

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** John S. Williams

**LOCATION:** Old and Historic Alexandria District  
303 Queen Street

**ZONE:** RM/Residential Townhouse Zone

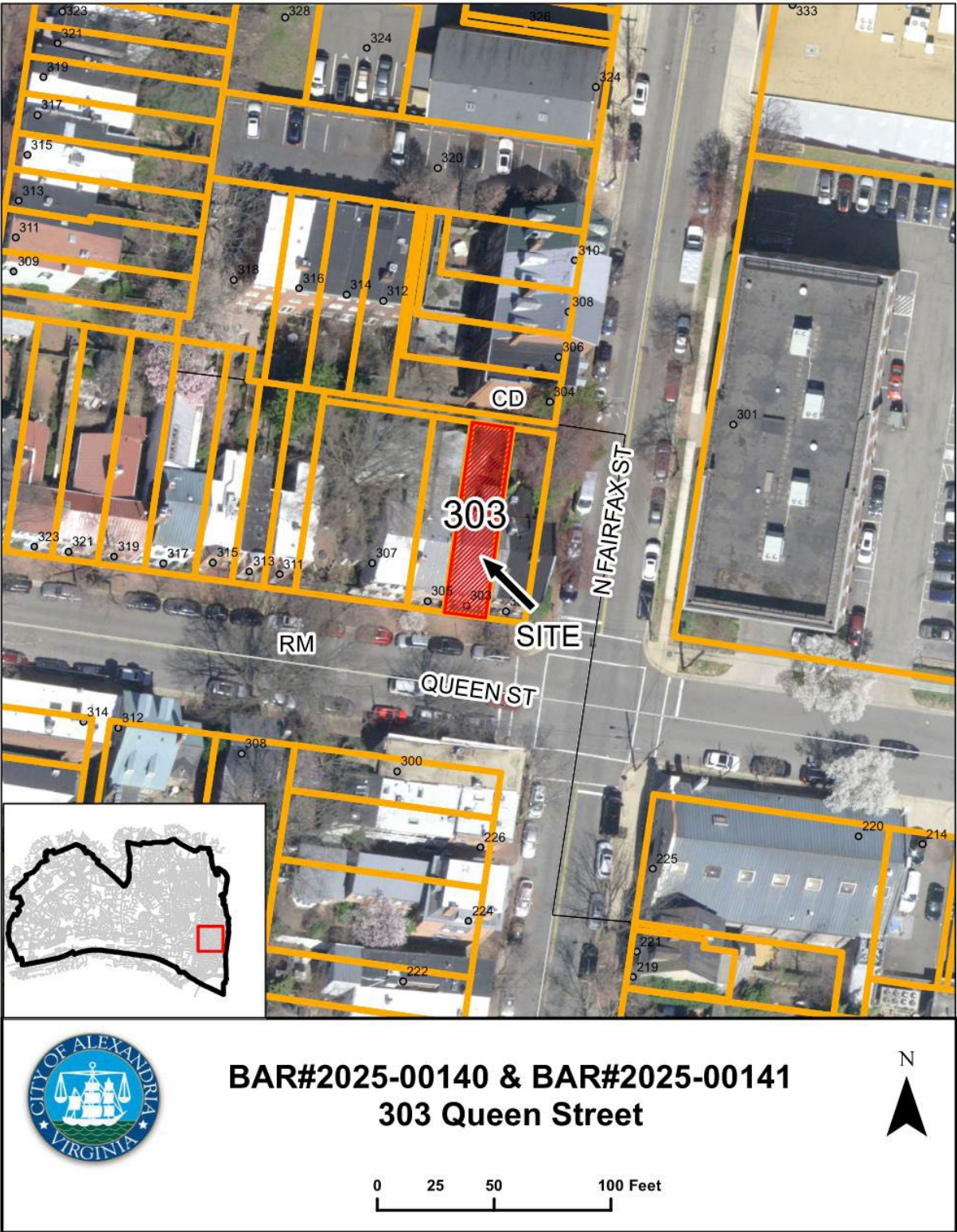
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, with the condition that the applicant submit window specifications with the building permit application that comply with the BAR's window policy.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2025-00141) and Certificate of Appropriateness (BAR #2025-00140) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to remove portions of roofing in order to add dormer windows to the rear/north elevation, to enlarge a window on the rear/north elevation, and to replace various windows throughout, at 303 Queen Street. The project includes:

- Patch and repair existing metal roofing
- Repoint brick
- Repair and restore windows and shutters on south/primary elevation
- Replace existing windows on rear ell with new wood windows
- Create a new roof ridge at the rear dormer
- Clad the dormers with cementitious siding
- Single ply roofing for the new dormers
- Wood windows for the new dormers

### Site context

The narrow alley to the north, behind the subject property, is private. The proposed alterations will be somewhat visible from the right-of-way. See Figures 1 and 2.



Figure 1: Rear elevation from N. Fairfax with area to be altered circled

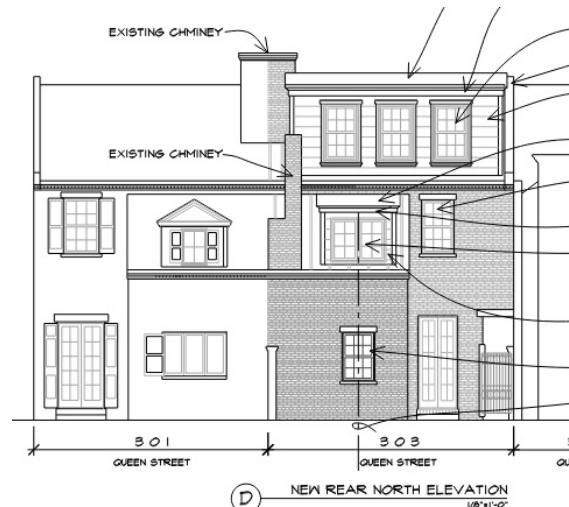


Figure 2: Proposed changes to N elevation

## II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, James Chatham constructed 301 and 303 Queen Street **around 1860**. This quarter block was the site of the Long Ordinary, a former tavern operated by Nathaniel Smith which was destroyed by fire in November of 1800.

### *Previous BAR Approvals*

This property has no prior BAR approvals.

## III. ANALYSIS

### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No



The analysis of the standards indicated above relate only to the portions of the roof areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. Based on Sanborn maps, the roofing is not original to the house. From 1885 – 1896 the dwelling had a 1.5 story rear ell with a shake roof. From 1902 – 1921, the dwelling had a 1-story noncombustible roofed rear ell. In 1941 and 1959 the 1-story ell is 1.5 stories again. It therefore appears that the roofing on the rear ell dates to between 1941 and 1959. Staff is of the opinion that if the ell was reroofed and rebuilt between 1921 and 1941, the main block was most likely reroofed at that time as well.

#### Certificate of Appropriateness

Staff finds the proposed addition of dormers to the rear/north elevation appropriate. According to the *Design Guidelines*, “The style of the dormer should be appropriate to the architectural style of the existing structure.” The style is fully appropriate for this Federal-style dwelling. The symmetry and harmonious proportions are retained, and the design itself harmonizes well with the existing structure. The *Design Guidelines* also note that “Dormer sashes should be operable and should be the same type as the other window sashes on the structure.” The proposed dormer sashes will be of wood, operable, and match the existing. The dormers will be composed of cementitious siding and single ply roofing, ensuring that the new changes will be differentiated from the historic portion of the building. Other proposed alterations include necessary renovations, such as patching and repairing the existing metal roofing, repointing the brick, and repairing and restoring the windows on the primary/south elevation. The windows on the rear/north ell will be replaced with wood windows, and a new roof ridge will be created at the uppermost dormer edge. All of these renovations are appropriate and will serve to maintain the historic nature of the building.

With the condition that the window glazing comply with the Board of Architectural Review window policy, staff recommends approval of the project.

#### STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### Zoning

C-1 Proposed dormer additions and window replacement will comply with Zoning.

##### Code Administration

C-1 A building permit is required.

##### Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley adjacent to the parcel is to be used at any point of the construction process, the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 No Archaeology comments

**V.     ATTACHMENTS**

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Public comment
- Any other supporting documentation

BAR CASE#

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 303 QUEEN ST.

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 065.03-02-13 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: JOHN S. WILLIAMS

Address: [REDACTED]

City: [REDACTED]

E-mail: [REDACTED]

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐

Name: ROBERT BENTLEY ADAMS

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: JOHN S. WILLIAMS

Address: [REDACTED]

City: [REDACTED]

Phone: [REDACTED]

E-mail: [REDACTED]



**NATURE OF PROPOSED WORK:** Please check all that apply

☐ NEW CONSTRUCTION

☒ EXTERIOR ALTERATION: Please check all that apply.

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☐ doors

☒ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☐ other

DORMER @ 2nd & 3rd FLOORS @ REAR

☒ ADDITION

☐ DEMOLITION/ENCAPSULATION

☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

- DORMER ADDITIONS AT REAR/NORTH @ 2nd & 3rd floors  
- REPLACE SELECTED WINDOWS PER GUIDELINES  
- ENLARGE ONE WINDOW @ REAR 1st FLOOR

**SUBMITTAL REQUIREMENTS:**

☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

☒ N/A

☒ Survey plat showing the extent of the proposed demolition/encapsulation.

☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☒ Description of the reason for demolition/encapsulation.

☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR CASE# \_\_\_\_\_

(OFFICE USE ONLY)

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR CASE# \_\_\_\_\_

(OFFICE USE ONLY)

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Robert Bentley Adams

Printed Name: ROBERT BENTLEY ADAMS

Date: APRIL 15, 2025

**OWNERSHIP AND DISCLOSURE STATEMENT**  
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JOHN S WILLIAMS	same	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JOHN S WILLIAMS	same	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

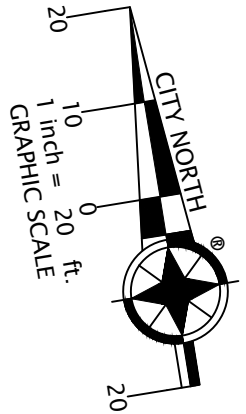
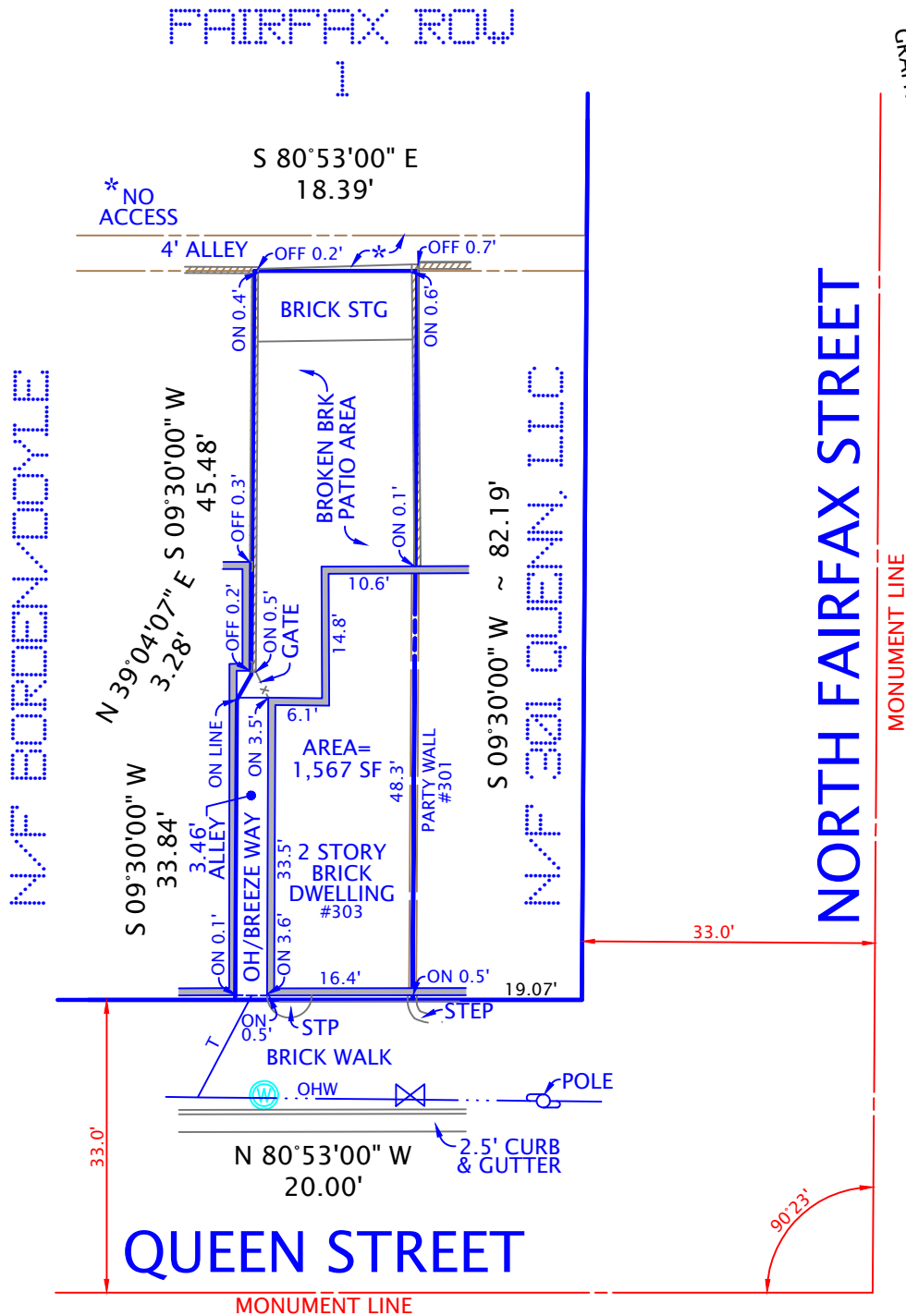
**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4-15-25      ROBERT B ADAMS      Robert M Adams  
Date                      Printed Name                      Signature

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- NOTES: 1. RETAINING WALLS ARE 0.7' BRICK.  
2. UTILITIES ARE UNDERGROUND UNLESS NOTED.



PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#303 QUEEN STREET**  
(INST. # 040012973)  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20'      FEBRUARY 20, 2025

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



ORDERED BY:

JOHN WILLIAMS

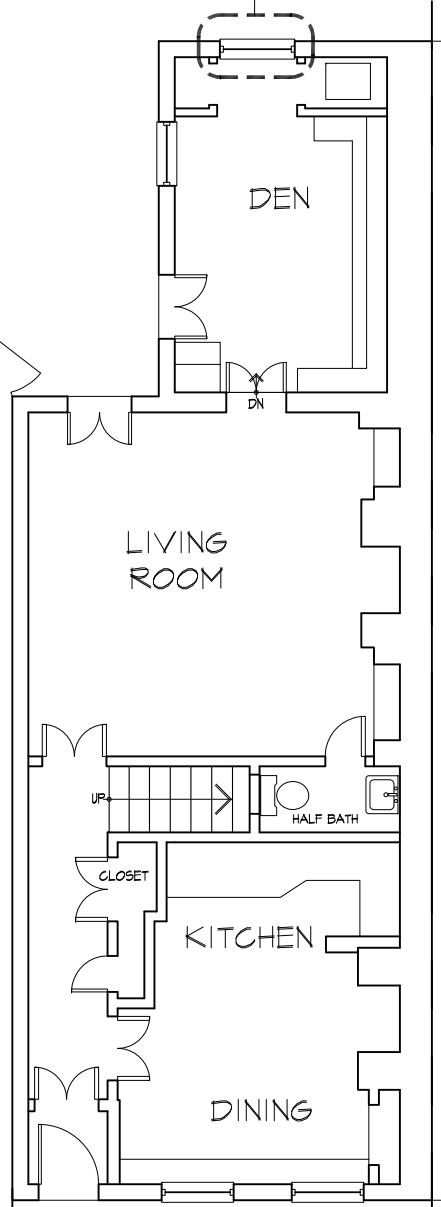


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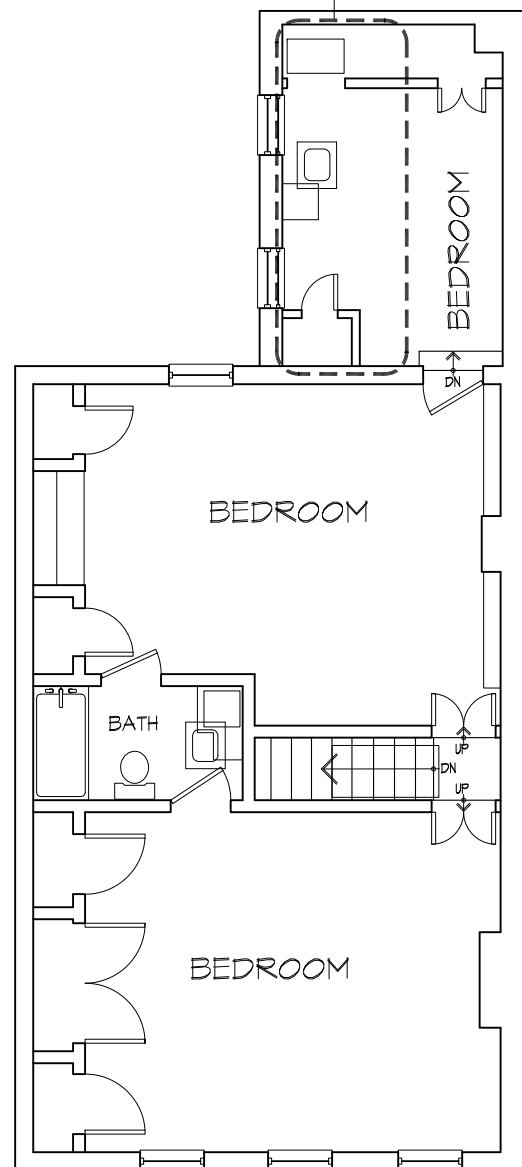
PROPERTY  
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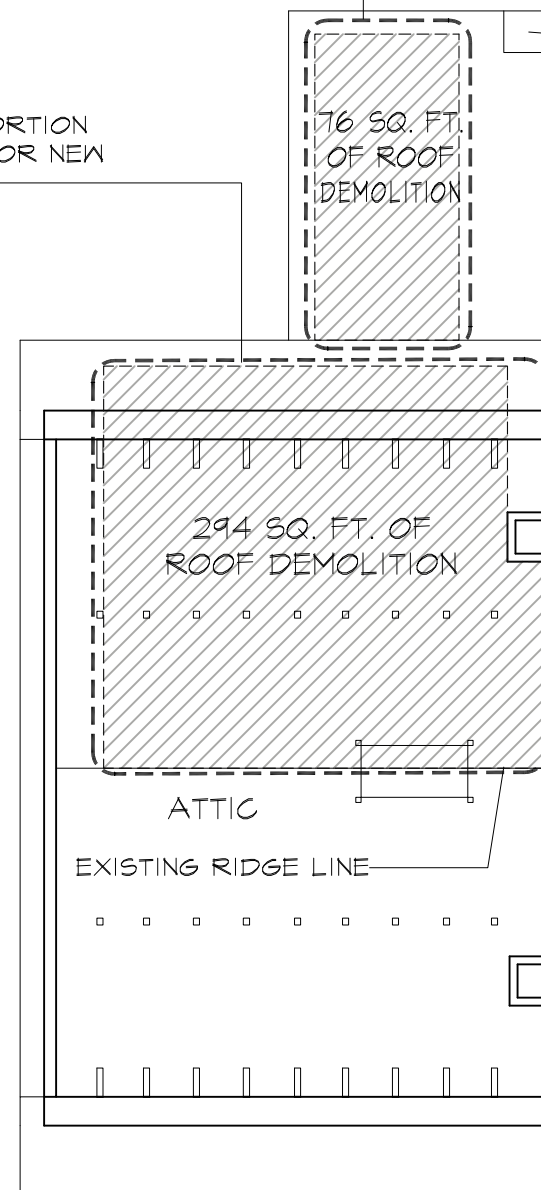
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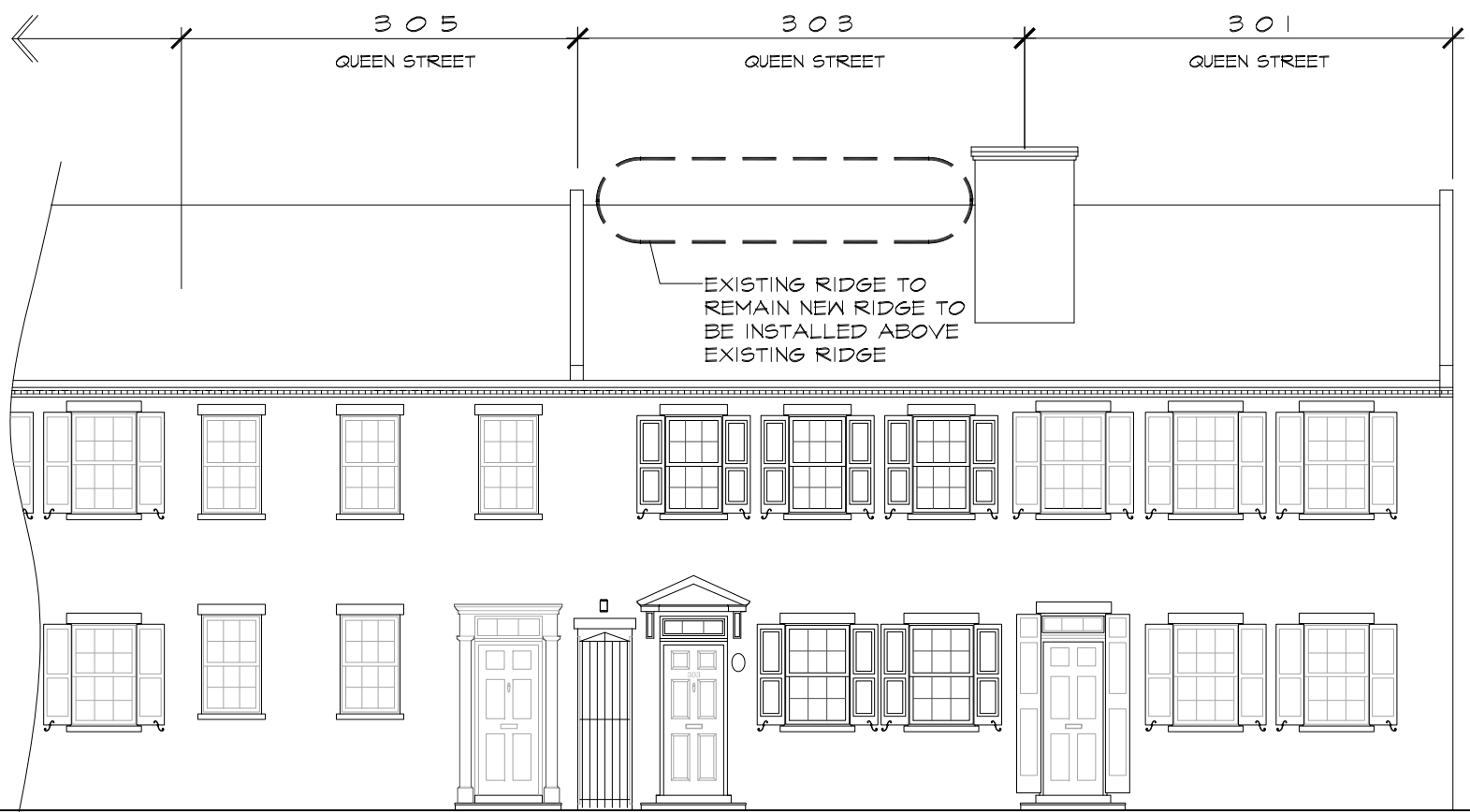
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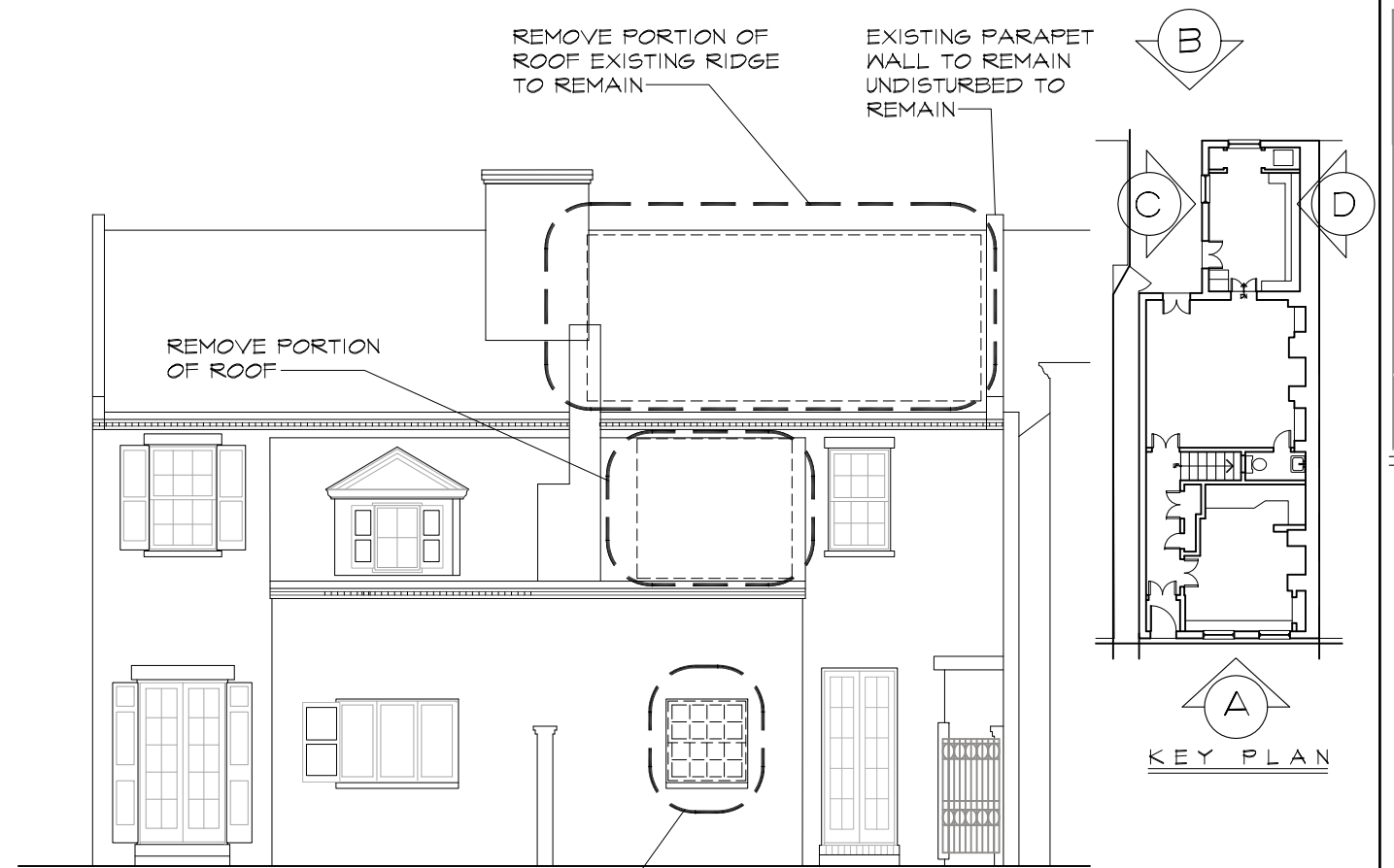
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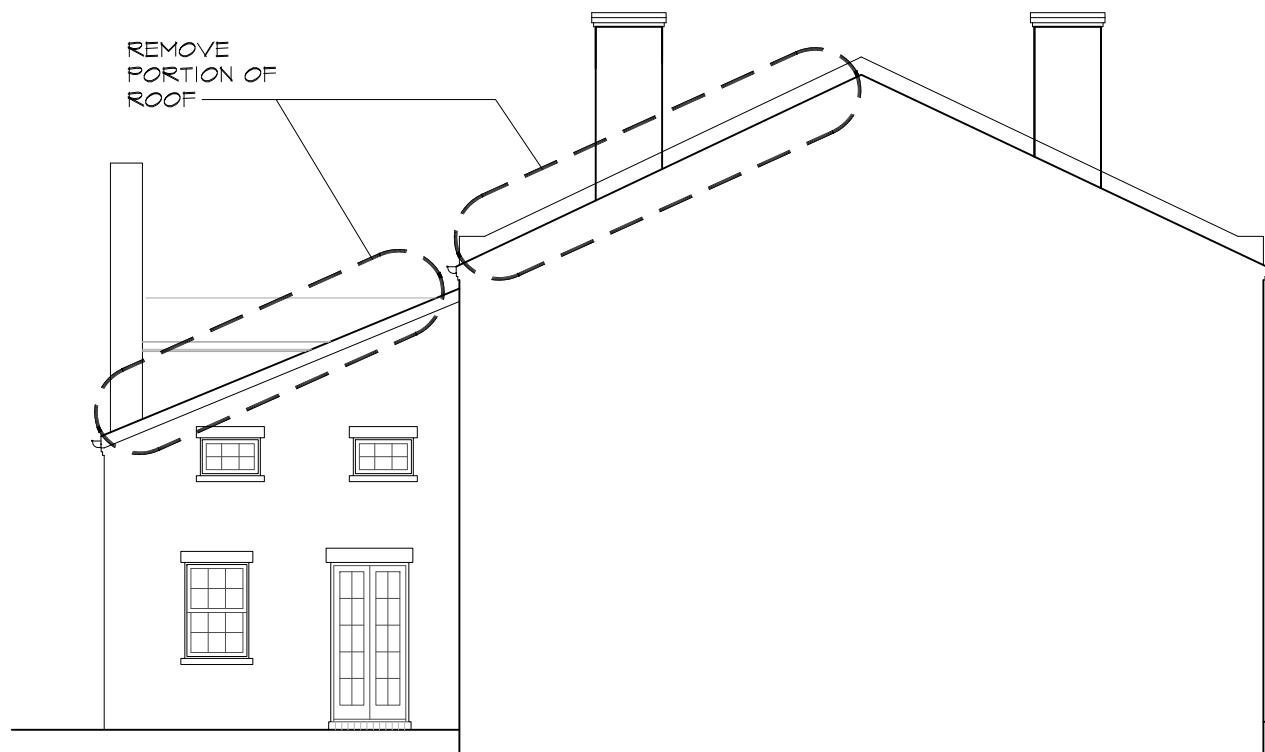
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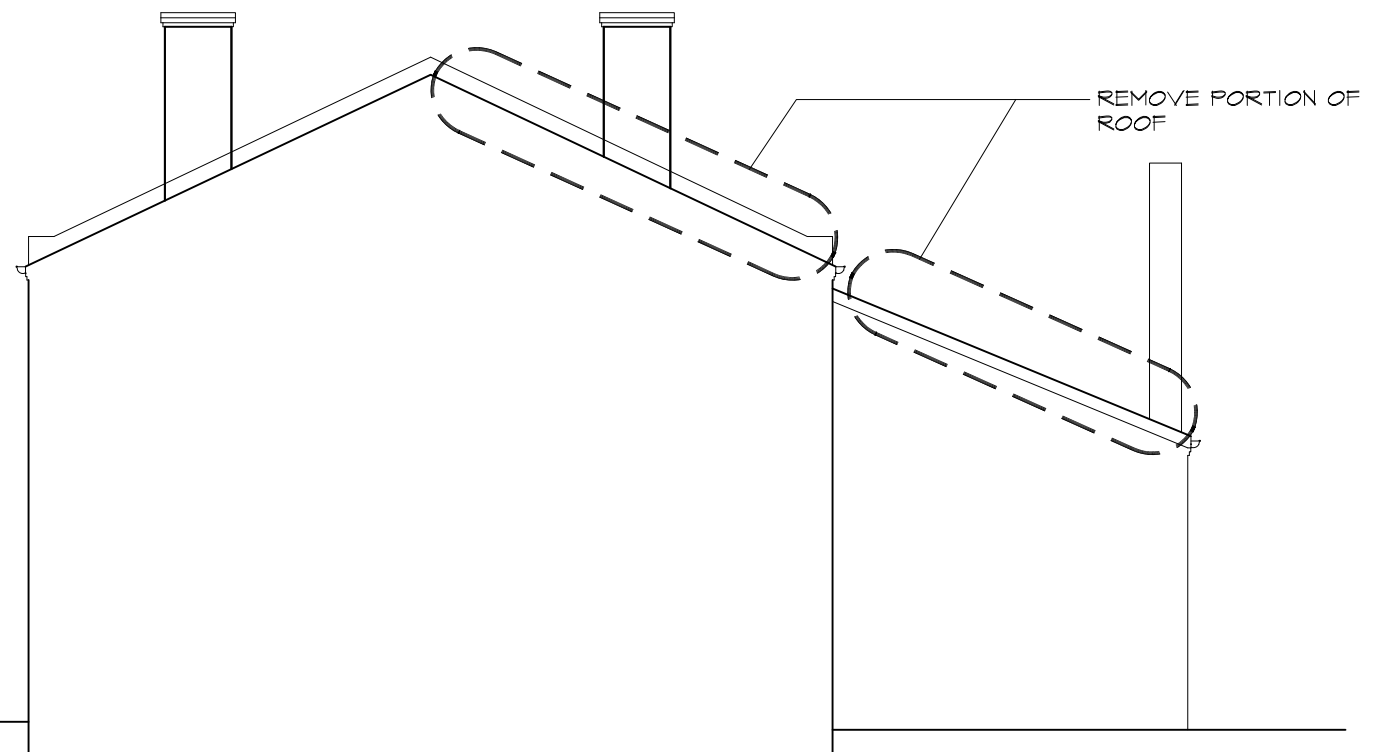
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(B) EXISTING REAR NORTH ELEVATION  
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(C) EXISTING SIDE WEST ELEVATION/SECTION  
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(D) EXISTING SIDE EAST ELEVATION/SECTION  
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PROPERTY  
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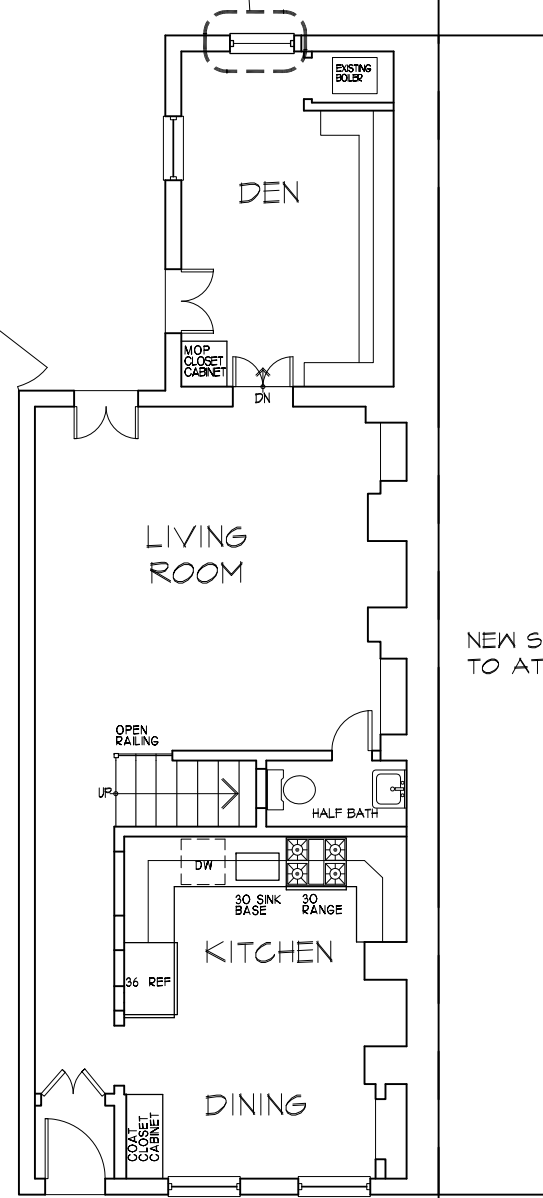
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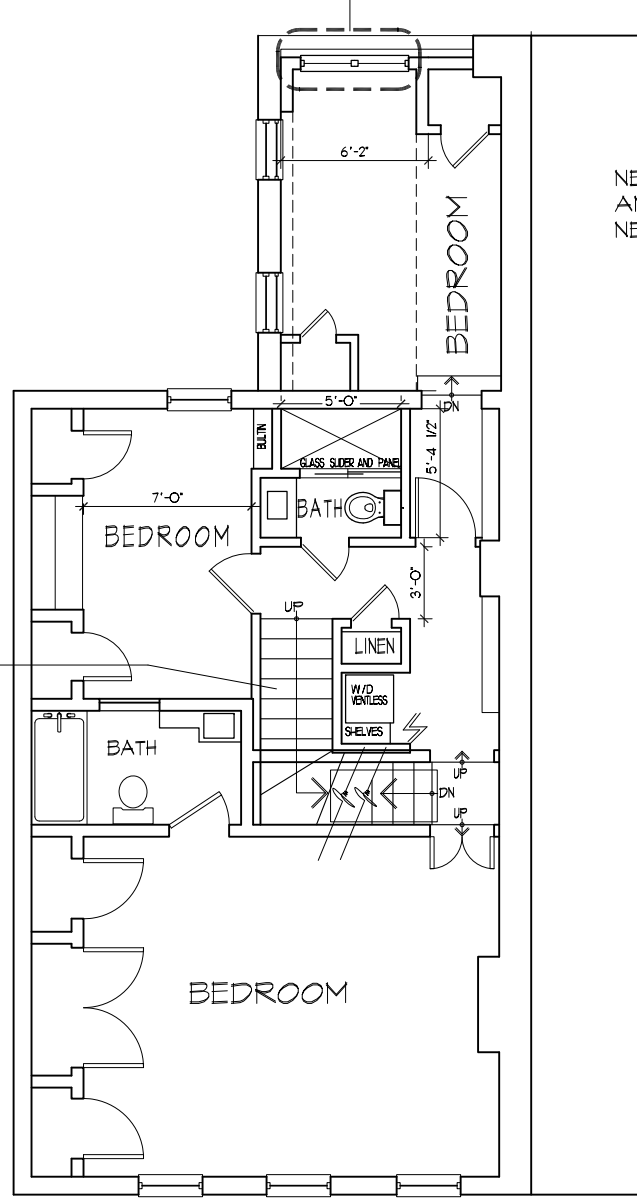
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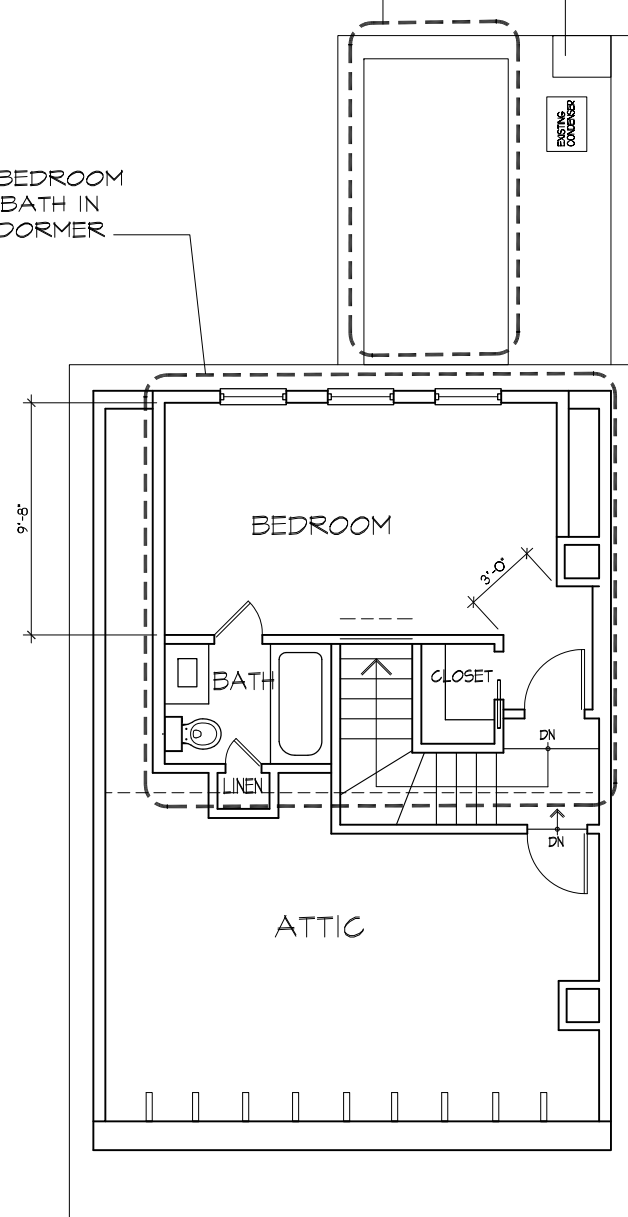
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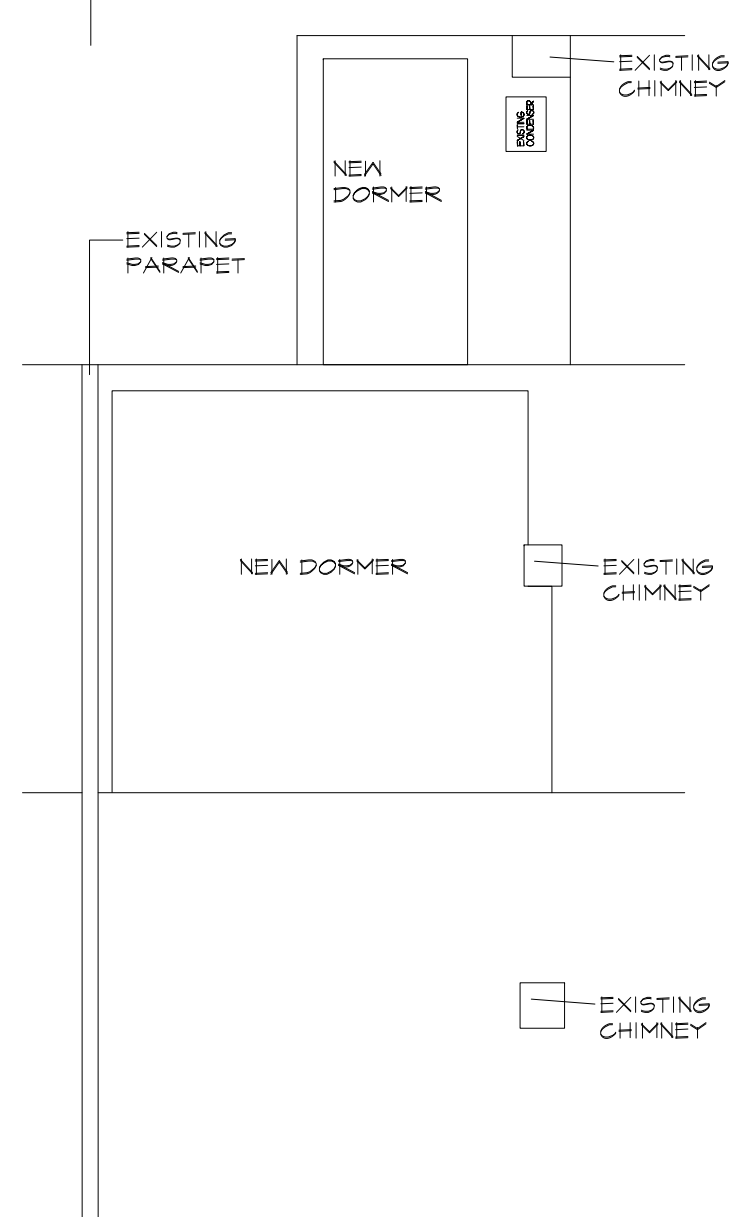
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1/8" = 1'-0"



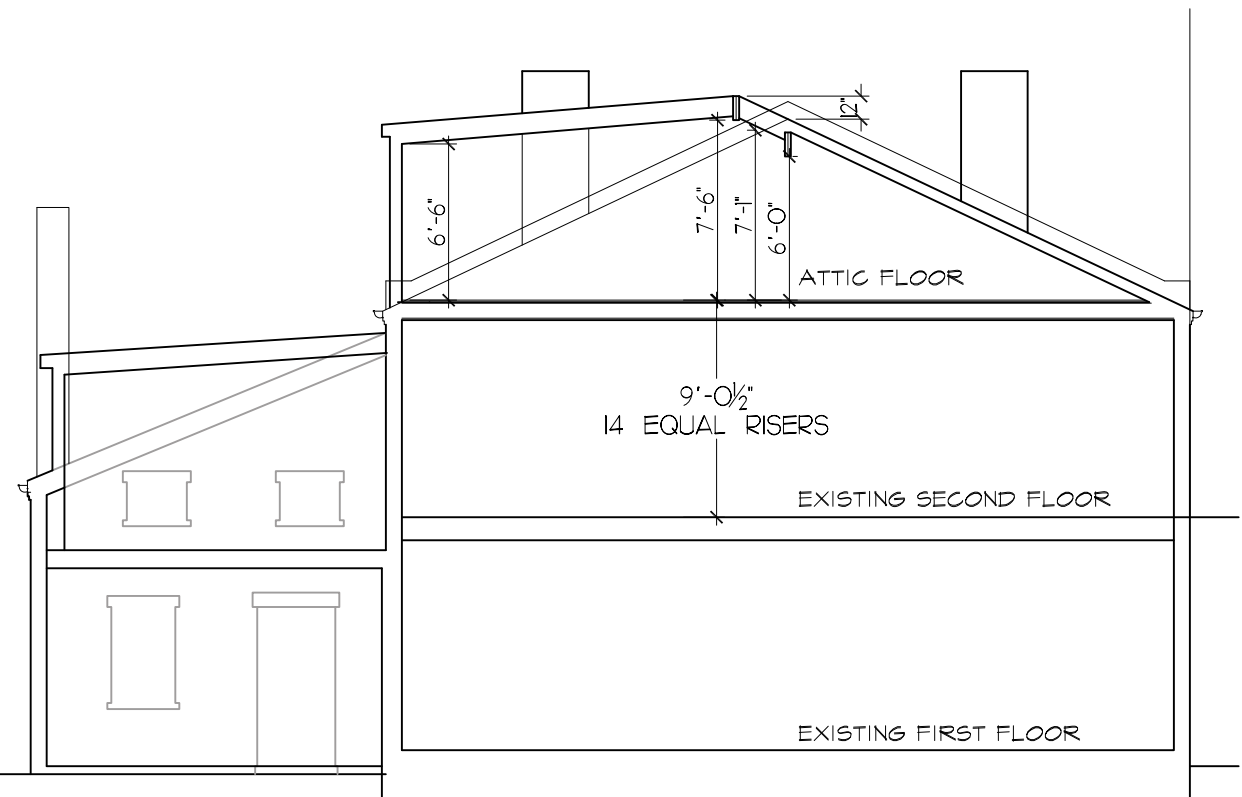
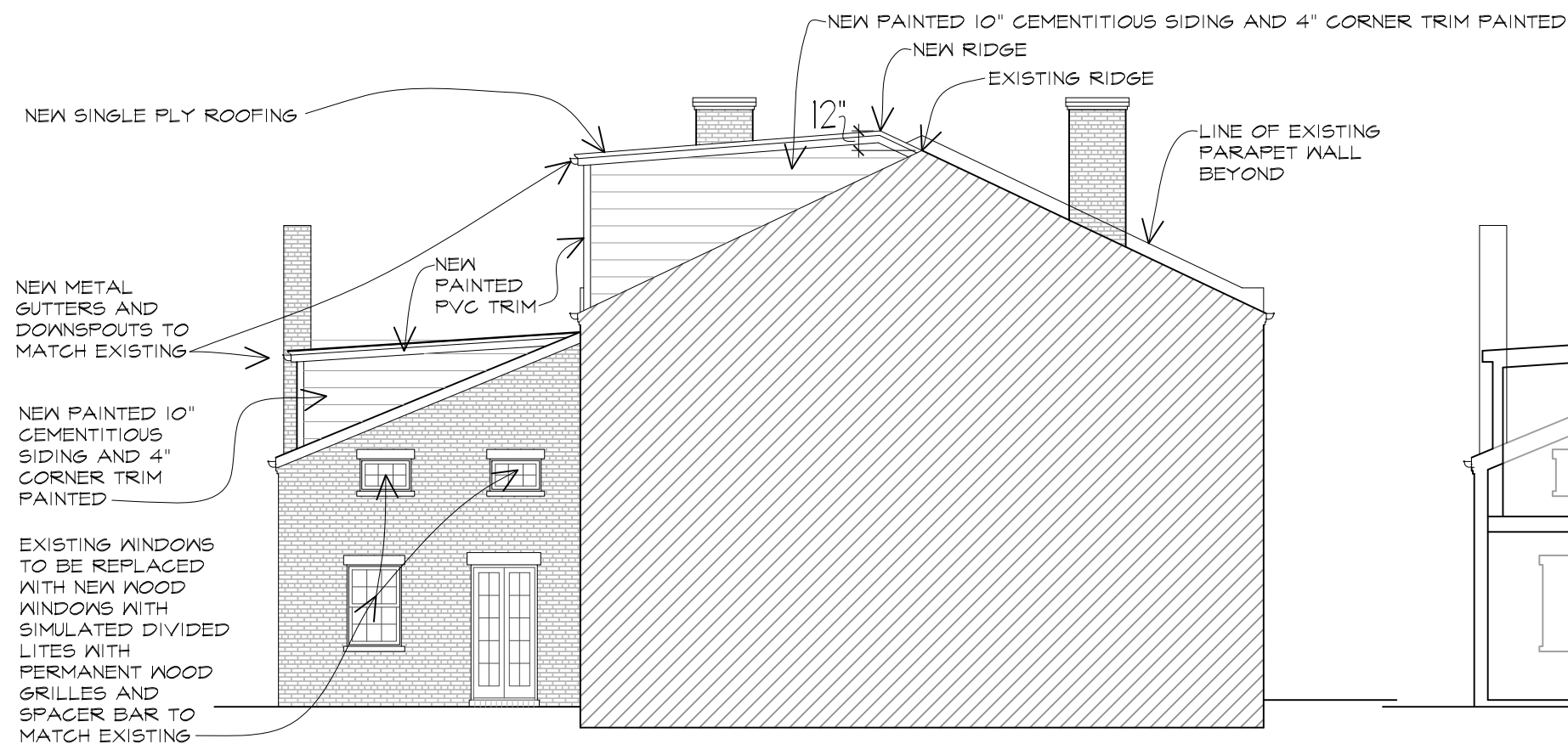
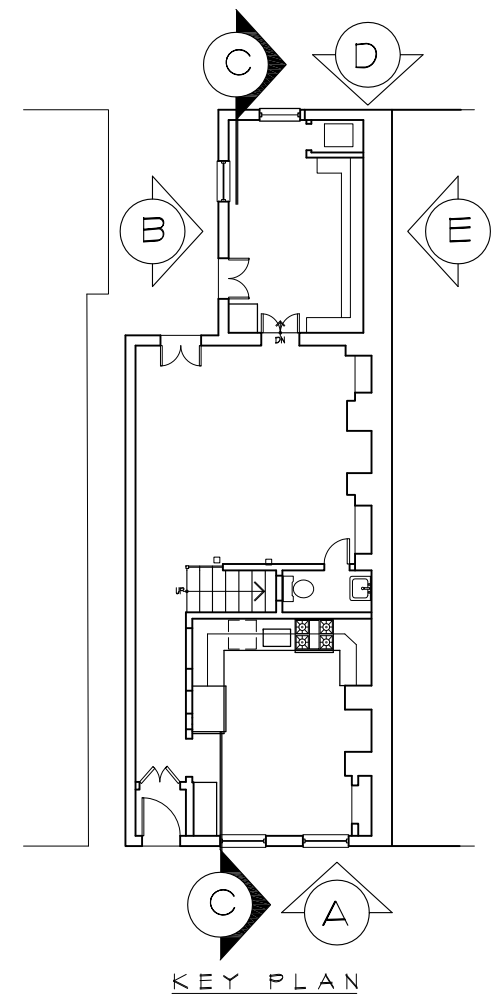
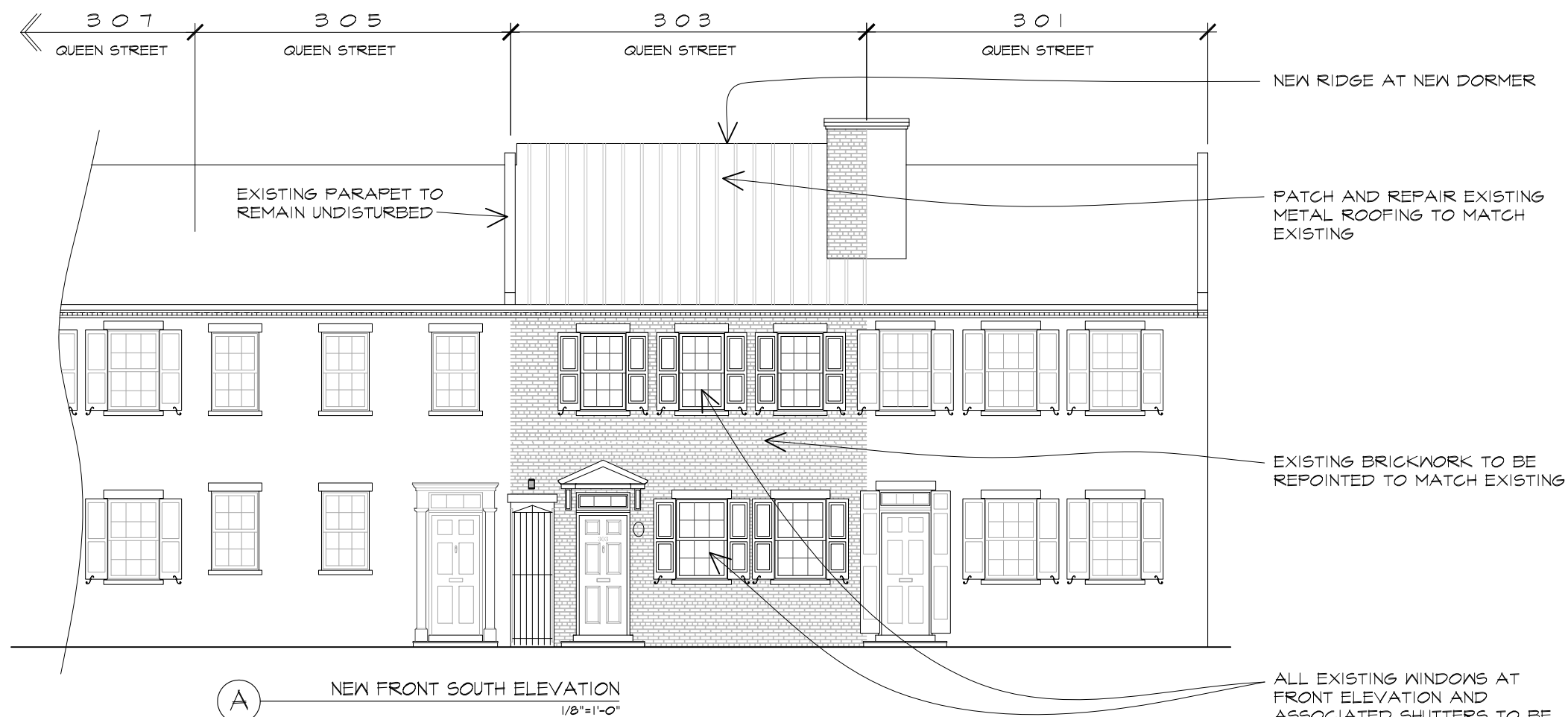
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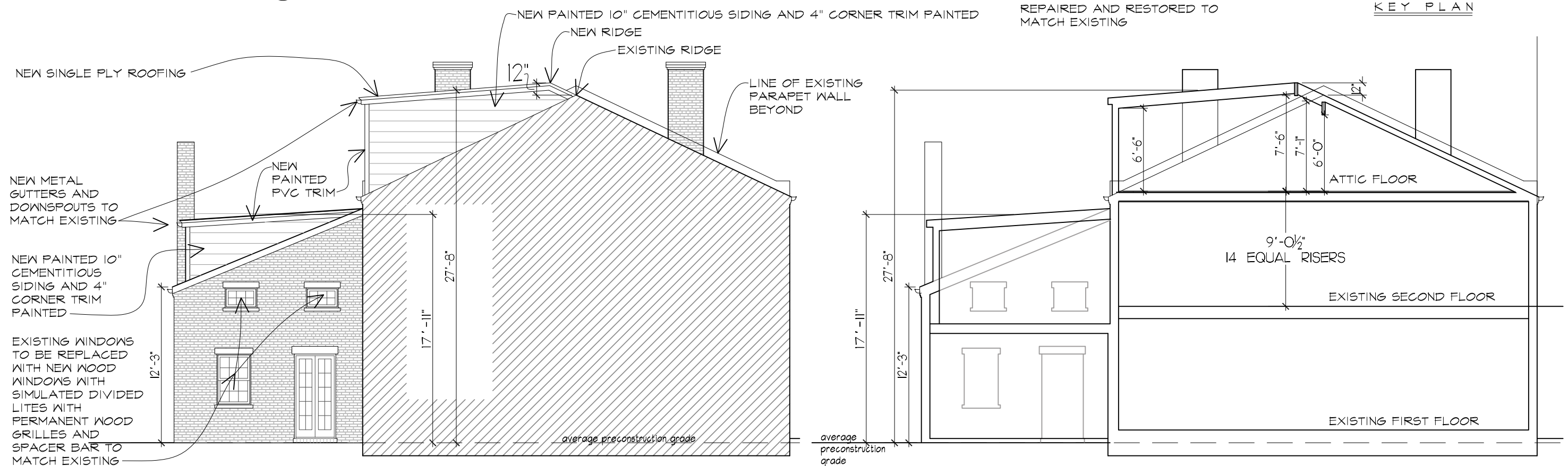
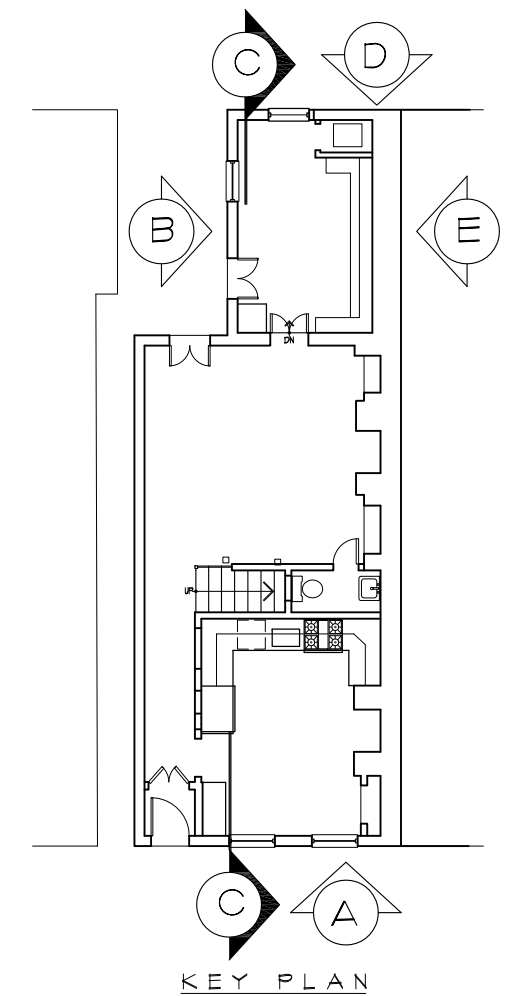
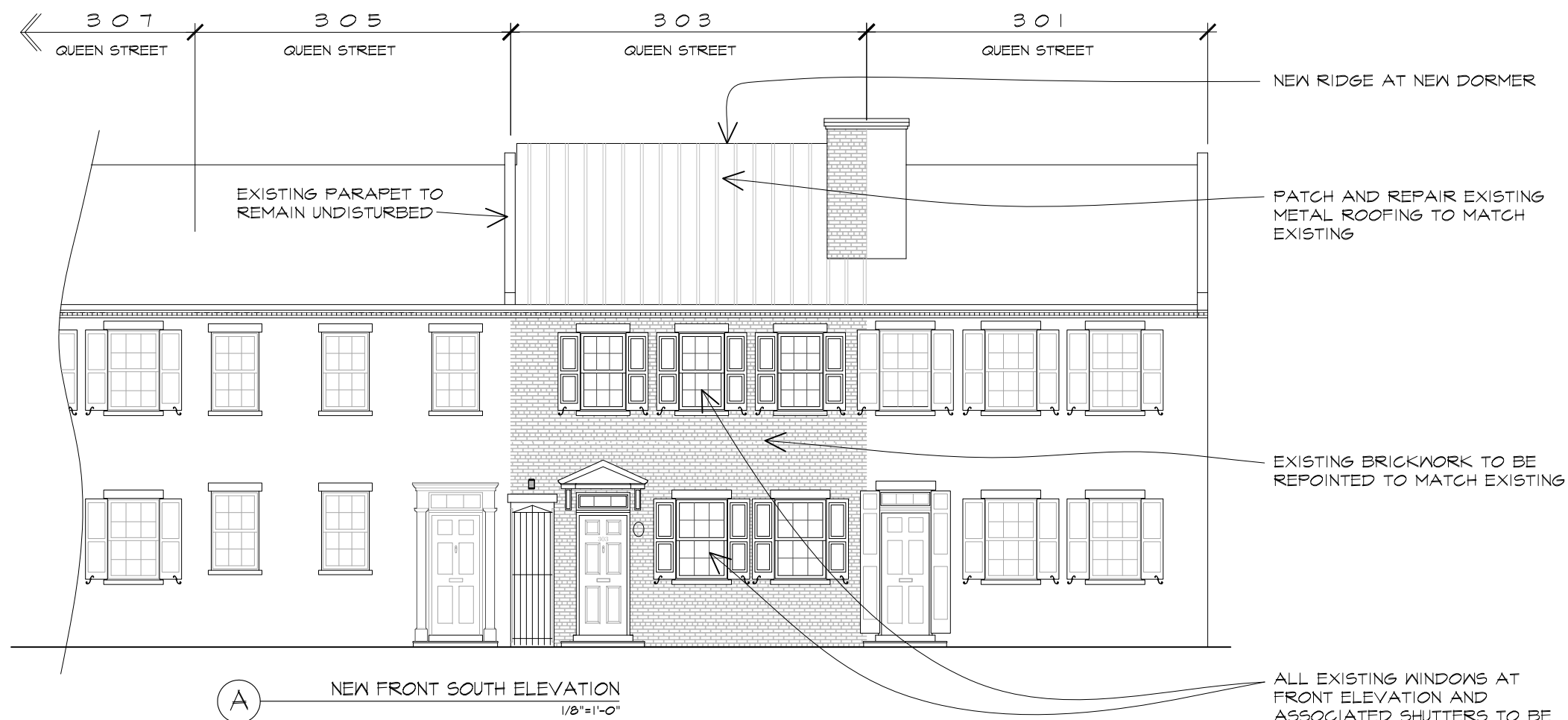


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N E W  
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1/8" = 1'-0"

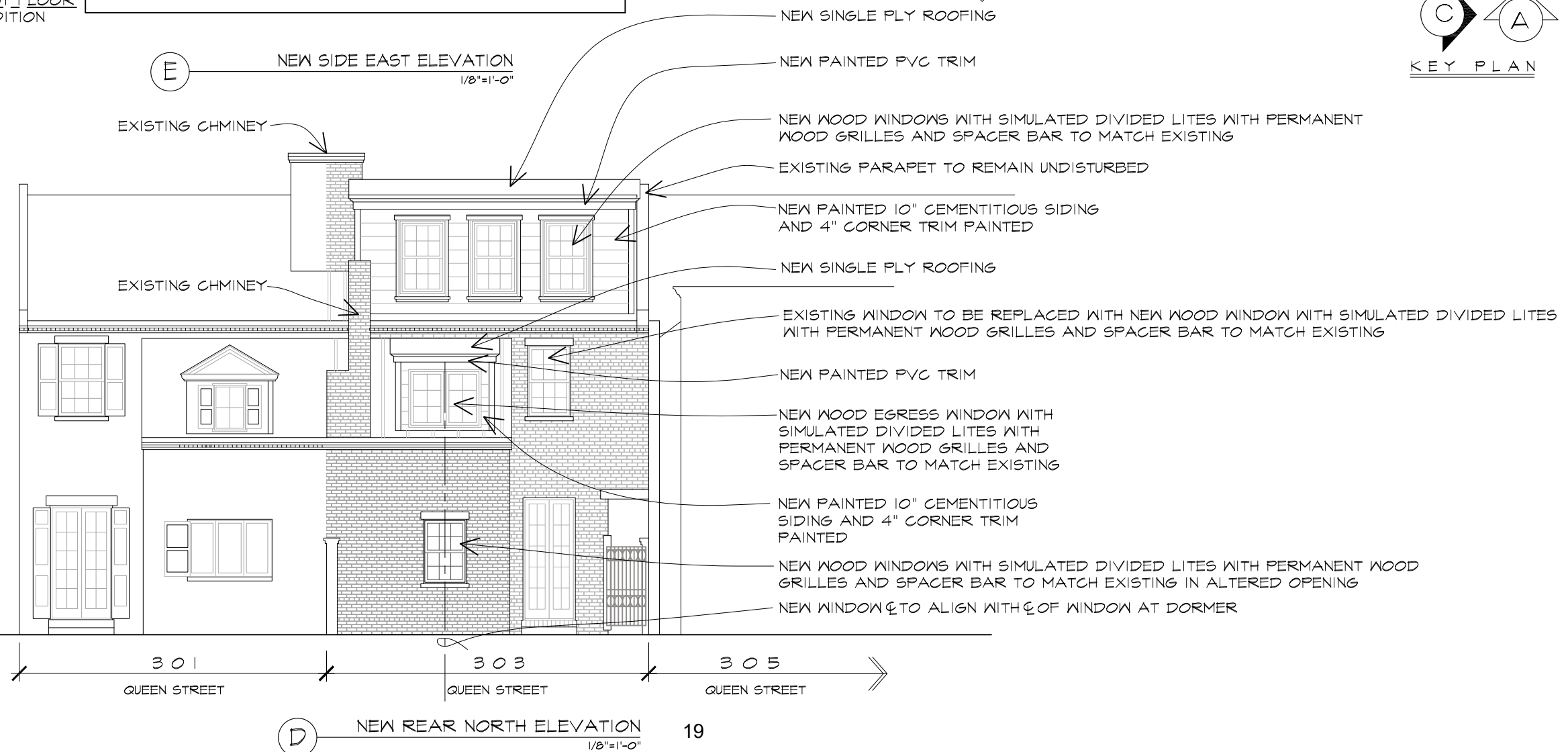
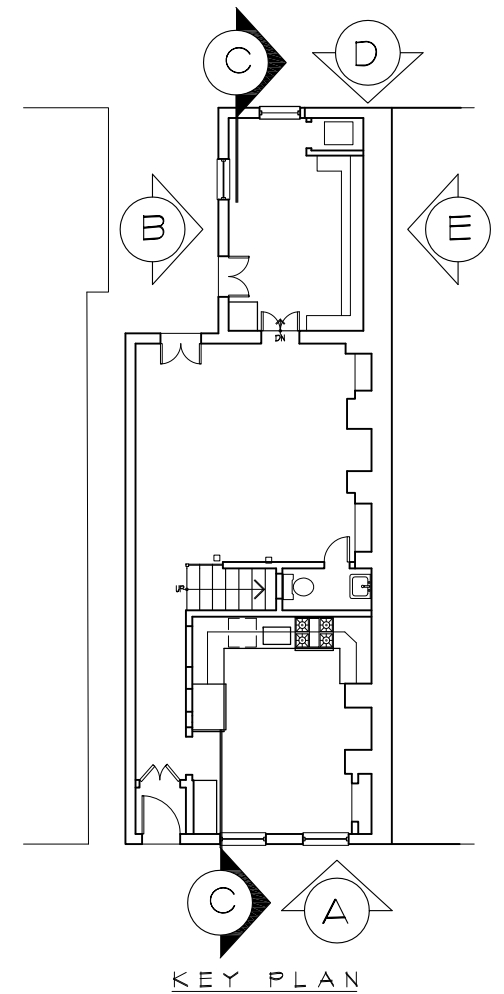
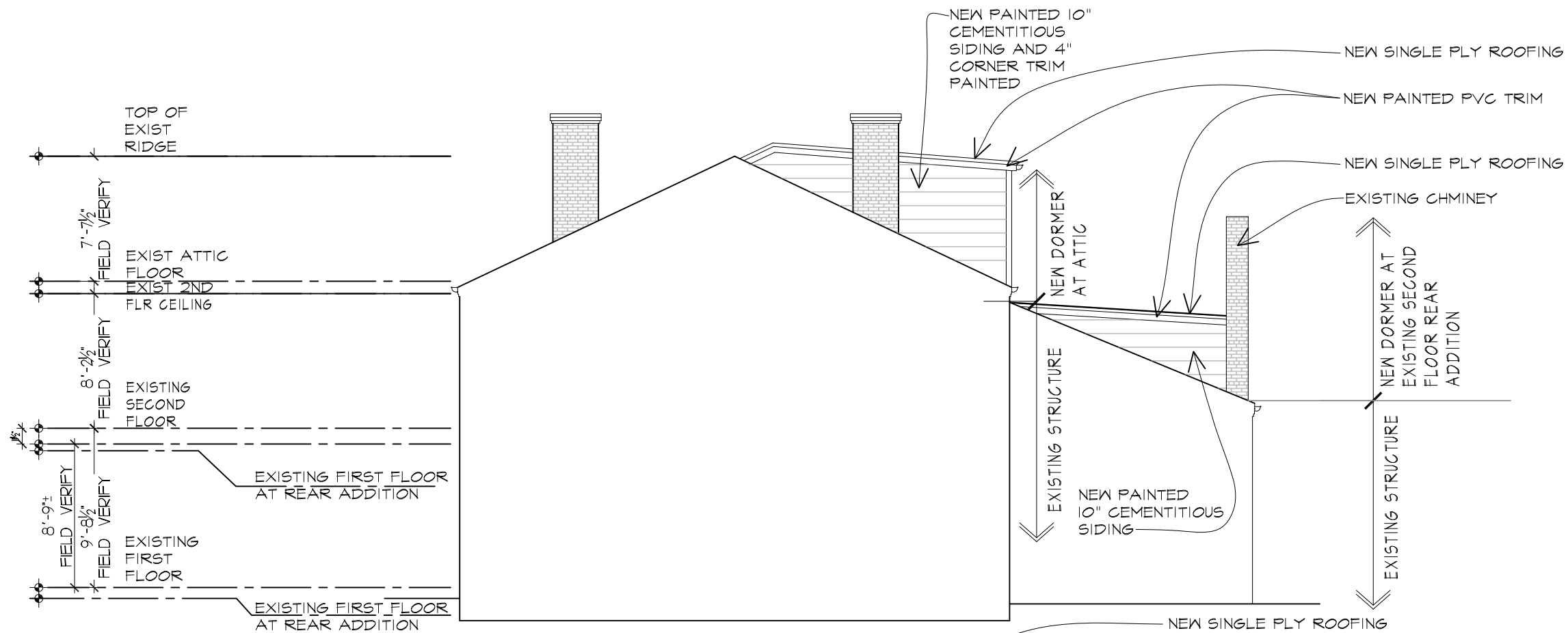




**REVISED**  
3:51 pm, Apr 29, 2025

(B) NEW SIDE WEST ELEVATION  
1/8"=1'-0"

C BUILDING SECTION  
1/8" = 1'-0"



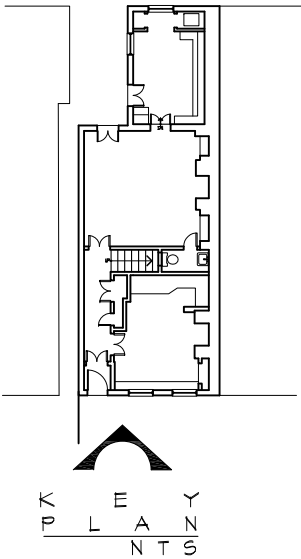




FRONT SOUTH ELEVATION  
303 QUEEN STREET



FRONT SOUTH ELEVATION  
303 QUEEN STREET





301 QUEEN STREET

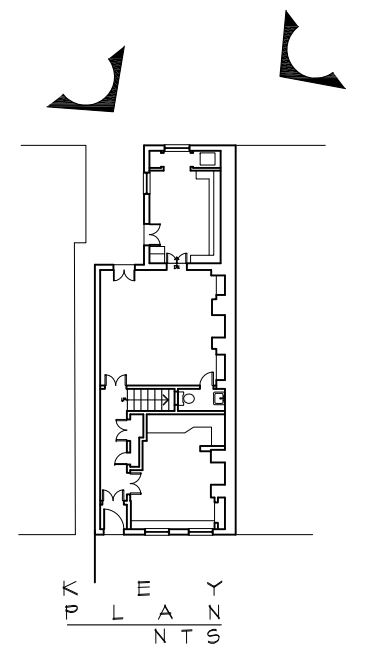
303 QUEEN STREET



SIDE EAST ELEVATION  
303 QUEEN STREET



SIDE WEST/NORTH ELEVATION  
303 QUEEN STREET



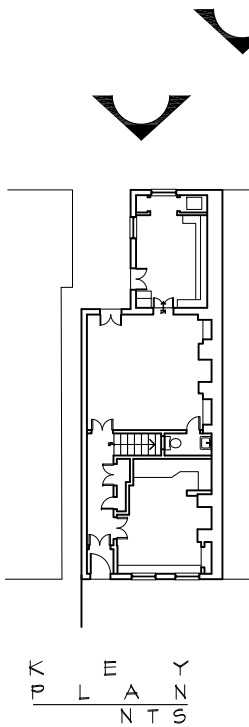


301 QUEEN STREET

303 QUEEN STREET



REAR NORTH ELEVATION  
303 QUEEN STREET



301 QUEEN STREET



REAR NORTH ELEVATION  
303 QUEEN STREET



REAR NORTH ELEVATION  
303 QUEEN STREET



Pella

Architect  
Series®  
Reserve™

Photograph(s)  
© Scott Barrow Photography



Wood Windows and Patio Doors

## Authentically Detailed.

Meticulously designed to replicate the historical millwork process, Pella® Architect Series® Reserve™ offers unparalleled authenticity. Each piece is original, featuring excellent craftsmanship to reflect your project's unique personality and customized to fit your vision.

- A wide range of glazing options as well as HurricaneShield® impact-resistant.
- Divided light options available in Integral Light Technology® grilles, grilles-between-the-glass or wood removable grilles in standard and custom patterns.
- Wide range of historically authentic features and attributes including butt joinery and through stiles
- Two exterior sash profiles are available: Ogee and Putty Glaze.
- Virtually unlimited exterior color options, EnduraClad® protective finish in 27 standard colors plus nearly unlimited custom colors and Anodized finishes.

Insynctive

Available with factory-installed  
integrated security sensors.

## Brand Overview

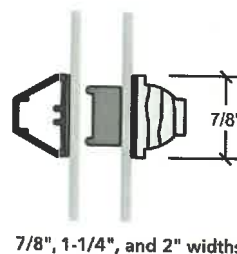
### Grilles

For a full list of grille size and pattern availability contact your local Pella sales representative.

#### Integral Light Technology® Grilles

- Extruded aluminum or wood grilles are adhered to the exterior face
- Wood grilles are adhered to the interior face
- Between-the-glass foam spacers, which are aligned with the interior and exterior grilles, replicate the appearance of true divided lights
- Typical grilles are 7/8" wide putty glazed or ogee profile, other standard and custom widths are available
- Custom grille patterns are available

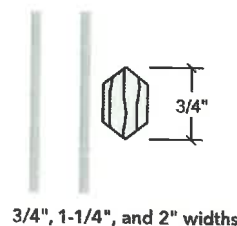
#### Grille Profile



#### Roomside Removable Grilles

- Roomside wood grilles are securely attached to the interior, but can be removed for glass cleaning
- Typical grilles are 3/4" wide, other standard and custom widths and profiles are available

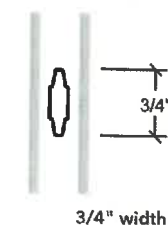
#### Grille Profile



#### Grilles-Between-the-Glass<sup>1</sup>

- Permanent aluminum grilles are factory-installed inside the airspace of insulating glass
- White, Tan<sup>2</sup>, Brown, Putty<sup>2</sup>, Black, Morning Sky Gray, Ivory, Sand Dune, Harvest, Cordovan or Brickstone interior.
- Grilles are 3/4" wide
- Interior colors complements today's most popular interior finishes; choose a color to coordinate with the window or door frame, or select a contrasting grille color for a one-of-a-kind look

#### Grille Profile



#### Interior GBG Colors



#### Available Patterns

Traditional	9-Lite Prairie	Top Row	Cross	Custom Equally Divided

Pattern availability may vary depending on size of unit.

Custom configurations are also available, for details contact your local Pella sales representative.

<sup>1</sup>) Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

<sup>2</sup>) Tan or Putty Interior GBG colors are available in single-tone (Tan/Tan or Putty/Putty).

## Pella 7/8 grille BAR



7/8" Integral Light Technology  
Grilles



1-1/4" Integral Light Technology  
Grilles



2" Integral Light Technology  
Grilles

### SIMULATED-DIVIDED-LIGHT GRILLES

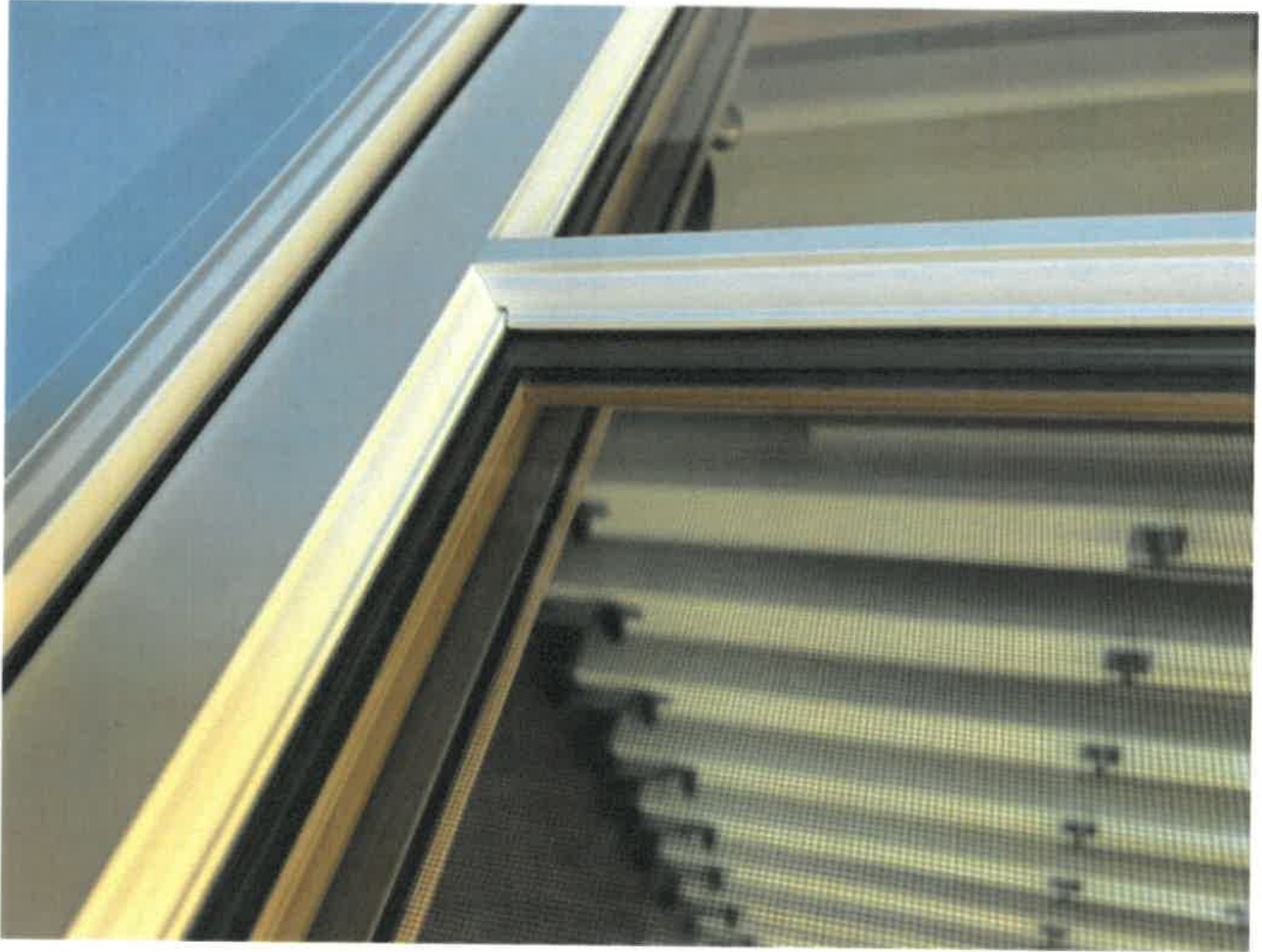
- Grilles are permanently bonded to the inside and outside of the glass
- No spacer between the grilles

**BEST USE:** When you want the traditional look of divided-light windowpanes.



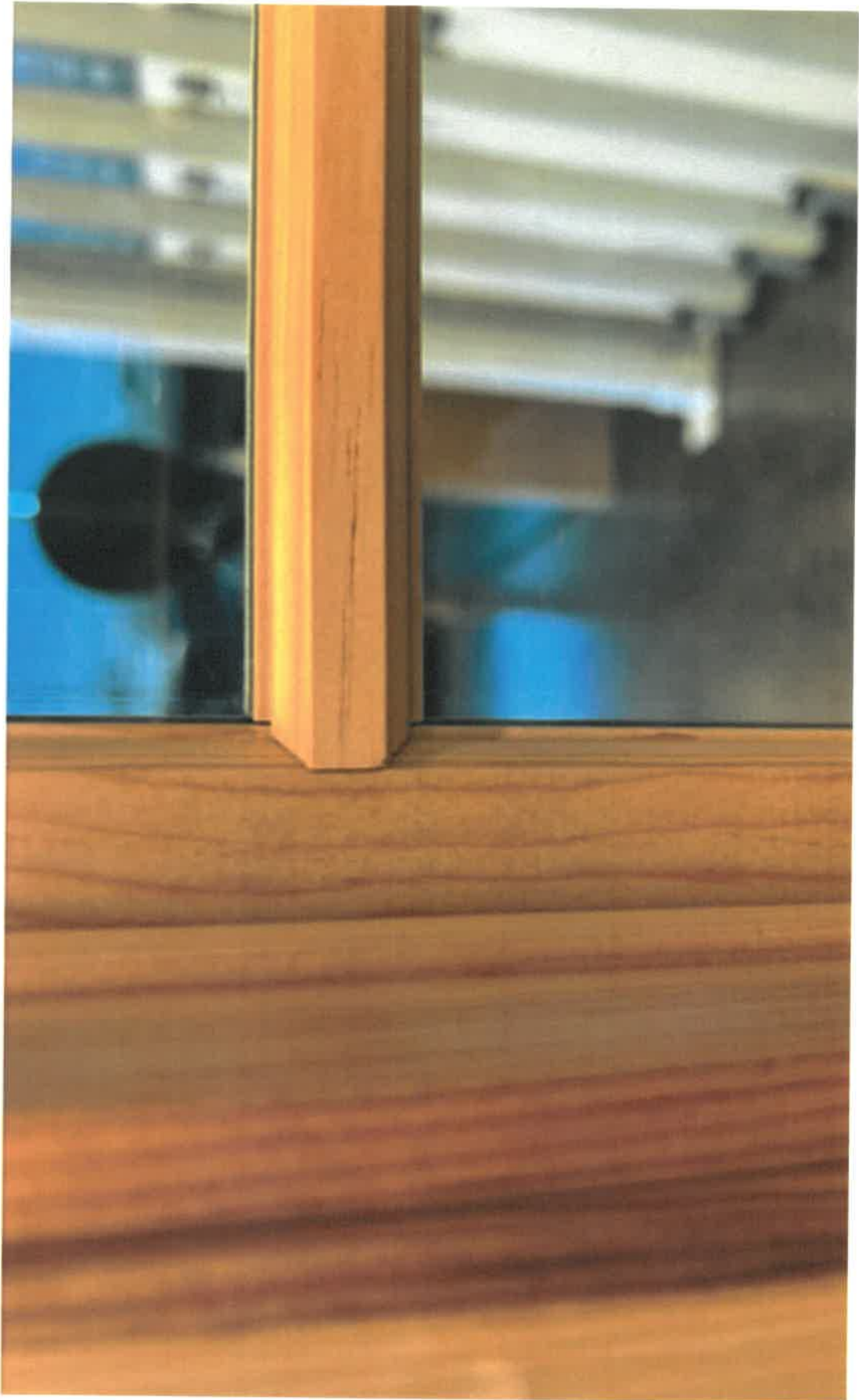


Exterior



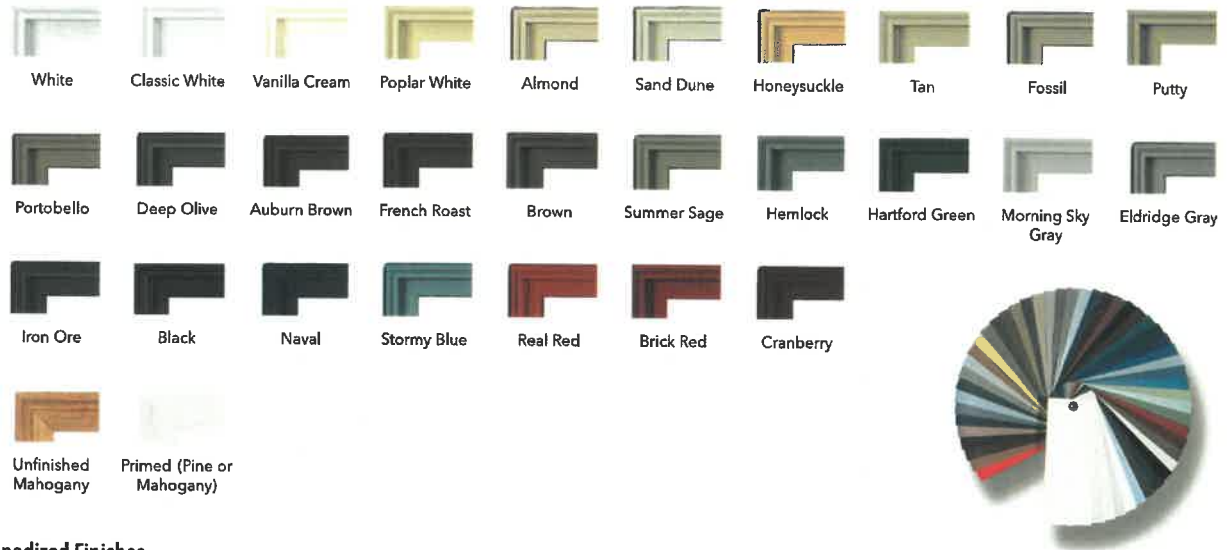
*Side View*

# Interior



## Finishes

### EnduraClad® Protective Finish Standard Colors + Virtually Unlimited Custom Colors and Wood Options



### Anodized Finishes



### Interior Prefinished Colors



## Screens



### Vivid View® Screen

Provides the sharpest view and available as an upgrade on Pella wood windows and patio doors. Allows in 29% more light and is 21% more open to airflow compared to conventional screen. PVDF 21/17 mesh, 78% light transmissive.

### InView™ Screen

Standard screen on Pella wood windows and patio doors, as well as Rolscreen® retractable screens on wood casement windows and Integrated Rolscreen® on Architect Series® Reserve™ single- and double-hung windows.

More transparent than conventional fiberglass, allows 14% more light and is 8% more open to airflow than conventional screen.

Vinyl coated 18/18 mesh fiberglass, Complies with performance requirements of SMA 1201.

### Conventional Screen

Standard on Rolscreen® retractable screens on patio doors.

Black vinyl coated 18/14 mesh fiberglass, Complies with ASTM D 3656 and SMA 1201.

Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

Because of printing and display limitations, actual colors may vary from those shown.



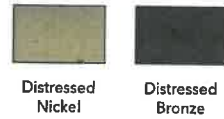
## Hardware

Consult your local Pella Sales Representative for a full list of available hardware options.

### Rustic Collection



### Finishes



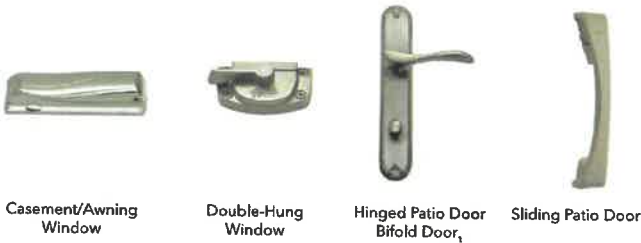
### Classic Collection



### Finishes



### Essential Collection



### Finishes

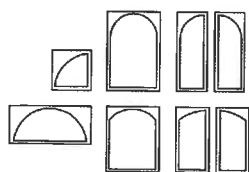


### Finishes



## Custom Capabilities

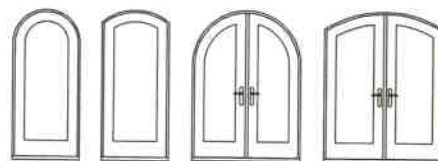
Consult your local Pella Sales Representative for available options.



Custom Glass Shapes Available



Custom Stile and Rail Widths Available



Custom Door Shapes Available

(1) Only available on Bifold configurations with a passage door. (2) Will not allow lead panel to stack completely. Because of printing and display limitations, actual colors may vary from those shown.



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B****A. Property Information**A1. 303 Queen Street  
Street AddressZone RMA2. 1,476 SF x 1.5  
Total Lot Area Floor Area Ratio Allowed by Zone= 2,214 SF  
Maximum Allowable Floor Area**B. Existing Gross Floor Area**Existing Gross Area

Basement 0  
First Floor 706 SF  
Second Floor 861 SF  
Third Floor 0  
Attic (<7'-0") 861 SF  
Porches 0  
Balcony/Deck 0  
Lavatory\*\*\* 100 SF  
Other\*\* Shed 144 SF

Allowable Exclusions\*\*

Basement\*\* 0  
Stairways\*\* 72 SF  
Mechanical\*\* 10.5 SF  
Attic less than 7'\*\*\* 861 SF  
Porches\*\*  
Balcony/Deck\*\*  
Lavatory\*\*\* 100 SF  
Other\*\*  
Other\*\*

B1. 2,672 Sq. Ft.  
Existing Gross Floor Area\*B2. 1,043.5 Sq. Ft.  
Allowable Floor Exclusions\*\*B3. 1,628.5 Sq. Ft.  
Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross2,672 SFB2. Total Exclusions1,043.5**C. Proposed Gross Floor Area**Proposed Gross Area

Basement  
First Floor  
Second Floor  
Third Floor 316 SF  
Attic  
Porches  
Balcony/Deck  
Lavatory\*\*\*  
Other

Allowable Exclusions\*\*

Basement\*\*  
Stairways\*\* 57 SF  
Mechanical\*\*  
Attic less than 7'\*\*\*  
Porches\*\*  
Balcony/Deck\*\*  
Lavatory\*\*\* 35 SF  
Other\*\*  
Other\*\*

C1. 316 Sq. Ft.  
Proposed Gross Floor Area\*C2. 92 Sq. Ft.  
Allowable Floor Exclusions\*\*C3. 224 Sq. Ft.  
Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)C1. Total Gross316 SFC2. Total Exclusions92 SF**D. Total Floor Area**D1. 1,828.5 Sq. Ft.  
Total Floor Area (add B3 and C3)D2. 2,214 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)**E. Open Space**E1. 1005 Sq. Ft.  
Existing Open SpaceE2. 441 Sq. Ft.  
Required Open SpaceE3. 1,005 Sq. Ft.  
Proposed Open Space**Notes**

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Robert B. AdamsDate: 4/8/25