

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: 732 and 806 Development LLC

LOCATION: Old and Historic Alexandria District
732 North Washington Street

ZONE: CRMU-X/Commercial Residential Mixed Use (Old Town North) Zone

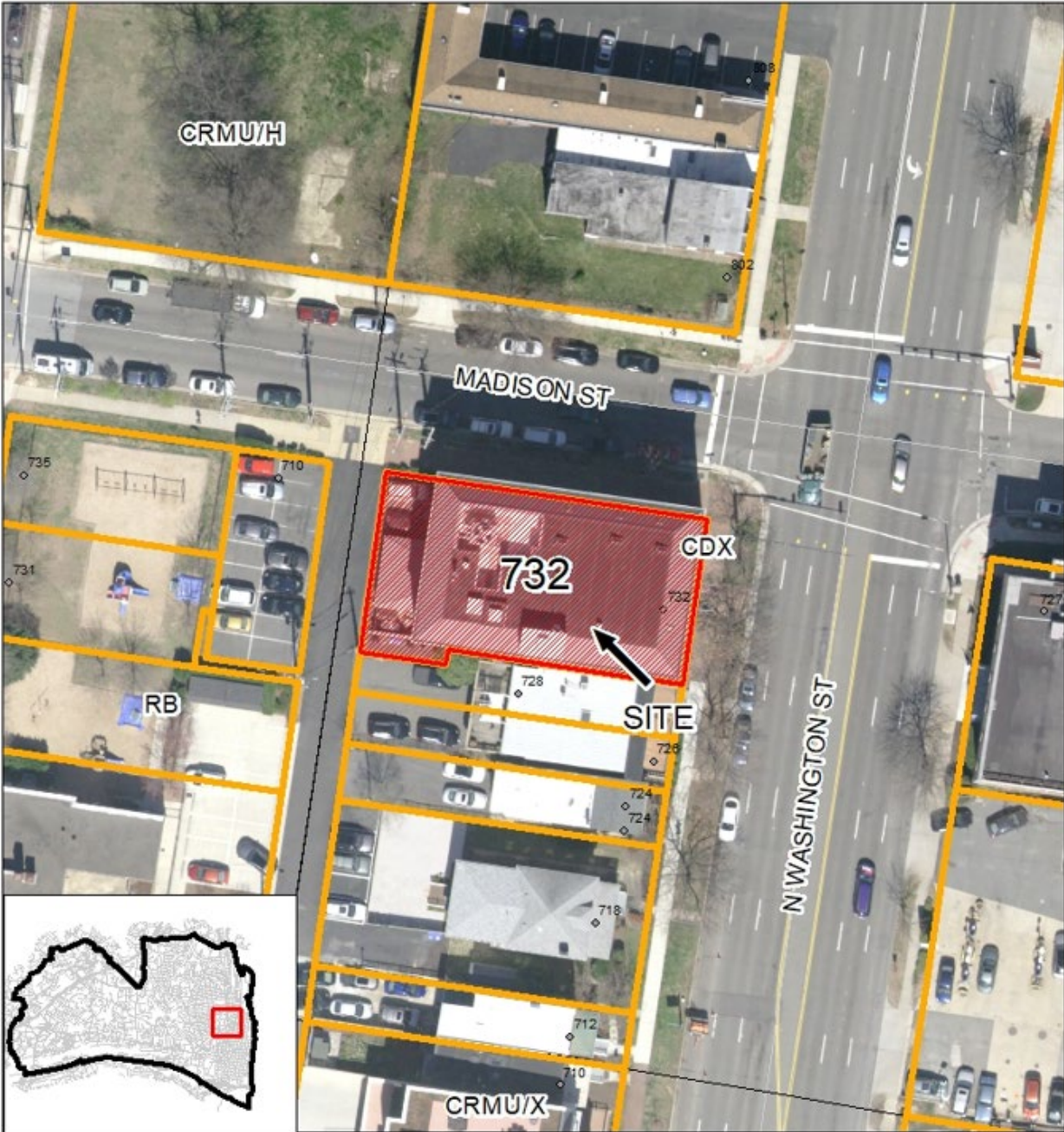
STAFF RECOMMENDATION


Staff recommends approval of the Certificate of Appropriateness for alterations and addition with the following conditions:

1. The windows will comply with the requirements listed in the *Design Guidelines*.
2. The material at the sides of the dormers and at the dormer window surrounds be metal similar in color to the synthetic slate and that the applicant work with staff to define this material.


GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR2026-00055 - OHAD**
732 North Washington Street

0 20 40 80 Feet

N 

Minutes for April 8, 2026, BAR Hearing

BOARD ACTION:

On a motion by Vice Chair Zandian, seconded by Mr. Spencer, the Board of Architectural Review voted to accept the applicant's request for a deferral of BAR2026-00055. The motion carried on a vote of 6-0.

SPEAKERS:

Patrick Bloomquist, applicant, presented the proposed design

Christine Roberts, HAF, noted that the Washington Street Standards were not included in the staff report and that the proposed balconies facing North Washington Street are not compatible with these standards.

DISCUSSION:

Ms. Zandian stated that the balconies facing North Washington Street are not appropriate and that the ones on the north elevation appear to be stuck onto the building. She suggested that balconies should be either fully or partially recessed.

Mr. Adams agreed that there should not be projecting balconies on the North Washington Street elevation. He noted that the ground floor arched windows should include vertically oriented muntins in lieu of the horizontal orientation.

Mr. Spencer stated that the balconies on all elevations appear stuck onto the building rather than integrated into the design. He suggested that the applicant explore the use of curved balconies with brackets rather than turnbuckles. He also expressed concern about the length of the unsupported roof section at the upper level recessed balconies.

Ms. Miller said that the design for the roof is not consistent with the design for the rest of the building. She stated that the balconies are not appropriate as designed. She asked the applicant about the amount of provided parking and whether the building would be equipped with an elevator. She stated a preference that the rear of the building include a level of articulation similar to the other elevations.

Ms. del Ninno appreciated that the natural brick finish will be retained. She said that the slope of the proposed mansard is too steep as design and should be closer to seventy degrees. She noted that the dormers are too tall and that their roof should not be aligned with the peak of the mansard. She also asked that the mansard roof be extended across the south and a portion of the east elevation.

Mr. Spencer stated that the balconies have too much of an industrial look and said that Juliette balconies could work on the North Washington Street elevation.

Ms. Miller stated that balconies should not be allowed on North Washington Street elevations.

Ms. del Ninno suggested that recessed balconies could be added to the south elevation if the rear wall of the balcony was sufficiently recessed from the property line.

UPDATE

The Board reviewed the project at the April 8 2026, BAR hearing and provided feedback on the proposal. Comments from the Board at this hearing included the following (see above for more details):

- Board members expressed concern regarding the extent of balconies on the North Washington Street facing elevation and that the balconies did not appear to be integrated into the design of the building.
- Board members noted that the muntins on the arched ground floor windows should be oriented vertically.
- Board members noted the high level of visibility of the rear of the building and asked the applicant to include a similar level of detail to this elevation to what is found on the street facing elevations.
- Board members suggested that the applicant modify the design for the mansard roof to lower the dormer roofs so that they do not align with the top of the mansard and expressed concern regarding the overhang at the recessed balconies. They also asked the applicant to explore how the mansard roof extends around the west and south sides of the building.

Note: Staff coupled the applications for a Permit to Demolish (BAR 2026-00071) and Certificate of Appropriateness (BAR 2026-00055) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness and Permit to Demolish (partial) to convert the existing office building at 732 North Washington Street into a multi-unit residential building.

Permit to Demolish

The applicant is requesting a Permit to Demolish (partial) for the enlargement of window openings on the east, north, and west sides of the building and for the demolition of the existing fifth floor mansard roof.

Certificate of Appropriateness

The applicant is proposing to convert the existing commercial office building into a new multi-unit residential building. As part of this conversion, the applicant will be enlarging window openings and adding windows to the building. At the east, north, and west elevations, existing windows will be converted to doors providing access to projecting balconies.

At the roof, the applicant is proposing to replace the existing mansard roof with a new structure in a similar mansard roof form, clad in false slate shingles and including set back areas to be used as recessed balconies. There will be a number of shed roof dormers around the perimeter of the new mansard roof with two over two casement windows. Above this will be located an occupied roof deck and a new stair enclosure adjacent to the existing one. There will be no increase in building height with the exception of the new stair enclosure which will match the existing in height.

Since the first Certificate of Appropriateness review, the applicant has continued to modify the design to respond to comments from the Board. Staff has met with the applicant to review these modifications and finds that the changes made to the design are responsive to comments from the Board.

Some specific modifications include the following:

Balconies

Board members expressed concern that the proposed balconies are not integrated into the design of the building and that the ones on the east side of the building did not reflect the more formal nature of the buildings facing N Washington Street. In the previous design, the balconies were metal with metal tiebacks and had a rectangular footprint. In the revised design, the applicant is proposing solid balconies that are curved and do not include turnbuckles (Figure 1). On the Washington Street elevation, the balconies have been reduced in size to become Juliette balconies.

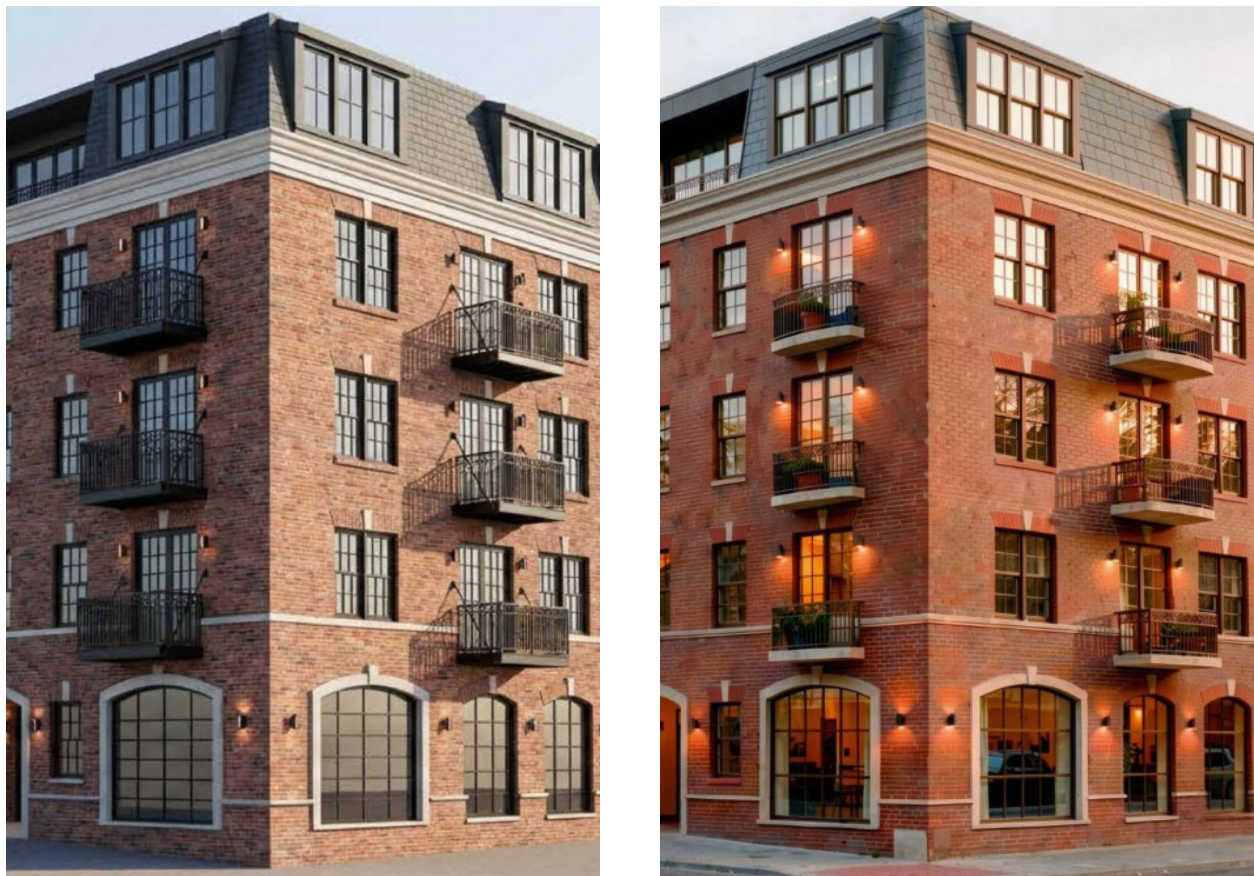


Figure 1: Previous (left) and revised (right) view showing proposed balconies

Roof

The applicant is proposing to replace the existing metal clad mansard roof with a new simulation slate clad mansard roof with dormers and recessed balconies. During the previous Certificate of Appropriateness review, Board members expressed concern regarding the configuration of the dormers, the roof of the recessed balconies, and the extent of the sloped mansard. In response to these comments, the applicant has made several revisions to the design (Figures 2-4). The sloped mansard now extends around the south east corner of the building and along the south edge until it intersects the vertical roof structure. At each of the recessed balconies, the applicant is now including a beam at the edge of the roof to provide visual weight to this overhang. The dormers have been shifted and simplified to better align with the window bays below, this occurs mainly at the north and west elevations. In addition to changes to the mansard roof, the brick clad elevator overrun has been lowered based on elevator equipment requirements.

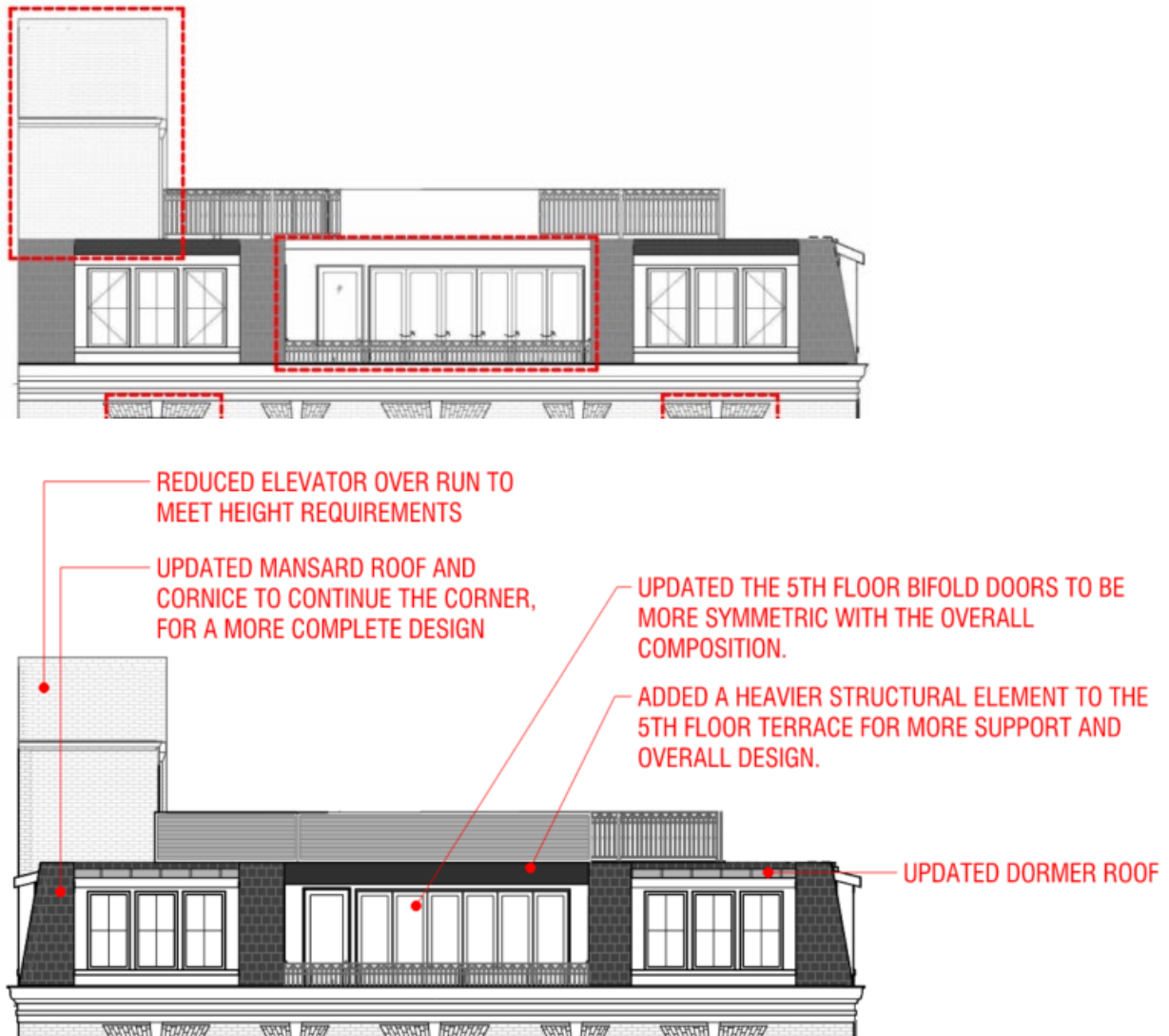


Figure 2: Previous (top) and revised (bottom) east elevation of the fifth floor

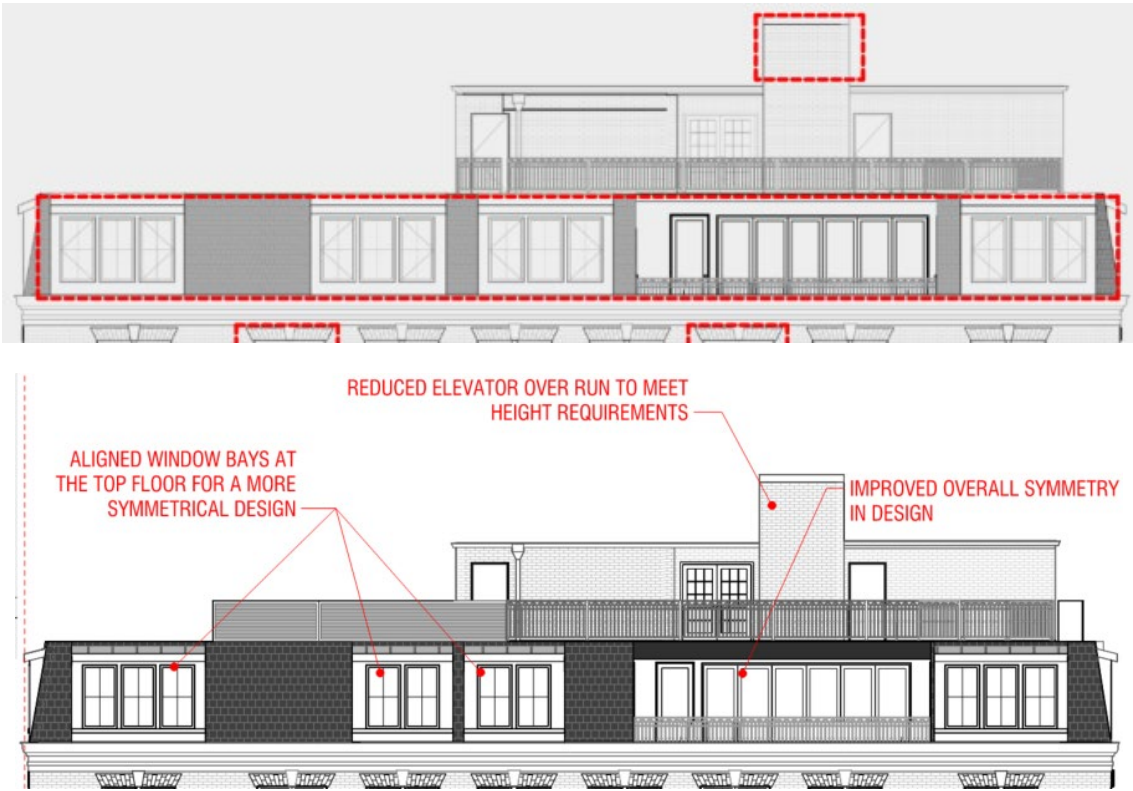


Figure 3: Previous (top) and revised (bottom) north elevation of fifth floor

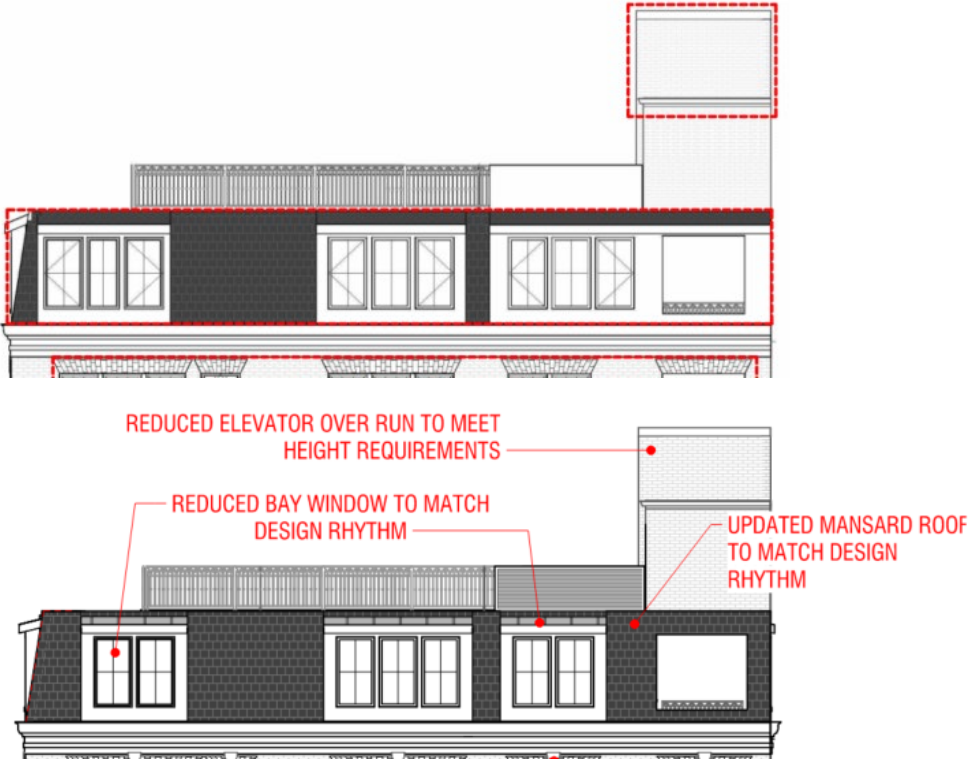


Figure 4: Previous (top) and revised (bottom) west elevation of fifth floor

Rear Elevation

The applicant has modified the design for the west elevation to be more similar in terms of level of detail, to the east and north elevations. Previously, the windows in this area did not include the same keystones and the dormers were not aligned with the windows below. In the revised design, the windows have a similar level of trim to those on the other elevations and the dormers have been modified to be smaller and to align with the elevation below (Figure 5).



Figure 5: Previous (left) and revised (right) west elevation

Ground Floor Windows

In response to Board comments, the applicant has revised the muntin configuration in the ground floor windows to be vertical in orientation instead of the previously proposed horizontal orientation. The intent of this comment is for the ground floor windows to be similar to the upper level windows.

Site context

The building sits at the south west corner of the intersection of North Washington Street and Madison Street. The north and east elevations will be street facing and will be completely visible from the adjacent streets. A portion of the south elevation will be visible from the public right of way above the existing townhouse. The west elevation will be visible from the public alley behind the building. All portions of the proposed new work will be visible from a public right of way.

II. HISTORY

The building at 732 North Washington Street is a four and a half story commercial office building that was originally approved by the BAR in September of 1963. At this time the building was a flat roof, four story building. In June of 1964, the Board approved a change to the roof to add the mansard roof and half story that currently exists.

In 2004 the Board approved substantial alterations to the building including new windows and accessibility alterations (BAR 2002-0108). Other BAR approvals for the property include various signage modifications.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas and roof structure proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. As noted above, the existing building was constructed in the early 1960s and is typical of commercial buildings constructed during that time. This construction is not of unusual or uncommon design and can easily be replicated. As such, staff recommends the approval of the requested Permit to Demolish/Capsulate.

Certificate of Appropriateness

Due to its location fronting the George Washington Memorial Parkway, any additions to the building are subject to additional standards in both the *Design Guidelines* and the Alexandria Zoning Ordinance.

The *Design Guidelines* section on buildings fronting Washington Street are broken down into sections based on the location within the district. The subject site is within the Pendelton Street to Bashford Lane sector. The Scale and Character description for this area states:

“This section is predominantly commercial with a number of modern office buildings and highway oriented uses. New buildings in this area should be oriented to the street, create an attractive pedestrian environment and foster a sense of place, arrival and community.” (p.8)

In addition to the general BAR standards outlined in the Zoning Ordinance, and the Board’s *Design Guidelines*, the Board must also find that the Washington Street Standards are met. Further standards as outlined in the Zoning Ordinance are intended to ensure that the memorial character of the George Washington Memorial Parkway is protected and maintained. These additional standards are as follows:

Alexandria Zoning Ordinance Sec. 10-105(A)(3): Additional standards—Washington Street.

(a) In addition to the standards set forth in section 10-105(A)(2), the following standards shall apply to the construction of new buildings and structures and to the construction of additions to buildings or structures on lots fronting on both sides of Washington Street from the southern city limit line north to the northern city limit line:

- (1) Construction shall be compatible with and similar to the traditional building character, particularly including mass, scale, design and style, found on Washington Street on commercial or residential buildings of historic architectural merit.*
 - i. Elements of design consistent with historic buildings which are found on the street shall be emphasized.*
 - ii. New buildings and additions to existing buildings shall not, by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.*
 - iii. The design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street.*
 - iv. The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.*

- v. *New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.*
 - vi. *Applications for projects over 3,000 square feet, or for projects located within 66 feet of land used or zoned for residential uses, shall include a building massing study. Such study shall include all existing and proposed buildings and building additions in the six block area as follows: the block face containing the project, the block face opposite, the two adjacent block faces to the north and the two adjacent block faces to the south.*
 - vii. *The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere in along Washington Street shall be consistent with the massing and proportions of that style.*
 - viii. *New or untried approaches to design which result in new buildings or additions to existing buildings that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.*
- (2) *Facades of a building generally shall express the 20- to 40-foot bay width typically found on early 19th century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.*
- (3) *Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone and color of such materials shall display a level of variety, quality and richness at least equal to that found abundantly in the historic setting.*
- (4) *Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e., ratio of window and door openings to solid wall) shall be used in building facades, including first floor facades.*
- (5) *Construction shall display a level of ornamentation, detail and use of quality materials consistent with buildings having historic architectural merit found within the district. In replicative building construction (i.e., masonry bearing wall by a veneer system), the proper thicknesses of materials shall be expressed particularly through the use of sufficient reveals around wall openings.*
- (b) *No fewer than 45 days prior to filing an application for a certificate of appropriateness, an applicant who proposes construction which is subject to this section 10-105(A)(3), shall meet with the director to discuss the application of these standards to the proposed development; provided, that this requirement for a preapplication conference shall apply only to the*

construction of 10,000 or more square feet of gross building area, including but not limited to the area in any above-ground parking structure.

- (c) No application for a certificate of appropriateness which is subject to this section 10-105(A)(3) shall be approved by the Old and Historic Alexandria District board of architectural review, unless it makes a written finding that the proposed construction complies with the standards in section 10-105(A)(3)(a).*
- (d) The director may appeal to city council a decision of the Old and Historic Alexandria District board of architectural review granting or denying an application for a certificate of appropriateness subject to this section 10-105(A)(3), which right of appeal shall be in addition to any other appeal provided by law.*
- (e) The standards set out in section 10-105(A)(3)(a) shall also apply in any proceedings before any other governmental or advisory board, commission or agency of the city relating to the use, development or redevelopment of land, buildings or structures within the area subject to this section 10-105(A)(3).*
- (f) To the extent that any other provisions of this ordinance are inconsistent with the provisions of this section 10-105(A)(3), the provisions of this section shall be controlling.*
- (g) The director shall adopt regulations and guidelines pertaining to the submission, review and approval or disapproval of applications subject to this section 10-105(A)(3).*
- (h) Any building or addition to an existing building which fails to comply with the provisions of this paragraph shall be presumed to be incompatible with the historic district and Washington Street standards, and the applicant shall have the burden of overcoming such presumption by clear and convincing evidence.*
- (i) The applicant for a special use permit for an increase in density above that permitted by right shall have the burden of proving that the proposed building or addition to an existing building provides clearly demonstrable benefits to the historic character of Washington Street, and, by virtue of the project's uses, architecture and site layout and design, materially advances the pedestrian-friendly environment along Washington Street.*

Staff finds that the applicant has made revisions to the design in response to comments from the Board at the previous Certificate of Appropriateness meeting. As previously noted, the enlargement of the window openings improves the window to wall ratio of the building per “Traditional solid-void relationships exhibited within the district’s streetscapes” in the Washington Street Standards. The current submission addresses these comments and the modifications to the design successfully resolve the outstanding design issues. Significant comments from the Board focused on two areas of the design, the proposed balconies and the revised fifth floor.

The revisions to the proposed balconies are in response to concerns that the previous version was not integrated into the design of the building and not appropriate for a building facing Washington Street. All of the balconies now feature a solid concrete base in lieu of the previous metal and dispense with the wall mounted tie-backs. The shape of the balconies has also been changed to feature a curved front with a curved metal railing that is reminiscent of the curved masonry openings at the ground floor. The balconies on the Washington Street facing elevation have been converted into Juliette balconies with a minimal projection from the face of the building. These types of balconies are more formal in nature and reflect the character of buildings with their primary facades facing Washington Street. The balconies facing Madison Street project further from the face of the building, reinforcing this as a secondary elevation. Staff finds that the revisions

to the proposed balconies are consistent with the design of the building and maintain the “memorial character” of Washington Street as noted in the Washington Street standards.

The proposed design includes the demolition of the existing metal clad mansard roof and the construction of a new fifth floor that includes a mansard roof with dormers and recessed balconies. The Board supported the replacement of the existing mansard with the proposed design but asked the applicant for refinements to make the design consistent with the historic fabric. In the revised design the applicant has reconfigured the dormers so that they align with windows below and create a ratio of roof to dormer that is more similar to historic buildings. The recessed balconies help to break up the massing of the fifth floor and reduce the overall visual weight. Some Board members were concerned that the roof of these balconies appeared to be insignificant in relation to the distance being spanned. In the revised design, the applicant has added a deep beam to the edge of this roof giving a visual weight to this edge. The submission materials include an option for these recessed balconies that includes two midspan columns. Staff finds that these columns disrupt the horizontal proportions of the fifth floor and suggests that the applicant move forward with the option that includes only the beam at the edge of the roof. As noted during the previous hearing, the sloped section of the mansard roof stopped at the south east corner of the building with the southern edge of the roof as a vertical surface. This belied the understanding of the mansard roof as a three dimensional object providing a top to the building. In the revised design the sloped mansard roof now extends along the southern edge of the building and includes dormers on this elevation. The effect of this is to portray the fifth floor as an integral part of the building design. The proposed modifications to the design for the fifth floor address comments from the Board and create an element that is consistent with the historic context and the character of Washington Street.

Staff finds that the applicant has been responsive to the comments of the Board and has made significant modifications to the proposed design in order to address these comments. With the proposed design modifications, staff recommends **approval** of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations, with the following conditions:

- (1) The windows will comply with the requirements listed in the *Design Guidelines*.
- (2) The material at the sides of the dormers and at the dormer window surrounds be metal similar in color to the synthetic slate and that the applicant work with staff to define this material

STAFF

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use + Preservation Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed commercial to residential reversion and reconfiguration of the roof line will comply with Zoning.

- C-2 Must comply with the conditions under DSP2026-00002.
- F-1 Building is governed under SIT63-040.
- F-2 City Council has granted approval for additional building height for the propose of bringing the existing roof into compliance and allowing for the attached reconfiguration of the existing roof line.

Code Administration

- C-1 Building permit is required

Transportation and Environmental Services

- C-1 Comply with all requirements of CDSP2025-00016. (T&ES)
- C-2 The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

Alexandria Archaeology

- C-1 No archaeological oversight necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials

- *Completed application*
- *Plans*
- *Material specifications*
- *Scaled survey plat if applicable*
- *Photographs*

2 – Supplemental Materials

- *Public comment*
- *HOA approval if applicable*
- *Easement approval if applicable*
- *Any other supporting documentation*

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 732 North Washington Street

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 054.04-08-04 ZONING: CRMU-X

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: 732 and 806 Development LLC

Address: [REDACTED]

City: [REDACTED]

Phone: _____ E-mail: _____

Authorized Agent (if applicable): Attorney Architect _____

Name: Kenneth Wire

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: American Statistical Association

Address: [REDACTED]

City: [REDACTED]

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other Roof, balconies _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Applicant has received City approval for the conversion of the property from office to residential use. The City Council approved of additional building height for the propose of bringing the existing roof into compliance and allowing for the attached reconfiguration of the existing roof line.

See attached plans for details.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner’s association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.


- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:  _____

Printed Name: Kenneth W. Wire

Date: 3/2/2026

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.


Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____ Kenneth W. Wire  _____
 Date Printed Name Signature



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Certificate of Appropriateness
Hearing - Architectural Details and
Design - April 8th 2026
732 N WASHINGTON ST
ALEXANDRIA VA 22314

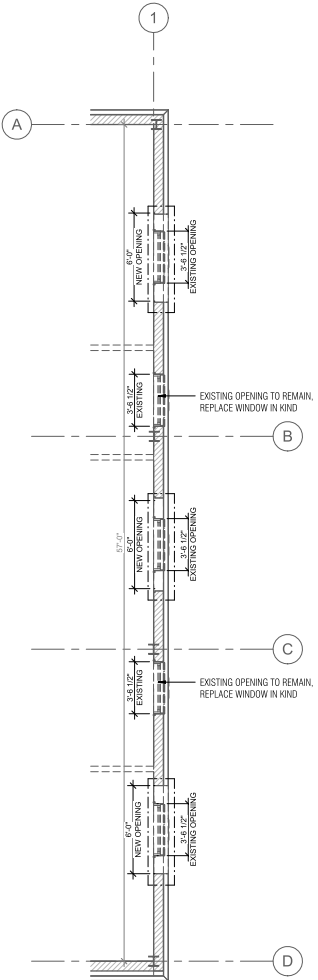
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03/03/26
COA
REVISION SCHEDULE
NO. DATE

SEAL

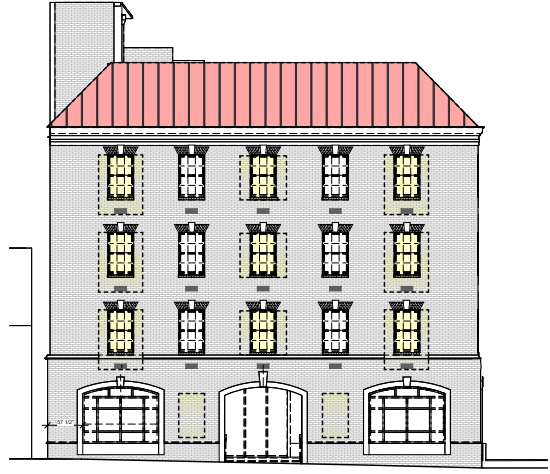
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DEMO DETAILS

SCALE
As indicated
SHEET NO.

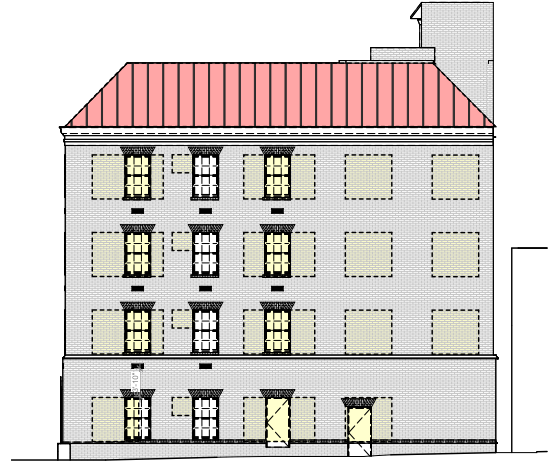
BAR 8



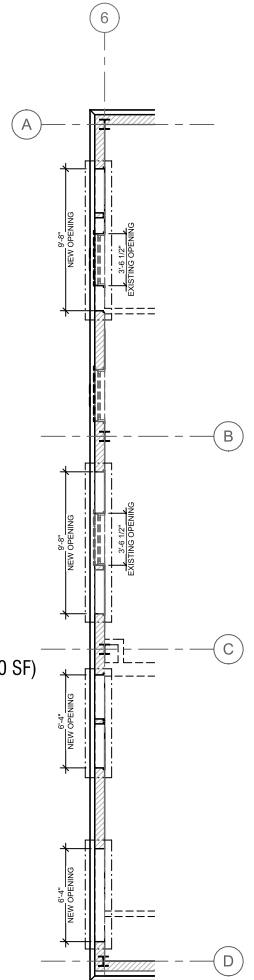
FRONT FACADE FLOOR PLAN



NEW OPENINGS
OUTLINE (455.88 SF) FIFTH FLOOR ROOF FACADE (440 SF)



NEW OPENINGS
OUTLINE (739.76 SF) FIFTH FLOOR ROOF FACADE (440 SF)



REAR FACADE FLOOR PLAN



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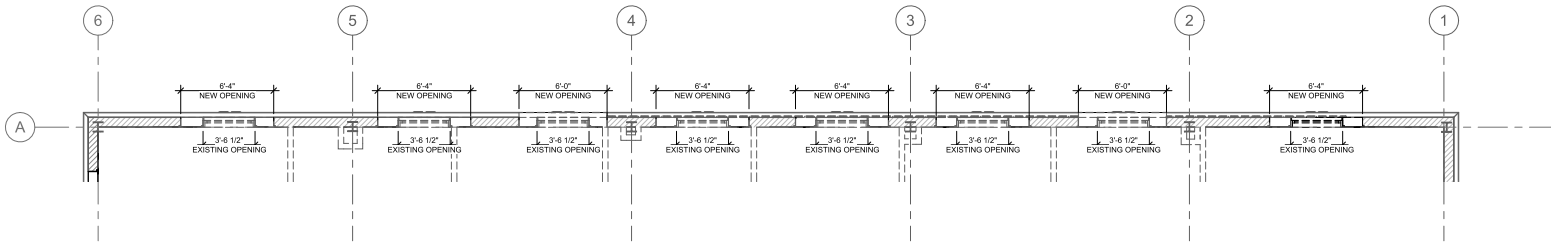
SEAL

SHEET NAME
DEMO DETAILS

SCALE
As indicated

SHEET NO.

BAR 9



MADISON ST FACADE FLOOR PLAN



MADISON ST FACADE

FIFTH FLOOR ROOF FACADE (740 SF)

NEW OPENINGS
OUTLINE (976.8 SF)



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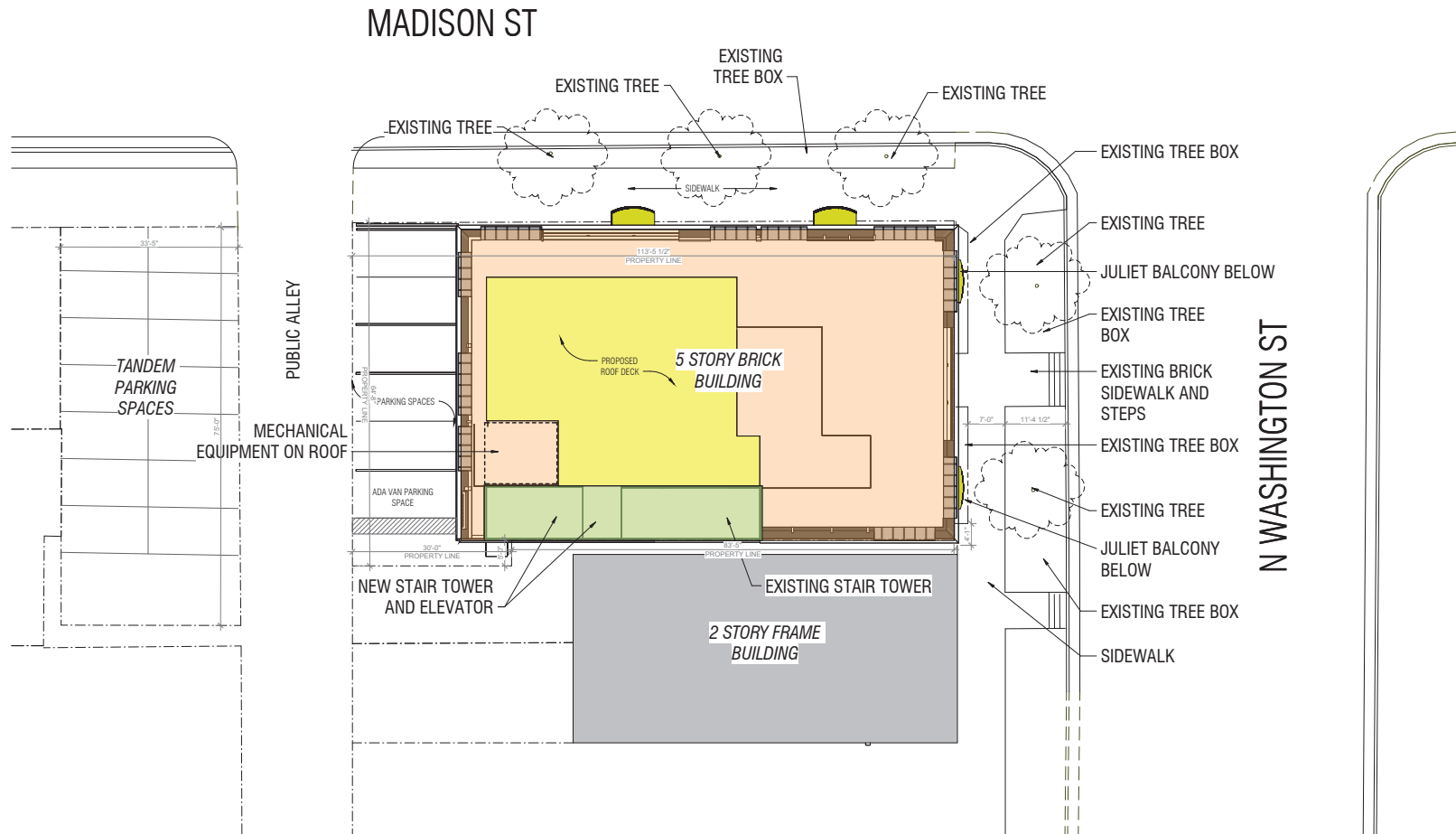
732 N WASHINGTON ST
ALEXANDRIA VA 22314
04.20.26 COA

732 N Washington St - Existing FAR Calculations	FAR - Deductions					Net Floor Area
	Description	Gross Building Area	Non FAR - Common	Non FAR - Bathrooms	Non FAR - HVAC	
Basement	1,038	-	-	-	1,038	-
First Floor	5,525.36	406.00	100.00	40.00	546.00	4,979.36
Typical Floor (2nd, 3rd & 4th)	5,425.25 (x3)	427.00	100.00	16.00	1,629.00	1466.75
Fifth Floor	5,425.25	1,804.78	50.00	568.00	2,422.78	3,002.47
Existing Roof Stair	211	-	-	-	-	-
Total Gross Building Area	28,475				Total SF: 5,846.78	22,628
Lot Area:	9,425					
Existing Net Floor Area	22,628					
Existing FAR:	2.402848804					

LEGEND:

- EXISTING MAIN BUILDING FOOTPRINT
- PROPOSED ROOF DECK
- PROPOSED BALCONIES
- STAIR TOWER / ELEVATOR

732 N Washington St - Proposed FAR Calculations	FAR Deductions				Non FAR Total	Net Floor Area
	Description	Gross Building Area	Non FAR - Common	Non FAR - Bathrooms		
Basement	1,038	-	-	-	1,038	-
First Floor	5,525.36	500.00	500.00	122.27	942.27	4,583.09
Typical Floor (2nd, 3rd & 4th)	5,425.25 (x3)	481.00	316.25	73.31	2,609.38	13,645.85
Fifth Floor	5,425.25	716.00	330.00	108.00	1,154.00	4,271.25
Proposed Roof Stairs - Common	505.00	495.00	-	-	495.00	10.00
Total Gross Building Area	28,749				Total SF: 6,239	22,531
Lot Area:	9,425					
Proposed Net Floor Area:	22,531					
Proposed FAR:	2.390557029					



1 PROPOSED SITE PLAN
1" = 10'-0"

OFFICIAL STAMPS

JK_A

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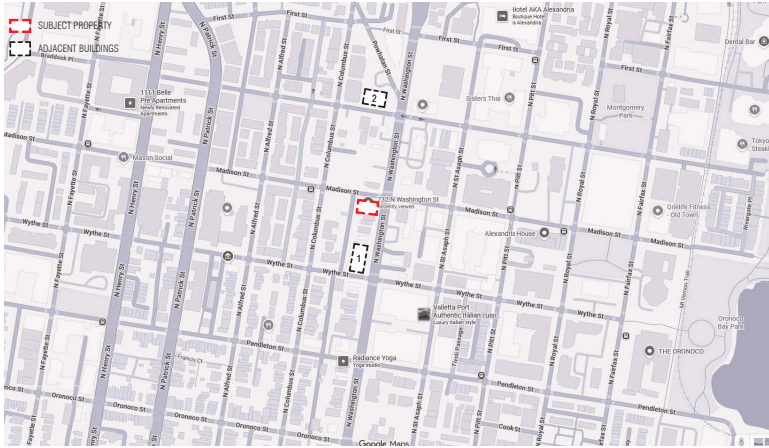
SHEET NAME
ARCHITECTURAL SITE
PLAN

SCALE
As indicated

SHEET NO.

BAR 2

PRECEDENT PHOTOS:



1. 706 N WASHINGTON ST



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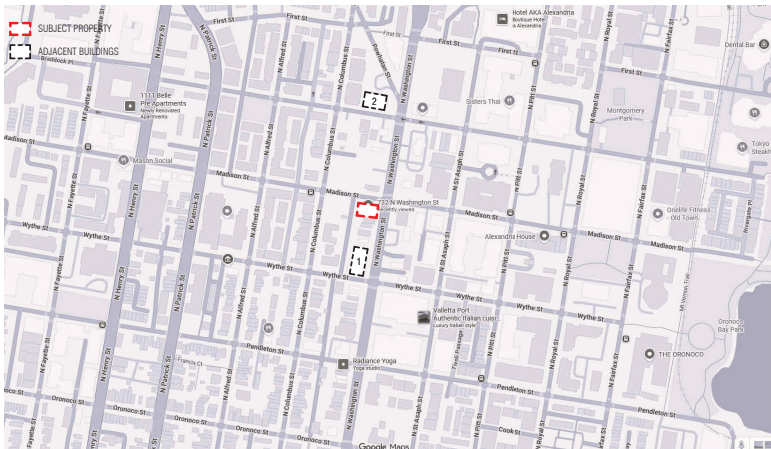
SCALE

SHEET NAME
PRECEDENT PHOTOS

SCALE
 1/4" = 1'-0"

SHEET NO.
BAR 3

PRECEDENT PHOTOS:



MANSARD ROOF

DORMERS

EXISTING BRICK



2. 900 N WASHINGTON



MANSARD ROOF

DORMERS

CORNICHE DETAILING

CAST STONE KEYSTONE

EXISTING BRICK

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SCALE

SHEET NAME
 PRECEDENT PHOTOS

SCALE
 1/4" = 1'-0"
 SHEET NO.

BAR 4

PRECEDENT PHOTOS:



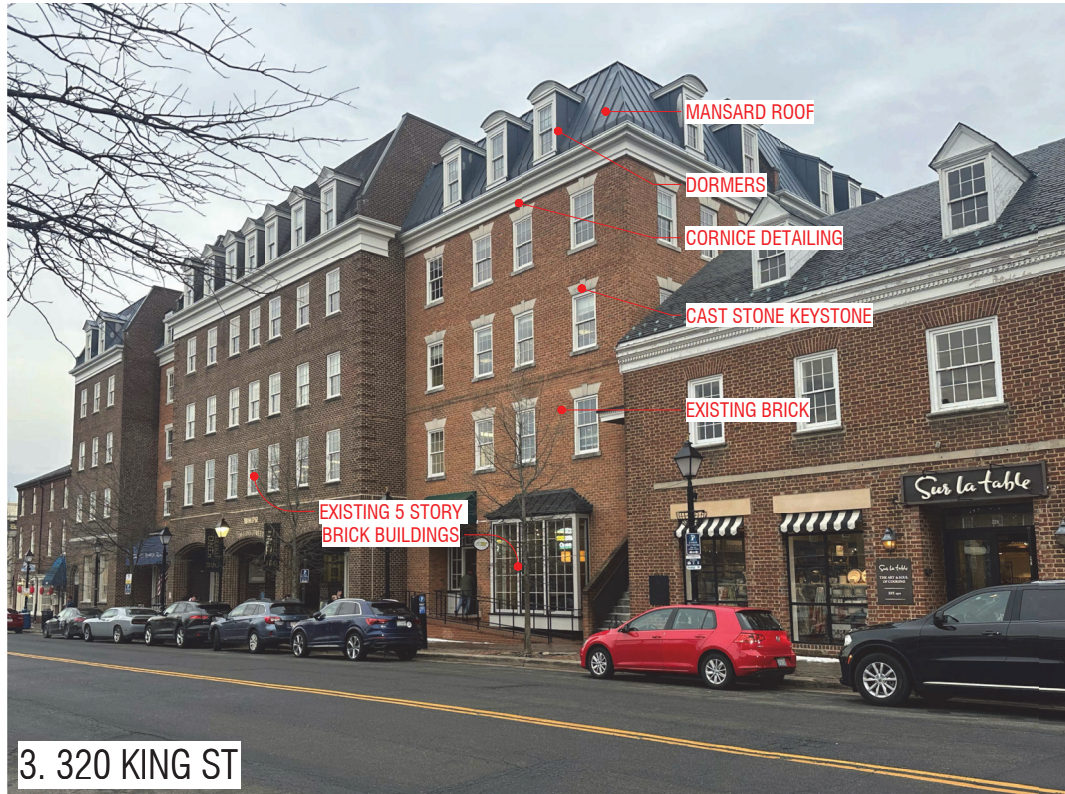
1. 100 S ROYAL ST (CORNER OF KING AND ROYAL)



2. 500 KING ST



1. 100 S ROYAL ST (CORNER OF KING AND ROYAL)



3. 320 KING ST

OFFICIAL STAMPS

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SHEET NAME
 PRECEDENT PHOTOS

SCALE

SHEET NO.

BAR 5



ADJACENT PROPERTY - N WASHINGTON ST



EXISTING CONDITIONS

N FRONT ELEVATION - N WASHINGTON ST



NW CORNER - MADISON ST AND PUBLIC ALLEY



NE CORNER - N WASHINGTON ST AND MADISON ST

OFFICIAL STAMPS

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SCALE

SHEET NAME
 EXISTING BUILDING
 PHOTOS

SCALE

SHEET NO.

BAR 6



EXISTING CONDITIONS

SIDE ELEVATION - MADISON ST



REAR ELEVATION - PUBLIC ALLEY



SW CORNER - PUBLIC ALLEY

OFFICIAL STAMPS

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SHEET NAME
 EXISTING BUILDING
 PHOTOS

SCALE

SHEET NO.

BAR 7



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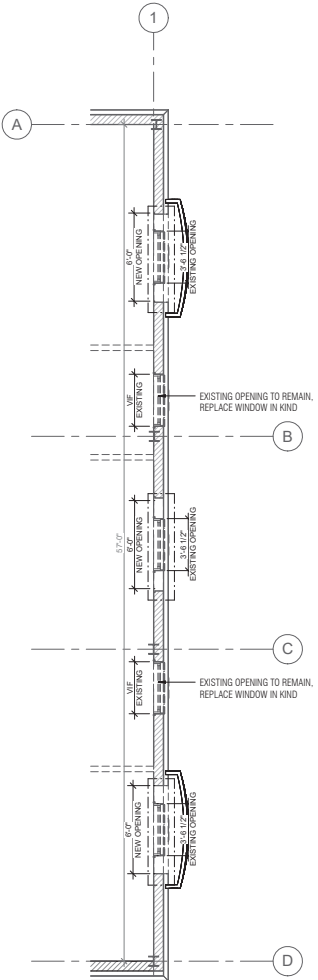
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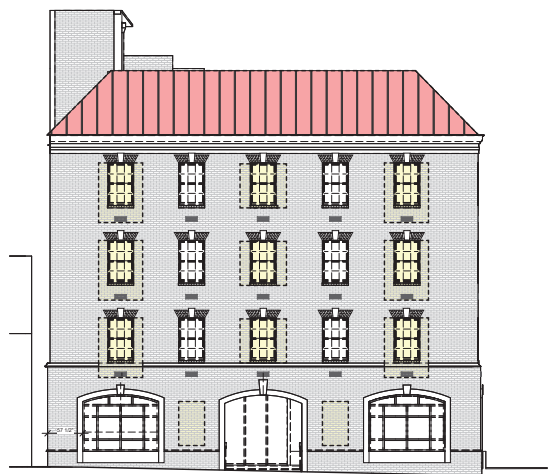
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DEMO DETAILS

SCALE
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SHEET NO.

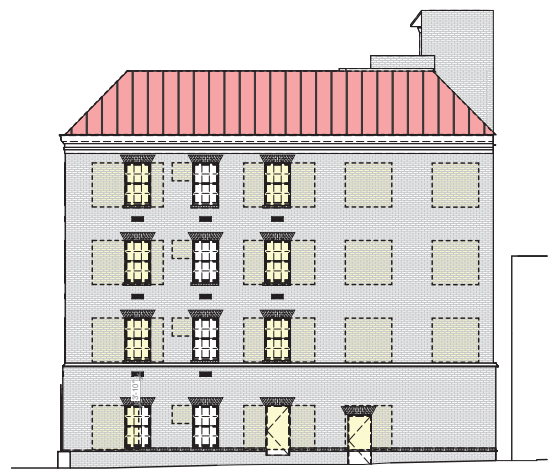
BAR 8



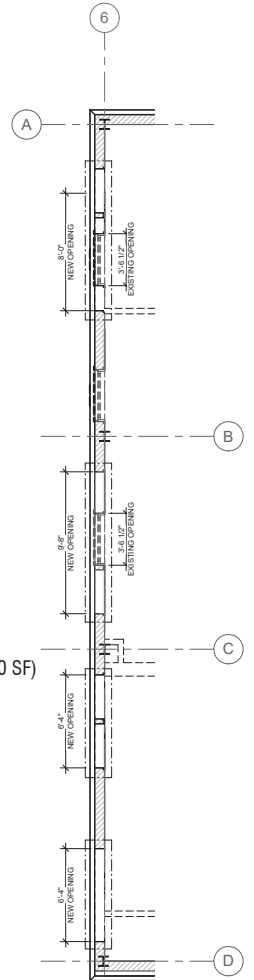
FRONT FACADE FLOOR PLAN



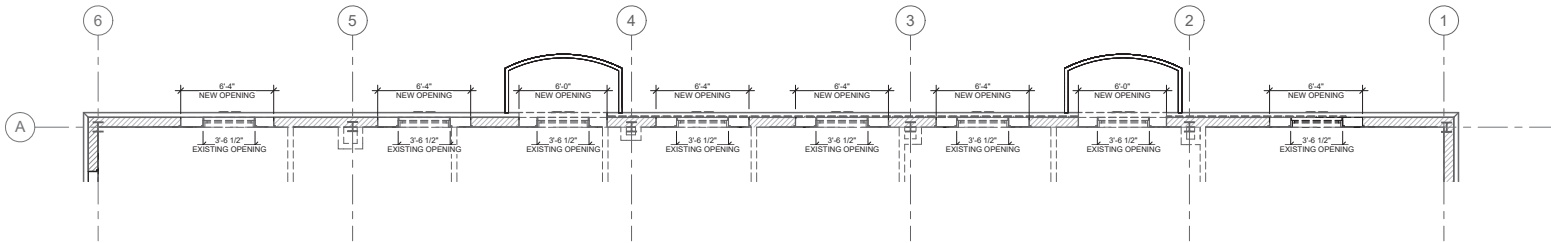
NEW OPENINGS OUTLINE (455.88 SF) FIFTH FLOOR ROOF FACADE (440 SF)



NEW OPENINGS OUTLINE (739.76 SF) FIFTH FLOOR ROOF FACADE (440 SF)



REAR FACADE FLOOR PLAN



MADISON ST FACADE FLOOR PLAN



MADISON ST FACADE

FIFTH FLOOR ROOF FACADE (740 SF)

NEW OPENINGS
OUTLINE (976.8 SF)



1 PROPOSED FRONT ELEVATION - N WASHINGTON ST
 1/4" = 1'-0"

REF TO SHEETS BAR 20,21,22,23 FOR MATERIALS SPEC



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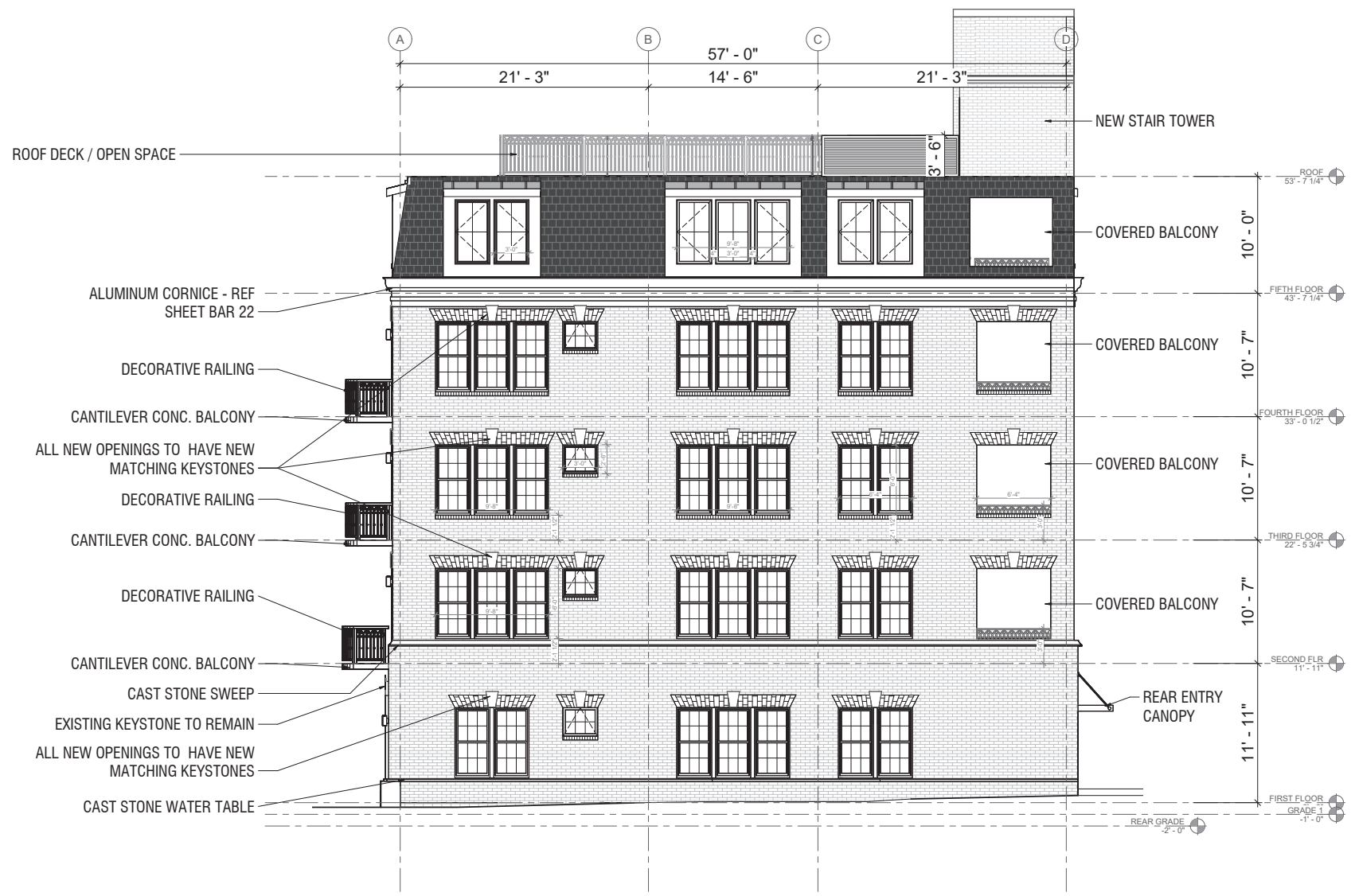
REVISION SCHEDULE
 NO. DATE

SCALE
 1/4" = 1'-0"

SHEET NO.

BAR 11

REF TO SHEETS BAR 20,21,22,23 FOR MATERIALS SPEC



1 PROPOSED REAR ELEVATION
 1/4" = 1'-0"

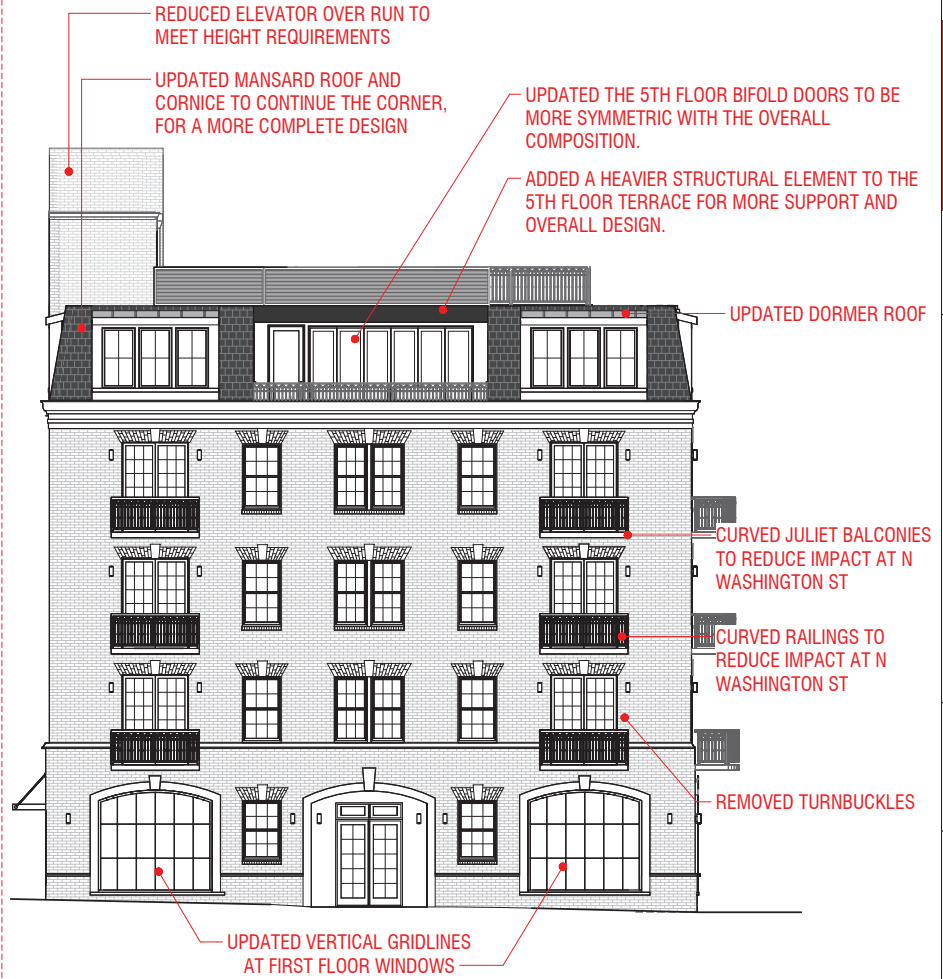
REF TO SHEETS BAR 20,21,22,23 FOR MATERIALS SPEC

OLD SUBMISSION:

NEW SUBMISSION:



FRONT ELEVATION : N WASHINGTON ST



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SCALE

SHEET NAME
 NEW VS OLD
 COMPARISON

SCALE
 3/16" = 1'-0"

SHEET NO.

BAR 13

OLD SUBMISSION:

NEW SUBMISSION:



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SEAL

SHEET NAME
 NEW VS OLD
 COMPARISON

SCALE
 3/16" = 1'-0"
 SHEET NO.

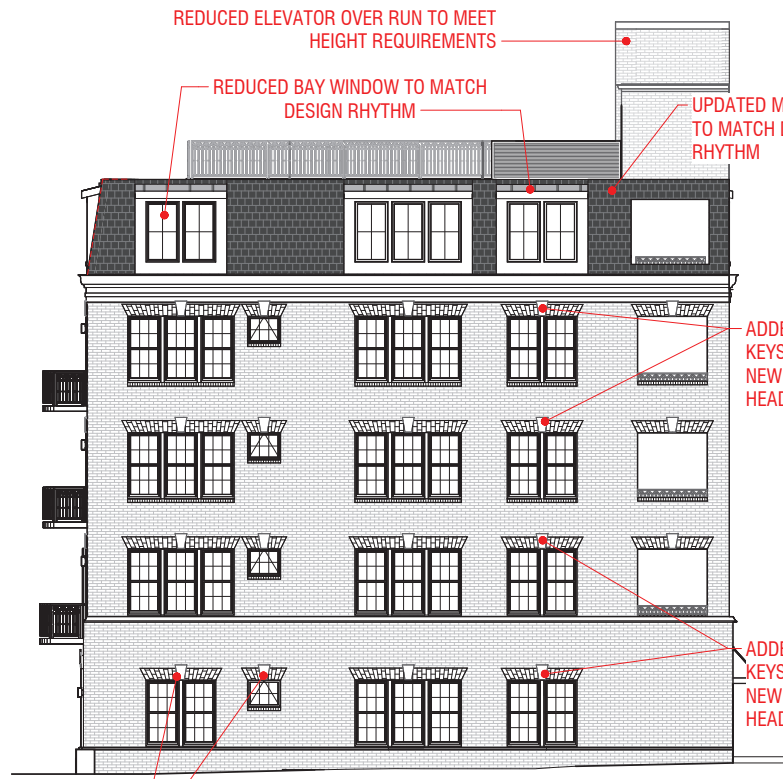
BAR 13B

OLD SUBMISSION:

NEW SUBMISSION:



REAR ELEVATION : PUBLIC ALLEY



ADDED NEW KEYSTONES TO ALL BRICK ARCH HEADERS AT REAR

OFFICIAL STAMPS

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SEAL

SHEET NAME
 NEW VS OLD
 COMPARISON

SCALE
 3/16" = 1'-0"

SHEET NO.

BAR 14

OLD SUBMISSION:



FRONT ELEVATION : N WASHINGTON ST

NEW SUBMISSION:

UPDATED BALCONIES TO REDUCE IMPACT
ALONG WASHINGTON ST

IMPROVED ALL BALCONIES SHAPE
FOR A MORE CONSERVATIVE
ALONG MADISON ST



UPDATED ALL FIRST FLOOR
WINDOWS DESIGN TO A MORE
VERTICAL GRIDLINE
APPROACH

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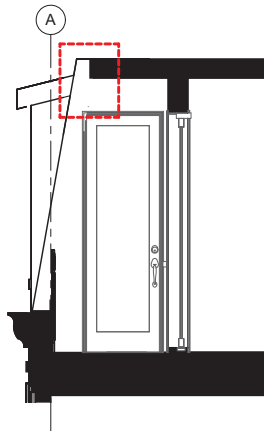
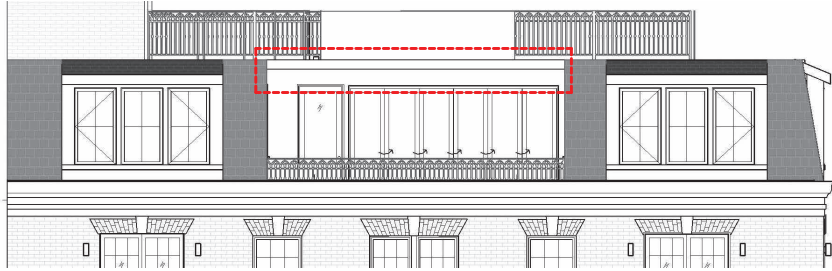
SHEET NAME
NEW VS OLD
COMPARISON

SCALE

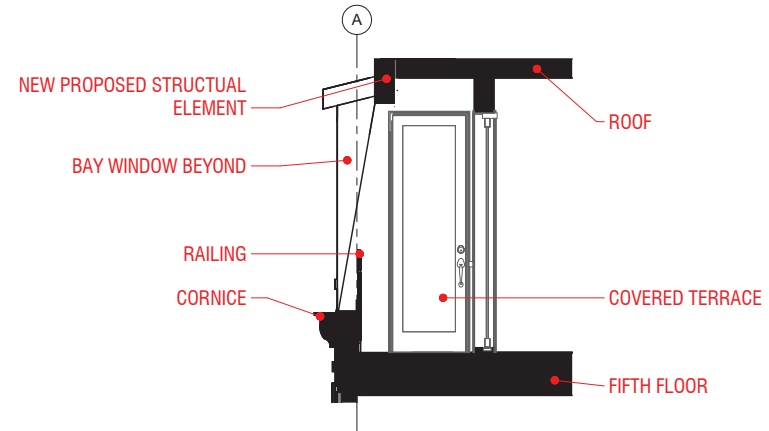
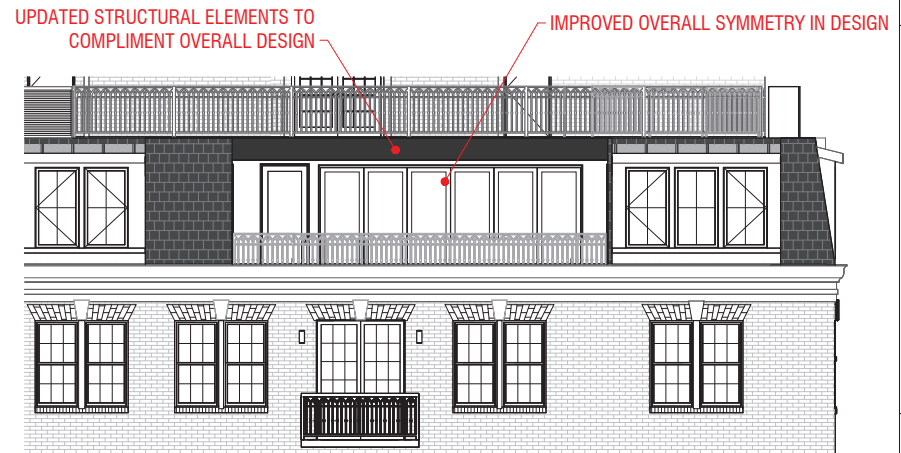
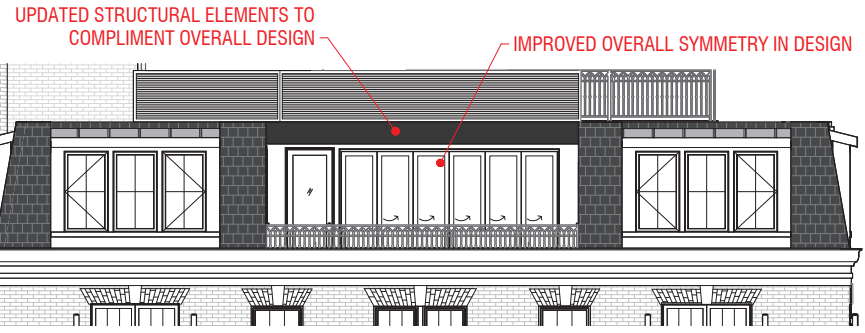
SHEET NO.

BAR 14B

OLD SUBMISSION:



NEW SUBMISSION:



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SHEET NAME
NEW VS OLD
COMPARISON

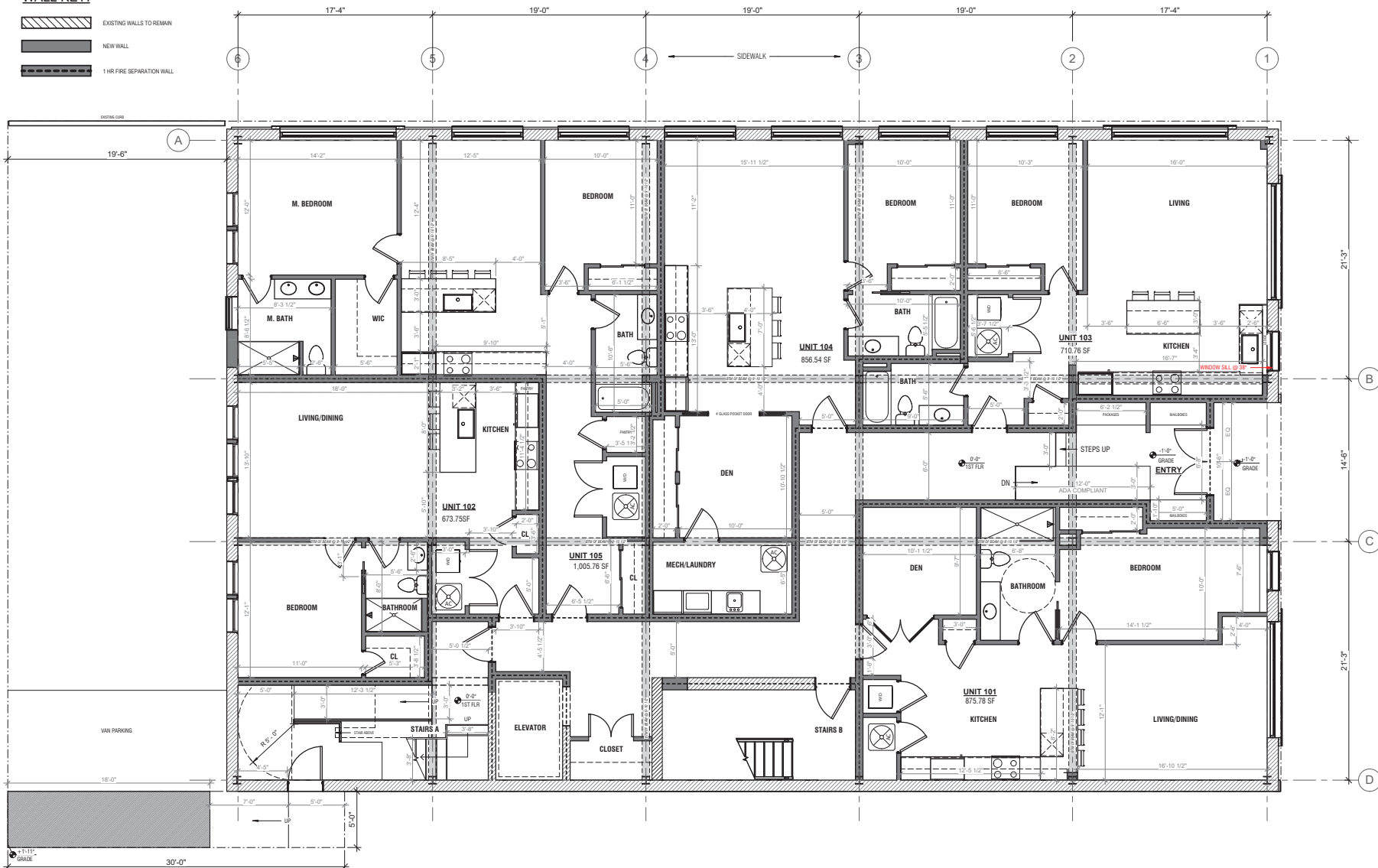
SCALE
As indicated

SHEET NO.

BAR 15

WALL KEY:

-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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SCALE




SHEET NAME
 PROPOSED FIRST
 FLOOR PLAN

SCALE
 1/4" = 1'-0"

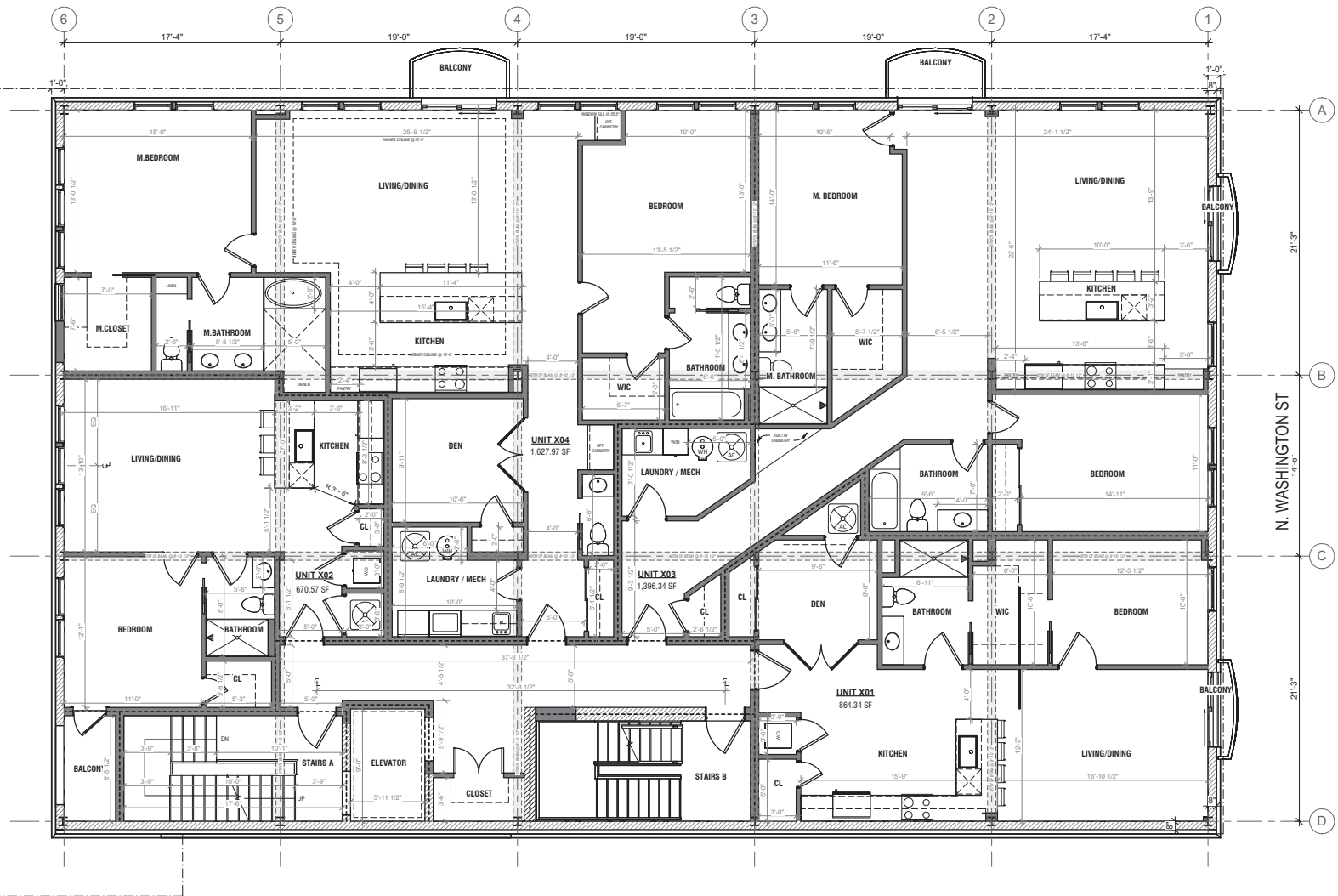
SHEET NO.

BAR 16

WALL KEY:

-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL

MADISON ST



1 PROPOSED TYPICAL FLOOR PLAN (2-4)
1/4" = 1'-0"

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NO. DATE

SCALE




SHEET NAME
PROPOSED TYPICAL
FLOOR PLAN

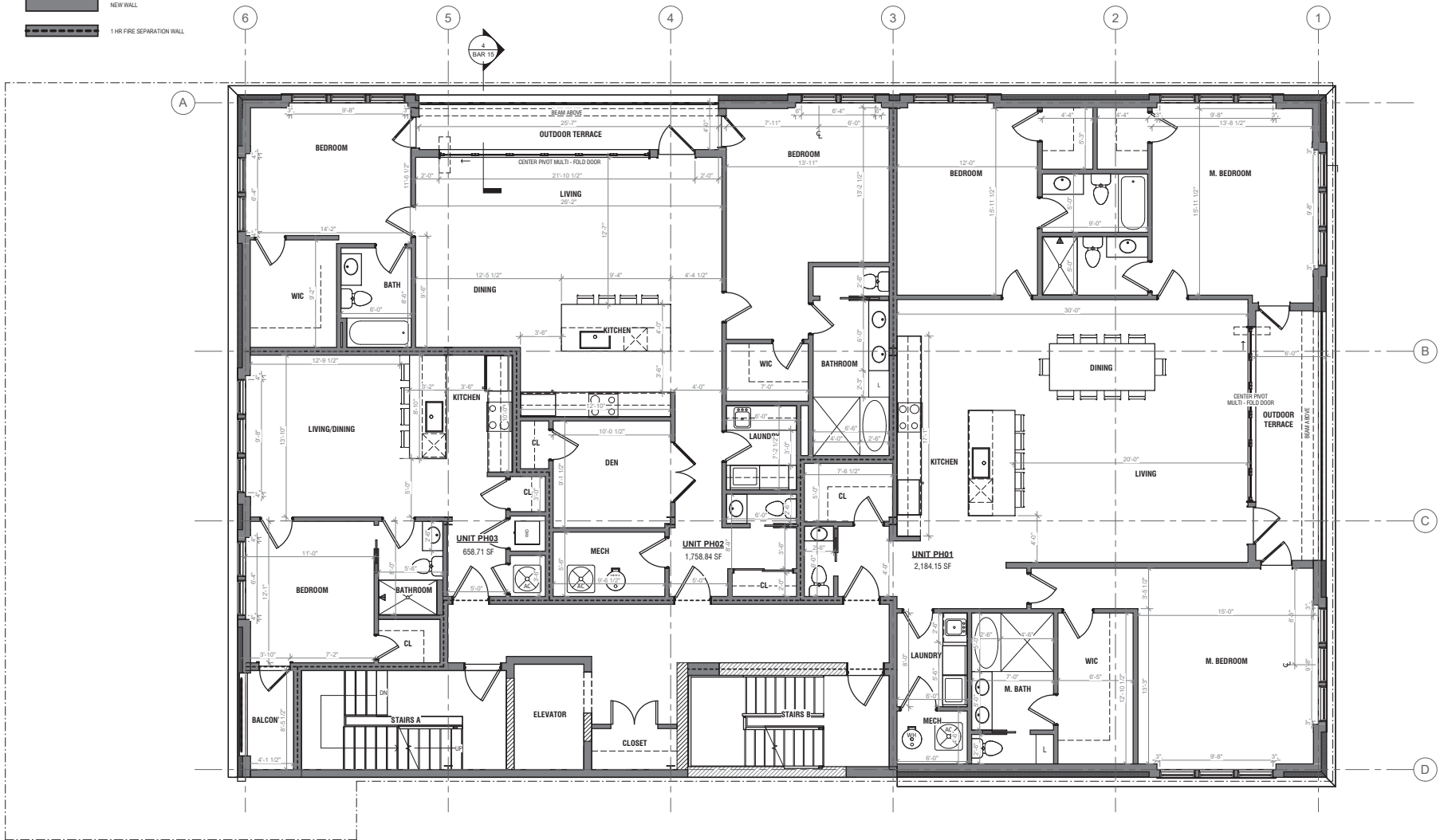
SCALE
1/4" = 1'-0"

SHEET NO.

BAR 17

WALL KEY:

-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL



1 PROPOSED FIFTH FLOOR
 1/4" = 1'-0"



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SHEET NAME
 PROPOSED FIFTH
 FLOOR

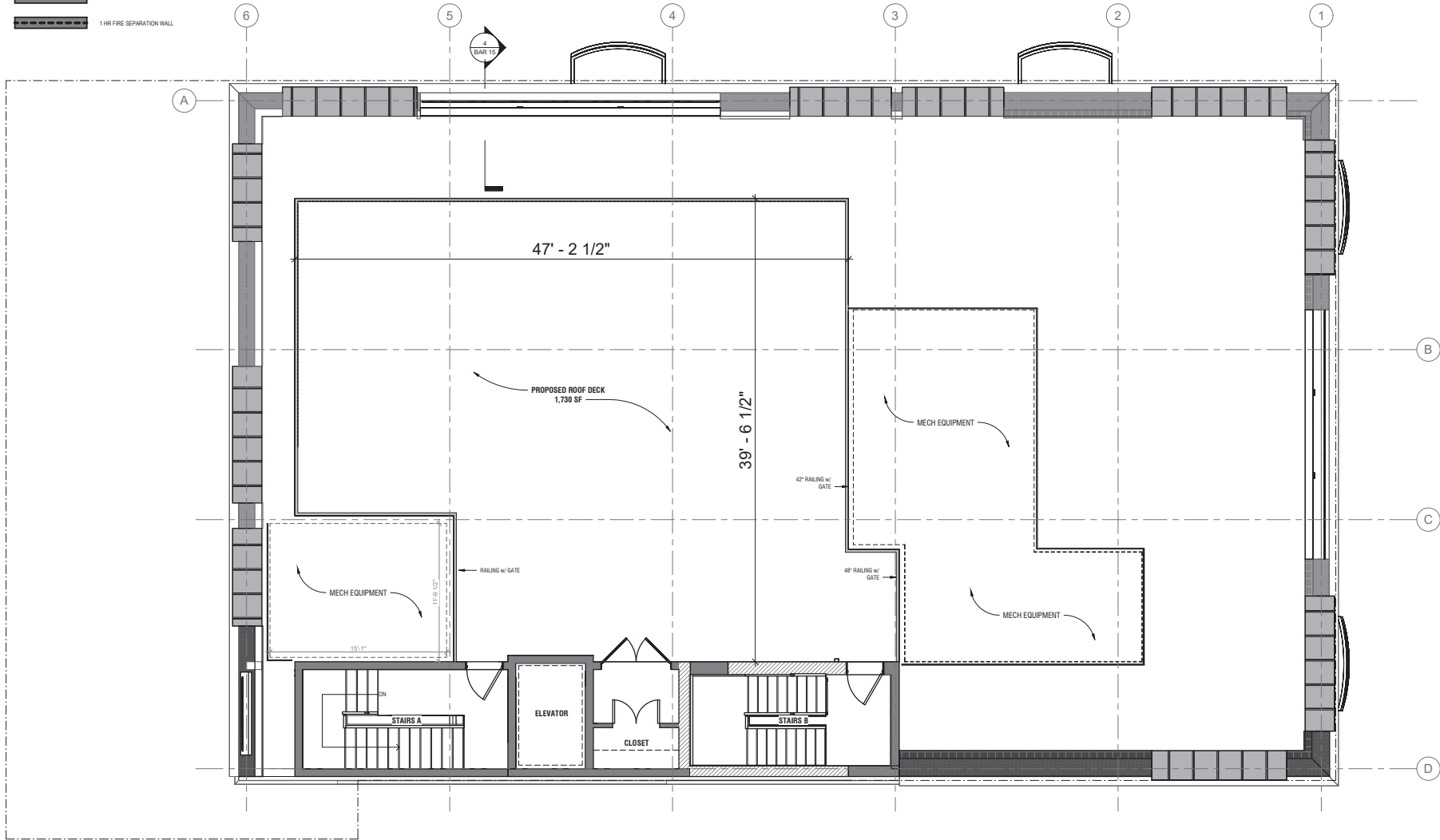
SCALE
 1/4" = 1'-0"

SHEET NO.

BAR 18

WALL KEY:

-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

OFFICIAL STAMPS



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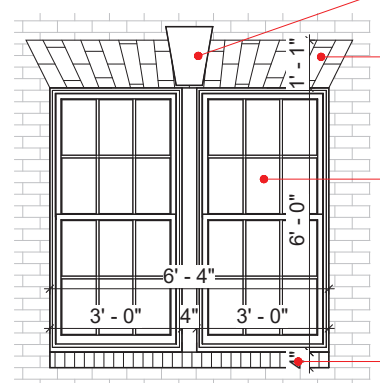
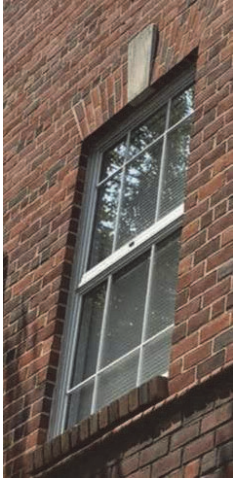
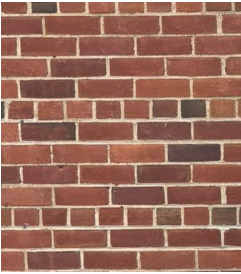
SHEET NAME
**PROPOSED ROOF
PLAN**

SCALE
1/4" = 1'-0"

SHEET NO.

BAR 19

EXISTING BRICK DETAILS



1 PROPOSED WINDOW ELEVATION
3/4" = 1'-0"

ARRISCRAFT - CAST STONE KEYSTONE

Arriscraft

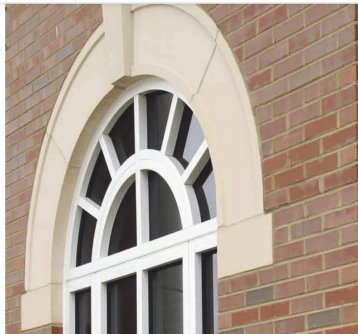
WHERE TO BUY Product Search

FULL BED STONE ADAIR LIMESTONE THIN MASONRY BRICK CAST STONE ACCESSORIES BUILDING MATERIALS GALLERY

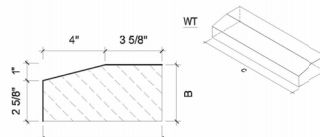
ARRIS-CAST CAST STONE

Manufactured in:
Fort Valley
Georgia

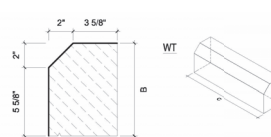
Choose ARRIS-cast to complement our Terracotta® colors, or create your own shade. From custom decorative accessories to our catalogue of architectural shapes, ARRIS-cast provides the ideal finishing touches for your project.



KEYSTONE PROFILE

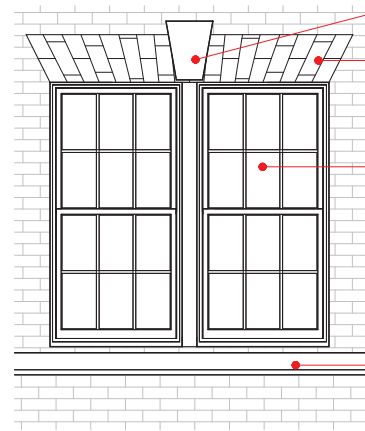


WATER TABLE PROFILE



SILL PROFILE

PROPOSED WINDOW DETAILS



DISCLAIMER: ALL MATERIALS ARE GENERIC DEPENDANT ON AVAILABILITY . ANY CHANGES IN PROVIDER WILL BE DISCUSSED WITH STAFF PRIOR EXECUTION.

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MATERIALS BOARD

SCALE
3/4" = 1'-0"

SHEET NO.

BAR 20

IRON WROUGHT DOORS STEEL WINDOWS:

PROPOSED FIRST FLOOR WINDOWS PROVIDER

Introducing IWD iron french partition wall, a masterpiece of modern architecture that seamlessly merges the indoors with the outdoors. With its commanding square top and sleek black frame, this wall not only enhances the aesthetics of your exterior space but also elevates its functionality. Upgrade your space and embrace the harmony of strength and style with fixed metal windows. Discover the difference of iron french partition wall, where resilience meets refinement and modern design meets timeless living.

SPECIFICATION

Material: Our steel fixed glass windows are handmade using heavy-duty 12-gauge steel.

Glass: Standard 5/8 Inch double-pane insulated glass. It can be opened for great ventilation and easy cleaning.

Jamb: Our steel fixed glass windows feature standard 2" x 6" Jamb's that are insulated with high-density foam for energy efficiency.

Finishes: All steel fixed glass windows are zinc galvanized and coated with a clear lacquer to protect them from rust & corrosion.

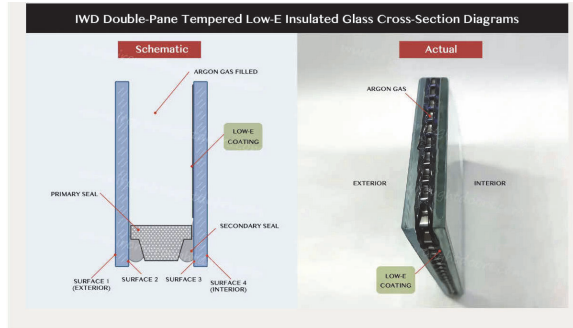
Customization: We offer opportunities for a fully customizable design to match your personal taste. If you find that the size and design you want are not listed on our website, feel free to [contact us](#).

Notice: Due to hand-forged craftsmanship, every piece of custom-made product may look different from the picture shown. Small differences in the design and finish may occur. Please refer to the final CAD drawing. We do not consider product variances as defects.



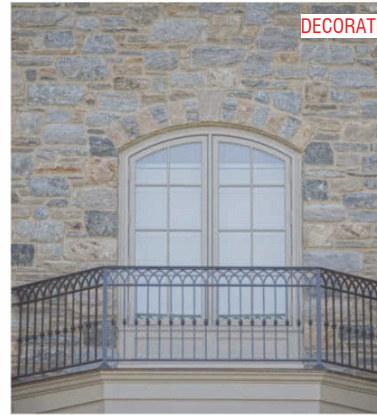
STEEL WINDOW, WITH EXTERNAL GRILLS.
BLACK FRAME

LOW - E INSULATED GLASS

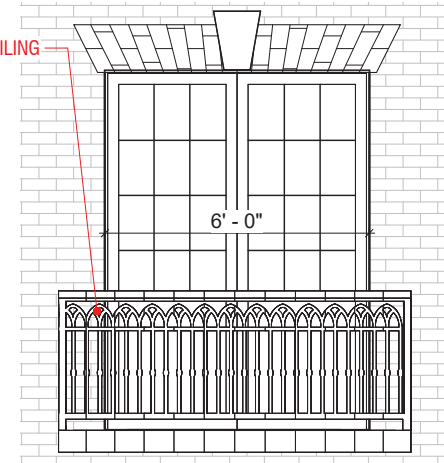


CS9001 Matte Black

DECORATIVE RAILING: COMPASS IRONWORKS



Classical Design Balcony



1 ENLARGED BALCONY ELEVATION
3/4" = 1'-0"

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SHEET NO.

BAR 21

DISCLAIMER: ALL MATERIALS ARE GENERIC, DEPENDANT ON AVAILABILITY . ANY CHANGES IN PROVIDER WILL BE DISCUSSED WITH STAFF PRIOR EXECUTION.

CORNICE MATERIAL

SAF: METAL FABRICATION DISTRIBUTION AND FINISHING
BENT METAL

Extruded Aluminum Cornices

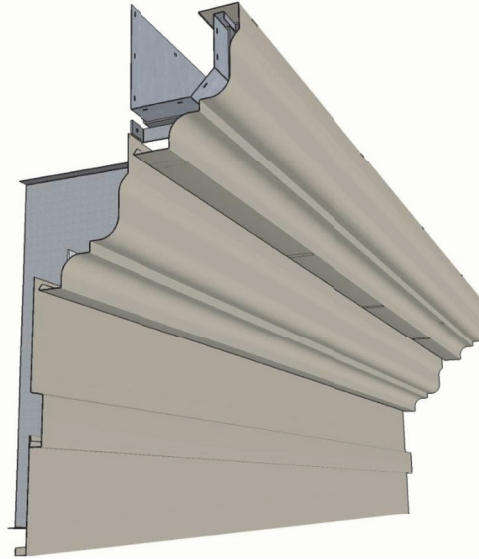
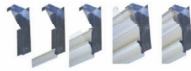
Benefits of Extruded Aluminum Architectural Cornices & Gutters include precise joints, crisp lines, with much greater detail. Since 1990, Perimeter Systems has provided Designer Series Cornice for churches, universities, financial institutions, municipalities, and stately homes throughout the United States. Now, SAF cornice mouldings by Perimeter Systems are available in aluminum extrusions.

Featuring Interlocking Cornice Profiles

Designer Series Extruded Cornice Mouldings are uniquely designed to interlock with a water resistant and securely locked seam. In addition, we designed our mouldings with an overlapped "shingle effect" seam to deflect wind driven rain.

Interchangeable Profiles

These extruded mouldings are available in several classical profiles along with sills, offsets, & closure trims. Interchangeable mouldings easily combine to create most any cornice imaginable. And with a special head trim these refined mouldings can be installed as interior crown mouldings.



Perimeter Systems
Innovative Aluminum Architecture

SAF Perimeter Systems
8370 E. Highway 78
Villa Rica, GA 30180

Toll Free: 800-334-9623
Fax: (770) 942-4173
www.saf.com

SUBMITTAL / DATA SHEET

Designer Series Extruded Cornice System
Cornice Design 1EX

INTERNAL Liner with Heavy Duty Support Bracket and Strip Assembly

ASSEMBLY AT EAVE

Formed Sheet Flashing

ASSEMBLY AT GABLE

Designer Series Extruded Cornice System: These commercial extruded cornice systems are based on our pre-designed formed cornice designs, but with extruded profiles. Cornice trim, including radius scalloped shapes, extensions, braces, and sills, are 0.083" (6063-T5 extruded) aluminum and are supplied in 10' lengths. Joints receive concealed extruded aluminum splices or formed where needed. If required, mounting gaskets are furnished at 24" - 30" centers. Gaskets replace conventional framing methods and are designed to allow the cornice to freely expand and contract. Cornice profiles are fastened to the gasket system with stainless steel, type 304, #10-24 x 0.75" machine screws with nylon core hex lock nuts. With assist/insulator tape it is to be installed at fastening locations to separate the dissimilar metals.

Customer:	Project:
Address:	Location:
Phone / Fax:	Architect:



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MATERIALS BOARD

SCALE

SHEET NO.

BAR 22

PROPOSED DESIGN:



EXTERIOR DOUBLE SLIDING DOOR, BLACK FRAMED

DECORATIVE METAL BLACK RAILING

CANTILEVER JULIET BALCONY

NEW BEAM

BLACK METAL SEAM ROOF FOR DORMER

SYNTHETIC SLATE

ALUMINUM METAL CORNICE - REF SHEET BAR 22

CANTILEVER CONCRETE BALCONY

CAST STONE KEYSTONE TO REMAIN, REPLICATE NEW WHERE ANOTATED

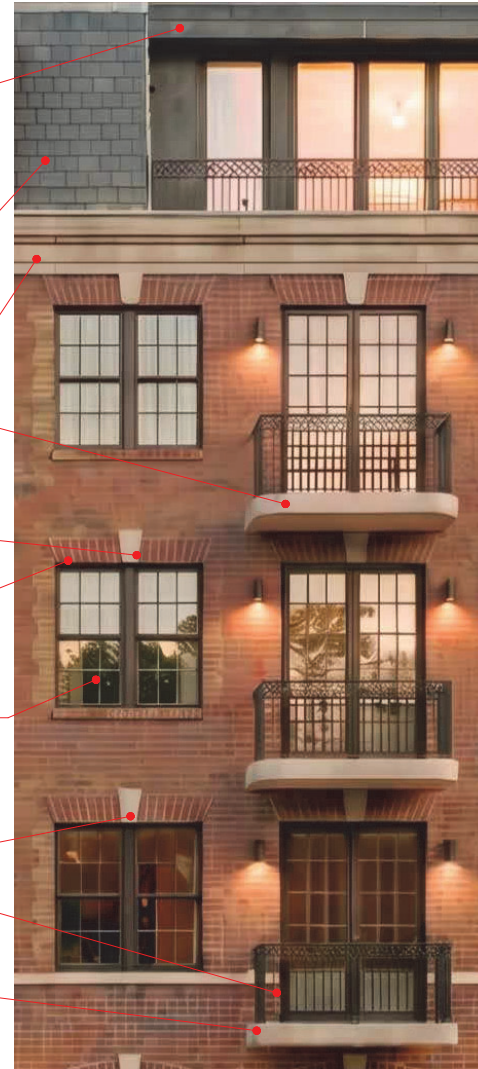
SOLDIER COURSE BRICK HEADER

(2) PELLA LIFESTYLE WITH EXTERNAL AND INTERNAL GRILLS DOUBLE HUNG WINDOW. RATED STC 31

CAST STONE KEYSTONE TO REMAIN, REPLICATE NEW WHERE ANOTATED

DECORATIVE METAL BLACK RAILING

CANTILEVER CONCRETE BALCONY



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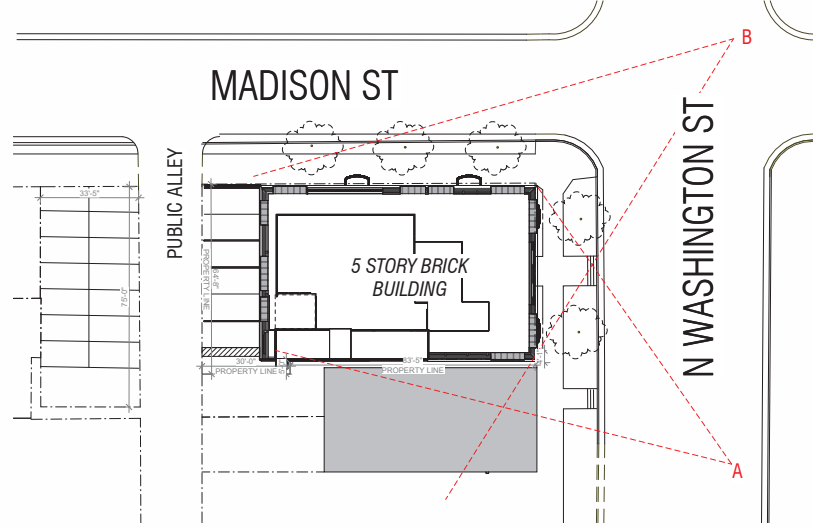
SHEET NAME
 MATERIALS BOARD

SCALE

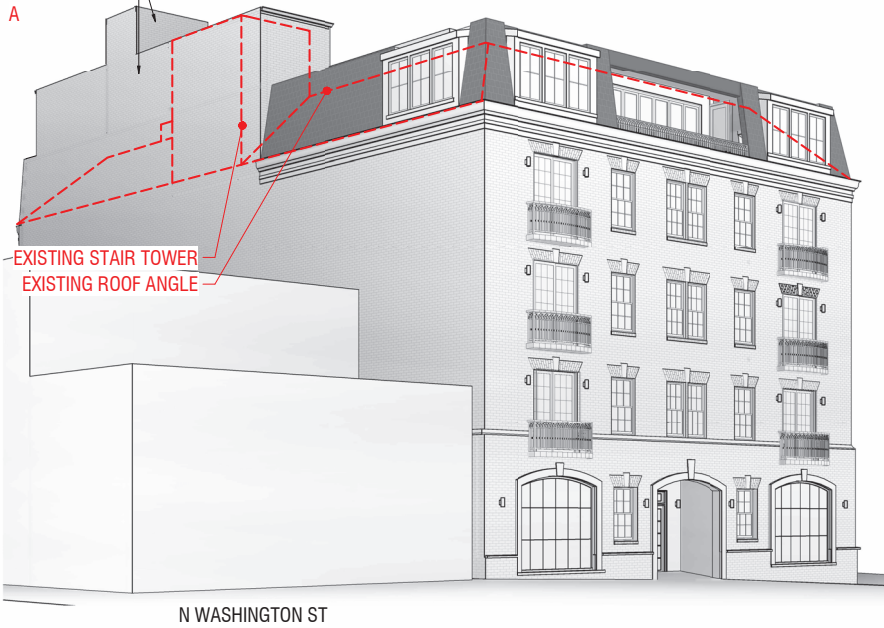
SHEET NO.

BAR 23

ALTERNATIVE 5TH FLOOR TERRACE DESIGN:



PROPOSED STAIR AND ELEVATOR TOWER



N WASHINGTON ST



N WASHINGTON ST

MADISON ST

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SHEET NAME
 3D VIEWS

SCALE
 1" = 20'-0"
 SHEET NO.

BAR 24

PROPOSED DESIGN:



N WASHINGTON ST - FRONT ELEVATION



MADISON ST - SIDE ELEVATION

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SHEET NAME
COLOR ELEVATIONS

SCALE

SHEET NO.

BAR 25

PROPOSED DESIGN:



CORNER VIEW



PUBLIC ALLEY - REAR ELEVATION

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SHEET NAME
 COLOR ELEVATIONS

SCALE

SHEET NO.

BAR 26