

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Scott C. Humphrey

LOCATION: Old and Historic Alexandria District
1250 South Washington Street, Unit 219

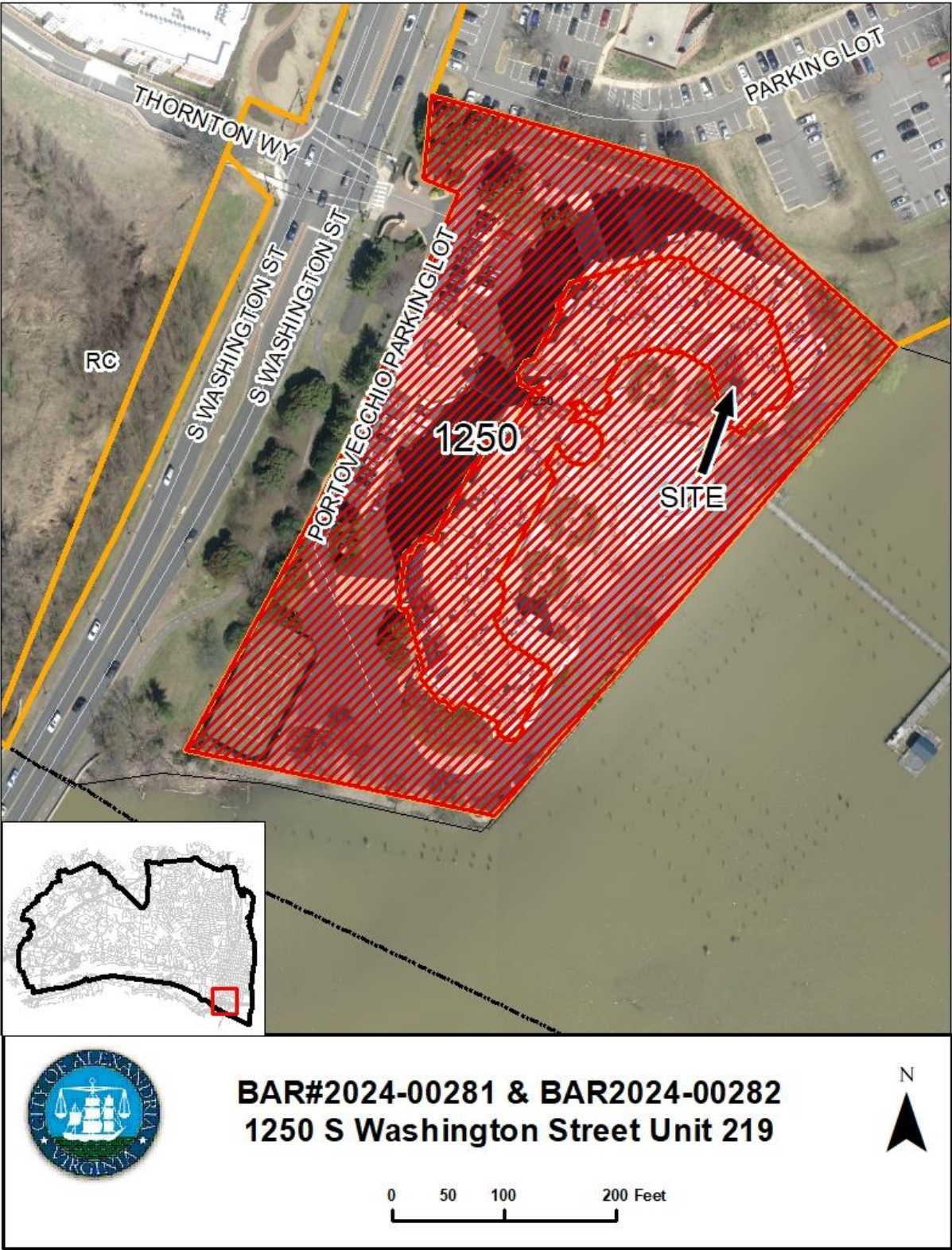
ZONE: RC/High density apartment zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2024-00282) and Certificate of Appropriateness (BAR #2024-00281) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enclose a balcony at 1250 South Washington Street, Unit 219.

Site context

The condominium complex sits between the Potomac River and the George Washington Memorial Parkway. Unit 219 is on the river side of the building, facing south and overlooking the pool. It will therefore be minimally visible from any public right of way. See Figure 1.



Figure 1: Location of Unit 219

II. HISTORY

The Porto Vecchio condominium complex was built in **1983/84**, prior to the 1984 expansion of the Old and Historic Alexandria District, when this area became part of the district. Developer Guiseppe Cecchi, founder of IDI Group Companies and best known for his development of Watergate and his transformation of Parkfairfax, built the complex. Although staff did not locate a specific building permit for this property, a 1984 elevator permit (#5002) and a 1985 permit to demolish the temporary sales building (#1669) support the 1983/84 construction period.

Previous BAR Approvals

The site has received close to 100 administrative approvals since its construction. Most are for elements such as window and door replacement, concrete repairs, and antennae. Full hearing approvals have all been for balcony enclosures. These include the enclosure of the balcony on unit #406 on 1/4/2012 (BAR2011-00352), unit #705 on 1/6/2009 (BAR2009-00291/292), unit #202 on 8/18/1999, (BAR1999-00128); unit #820 on 8/18/1999, (BAR1999-00129); unit #805 on 6/17/1998 (BAR1998-00082); unit #206 on 3/18/1998, (BAR1998-00031); unit 601 on 3/4/1998 (BAR1998-00020); unit #822 on 6/5/1996 (BAR1996-00125); unit #802 on 8/18/1993 (BAR 1992-00027); and unit #611 on 2/5/1992 (BAR1993-00135). Of the 91 balcony units a total of 85 have been enclosed to date, all approved by the BAR.

Staff found no BAR approvals for Unit #219.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design,	No

	educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	
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The analysis of the standards indicated above relate only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The Porto Vecchio complex is quite visible from the George Washington Memorial Parkway; however, the encapsulation of this balcony will have no impact on its appropriateness or compatibility with the district, especially because it is located on the river side of the building.

Certificate of Appropriateness

The building has a highly distinctive architectural design, but this design bears no relationship to the architecture or character of the historic district. It is located at the southern edge of the district and has no historic structures nearby. As noted above, of the 91 balcony units a total of 85 have been enclosed to date. The proposed balcony for Unit 219 will match the existing balconies, with clear non-tinted and non-reflective glass, and aluminum windows and doors with brown anodized exterior color with matching caulk. Figure 2 depicts the subject balcony and two enclosed balconies above.



Figure 2: Unit 219 below two enclosed balconies

Zoning Ordinance section 10-105(A)(2)(e) indicates that the Board should consider “The relation of the features in sections 10-105(A)(2)(a) through (d) to similar features of the preexisting building or structure, if any...” The aforementioned sections refer to the overall architectural style, architectural details, the design and arrangement of buildings and their impact upon the historic setting, and the texture, material, and color of any new architectural features. The proposed balcony enclosure will fully comply with these requirements while definitely relating to the “similar features of the preexisting building...” Because this is one of six non-enclosed balconies on this building, enclosing it will create a better balanced and more harmonious look to the overall structure.

Staff therefore recommends approval of the project.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed conversion of sunroom into conditioned space will comply with zoning.

Code Administration

C-1 Permit is required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria’s Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property

line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No Archaeology comments.

V. ATTACHMENTS

1 – Application Materials

- *Completed application*
- *Plans*
- *Material specifications*
- *Scaled survey plat if applicable*
- *Photographs*

2 – Supplemental Materials

- *Public comment*
- *HOA approval*
- *Any other supporting documentation*

BAR CASE# _____

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 1250 SOUTH WASHINGTON STREET UNIT 219

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 083.03-0A-0219

ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: GREAT DAY IMPROVEMENTS / GERARDO PEREZ

Address: 8436 KAO CIRCLE

City: MANASSAS State: VA Zip: 20110

Phone: 703-944-0530 E-mail: GFPEREZ@LIVE.COM

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ AGENT

Name: GERARDO PEREZ

Phone: 7039440530

E-mail: GFPEREZ@LIVE.COM

Legal Property Owner:

Name: SCOTT HUMPHREY

Address: 1250 SOUTH WASHINGTON STREET UNIT 219

City: ALEXANDRIA State: VA Zip: 22314

Phone: 703-314-0898 E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

WALL FILL TO CREATE A SUNROOM ON EXISTING BALCONY. BRONZE ALUMINUM FRAMING.

"A" WALL 4.67'

"B" WALL 13.5'

"C" WALL 5.75'

SUBMITTAL REQUIREMENTS:

☒ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*


- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: GERARDO PEREZ

Date: 7/5/2024

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. GREAT DAY IMPROVEM	1250 SOUTH WASHINGTON STREET UNIT 219	0%
2. GERARDO PEREZ	1250 SOUTH WASHINGTON STREET UNIT 219	0%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1250 SOUTH WASHINGTON STREET UNIT 219 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SCOTT HUMPHREY	1250 SOUTH WASHINGTON STREET UNIT 219	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/5/2024
Date

GERARDO PEREZ
Printed Name

GERARDO PEREZ 
Signature

ALEXANDRIA CITY COUNTY

MINIMUM DESIGN LOADS: PER 2018 VUSBC / 2018 IRC

SUNROOM CATEGORY II (PER 2018 IRC R301.2.1.1.1
& AAMA / NPEA / NSA 2100)

NOTE: COMPONENTS HAVE BEEN CHECKED
AGAINST DESIGN LOADS SHOWN & FOUND
TO BE ACCEPTABLE STRUCTURALLY

DEAD LOADS: WALLS: 6 PSF

SNOW LOADS: GROUND SNOW LOAD 30 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

DEFLECTION LIMITS: WALLS: L/175

THIS THERMALLY ISOLATED SUNROOM IS
UNCONDITIONED AND NOT HABITABLE

NOTE: THE P.E. STAMP ON THESE DRAWINGS ADDRESS
ONLY THE GDI MANUFACTURED COMPONENTS, & THE
ANCHORAGE OF THESE COMPONENTS TO THE EXISTING
STRUCTURE.


NOTES:

1. ALLVIEW (CA5) SUNROOM; BRONZE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING BALCONY
3. ELECTRICAL BY GDI
4. CONCRETE
 - A) CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - B) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR FLOORS AND EXPOSED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AND 5% TO 7% AIR ENTRAINMENT.
5. WOOD
 - A) MATERIALS - FRAMING LUMBER
 - i) WOOD POSTS: NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - ii) 2x8, 2x10, 2x12 NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - B) WOOD MEMBERS SHALL BE PRESSURE-TREATED FOR THE FOLLOWING CONDITIONS:
 - i) IN DIRECT CONTACT WITH THE GROUND
 - ii) SILLS OR PLATES ON CONCRETE WITHIN 8" OF FINISHED GRADE
 - iii) JOISTS AND SUBFLOORS WITHIN 18" OF FINISH GRADE AND BEAMS WITHIN 12" OF FINISH GRADE
 - iv) EXPOSED EXTERIOR DECKS
 - C) FASTENERS
ALL FASTENERS AND HARDWARE USED TO CONNECT TO PRESSURE TREATED WOOD MEMBERS SHALL EITHER BE 304 OR 316 STAINLESS STEEL, OR HOT DIPPED GALVANIZED PER ASTM-A653 COATING DESIGNATION G-185 AND ASTM-A153
6. STRUCTURAL ALUMINUM
 - A) ALL EXTRUSIONS SHALL BE COMMERCIAL GRADE ALUMINUM SUPPLIED BY GREAT DAY IMPROVEMENTS, LLC.
 - B) ROOF PANELS SHALL BE 3" OR 6" THICK SUPER FOAM ROOF PANELS FACED WITH A 0.024" ALUMINUM SKIN TOP AND BOTTOM.
7. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2018 IRC SECTION N1102.1, NOTE 1.2)

GREAT DAY IMPROVEMENTS PATIO ENCLOSURES, WASHINGTON HUMPHREY RESIDENCE

SHEET #	DESCRIPTION
1	COVER
2	ELEVATION "A" & "B" & "C" WALL
3	ELECTRICAL PLAN
4	FLOOR PLAN
5	SYSTEM DETAILS

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James A Clancy
Reason: I am the
author of this
document
Date: 2024.04.24
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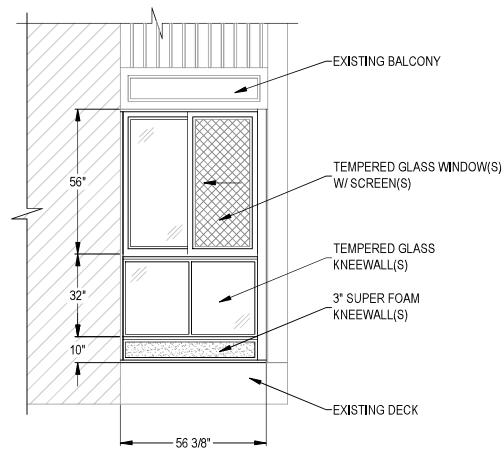
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SCALE	NTS	-	-
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SCOTT HUMPHREY
1250 SOUTH WASHINGTON STREET UNIT 219
ALEXANDRIA, VA 22314
JOB #38784

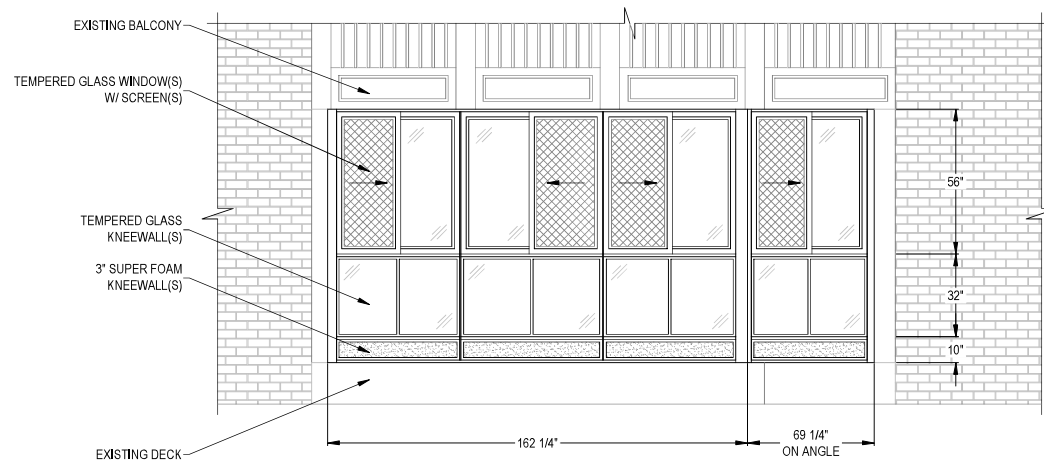
WASHINGTON
8436 KAO CIRCLE
MANASSAS, VA 20110
703-690-2000



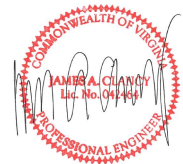
JAMES A. CLANCY, P.E., L.S.
VA. PROFESSIONAL ENGINEER
(VA. LIC. #42464)
601 ASBURY AVENUE
NATIONAL PARK, NJ 08063
PH. # 856-853-7306



ELEVATION - "A" WALL
(RAILING NOT SHOWN FOR CLARITY)



ELEVATION - "B" & "C" WALL
(COLUMNS & RAILING NOT SHOWN FOR CLARITY)



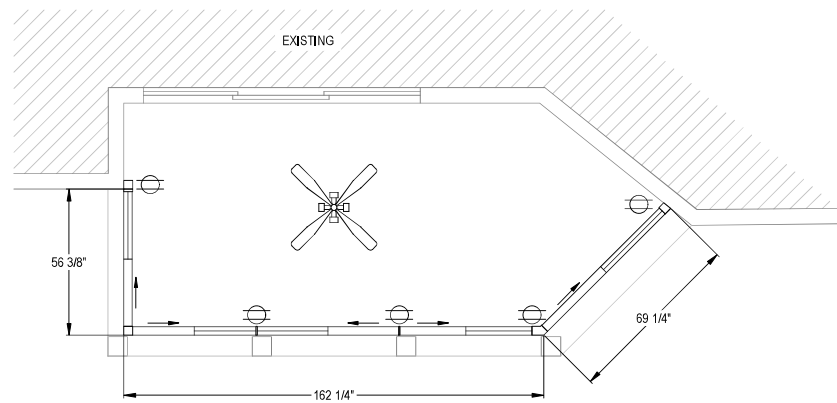
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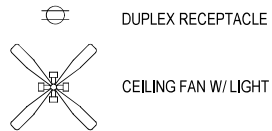


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PH. # 856-853-7306



ELECTRICAL PLAN

GDI ELECTRICAL SYMBOL LEGEND



DUPLEX RECEPTACLE

CEILING FAN W/ LIGHT



DATE	4/15/24	REV. A	4/19/24
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SHEET	3 OF 5	-	

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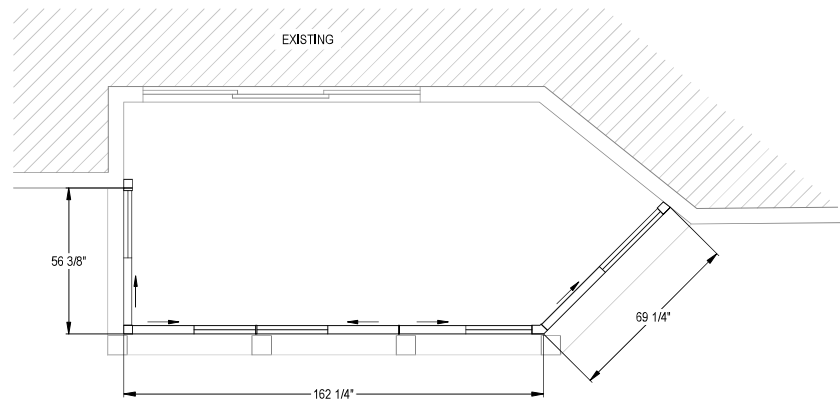
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ENGINEER'S STAMP APPLIES TO
SUNROOM STRUCTURE ONLY;
ELECTRICAL BY OTHERS

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC. AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



FLOOR PLAN



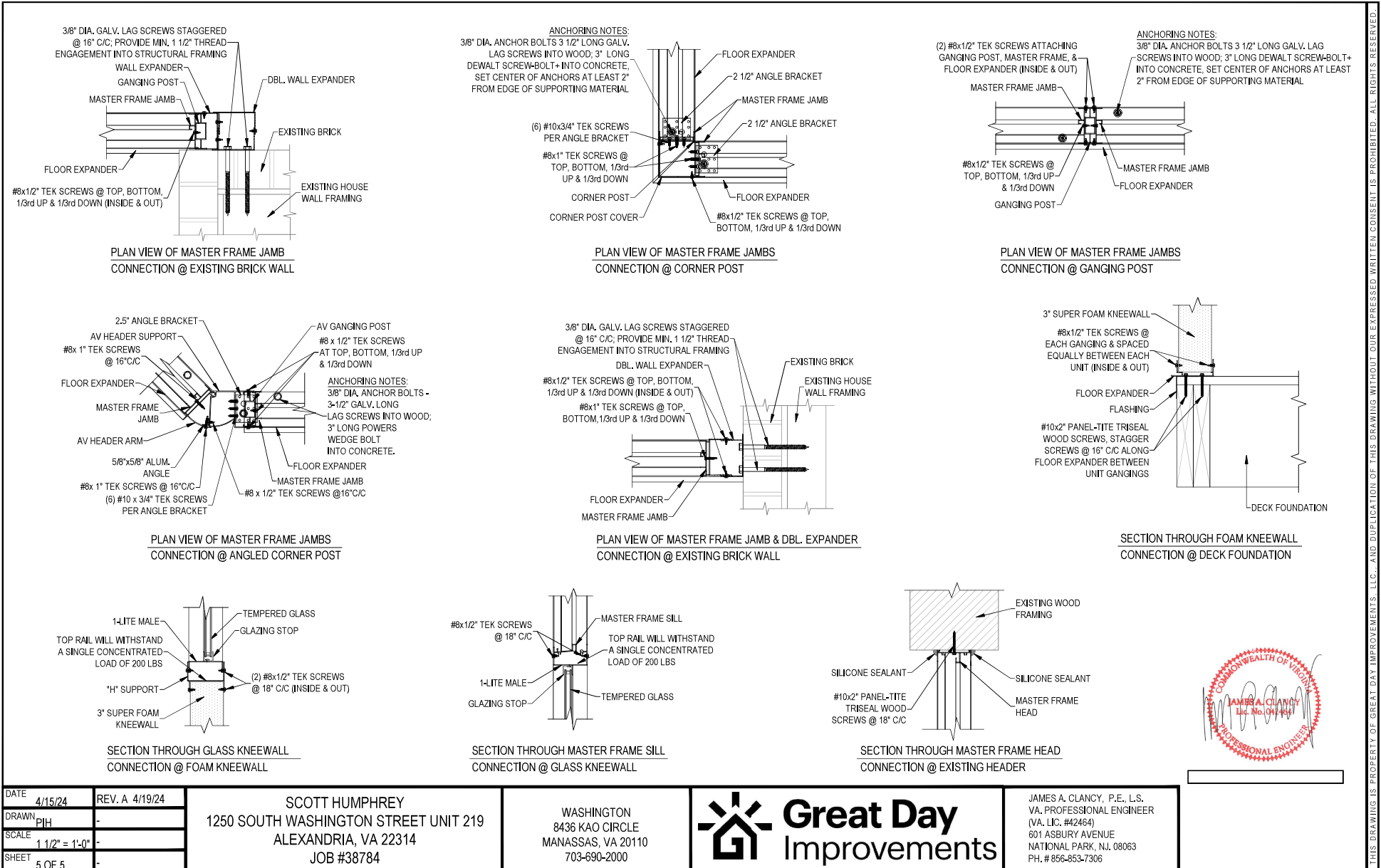
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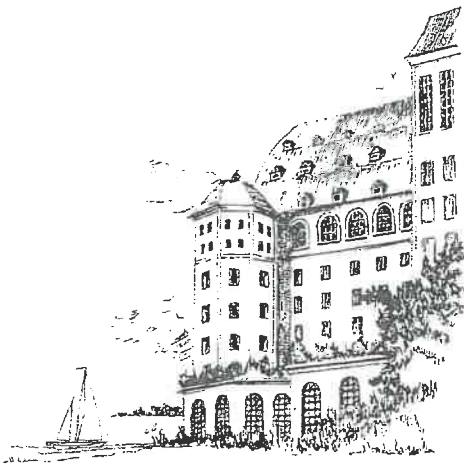
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Porto Vecchio

CONDOMINIUM UNIT OWNERS ASSOCIATION

June 17, 2024

Scott Humphrey
1250 S Washington Street
Unit 219
Alexandria, VA 22314

Re: Request to enclose balcony in Unit 219

Dear Mr. Humphrey

This letter will confirm that the Porto Vecchio Board of Directors approved your request to enclose the balcony on unit 219. The approval is granted with the explicit understanding that there will be no change to the exterior aesthetic appearance of the building and that the established condominium window standard must be maintained. All replacement windows and doors must be aluminum with a brown anodized exterior color with a matching caulk. In addition, the tint on the glass must be clear; no other color tint or reflective coating is permissible. The replacement of enclosed balcony windows and doors may be configured with fixed or operable panels, however the coupling members (center stile where the two panes of glass meet) must be hidden behind existing columns. This is contingent upon the submission of the applicable permits and approval of said project by the City of Alexandria Board of Architectural Review.

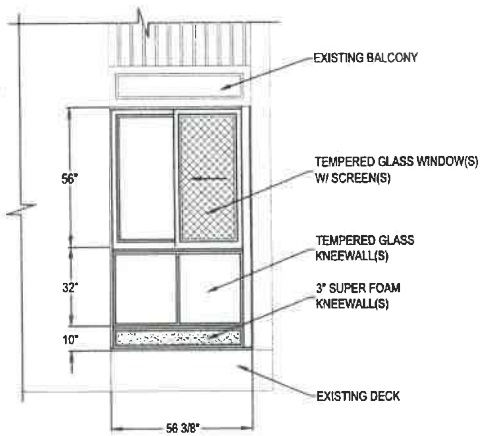
Sincerely,

A handwritten signature in blue ink, appearing to read "Kirk Bowen", with a long horizontal flourish extending to the right.

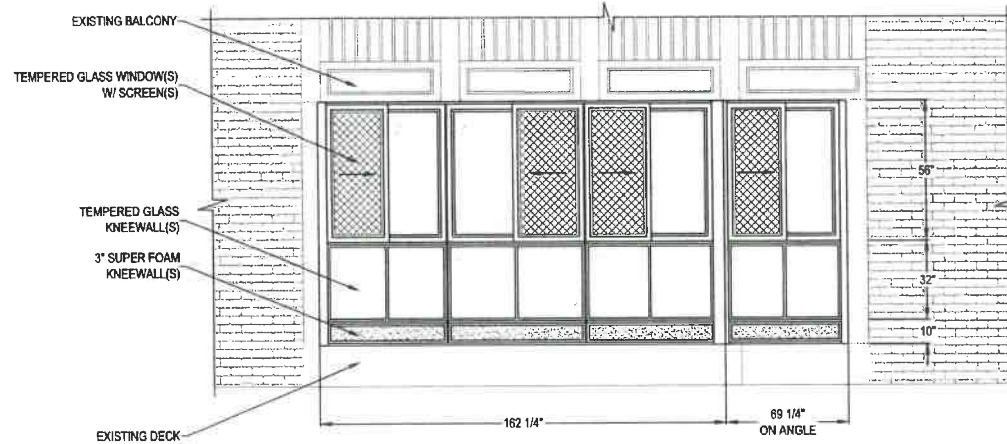
Kirk Bowen, CMCA, AMS
General Manager
Porto Vecchio Condominiums
1250 S. Washington Street
Alexandria, VA 22314
703-684-4721 (direct)

cc. Stephen Conrad- Patio Enclosures





ELEVATION - "A" WALL
(RAILING NOT SHOWN FOR CLARITY)



ELEVATION - "B" & "C" WALL
(COLUMNS & RAILING NOT SHOWN FOR CLARITY)

COMMONWEALTH OF VIRGINIA
JAMES A. CLANCY
P.E., L.S.
PROFESSIONAL ENGINEER

SIGNATURE DATE: 4/24/24

DATE 4/15/24
DRAWN PIH
SCALE 1/4" = 1'-0"
SHEET 2 OF 5

REV. A 4/19/24

SCOTT HUMPHREY
1250 SOUTH WASHINGTON STREET UNIT 219
ALEXANDRIA, VA 22314
JOB #38784

WASHINGTON
8436 KAO CIRCLE
MANASSAS, VA 20110
703-690-2000

 **Great Day**
Improvements

JAMES A. CLANCY, P.E., L.S.
VA. PROFESSIONAL ENGINEER
(VA. LIC. #42464)
601 ASBURY AVENUE
NATIONAL PARK, N.J. 08063
PH. # 856-853-7306

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ALEXANDRIA CITY COUNTY

MINIMUM DESIGN LOADS: PER 2018 VUSBC / 2018 IRC

SUNROOM CATEGORY II (PER 2018 IRC R301.2.1.1.1
& AAMA / NPEA / NSA 2100)

NOTE: COMPONENTS HAVE BEEN CHECKED
AGAINST DESIGN LOADS SHOWN & FOUND
TO BE ACCEPTABLE STRUCTURALLY

DEAD LOADS: WALLS: 6 PSF

SNOW LOADS: GROUND SNOW LOAD 30 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

DEFLECTION LIMITS: WALLS: L/175

THIS THERMALLY ISOLATED SUNROOM IS
UNCONDITIONED AND NOT HABITABLE

NOTE: THE P.E. STAMP ON THESE DRAWINGS ADDRESS
ONLY THE GDI MANUFACTURED COMPONENTS, & THE
ANCHORAGE OF THESE COMPONENTS TO THE EXISTING
STRUCTURE.

NOTES:

1. ALLVIEW (CA5) SUNROOM; BRONZE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING BALCONY
3. ELECTRICAL BY GDI
4. CONCRETE
 - A) CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - B) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR FLOORS AND EXPOSED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AND 5% TO 7% AIR ENTRAINMENT.
5. WOOD
 - A) MATERIALS - FRAMING LUMBER
 - i) WOOD POSTS: NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - ii) 2x8, 2x10, 2x12 NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - B) WOOD MEMBERS SHALL BE PRESSURE-TREATED FOR THE FOLLOWING CONDITIONS:
 - i) IN DIRECT CONTACT WITH THE GROUND
 - ii) SILLS OR PLATES ON CONCRETE WITHIN 8" OF FINISHED GRADE
 - iii) JOISTS AND SUBFLOORS WITHIN 18" OF FINISH GRADE AND BEAMS WITHIN 12" OF FINISH GRADE
 - iv) EXPOSED EXTERIOR DECKS
 - C) FASTENERS
ALL FASTENERS AND HARDWARE USED TO CONNECT TO PRESSURE TREATED WOOD MEMBERS SHALL EITHER BE 304 OR 316 STAINLESS STEEL, OR HOT DIPPED GALVANIZED PER ASTM-A653 COATING DESIGNATION G-185 AND ASTM-A153
6. STRUCTURAL ALUMINUM
 - A) ALL EXTRUSIONS SHALL BE COMMERCIAL GRADE ALUMINUM SUPPLIED BY GREAT DAY IMPROVEMENTS, LLC.
 - B) ROOF PANELS SHALL BE 3" OR 6" THICK SUPER FOAM ROOF PANELS FACED WITH A 0.024" ALUMINUM SKIN TOP AND BOTTOM.
7. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2018 IRC SECTION N1102.1, NOTE 1.2)

GREAT DAY IMPROVEMENTS PATIO ENCLOSURES, WASHINGTON HUMPHREY RESIDENCE

SHEET #	DESCRIPTION
1	COVER
2	ELEVATION "A" & "B" & "C" WALL
3	ELECTRICAL PLAN
4	FLOOR PLAN
5	SYSTEM DETAILS

DATE	4/15/24	REV. A	4/19/24
DRAWN	PIH	-	-
SCALE	NTS	-	-
SHEET	1 OF 5	-	-

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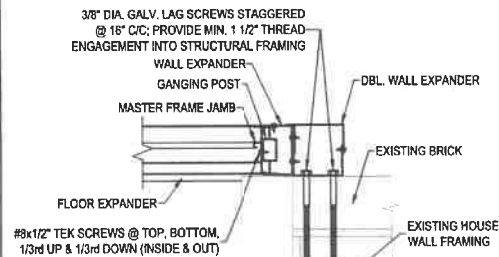
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PH. # 856-853-7306

Digitally signed by
James A Clancy
Reason: I am the
author of this
document
Date: 2024.04.24
14:06:09 -04'00'

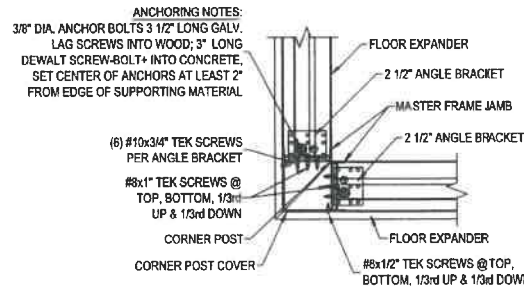


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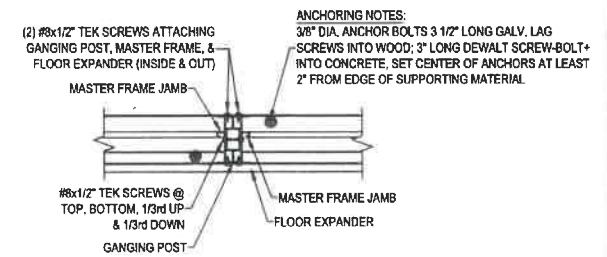
57A 428 1768



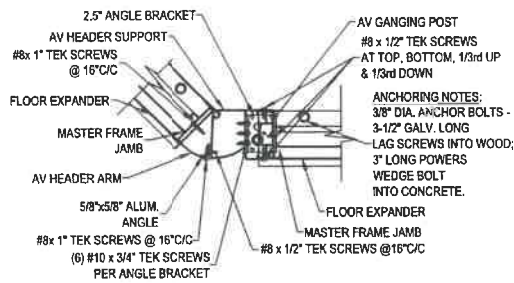
PLAN VIEW OF MASTER FRAME JAMB
CONNECTION @ EXISTING BRICK WALL



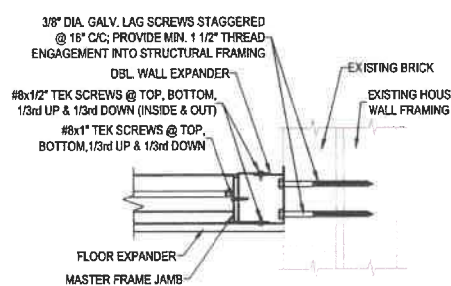
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ CORNER POST



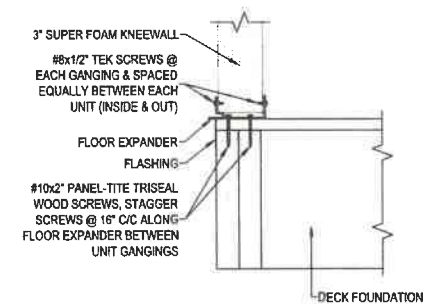
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ GANGING POST



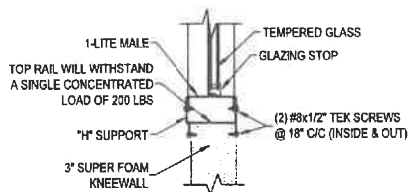
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ ANGLED CORNER POST



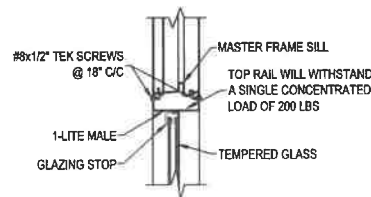
PLAN VIEW OF MASTER FRAME JAMB & DBL. EXPANDER
CONNECTION @ EXISTING BRICK WALL



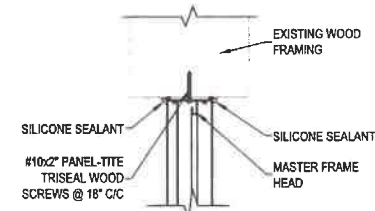
SECTION THROUGH FOAM KNEEWALL
CONNECTION @ DECK FOUNDATION



SECTION THROUGH GLASS KNEEWALL
CONNECTION @ FOAM KNEEWALL



SECTION THROUGH MASTER FRAME SILL
CONNECTION @ GLASS KNEEWALL



SECTION THROUGH MASTER FRAME HEAD
CONNECTION @ EXISTING HEADER



SIGNATURE DATE: 4/24/24

DATE	4/15/24	REV. A	4/19/24
DRAWN	PIH		
SCALE	1 1/2" = 1'-0"		
SHEET	5 OF 5		

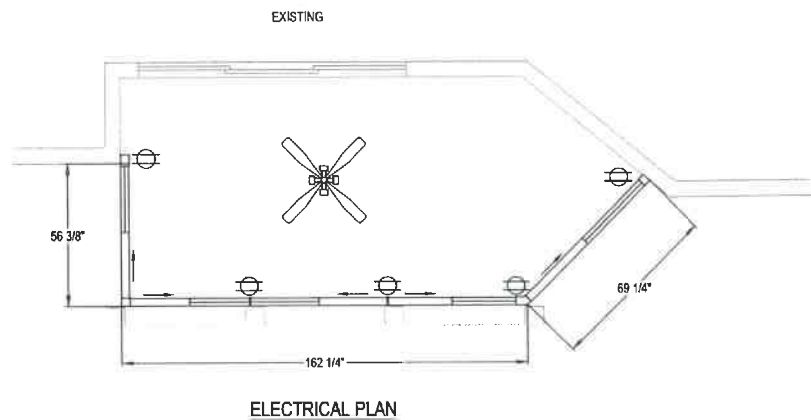
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GDI ELECTRICAL SYMBOL LEGEND	
	DUPLEX RECEPTACLE
	CEILING FAN W/ LIGHT



SIGNATURE DATE: 4/24/24

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DRAWN	PIH		
SCALE	1/4" = 1'-0"		
SHEET	3 OF 5		

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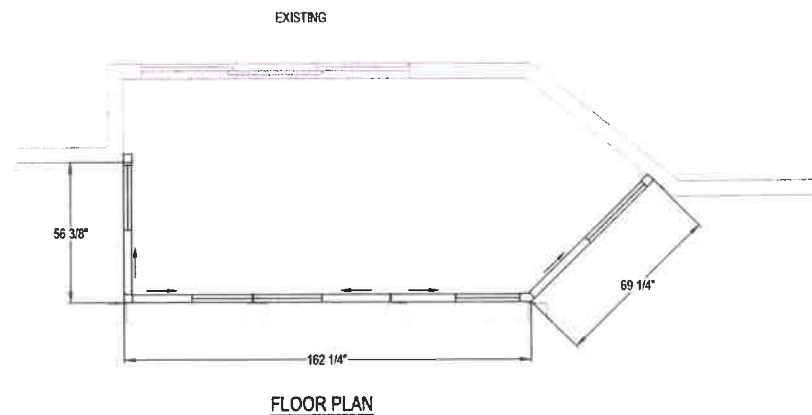
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ENGINEER'S STAMP APPLIES TO
SUNROOM STRUCTURE ONLY;
ELECTRICAL BY OTHERS

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DATE	4/15/24	REV. A	4/19/24
DRAWN	PH	-	
SCALE	1/4" = 1'-0"	-	
SHEET	4 OF 5	-	

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Fw: Humphrey Photos and statement.

G Perez <gfperez@live.com>

Fri 8/16/2024 12:36 PM

To:G Perez <gfperez@live.com>

Hello,

Here are the requested information for your review.

The question about the knee wall or solid panel at the base of the wall is a bronze 3" foam wall and probably won't be seen from the outside because of the existing handrail configuration. This will be bronze colored as the rest of the framing is bronze.

G F Perez

703-944-0530

Permit Coordinator

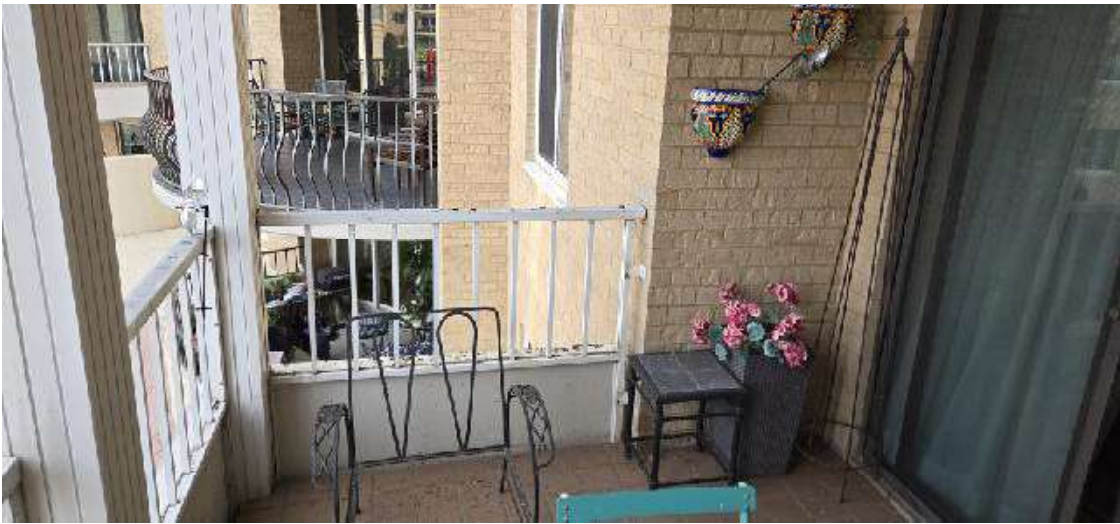




Your Location

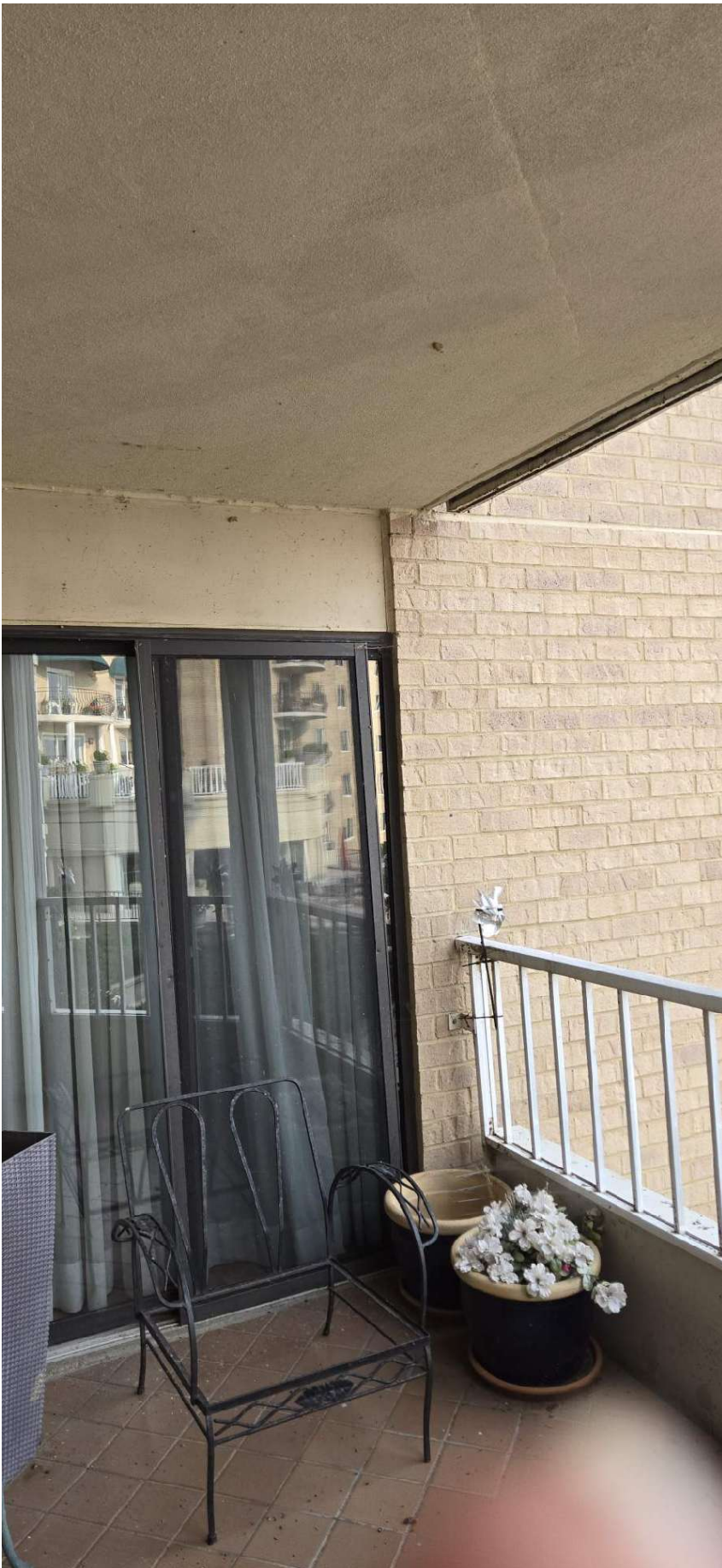


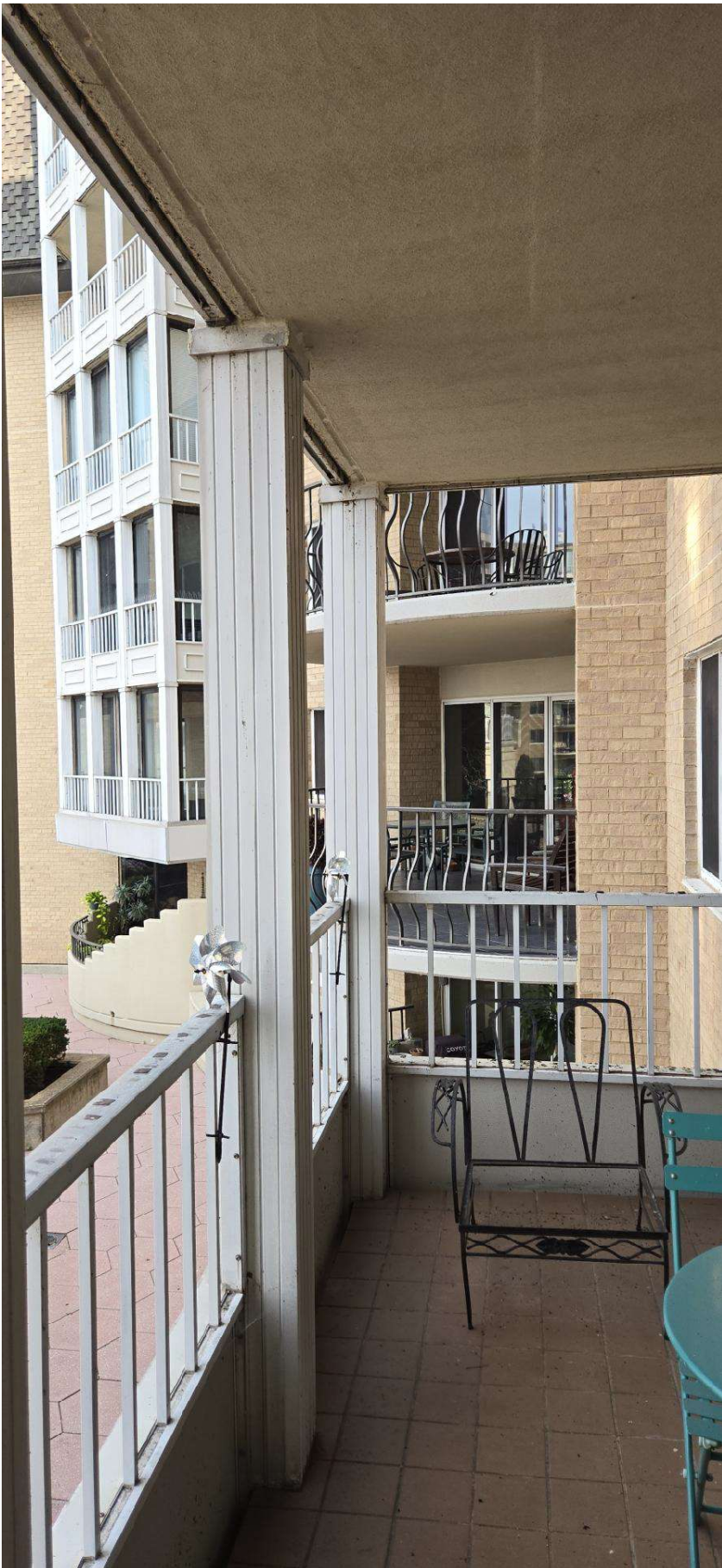
Your Location

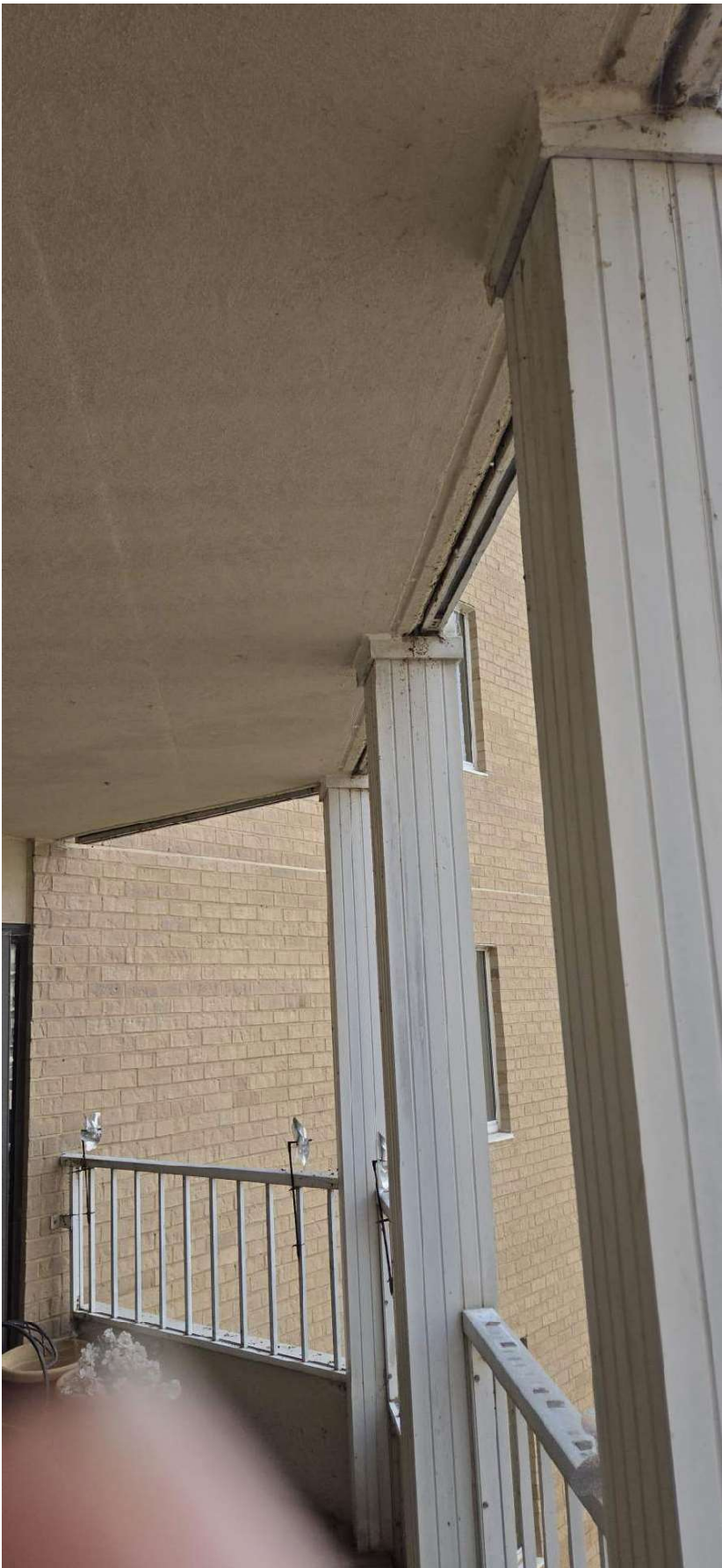




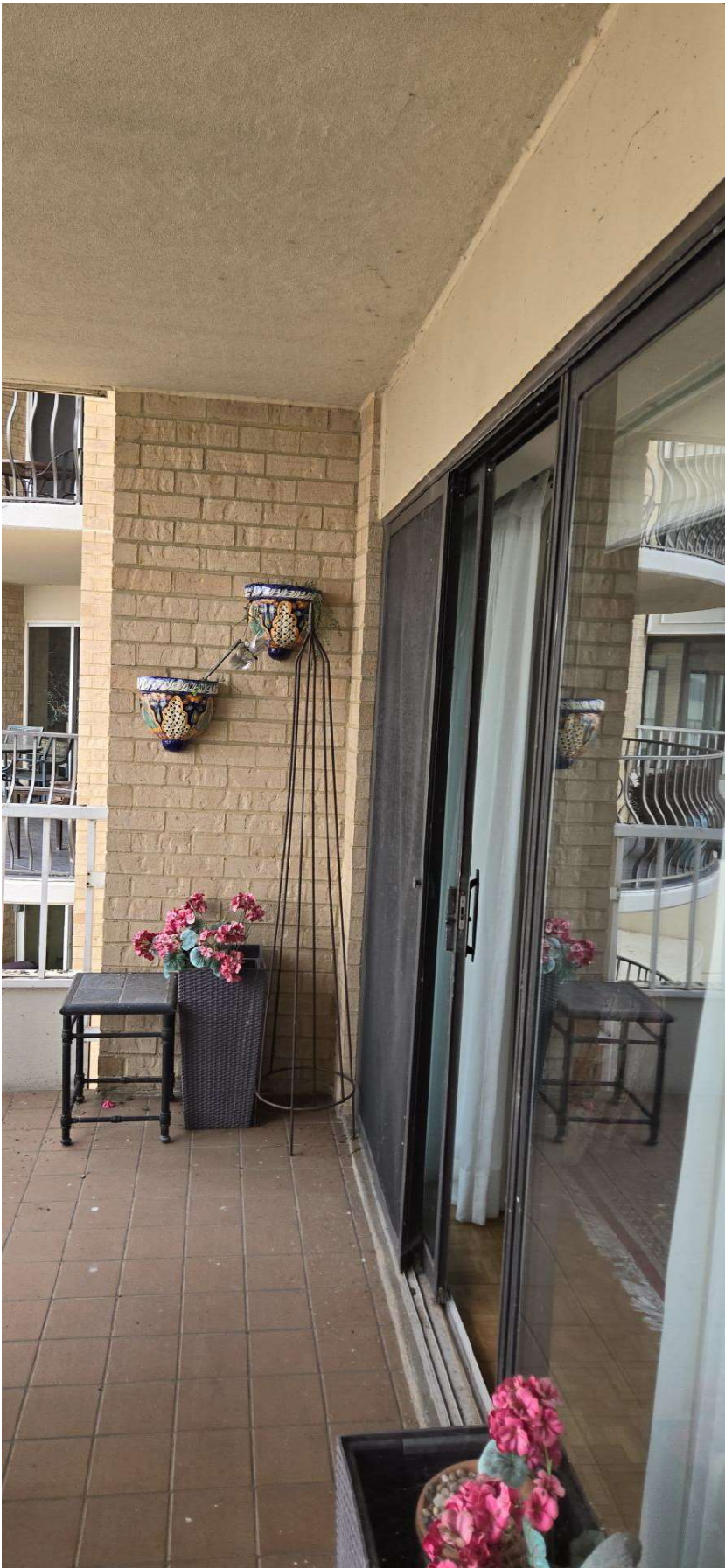






























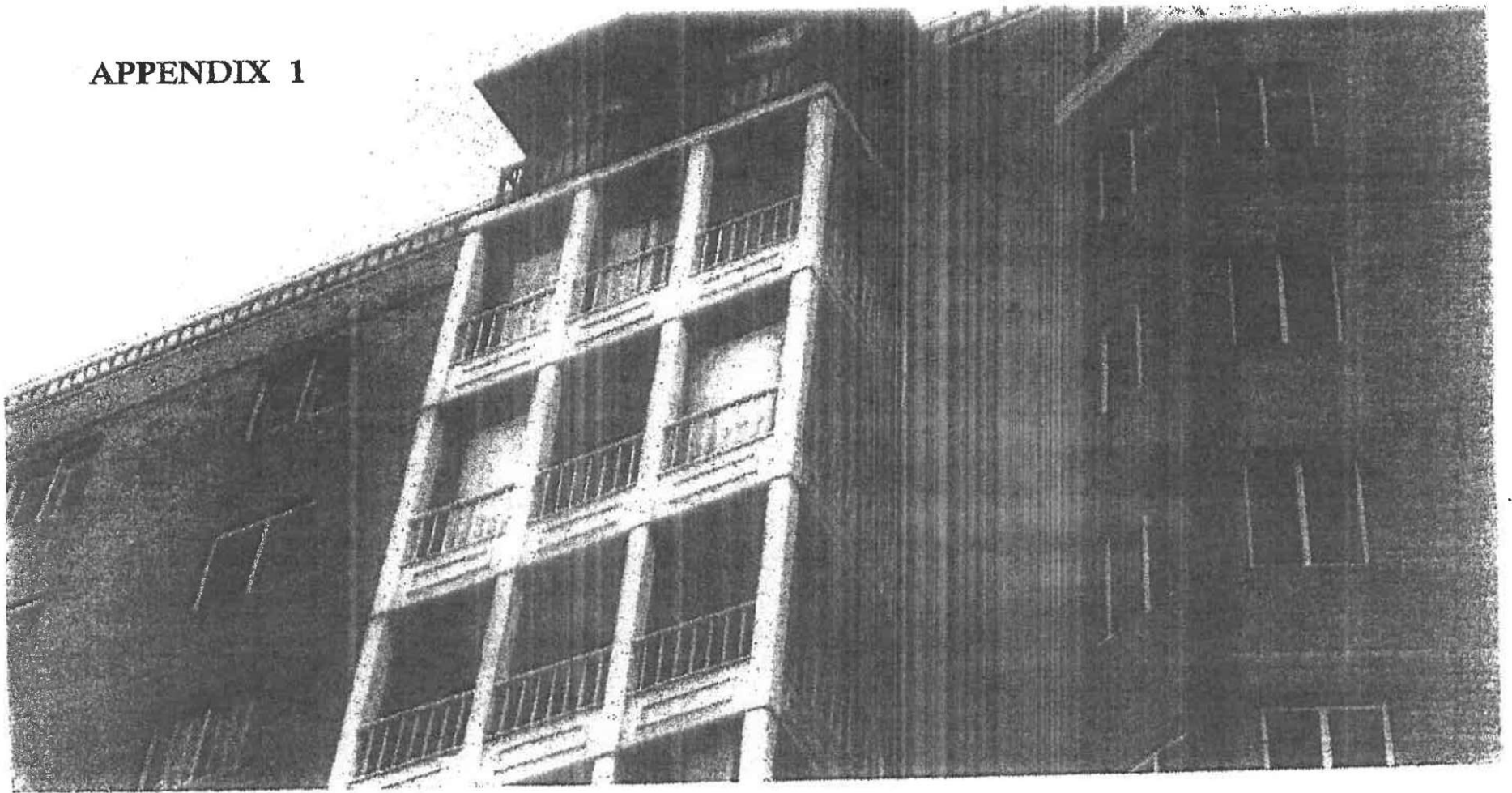




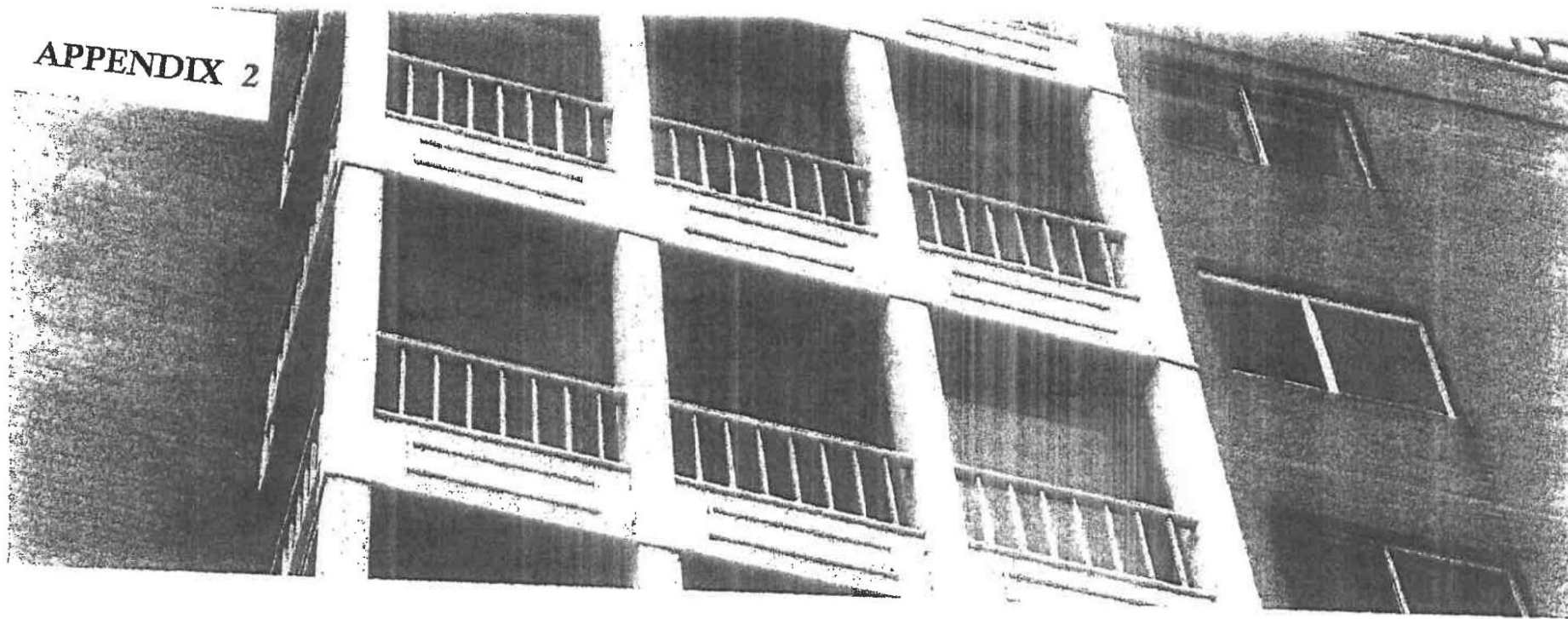




APPENDIX 1



APPENDIX 2



APPENDIX 3



APPENDIX 4

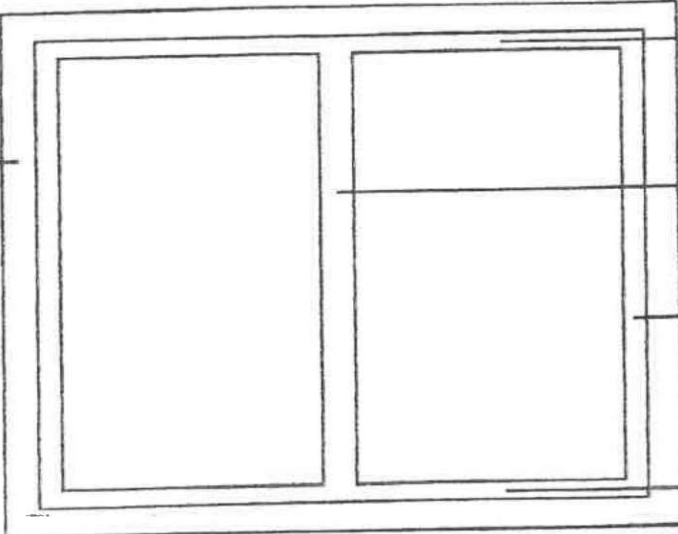


Diagram of a slider window showing measurement lines for existing and proposed frames. The diagram includes a label 'trim' on the left and 'Slider' below the window.

existing: _____
 proposed: _____

existing: _____
 proposed: _____

existing: _____
 proposed: _____

existing: _____
 proposed: _____

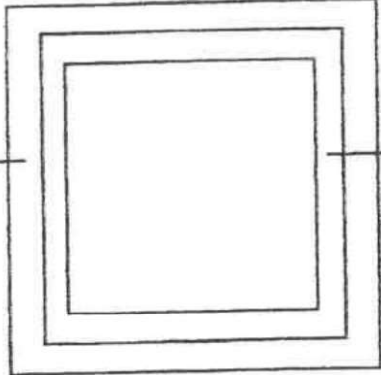


Diagram of a fixed window showing measurement lines for existing and proposed frames. The diagram includes a label 'trim' on the left and 'Fixed,' below the window.

existing: _____
 proposed: _____

Usually, the frame on these styles of windows is the same all the way around. If yours varies, provide all frame widths.

Adjacent Windows?
 Frame width between windows:
 existing _____
 proposed _____

Exhibit 5

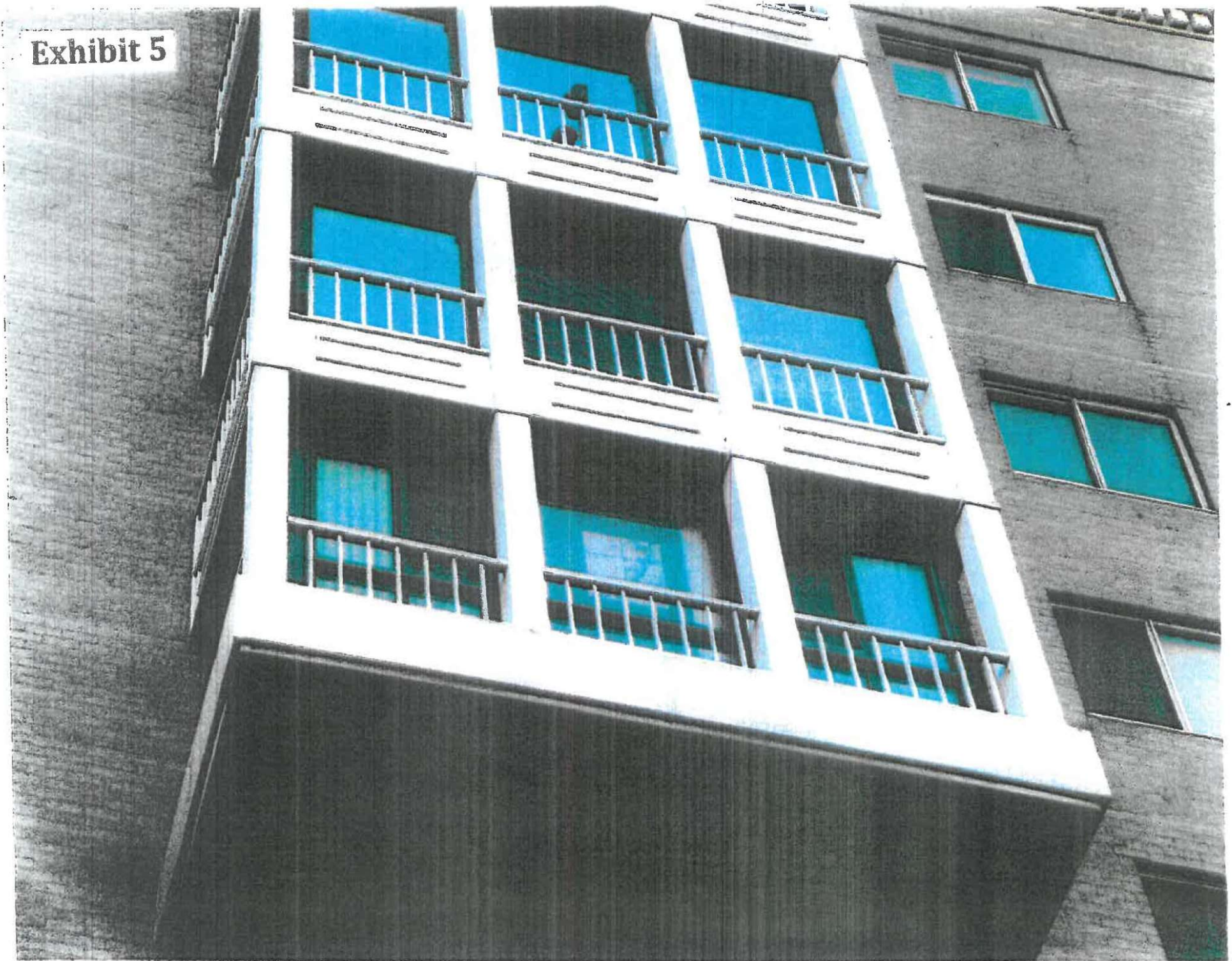


Exhibit 6

