



APPLICATION

SUBDIVISION OF PROPERTY

SUB # _____

PROPERTY LOCATION: 3102 Wilson Ave

TAX MAP REFERENCE: 024.02-03-34

ZONE: R 2-5

APPLICANT:

Name: Classic Cottages, LLC

Address: _____

PROPERTY OWNER:

Name: Classic Partners 10 LLC

Address: _____

SUBDIVISION DESCRIPTION

Subdivide the existing 8,680 sq ft. lot into two lots, one 4,294 sq ft and one 4,386 sq ft. The proposed lots are substantially of the same character as to suitability for residential use and structures, lot area, orientation, and street alignment of other lots adjacent to the property and in the original subdivision.

☒ **THE UNDERSIGNED**, hereby applies for Subdivision in accordance with the provisions of Section 11-1700 of the Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Chad Riedy

Print Name of Applicant or Agent

Mailing/Street Address

City and State

Zip Code

Chad J Riedy
C=US,
E=chad@ccottages.com,
O=Classic Cottages,
CN=Chad J Riedy
2025.07.14 13:41:58-04'00'

Signature

Telephone #

Fax #

Email address

07/14/2025

Date

ALL APPLICANTS MUST COMPLETE THIS FORM.

The applicant is: *(check one)*

☒ the Owner ☐ Contract Purchaser ☐ Lessee or ☐ Other: _____ of
the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

David P. Tracy - [REDACTED] - 58.94%

Lawrence Financial Services, Inc. - [REDACTED] - 39.19%

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☒ **Yes.** Provide proof of current City business license.

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
^{1.} Classic Cottages, LLC		
^{2.} David P. Tracy		58.91%
^{3.} Lawrence Financial Services, Inc.		33.20%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 3102 Wilson Ave (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
^{1.} Classic Partners 10 LLC		
^{2.} David P. Tracy		58.91%
^{3.} Lawrence Financial Services, Inc.		33.20%

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
^{1.} Classic Cottages LLC	None	None
^{2.} Classic Partners 10 LLC	None	None
^{3.} David P. Tracy	None	None
^{4.} Lawrence Financial Services, Inc.	None	None

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

07/14/2025
Date

Chad J. Riedy
Printed Name


Signature

Chad J. Riedy
C=US, E=chad@cottages.com,
O=Classic Cottages, CN=Chad J.
Riedy
9092 0711 13 00 54 0400

WAIVER OF RIGHT TO AUTOMATIC APPROVAL

SUBMITTED TO THE DEPARTMENT OF PLANNING & ZONING CITY OF ALEXANDRIA, VIRGINIA

PROJECT NAME: 3102 Wilson Ave

PROJECT ADDRESS: 3102 Wilson Ave, Alexandria VA 22305

DESCRIPTION OF REQUEST:

Subdivide the existing 8,680 sq ft. lot into two lots, one 4,294 sq ft and one 4,386 sq ft. The proposed lots are substantially of the same character as to suitability for residential use and structures, lot area, orientation, and street alignment of other lots adjacent to the property and in the original subdivision.

THE UNDERSIGNED, hereby waives the right to the 45 day automatic approval provision of Section 11-1708 (B)(2) of the Zoning Ordinance of the City of Alexandria, Virginia, for the application stated above. Waiver is only effective as to the date of the Planning Commission hearing on October 9, 2025.

Date: 07/14/2025

☒ Applicant

☐ Agent

Signature:  Chad J Riedy
C=US
E=chad@cottages.com
O=Cottage Cottages
CN=Chad J Riedy
2025.07.14 13:35:34-04'00'

Printed Name: Chad J Riedy

MATERIALS CHECKLIST

SUBDIVISION OF PROPERTY APPLICATION

The following materials are required for a **preliminary subdivision submission**.

☒ **COMPLETED SUBDIVISION APPLICATION FORM**

☒ **FILING FEE** of \$2,000 plus \$500.00/lot for each lot including outlots if total lots <10; or \$3,000 plus \$500.00/lot for each lot including outlots if 10 or more total lots.

☒ **WAIVER OF RIGHT TO AUTOMATIC APPROVAL FORM**

☒ **PRELIMINARY PLAT TO SCALE**

Format:

- ☒ PDF of the plat
- ☒ Scale no less than 100' to 1"

Required contents:

- ☒ Subdivision name
- ☒ Name, address of owner of record and the applicant
- ☒ Name, address, certificate number and seal of the surveyor or engineer
- ☒ Gross area in acres and total number of buildings, lots or sites involved
- ☒ Date, scale and north point with reference to source of meridian
- ☒ Zoning of the property
- ☒ A form or space, not less than two and one-quarter by three and one-half inches, on which approval by the commission may be shown
- ☒ Lot lines with the dimensions of the length and width of the lots
- ☒ In the case of resubdivisions, all lot lines or lot numbers that are proposed to go out of existence by reason of the resubdivision shall be shown by dotted lines and numbers
- ☒ Location of the property immediately adjoining the proposed subdivision and the names and addresses of all its owners
- ☒ Location and width of all proposed streets, alleys and public areas and their dimensions
Points of connection with the city sewer system
- ☒ Location of all easements, reservations, and highway setbacks, as established by section 7-1006 of the zoning ordinance
- ☒ The width and name of adjacent existing streets, alleys, easements and public utilities, including without limitation, liens for water, gas, electric, telephone, storm and sanitary sewer, and railroads shown graphically
- ☒ Limits of floodplains and resource protection areas
- ☒ Location of any grave or object or structure marking a place of burial

SUBDIVISION APPLICATION MATERIALS CHECKLIST (cont'd)

☒ In the following cases the preliminary plat shall be superimposed on a topographic map, at a scale of not greater than 100 feet to the inch, showing contours at intervals not greater than two feet or greater intervals when permitted by the director, and correlated to the U.S. Coast and Geodetic Survey datum, for the purpose of showing the character and drainage of the land:

- a. Whenever any land within the parcel subdivided is to be dedicated to public use; or
- b. For all subdivisions containing lots or parcels of less than one-half acre.

- ☒ Proposed street grade data and the method of storm water disposal
- ☒ General location, dimension, size, height, and species of major trees and shrubs
- ☒ Existing buildings with dimensions from the buildings to the nearest lot lines When known, areas that can reasonably be expected to or which do contain soils or materials contaminated with, but not limited to heavy metals, petroleum products, PCB's, pesticides, flyash, or other toxic or hazardous materials
- ☒ When known, underground storage tanks
- ☒ When known, areas located within 1,000 feet of a former sanitary landfill, dump, or disposal area
- ☒ When known, areas with the potential of generating combustible gases

☐ **FINAL PLAT (Mylar)**

Required contents:

- ☐ All of the information required of a preliminary plat under Section 11-1706(D), except for items 16-24
- ☐ The location of all metals monuments of not less than one inch in diameter and 24 inches in length shown this: O, and located in the ground at each intersection of streets and alleys with plat boundary lines, and at all points on a street, alley and boundary lines where there is a corner, change in direction, or curvature
- ☐ A surveyor's or engineer's seal and certificate of survey in the following form, which may be modified to accommodate title information (see Section 11-1709 B(3) for language)
- ☐ A curve table containing the following for all curvilinear boundaries and street centerlines; delta, radius, arc, tangent, chord and chord bearing. All distances shall be shown to the nearest one-hundredth of a foot; angles or bearings to the nearest ten seconds.

See Section 11-1700 of the Alexandria Zoning Ordinance for additional information

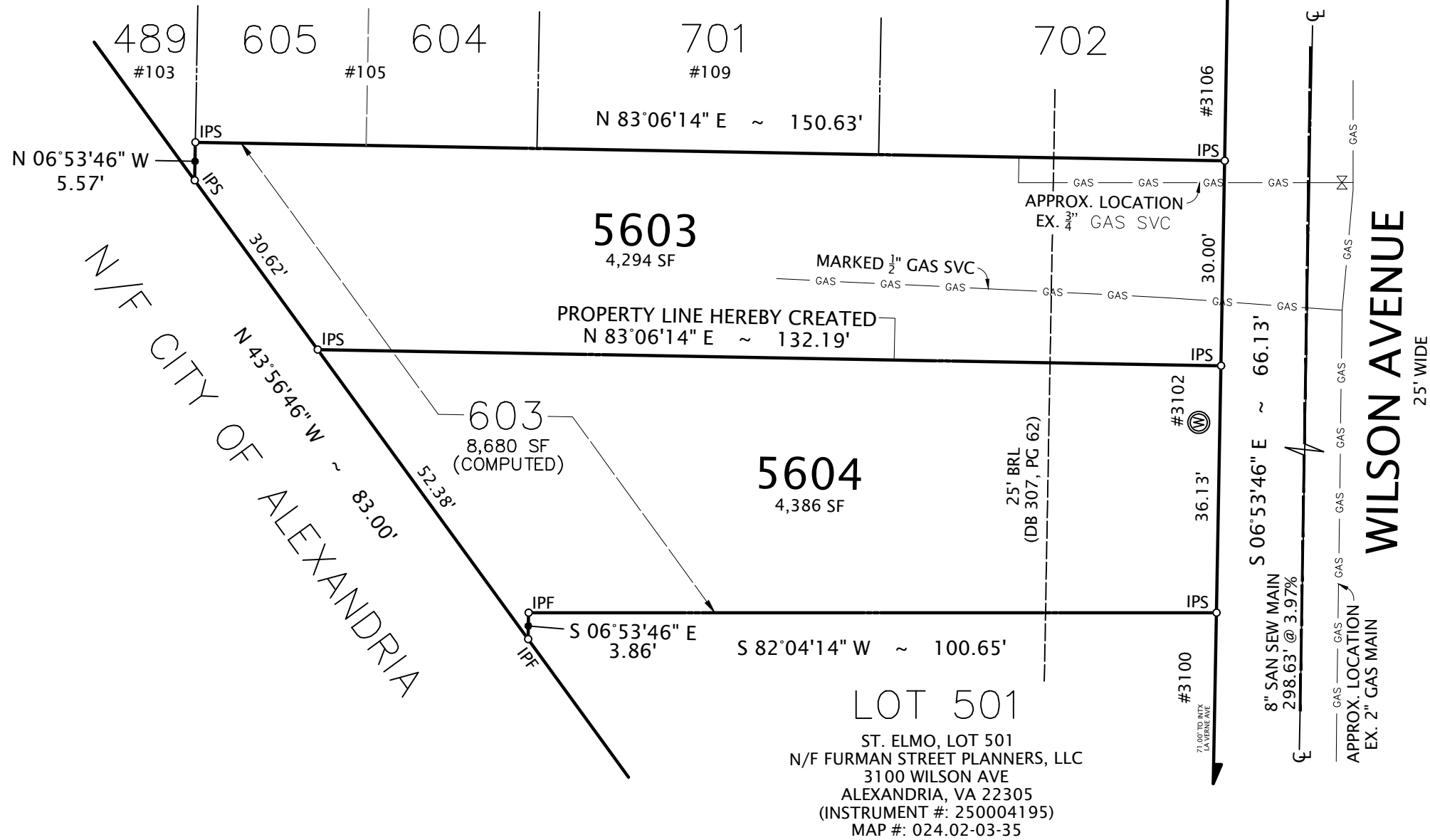
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ST. ELMO, LOT 489
N/F BREVIC DEVELOPMENT, LLC
9357 MT VERNON CIRCLE
ALEXANDRIA, VA 22309
(INSTRUMENT #: 170009563)
MAP #: 024.02-03-03

ST. ELMO, LOTS 605 & 604
N/F EVELYN URRUTIA
NELSON AYALA
105 ASHBY STREET
ALEXANDRIA, VA 22305
(INSTRUMENT #: 000023089)
MAP #: 024.02-03-04

ST. ELMO, LOT 701
N/F KARAH MARIE JAEB
BRENNEN JAEB
109 ASHBY STREET
ALEXANDRIA, VA 22305
(INSTRUMENT #: 230006831)
MAP #: 024.02-03-05

ST. ELMO, LOT 702
N/F SHERRY WILLIAMS
3106 WILSON AVE
ALEXANDRIA, VA 22305
(INSTRUMENT #: 060029625)
MAP #: 024.02-03-06



AREA TABULATION

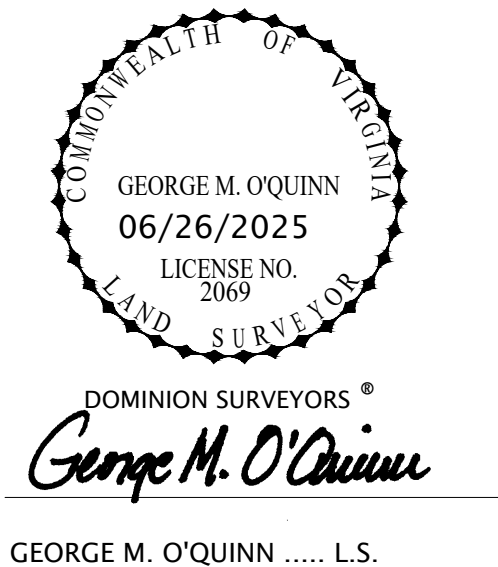
PRE RESUBDIVISION	
LOT 603	8,680 SF (0.1993 ACRE)
POST RESUBDIVISION	
LOT 5603	4,294 SF (0.0986 ACRE)
LOT 5604	4,386 SF (0.1007 ACRE)
AGGREGATE AREA	8,680 SF (0.1993 ACRE)

EXISTING DWELLING TO BE DEMOLISHED

I, GEORGE M. O'QUINN, A DULY AUTHORIZED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED HEREON; AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT IS A RESUBDIVISION OF THE LAND CONVEYED TO CLASSIC PARTNERS 10, LLC, AS RECORDED IN INSTRUMENT NUMBER 250003075 AMONG THE CITY OF ALEXANDRIA LAND RECORDS; AND IS WITHIN THOSE BOUNDARIES.

I FURTHER CERTIFY THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED; EXCEPT THOSE THAT WILL BE INSTALLED AT A LATER DATE BUT BEFORE COMPLETION OF THE PROJECT.

GIVEN UNDER MY HAND AND SEAL THIS 26th DAY OF JUNE, 2025.



APPROVED

SUBDIVISION CASE NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SUBDIVISION CASE NO. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ZONE R - 2-5 TABULATION (TWO-UNIT SEMI-DETACHED BUILDING)

LOT SIZE	MINIMUM 2,500 SQUARE FEET
LOT WIDTH & FRONTAGE	MINIMUM 25 FEET
FRONT YARD	RANGE BETWEEN CONTEXTUAL BLOCK FACE; MINIMUM 20 FEET
SIDE YARD	RATIO OF 1:3; MINIMUM 7 FEET
REAR YARD	RATIO OF 1:1; MINIMUM 7 FEET
FAR	MAXIMUM 0.45 RATIO
HEIGHT	MAXIMUM 30 FEET

NOTES:

1. THE PROPERTY DELINEATED HEREON IS SHOWN ON THE CITY OF ALEXANDRIA TAX MAP. PARCEL 024.02-03-34, ZONE R 2-5.
2. NO TITLE REPORT WAS FURNISHED.
3. PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
4. AGGREGATE AREA OF RESUBDIVISION = 8,680 SF (0.1993 AC)
5. OWNER: CLASSIC PARTNERS 10, LLC
3102 WILSON AVENUE
ALEXANDRIA, VA 22305-2728
(INST. NO. 250003075)
6. THERE ARE NO FLOOD PLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY.
7. THIS PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
8. 2 STORY VINYL BUILDING WILL BE REMOVED PRIOR TO SUBDIVISION APPROVAL.

FINAL PLAT

SHOWING
LOT 5603 AND LOT 5604

CLASSIC PARTNERS ADDITION TO
ST. ELMO

BEING A RESUBDIVISION OF
LOT 603

OF A RESUBDIVISION OF LOTS 487, 488 AND 502 OF A
REDIVISION OF LOTS 382, 383, 483, 484, 485 AND 486

ST. ELMO

(DEED BOOK 307, PAGE 62)

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20' JUNE 26, 2025



8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412