

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Adam Barry

LOCATION: Old and Historic Alexandria District
308 North Columbus Street

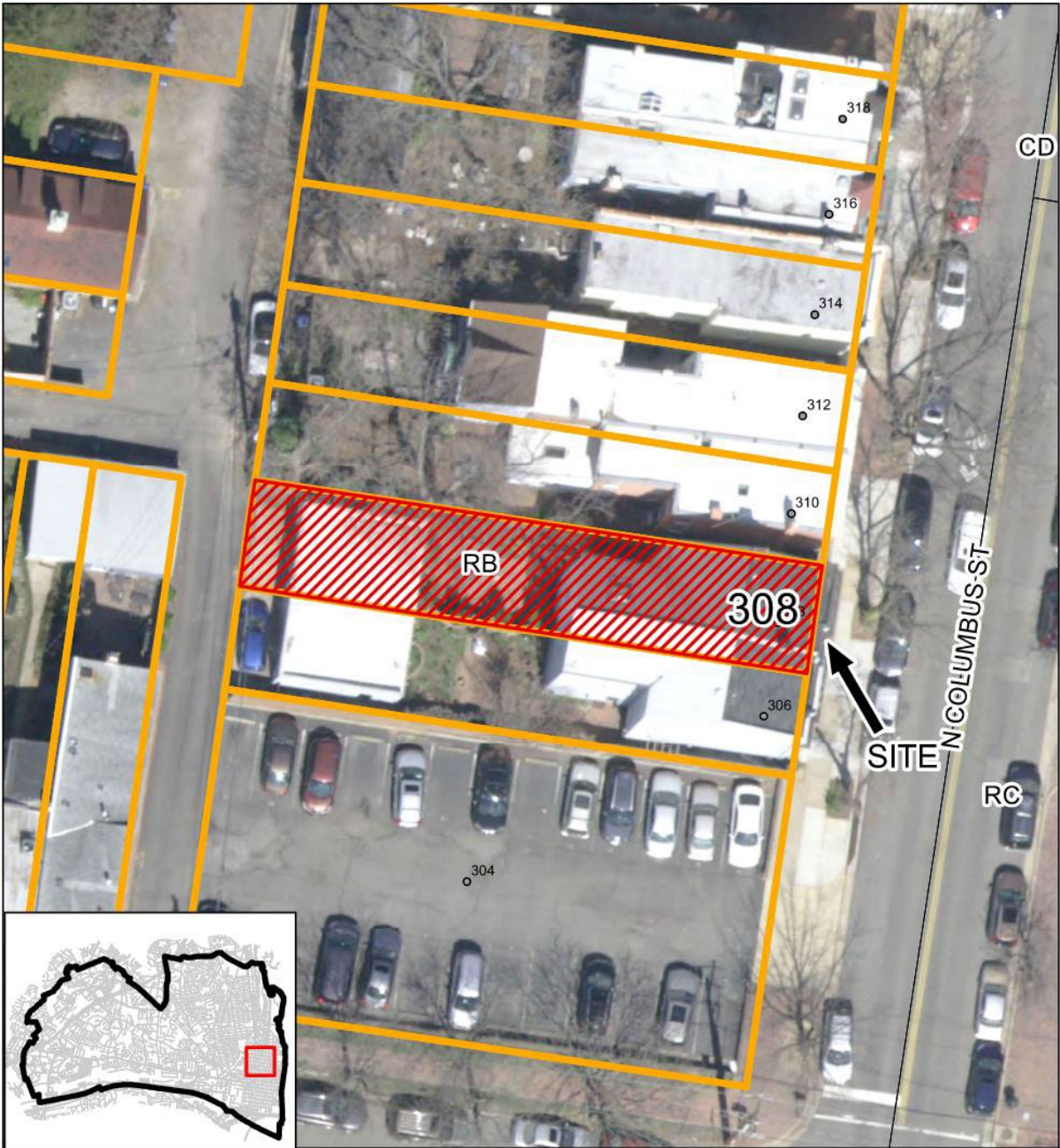
ZONE: RB/Townhouse Zone

STAFF RECOMMENDATION

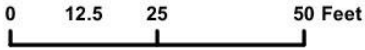
Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00177 & BAR#2024-00178
308 N Columbus Street



Note: Staff coupled the applications for a Permit to Demolish (BAR #2024-00177) and Certificate of Appropriateness (BAR #2024-00178) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to close in a window and door on the north elevation, convert an existing window on the west elevation to a door, and add a new stoop at that new door on the west elevation.

Site context

The alley to the west, behind the subject property, is public. However, an existing garage at the rear/west of the property will block most, if not all, of the views from the public alley.

See Figure 1.



Figure 1: Garage behind 308 N. Columbus

II. HISTORY

Sanborn maps indicate that this two-story Italianate brick dwelling was constructed at some point between 1912 and 1921. The Building and Repair Permits Collection shows that H. Kirk, Jr. was issued a building permit for 308 North Columbus Street on April 8, 1913. It therefore seems likely that that house was constructed **circa 1913**.

Previous BAR Approvals

4/20/1977 Rear porch approved as submitted
5/16/2017 BAR2017-0018: Administrative approval for window replacement
10/19/2022 BAR2022-00398+00397: Rooftop deck on detached garage

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the approximately thirty-five square feet of brick on the north elevation and west elevation proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Section 10-105(A)(2)(e) of the Zoning Ordinance states that the Board should consider “The relation of the features ... to similar features of the preexisting building or structure, if any, and to buildings and structures in the immediate surroundings.” The proposed rear door and stoop will fit harmoniously into the streetscape and the existing house itself. This will be a fairly minimal alteration, mostly blocked from public view by the rear garage. See Figure 1 for the rear view and Figures 2 and 3 for the existing and proposed west elevation. The stoop will be a single wood step without railings or concrete. This simplicity further enhances the design.

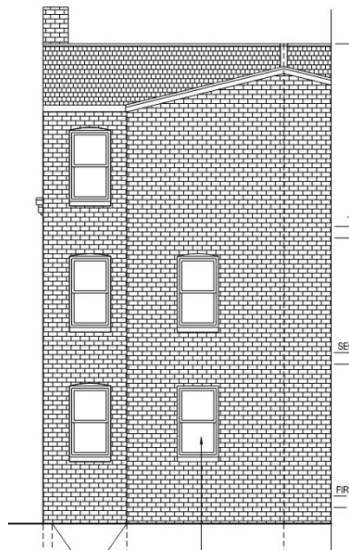


Figure 2: Existing rear/west elevation

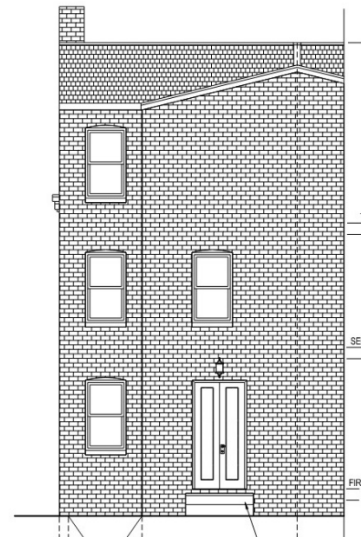


Figure 3: Proposed rear/west elevation

Enclosing a door and a window on the north elevation will also fit into the community. Several houses in the historic districts have this type of fenestration on side elevations. Due to a fence on the neighboring property, this proposed alteration will also not be visible from the public alley. See Figure 4.



Figure 4: View of north elevation from public alley

Staff therefore recommends approval as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed rear landing and new door will comply with zoning.

F-1 Party wall between the properties will reduce the side yard setback to 0’.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

F-1 No comments received.

Alexandria Archaeology

F-1 No Archaeology comments.

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Public comment, if applicable
- Any other supporting documentation

BAR CASE# _____

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 308 N. Columbus Street Alexandria VA 22314

DISTRICT: Old & Historic Alexandria Parker -- Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.04-01-46 ZONING: RB

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Adam Barry

Address: 308 N. Columbus Street

City: Alexandria State: VA Zip: 22314

Phone: 312-515-4397 E-mail: abarry.uk@gmail.com

Authorized Agent *(if applicable)*: Attorney Architect Contractor

Name: Matthew Meehan

Phone: 202-262-9362

E-mail: matthew@designproremodeling.com

Legal Property Owner:

Name: Adam Barry

Address: 308 N. Columbus Street

City: Alexandria State: VA Zip: 22314

Phone: 312-515-4397 E-mail: abarry.uk@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other Landing and step
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Close-In a window and door and transom with framing and brick and paint to match the existing house.

Convert existing window to a french door.

New Landing and step.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: N/A Secondary front (if corner lot): N/A
- Square feet of existing signs to remain: N/A
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Adam Barry

Date: 09/30/2024

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Adam Barry	308 N. Columbus Street Alexandria VA 22314	50%
2. Leslie Wertheimer	308 N. Columbus Street Alexandria VA 22314	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 308 N. Columbus Street Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Adam Barry	308 N. Columbus Street Alexandria VA 22314	50%
2. Leslie Wertheimer	308 N. Columbus Street Alexandria VA 22314	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

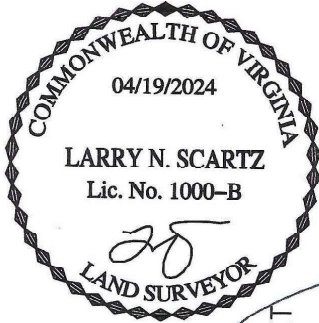
09/30/2024
Date

Adam Barry

Printed Name

Adam Barry

Signature



13.42' ALLEY

N09°30'E
20.00'

OVERHEAD WIRES
CONC. DRIVEWAY
CONC. DRIVEWAY
ASPHALT ALLEY
POLE
WOOD FENCE



17.5'
2.5'

PARTY WALL
BRICK/STUCCO GARAGE
24.1'
24.1'

17.4'

12.200'

GATE
BRICK PATIO
CLEAN OUT
WINDOW WELL
WOOD FENCE
OVERHEAD WIRES

11.9'

16.6'

6.0'

48.0'

TWO STORY BRICK HOUSE WITH BASEMENT #308
CONC. WALK
WOOD FENCE

31.7'

1.1'

1.4'

5.4'

10.3'

1.0' OFF
CONC. WALK
HOUSE #310

509°30'W
20.00'

STOOP
WATER METER
GAS VALVE

#306 NORTH COLUMBUS STREET

N80°47'W 110.00'

#310 NORTH COLUMBUS STREET

S80°47'E 110.00'

NORTH COLUMBUS STREET
66.08' R/W

Construction Entrance
Construction Path Through Garage And Over The Ex. Brick Patio

New 3'x5' open Landing & step

Total Land Disturbance 40#

PHYSICAL IMPROVEMENTS SURVEY
ON THE PROPERTY LOCATED AT

#308 NORTH COLUMBUS STREET

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20' DATE: APRIL 19, 2024

CASE NAME: BARRY / WERTHEIMER

NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ LOCAL (703) 494-4181
CERTIFIED LAND SURVEYOR FAX (703) 494-3330
WOODBRIIDGE, VIRGINIA LARRY.SCARTZ@SCARTZ.COM



1. DESIGN LOADS

USE	LL(p.s.f.)	DL(p.s.f.)
FLOOR	40	10
SLEEPING ROOMS	30	10
DECKS	40	10

USE	LL(p.s.f.)	DL(p.s.f.)
EXTERIOR BALCONY	60	10
GROUND SNOW LOAD	30	17
ROOFS	20	17

2. LATERAL LOADS

- WIND 115 Miles Per Hour

3. SOIL VALUE

- ASSUMED TO BE 1500 PSF BEARING CAPACITY.
- WATER TABLE, MIN. 2'-0" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS.
- SOIL TYPES, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.

4. FOOTINGS

- BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2' BELOW FINISHED GRADE.
- FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE OF THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

5. CONCRETE

- ALL CONCRETE SHALL BE 3500 PSI @ 28 DAYS, (EXCEPT STOOP & GARAGE WHICH SHALL BE 3500 PSI @ 28 DAYS), MAXIMUM SLUMP OF 5".
- CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
- REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
- ALL EXPOSED EXTERIOR CONCRETE SHALL BE 6 +/- 1% AIR ENTRAINED.
- DETAILS OF REINFORCING SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:

	EXPOSED			
	NOT EXPOSED	#5 OR SMALLER	#6 OR LARGER	EARTH FORMED
SLABS	3/4"	1-1/2"	2"	3"
BEAMS	1-1/2"	1-1/2"	2"	3"
COLUMNS	1-1/2"	1-1/2"	2"	3"
WALLS	3/4"	1-1/2"	2"	3"
FOOTINGS	-	3"	3"	3"

6. CONCRETE FOUNDATION WALLS

- SEE DETAILS FOR 45# AND 60# LATERAL PRESSURE.
- FOOTINGS FOR 8" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10"
- FOOTINGS FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10"
- FOOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10"
- STEP FOOTINGS 2 HORIZONTAL UNITS & 1 VERTICAL UNIT.
- FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE 6" PROJECTIONS x 12" DEPTH.
- ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.

7. CONCRETE SLABS ON GRADE

- UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6 x 6 W1.4 x W1.4 (#10/10) WELDED WIRE FABRIC IN THE MIDDLE PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
- PLACING, LAP, ETC., SHALL CONFORM TO WR STANDARDS.
- FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.

8. CONCRETE RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- PROVIDE WEAKENED PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
- PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH SECTION 9405.

9. MASONRY

- PIERS, PLASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270.
- BOND ALL MASONRY WITH METAL JOINT REINFORCEMENT EVERY 16" VERTICALLY.
- WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY.
- 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S @ 24" O.C. INTO THE FOOTING TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE.
- THE ALL BRICK VENEER TO WOOD STUB BACK-UP WITH CORRUGATED METAL TIES AT 24" O.C. (MAX).
- ALL MORTAR BUILT GRADE TO BE TYPE H.
- PROVIDE 8 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID (NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
- UNLESS OTHERWISE NOTED, PROVIDE 8 COURSES OF SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 2' MINIMUM LENGTH AT ALL STRUCTURAL STEEL BEARING.
- PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
- PIERS SHALL BE BONDED WITH HEADER COURSES.
- PROVIDE THROUGH MASONRY CONTINUITY (CEMENT GROUT) WHERE PIERS EXTEND ABOVE STEEL BEAMS.

SPECIFICATION:

- EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS 0.16 @ 1 SECOND PERIOD 0.053
- RESIDENTIAL SEISMIC DESIGN CATEGORY-B
- WEATHERING PROBABILITY FOR CONCRETE - SEVERE
- TERMITE INFESTATION PROBABILITY - MODERATE TO SEVERE
- DECAF PROBABILITY - SLIGHT TO MODERATE
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARDS (3-15-1990) NATIONAL FLOOD PROGRAM DATE
- WINTER DESIGN TEMPERATURE 17 DEGREES F
- AIR FREEZING INDEX - OR 1500 DEGREES
- MEAN ANNUAL TEMPERATURE 50 DEGREES F

EQUIVALENT U-FACTORS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL U-FACTOR
4A	0.32	0.55	0.40	49	15	8/13	19	10/13	10.2 FEET	10/13

- **CONSTRUCTION CLASSIFICATION TYPE - 5B**
- **USE GROUP CLASSIFICATION - R5**
- **ALL 3", 3 1/2", AND 4" DIAMETER ADJUSTABLE STEEL COLUMNS ARE TAPCO MONOPOST 40-300 SERIES U.N.O. AND CONFORM TO ASTM A513 STEEL.**
- **ALL SMOKE / CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED & INTERCONNECTED PER THE 2018 USBC, 315.1 & 315.2 & LISTED IN ACCORDANCE W/ UL2034 & UL217.**
- **THESE PLANS HAVE BEEN DESIGNED TO COMPLY WITH THE 2018 USBC AND THE 2018 INTERNATIONAL BUILDING CODES.**

10. MASONRY RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
- KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPPINGS. THE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH WIRE TIES AND SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
- FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE, 2500 PSI @ 28 DAYS, OR MASONRY GROUT PER ASTM C-476. - CLOSE CLEANOUTS ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL. VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
- MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
- PROVIDE DUROWAL (OR EQUAL) 8" O.C. VERTICALLY.

11. BACKFILL COMPACTION

- PER GEOTECHNICAL REQUIREMENTS.

12. WOOD FRAMING

- ALL SPANS UP TO 15'-0" FRAMING TIMBERS SHALL BE NO. 2 HEM FIR, OR BETTER (Fb = 850, E = 1,300,000 PSI, Fv = 135 PSI).
- ALL SPANS OVER 15'-0" FRAMING TIMBERS SHALL BE NO. 1 YELLOW PINE, OR BETTER (Fb = 1,300 E = 1,750,000 PSI, Fv = 175 PSI 2x12 FB-1250 PB).
- PROVIDE ANCHORAGE INTO FOUNDATION WALLS WITH 1/2" DIA. A307 ANCHOR BOLTS @ 4'-0" O.C. 9" INTO CONCRETE, AND A MAXIMUM OF 12" FROM ANY CORNER.
- PROVIDE TEGO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT.
- STUDS SHALL BE MIN. S-P-F S-DRY, CONSTRUCTION GRADE.
- ALL EXTERIOR LUMBER TO BE P.T. SOUTHERN PINE #2 OR BETTER
- LUMBER IN CONTACT W/ GROUND SHALL BE RATED AS "GROUND CONTACT"

13. WOOD TRUSSES (PREFAB/PREEND)

- FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF L/360 SPAN. REFER TO FLOOR TRUSS MANUFACTURER'S RECOMMENDATIONS FOR ERECTION BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
- TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS.
- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES (TP1-78), PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TPI QUALITY CONTROL MANUAL (CGM-77).
- ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION, ALLOWABLE LOAD PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES), LOAD TEST DATA, AND DETAILS FOR TRUSS-TO-TRUSS CONNECTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
- TRUSS DESIGN SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
- ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TEGO OR EQUIVALENT FRAMING ANCHOR EACH END.
- ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRACING WOOD TRUSSES (BTW-76), AS PUBLISHED BY TPI.

14. MICRO-LAM BEAMS

- SHALL HAVE AN EXTREME FIBER BENDING STRESS OF FB-2600 PSI, E-2,000,000 PSI, Fv-285 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.

15. PLYWOOD WEB JOISTS

- JOISTS SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOADS SHOWN BUT NOT LESS THAN 10 PSF.

16. STRUCTURAL STEEL

- STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER.
- ALL WELDING SHALL CONFORM TO THE AWS STRUCTURAL WELDING CODE. WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
- ONE SHOP COAT OF PAINT, SOUTHERN COATING 1-0476 OF 0730, OR AN APPROVED EQUIVALENT. TWO MILS DRY FILM THICKNESS SHALL BE APPLIED TO ALL STRUCTURAL MEMBERS.
- PROVIDE MASONRY FRAMING ANCHORS AT EACH BEAM END BEARING UPON MASONRY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS FOR BUILDINGS.
- UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-372 GR-50
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A-501 WITH A MINIMUM YIELD OF 36 KSI (ROUND ONLY), SQUARE AND RECTANGULAR SHALL CONFORM TO ASTM A-500 GR-B Fy-46 KSI
- SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
- HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE TURN-OF-NUT METHOD.

17. MISCELLANEOUS

- HANDRAILS ARE TO BE BUILT & INSTALLED PER 2018 USBC.
- STAIRWAYS ARE TO BE ILLUMINATED WITH A MINIMUM OF 10 FOOT CANDLES PER TREAD
- OUTSIDE LIGHTING IS TO BE PROVIDED SO THAT DECK STAIRS ARE ILLUMINATED PER CODE.
- ALL STUCCO FINISH HOUSES ARE TO BE INSTALLED WITH STRICT COMPLIANCE TO MANUFACTURER'S INSTRUCTIONS.
- ALL FLOOR PLATING MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH 2018 IRC SECTION R316.

INDEX

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EXISTING FLOOR PLANS	A2	4-08-2024
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PROPOSED BUILDING ELEVATIONS	A4	4-08-2024
PROPOSED FLOOR PLANS	A5	4-08-2024
PROPOSED ELECTRIC PLANS	E1	4-08-2024
GENERAL DETAILS	D1	4-08-2024

WORK DESCRIPTION:

- RENOVATE ENTIRE EXISTING FIRST FLOOR
- RENOVATE EXISTING SECOND FLOOR BEDROOM INTO (2) OFFICES
- NEW REAR LANDING & STEP

NOTES TO ALL PARTIES INVOLVED:

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE W/ THE VIRGINIA RESIDENTIAL CODE (VRC) 2018
2. THIS PLAN IS A BASIC PLAN FOR THE USE OF OBTAINING A BUILDING PERMIT AND PROVIDING A LAYOUT OF THE PROPOSED WORK FOR ALL SPECIFICATIONS, NOTES, REGULATIONS, SAFETY REQUIREMENTS, BUILDING CODES, ELECTRICAL CODES, PLUMBING CODES, OTHER APPLICABLE CODES AND ETC NOT SHOWN ON THIS PLAN. PLEASE REFER TO THE VRC 2018 VRC CODE FOR CLARIFICATION. THIS PLAN IS NOT FOR THE USE OF OBTAINING MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER OF THIS PROPERTY (ACTING AS CONTRACTOR, TO CONSTRUCT THIS PROPOSED RESIDENTIAL STRUCTURE PER THESE APPROVED PLANS AND IN ACCORDANCE WITH THE VRC 2018 CODE.
4. IF THE CONTRACTOR AND/OR PROPERTY OWNER SHOULD HAVE ANY QUESTIONS AND/OR CONCERNS AT ANY TIME BEFORE OR THROUGHOUT THE CONSTRUCTION OF THIS PROJECT, THEN HE OR SHE SHOULD STOP WORK IMMEDIATELY AND CONTACT THE PERSON WHO PREPARED THESE PLANS. IN ORDER TO CLARIFY AND/OR CORRECT ANY CONFUSION AND/OR CONCERNS, THIS WILL HELP TO PREVENT UNNECESSARY MISTAKES, INJURIES, COSTS & ETC.
5. This proposed structure shall be built per the plans, only after they have been approved by the appropriate county/city jurisdiction, and for any parts of this plan that may appear to be incorrect or contradictory to the VRC 2018 Code (even if they are already approved and construction is under way). Then it is the responsibility of the contractor and/or property owner to contact the person who prepared these plans. In order to clarify such concerns, if it is necessary, revision will need to be made through the appropriate county/city jurisdiction prior to construction. This structure must be constructed per the VRC 2018 code.
6. It is the responsibility of the contractor and/or property owner to ensure that all required permits are obtained, that they do not expire and that all required inspections are scheduled and approved. It is also the responsibility of the contractor and/or property owner to ensure that all required permits remain active until all of the required permits are finalized / approved with the appropriate county/city inspection office.
7. The contractor and/or property owner is responsible and liable for the lives and safety of any and/or all occupants of the property, their visitors and the people performing the labor/trade construction services-before, during, and after construction of this project - on this property. The contractor and/or property owner is also responsible and liable for any and/or all damages to this property-before, during, and after the construction of this project. The contractor and/or property owner will be responsible for using the correct materials specified and not specified in this plan and that those materials will be of good quality. The contractor and/or property owner is also responsible for ensuring that all individuals performing any work are knowledgeable and competent enough to perform construction labor/trade services and that they are using safe construction practices at all times. The contractor and/or property owner is responsible for ensuring that any individual(s) performing any type of construction services at any time of this project, that he or she can comprehend these plans and is familiar with and understanding of the VRC 2018 code.
8. It is the responsibility of the contractor and/or property owner to ensure that all existing site conditions are verified in the field. He or she must also verify that all existing site conditions in the field correspond with what is shown on these plans that are approved by the appropriate county/city jurisdiction. It is the responsibility of the contractor and/or property owner to ensure that all existing field conditions meet the VRC 2018 code. If it is discovered that the existing site/structure(s) does not meet current applicable state, county and city codes and ordinances, then the contractor and/or property owner is responsible for modifying/upgrading the existing site/structure(s), in order to meet all and all such current codes. The contractor and/or property owner is responsible for verifying that any and all existing structure(s) is in good condition and can sustain any alterations and/or additional loads being added as shown in this plan, prior to construction.
9. Once the contractor and/or property owner has taken possession of these approved plans for whatever intent or purpose, he or she is certifying that they agree with all of the notes, statements, and conditions listed above and that he or she comprehends exactly what each statement is saying. Also the contractor and/or property owner is responsible for ensuring that every requirement of these statements are performed.
10. It is the responsibility of the contractor and/or homeowner to verify that all of the existing structures dimensions, measurements, conditions, etc. match what has been proposed in this plan. These specifications need to be verified and addressed prior to the ordering of materials and prior to any demo or construction being performed, for any part of this proposed work. The contractor and/or homeowner is liable and financially responsible for all costs, fees, and etc. that may occur throughout construction, even if these plans are incorrect or different than the conditions on the site or different from previous conversations and requests. The contractor and/or homeowner are responsible for any additional costs for additional materials, corrections, engineering, labor and etc. that may occur throughout this project.

REVISIONS

NO.	DESCRIPTION	DATE

EZ PLAN & CONSULTING, LLC
4393 KEVIN WALKER DR. #156
DUIMFRIES, VA 22025

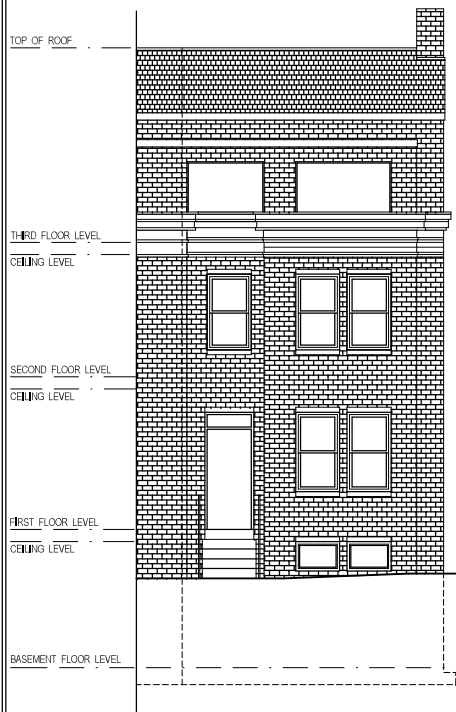
PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

COVER SHEET

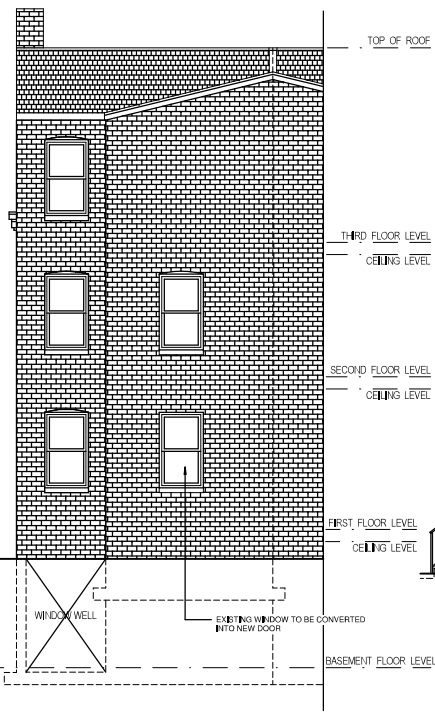
308 NORTH COLUMBUS STREET
ALEXANDRIA, VA 22314



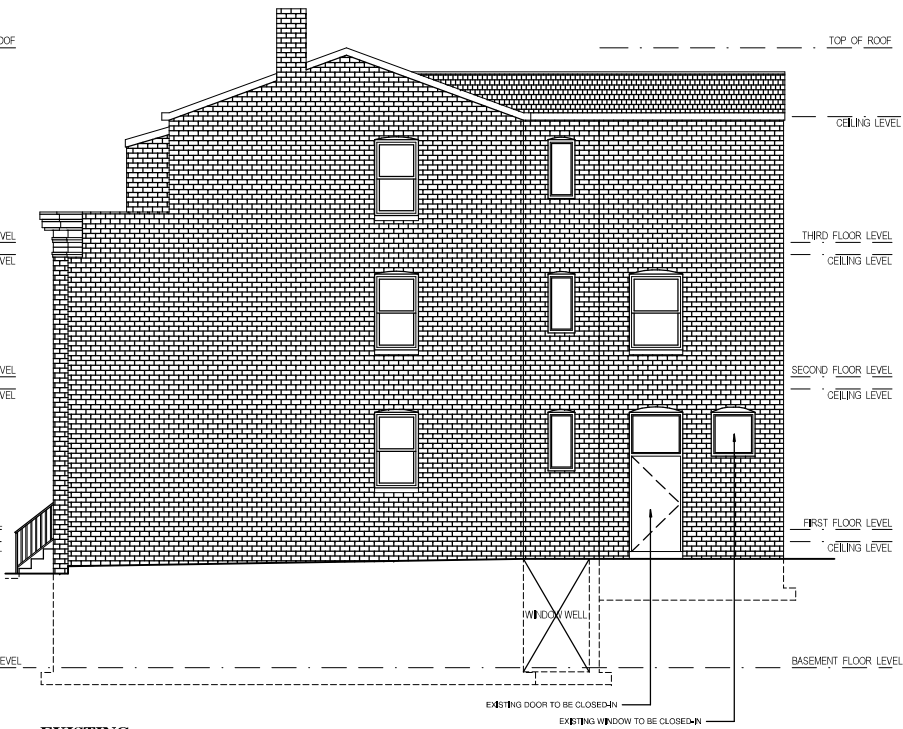
SCALE: 1/4" = 1'-0"



EXISTING
FRONT ELEVATION (NO CHANGE)
 SCALE 1/4" = 1'-0"



EXISTING
REAR ELEVATION
 SCALE 1/4" = 1'-0"



EXISTING
RIGHT SIDE ELEVATION
 SCALE 1/4" = 1'-0"

REVISIONS

EZ PLAN & CONSULTING, LLC
 4398 KEVIN WALKER DR. #156
 DUMFRIES, VA 22025

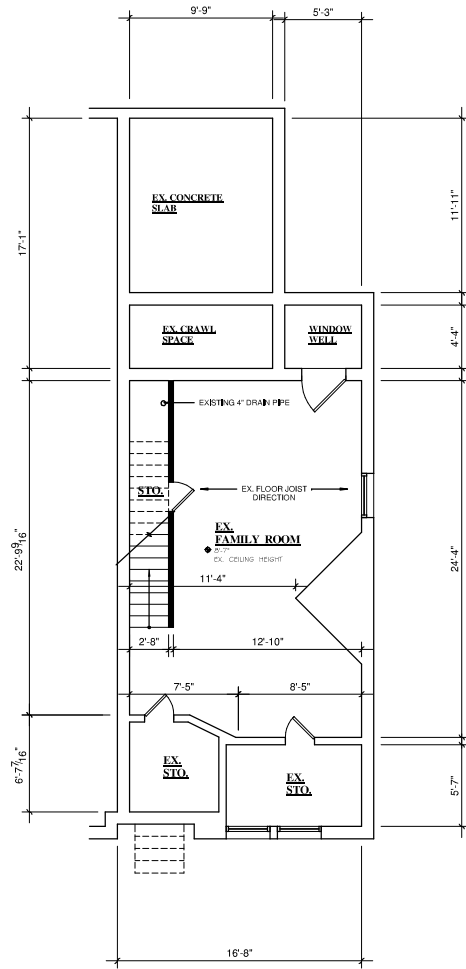
PREPARED BY:
 BURNS DRAFTING & DESIGN, LLC

EXISTING BUILDING
ELEVATIONS

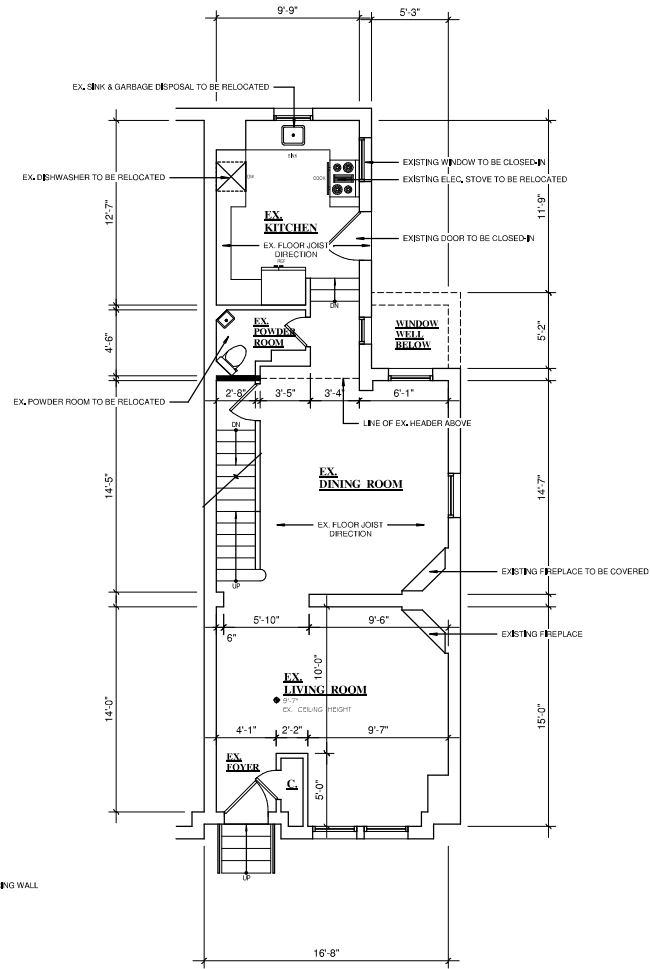
308 NORTH COLUMBUS STREET
 ALEXANDRIA, VA 22314

A1

SCALE: 1/4" = 1'-0"



**EXISTING
BASEMENT FLOOR PLAN (NO CHANGE)**
SCALE 1/4" = 1'-0"



**EXISTING
FIRST FLOOR PLAN**
SCALE 1/4" = 1'-0"

— EXISTING INTERIOR LOAD BEARING WALL

REVISIONS	

EZ PLAN & CONSULTING, LLC
4393 KEVIN WALKER DR. #156
DUIMFRIES, VA 22025

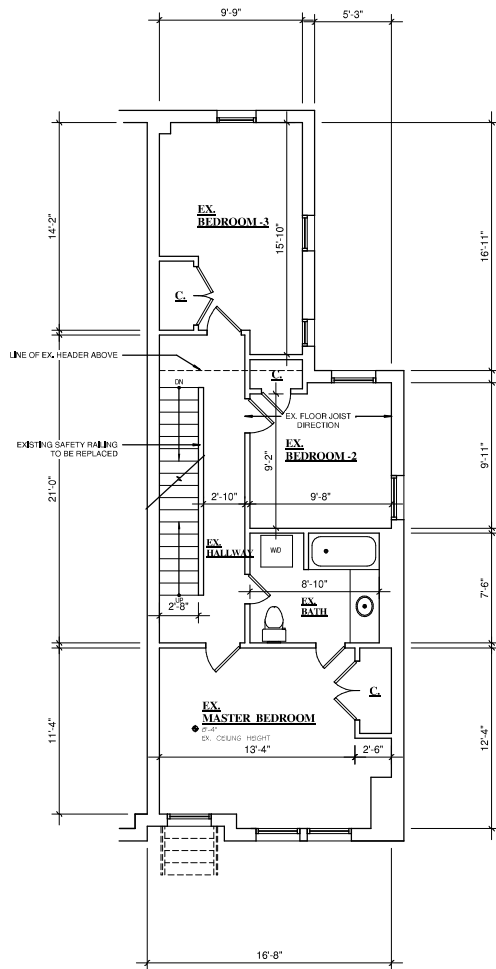
PREPARED BY:
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**EXISTING FLOOR
PLANS**

308 NORTH COLUMBUS STREET
ALEXANDRIA, VA 22314

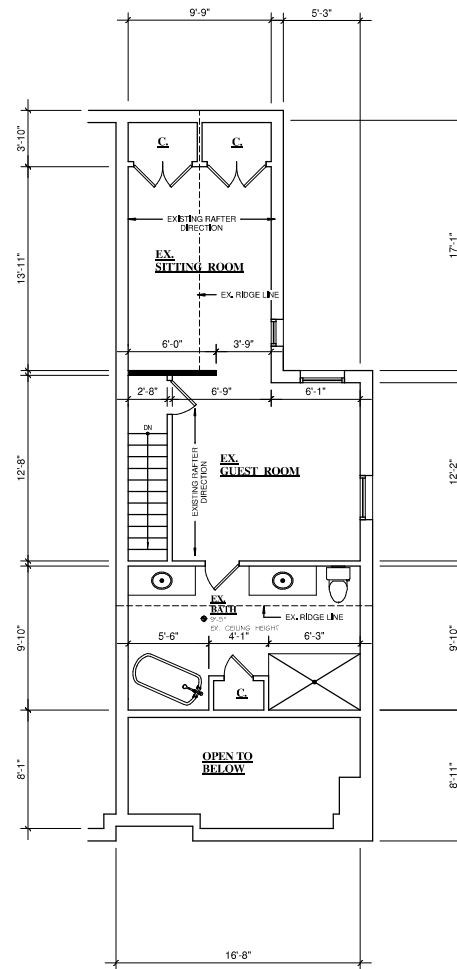
A2

SCALE: 1/4" = 1'-0"



**EXISTING
SECOND FLOOR PLAN**
SCALE 1/4" = 1'-0"

— EXISTING INTERIOR LOAD BEARING WALL



**EXISTING
THIRD FLOOR PLAN (NO CHANGE)**
SCALE 1/4" = 1'-0"

REVISIONS

EZ PLAN & CONSULTING, LLC
4398 KEVIN WALKER DR. #156
DUIMFRIES, VA 22025

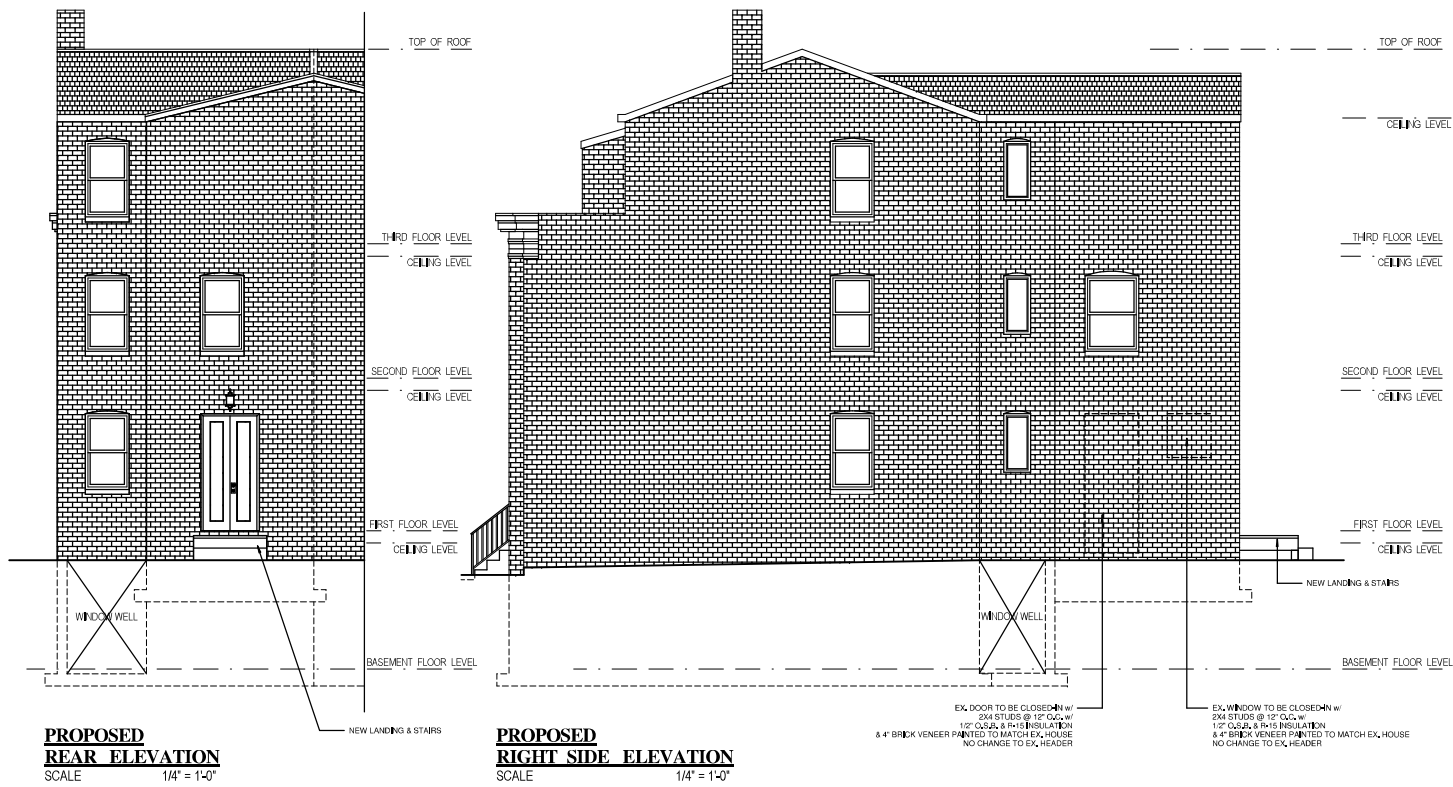
PREPARED BY:
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**EXISTING FLOOR
PLANS**

308 NORTH COLUMBUS STREET
ALEXANDRIA, VA 22314

A3

SCALE: 1/4" = 1'-0"



• CLOSE IN EXISTING WINDOW & DOOR
• NEW REAR DOOR, LANDING w/ STEP

REVISIONS

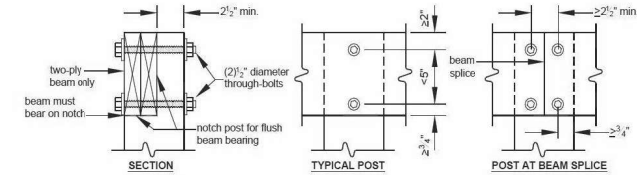
EZ PLAN & CONSULTING, LLC
4393 KEVIN WALKER DR. #156
DUIMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

PROPOSED BUILDING ELEVATIONS
308 NORTH COLUMBUS STREET
ALEXANDRIA, VA 22314

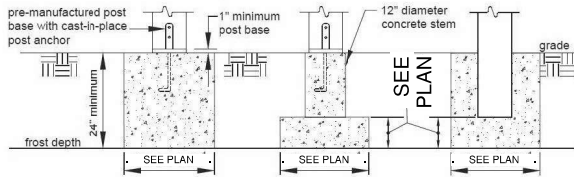
A4

SCALE: 1/4" = 1'-0"



POST-TO-FOOTING CONNECTION

- Post attachment requirements shall be in accordance with FIGURE 15.
- Post anchors shall have a 1-inch minimum base.
- Posts shall be centered on the footing.



1 BEAM & FOOTING DETAILS

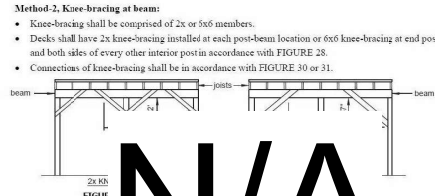
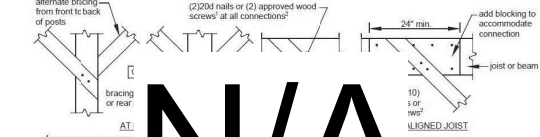


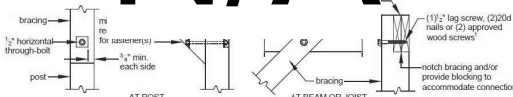
FIGURE 29: METHOD 3 - KNEE-BRACING AT JOIST-POST LOCATIONS

2 "Y" BRACING DETAILS

BRACING-TO-FRAMING CONNECTIONS



¹ Approved wood screws are
² Nails shall have a distance



¹ Approved wood screws are listed in TABLE 8

FIGURE 31: TYPICAL CONNECTIONS OF 6x6 KNEE-BRACING

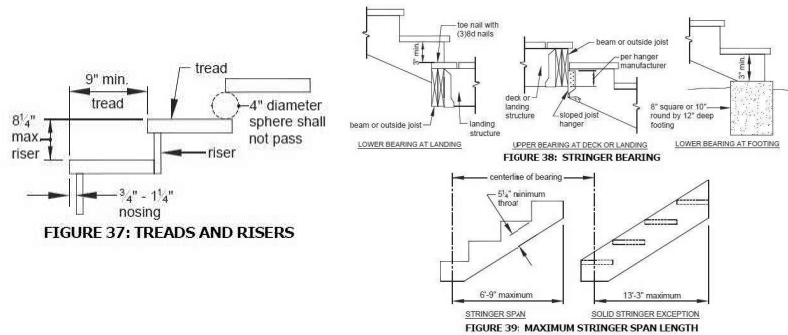


FIGURE 37: TREADS AND RISERS

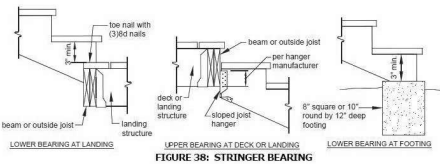


FIGURE 38: STRINGER BEARING

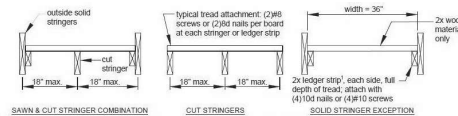


FIGURE 40: STRINGER TREADS

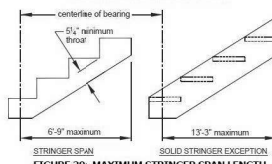


FIGURE 39: MAXIMUM STRINGER SPAN LENGTH

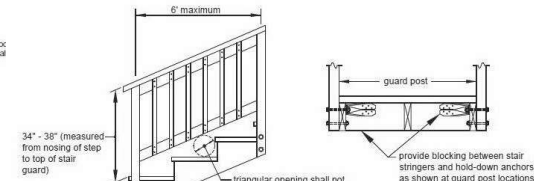


FIGURE 41: STAIR GUARD

3 STAIR DETAILS

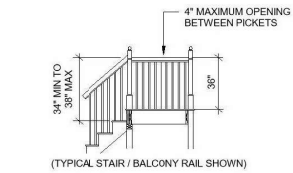


FIGURE 32: GUARD LIMITATIONS

REQUIRED GUARDS SHALL BE LOCATED ON OPEN SIDES OF STAIRWAYS, RAMPS, LANDINGS, RAISED FLOOR AREAS, BALCONIES AND PORCHES MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW. THEY SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER. GUARD HEIGHT SHALL NOT BE LESS THAN 36 INCHES MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. HANDRAIL ENDS SHALL BE TURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

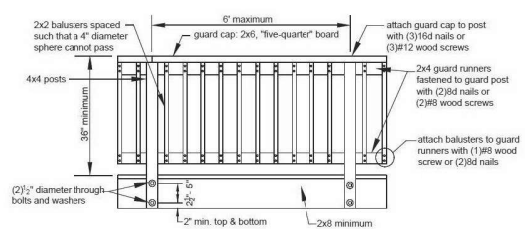


FIGURE 33: GUARD CONSTRUCTION

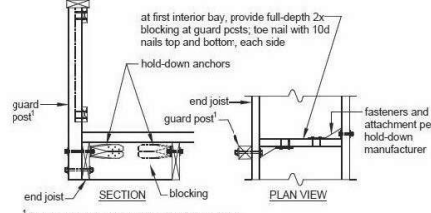


FIGURE 35: GUARD POST-TO-END JOIST

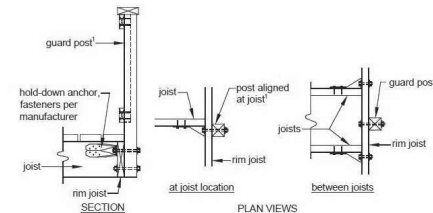


FIGURE 36: GUARD POST-TO-RIM JOIST

4 GUARDRAIL DETAILS

REVISIONS

NO.	DESCRIPTION

EZ PLAN & CONSULTING, LLC
4938 KEVIN WALKER DR. #156
DUIMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

GENERAL DETAILS

308 NORTH COLUMBUS STREET
ALEXANDRIA, VA 22314

D1

SCALE:

Prep By	Bid No	Rev	Job Reference
LAP	119	1	

Customer / Client Name		
DP-STEVEN-MATT		
Quote Date	Job / Site Name	
5/9/2024	308 N COLUMBUS	
Phone #		Fax #
Mobile Phone #	Other Phone #	Email Address



Quality Craftsmanship Since 1947

LINCOLN WOOD PRODUCTS, INC.

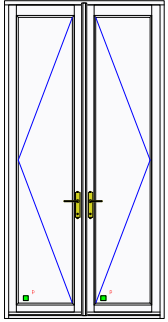


R.O. Allowance (Width = 1/2"-Height = 1/2")

M.O. Allowance (Width = 1/4"-Height = 1/4")

SHOWN AT NET PRICE

Line # 1



R.O. 50" x 102"
U.D. 49-1/2" x 101-1/2"
M.O. 49-3/4" x 101-3/4"
O.A. Box Size 49-1/2x101-1/2"

Inside



Outside

- FRENCH-PD-2; 17-19/32x93-1/4;
A/P;White Alum Clad AAMA.2605;
Insul Inswing
3-3/8" Bottom Rail
3-3/8" Stiles/Top Rail
Custom Width
Custom Height
White Outswing Screen
BetterVue Mesh
Tempered Glass
Preserve Glass
Silver Spacer
Insul Glass Deduct
6-9/16" Exterior Jamb Kit
Fingerjointed Jambs & Stops
Satin Nickel Hinges
Munchen Handle Style
M374N BackPlate
Deduct Standard Handleset
Satin Nickel Handleset (Active)
Satin Nickel Handleset (Inactive)
Handle Activated Base Charge
Satin Nickel Strikes
No Drip Cap/Nailing Fins
Three-Point Locks Included
Handle Activated Flush Bolt
Pre-Finished White Interior
(Frame)
Pre-Finished White Interior (Panel)
Pre-Finished White Interior
(Astragal/Mull Jamb)
Bronze Sill
Panel OSM: 23-19/32"x99-1/4"
* This unit is not certified. No
warranty for function and/or
operation. *
- Sash 1
U-Factor=0.43
SHGC=0.34
Visible Transmittance=0.35
PG=N/A

1 Each @ \$7,116.57 \$7,116.57

Quoted prices are good for 30 days (Expires: 6/8/2024)
and are subject to correction of computational errors.

TOTAL NET PRICE	\$7,116.57
VA (Taxable Amt: \$7,116.57)	\$426.99
TOTAL QUOTATION PRICE	\$7,543.56