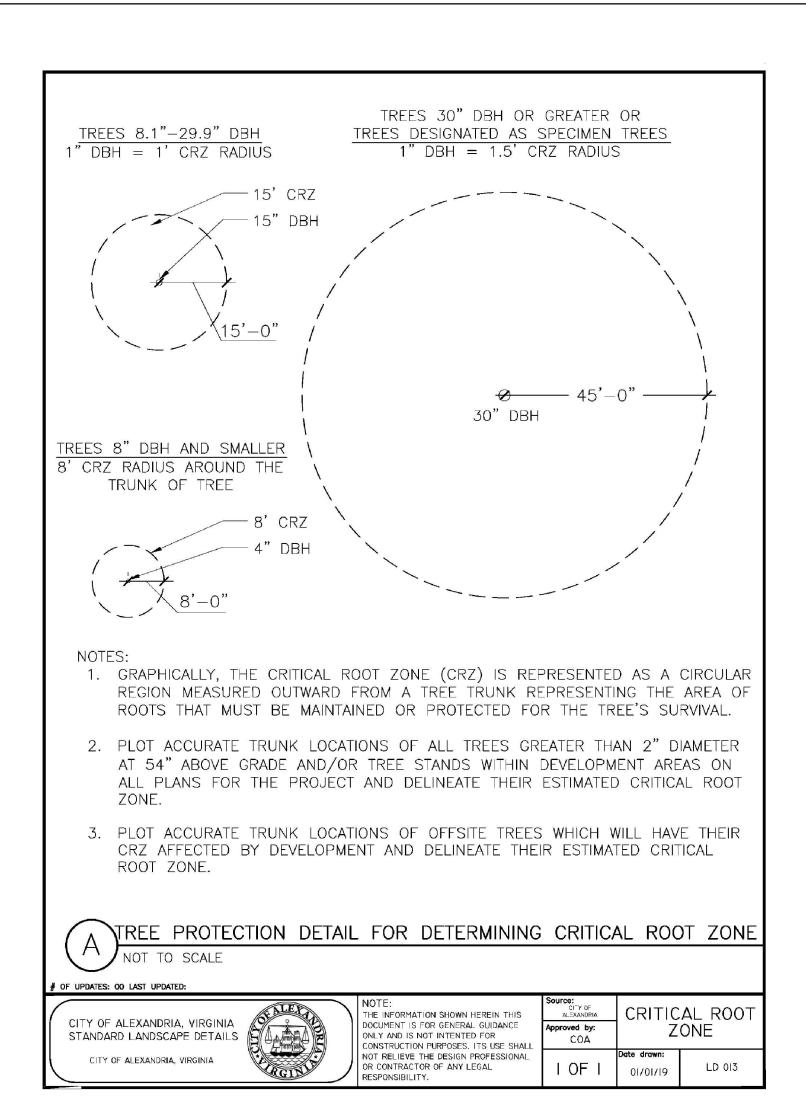
12/17/19

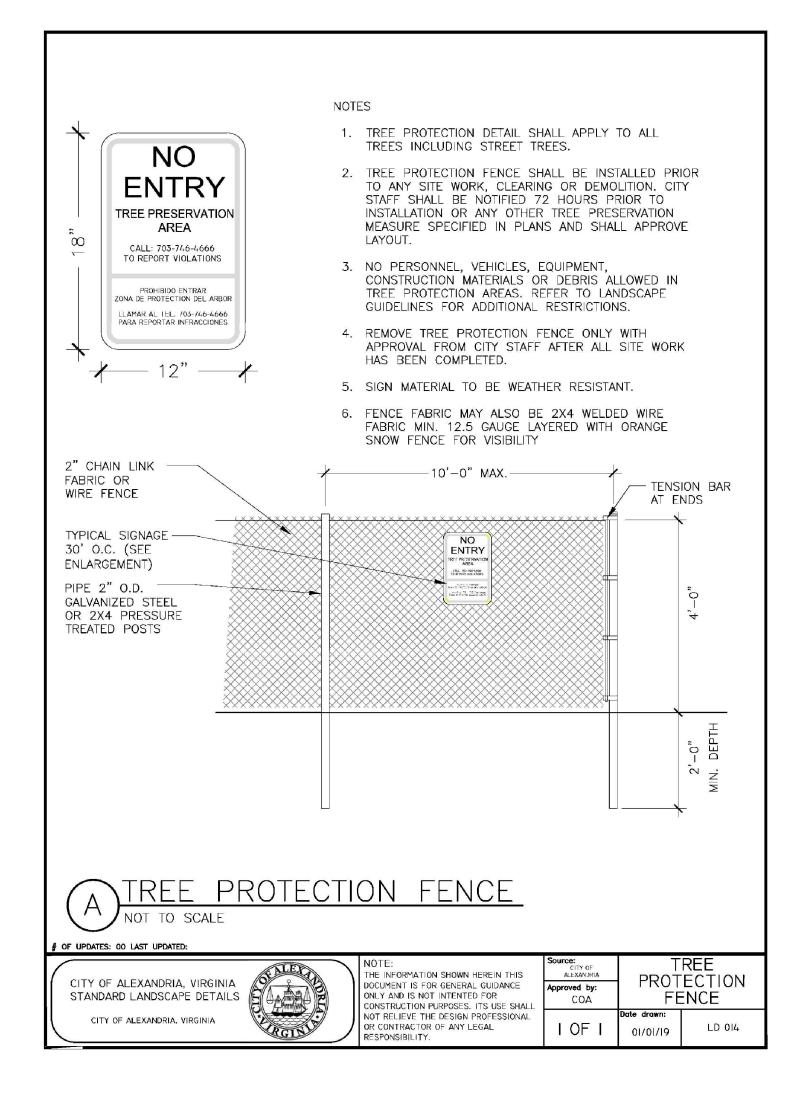
FILE NUMBER:

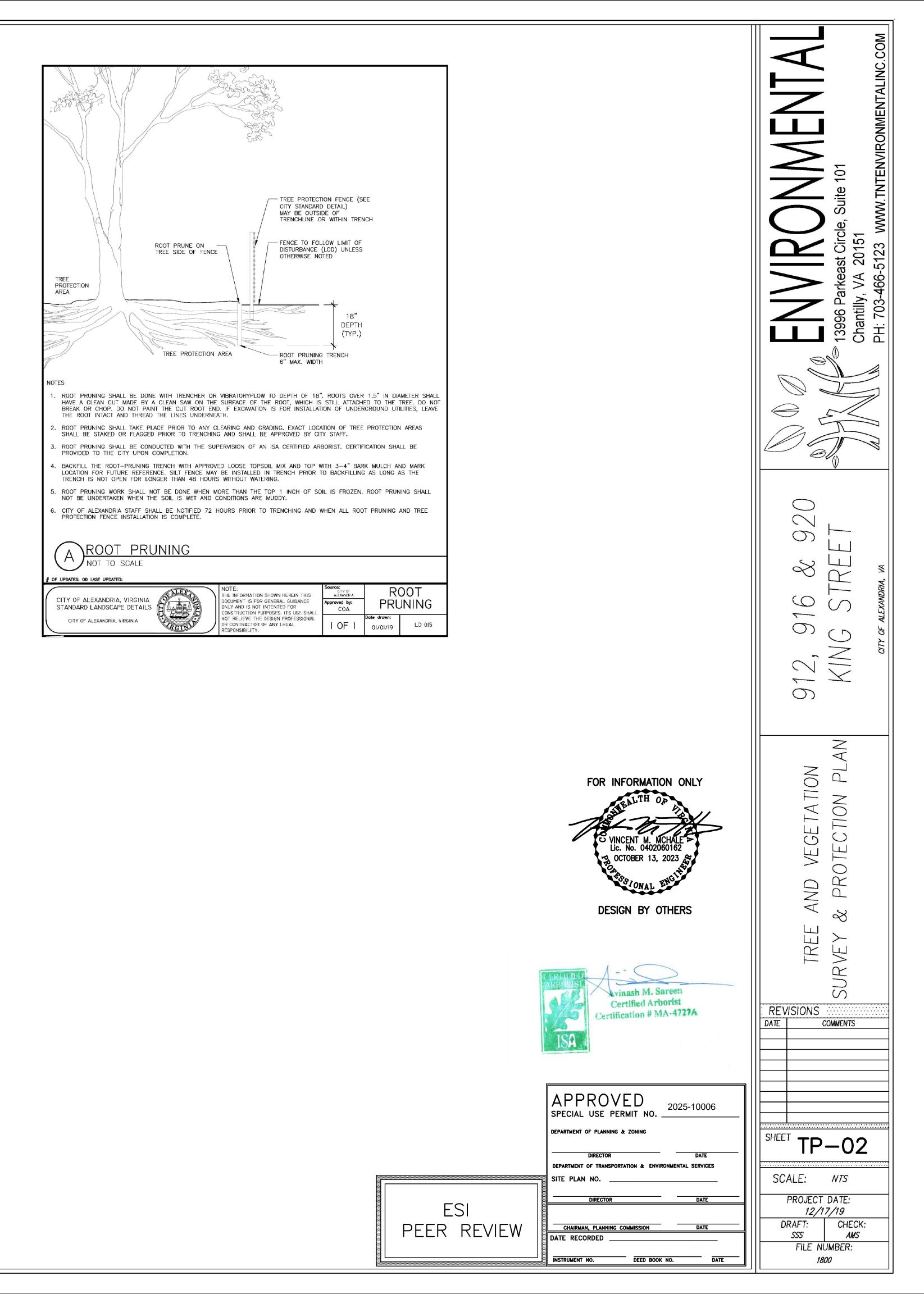
1800

CHECK:

AMS



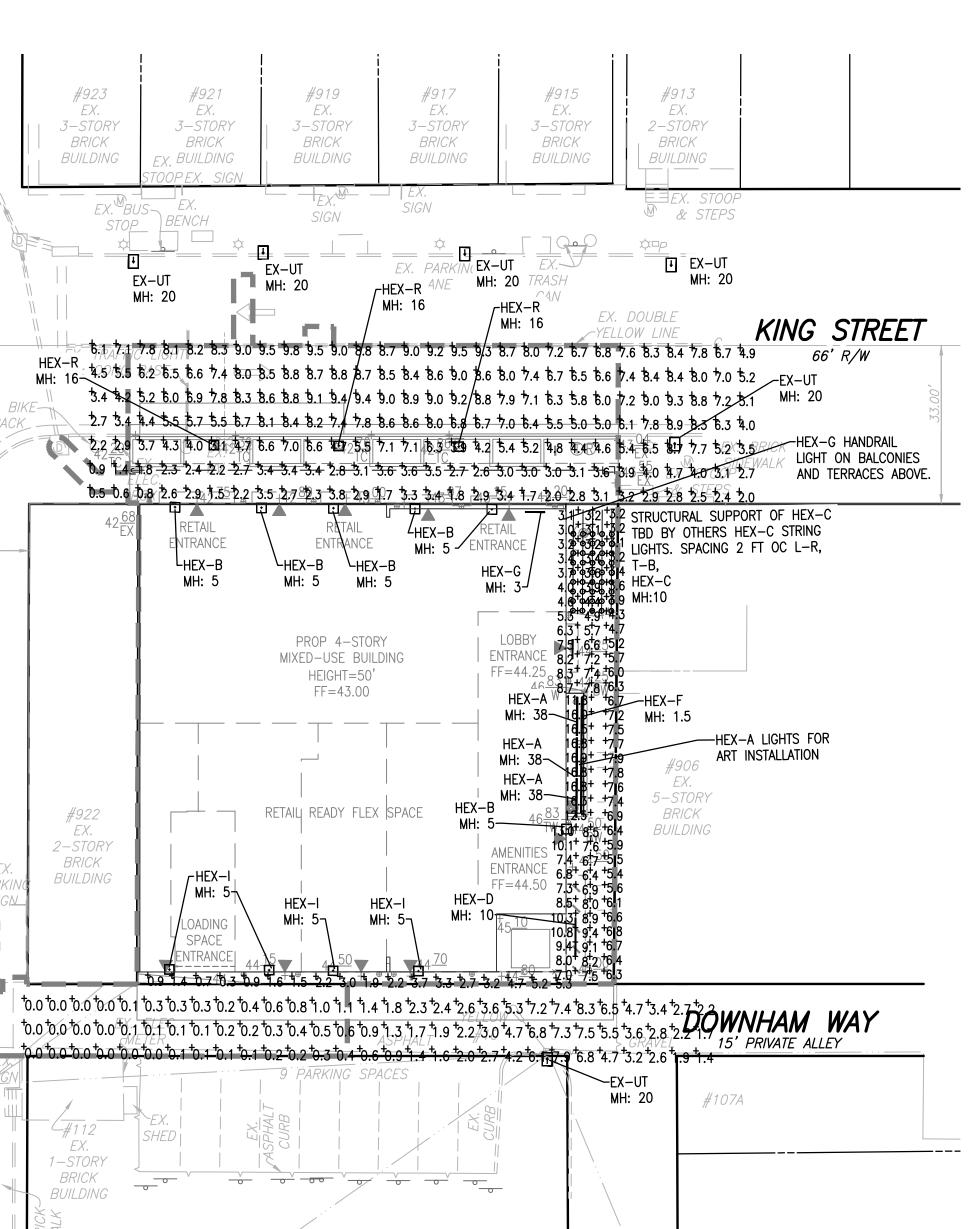






Luminaire	Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
Ð	6	EX-UT	SINGLE	28000	0.500	Existing Cobra Head Off-Site
	3	HEX-A	SINGLE	N.A.	0.468	3000K, 3051 LMS, SPI LIGHTING, SEW12146-8FT-L
$\blacksquare$	6	HEX-B	SINGLE	423.8	0.900	3000K, 424 LMS, TECH LIGHTING, 700WSVOTO5; MH
•	55	HEX-C	SINGLE	N.A.	0.900	3000K, 19 LMS PER LIGHT, LITESPHERE, LSLB12H3
÷	<b>-</b> 10	HEX-F	SINGLE	N.A.	0.216	3000K, 75 LMS/FT, LUMINII LIGHTING, KSW-[LENG'
						UNDER BENCH
+	<b>-</b> 1	HEX-G	SINGLE	N.A.	0.900	3000K, 121 LMS/FT, LUMINII, LL18WET-T-30K; MTG
$\rightarrow$	4	HEX-I	SINGLE	N.A.	0.900	3000K, 1935 LMS, TECH LIGHTING, 7000WBLD92730.
Ð	3	HEX-R	Single	N.A.	0.837	3000K, 6924 DEL LMS, HADCO BALTIMORE, 85W, VX
	•	•	•	·	•	•

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ART INSTALLATION	Illuminance	FC	3.47	10.9	0.5	6.94	21.80
BIKE RACK	Illuminance	Fc	4.42	5.6	2.9	1.52	1.93
DOWNHAM WAY WALKWAY	Illuminance	Fc	2.26	5.3	0.5	4.52	10.60
KING STREET	Illuminance	Fc	5.52	9.2	1.9	2.91	4.84
KING STREET WALKWAY	Illuminance	Fc	3.69	4.8	1.3	2.84	3.69
KING STREET ALLEY	Illuminance	Fc	3.72	7.3	2.5	1.49	2.92



LIGHTING CONTROL NOTE: ALL LIGHTS ONSITE ARE TO BE ON PHOTO

VCS NAD83 NORTH ZONE

		Hartranft Lighting Design 401 Hawthorne Ln, Ste. 110-269 Charlotte, NC 28204 (240) 731-1058
		S KING STREET ALEXANDRIA, VA
		No. Revision Date
		Seal & Signature DESIGNED BY OTHERS
		VINCENT M. MCHALE Lic. No. 0402060162 OCTOBER 13, 2023 A ONAL ENGINE DESIGNED BY OTHERS
OVOLTAIC SWITCHES.		Date
B1W = 5 FT DC12; MH = 10 FT TH]-30K, LL18, MH APPROX 1.5 FT		09/27/2020 Scale 1:20 Project No. & Title S KING STREET Drawn By KD
G UNDER BALCONY HANDRAIL 24xUNV; MH = 5 FT 58180-G3-C-5-W3; MH: 16'	APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	Checked ADH LIGHTING CALCULATIONS
ESI PEER REVIEW	SITE PLAN NO 	Sheet: LP-01
	INSTRUMENT NO. DEED BOOK NO. DATE	

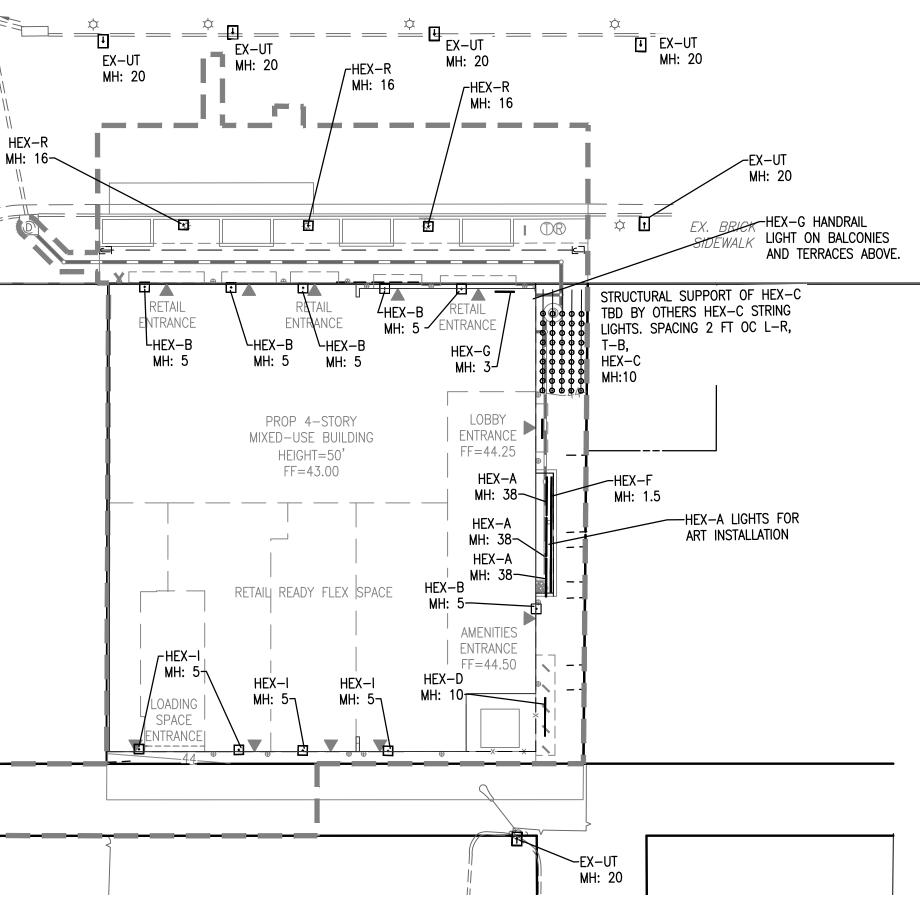
Hartranft

Lighting Desigr


Luminaire So	chedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
$\overline{}$	6	EX-UT	SINGLE	28000	0.500	Existing Cobra Head Off-Site
	3	HEX-A	SINGLE	N.A.	0.468	3000K, 3051 LMS, SPI LIGHTING, SEW12146-8FT-L31W
E	6	HEX-B	SINGLE	423.8	0.900	3000K, 424 LMS, TECH LIGHTING, 700WSVOTO5; MH = 5 F
<b>(</b>	55	HEX-C	SINGLE	N.A.	0.900	3000K, 19 LMS PER LIGHT, LITESPHERE, LSLB12H30C12;
•••	10	HEX-F	SINGLE	N.A.	0.216	3000K, 75 LMS/FT, LUMINII LIGHTING, KSW-[LENGTH]-30 UNDER BENCH
	1	HEX-G	SINGLE	N.A.	0.900	3000K, 121 LMS/FT, LUMINII, LL18WET-T-30K; MTG UNDE
$ \qquad \qquad$	4	HEX-I	SINGLE	N.A.	0.900	3000K, 1935 LMS, TECH LIGHTING, 7000WBLD9273024xUNV
$\square$	3	HEX-R	Single	N.A.	0.837	3000K, 6924 DEL LMS, HADCO BALTIMORE, 85W, VX68180-

# Calculation Summary

Label	СаlсТуре	Units	Avq	Max	Min	Avg/Min	Max/Min
ART INSTALLATION	Illuminance	FC	3.47	10.9	0.5	6.94	21.80
BIKE RACK	Illuminance	FC	4.42	5.6	2.9	1.52	1.93
DOWNHAM WAY WALKWAY	Illuminance	FC	2.26	5.3	0.5	4.52	10.60
KING STREET	Illuminance	FC	5.52	9.2	1.9	2.91	4.84
KING STREET WALKWAY	Illuminance	Fc	3.69	4.8	1.3	2.84	3.69
KING STREET ALLEY	Illuminance	Fc	3.72	7.3	2.5	1.49	2.92

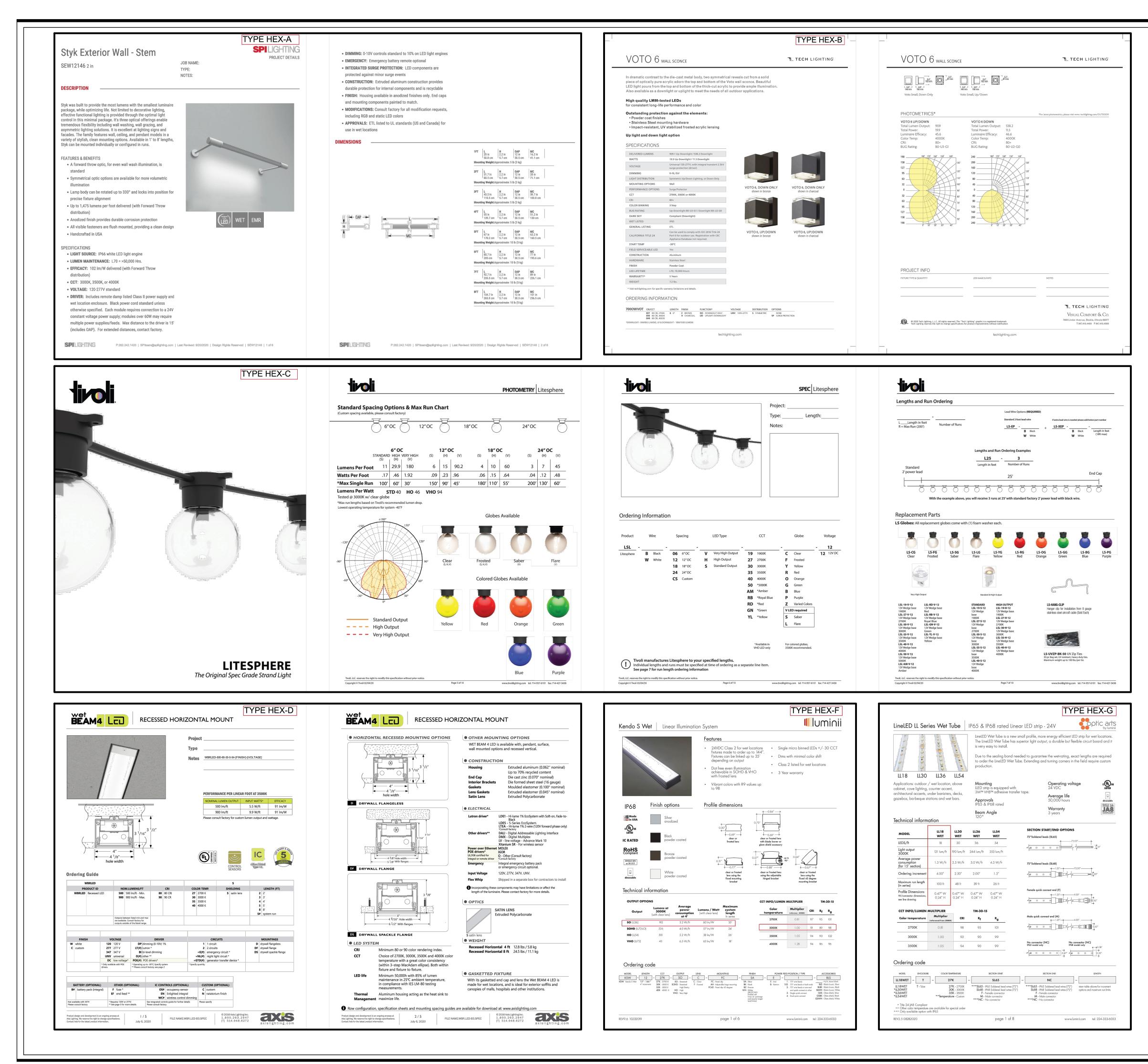


NORI

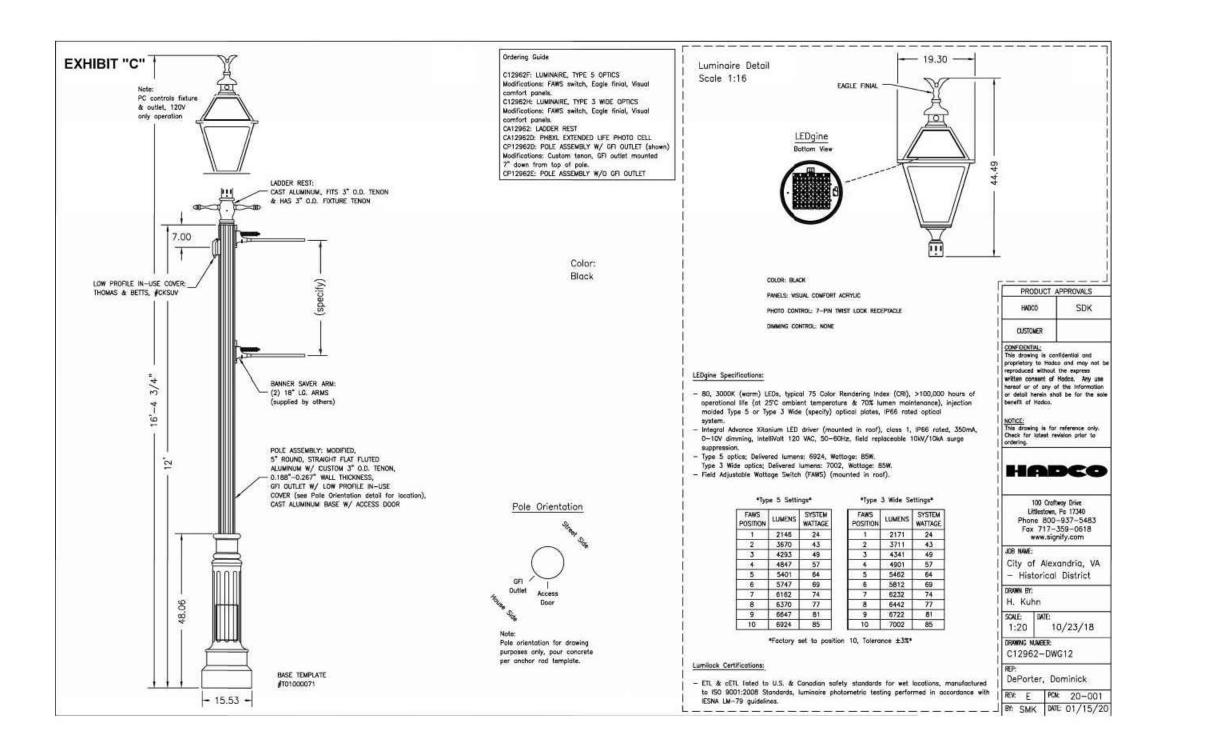
NAD83 TH ZONE

 $\left| \right\rangle$ 

		Hartranft Lighting Design Hartranft Lighting Design 401 Hawthorne Ln, Ste.
		110-269 Charlotte, NC 28204 (240) 731-1058 S KING STREET ALEXANDRIA, VA
		No. Revision Date
		Seal & Signature DESIGNED BY OTHERS
		VINCENT M. MCHALE Lic. No. 0402060162 COTOBER 13, 2023
		DESIGNED BY OTHERS
FT       0'         MH = 10 FT       0k, LL18, MH APPROX 1.5 FT         OK, LL18, MH APPROX 1.5 FT       Image: Comparison of the second	20' 40' ROVED USE PERMIT NO. 2025-10006	Scale 1:20 Project No. & Title S KING STREET Drawn By KD Checked ADH
DEPARTMENT C	DF PLANNING & ZONING DIRECTOR DATE OF TRANSPORTATION & ENVIRONMENTAL SERVICES NO.	ADH LIGHTING LOCATIONS Sheet:
ESI PER REVIEW date reco	DIRECTOR DATE  A, PLANNING COMMISSION DATE  RDED  NO. DEED BOOK NO. DATE	LP-02



	TYPE HEX-I	
LADE 24 outdoor wall	TL TECH LIGHTING	Hartranft Lighting
ntemporary aesthetic of the Blade 24outdoor wall sconce is sized to r ctural scale as it creates soft indirect, reduced-glare illumination by a		Design
ainst the wall for accenting architecture as well as for wayfinding. lectable CCT (2700K/3000K)		
rersal 120V-227V		
tstanding protection against the elements: - Wet Listed IP65 Rated - Stainless Steel Mounting Hardware		Hartranft Lighting I
- Powder Coat Finishes FICATIONS		401 Hawthorne Ln, 110-269
RED LUMENS 1587 28.6		Charlotte, NC 2820 (240) 731-1058
E Universal 120V-277V IG Dimmable with most LED compatible ELV & TRIAC dimmers + 0-10V		
STRIBUTION Symmetric not applicable		Client's name
NG OPTIONS Wall  2700K/3000K Selectable  90+		Project name Project Address
BINNING         3 Step           TING         80-U3-G0           KY         Non Compliant		
Y     Non Compliant       FED     IP65       L LISTING     ETL, ADA		
Can be used to comply with CEC 2016 Title 24 RNIA TITLE 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.		
MP -30°C RVICEABLE LED №		Owner of the Project Company
CTION Aluminum RE Stainless Steel Powder Coat		Address Phone Number
Powder Coat           /E         L70; 70,000 Hours           /*         5 Years		Project Manage
2 lbs. g.com for specific warranty limitations and details.	BLADE 24 OUTDOOR WALL shown in black	Company Address Phone Number
GINFORMATION		
RI/CCT LENGTH FINISH VOLTAGE 7300 90 CRI 2700K/3000K 24 24" B BLACK UNV 120V - 277V SELECTABLE Z BRONZE		
techlighting.com		
DE 24 outdoor wall	TECH LIGHTING	
24* 7 613 mm		
ister men door Wall		
		No.
T INFO		Date
JOB NAME & INFO	NOTES	
	<b>¬</b> ⊾ <b>TECH</b> LIGHTING	
Tech Lighting, LL.C. All rights reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, https://www.sthe.right.to.change.specifications.for.product improvements without notification.		Seal & Signature
techlighting.com		DESIGNED BY
		ALTH O
		ALLEAD
		18-10
		VINCENT M. M Lic. No. 04020
		CCTOBER 13,
		Contraction of the second
		SS IONAL
		DESIGNED BY
		Date
		<u>09/27/2020</u>
		NOT TO SCALE
		Project No. & Title
		S KING STREET Drawn By
		S KING STREET Drawn By KD
	APPROVED 2025 SPECIAL USE PERMIT NO.	S KING STREET Drawn By KD
	APPROVED SPECIAL USE PERMIT NO. 2025	5-10006 S-10006
	APPROVED SPECIAL USE PERMIT NO DEPARTMENT OF PLANNING & ZONING	5-10006 S-1006 S-1006 S-10006 S-10006 S-10006 S-10006 S-10006 S-100
	DEPARTMENT OF PLANNING & ZONING	5-10006 DATE SKING STREET Drawn By KD Checked ADH LIGHTING SHEET
	DEPARTMENT OF PLANNING & ZONING	5-10006 DATE L SERVICES SKING STREET Drawn By KD Checked ADH LIGHTING SHEET
	DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTA SITE PLAN NO.	5-10006 DATE L SERVICES Sheet:
FSI	DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTA	5-10006 DATE L SERVICES SKING STREET Drawn By KD Checked ADH LIGHTING SHEET
ESI DEER REV/IEW	DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTA SITE PLAN NO. DIRECTOR DIRECTOR	5-10006  DATE L SERVICES  SKING STREET Drawn By KD Checked ADH  LIGHTING SHEET Sheet:
ESI PEER REVIEW	DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTA SITE PLAN NO. DIRECTOR DIRECTOR	5-10006  DATE L SERVICES  DATE L SERVICES  DATE L SERVICES  DATE L SERVICES  DATE L DATE L P-03
	DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTA SITE PLAN NO. DIRECTOR CHAIRMAN, PLANNING COMMISSION	5-10006  DATE L SERVICES  DATE L



		HARTRANFT LIGHTIN Kim Daley Andrea Hartranft	G DESIGN, LLC				
ARCHITECT	URAL LUMIN	AIRE SCHEDULE					
PROJECT: I	King and Hen	ry					
NOTES							
1	BHOULD THE CONTRAC	TOR WISH TO HAVE PRODUCTS OTHER 1	THAN THOSE SPECIFIED CO	NSIDERED, THE ITEMS MUST B	E SUBMITTED (14) DAYS IN ADVAN	CE OF THE BID. FAILURE TO S	SUBMIT WITHIN
2	CONTRACTOR SHALL	PROVIDE A COMPLETE LIST OF ALL LAMP	B WHICH WILL BE FURNISH	ED ON THE PROJECT. THIS LIST	SHALL BE ORGANIZED ALPHABET	ICALLY BY LUMINAIRE TYPE II	NDICATED ON
3	THE CONTRACTOR SHA	LE PROVIDE AN ADDITIONAL 10% OF ALL	LAMPS LISTED AT PROJEC	T TURN OVER LAMPS ARE FOR	SPARE REPLACEMENT LAMPS, US	ST OF SPARE LAMPS TO BE IN	ICLUCED IN SU
<u></u>		EXIT LIGHTING SHALL BE DESIGNED AND					
Б	0-10V DIMMING REQUIR						
6	CONFIRM WITH ARCHIT	ECT THE EXACT MOUNTING HEIGHT AFF					
9	1	CONTRACTOR MUST PROVIDE UNIT P	RICING TO THE ARCHITECT	FOR EACH FIXTURE TYPE ODV	PLETE WITH ALL ACCESSORIES A	ND LAMP.	
LUMINAIRE TYPE	IMAGE	DESCRIPTION	LAMP	MANUFACTURER	CATALOG NUMBER	POWER SUPPLY	WATTS
					GENERAL SITE L	IGHTING	-
HEX-R	\$	DECORATIVE, HISTORIC STREETLIGHT	3000K, 6924 DEL LMNS	HADCO BY SIGNIFY	C12962F	INTEGRAL	85
			L		KING ST.		
HEX-A	1.	ART WALL LIGHTING	3000K, 3051 LMS	SPI LIGHTING	SEW12146-8FT-L31W- 120/277-3000 [MOUNTING] RUN-[LENGTH]-DF_FT- OAP30-[FINISH]	REMOTE, 0-10V DIM	31W
HEX-B		SCONCE AT ENTRIES IN ALLEY AND RETAIL ON KING ST	INTEGRATED LED, 568.7 LUMENS , 3000 K	TECH LIGHTING	VOTO 4: 700WSVOT5- [COLOR]-[FINISH]-LED830- XXX	0-10V, ELV	9 W
HEX-C	10	STRING LIGHT	INTEGRATED LED, 45 LUMENS/ FT, 3000 K	TİVOLI	LITESPHERE: LSL-B-24-V- 30K-F-12V	REMOTE 0-10V DIM	.48 W/FT
HEX-F		RECESSED CANOPY LINEAR LIGHTS AND UNDER BENCH	INTEGRATED LED. 75 LUMENS/ FT. 3000K, 91 CRI	LUMINII LIGHTING	KENDO S WET: KMW- (LENGTH)-30K-SO-F-FC-SA E-1-BLS	REMOTE 0-10V DIM	1.6 W/FT
HEX-G	5 115 1	HANDRAIL LIGHTS FOR BALCONIES	300K, 121 LMS/FT	LUMINII LIGHTING	LINELED, LL18WET-T-30K- [LENGTH]	REMOTE, 0-10V DIM	1.5 W/FT
	1	SCONCES ON DOWNHAM WAY	INTEGRATED LED.		BLADE 24: 700WBLD-		

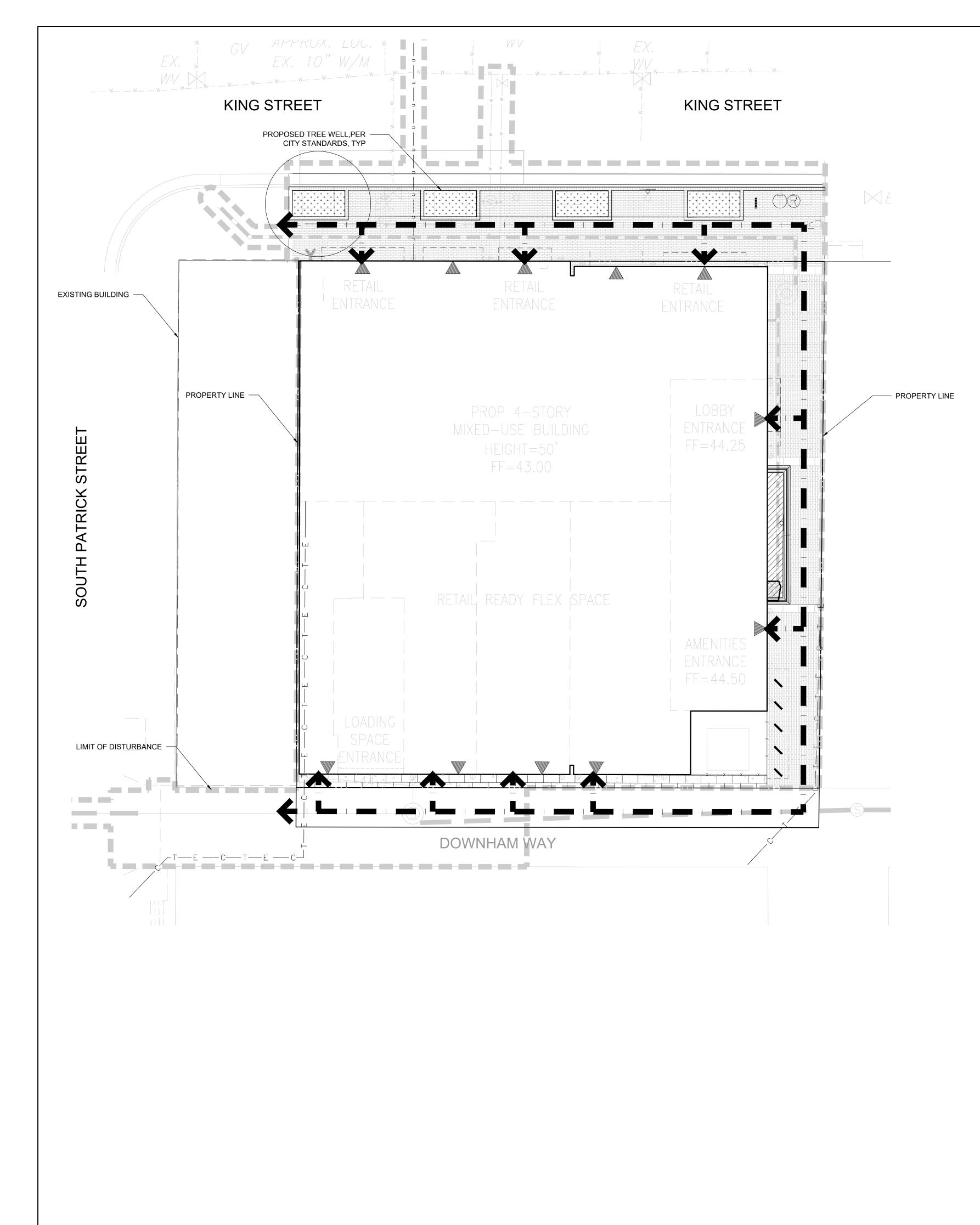
Hartminft Lighting Design FF0000Architectural Lighting Solutions

								REVISION
								HE VISION 06 01 2022
		PROJECT	#:	_				DATE: 12.02.2020
CATED ON T		SCHEDULE,						NEO PRODUCTS WILL BE SUPPLIED. AND EXACT MCOEL ORDERING OCCIE OF EACH LAMP.
WATTS	VOLTS	CONE	APER. SIZE	SURFAC	PINEH DO	HECESS	ING HILdag	NOTES
85	BY EE		1. (J)	×			2	14 FT POLE = 16 FT HEIGHT. CONFIRM FINISH. CONFIRM POLE STYLE
31W	BYEE		2.2*	×			2.2*	CONFIRM LENGTH FROM DRAWINGS - (QTY 3) 8 FT LENGTHS MOUNTED BACK-TO-BACK. CONFIRM MOUNTING SETBACK. CONFIRM FIXTURE ONGE ART HAS BEEN FINAL IZED. CONFIRM FINISH. ADDITONAL MOUNTING HARDWARE MAY BE REQUIRED.
9 W	BY EE		3.3" APPROX	x			3.9" X 5"	CONFIRM FINISH AND GLASS PINISH. CONFIRM VOLTAGE.
48 W/FT	BY EE		2 3/16"		×	0	3 1/8*	CONFIRM LENGTHS, CONFIRM MOUNTING.
1.6 W/FT	BYEE		0.69*	×			,49*	CONFIRM LENGTH FROM DRAWINGS PROVIDE ALL PARTS FOR A COMPLETE WORKING SYSTEM
1.5 W/FT	BYEE		.A7*	×		-	.24*	CONFIRM LENGTHS CONFIRM TAPE FITS IN HANDRAIL NOTCH PROVIDE ALL PARTS FOR A COMPLETE WORKING SYSTEM
27.7 W	BYEE		4.2*	×			1.6" X 24"	CONFIRM 18" OR 24" LENGTH
					L (			

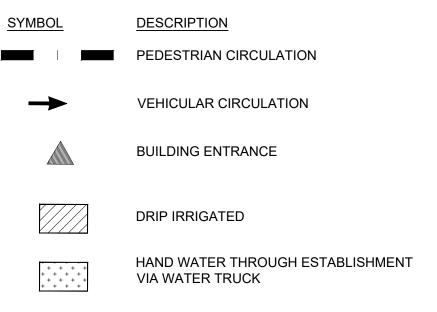
	Hartranft Lighting Design Hartranft Lighting Design 401 Hawthorne Ln, Ste. 110-269 Charlotte, NC 28204 (240) 731-1058
	Project name Project Address Owner of the Project Company Address Phone Number Project Manage Company Address Phone Number
	No. Revision Date
	DESIGNED BY OTHERS
APPROVED 2025-10006 SPECIAL USE PERMIT NO DEPARTMENT OF PLANNING & ZONING DIRECTOR DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE DI ANI NO.	Date 09/27/2020 Scale NOT TO SCALE Project No. & Title S KING STREET Drawn By KD Checked ADH KING AND HENRY FIXTURE SCHEDULE
SITE PLAN NO	Sheet: LP-04

ESI

PEER REVIEW



# LEGEND



NOTE: 1. SEE SHEET L-102 FOR MATERIALS + PLANTING PLAN AND TABULATIONS.

### **CITY OF ALEXANDRIA STANDARD NOTES:**

- 1. THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIED, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
- 2. THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
- THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.
   ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS
- ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
- INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
   IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED
- 6. IN LIEU OF MORE STRENOOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GATHERSBURG, MARYLAND.
- 7. SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
- 8. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.
- 9. THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
- 10. THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
- 11. THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
- 12. ALL CONSTRUCTION WASTE SHALL BE REMOVED PRIOR TO PLANTING.
- 13. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- 14. AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY.



DEED BOOK NO.

CHAIRMAN, PLANNI

DATE RECORDED

INSTRUMENT NO.

E	SI
PEER	REVIEW

NG & ZONING	CHECK	ED BY:	MC		
	SCALE			NORTH	
DATE Portation & Environmental Services	VERT: HORZ:	N/A 1"=10'		Ø	
DATE	0	5'	10'	20	)'
IG COMMISSION DATE	SHEET TITLE	LATIC	)n + if	RIGATIC	)N



LandDesign.
200 S. PEYTON STREET ALEXANDRIA, VA 22314 703.549.7784
WWW.LANDDESIGN.COM
КЕҮ МАР
SEAL
NEALTH OF L
Mittle C
MATTHEW V. CLARK

# 920 KING ST

Lic. No. 952

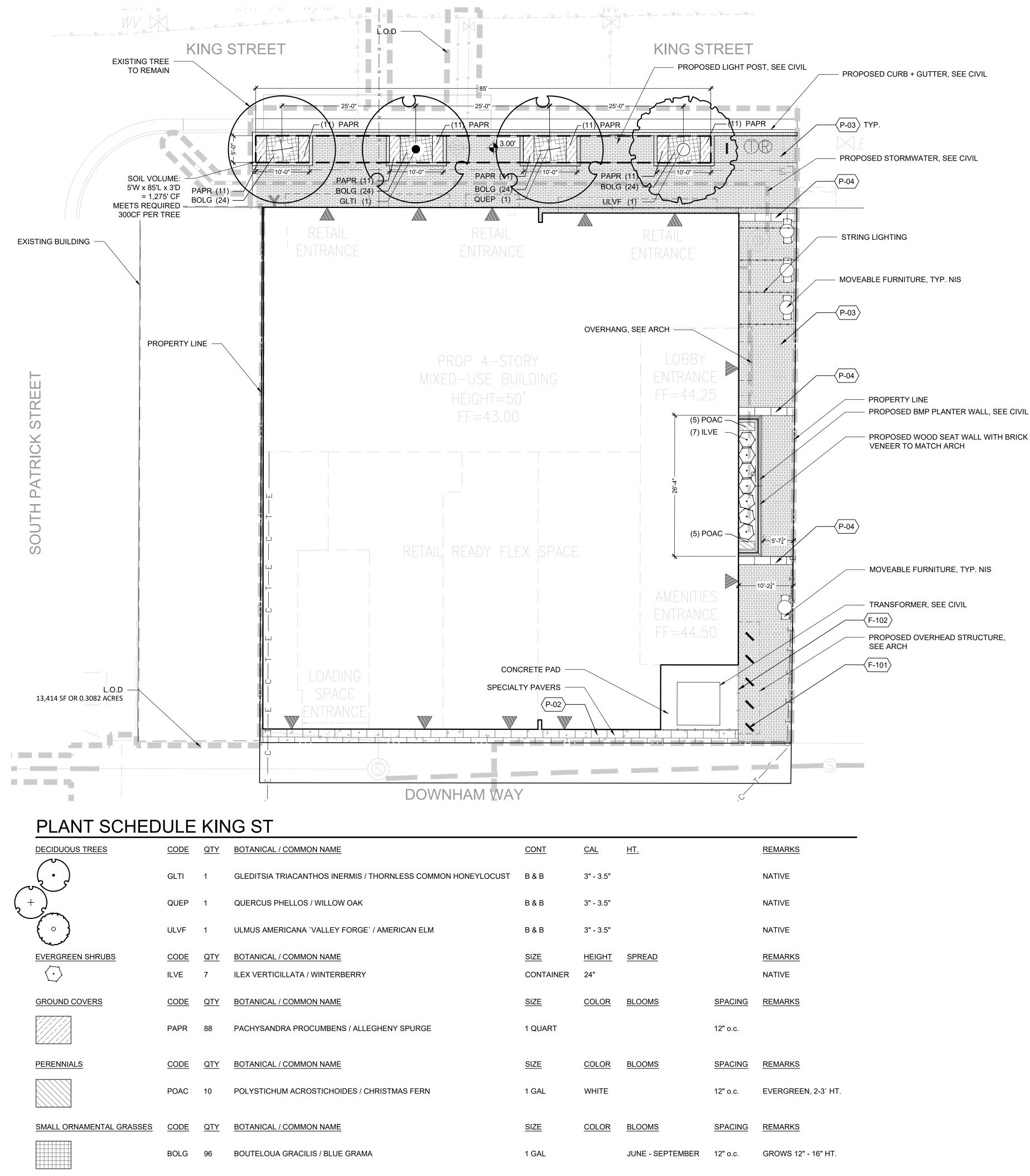
MAY 25, 2022

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

LANDDES	2019086						
<b>REVISION / ISSUANCE</b>							
NO.	DESCRIPTION	DATE					
1	CONCEPT II SUBMISSION	12.20.19					
2	PRELIMINARY I SUBMISSION	02.28.2020					
3	PRELIMINARY I SUBMISSION	05.01.2020					
4	PRELIMINARY I SUBMISSION	06.12.2020					
5	FSP SUBMISSION	09.03.2021					
6	FSP2 SUBMISSION	01.07.2022					
7	FSP3 SUBMISSION	05.25.2022					
DE	SIGNED BY: MC/WT						
DR	AWN BY: WT						
CH	ECKED BY: MC						
SCALE	N	ORTH					
	l.						
	RT: N/A RZ: 1"=10'						
0	5' 10'	20'					
SHEET TI	TLE						

ORIGINAL SHEET SIZE: 24" X 36"

DATE



	FENCE & RAIL	
SYMBOL	DESCRIPTION	DETAI
F-101	BIKE RACK	4/L201
F-102	SCREEN FENCE	3/L202
SYMBOL	PAVING DESCRIPTION	DETAI
P-02	SCORED CONCRETE PAVING	6/L201
P-03	BRICK PAVING	2/L201
P-04	PAVER - TYPE 2	3/L201
	BUILDING ENTRANCE	
	LIMITS OF UNCOMPACTED SOIL	VOLUM
<u>X.XX'</u>	SOIL DEPTH	

NOTE 1. TABLES AND CHAIRS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL FURNITURE SELECTION AND LAYOUT TO BE PROVIDED BY OWNER.

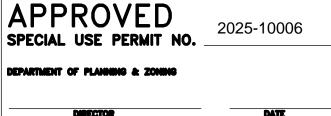
CROWN COVER T	ABULATIONS
TOTAL SITE AREA (SF)	9,958
25% CROWN COVER REQUIRED (SF)	2,490
EXISTING CROWN COVER (SF)	1,877
REMOVED CROWN COVER (SF)	1,877
PRESERVED CROWN COVER (SF)	0
Crown Cover from Preserved Trees	
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	200
Crown Cover from Proposed Trees	0
Crown Cover from Proposed Shrubs	200
TOTAL CROWN COVER PROVIDED (%)	2.0%
TOTAL CROWN COVER PROVIDED (SF)	200

<u>AL</u>	<u>HT.</u>		REMARKS
- 3.5"			NATIVE
- 3.5"			NATIVE
- 3.5"			NATIVE
EIGHT	SPREAD		REMARKS
"			NATIVE
DLOR	BLOOMS	<u>SPACING</u>	REMARKS
		12" o.c.	
DLOR	BLOOMS	<u>SPACING</u>	REMARKS
HITE		12" o.c.	EVERGREEN, 2-3` HT.
DLOR	BLOOMS	<u>SPACING</u>	REMARKS
	JUNE - SEPTEMBER	12" o.c.	GROWS 12" - 16" HT.

<u>IL</u>	
)1	
2	
<u>IL</u>	
1	
1	(CITY STANDARD)
1	
ЛE	

# **CITY OF ALEXANDRIA STANDARD NOTES:**

- 1. THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIED, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
- 2. THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
- 3. THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN. 4. ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS
- THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
- 5. INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES. 6. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED
- WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GATHERSBURG, MARYLAND.
- 7. SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
- 8. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.
- 9. THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
- 10. THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
- 11. THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
- 12. ALL CONSTRUCTION WASTE SHALL BE REMOVED PRIOR TO PLANTING.
- 13. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- 14. AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY.



EPARTMENT OF TRANSPORTATION & ENVI SITE PLAN NO.



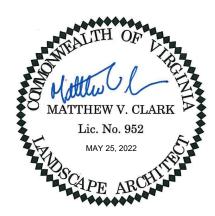
31.				
	C	HAIRMAN,	PLANNING	COMMISSION
łĒ		-		
11	DATE	RECOR	DED	

NSTRUMENT

DATE

DATE





# 920 KING ST

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

LANDDES	LANDDESIGN PROJ.# 2019086									
F	<b>REVISION / ISSUANCE</b>									
NO.	DESCRIPTION	DATE								
1	CONCEPT II SUBMISSION	12.20.19								
2	PRELIMINARY I SUBMISSION	02.28.2020								
3	PRELIMINARY I SUBMISSION	05.01.2020								
4	PRELIMINARY I SUBMISSION	06.12.2020								
5	FSP SUBMISSION	09.03.2021								
6	FSP2 SUBMISSION	01.07.2022								
7	FSP3 SUBMISSION	05.25.2022								
DR	SIGNED BY: AWN BY: ECKED BY:									
SCALE	NO	DRTH								
VEF HOF	RT: N/A RZ: 1"=10'	D								
0	5' 10'	20'								
SHEET TI	TLE									

MATERIALS AND PLANTING



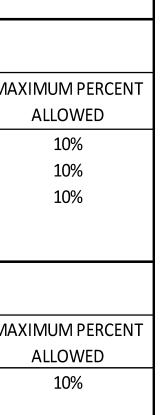
PLANT SCHEDULI		May 1, 2020											
PLANT TYPE	PLAN INF	ORMATION		BOT	ANIC/COMMON NAME		SIZE	NOTES	CROWN COVER ALL	OWANCE (CCA)			
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	GLTI		Gleditsia	Triacanthos Inermis		Thornless Common Honeylocust	3"-3.5" cal.	B&B symmetrical, single leader (ROW tree)	750	750	1	1	1
URBAN TREES	QUEP	1	Quercus	Phellos		Willow Oak	3"-3.5"cal	B&B symmetrical, single leader (ROW tree)	1,250	1,250	1	1	1
	ULVF	1	Ulmus	Americana	Valley Forge	American Elm	3"-3.5"cal	B&B symmetrical, single leader (ROW tree)	1,250	1,250	1	1	1
									0	0	0	0	0
	TOTALS	3							URBAN TREE CCA:	3,250	3	3	3
	IUTALS	5							URBAN TREE CCA:	5,250	100.0%	100.0%	100.0%
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/SPREAD		CCA PER SHRUB (SF)	TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	ILVE	7	ILEX	VERTICILLATA		WINTERBERRY	#3 / 18"-24"		25	175	7	7	7
EVERGREEN SHRUBS													
	TOTALS	_							EVERGREEN SHRUB	475	7	7	7
	IUTALS	/							<b>CCA:</b> 175		100.0%	100.0%	100.0%
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.				REGIONAL (#)	EASTERN U.S. (#)	TOTAL
GROUNDCOVERS	BOLG	96	Bouteloua	Gracilis		Blue Grama	1 GAL		N/A				
GROONDCOVERS	POVR	88	Pachysandra	procumbens		Allegheny spurge	1 QUART						
	TOTALS	184									#		#
	IUTALS	104									%		%
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.				REGIONAL (#)	EASTERN U.S. (#)	TOTAL
PERENNIALS, FERNS, ORNAMENTAL GRASSES	POAC	-	Polystichum	Acrostichoides		Christmas Fern	1 GAL		N/A	,			
	TOTALS	40									#		#
	TOTALS	10									%		%

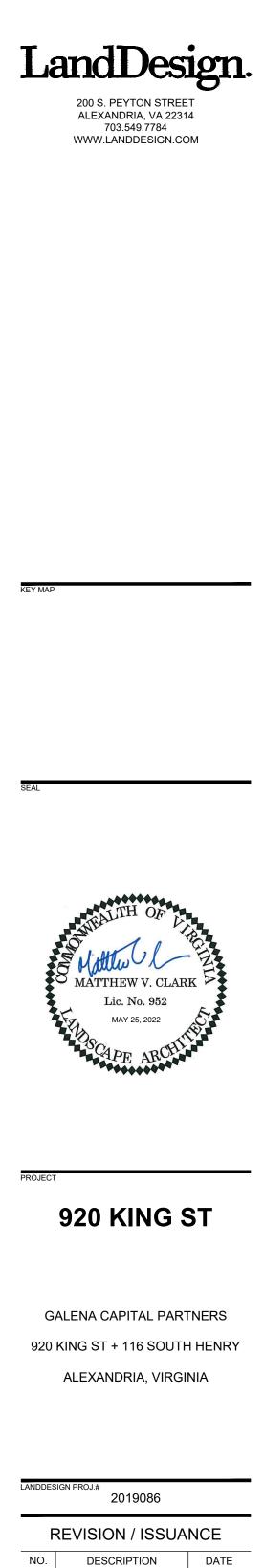
URBAN TREE TABULATIONS								
PLAN KEY	QUANTITY	PLAN LOCATION	PROJECTED 20 YR. CANOPY* (PER TREE)	IMPERVIOUS AREA UNDER CANOPY (PER TREE)	IMPERVIOUS AREA GREATER THAN 50% OF PROJECTED 20 YR. CANOPY? (Y/N)			
GLTI	1	STREET TREE	750 SF	680 SF	Y			
QUEP	1	STREET TREE	1,250 SF	1,125 SF	Y			
ULVF	1	STREET TREE	1,250 SF	1,125 SF	Y			
	TOTAL URBAN TREES							
	3							

			BIODIVERSITY	TABULATIONS								
TREES (URBAN A	REES (URBAN AND STANDARD)											
TOTAL NUMBER	OF TREES PROP	OSED: 3										
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL MA						
Gleditsia	1	33.3%	33%	tricanthos inermis	1	33.3%						
Quercus	1	33.3%	33%	phellos	1	33.3%						
Ulmus	1	33.3%	33%	arborea	1	33.3%						
SHRUBS TOTAL NUMBER	OF SHRUBS PRO	OPOSED: 8										

GENUS	QTY.	PERCENT OF TOTAL PROPOSED			QTY.	PERCENT OF TOTAL MA	
llex 7		100%	33%	VERTICILLATA	7	100%	

			MARCH 2, 2019 – JANUARY 1, 2020 JANUARY 2, 2020 – JANUARY 1, 2024						BEGINNING JAN		
PLANT TYPE	QUANTITY		REQUIRED	PRO	VIDED	REQUIRED	PRO	VIDED	REQUIRED	PROV	IDED
	QUANTI		%	QTY.	%	%	QTY.	%	%	QTY.	9
Urban Trees	3	Regional/Local	10%			15%	3	100%	20%		
orban nees	5	Total Natives	25%			25%	3	100%	50%		
Standard Trees	0	Regional/Local	15%			25%	0	0.00%	40%		
	0	Total Natives	40%			60%	0	0.00%	80%		
Evergreen	7	Regional/Local	5%			8%	7	100.00%	10%		
Shrubs	1	Total Natives	20%			30%	7	100.00%	40%		
Deciduous	0	Regional/Local	10%			15%			20%		
Shrubs	0	Total Natives	40%			60%			80%		
Groundcovers	184	Regional/Local	5%			10%	184	100.00%	10%		
Toundcovers	104	Total Natives	10%			20%	184	100.00%	20%		
Perennials, Ferns, Ornamental	39 -	Regional/Local	10%			15%	39	100.00%	25% (perennials) 30% (ferns & grasses)		
Grasses	57	Total Natives	25%			40%	39	100.00%	60% (perennials) 80% (ferns & grasses)		
Vines		Total Natives	80%			100%	0	0.00%	100%		
				T	OTALS		•				
TOTAL PLANTS S	SPECIFIED	TOTAL SUM C	F REGIONAL/LOCAL	NATIVE PLAN	TS		тот	AL SUM OF	NATIVE PLANTS		
			233			233					
233			100.0%			100.0%			.0%		
IOTES:											
	-	quantity of each plant tern U.S. Native, Regio		-		•			ed during the listed tir	me frames	•





	2019000							
F	REVISION / ISSUA	NCE						
NO.	DESCRIPTION	DATE						
1	CONCEPT II SUBMISSION	12.20.19						
2	PRELIMINARY I SUBMISSION	02.28.2020						
3	PRELIMINARY I SUBMISSION	05.01.2020						
4	PRELIMINARY I SUBMISSION	06.12.2020						
5	FSP SUBMISSION	09.03.2021						
6	FSP2 SUBMISSION	01.07.2022						
7	FSP3 SUBMISSION	05.25.2022						
DE	SIGNED BY: MC/WT							
DR	AWN BY: WT							
CH	ECKED BY: MC							
SCALE	N							
VEF HOF	RT: N/A RZ: 1"=10'							
0	5' 10'	20'						
	SHEET TITLE LANDSCAPE SCHEDULE + TABULATIONS							

L103

SHEET NUMBER

APPROVED SPECIAL USE PERMIT NO.	2025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIR	COMMENTAL SERVICES
SITE PLAN NO.	

CHAIRMAN, PLANNING

DATE RECORDED



-

DATE INSTRUMENT NO. DEED BOOK NO. DATE

DATE

ORIGINAL SHEET SIZE: 24" X 36"

# PLANTING NOTES:

- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- 2. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014. 3. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
- 4. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- 5. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDDESIGN PRIOR TO PURCHASE.
- 6. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
- 7. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDDESIGN PRIOR TO INSTALLING. LANDDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
- 8. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY LANDDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
- 9. IF APPLICABLE LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS. 10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES. PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
- 12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND /OR REMOVED.
- 14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- 15. FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- 16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET
- 17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
- 18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- 19. ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUNDCOVER ZONES AND 36" FOR TREE PITS.
- 20. AFTER PLANTING SOIL MIXES ARE INSTALLED IN NEW PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
- 21. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
- 22. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.
- 23. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

# PLANTERS/POTS/SEASONAL PLANTING NOTES:

- SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS MINIMUM 36" DEPTH FOR ALL TREES
- 3. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL
- 4. PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
- WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL, SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
- 6. IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON. CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
- 7. CONTACT LANDDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
- 8. ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
- 9. AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
- 10. SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

# **IRRIGATION NOTES:**

- 1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- 2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
- 3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
- 4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
- 5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION

# MATERIALS + PAVING NOTES:

1. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.

2. SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

2.1. PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT

2.2. PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE

PAVEMENT SUBGRADE. THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.

4. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL

HEAT.

4.1. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT 5. CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:

5.1. MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE

5.2. AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE

5.3. SLUMP: 3 TO 5 INCHES 5.4. AIR CONTENT: 4 TO 6 PERCENT BY VOLUME

6. CONCRETE THICKNESS:

6.1. PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.

6.2. ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS 7. CONCRETE REINFORCING:

7.1. 4" THICK PAVING: #3's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS

7.2. 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS

7.3. 8" THICK PAVING: #5's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS

7.4. ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.

7.5. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.

8. CONTROL JOINTS (TROWEL OR SAW CUT)

8.1. TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.

8.2. SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.

8.3. SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18". 8.4. SAWN JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED. SEALANT MATERIAL SHALL BE SONNEBORN SONOLASTIC SL2 MULTI-COMPONENT, SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH PAVEMENT.

9. EXPANSION JOINTS

9.1. PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.

9.2. PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.

9.3. CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.

10. ALL CONSTRUCTION JOINTS SHALL BE SAWN, CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.

11. CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE

12. BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS

13. PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS. 14. PAVEMENT MARKINGS

14.1. FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.

14.2. ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.

14.3. PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE, UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURER'S RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED. PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.

15. CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.

### ACCESSIBILITY NOTES:

1. MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE

2. MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.

3. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVFI

4. ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.

5. ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.

6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDDESIGN.

### **GENERAL NOTES:**

- ARCHITECTURAL INFORMATION IS FROM PLANS BY: OWNER
- 3. DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.

- OWNER OR LANDDESIGN PRIOR TO BIDDING.
- CONNECTION WITH THE WORK

- THE CONTRACT.

# LAYOUT NOTES:

- CONSTRUCTION STANDARDS.
- I OCATION OF UTILITIES.
- CONDITION PRIOR TO CONSTRUCTION.

- PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
- ACHIEVE STRAIGHT BOND LINES.
- 11. CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW
- 13. IN NO CASE SHALL A CUT PAVER BE LESS THAN 1/3 FULL PAVER SIZE.
- LANDDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS

### **GRADING NOTES:**

- EDGE OF PAVEMENT.

- 7. CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.

- REQUIRED TO MATCH FINISHED GRADES.
- TIMELY COMPLETION OF THIS PROJECT.

1. BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: OWNER

WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.

4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.

5. ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDDESIGN IMMEDIATELY.

6. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.

7. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING. 8. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDE BY LANDDESIGN ARE PROVIDED

FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES. 9. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/ OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE

10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN

11. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDDESIGN SHALL BE NOTIFIED IMMEDIATELY. 12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. 13. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME. 14. CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. 15. THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FROM CONCRETE, SOIL COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. COST SHALL BE INCLUDED AS INCIDENTAL TO

16. ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

1. ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS AND

2. EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN

4. ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE. 5. BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY CAPP SURVEY. REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.

6. BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS. 7. LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO

8. PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO

9. JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.

10. FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.

12. ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.

14. PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER FIELDS, MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES, NOTIFY

1. STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY. 2. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.

3. ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO

4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

5. IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.

6. ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE, UNLESS OTHERWISE INDICATED.

8. CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS. 9. CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.

10. REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS,

CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

11. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.

12. GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS

13. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND

APPROVED SPECIAL USE PERMIT NO.	2025-10006
DEPARTMENT OF PLANNING & ZONING	

SITE PLAN NO.



C	HAIRMAN,	PLANNING	COMMISSION
DATE	RECOR	DED	

ORIGINAL SHEET SIZE: 24" X 36

DATE

La	ndI	)es	igr	1.
	200 S. PEYT ALEXANDR 703.54 WWW.LANDI	IA, VA 223 9.7784	14	



# 920 KING ST

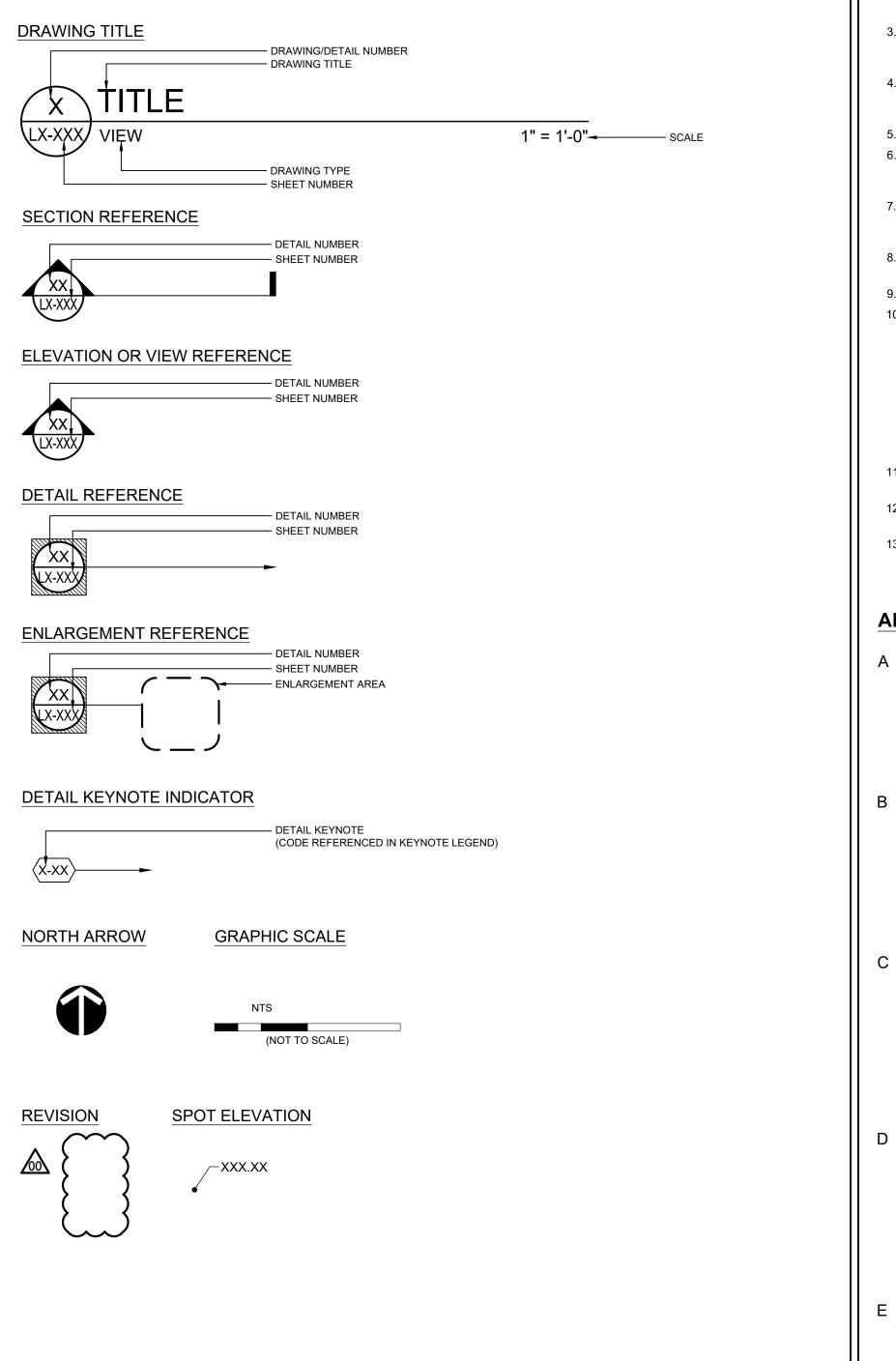
GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

### 2019086 **REVISION / ISSUANCE** DATE NO. DESCRIPTION CONCEPT II 12.20.19 1 SUBMISSION PRELIMINARY I 02.28.2020 2 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION 09.03.2021 FSP SUBMISSION FSP2 SUBMISSION 01.07.2022 FSP3 SUBMISSION 05.25.2022 DESIGNED BY: MC/WT DRAWN BY: WT CHECKED BY: MC

VFRT N/A HORZ:

GENERAL NOTES

# SYMBOLS



1. A REQUEST FOR INTERPRETATION (RFI) WILL BE INITIATED BY THE CONTRACTOR AND DISTRIBUTED TO THE TO PRIME CONSULTANT FOR DISTRIBUTION TO THE APPROPRIATE PARTY.

2. THE OWNER RESERVES THE RIGHT TO ASSESS THE CONTRACTOR FOR THE COST (BASED ON TIME AND MATERIALS) OF AN RFI RESPONSE PERFORMED BY THE LANDSCAPE ARCHITECT, AND ANY OF IT'S CONSULTANTS, WHICH IS DEEMED BY THE OWNER AND THE LANDSCAPE ARCHITECT AS BEING FRIVOLOUS OR UNNECESSARY (FOR EXAMPLE, THE SUBJECT OF THE RFI IS ADDRESSED IN THE CONTRACT DOCUMENTS). SUCH RFI'S SHALL BE REMOVED FROM THE RELLOG

3. EACH RFI SHALL BE SUBMITTED WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY IN THE CONTRACTOR'S OWN WORK AND IN THAT OF ANY SUBCONTRACTOR. NO ADJUSTMENTS OF CONTRACT TIME OR CONTRACT SUM WILL BE GRANTED BECAUSE OF FAILURE TO HAVE AN RFI SUBMITTED WITH SUFFICIENT TIME TO ALLOW FOR THE ORDERLY PROCESSING OF A RESPONSE BY THE LANDSCAPE ARCHITECT.

4. AN RFI WHICH FAILS TO CONFORM TO THE REQUIREMENTS STATED HEREIN, (FOR EXAMPLE, IS INCOMPLETE OR CONTAINS NUMEROUS ERRORS) SHALL BE RETURNED TO THE CONTRACTOR FOR ITS COMPLETION/RECTIFICATION WITHOUT BENEFIT OF THE LANDSCAPE ARCHITECT'S RESPONSE, IN ADDITION, NO ADJUSTMENTS FOR CONTRACT TIME OR CONTRACT SUM SHALL BE GRANTED FOR AN RFI THAT IS INCOMPLETE 5. RFI'S SHALL NOT BE USED TO SOLICIT CONSIDERATION BY THE LANDSCAPE ARCHITECT OF A "SUBSTITUTION".

6. RFI'S SHALL NOT BE USED TO REQUEST AN ADJUSTMENT OF THE CONTRACT TIME. IF THE CONTRACTOR BELIEVES THAT THE RESPONSE RECEIVED FROM THE LANDSCAPE ARCHITECT TO ANY RFI WARRANTS ADJUSTMENT TO THE CONTRACT TIME IT SHALL IMMEDIATELY ADVISE THE LANDSCAPE ARCHITECT, IN WRITING, UPON RECEIPT OF THE LANDSCAPE ARCHITECT'S RESPONSE.

7. RFI'S SHALL NOT BE USED TO REQUEST AN ADJUSTMENT OF THE CONTRACT SUM. IF THE CONTRACTOR BELIEVES THAT THE RESPONSE RECEIVED FROM THE LANDSCAPE ARCHITECT TO ANY RFI WARRANTS ADJUSTMENT OF THE CONTRACT SUM IT SHALL IMMEDIATELY ADVISE THE LANDSCAPE ARCHITECT, IN WRITING, UPON RECEIPT OF THE LANDSCAPE ARCHITECT'S RESPONSE.

8. RFI'S SHALL NOT BE USED TO SOLICIT COMMENT CLARIFICATION(S) OF ANY REQUIRED SUBMITTAL OR SHOP DRAWING REVIEW THAT WAS TRANSMITTED BY THE LANDSCAPE ARCHITECT TO THE CONTRACTOR.

9. RFI'S SHALL NOT BE USED TO TRANSFER COORDINATION RESPONSIBILITY FROM THE CONTRACTOR TO THE OWNER OR THE LANDSCAPE ARCHITECT 10. EACH RFI SHALL CONTAIN SPECIFIC REFERENCE TO THE DRAWING NUMBER(S), DETAIL NUMBER(S), SCHEDULE TYPE(S), BULLETIN NUMBER(S), SPECIFICATION SECTION(S) AND PARAGRAPH NUMBER(S), OR OTHER RELATED DOCUMENT(S) WHICH IS (ARE) PERTINENT TO THE CONTRACTOR'S QUESTION. THE DATE OF EACH REFERENCED DRAWING NUMBER, BULLETIN, SPECIFICATION SECTION OR OTHER RELATED DOCUMENT SHALL BE IDENTIFIED. IN PREPARING EACH RFI VERIFY THE APPLICABLE DIMENSION(S), FIELD CONDITIONS, DRAWING REQUIREMENTS (SMALL THROUGH LARGE SCALE DETAILS), AND/OR SPECIFICATION SECTION REQUIREMENTS PERTAINING THERETO. PRIOR TO SUBMISSION OF THE RFI COORDINATE THE NATURE OF THE INQUIRY WITH THE REQUIREMENTS OF OTHER SECTIONS OR TRADES AS RELATED THERETO AND RESPONSES TO PREVIOUS RFI'S. WHERE SUPPLEMENTARY SKETCHES ARE REQUIRED TO CLARIFY AN INQUIRY THE CONTRACTOR SHALL ATTACH SUPPLEMENTARY SKETCHES, AT LARGE SCALE, ILLUSTRATIVE OF THE INQUIRY. SKETCHES SHALL INCLUDE SUFFICIENT DETAIL, MATERIALS, DIMENSIONS, THICKNESSES, ASSEMBLY, ATTACHMENTS, RELATION TO ADJOINING WORK, STRUCTURAL GRID REFERENCES, AND ALL OTHER PERTINENT DATA AND INFORMATION FOR THE LANDSCAPE ARCHITECT TO MAKE AN INFORMED RESPONSE.

11. CONTRACTOR SHALL HAVE SOLUTION(S) TO ITS INQUIRIES, IF APPLICABLE. SHOULD THE CONTRACTOR'S SOLUTION(S) HAVE AN IMPACT ON CONTRACT SUM OR CONTRACT TIME IT SHALL BE SO STATED WITHIN THE RFI.

12. EACH RFI SHALL BE DATED AND SEQUENTIALLY NUMBERED, EACH RFI SHALL BE REVIEWED, AND SIGNED, BY THE CONTRACTOR PRIOR TO TRANSMITTING TO THE ARCHITECT.

13. DURATION OF RFI RESPONSE UPON RECEIPT: 5 BUSINESS DAYS UNLESS OTHERWISE NOTED IN CONTRACT

# ABBREVIATIONS

AD	AREA DRAIN	I	ID	INSIDE DIAMETER	-	I	
ADJ AFG	ADJACENT ABOVE FINISHED GRADE		INCL INSUL	INCLUDE INSULATION	Т	TBD TC	
ALT	ALTERNATE		INT	INTERIOR		ТНК	TOP OF CURB THICK(NESS)
ALUM	ALUMINUM		INV	INVERT		TR	TOP OF RAMP
APPROX ARCH				I		TS	TOP OF STAIR
ARCH	ARCHITECT(URAL)	_		1		TW TYP	TOP OF WALL TYPICAL
		J	JB	JUNCTION BOX			TFPICAL
вс	BOTTOM OF CURB		JT	JOINT			
BLDG	BUILDING				U	UE	UTILITY EASEMENT
BLKG	BLOCKING	K	КО	KNOCK OUT	-	U.N.O	UNLESS NOTED OTHERWISE
BOC	BACK OF CURB	IX I	KU			I	
BOT BR	BOTTOM BOTTOM OF RAMP					1	
BS	BOTTOM OF STAIR	L	L	LENGTH	V	VERT	VERTICAL
BW	BOTTOM OF WALL	-	LT	LIGHT		VIF	VERIFY IN FIELD
			LP	LOW POINT			
I				1	W		
CEM	CEMENT	Μ	MAS	MASONRY	VV	W W/	WEST, WIDE, WIDTH WITH
CIP	CAST IN PLACE		MATL	MATERIAL		W/O	WITHOUT
CJ CMU	CONTROL JOINT CONCRETE MASONRY UNIT		MAX MECH	MAXIMUM MECHANICAL		WD	WOOD
CMU	CLEANOUT		MED	MEDIUM		WL	WATER LINE
COL	COLUMN		MFR	MANUFACTURER		WM	
CONT	CONTINUOUS		MIN	MINIMUM		WT WWM	WEIGHT WELDED WIRE MESH
CONC	CONCRETE		MISC MTL	MISCELLANEOUS METAL			
CU FT	CUBIC FEET						
		Ν	Ν	NORTH			
DD			NIC	NOT IN CONTRACT			
DE DI	DRAINAGE EASEMENT DRAIN INLET		NO	NUMBER			
DIA	DIAMETER		NOM	NOMINAL			
DIAG	DIAGONAL		NTS	NOT TO SCALE			
DIM	DIMENSION						
DN DS	DOWN DOWN SPOUT	0	OC	ON CENTER			
DWG(S)	DRAWING(S)	0	OD	OUTSIDE DIAMETER			
	. ,		OPNG	OPENING			
			OPP	OPPOSITE			
E	EAST			I			
EA	EACH	_		I			
EJ	EXPANSION JOINT	Ρ	PB	PLANT BED			
EL ELEC	ELEVATION ELECTRIC(AL)		PERF PNL	PERFORATED PANEL			
EOP	EDGE OF PAVEMENT		PNT	PAINT(ED)			
EQ	EQUAL		PSI	POUNDS/SQUARE INCH			
EQUIP	EQUIPMENT		PT	PRESSURE TREATED			
ESMT EW	EASEMENT EACH WAY		POB POC	POINT OF BEGINNING POINT OF CURVATURE			
EXP	EXPANSION		PROP	PROPOSED			
EXIST	EXISTING						
EXT	EXTERIOR						
		Q	QTY	QUANTITY			
	FABRIC			1			
FAB FDC	FABRIC FIRE DEPT. CONNECTION	_		I			
FH	FIRE HYDRANT	R	RAD	RADIUS			
FIN	FINISH		REINF	REINFORC(E), (ING)			
FOC	FACE OF CURB		REQD REV	REQUIRED REVISION			
FT FTG	FOOT, FEET FOOTING		R.O.W	RIGHT OF WAY			
		-					
GA	GAUGE	S	S	SOUTH			
GAL	GALLON		SB SCHED	SETBACK			
GALV	GALVANIZED		SD	SCHEDUL(E), (ED) STORM DRAIN			
GC GV	GENERAL CONTRACTOR GATE VALVE		SF	SQUARE FOOT, FEET			
			SIM	SIMILAR			
			SQ		_		
HDW	HARDWARE		SSMH STL	SANITARY SEWER MANHOL STEEL	.⊏		
HDWD	HARDWOOD		SSTL	STAINLESS STEEL			
HORZ	HORIZONTAL		STD	STANDARD			
HP			SUSP	SUSPENDED			
HT	HEIGHT		SW SYM	SIDEWALK SYMBOL			

SUBMITTALS:

- DOCUMENTS AND RESUBMIT.

CONTRACTOR SHALL PREPARE AND SUBMIT THE SUBMITTAL SCHEDULE TO THE LANDSCAPE ARCHITECT AT THE PRECONSTRUCTION MEETING. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES SHALL BEAR CONTRACTOR'S STAMP CERTIFYING THEY HAVE BEEN COORDINATED AND REVIEWED BY CONTRACTOR FOR COMPLETENESS AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUBMISSIONS WITHOUT THIS STAMP AND SUBMISSIONS WHICH, IN THE LANDSCAPE ARCHITECT'S OPINION, ARE INCOMPLETE, CONTAIN NUMEROUS ERRORS, HAVE NOT BEEN CHECKED, OR HAVE ONLY BEEN CHECKED SUPERFICIALLY - WILL BE RETURNED FOR RESUBMISSION. PROPOSED DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE CLEARLY NOTED ON THE SUBMITTALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY QUANTITIES AND DIMENSIONS WHICH MAY BE SHOWN ON THE SUBMITTALS.

SHOP DRAWINGS: CONTRACTOR TO SUBMIT NEWLY PREPARED INFORMATION DRAWN ACCURATELY TO SCALE. HIGHLIGHT, ENCIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT A SHOP DRAWING. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS, EXCEPT WHERE THE LANDSCAPE ARCHITECT HAS GRANTED PERMISSION TO THE CONTRACTOR TO UTILIZE PORTIONS OF THE ELECTRONIC VERSION OF THE CONTRACT DOCUMENTS AS THE BASIS FOR THE PREPARATION OF SHOP DRAWINGS.

SIMILAR DRAWINGS. INCLUDE THE FOLLOWING INFORMATION: a. DIMENSIONS.

- c. COMPLIANCE WITH SPECIFIED STANDARDS.
- d. NOTATION OF COORDINATION REQUIREMENTS.
- e. NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT.

f. SHEET SIZE: EXCEPT FOR TEMPLATES, PATTERNS AND SIMILAR FULL-SIZE DRAWINGS, SUBMIT SHOP DRAWINGS ON SHEETS AT LEAST 8-1/2 BY 11 INCHES BUT NO LARGER THAN 36 BY 48 INCHES.

g. SUBMITTALS: SUBMIT ONE CORRECTABLE, TRANSLUCENT, REPRODUCIBLE PRINT AND FOUR (4) ADDITIONAL PRINTS FOR THE LANDSCAPE ARCHITECT'S REVIEW. THE LANDSCAPE ARCHITECT WILL RETURN THE REPRODUCIBLE PRINT.

CONTRACTOR TO SUBMIT TO LANDSCAPE ARCHITECT FULL-SIZE, FULLY FABRICATED SAMPLES CURED AND FINISHED AS SPECIFIED AND PHYSICALLY IDENTICAL WITH THE MATERIAL OR PRODUCT PROPOSED. SAMPLES INCLUDE PARTIAL SECTIONS OF MANUFACTURED OR FABRICATED COMPONENTS, CUTS OR CONTAINERS OF MATERIALS, COLOR RANGE SETS, AND SWATCHES SHOWING COLOR, TEXTURE, AND PATTERN.

a. MOUNT OR DISPLAY SAMPLES IN THE MANNER TO FACILITATE REVIEW OF QUALITIES INDICATED. PREPARE SAMPLES TO MATCH THE LANDSCAPE ARCHITECT'S SAMPLE. INCLUDE THE FOLLOWING:

- GENERIC DESCRIPTION OF THE SAMPLE
- SAMPLE SOURCE.
- PRODUCT NAME OR NAME OF THE MANUFACTURER
- COMPLIANCE WITH RECOGNIZED STANDARDS AVAILABILITY AND DELIVERY TIME.

THE LANDSCAPE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS A COMPLETE CHECK NOR SHALL IT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN SHOP DRAWINGS OR SCHEDULES, OR FROM THE NECESSITY OF FURNISHING ANY WORK REQUIRED BY THE CONTRACT DOCUMENTS WHICH MAY HAVE BEEN OMITTED ON THE SHOP DRAWINGS.

- CONFORMANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- BY THE CONTRACT DOCUMENTS.

3. CONTRACTOR REQUESTS FOR SUBSTITUTION OF PRODUCTS, MATERIALS, OR PROCESSES OTHER THAN THOSE SPECIFIED WILL BE ACCOMPANIED BY EVIDENCE, WHETHER OR NOT THE PROPOSED SUBSTITUTION IS THROUGH A SUBMITTAL:

- IS EQUAL IN QUALITY AND SERVICEABILITY TO THE SPECIFIED ITEM.

- WILL NOT PROVIDE A COST DISADVANTAGE TO THE OWNER.

FURNISH WITH THE REQUEST SUCH DRAWINGS, SPECIFICATIONS, SAMPLES, PERFORMANCE DATA AND OTHER INFORMATION AS MAY BE REQUIRED TO ASSIST THE ARCHITECT IN DETERMINING WHETHER THE PROPOSED SUBSTITUTION IS ACCEPTABLE. THE BURDEN OF PROOF OF THE FACTS ABOVE STATED SHALL BE UPON THE CONTRACTOR AND RESPECTIVE SUBCONTRACTOR, OR SUPPLIER, PLACING THE REQUEST. IF ANY SUBSTITUTION WILL AFFECT A CORRELATED FUNCTION, ADJACENT CONSTRUCTION OR WORK OF OTHER TRADES OR CONTRACTORS, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE CONSIDERED AS AN ESSENTIAL PART OF THE PROPOSED SUBSTITUTION, TO BE ACCOMPLISHED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER, IN AND WHEN ACCEPTED. SUBSTITUTION REQUESTS WILL NOT BE SUBJECT TO THE REVIEW TIME LIMITS CONTAINED IN SUBMITTAL PROCEDURES. NO SUBSTITUTION WILL BE PERMITTED WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE OWNER AND THE ARCHITECT.

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

G

ACTION STAMP: THE LANDSCAPE ARCHITECT WILL STAMP EACH SUBMITTAL WITH A UNIFORM, ACTION STAMP. THE LANDSCAPE ARCHITECT WILL MARK THE STAMP APPROPRIATELY TO INDICATE THE APPROPRIATE ACTION TAKEN, AS FOLLOWS:

a. "NO EXCEPTIONS TAKEN": MEANS THAT NO FURTHER REVIEW OF THE SUBMITTAL IS REQUIRED. MANUFACTURER OR CONSTRUCTION MAY PROCEED PROVIDING THAT WORK COMPLIES WITH THE CONTRACT DOCUMENTS AND THE REVIEWED SUBMITTAL

b. "EXCEPTIONS AS NOTED": MEANS THAT FABRICATION, MANUFACTURER OR CONSTRUCTION MAY PROCEED PROVIDING SUBMITTAL COMPLIES WITH THE LANDSCAPE ARCHITECT'S NOTATIONS AND THE CONTRACT DOCUMENTS. IF, FOR ANY REASON, THE CONTRACTOR CANNOT COMPLY WITH THE NOTATIONS, THE CONTRACTOR SHALL MAKE REVISIONS AND RESUBMIT AS DESCRIBED FOR SUBMITTALS STAMPED "REVISE AND RESUBMIT".

C. "REVISE AND RESUBMIT": MEANS THAT FABRICATION, MANUFACTURER OR CONSTRUCTION MAY NOT PROCEED UNTIL THE CONTRACTOR DEMONSTRATES COMPLIANCE WITH THE LANDSCAPE ARCHITECT'S NOTATIONS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SITED. REVISE OR PREPARE A NEW SUBMITTAL ACCORDING TO THE NOTATIONS; RESUBMIT WITHOUT DELAY. REPEAT, IF NECESSARY, TO OBTAIN COMPLIANCE WITH THE CONTRACT DOCUMENTS. IF, FOR ANY REASON, THE CONTRACTOR CANNOT COMPLY WITH THE NOTATIONS OF THE LANDSCAPE ARCHITECT OR THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE REASON THAT COMPLIANCE CANNOT BE ACHIEVED AND MAKE RECOMMENDATIONS THAT WOULD ALLOW THE CONTRACTOR'S COMPLIANCE.

d. "RESUBMIT PROPERLY": MEANS THAT THE SUBMITTAL DOES NOT COMPLY WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENT, OR DOES NOT CONTAIN THE CONTRACTOR'S SIGNATURE INDICATING THAT IT HAS BEEN REVIEW AND APPROVED BY THE CONTRACTOR. SUBMITTALS STAMPED "RESUBMIT PROPERLY" ARE NOT TO BE USED. CONTRACTOR SHALL MAKE REVISIONS TO COMPLY WITH THE REQUIREMENTS OF THE CONTRACT

e. THE LANDSCAPE ARCHITECT WILL RETURN UNSOLICITED SUBMITTALS TO THE SENDER WITHOUT ACTION, OR INDICATED WITH FOR REFERENCE ONLY.

SHOP DRAWINGS INCLUDE COMPOSITE FABRICATION AND INSTALLATION DRAWINGS, SETTING DIAGRAMS, SCHEDULES, PATTERNS, TEMPLATES AND

b. IDENTIFICATION OF PRODUCTS AND MATERIALS INCLUDED BY SHEET AND DETAIL NUMBER.

h. DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN.

• SPECIFICATION SECTION NUMBER AND REFERENCE.

CONTRACTOR, NOT LANDSCAPE ARCHITECT, IS RESPONSIBLE FOR: CHECKING FOR ANY DEVIATIONS BETWEEN A GIVEN SUBMITTAL AND DIFFERING INFORMATION OR CONDITIONS IN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS; FOR DETERMINING OR SUBSTANTIATING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS CONFIRMING DIMENSIONS OR SYSTEMS DESIGNED BY CONTRACTOR; FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES PROCEDURES AND FABRICATION PROCESSES; FOR ERRORS AND OMISSIONS IN SUBMITTALS; FOR COORDINATION OF THE WORK OF THE TRADES AND FOR SAFETY PRECAUTIONS AND PERFORMING THE WORK IN A SAFE AND SATISFACTORY MANNER AND IN

A SUBMITTAL SHALL BE USED AS A SUBSTITUTE FOR REQUESTS OR APPROVALS OF CHANGES OR SUBSTITUTIONS. OR OF OTHER PROCEDURES REQUIRED

THE LANDSCAPE ARCHITECT WILL REVIEW SHOP DRAWINGS. PRODUCT DATA AND SAMPLES WITH REASONABLE PROMPTNESS AND WILL RETURN THEM TO THE CONTRACTOR WITH THE ARCHITECT'S STAMP APPLIED THERETO. NOTATIONS BY THE ARCHITECT WHICH INCREASE THE CONTRACT COST OR TIME OF COMPLETION SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.

IF MORE THAN ONE SUBMITTAL REVIEW STAMP APPEARS ON A SUBMITTAL, THE MOST STRINGENT ACTION AND NOTATIONS THEREON SHALL APPLY. SIGNATURE ON A SUBMITTAL REVIEW STAMP BY THE LANDSCAPE ARCHITECT OR A CONSULTANT DOES NOT IMPLY THAT THE SUBMITTAL HAS BEEN REVIEWED FOR WORK THAT IS NOT WITHIN THE INDIVIDUAL REVIEWER'S PROFESSIONAL DISCIPLINE OR SCOPE OF SERVICES.

. UNSOLICITED SUBMITTALS: THE LANDSCAPE ARCHITECT WILL RETURN UNSOLICITED SUBMITTALS TO THE SENDER WITHOUT ACTION.

WILL NOT ENTAIL CHANGES IN DETAILS AND CONSTRUCTION OF RELATED WORK.

WILL BE ACCEPTED IN CONSIDERATION OF THE REQUIRED DESIGN AND ARTISTIC EFFECT.

APPROVED SPECIAL USE PERMIT NO.	2025-10006

EPARTMENT OF PLANNING & ZO

EPARTMENT OF TRANSPORTATION & EN SITE PLAN NO.



	CHAIRMAN,	PLANNING	COMMISSION	
n		050		

ORIGINAL SHEET SIZE: 24" X 36"

DATE



WWW.LANDDESIGN.COM



# 920 KING ST

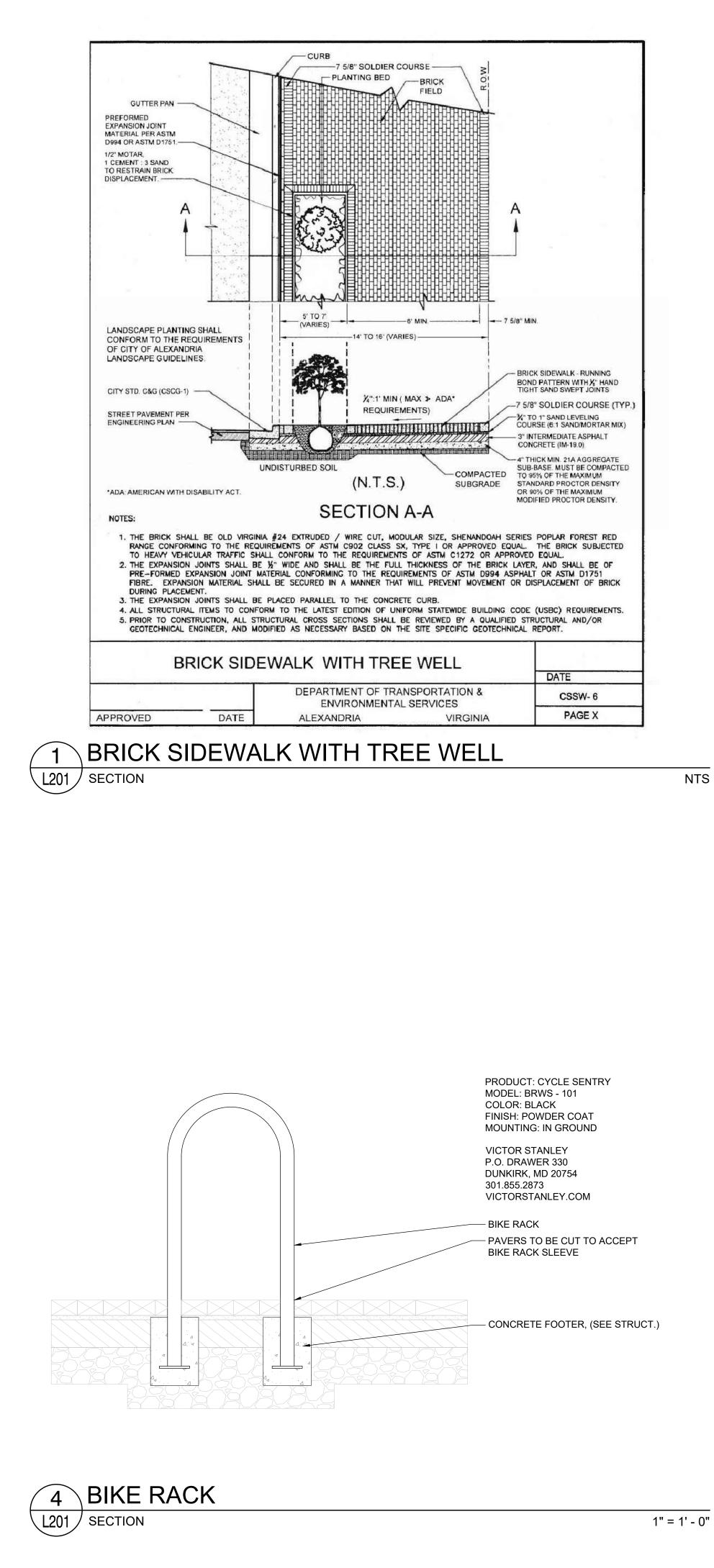
GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

### 2019086 **REVISION / ISSUANCE** NO. DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION 09.03.2021 FSP SUBMISSION FSP2 SUBMISSION 01.07.2022 FSP3 SUBMISSION 05.25.2022 DESIGNED BY: MC/WT DRAWN BY: WT CHECKED BY: MC

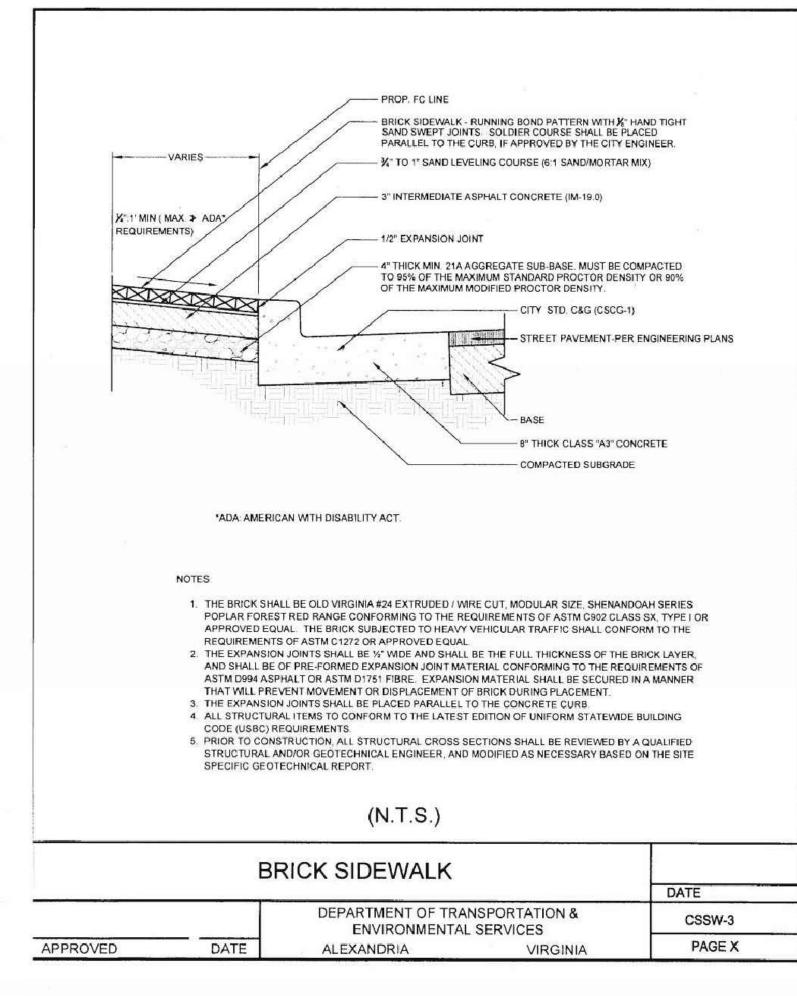
VERT: N/A HORZ:

**GENERAL NOTES** 

L105



<sup>5/24/2022 9:03</sup> PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-CITY-DTLS.DWG



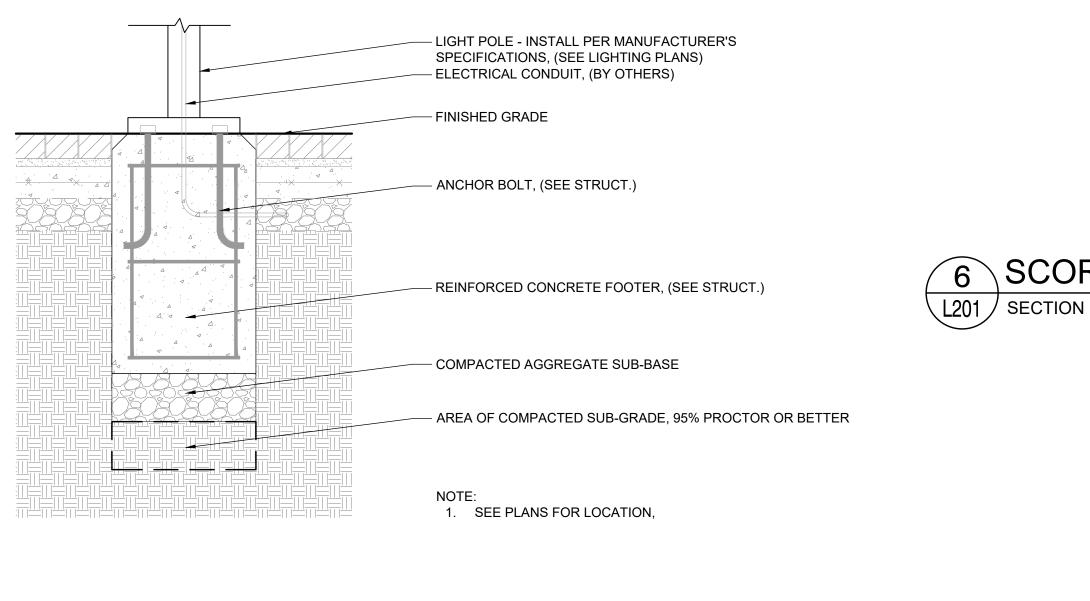
# BRICK SIDEWALK

L201 SECTION

2

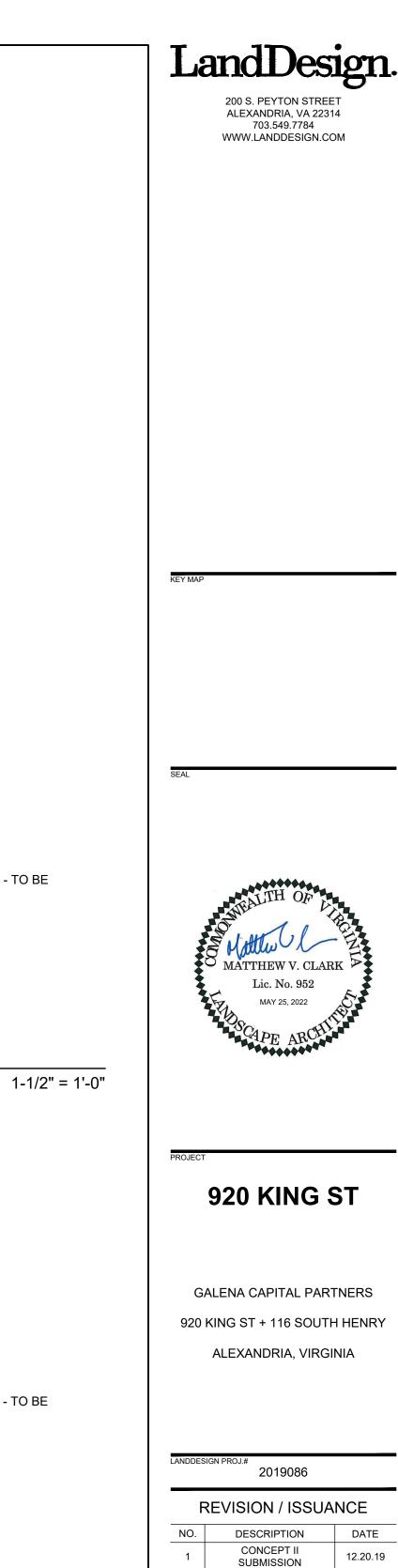


NTS





1" = 1' - 0"



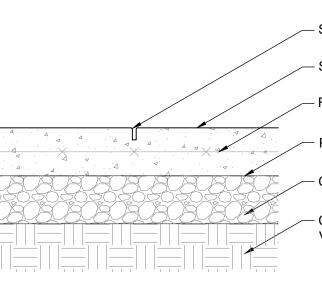
# ^<u>·</u>× + ⊧~ ~

UNIT PAVER, AS SPECIFIED 1/8" SAND SWEPT JOINTS - 1" Ø WEEPS @ 5'-0" O.C. AND AT LOW POINTS, COVER W/ 12" SQ. GEOTEXTILE FABRIC - SAND SET BED (MORTAR, AT OWNER OPTION)

- REINFORCED CONCRETE SLAB, (SEE STRUCT.)
- POLYETHYLENE VAPOR BARRIER
- COMPACTED AGGREGATE BASE

- COMPACTED SUB-BASE, 95% PROCTOR OR BETTER - TO BE VERIFIED BY A QUALIFIED LAB

# UNIT PAVERS ON GRADE



- SAW-CUT CONTROL JOINT, TYP.

- SURFACE FINISH, AS SPECIFIED

- REINFORCED CONCRETE SLAB, (SEE STRUCT.)

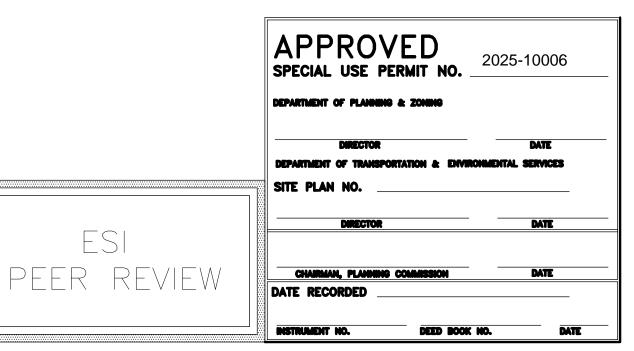
- POLYETHYLENE VAPOR BARRIER

- COMPACTED AGGREGATE BASE

COMPACTED SUB-BASE, 95% PROCTOR OR BETTER - TO BE VERIFIED BY A QUALIFIED LAB

# 6 SCORED CONCRETE

ESI



HARDSCAPE DETAILS

PRELIMINARY I

SUBMISSION

PRELIMINARY I

SUBMISSION

PRELIMINARY I

FSP SUBMISSION

FSP2 SUBMISSION

FSP3 SUBMISSION

SUBMISSION

02.28.2020

05.01.2020

06.12.2020

09.03.2021

01.07.2022

05.25.2022

2

3

4

7

DESIGNED BY: DRAWN BY:

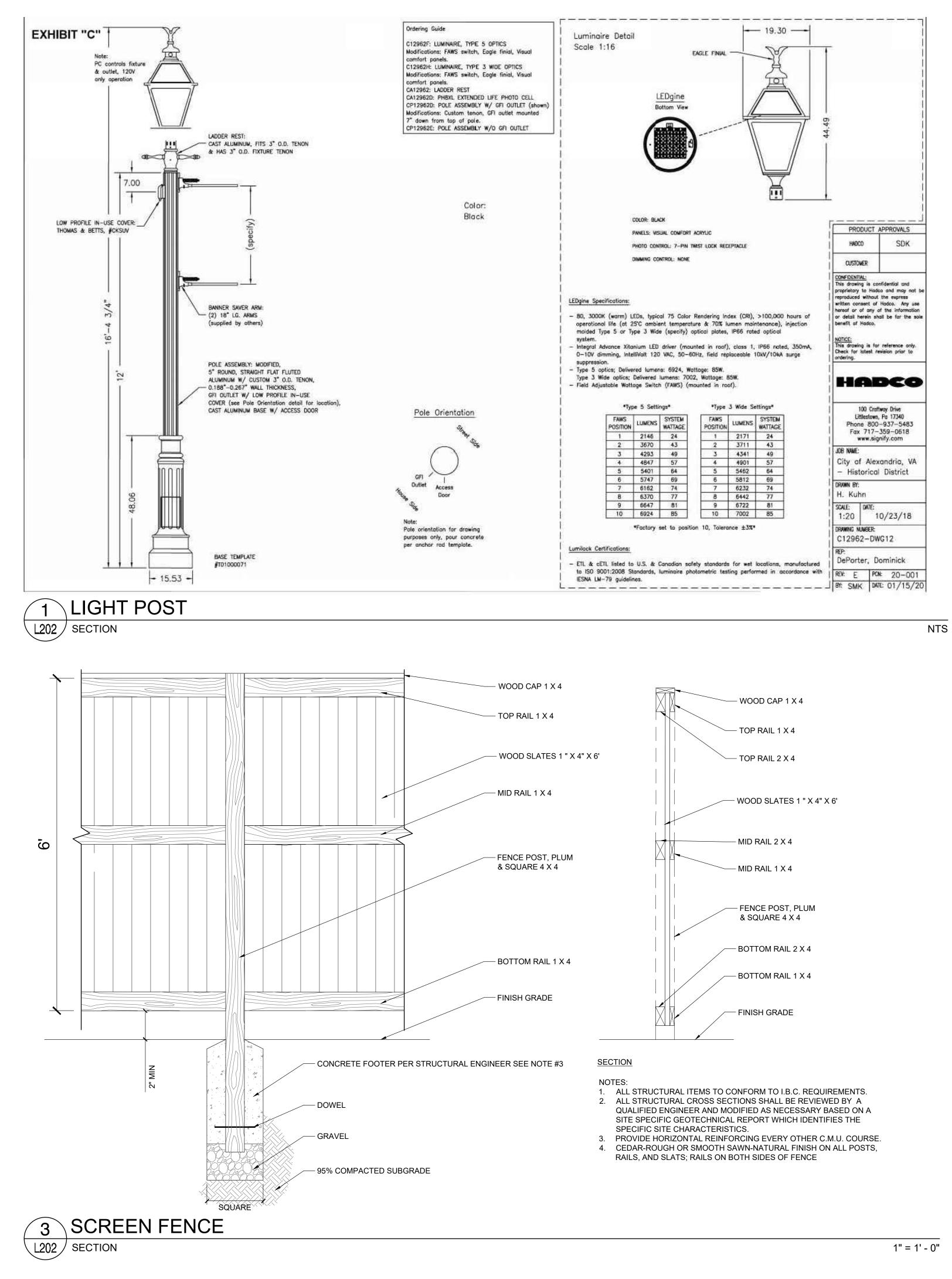
CHECKED BY:

VERT: N/A HORZ: N/A

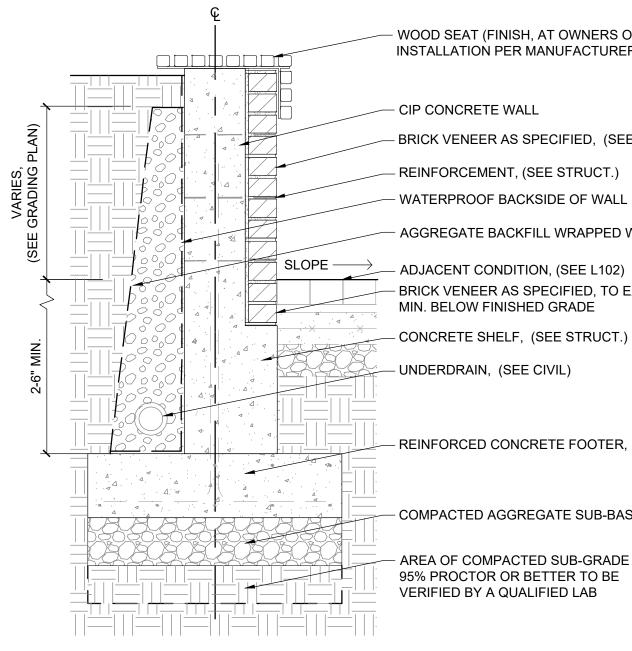
......



ORIGINAL SHEET SIZE: 24" X 36"



5/31/2022 2:26 PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-CITY-DTLS.DWG





### WOOD SEAT (FINISH, AT OWNERS OPTION) INSTALLATION PER MANUFACTURER SPECIFICATIONS

BRICK VENEER AS SPECIFIED, (SEE L102)

- AGGREGATE BACKFILL WRAPPED WITH FILTER FABRIC

BRICK VENEER AS SPECIFIED, TO EXTEND 2 COURSES

- REINFORCED CONCRETE FOOTER, (SEE STRUCT.)

- COMPACTED AGGREGATE SUB-BASE

AREA OF COMPACTED SUB-GRADE

1" = 1'-0"

APPROVED SPECIAL USE PERMIT NO.	2025-10006

DEPARTMENT OF TRANS SITE PLAN NO.

ESI PEER REVIEW

IARMAN, PLANNING COMM DATE RECORDED

DEED BOOK NO. INSTRUMENT NO. DATE

ORIGINAL SHEET SIZE: 24" X 36"



Land



# 920 KING ST

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

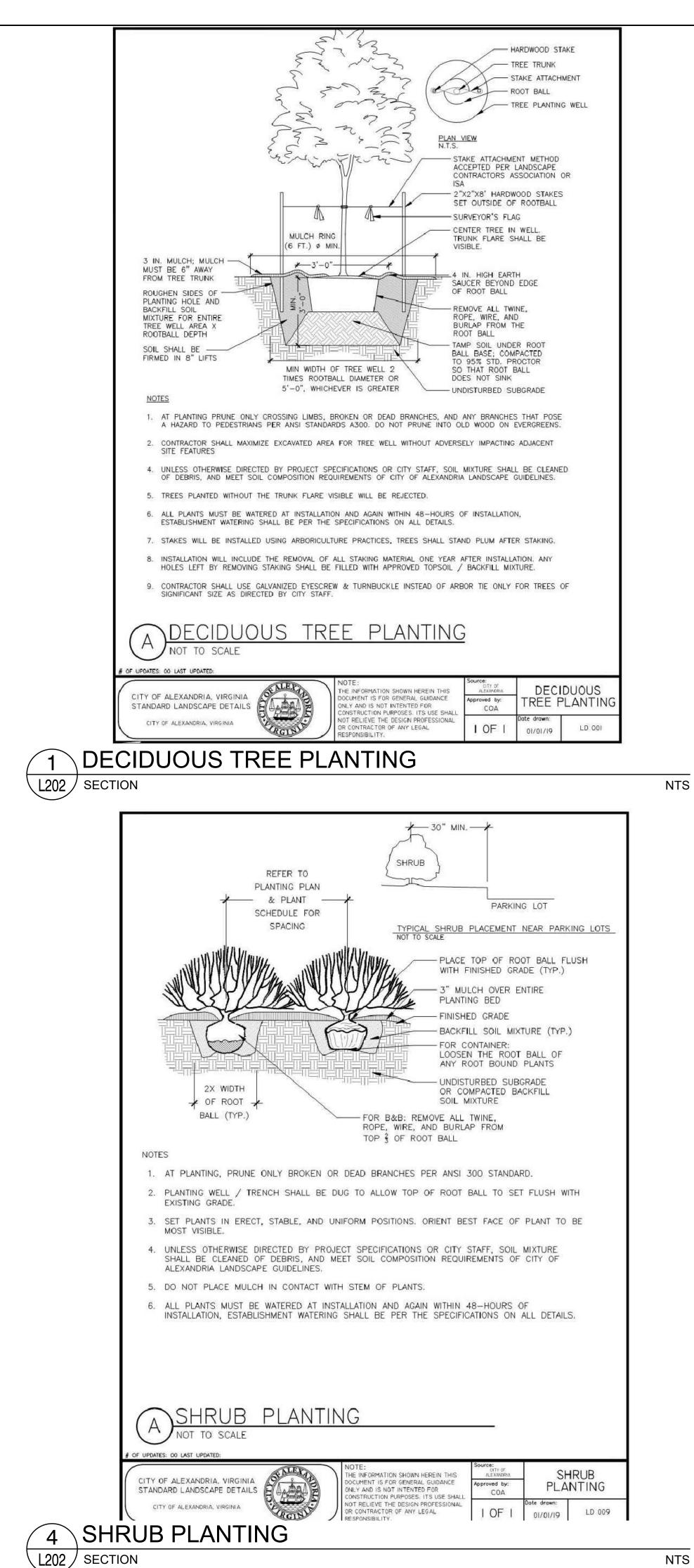
### LANDDESIGN PROJ 2019086 **REVISION / ISSUANCE** NO. DESCRIPTION DATE CONCEPT II 12.20.19 1 SUBMISSION PRELIMINARY I 02.28.2020 2 SUBMISSION PRELIMINARY I 05.01.2020 3 SUBMISSION PRELIMINARY I 06.12.2020 4 SUBMISSION 09.03.2021 FSP SUBMISSION 5 FSP2 SUBMISSION 01.07.2022 6 FSP3 SUBMISSION 05.25.2022 7 DESIGNED BY: DRAWN BY: CHECKED BY:

VERT: N/A HORZ:

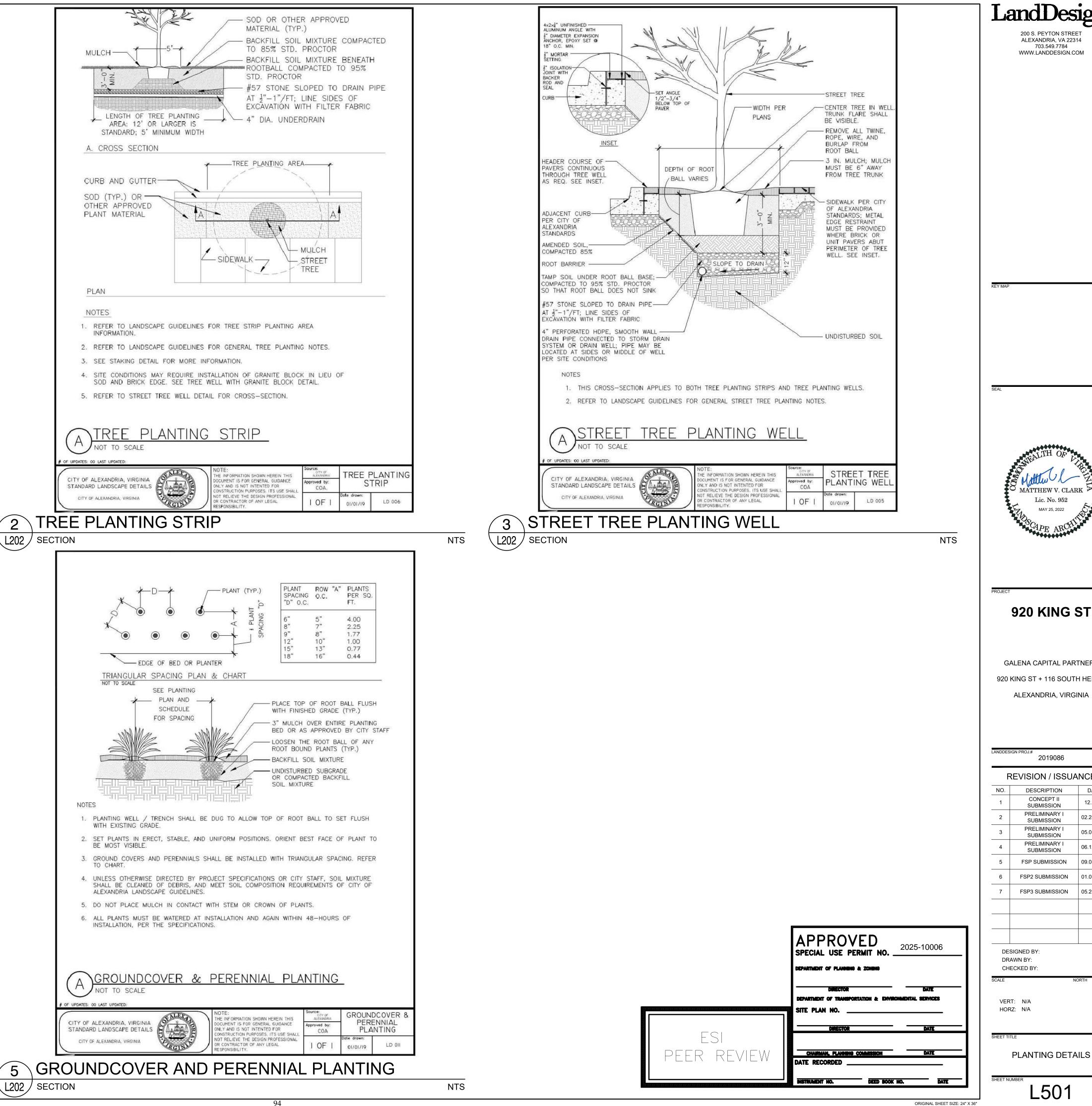
SHEET TITLE

HARDSCAPE DETAILS





5/24/2022 9:03 PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-PLNT-DTLS.DWG



( Steph	NOTE: THE INFORMATION SHOWN HEREIN THIS	Source: CITY OF ALEXONDRIA	STREE	тт	
	GINIA DOCUMENT IS FOR GENERAL GUIDANCE	Approved by: COA		PLANTING V	
RGINIA	NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	I OF I	Date drawn: 01/01/19	LD	
REE PI AN	TING WELL				

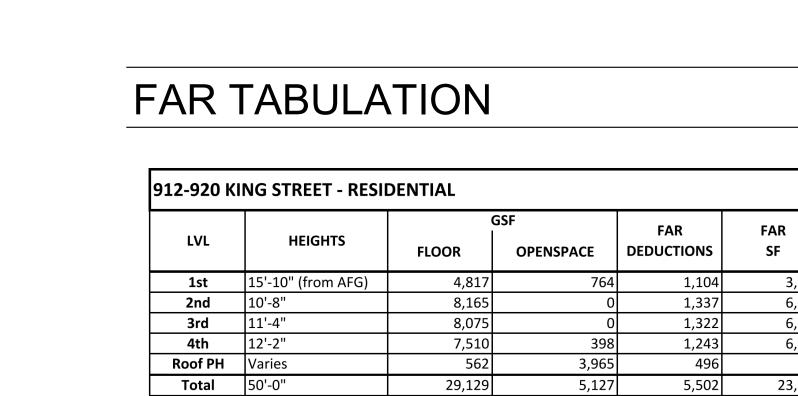
	COMMISSION	-	DATE
DATE RECOR			ortiB

PROJECT	-	
	920 KING	ST
G	ALENA CAPITAL PA	ARTNERS
920	KING ST + 116 SOL	JTH HENRY
	ALEXANDRIA, VIF	RGINIA
LANDDES	BIGN PROJ.# 2019086	
Г	REVISION / ISSU	JANCE
NO.	REVISION / ISSU	JANCE DATE
NO.	DESCRIPTION CONCEPT II	DATE
NO.	DESCRIPTION CONCEPT II SUBMISSION PRELIMINARY I	DATE 12.20.19
NO. 1 2	DESCRIPTION CONCEPT II SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I	DATE 12.20.19 02.28.2020
NO. 1 2 3	DESCRIPTION CONCEPT II SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I	DATE 12.20.19 02.28.2020 05.01.2020
NO. 1 2 3 4	DESCRIPTION CONCEPT II SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I SUBMISSION	DATE 12.20.19 02.28.2020 05.01.2020 06.12.2020
NO. 1 2 3 4 5	DESCRIPTION CONCEPT II SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I SUBMISSION PRELIMINARY I SUBMISSION FSP SUBMISSION	DATE 12.20.19 02.28.2020 05.01.2020 06.12.2020 09.03.2021

MATTHEW V. CLARK



	7		8	
		FAR LEGE	END DSS FLOOR AREA	GALENA CAPITAL PARTNERS
$\square$	— <u>MECH.</u> 26 SF		N-RESIDENTIAL	1010 Pendleton Street, Alexandria, VA 22314
			DUCTIONS AFT, VERTICAL CIRCULATION)	912-920 KING STREET
			EN SPACE	Alexandria, VA
		— <u>SHAFT:</u> 36 SF		
		36 SF		
				Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number
		— <u>ELEC. SHAFT:</u> 14 SF		0401012577, expiration date 08/31/2022
	— MECH.			A MARKEN AND A MARKEN
	— <u>MECH.</u> 17 SF			No. 012577 08/31/2022
ET				REGISTRATION:
				NO.DATEISSUE DESCRIPTION12/20/2019DSUP CONCEPT II
				12/20/2019         BAR CONCEPT I           02/28/2020         PRELIMINARY PLAN           03/06/2020         BAR CONCEPT II
				05/01/2020 VERIFICATION OF COMPLETENESS
				06/01/20202 BAR CONCEPT II_R1 06/12/2020 PRELIMINARY PLAN 09/03/2021 FSP I
				01/07/2022 FSP 2 03/07/2022 BAR CoA 05/25/2022 FSP 3
		- SHAFT:		A/E PROJECT NO: 19 - 22
		36 SF		A/E PROJECT NO. 19-22
				0 8' 16' 32' No vice and
		— <u>STAIR/ ELEV:</u> 319 SF		SCALE : 3/32" = 1'-0"     VIRGINIA STATE G NORTH
		— <u>ELEC. SHAFT:</u>		SHEET TITLE: FAR & OPEN SPACE PLANS
		13 SF		
	— <u>MECH.</u> 17 SF			SHEET NUMBER:
ĻĒŢ				A-K010
			APPROVED	2025-10006
	·   		SPECIAL USE PERMIT NO.	
			DIRECTOR DEPARTMENT OF TRANSPORTATION & EN	/IRONMENTAL SERVICES
		ESI	SITE PLAN NO.	DATE
		PER REVIEW	CHAIRMAN, PLANNING COMMISSION	DATE
	7		INSTRUMENT NO. DEED BO	Original drawing is 24" x 36". Scale entities accordingly if reduced.
	7		8	9



MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

LVL	STAIRS/ ELEV.	MISC.	SHAFTS/UTILITY	TOILETS	TOTAL
1st	725		79	300	1,104
2nd	531	0	306	500	1,337
3rd	516	0	306	500	1,322
4th	494	0	274	475	1,243
Roof	496	0	0	0	496
Total	2762	0	965	1775	5,502

SITE			10,703.00
ALLOWABLE FAR 2.50			26,757.50
PROPOSED FAR	23,627.00		
PROPOSED FAR Non-Residential			3,095.00
TOTAL PROPOSI	ED FAR	2.50	26,722.00
REMAINING FAF	{		35.50
	UNITS		31.00
	REQUIRED OPEN SPACE		4,650.00
PROPOSED OPENSPACE			5,127.00
	ALLOWABLE HEIGHT ABO	/E AFG	50'-0"
	PROPOSED HEIGHT ABOVE	E AFG	50'-0"

% Deductions

3,713

6,828

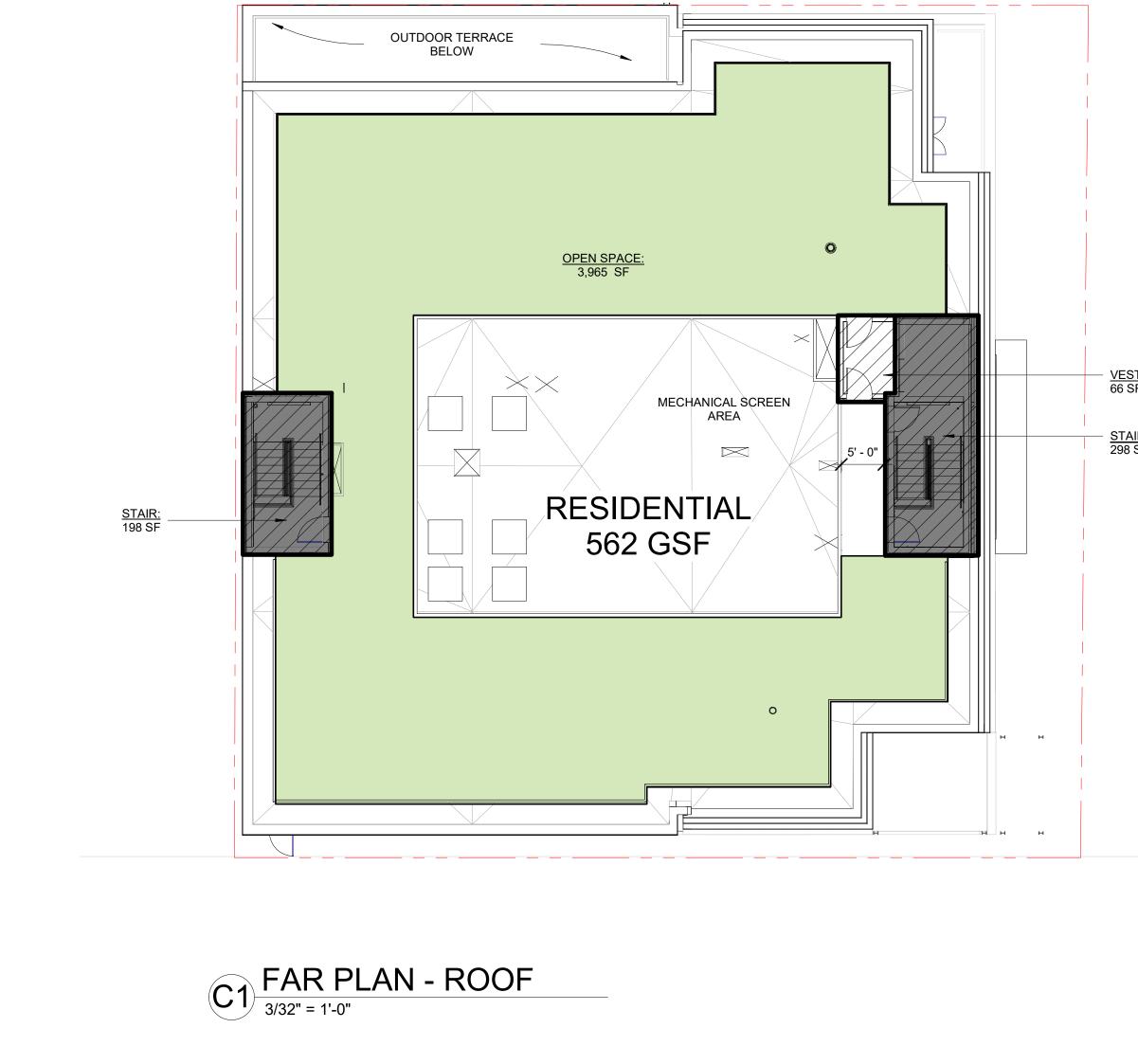
6,753

6,267

23,627

66

0.19



2

1

3

			GSF	FAR	FAR
LVL	HEIGHTS	FLOOR	OPENSPACE	DEDUCTIONS	SF
1st	15'-10" (from AFG)	3,563	0	468	3,095.0
2nd	10'-8"	0	0	0	0.0
3rd	11'-4"	0	0	0	0.0
4th	12'-2"	0	0	0	0.0
Roof PH	Varies	0	0	0	0.0
Total	50'-0"	3563.00	0	468	3,095.0
lot counted	towards FAR			% Deductions	0.1

\* Not counted towards FAR

MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

4

FAR DEDUCTIO	TOTAL		
STAIRS/ ELEV.	SHAFTS/ UTILITY	MISC	
0	0	468	468
0	0	0	0
0	0	0	0
0	0	0	0
0	0	0	0
0	0	468	468
	STAIRS/ ELEV.         0	STAIRS/ ELEV.         SHAFTS/ UTILITY           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0	0         0         468           0         0         0         0           0         0         0         0         0           0         0         0         0         0           0         0         0         0         0           0         0         0         0         0

\* Not counted towards FAR

VESTIBULE: 66 SF

<u>STAIR/ ELEV:</u>
 298 SF

4

# FAR LEGEND

GROSS FLOOR AREA





OPEN SPACE

GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

912-920 KING STREET

### Alexandria, VA

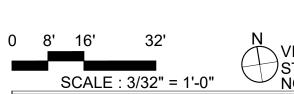


Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



**REGISTRATION:** 

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3





# SHEET TITLE: FAR & OPEN SPACE **PLANS & TABULATIONS**

SHEET NUMBER: A-K011 APPROVED SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.

DATE

E	SI
PEER	REVIEW

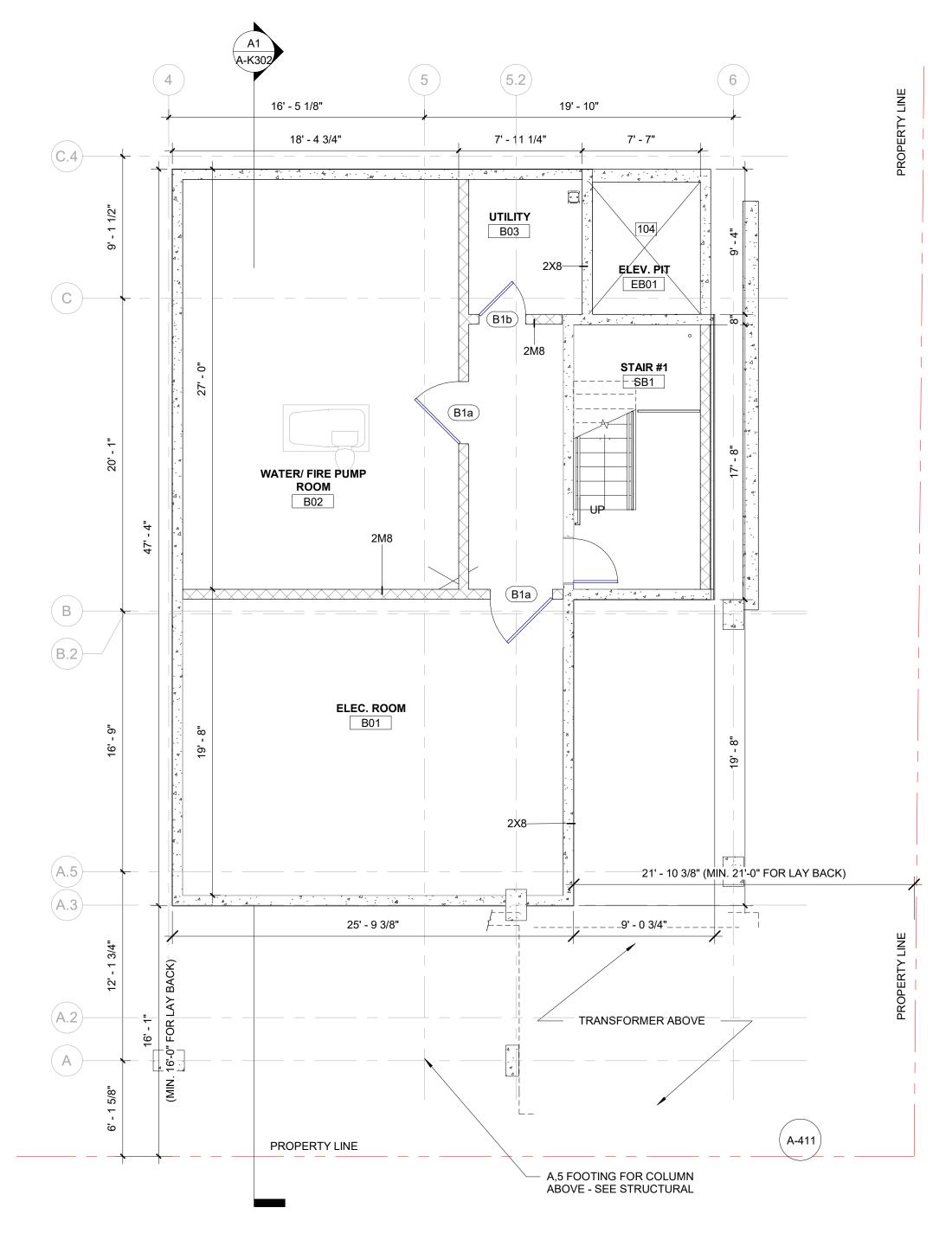
7

6

DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
E RECORDED	
TRUMENT NO. DEED BOOK NO.	DAT

Original drawing is 24" x 36". Scale entities accordingly if reduced. 9

_		1	2		3
	F				
	_				
	E				
	_				
	D				
	_				
	С				
	в				
	_				
	A			Á	A1 CON 3/16" =
-		 1	2		3



# **ONSTRUCTION PLAN - BASEMENT FLOOR**

4

" = 1'-0"

4 97 6

7

- REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS. REFER TO CIVIL, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & LANDSCAPE WORK. REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS. REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS. PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION. PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES. REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS. ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MANSONRY, OR FACE OF STUD UNO 9 FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P. 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS. 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4). 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS. 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING ENTRANCES TO "RETAIL-READY" SPACES 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM LANDFILL FOR GREEN GLOBES
- 15 REFER TO AREA PLANS G-003 AND G-004 FOR UNIT SQUARE FOOTAGE 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE
- PROVIDED & INSTALLED BY G.C.
- 18 REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION SHALL BE PROVIDED AT ALL APPLICABLE TOILET AND BATHING FIXTURES

**KEYNOTES** 

104 ELEVATOR. BASIS OF DESIGN THYSSENKRUPP EVOLUTION 200/3500 REGENERATIVE BRAKING ELEVATOR REQUIRED (8'-6" x 6'-11" clear shaft, 8'-4" CAB HEIGHT)

		Area Summary Basem	nent
Unit No.	Area	Unit Type	Level
BASEMENT			
	280 SF	Corridor	BASEMENT
Mechanical	1022 SF	Utility	BASEMENT

# GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

912-920 KING STREET

# Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or

approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

16 4' 8' VIRGINIA STATE GRID NORTH NAD 83/93 SCALE : 1/8" = 1'-0"

# SHEET TITLE: CONSTRUCTION PLAN

SHEET NUMBER:

A-K110

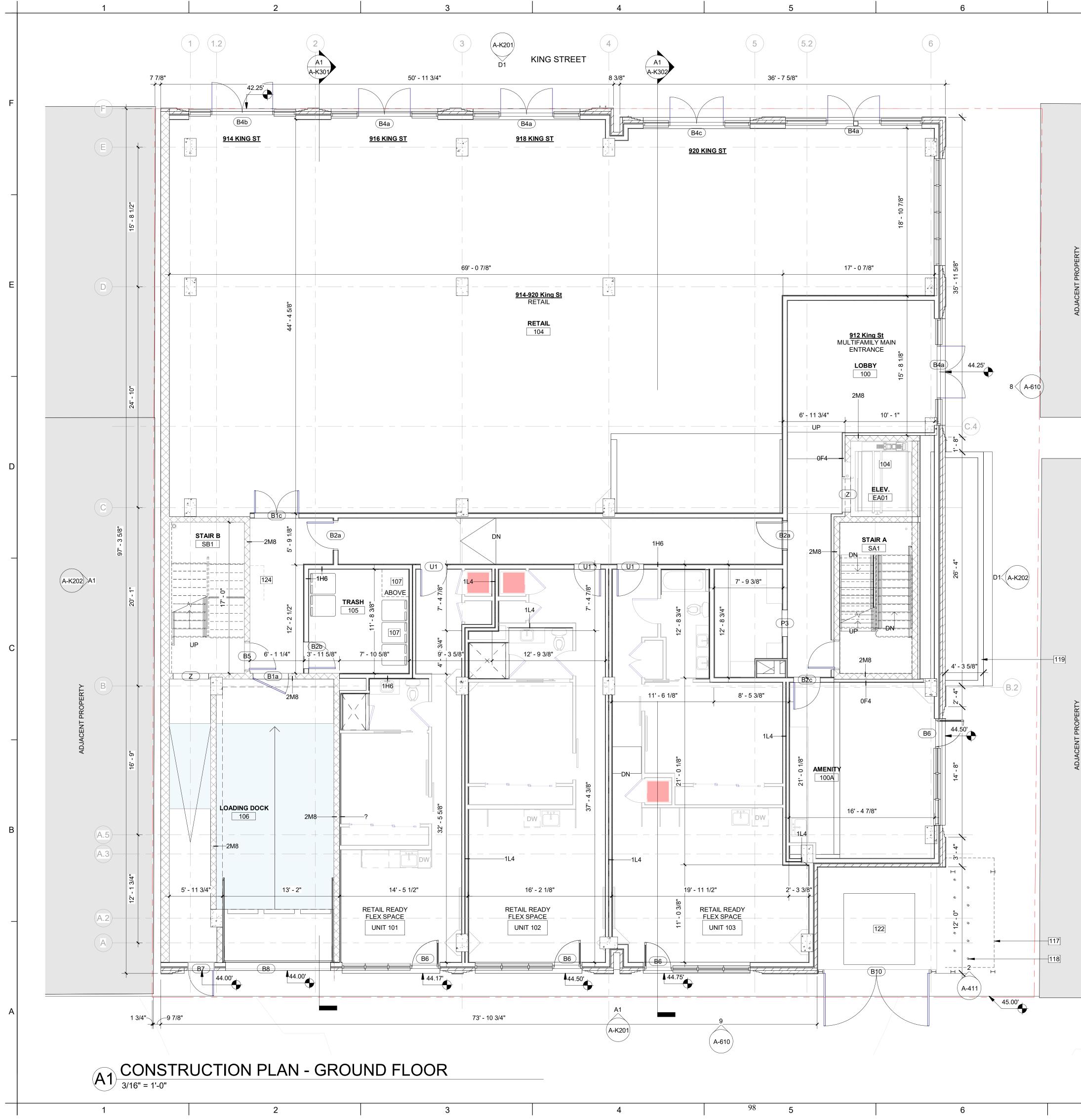


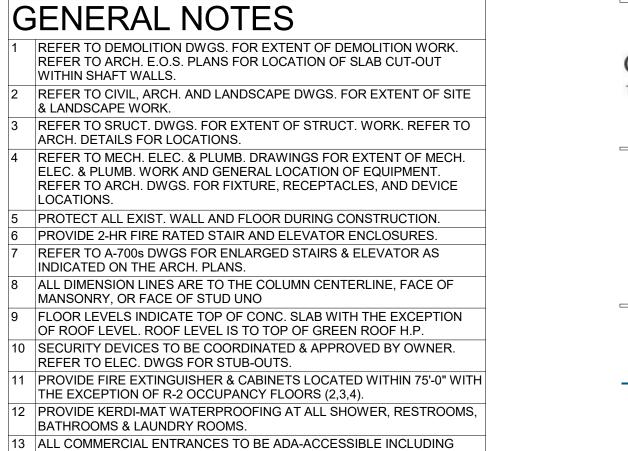
7

APPROVED pecial use permit no	2025-10006
PARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
EPARTMENT OF TRANSPORTATION & ENVIR	ONMENTAL SERVICES
ITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
ATE RECORDED	
ISTRUMENT NO. DEED BOOK	NO. DATE

Original drawing is 24" x 36". Scale entities accordingly if reduced.

9





912-920 KING STREET

# Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



### **REGISTRATION:**

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 22 Туре А Туре В

Yes

Yes

Yes

0	4'	8'	16'	
	SC	ALE : 1/8	" = 1'-0"	
SH	FFT T	ITI E·		NAD 83/93

# SHEET TITLE: CONSTRUCTION PLAN

SHEET NUMBER:

A-K111



APPROVED special use permit no.	2025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIR	RONMENTAL SERVICES
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED BOOK	CNO. DATE

APPROVED

Original drawing is 24" x 36". Scale entities accordingly if reduced.

Unit Summary 1st Floor FSP

1ST FLR

Level

7

Unit No.

1ST FLR 100

101

102

103

Amenity

Lobby Mail

Unit Type

Corridor

RETAIL READY

RETAIL READY

RETAIL READY

BIKE PARKING COVERED STRUCTURE

118 BIKE RACK - SEE CIVIL, LANDSCAPE

122 ATRANSFORMER - SEE CIVIL, MEP

104	ELEVATOR. BASIS OF DESIGN THYSSENKRUPP EVOLUTION 200/3500
	REGENERATIVE BRAKING ELEVATOR REQUIRED (8'-6" x 6'-11" clear shaft, 8'-4"
	CAB HEIGHT)
107	REFUSE RECEPTACLE STORAGE / TRASH CHUTE, designated separate storage for
	recyclables.

119 BMR PLANTER - SEE CIVIL

117

• KEYNOTES

ENTRANCES TO "RETAIL-READY" SPACES

LANDFILL FOR GREEN GLOBES

PROVIDED & INSTALLED BY G.C.

14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM

15 REFER TO AREA PLANS G-003 AND G-004 FOR UNIT SQUARE FOOTAGE

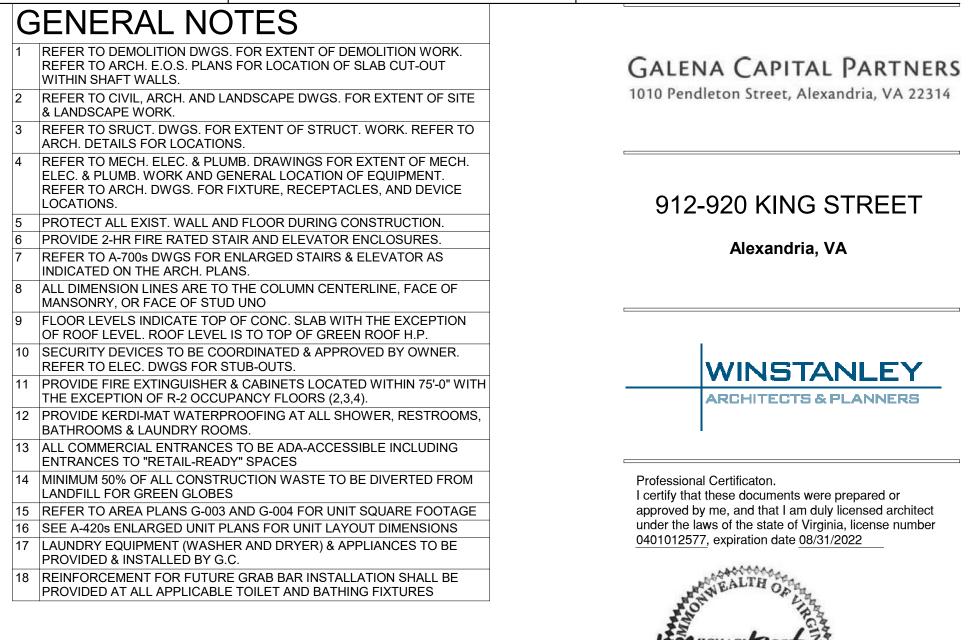
16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS

17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE

18 REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION SHALL BE

PROVIDED AT ALL APPLICABLE TOILET AND BATHING FIXTURES





KEYNOTES

7

101 ELECTRIC PANEL OR DISTRIBUTION PANEL 124 SEPARATED SHAFT FOR FUTURE COMMERCIAL KITCHEN EXHAUST

	WIN	ISTANLEY
		TECTS & PLANNERS
Drof	essional Certificate	
l cer appr unde	tify that these doc roved by me, and t er the laws of the s	uments were prepared or that I am duly licensed architect state of Virginia, license number n date <u>08/31/2022</u>
	100000 A	ADDE.
	FORWEALT	OFLING
	SALCHAEL	ADD ZS
l	No. 012	LEY
	08/31/20	P
6	ARCHIT	ECT
1		
RE	GISTRATION	:
NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	06/12/2020 09/03/2021	PRELIMINARY PLAN FSP I
	09/03/2021	FSP I
	09/03/2021 01/07/2022	FSP I FSP 2
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA
	09/03/2021 01/07/2022 03/07/2022	FSP I FSP 2 BAR CoA

Unit Summary 2nd Floor FSP						
Unit No.	Unit Type	Level	Туре А	Туре В		
KING 2ND	KING 2ND FLR					
200	Corridor	KING 2ND FLR				
201	Studio	KING 2ND FLR		Yes		
202	1 BR/1 BA	KING 2ND FLR		Yes		
202 T	Outdoor	KING 2ND FLR				
203	1 BR/1 BA	KING 2ND FLR	Yes			
204	1 BR/1 BA	KING 2ND FLR		Yes		
205	1 BR/1 BA	KING 2ND FLR		Yes		
206	1 BR/1 BA	KING 2ND FLR		Yes		
207	1 BR/1 BA	KING 2ND FLR		Yes		
208	1 BR/1 BA	KING 2ND FLR		Yes		
209	1 BR/1 BA	KING 2ND FLR		Yes		
210	1 BR/1 BA	KING 2ND FLR		Yes		

0	4' SC/	8' ALE : 1/8"	16' = 1'-0"	N VIRGINIA STATE GRID NORTH
SHEET TITLE: CONSTRUCTION			TION	NAD 83/93 PLAN

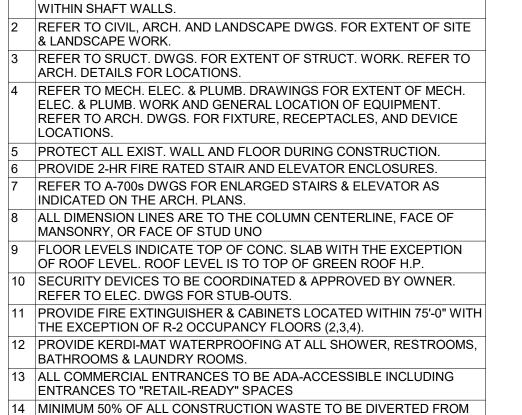
entities accordingly if reduced.

9

SHEET NUMBER:

	A-K112	
	APPROVED SPECIAL USE PERMIT NO. 2025-10006 Department of planning & zoning	
	DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.	
ESI	DIRECTOR DATE	
PEER REVIEW	CHAIRMAN, PLANNING COMMISSION DATE	
	INSTRUMENT NO. DEED BOOK NO. DATE	Original drawing is 24" x 36". Scale





REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT

- LANDFILL FOR GREEN GLOBES 15 REFER TO AREA PLANS G-003 AND G-004 FOR UNIT SQUARE FOOTAGE
- 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED & INSTALLED BY G.C.
- 18 REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION SHALL BE PROVIDED AT ALL APPLICABLE TOILET AND BATHING FIXTURES

KEYNOTES

GENERAL NOTES

101 ELECTRIC PANEL OR DISTRIBUTION PANEL 124 SEPARATED SHAFT FOR FUTURE COMMERCIAL KITCHEN EXHAUST

GALENA CA	apital Partne	RS
1010 Pendleton St	reet, Alexandria, VA 22	314

# 912-920 KING STREET

# Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



### **REGISTRATION:**

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 22

0	4'	8'	16'	
	SC	ALE : 1/8"	= 1'-0"	NORTH
	EET T			NAD 83/93

# CONSTRUCTION PLAN



SHEET NUMBER:

A-K113

DATE



7

Unit No.

300

302

303

304

305

306

307

308

309

310

KING 3RD FLR

Unit Type

Corridor

Studio 1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

1 BR/1 BA

2025-10006
DATE
ONMENTAL SERVICES
DATE
DATE

DEED BOOK NO.

APPROVED

Туре А Туре В

Yes

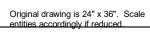
Yes

Yes Yes

Yes Yes

Yes Yes Yes Yes

Q



8

INSTRUMENT NO.

Unit Summary 3rd Floor FSP

KING 3RD FLR KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

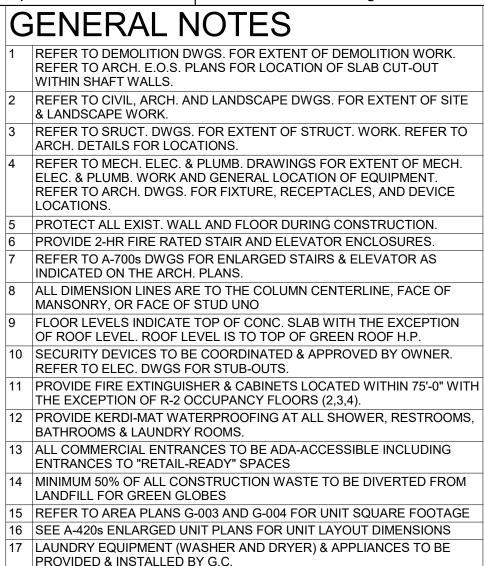
KING 3RD FLR

KING 3RD FLR

KING 3RD FLR

Level





18 REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION SHALL BE PROVIDED AT ALL APPLICABLE TOILET AND BATHING FIXTURES

KE	YNOTES
101	ELECTRIC PANEL OR DISTRIBUTION PANEL

107 REFUSE RECEPTACLE STORAGE / TRASH CHUTE, designated separate storage for recyclables. 124 SEPARATED SHAFT FOR FUTURE COMMERCIAL KITCHEN EXHAUST

Unit Summary 4th Floor FSP				
Unit No.	Unit Type	Level	Туре А	Туре В
KING 4TH	FLR	•		•
400	Corridor	KING 4TH FLR		
401	Studio	KING 4TH FLR		Yes
402	1 BR/1 BA	KING 4TH FLR		Yes
403	1 BR/1 BA	KING 4TH FLR		Yes
404	1 BR/1 BA	KING 4TH FLR		Yes
404 T	Outdoor	KING 4TH FLR		
405	1 BR/1 BA	KING 4TH FLR		Yes
406	1 BR/1 BA	KING 4TH FLR		Yes
406T	Outdoor	KING 4TH FLR		
407	1 BR/1 BA	KING 4TH FLR		Yes
409	1 BR/1 BA	KING 4TH FLR		Yes

DDEVICE	912-920 KING STREET
CTION.	
URES.	Alexandria, VA
OR AS	Alexalidita, VA
FACE OF	
XCEPTION H.P.	
OWNER.	



GALENA CAPITAL PARTNERS

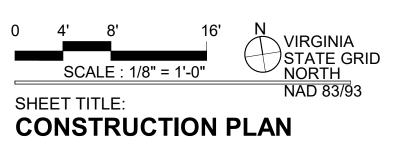
1010 Pendleton Street, Alexandria, VA 22314

Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 22



SHEET NUMBER:

A-K114

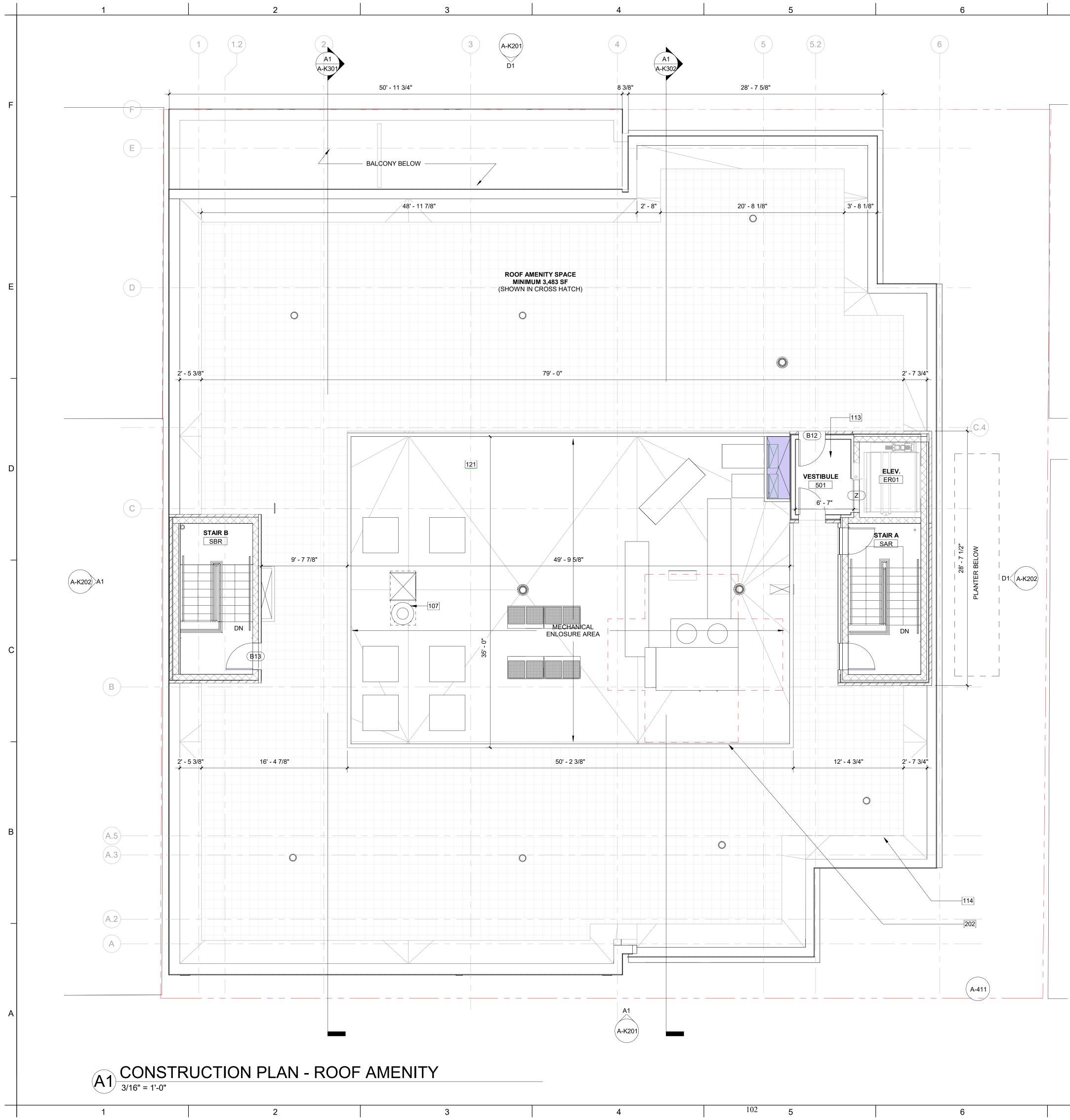


7

APPROVED special use permit no20	025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONM	ENTAL SERVICES
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	DATE

8

Original drawing is 24" x 36". Scale entities accordingly if reduced.



### GENERAL NOTES REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS. REFER TO CIVIL, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & LANDSCAPE WORK. REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS. REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS. PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION. PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES. REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS. 8 ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MANSONRY, OR FACE OF STUD UNO FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P. 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS. 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4). 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS. 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING ENTRANCES TO "RETAIL-READY" SPACES 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM LANDFILL FOR GREEN GLOBES 15 REFER TO AREA PLANS G-003 AND G-004 FOR UNIT SQUARE FOOTAGE 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED & INSTALLED BY G.C.

18 REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION SHALL BE PROVIDED AT ALL APPLICABLE TOILET AND BATHING FIXTURES

KE	KEYNOTES		
107	REFUSE RECEPTACLE STORAGE / TRASH CHUTE, designated separate storage for recyclables.		
113	VESTIBULE NOT TO EXCEED MAX SF PER ALEXANDRIA ZONING		
114	GUARDRAIL, MIN. 42" (SEE STRUCTURAL & ARCH DETAILS FOR ATTACHMENT)		
121	PLUMBING RISER (BELOW)		
202	MECHANICAL AREA SCREEN, PAINTED LIGHT GREY (PT-X)		

GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

912-920 KING STREET

### Alexandria, VA

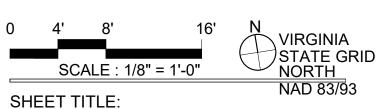


Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



**REGISTRATION:** 

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
	PROJECT NO	: 19 - 22



# SHEET TITLE: CONSTRUCTION PLAN

SHEET NUMBER:

A-K115



7

APPROVED special use permit no2	2025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRON	DATE MENTAL SERVICES
SITE PLAN NO	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	

Original drawing is 24" x 36". Scale entities accordingly if reduced.

q



912-920 KING STREET

# Alexandria, VA

		ISTANLEY FECTS & PLANNERS
l cer appr unde	roved by me, and t	uments were prepared or hat I am duly licensed architect tate of Virginia, license number
	CHAFT No. 012: 08/31/20	
	GISTRATION	
NO.		ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

0	8'	16'	32'
	SC	ALE : 1/1	6" = 1'-0"

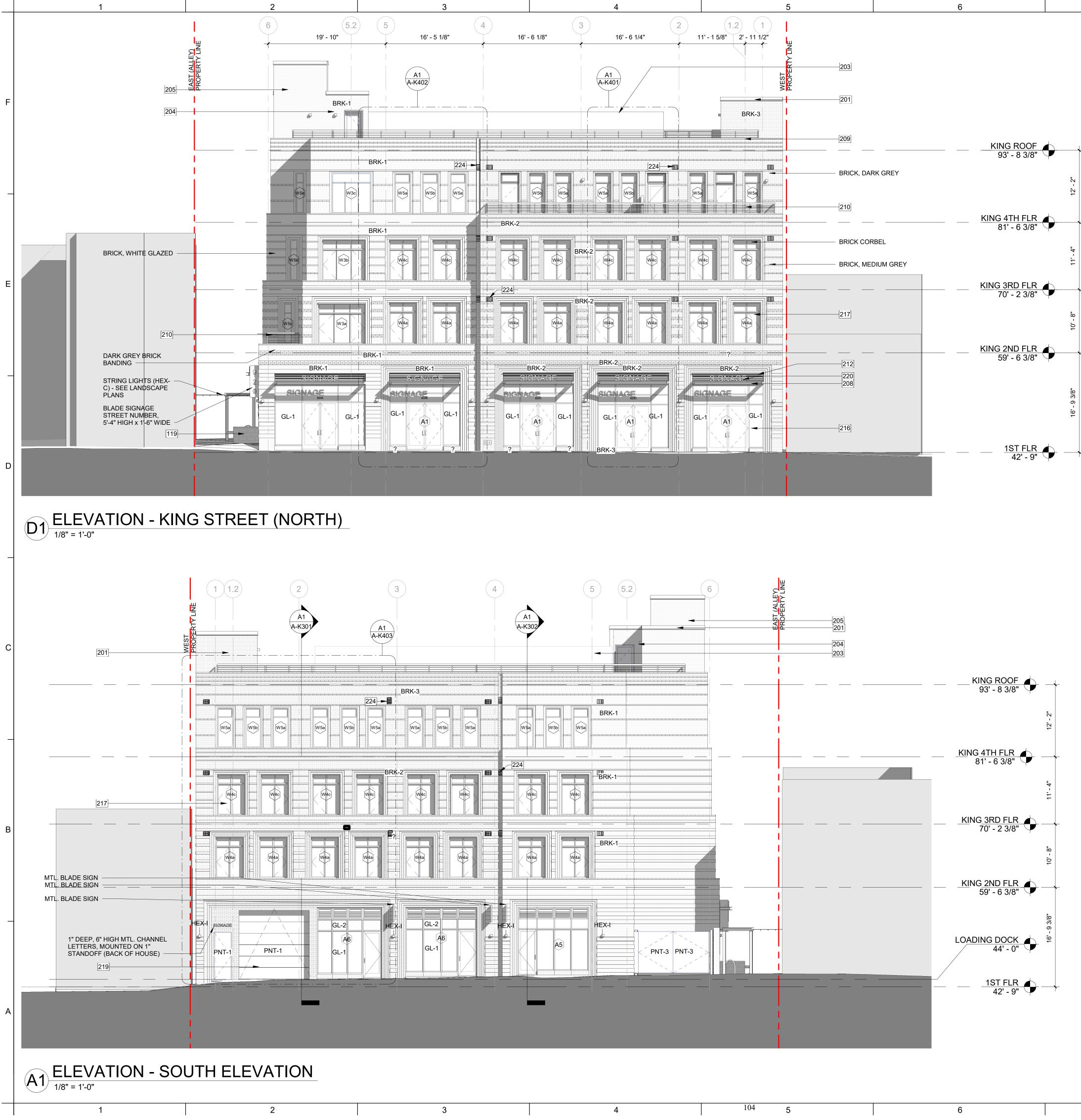
SHEET TITLE: STREET ELEVATION -NORTH

SHEET NUMBER:

A-K200

APPKUVEU Special use permit no	2025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIR	CONMENTAL SERVICES
SITE PLAN NO	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED BOOK	NO. DATE

Original drawing is 24" x 36". Scale entities accordingly if reduced.



7		8		
EXTERIOR FINISH LEGEND (See full material list on sheet A-630)				
MARK	DESCRIPTION	MODEL	MFR.	COMMENTS
AG-1	Glazing System, Storefront	TRIFAB 451	KAWNEER (or similar)	
BKR	BIKE RACK	Painted Mtl.		Paint PNT-1
BRK-1	White Brick	Alaska White Velour	BELDEN	THROUGH-BODY
BRK-1M	Mortar	Ivory Buff	ARGOS	BRICK.
BRK-2	Mid-Grey Brick	MARBLE GRAY	ACME BRICK	ELEVATIONS
BRK-2M	Mortar	Graphite WR-2070	WORKRITE	-
BRK-3	Black Brick	Black Pearl Smooth	GLEN-GERY	
BRK-3M	Mortar	Graphite WR-2070	WORKRITE	-
	BRK-4 THUR BRK-9	(NOT USED)		
P-03	City Stnd. Paver	Belcrest 760	BELDEN	Standard pattern
P-04	King Alley Accent Pa	iver		
FCP-1	Fiber Cement reveal system, smooth		ROOF PENTHON	
GL-1	1" Fully Tempered. In (IGU) with Low-E Co			Groud Floor Storefront System (AG-1)
GL-2	Fire-rated glass, insu coated vision glass	lated with Low-E		Groud Floor Storefront System (AG-1)
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1		
GRL-4	Galvanized pnt. exterior rail	PNT-1		
PNT-1	Exterior Paint	Jet Black 2120-10	BEN MOORE	Decorative mtl. trim, fences, railings
PNT-2	Exterior Paint	Medium Grey, TBD	BEN MOORE	PH structures
PNT-3	Exterior Paint	Cloud White 967	BEN MOORE	Coping

# GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

# 912-920 KING STREET

### Alexandria, VA



Professional Certificaton.

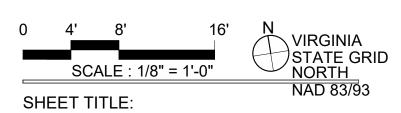
I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



### **REGISTRATION:**

		NO.	DATE	ISSUE DESCRIPTION
			01/07/2022	FSP 2
			03/07/2022	BAR CoA
KE	EYNOTES		05/25/2022	FSP 3
119	BMP PLANTER - SEE CIVIL			
201	STAIRWAY & ELEVATOR PENTHOUSE, EXTERIOR FINISH MATERIAL TBD. PTD. PT-X			
203	MECHANICAL AREA SCREEN, MTL. LOUVER PTD. PT-X			
204	ELEVATOR VESTIBULE			
205	ELEVATOR OVERHEAD			
208	CANOPY (FINISH TBD)			
209	EXT. GUARDRAIL, MIN. 42" HIGH, MTL. PT-1 OR GLASS			
210	EXT. MTL. RAILING, PT-1 W/ INTEGRATED LED STRIP LIGHTING AT TOP RAIL			
212	MECHANICAL LOUVRE/GRILLE			
216	STOREFRONT (AG-1). Kawneer: Trifab 451UT Framing System/ 250T Insulpour Thermal Entrances (10-inch high min. kick plate) or approved equal			
217	WINDOW SYSTEM WITH EXT. APPLIED MUNTINS. (GLAZING PER ALEXANDRIA STANDARD)			
219	STL. GARAGE DOOR (PANELIZED W/ WINDOW)			
220	RETAIL: 2" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X			
224	LOUVER ASSEMBLY FINAL LOCATION TO BE COORDINATED WITH BAR			

A/E PROJECT NO: 19 - 22



# **EXTERIOR ELEVATION -**NORTH & SOUTH

# SHEET NUMBER:

A-K201



7

SPECIAL USE PERMIT NO. 2025-10006 DEPARTMENT OF PLANNING & ZONING DIRECTOR DAT DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES ITE PLAN NO. DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

APPROVED

Original drawing is 24" x 36". Scale entities accordingly if reduced.

8



7		8			
EXTERIOR FINISH LEGEND (See full material list on sheet A-630)					
MARK	DESCRIPTION	MODEL	MFR.	COMMENTS	
AG-1	Glazing System, Storefront	TRIFAB 451	KAWNEER (or similar)		
BKR	BIKE RACK	Painted Mtl.		Paint PNT-1	
BRK-1	White Brick	Alaska White Velour	BELDEN	THROUGH-BODY	
BRK-1M	Mortar	Ivory Buff	ARGOS	BRICK. FOR PATTERN SEE	
BRK-2	Mid-Grey Brick	MARBLE GRAY	ACME BRICK	ELEVATIONS	
BRK-2M	Mortar	Graphite WR-2070	WORKRITE		
BRK-3	Black Brick	Black Pearl Smooth	GLEN-GERY		
BRK-3M	Mortar	Graphite WR-2070	WORKRITE		
	BRK-4 THUR BRK-9	(NOT USED)		-	
P-03	City Stnd. Paver	Belcrest 760	BELDEN	Standard pattern	
P-04	King Alley Accent Pa	ver			
FCP-1	Fiber Cement reveal system, smooth		ROOF PENTHON		
GL-1	1" Fully Tempered. Ir (IGU) with Low-E Co			Groud Floor Storefront System (AG-1)	
GL-2	Fire-rated glass, insu coated vision glass	llated with Low-E		Groud Floor Storefront System (AG-1)	
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1			
GRL-4	Galvanized pnt. exterior rail	PNT-1			
PNT-1	Exterior Paint	Jet Black 2120-10	BEN MOORE	Decorative mtl. trim, fences, railings	
PNT-2	Exterior Paint	Medium Grey, TBD	BEN MOORE	PH structures	
PNT-3	Exterior Paint	Cloud White 967	BEN MOORE	Coping	

# KEYNOTES

117	BIKE PARKING COVERED STRUCTURE
118	BIKE RACK - SEE CIVIL, LANDSCAPE
119	BMP PLANTER - SEE CIVIL
201	STAIRWAY & ELEVATOR PENTHOUSE, EXTERIOR FINISH MATERIAL TBD. PTD. PT-X
203	MECHANICAL AREA SCREEN, MTL. LOUVER PTD. PT-X
207	RESIDENTIAL CANOPY (FINISH TBD) WITH CANOPY LIGHTING (HEX-D)
209	EXT. GUARDRAIL, MIN. 42" HIGH, MTL. PT-1 OR GLASS
210	EXT. MTL. RAILING, PT-1 W/ INTEGRATED LED STRIP LIGHTING AT TOP RAIL
217	WINDOW SYSTEM WITH EXT. APPLIED MUNTINS. (GLAZING PER ALEXANDRIA STANDARD)
220	RETAIL: 2" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X
221	RESIDENTIAL: 2" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT

OUTSIDE EDGE OF CANOPY, PNT-X

# GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

# 912-920 KING STREET

# Alexandria, VA



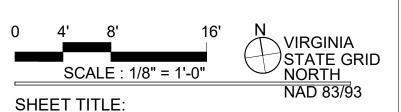
Professional Certificaton.

I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



# **REGISTRATION:**

NO.	DATE	ISSUE DESCRIPTION
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3



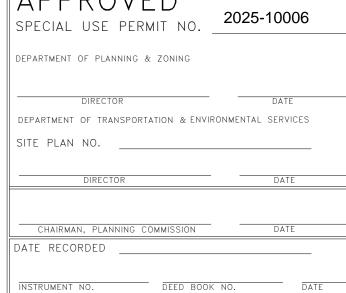
# SHEET TITLE: EXTERIOR ELEVATION -EAST & WEST

# SHEET NUMBER:

A-K202



7



APPROVED

8

# SOUTH ELEVATION (PUBLIC ALLEY)

1

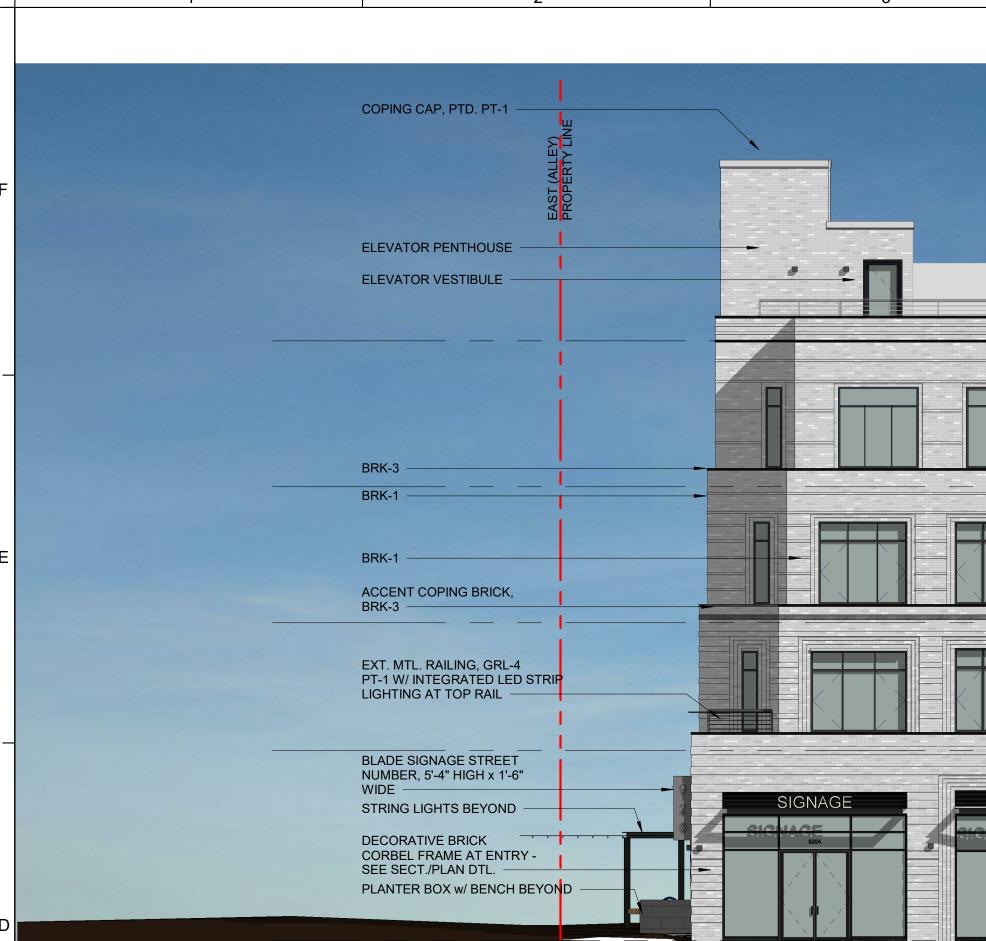


2

3

# NORTH ELEVATION (KING STREET)

ALL SIGNAGE TO COMPLY WITH CITY STANDARDS



	WEST PROPERTY LINE
	MECH. AREA SCREEN, PTD. LIGHT GREY (PNT-2)
	EGRESS STAIR PENTHOUSE
	EXT. MTL. GUARDRAIL, GRL-1 MIN. 42" HIGH, PT-1 KING ROOF
	MIN. 42" HIGH, PT-1 KING ROOF 93' - 8 3/8" BRICK, BRK-3
	EXT. GLASS RAILING, W/ INTEGRATED LED STRIP LIGHTING AT TOP RAIL
	I     KING 4TH FLR       BRICK BANDING, BRK-1     81' - 6 3/8"
	BRICK CORBEL, BRK-2
	BRICK, BRK-2, WITH DECORATIVE COURES KING 3RD FLR
	70' - 2 3/8"
	ALUM. CLAD WINDOW SYSTEM WITH EXT. APPLIED MUNTINS. (GLAZING PER ALEXANDRIA STANDARD)
	2" DEEP, 1'-0" HIGH MTLKING 2ND FLR CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X
SIGNAGE SIGNAGE SIGNAGE SIGNAGE SIGNAGE	MECHANICAL LOUVRE/GRILLE 2'-6" DEEP CANOPY W/
	PANEL INFILL DOWN SCONCE (HEX-I)
	STOREFRONT SYSTEM (AG-1) WITH AFG (43.7') VERTICAL AND HORIZONTAL MULLIONS. GL-1 (GLAZING PER ALEXANDRIA STANDARD) 43' - 8 3/8"
	1ST FLR 42' - 9"

	COPING CAP, PTD. PNT-3 ELEVATOR PENTHOUSE COPING CAP, PTD. PNT-3 ELEVATOR VESTIBULE EGRESS STAIR PENTHOUSE MECH. AREA SCREEN, PTD. LIGHT GREY (PNT-2)
	KING ROOF THROUGH-BODY BRICK, ACCENT COPING, BRK-3 BRICK ACCENT BANDING, BRK-1 BRK-1 KING 4TH FLR 81' - 6 3/8"
	ALUM. CLAD WINDOW SYSTEM WITH EXT. APPLIED MUNTINS. (GLAZING PER ALEXANDRIA STANDARD) KING 3RD FLR 70' - 2 3/8"
	KING 2ND FLR 59' - 6 3/8" VERTICAL AND HORIZONTAL MULLIONS. GL-1 AND GL-2 (GLAZING PER ALEXANDRIA STANDARD) COVERED BIKE PARKING CANOPY MTL. EXT. GATES AT TRANSFORMER, PAINTED PNT-3 PLANTER - SEE LANDSCAPE AFG (43.7') 43' - 8 3/8"

4

7

MARK	DESCRIPTION	MODEL	MFR.	COMMENTS	
AG-1	Glazing System, Storefront	TRIFAB 451	KAWNEER (or similar)		
BKR	BIKE RACK	Painted Mtl.		Paint PNT-1	
BRK-1	White Brick	Alaska White Velour	BELDEN	THROUGH-BODY	
BRK-1M	Mortar	Ivory Buff	ARGOS	BRICK. FOR PATTERN SEE	
BRK-2	Mid-Grey Brick	MARBLE GRAY	ACME BRICK	ELEVATIONS	
BRK-2M	Mortar	Graphite WR-2070	WORKRITE	-	
BRK-3	Black Brick	Black Pearl Smooth	GLEN-GERY		
BRK-3M	Mortar	Graphite WR-2070	WORKRITE		
	BRK-4 THUR BRK-9	(NOT USED)			
P-03	City Stnd. Paver	Belcrest 760	BELDEN	Standard pattern	
P-04	King Alley Accent Pa	ver			
FCP-1				ROOF PENTHOUSE, NOT VISIBLE FROM GROUND	
GL-1	1" Fully Tempered. Insulated Glass Unit (IGU) with Low-E Coated vision glass.			Groud Floor Storefront System (AG-1)	
GL-2	Fire-rated glass, insu coated vision glass	lated with Low-E		Groud Floor Storefront System (AG-1)	
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1			
GRL-4	Galvanized pnt. exterior rail	PNT-1			
PNT-1	Exterior Paint	Jet Black 2120-10	BEN MOORE	Decorative mtl. trim, fences, railings	
PNT-2	Exterior Paint	Medium Grey, TBD	BEN MOORE	PH structures	
PNT-3	Exterior Paint	Cloud White 967	BEN MOORE	Coping	

# GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

912-920 KING STREET

Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



**REGISTRATION:** 

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
A/E F	PROJECT NO	: 19 - 22

0 4' 8' 16' SCALE : 1/8" = 1'-0"

SHEET TITLE: **EXTERIOR ELEVATION -**NORTH & SOUTH

SHEET NUMBER:

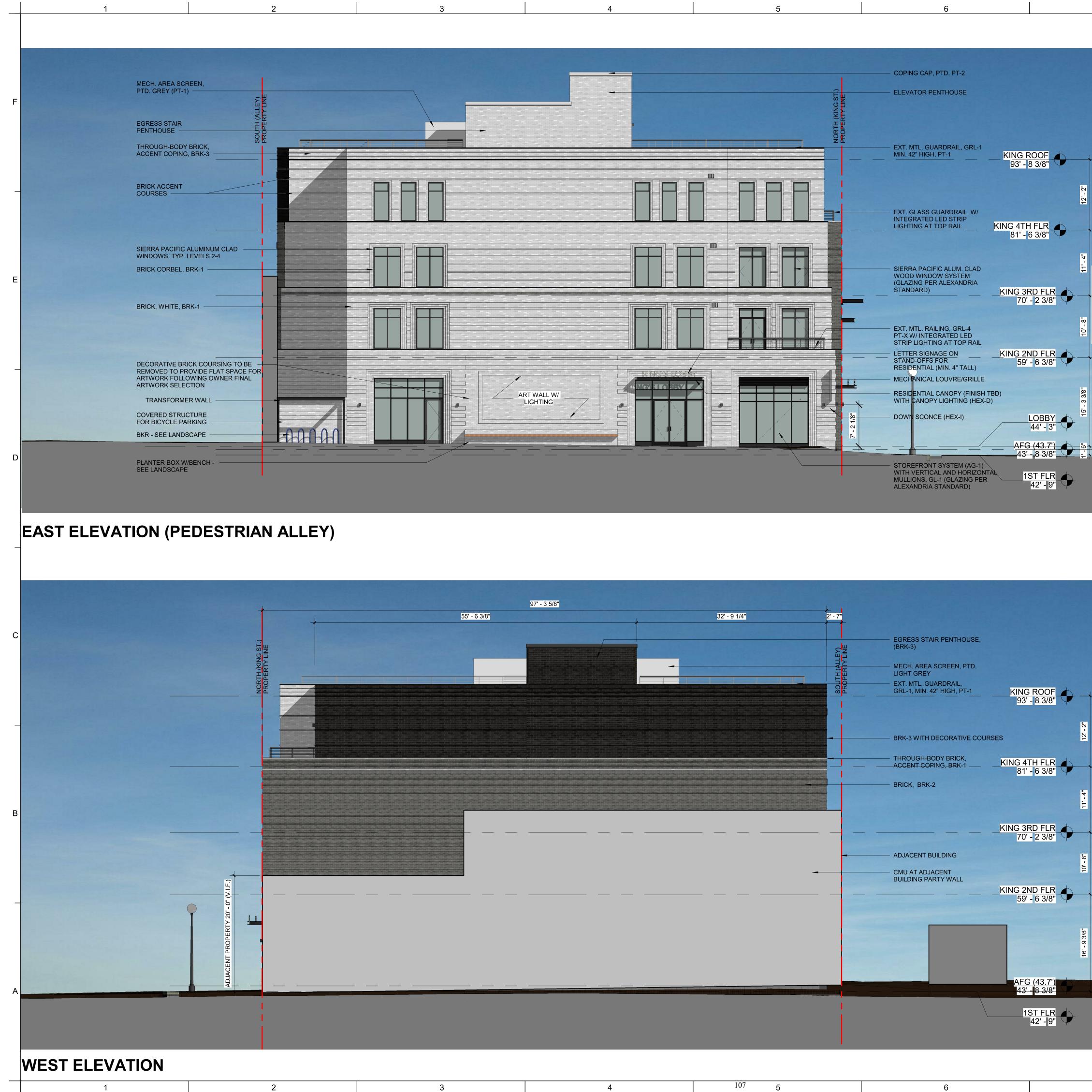
A-K211



APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_ DEPARTMENT OF PLANNING & ZONING DATE DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DATE DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE

Original drawing is 24" x 36". Scale entities accordingly if reduced.

9



7		8			
	ERIOR FINISH LE				
MAF	RK DESCRIPTION	MODEL	MFR.	COMMENTS	
AG-1	Glazing System, Storefront	TRIFAB 451	KAWNEER (or similar)		
BKR	BIKE RACK	Painted Mtl.		Paint PNT-1	
BRK-	1 White Brick	Alaska White Velour	BELDEN	THROUGH-BODY	
BRK-	1M Mortar	Ivory Buff	ARGOS	BRICK. FOR PATTERN SEE	
BRK-	2 Mid-Grey Brick	MARBLE GRAY	ACME BRICK	ELEVATIONS	
BRK-	2M Mortar	Graphite WR-2070	WORKRITE		
BRK-	3 Black Brick	Black Pearl Smooth	GLEN-GERY		
BRK-	3M Mortar	Graphite WR-2070	WORKRITE		
	BRK-4 THUR BRK-9	(NOT USED)			
P-03	City Stnd. Paver	Belcrest 760	BELDEN	Standard pattern	
P-04	King Alley Accent Pa	iver			
FCP-	Fiber Cement reveal system, smooth		ROOF PENTH		
GL-1	1" Fully Tempered. In (IGU) with Low-E Co			Groud Floor Storefront System (AG-1)	
GL-2	Fire-rated glass, insu coated vision glass	llated with Low-E		Groud Floor Storefront System (AG-1)	
GRL-	1 Galvanized pnt'd. guard rail at roof terrace	PNT-1			
GRL-	4 Galvanized pnt. exterior rail	PNT-1			
PNT-	1 Exterior Paint	Jet Black 2120-10	BEN MOORE	Decorative mtl. trim, fences, railings	
PNT-	2 Exterior Paint	Medium Grey, TBD	BEN MOORE	PH structures	
PNT-	3 Exterior Paint	Cloud White 967	BEN MOORE	Coping	

912-920 KING STREET

# Alexandria, VA



Professional Certificaton.

I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



### **REGISTRATION:**

		1
NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF
		COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
A/E F	PROJECT NO	: 19 - 22

0 4' 8' 16' SCALE : 1/8" = 1'-0"

SHEET TITLE: EXTERIOR ELEVATION -EAST & WEST

SHEET NUMBER:

A-K212



SPECIAL USE PERMIT NO. \_\_\_\_\_ DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED

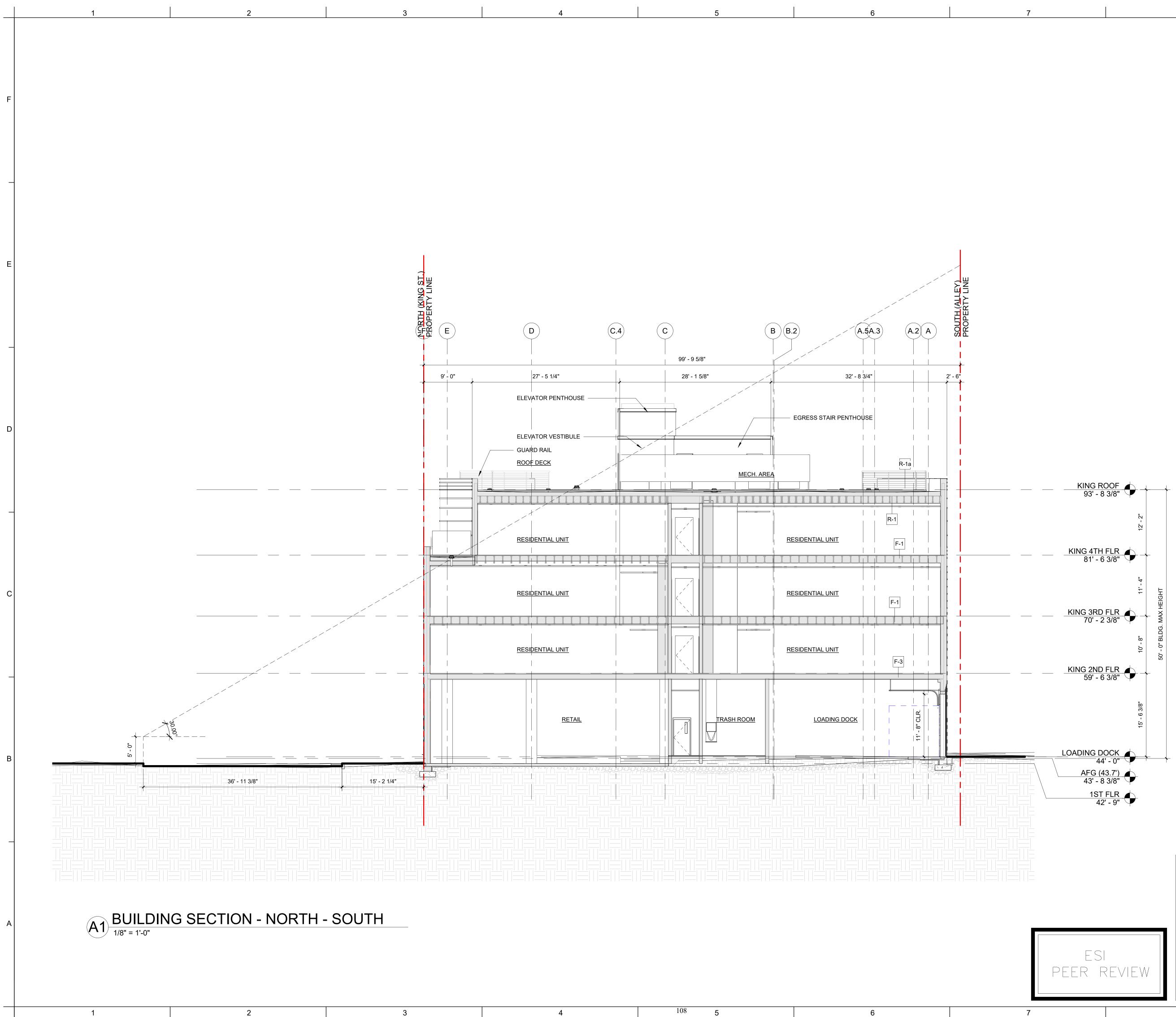
APPROVED

9

7

8

INSTRUMENT NO. DEED BOOK NO. DATE

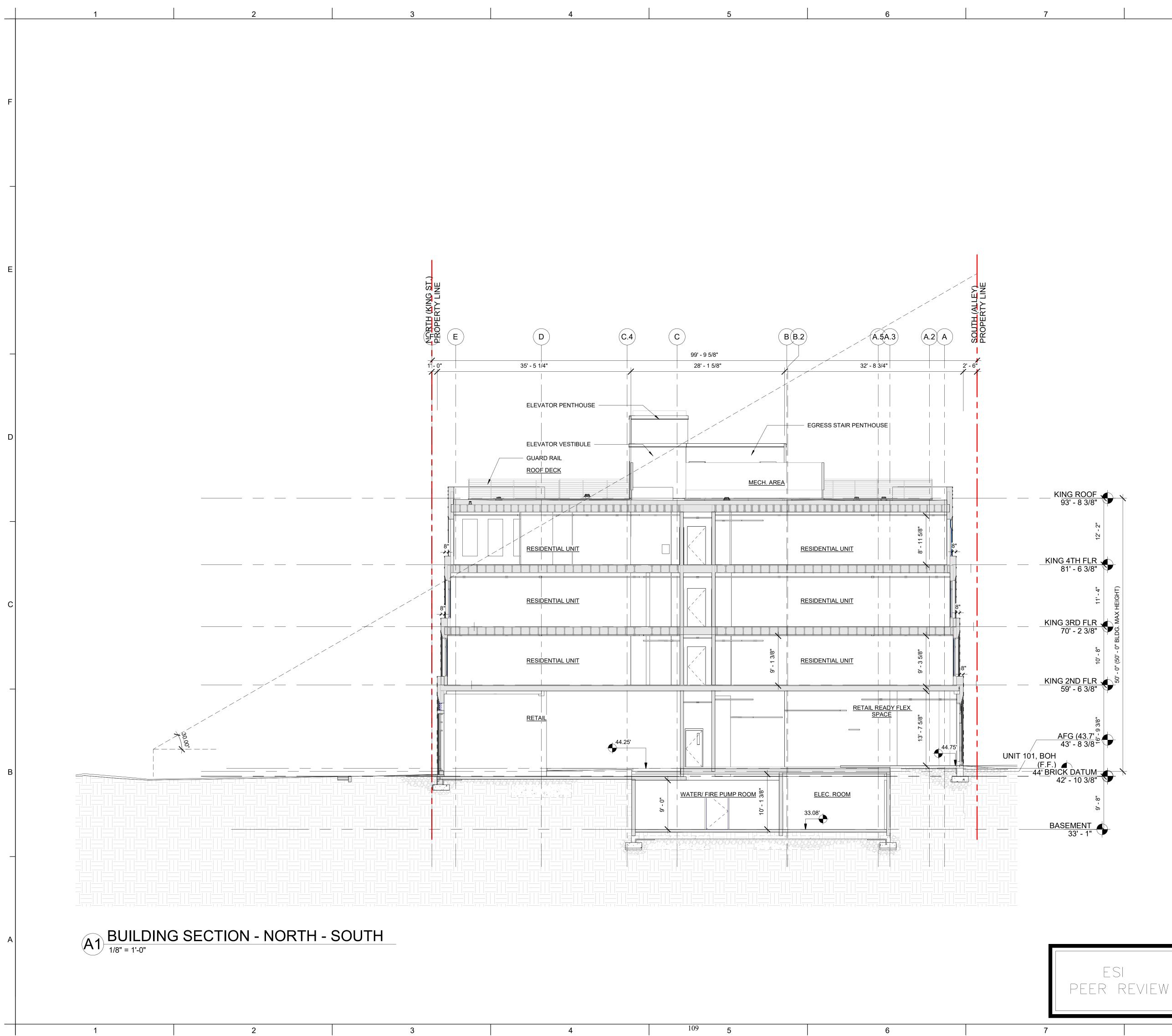


912-920 KING STREET

# Alexandria, VA

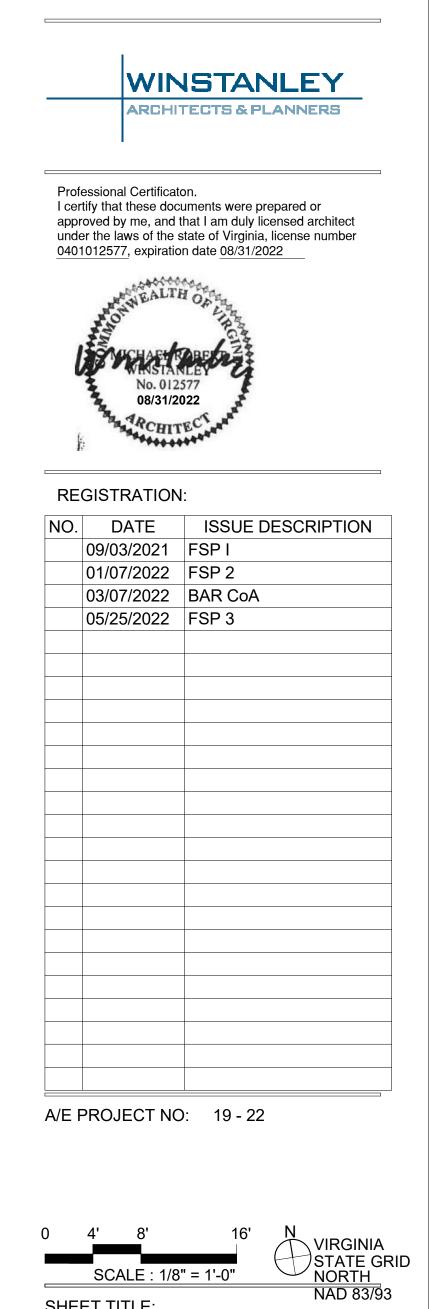
				WIN	ISTANLEY
					FECTS & PLANNERS
			l cei app und	roved by me, and t	uments were prepared or hat I am duly licensed architect tate of Virginia, license number
			l	TOTINE ALTE	DE LA
				No. 0125 08/31/20	
			RE	GISTRATION	
			NO.	DATE	ISSUE DESCRIPTION
				12/20/2019 12/20/2019	DSUP CONCEPT II BAR CONCEPT I
				02/28/2020	PRELIMINARY PLAN
				03/06/2020 05/01/2020	BAR CONCEPT II VERIFICATION OF
				06/01/20202	COMPLETENESS BAR CONCEPT II_R1
				06/12/2020	PRELIMINARY PLAN
				09/03/2021	FSP I FSP 2
$\rightarrow +$	<b>\</b>			03/07/2022	BAR CoA
-				05/25/2022	FSP 3
12' - 2"					
$\rightarrow +$					
-					
11' - 4"	누				
~	BLDG. MAX HEIGHT				
$\rightarrow +$	MAX				
	BLDG.				
10' - 8	- 0		A/E	PROJECT NO	): 19 - 22
	50'				
-			0	4 <u>8</u> '	
- 6 3/8"				SCALE : 1/8'	STATE GR
15'			SHE	ET TITLE:	NAD 83/93
					SECTION -
	·		NO	RTH-SO	UTH
$\rightarrow$					
)					
-			SHE	ET NUMBER:	
			A-ł	(301	
		[		]	
		APPROVED 20	25-10	006	
		SPECIAL USE PERMIT NO	20-10		
		DEPARTMENT OF PLANNING & ZONING			
		DIRECTOR			
		DEPARTMENT OF TRANSPORTATION & ENVIRONME SITE PLAN NO.	INTAL SEF	(VIUE)	
		DIRECTOR	D	ATE	
<u> </u>		CHAIRMAN, PLANNING COMMISSION DATE RECORDED	Di	ATE	
		INSTRUMENT NO. DEED BOOK NO.		DATE	Original drawing is 24" x 36". Scale

9



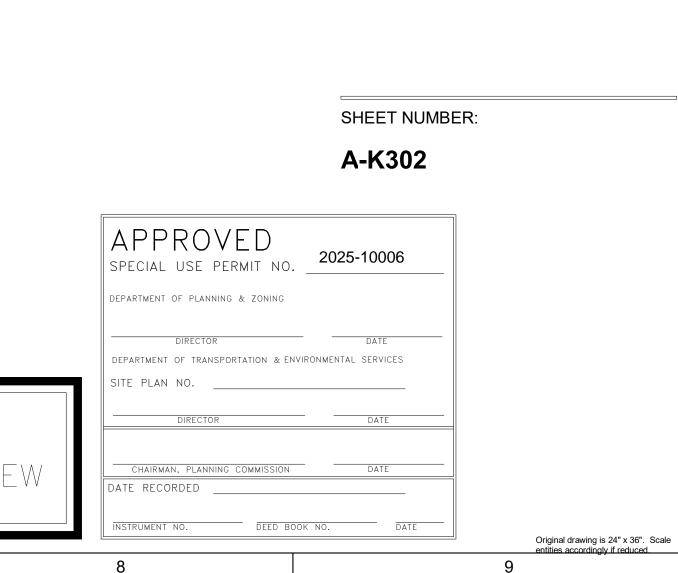
# 912-920 KING STREET

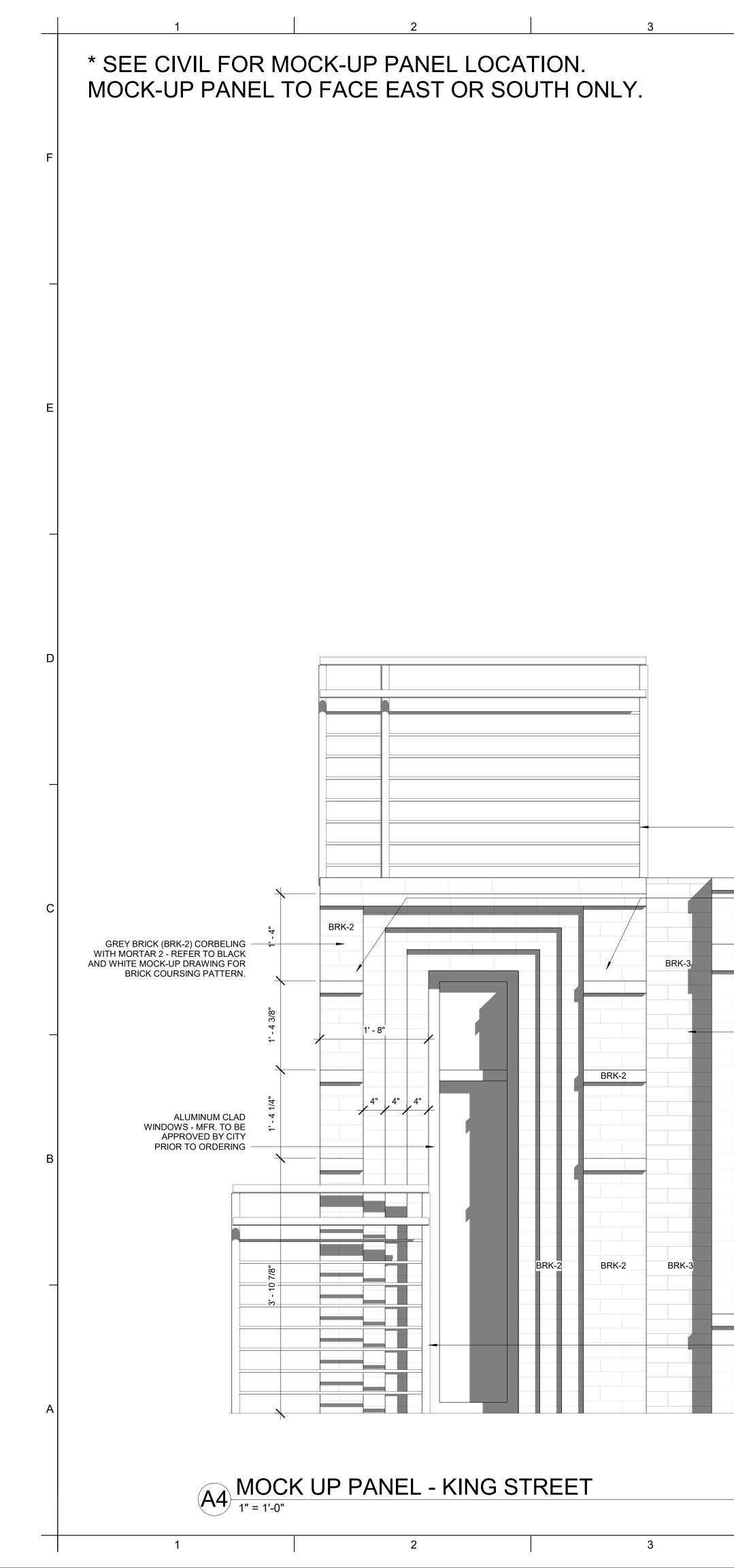
# Alexandria, VA



# SHEET TITLE: BUILDING SECTION







# GUARD RAIL WITH HANDRAIL DECORATIVE ACCENT COURSING, 3/4" PROJECTION, TYPICAL BRICK, ACCENT (BRK-3)

D4 MOCK UP PANEL - KING STREET COLOR

4

GREY BRICK (BRK-2) -CORBELING WITH MORTAR 2 - REFER TO BLACK AND WHITE MOCK-

UP DRAWING FOR BRICK

COURSING PATTERN

BRICK (BRK-3) WITH

ALUMINUM CLAD -WINDOWS - MFR. TO BE

APPROVED BY CITY

PRIOR TO ORDERING

BRK-1

BRK-3

MORTAR X

- SIERRA PACIFIC WINDOWS

– MTL. GUARDRAIL, PNTD PT-1

PANEL CONSTRUCTION BASE - MIN. 8" ABOVE GRADE

4

GUARD RAIL WITH

BRICK, ACCENT (BRK-3) DECORATIVE ACCENT COURSING, 3/4" PROJECTION, TYPICAL

BRICK (BRK-1) WITH

- STOREFRONT SYSETM (AG-1), TYP. GROUND

MTL. GUARDRAIL, PNTD.

PANEL CONSTRUCTION BASE - MIN. 8" ABOVE GRADE

MORTAR X

FLOOR

PT-1

HANDRAIL

7			8	
	RIOR FINISH LE	-		
MARK	DESCRIPTION	MODEL	MFR.	COMMENTS
AG-1	Glazing System, Storefront	TRIFAB 451	KAWNEER (or similar)	
BKR	BIKE RACK	Painted Mtl.		Paint PNT-1
BRK-1	White Brick	Alaska White Velour	BELDEN	THROUGH-BODY
BRK-1M	Mortar	Ivory Buff	ARGOS	BRICK.
BRK-2	Mid-Grey Brick	MARBLE GRAY	ACME BRICK	ELEVATIONS
BRK-2M	Mortar	Graphite WR-2070	WORKRITE	
BRK-3	Black Brick	Black Pearl Smooth	GLEN-GERY	
BRK-3M	Mortar	Graphite WR-2070	WORKRITE	
l	BRK-4 THUR BRK-9	(NOT USED)		
P-03	City Stnd. Paver	Belcrest 760	BELDEN	Standard pattern
P-04	King Alley Accent Pa	ver		
FCP-1	Fiber Cement reveal system, smooth		ROOF PENTHO	
GL-1	1" Fully Tempered. Ir (IGU) with Low-E Co			Groud Floor Storefront System (AG-1)
GL-2	Fire-rated glass, insu coated vision glass	lated with Low-E		Groud Floor Storefront System (AG-1)
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1		
GRL-4	Galvanized pnt. exterior rail	PNT-1		
PNT-1	Exterior Paint	Jet Black 2120-10	BEN MOORE	Decorative mtl. trim, fences, railings
PNT-2	Exterior Paint	Medium Grey, TBD	BEN MOORE	PH structures
PNT-3	Exterior Paint	Cloud White 967	BEN MOORE	Coping

# GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

# 912-920 KING STREET

# Alexandria, VA



Professional Certificaton.

I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



# **REGISTRATION:**

NO.	DATE	ISSUE DESCRIPTION
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
م ر <del>ب</del> -		
A/E F	PROJECT NC	): 19 - 22





# SHEET TITLE: ARCHITECTURAL **MOCK-UP PANEL**

# SHEET NUMBER:

# A-K400

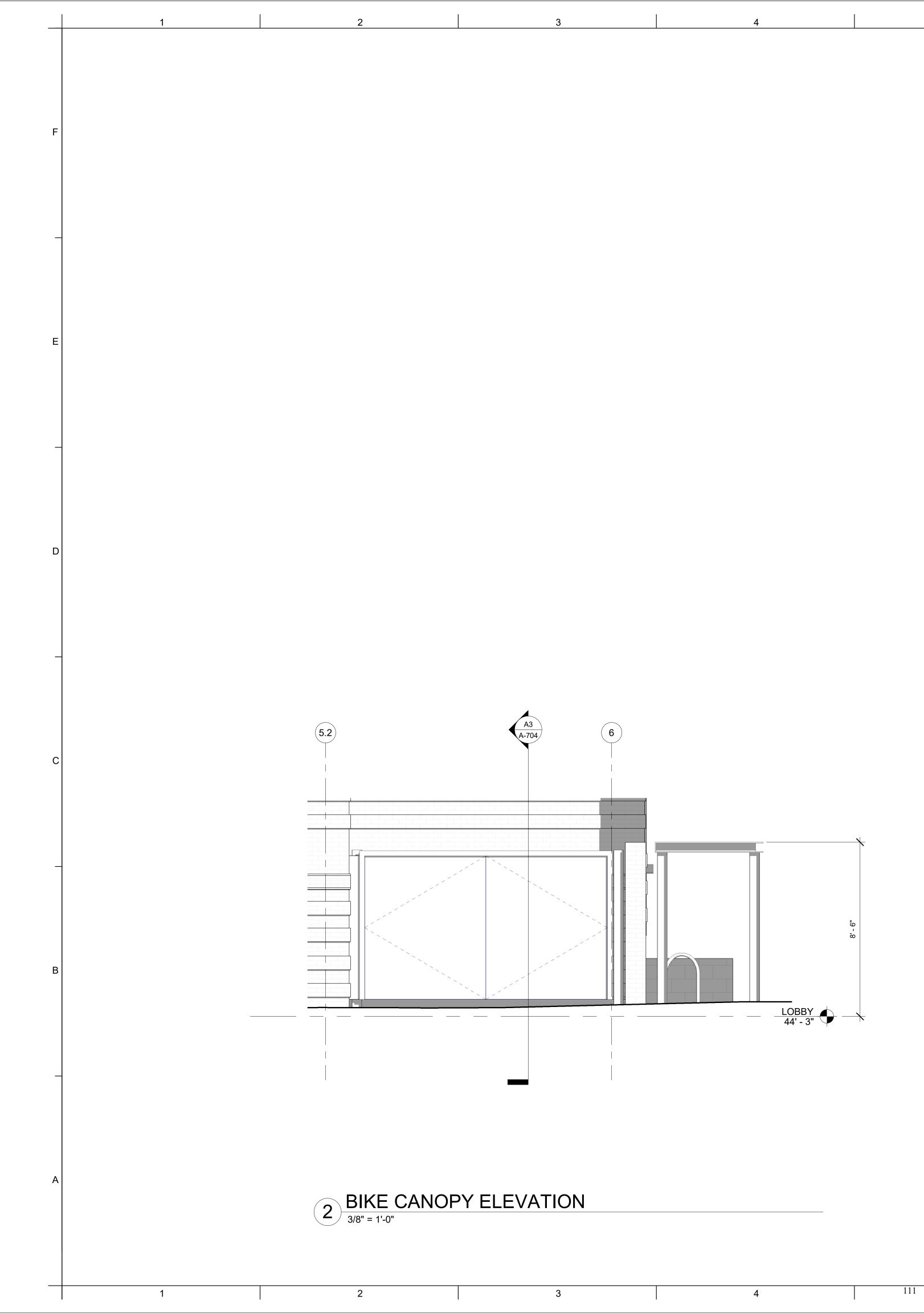


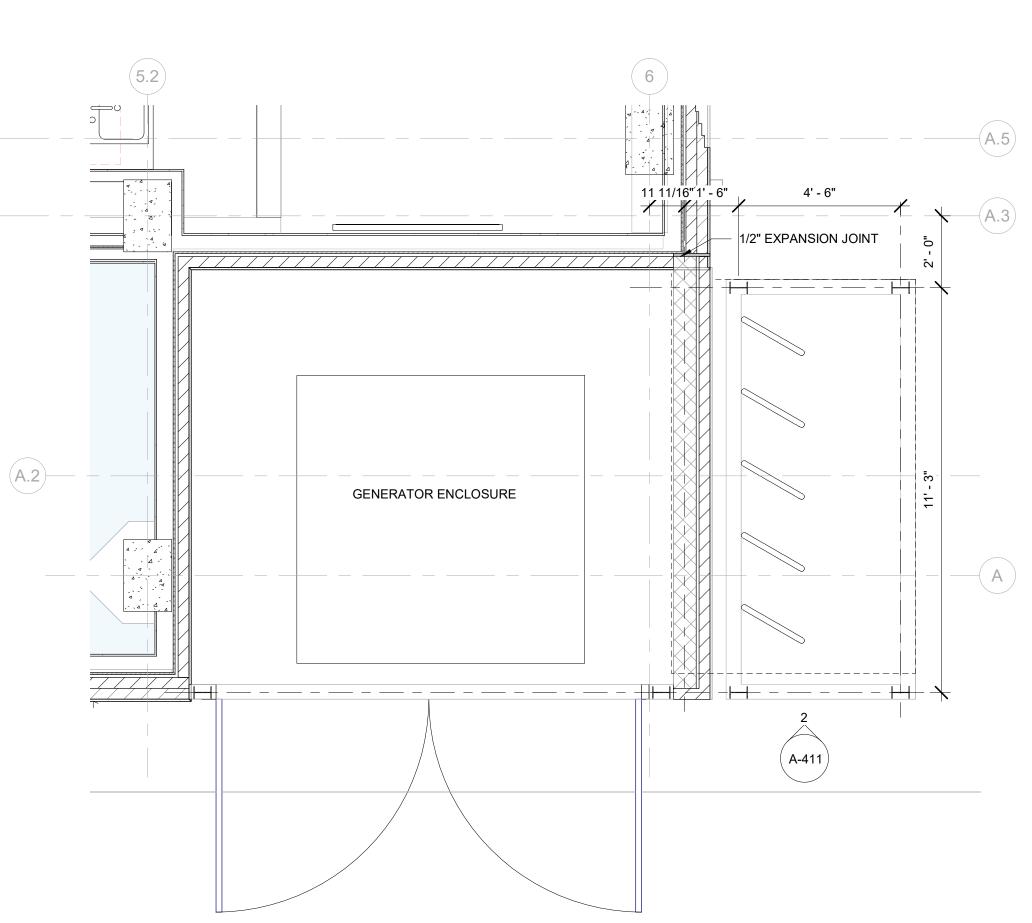
E	SI
PEER	REVIEW

7

8

Original drawing is 24" x 36". Scale entities accordingly if reduced. 9











STEEL STRUCTURE, REF: STRUCTURAL DRAWINGS

(2)X WYTHE MODULAR – BRICK CAP W/ HEADER COURSING @ TOP

GALV. SHEET METAL GUTTER TO MATCH ROOF FINISH, MECHANICALLY FASTENED AND SOLDERED

HSS BEAMS CHAMFERED 7/8" CORRUGATED METAL PANEL

14 GA. GALV SHEET METAL TRIM, PAINTED TO MATCH METAL ROOF FINISH

5

# GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

# 912-920 King Street

Alexandria, VA



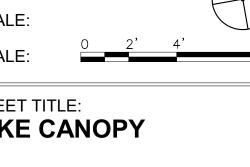
Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2015



REG	ISTRATION:	
NO.	DATE	ISSUE DESCRIPTION
		40.00


A/E PROJECT NO: 19 - 22

KEY PLAN SCALE: SCALE:



SHEET TITLE: BIKE CANOPY

Original drawing is 24" x 36". Scale entities accordingly if reduced

9

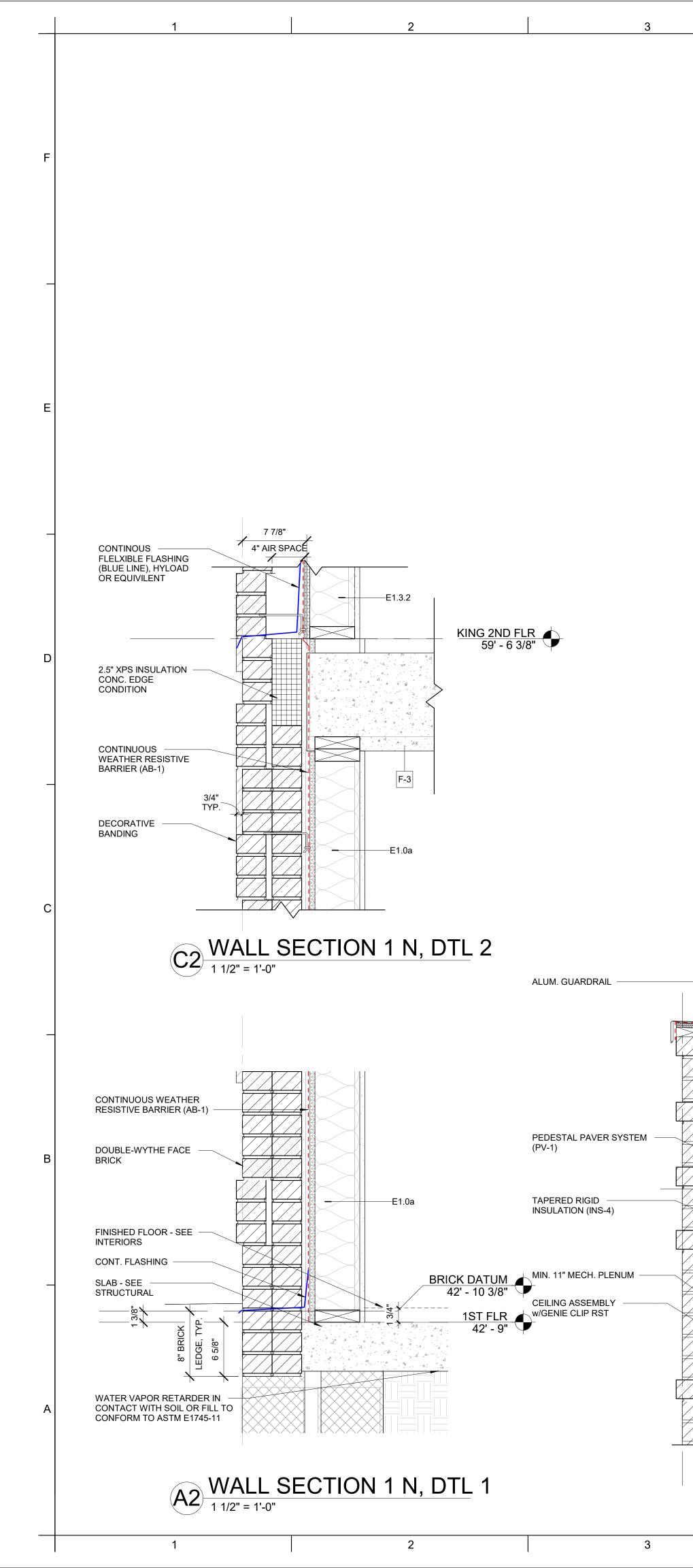
SL 1/4 PER 1'

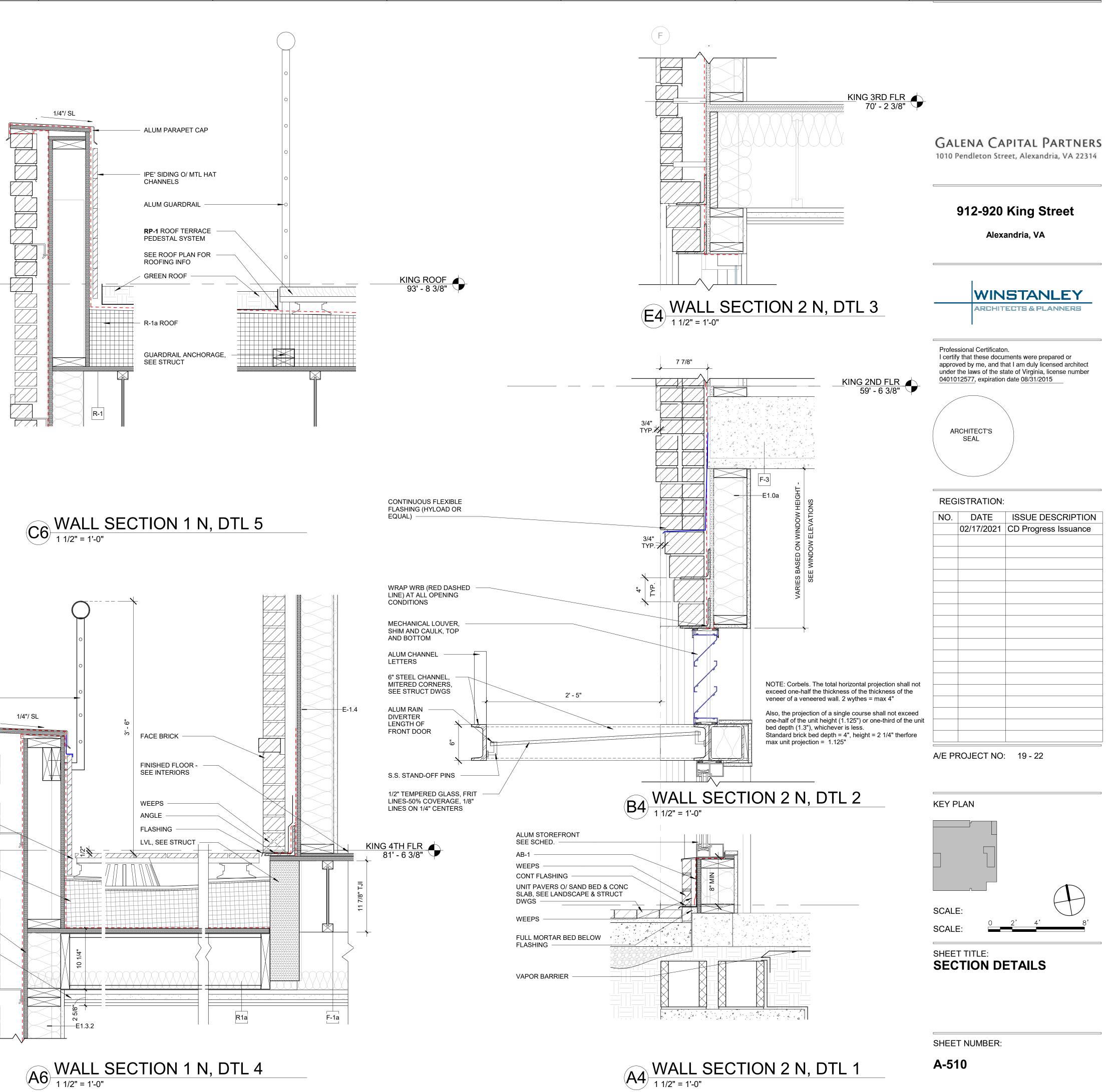
<

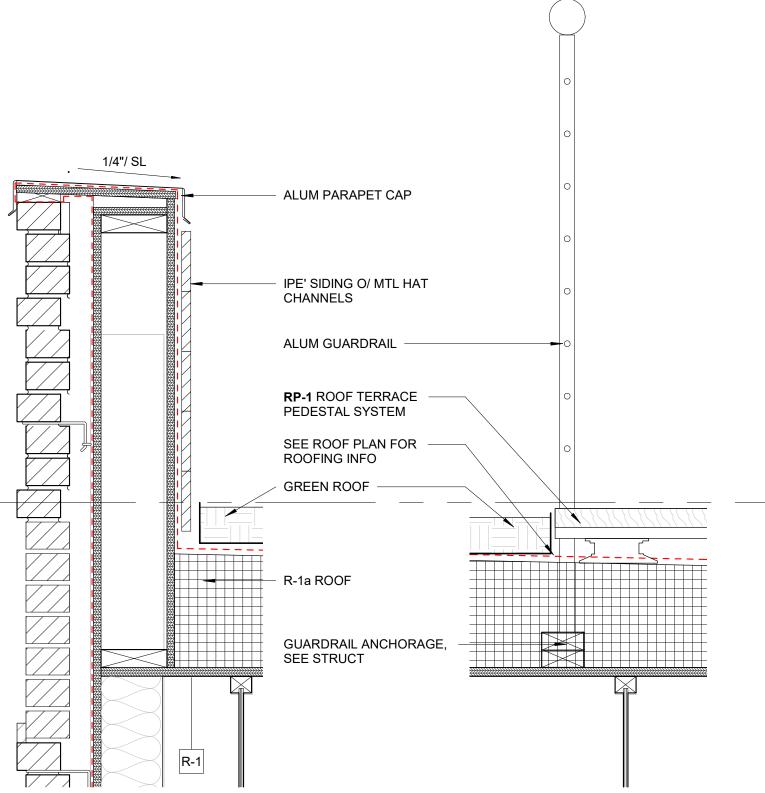
7

8

SHEET NUMBER: A-411







Original drawing is 24" x 36". Scale entities accordingly if reduced.

	0050		erior Finish			0:	Nata -	<b>NA</b> 1 -	Image		chedule - Exterior
NOTE	SPEC	Description	Manufacturer	Style	Finish	Size	Notes	Mark HEX-A	Image	Model STYK EXT. WALL -	Fixture Description EXTERIOR, SEE LP-03 / LP-04 FOR M
		AIR AND VAPOR BARRIER (WRB) WATER RESISTIVE BARRIER					GENERAL BUILDING AB OR WRB AS R'QD BY CODE BACKING SOME MATE		-	STEM	INFORMATION
		STORE FRONTGLAZING SYSTEM	KAWNEER	Trifab 451UT			250T Insulpour Thermal Entrances				
BKR	12 9313	BIKE RACK	TBD		PAINT PNT-1				Second St.		
BRK-1	04 2000	EXTERIOR BRICK (King only)	BELDEN		ALASKA WHITE VELOUR	MODULAR	THROUGH-BODY BRICK	HEX-B		VOTO WALL SQUARE	EXTERIOR, SEE LP-03 / LP-04 FOR M
BRK-1M BRK-2		MORTAR FOR BRK-1 EXTERIOR BRICK (King only)	ARGOS ENDICOTT CLAY		IVORY BUFF MANGANESE IRON SPOT VELOU	UR MODULAR	THROUGH-BODY BRICK				INFORMATION
BRK-2M		MORTAR FOR BRK-2	WORKRITE	WA44.0002	GRAPHITE WR-2070						
BRK-3 BRK-3M		EXTERIOR BRICK (King only) MORTAR FOR BRK-3	GLEN-GERY WORKRITE	WA11-9003	BLACK PEARL SMOOTH GRAPHITE WR-2070	MODULAR	THROUGH-BODY BRICK				
B BRK-4 B BRK-4M		EXTERIOR BRICK (Patrick, Henry) MORTAR FOR BRK-4	BELDEN WORKRITE		GOLDEN DAWN SAND 2443		THROUGH-BODY BRICK, ACCENT COPIN	NG HEX-F		TIVOLI LIGHTSPHERE	EXTERIOR, SEE LP-03 / LP-04 FOR M
B BRK-5	04 2000	EXTERIOR BRICK (Patrick, Henry)	PALMETTO		DAEK RED WIRECUT		THROUGH-BODY BRICK				INFORMATION
B BRK-5M B BRK-6		MORTAR FOR BRK-5 EXTERIOR BRICK (Henry only)	WORKRITE GLEN-GERY		CANYON 2031 MERLOT IRONSPOT VELOUR						
B BRK-6M		MORTAR FOR BRK-6	WORKRITE		REDWOOD 2492			HEX-G	A CO	SEE LP-03/LP-04	EXTERIOR, SEE LP-03 / LP-04 FOR MO
B BRK-7 B BRK-7M		EXTERIOR BRICK (Patrick, Henry, Garage) MORTAR FOR BRK-7	BELDEN WORKRITE		BLACK DIMOND VELOUR SMOKE 2062		See Alexandria requirements		6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6		INFORMATION
B BS-1	05 1200	BUILDING STRUCTURAL STEEL						HEX-I		SEE LP-03/LP-04	EXTERIOR, SEE LP-03 / LP-04 FOR MO
C CJ-1	04 2000	MASONARY CTRL JT(VERTICAL)									INFORMATION
		3/8" HORIZ EXT MASONRY CTRL JT CONCRETE MASONRY UNITS, COMMON									
C CN-1		POURED IN PLACE CONCRETE							1		
		CONCRETE WATER STOP PRECAST CONCRETE CAP						HEX-R	-	SEE LP-03/LP-04	EXTERIOR, SEE LP-03 / LP-04 FOR MO
C CONC VB	03 3000	CONCRETE VAPOR BARRIER									INFORMATION
		HOT FLUID APPLIED RUBBERIZED ASPHAULT SELF ADHESIVE TRANSITION MEMBRANE									
		CONCRETE W/INTEGRAL WATER PROOFING							$\mathbf{I}$		
D DJ	07 9500	DEFLECTION JOINT									
E EF-1		EIFS - WHITE		LYMESTONE PMR	CHINA WHITE #310		GARAGE ONLY				
E EF-2		EIFS - GREY	DRYVIT	LYMESTONE PMR	CUSTOM - JET BLACK		GARAGE ONLY GARAGE				
		SEISMIC EXPANSION JOINT EXPANSION JOINT	EMSEAL	COLORSEAL							
	_										
F FCP-1 F FEC		FIBER CEMENT REVEAL SYSTEM FIRE EXTINGUISHER CABINET(FULLY RECESSED)	TRUEXTERIOR	PNT-2	MEDIUM GREY						
F FL-1	07 6200	THROUGH WALL FLASHING	HYLOAD								
		SILL FLASHING STAINLESS STEEL FLASHING									
		INTUMESCENT PAINT FIRE PROOFING SPRAY FIRE PROOFING									
		FIRESTOPPING									
G GL-1	08 8000	1" FULLY TEMPERED.ISULATED GLASS UNIT(IGU) WITH	4								
		LOW-E COATED VISION GLASS	•								
		FIRE-RATED GLASS, INSULATED W/ LOW-E COATED VISION GLASS									
		GALVANIZED PTD. GUARD RAIL, ROOF TERRACE	BEN MOORE		PNT-1						
G GRL-4	05 5213	GALV PTD EXTERIOR RAIL	BEN MOORE		CLOUD WHITE 967						
		GYPSUM WALL BOARD - 5/8" TYP X UNO GYPSUM WALL BOARD - 1/2"	USG OR EQUAL USG OR EQUAL								
G GWB-3	06 1600	GYPSUM EXTERIOR SHEATHING									
		GYPSUM LINER PANEL(DENSGLAS, B.O.D) GYPSUM BOARD ABUSE RESISTANT						————			
G GWB-6	09 2116	MOLD, MILDEW RESISTANT GYPSUM WALL BOARD									
	07 5423	ROOF COVER BOARD(DENSDECK = BOD)									
H HM-1	08 1113	HOLLOW METAL FRAMED GLAZING SYSTEM									
		BATT INSULATION									
		MINERAL FIBER INSULATION SYSTEM BELOW GRADE RIGID INSULATION									
		ROOF RIGID INSULATION (TAPERED)									
M MML	05 1223	MISC. METALS - LOOSE LENTEL FOR MASONRY						————			
M MP-1	07 4213	METAL PANEL									
		METAL PANEL METAL PANEL									
P P-03	20 1/10	CITY STANDARD PAVER	BELDEN		BELCREST 760						
P PED-1		ROOF PEDESTAL SYSTEM (SEE PV-1)	BISON								
		PLYWOOD - BLOCKING & BACKUP EXT GRADE PLYWOOD									
P PNT-1		EXTERIOR PAINT, DARK GREY	BEN MOORE	REFER TO SPECS	JET BLACK 2120-10		MECH SCREEN				
P PNT-2 P PNT-3		EXTERIOR PAINT, MEDIUM GREY EXTERIOR PAINT, WHITE	BEN MOORE BEN MOORE	REFER TO SPECS REFER TO SPECS	CLOUD WHITE 967						
P PNT-4		EXTERIOR PAINT, CONCRETE LOOK	BENJAMIN MOORE	REFER TO SPECS		0.411.2.4.5.4.5					
P PV-2		NON-TRAFFIC RATED WOOD (IPE) PAVER W/ PEDESTA SYSTEM (SEE PED-1)	ULTILIZED IN PLACE			24" X 24"	ROOF DECK WOOD FLOOR PANELING				
			OF PED-1)					———————————————————————————————————————			
		WHITE TPO ROOF ASSEMBLY									
		2"(MIN) PREFARICATED ROOF CURB 2/ LINER ROOF ACCESS LADDER									
S SA-1	11 2/02	ROOF SAFETY TIE-BACK ANCHOR									
S SL-01	08 6200	PREFABRICATED SKYLIGHT									
		STAINLESS STEEL PLATE SILL SEALER									
S ST-1		PRECAST CONCRETE-LOOK	TRUEXTERIOR FIBER		PNT-4			———————————————————————————————————————			
S SWF	06 1110	STRUCTURAL WOOD FRAMING	CEMENT								
		I		1							
		TRASH CHUTE TRENCH DRAIN									
T TR-1		EXTERIOR TRIM	NOT USED								
		WOOD BLOCKING TREATED WOOD BLOCKING									

2

3

4

GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

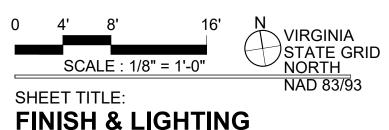
Q

# 912-920 KING STREET

# Alexandria, VA

	WIN	ISTANLEY
		FECTS & PLANNERS
	I	
l cer appr unde	oved by me, and t er the laws of the s	on. uments were prepared or hat I am duly licensed architect state of Virginia, license number n date <u>08/31/2022</u>
	No. 012: 08/31/20	P
	ARCHIT	ECTARA
j.	******	44 <sup>4</sup> -
RE	GISTRATION	:
NO.	DATE	ISSUE DESCRIPTION
	09/03/2021	FSPI
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 22



<b>FINISH &amp; LIGHTING</b>
SCHEDULE

SHEET NUMBER:

A-K630

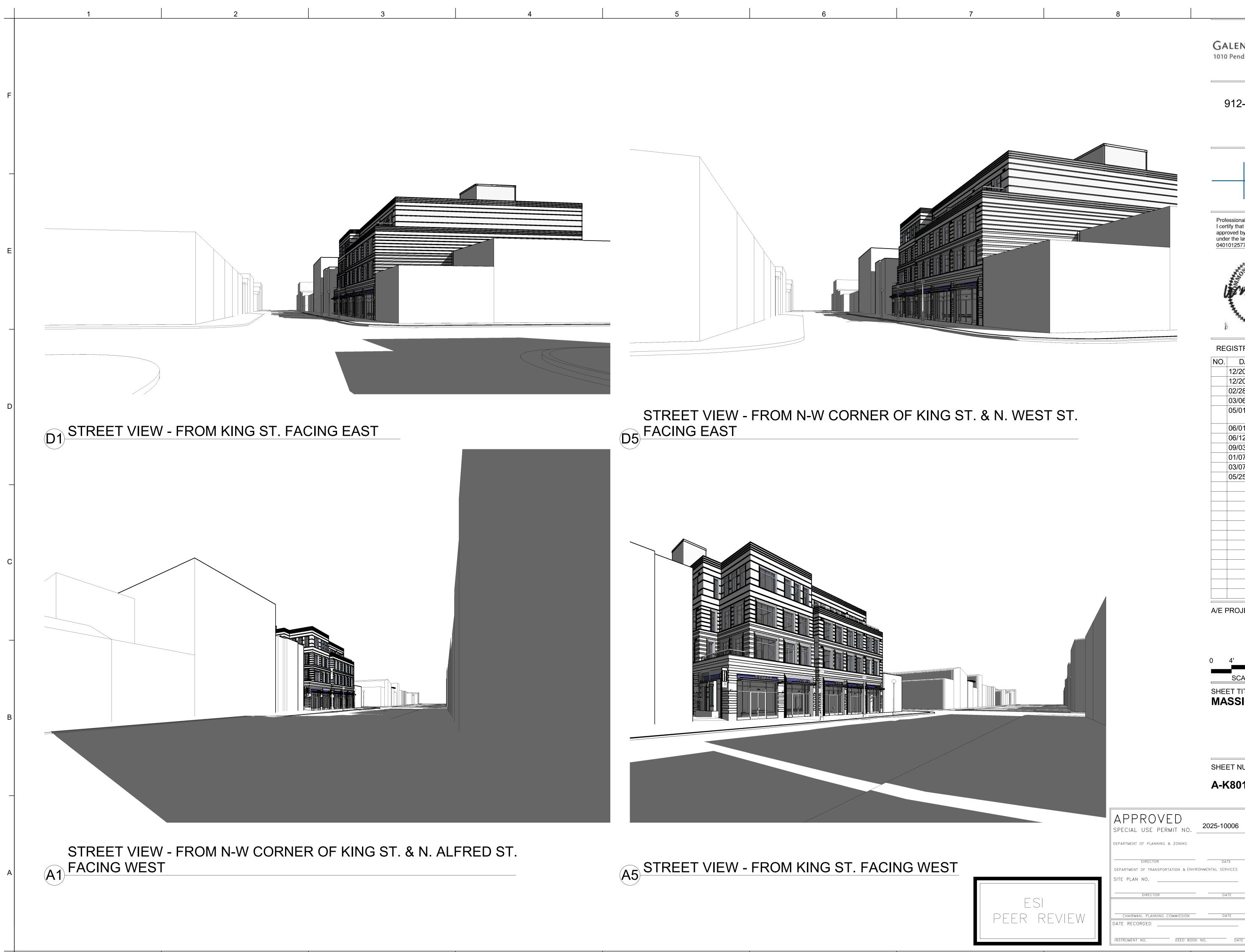
E	E SI
PEER	REVIEW

7

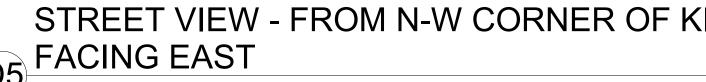
APPROVED special use permit no	2025-10006
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIR	ONMENTAL SERVICES
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED BOOK	NO. DATE

8

Original drawing is 24" x 36". Scale entities accordingly if reduced.







2

1

6

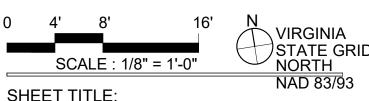
114 4 5 GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

912-920 KING STREET

# Alexandria, VA

ESI
PEER REVIEW

		<b>NSTANLEY</b> TECTS & PLANNERS
	I	
l cer appr unde	roved by me, and er the laws of the	ton. cuments were prepared or that I am duly licensed architect state of Virginia, license number on date <u>08/31/2022</u>
	EALT ANEALT	HOFER
	O'NUM	IRCIT
	S MARSIA	CHELP 2
	No. 012 08/31/2	
	ARCIN	TECT AND
1	Saaaaaaa	44444 M
RE	GISTRATION	N:
NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
		DOUE CONCLET II
	12/20/2019	BAR CONCEPT I
	12/20/2019 02/28/2020	
		BAR CONCEPT I
	02/28/2020	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF
	02/28/2020 03/06/2020 05/01/2020	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS
	02/28/2020 03/06/2020 05/01/2020 06/01/20202	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA
	02/28/2020 03/06/2020 05/01/2020 06/01/20202 06/12/2020 09/03/2021 01/07/2022 03/07/2022	BAR CONCEPT I PRELIMINARY PLAN BAR CONCEPT II VERIFICATION OF COMPLETENESS BAR CONCEPT II_R1 PRELIMINARY PLAN FSP I FSP 2 BAR CoA



# SHEET TITLE: MASSING STUDIES

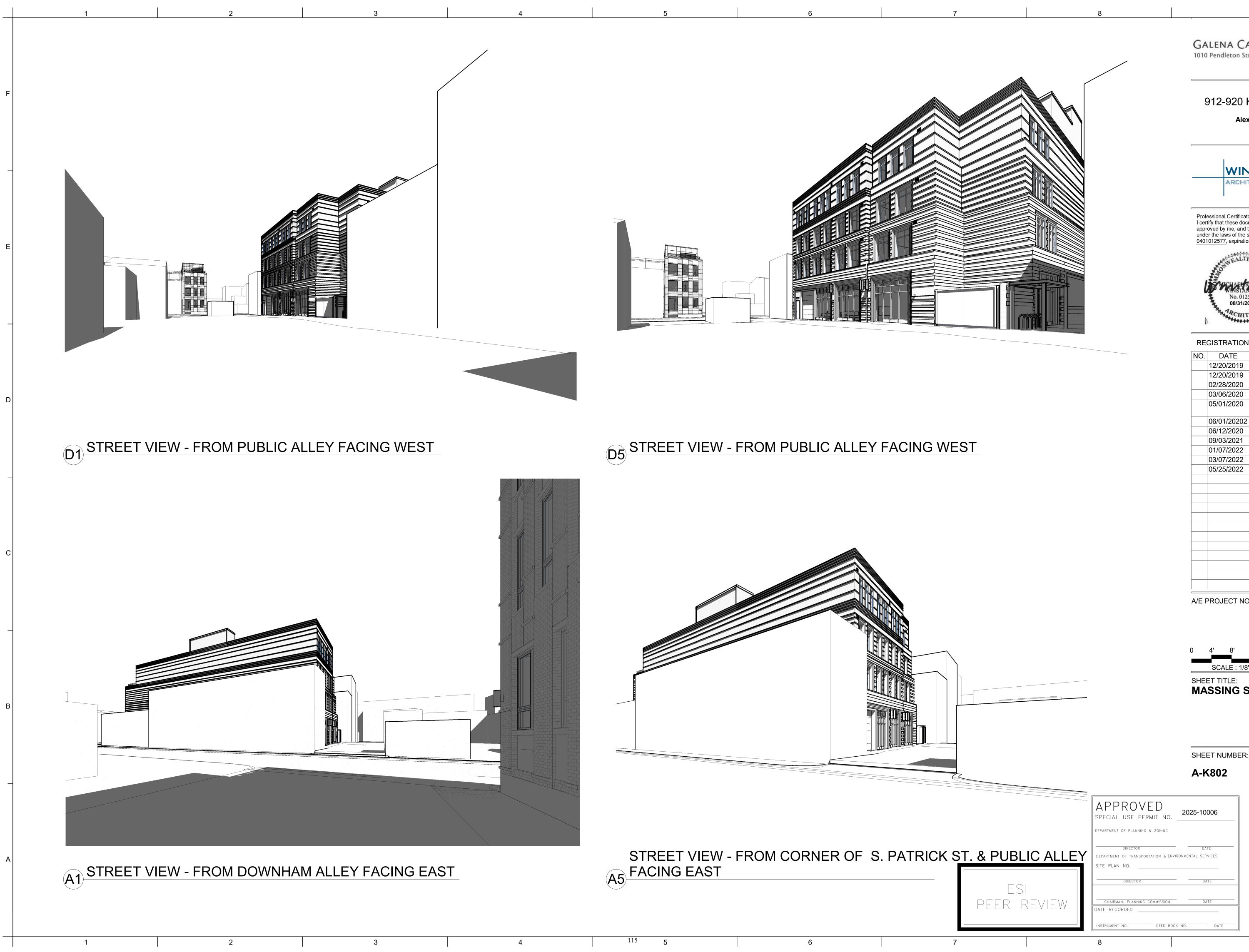
SHEET NUMBER:

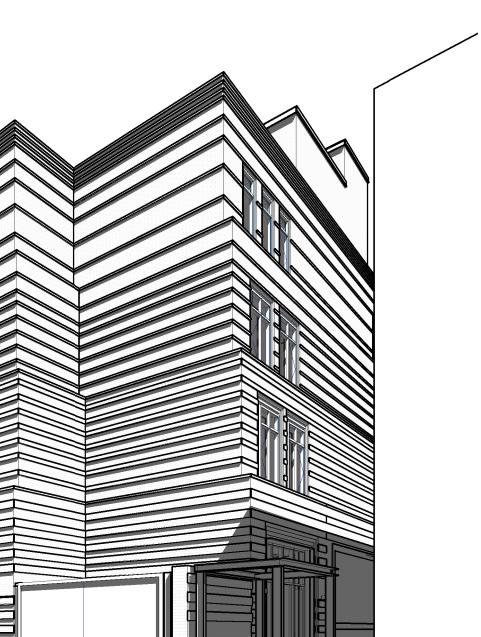
A-K801

DAT DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES CHAIRMAN, PLANNING COMMISSION DATE

DEED BOOK NO. DATE

Original drawing is 24" x 36". Scale entities accordingly if reduced.





912-920 KING STREET

# Alexandria, VA

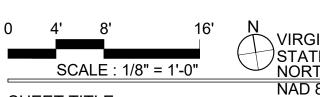


Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



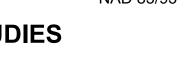
**REGISTRATION:** 

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/01/20202	BAR CONCEPT II_R1
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3



# SHEET TITLE: MASSING STUDIES

VIRGINIA STATE GRID <u>NORTH</u> NAD 83/93



Original drawing is 24" x 36". Scale entities accordingly if reduced.