

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 322 Commerce Street Alexandria VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 073.02-07-14 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Sandra J. Parsons

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Agent

Name: Eduardo Grassioto

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: Sandra J. Parsons and Mark C. Parsons

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other <u>Dormer</u> | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

*Demo A Portion Of The Existing Rear/West Roof Slope.

*Construct A New Dormer At The Property's Rear/West Elevation Roof Slope.

SUBMITTAL REQUIREMENTS:

☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

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ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: Sandra J. ParsonsDate: 5-19-25

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Sandra J. Parsons	[REDACTED]	50%
2. Mark C. Parsons	[REDACTED]	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 322 Commerce Street Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.


Name	Address	Percent of Ownership
1. Sandra J. Parsons	[REDACTED]	50%
2. Mark C. Parsons	[REDACTED]	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2. N/A	N/A	N/A
3. N/A	N/A	N/A

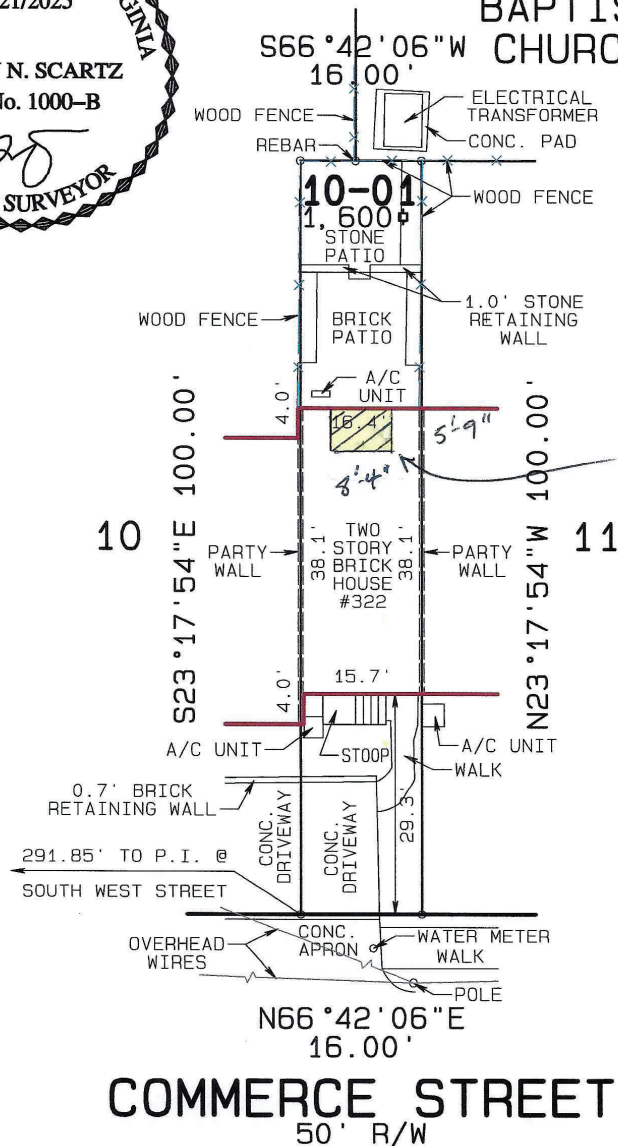
NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

5-19-25 Sandra Parsons 
Date Printed Name Signature



SHILOH
BAPTIST
CHURCH



PHYSICAL IMPROVEMENTS SURVEY

LOT 10-01

COMMERCE STREET TOWNHOUSES

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'

DATE: MARCH 21, 2025

CASE NAME: MARK C. OR SANDRA J. PARSONS

NO TITLE REPORT FURNISHED.

PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.

FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.

SCARTZ SURVEYS

LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBIDGE, VIRGINIA

LOCAL (703) 494-4181
FAX (703) 494-3330
LARRY.SCARTZ@SCARTZ.COM





Department of Planning and Zoning Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 322 Commerce Street
Street Address

RM
Zone

A2. 1,600.00

x 1.50

= 2,400.00

Total Lot Area

Floor Area Ratio Allowed by Zone

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement

First Floor 624.84

Second Floor 624.84

Third Floor 354.67

Attic 270.17

Porches

Balcony/Deck

Garage

Other***

Allowable Exclusions**

Basement**

Stairways** 97.00

Mechanical**

Attic less than 7*** 270.17

Porches**

Balcony/Deck**

Garage**

Other***

Other***

B1. 1,874.52 Sq. Ft.

Existing Gross Floor Area*

B2. 367.17 Sq. Ft.

Allowable Floor Exclusions**

B3. 1,507.35 Sq. Ft.

Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross

1,874.52

B2. Total Exclusions

367.17

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor

Second Floor

Third Floor 48.14

Attic

Porches

Balcony/Deck

Garage

Other***

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7***

Porches**

Balcony/Deck**

Garage**

Other***

Other***

C1. 48.14 Sq. Ft.

Proposed Gross Floor Area*

C2. 0.00 Sq. Ft.

Allowable Floor Exclusions**

C3. 48.14 Sq. Ft.

Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross

48.14

C2. Total Exclusions

0.00

D. Total Floor Area

D1. 1,555.49 Sq. Ft.

Total Floor Area (add B3 and C3)

D2. 2,400 Sq. Ft.

Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: _____

5-15-25

1. DESIGN LOADS

USE	LL(p.s.f.)	DL(p.s.f.)
FLOOR	40	10
SLEEPING ROOMS	30	10
DECKS	40	10

2. LATERAL LOADS

- WIND 115 Miles Per Hour

3. SOIL VALUE

- ASSUMED TO BE 1500 PSF BEARING CAPACITY.
- WATER TABLE, MIN. 2'-0" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS.
- SOIL TYPES, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.

4. FOOTINGS.

- BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2' BELOW FINISHED GRADE.
- FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE OF THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

5. CONCRETE

- ALL CONCRETE SHALL BE 3500 PSI @ 28 DAYS. (EXCEPT STOOP & GARAGE WHICH SHALL BE 3500 PSI @ 28 DAYS.) MAXIMUM SLUMP OF 5".
- CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
- REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
- ALL EXPOSED EXTERIOR CONCRETE SHALL BE 6 +/- 1% AIR ENTRAINED.
- DETAILS OF REINFORCING SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:

EXPOSED				
	NOT EXPOSED	#5 OR SMALLER	#6 OR LARGER	EARTH FORMED
SLABS	3/4"	1-1/2"	2"	3"
BEAMS	1-1/2"	1-1/2"	2"	3"
COLUMNS	1-1/2"	1-1/2"	2"	3"
WALLS	3/4"	1-1/2"	2"	-
FOOTINGS	-	3"	3"	3"

6. CONCRETE FOUNDATION WALLS

- SEE DETAILS FOR 45# AND 60# LATERAL PRESSURE.
- FOOTINGS FOR 8" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- FOOTINGS FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- FOOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- STEP FOOTINGS 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT.
- FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE 6" PROJECTIONS x 12" DEPTH.
- ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.

7. CONCRETE SLABS ON GRADE

- UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6 x 6 W 1.4 x W 1.4 (#1010) WELDED WIRE FABRIC IN THE MIDDLE PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
- PLACING, LAP, ETC., SHALL CONFORM TO WRI STANDARDS.
- FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.

8. CONCRETE RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- PROVIDE WEAKENED PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
- PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH SECTION R405.

9. MASONRY

- PIERS, PILASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270.
- BOND ALL MASONRY WITH METAL JOINT REINFORCEMENT EVERY 16" VERTICALLY.
- WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY.
- 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S @ 24" O.C. INTO THE FOOTING TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE
- TIE ALL BRICK VENEER TO WOOD STUD BACK-UP WITH CORRUGATED METAL TIES AT 24" O.C. (MAX).
- ALL MORTAR BELOW GRADE TO BE TYPE H.
- PROVIDE 3 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID (NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
- UNLESS OTHERWISE NOTED, PROVIDE 6 COURSES OF SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 8" MINIMUM LENGTH AT ALL STRUCTURAL STEEL BEARING.
- PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
- PIERS SHALL BE BONDED WITH HEADER COURSES.
- PROVIDE THOROUGH MASONRY CONTINUITY (CEMENT GROUT) WHERE PIERS EXTEND ABOVE STEEL BEAMS.

SPECIFICATION:

- EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS 0.16 @ 1" SECOND PERIOD 0.053
- RESIDENTIAL SEISMIC DESIGN CATEGORY-B
- WEATHERING PROBABILITY FOR CONCRETE - SEVERE
- TERMITE INFESTATION PROBABILITY - MODERATE TO SEVERE
- DECAY PROBABILITY - SLIGHT TO MODERATE
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARDS (3-15-1990) NATIONAL FLOOD PROGRAM DATE
- WINTER DESIGN TEMPERATURE 17 DEGREES F
- AIR FREEZING INDEX < - OR 1500 DEGREES F
- MEAN ANNUAL TEMPERATURE 50 DEGREES F

EQUIVALENT U-FACTORS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL U-FACTOR
4A	0.32	0.55	0.40	60	15	8/13	19	10/13	10.2 FEET	10/13

- CONSTRUCTION CLASSIFICATION TYPE - 5B
- USE GROUP CLASSIFICATION - R5
- ALL 3", 3 1/2", AND 4" DIAMETER ADJUSTABLE STEEL COLUMNS ARE TAPCO MONOPOST 40-300 SERIES U.N.O. AND CONFORM TO ASTM A513 STEEL.
- ALL SMOKE / CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED & INTERCONNECTED PER THE 2021 USBC, 315.1 & 315.2 & LISTED IN ACCORDANCE W/ UL2034 & UL217.
- THESE PLANS HAVE BEEN DESIGNED TO COMPLY WITH THE 2021 USBC AND THE 2021 INTERNATIONAL BUILDING CODES.

10. MASONRY RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
- KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPPINGS. THE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH WIRE TIES AND SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
- FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE, 2500 PSI @ 28 DAYS, OR MASONRY GROUT PER ASTM C-478. - CLOSE CLEANOUTS ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL. VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
- MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
- PROVIDE DUROWAL (OR EQUAL) 8" O.C. VERTICALLY.

11. BACKFILL COMPACTION

- PER GEOTECHNICAL REQUIREMENTS.

12. WOOD FRAMING

- ALL SPANS UP TO 15'-0" FRAMING TIMBERS SHALL BE NO. 2 HEM FIR, OR BETTER (Fb = 850.0 = 1,300,000 PSI). Fv = 135 PSI.
- ALL SPANS OVER 15'-0" FRAMING TIMBERS SHALL BE NO. 1 YELLOW PINE, OR BETTER (Fb = 1,300.0 = 1,700,000 PSI). Fv = 175 PSI 2x12 FB=1250 psi
- PROVIDE ANCHORAGE INTO FOUNDATION WALLS WITH 1/2" DIA. A307 ANCHOR BOLTS @ 4'-0" O.C. 9" INTO CONCRETE, AND A MAXIMUM OF 12" FROM ANY CORNER.
- PROVIDE TEGO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT.
- STUDS SHALL BE MIN. S-P-F S-DRY, CONSTRUCTION GRADE.
- ALL EXTERIOR LUMBER TO BE P.T. SOUTHERN PINE #2 OR BETTER
- LUMBER IN CONTACT W/ GROUND SHALL BE RATED AS "GROUND CONTACT"

13. WOOD TRUSSES (PREFAB/PREEND.)

- FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF L/860 SPAN. REFER TO FLOOR TRUSS MANUFACTURERS RECOMMENDATIONS FOR ERECTION BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
- TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS.
- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES (TP1-78), PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TP1 QUALITY CONTROL MANUAL (OCM-77).
- ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION, ALLOWABLE LOAD PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES), LOAD TEST DATA, AND DETAILS FOR TRUSS-TO-TRUSS CONNECTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
- TRUSS DESIGN SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
- ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TEGO OR EQUIVALENT FRAMING ANCHOR EACH END.
- ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRACING WOOD TRUSSES (BTW-76), AS PUBLISHED BY TPI.

14. MICRO-LAM BEAMS

- SHALL HAVE AN EXTREME FIBER BENDING STRESS OF FB-3100 PSI, E-2,000,000 PSI, Fv-285 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.

15. PLYWOOD WEB JOISTS

- JOISTS SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOADS SHOWN BUT NOT LESS THAN 10 PSF.

16. STRUCTURAL STEEL

- STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER.
- ALL WELDING SHALL CONFORM TO THE AWS STRUCTURAL WELDING CODE. WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
- ONE SHOP COAT OF PAINT, SOUTHERN COATING 1-0476 OF 0730, OR AN APPROVED EQUIVALENT, TWO MILS DRY FILM THICKNESS SHALL BE APPLIED TO ALL STRUCTURAL MEMBERS.
- PROVIDE MASONRY BEARING ANCHORS AT EACH BEAM END BEARING UPON MASONRY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS FOR BUILDINGS, AND UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-572 GR-50
- STRUCTURAL TUBING TO A MINIMUM YIELD OF 36 KSI (ROUND ONLY). SQUARE AND RECTANGULAR SHALL CONFORM TO ASTM A-500 GR-B Fy=46 KSI
- SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
- HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE TURN-OF-NUT METHOD.

17. MISCELLANEOUS

- HANDRAILS ARE TO BE BUILT & INSTALLED PER 2021 USBC.
- STAIRWAYS ARE TO BE ILLUMINATED WITH A MINIMUM OF 10 FOOT CANDLES PER TREAD
- OUTSIDE LIGHTING IS TO BE PROVIDED SO THAT DECK STAIRS ARE ILLUMINATED PER CODE.
- ALL STUCCO FINISH HOUSES ARE TO BE INSTALLED WITH STRICT COMPLIANCE TO MANUFACTURER'S RECOMMENDATIONS.
- ALL FOAM PLASTIC MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH 2021 IRC SECTION R316.

INDEX

DESCRIPTION	SHEET	CHECKED
COVER SHEET	C	4-29-2025
EXISTING BUILDING ELEVATIONS	A1	4-29-2025
EXISTING FLOOR PLANS	A2	4-29-2025
PROPOSED BUILDING ELEVATIONS	A3	4-29-2025
PROPOSED FLOOR PLAN	A4	4-29-2025

WORK DESCRIPTION:

- NEW REAR DORMER
- RENOVATE EXISTING LOFT BEDROOM

NOTES TO ALL PARTIES INVOLVED:

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE W/ THE VIRGINIA RESIDENTIAL CODE (VRC) 2021
2. THIS PLAN IS A BASIC PLAN FOR THE USE OF OBTAINING A BUILDING PERMIT AND PROVIDING A LAYOUT OF THE PROPOSED WORK FOR ALL SPECIFICATIONS, NOTES, REGULATIONS, SAFETY REQUIREMENTS, BUILDING CODES, ELECTRICAL CODES, PLUMBING CODES, OTHER APPLICABLE CODES AND ETC NOT SHOWN ON THIS PLAN, PLEASE REFER TO THE VRC 2021 VRC CODE FOR CLARIFICATION.
3. THIS PLAN IS NOT FOR THE USE OF OBTAINING MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER OF THIS PROPERTY/ACTING AS CONTRACTOR, TO CONSTRUCT THIS PROPOSED RESIDENTIAL STRUCTURE PER THESE APPROVED PLANS AND IN ACCORDANCE WITH THE VRC 2021 CODE.
4. IF THE CONTRACTOR AND/OR PROPERTY OWNER SHOULD HAVE ANY QUESTIONS AND/OR CONCERNS AT ANY TIME BEFORE OR THROUGHOUT THE CONSTRUCTION OF THIS PROJECT, THEN HE OR SHE SHOULD STOP WORK IMMEDIATELY AND CONTACT THE PERSON WHO PREPARED THESE PLANS, IN ORDER TO CLARIFY AND/OR CORRECT ANY CONFUSION AND/OR CONCERNS. THIS WILL HELP TO PREVENT UNNECESSARY MISTAKES, INJURIES, COSTS ETC.
5. This proposed structure should be built per the plans, only after they have been approved by the appropriate county/city jurisdiction. And for any parts of this plan that may appear to be incorrect or contradictory to the VRC 2021 code (even if they are already approved and construction is under way). Then it is the responsibility of the contractor and/or property owner to contact the person who prepared these plans, in order to clarify such concerns. If it is necessary, revision will need to be made through the appropriate county/city jurisdiction prior to construction. This structure must be constructed per the VCR 2021 code.
6. It is the responsibility of the contractor and/or property owner to ensure that all required permits are obtained, that they do not expire and that all required inspections are scheduled and approved. It is also the responsibility of the contractor and/or property owner to ensure that all of the required permits remain active until all of the required permits are finalized / approved with the appropriate county/city inspection office.
7. The contractor and/or property owner is responsible and liable for the lives and safety of any and/or all occupants of the property, their visitors and the people performing the labor/trade construction services-before, during, and after construction of this project - on this property. The contractor and/or property owner is also responsible and liable for any and/or all damages(s) to this property- before, during, and after the construction of this project. The contractor and/or property owner will be responsible for using the correct materials specified and not specified in this plan and that those materials will be of good quality. The contractor and/or property owner is also responsible for ensuring that all individuals(s) performing any work are knowledgeable and competent enough to perform construction labor/trade services and that they are using safe construction practices at all times. The contractor and/or property owner is responsible for ensuring that any individual(s) performing any type of construction services at any time of this project, that he or she can comprehend these plans and is familiar with and understandsof the VRC 2021 code.
8. It is the responsibility of the contractor and/or property owner to ensure that all existing site conditions are verified in the field. He or she must also verify that all existing site conditions in the field correspond with what is shown on these plans that are approved by the appropriate county/city jurisdiction. It is the responsibility of the contractor and /or property owner to ensure that all existing field conditions meet the VRC 2021 code. If it is discovered that the existing site/structure(s) does not meet current applicable state, county and city codes and ordinances, that the contractor and/or property owner is responsible for modifying/upgrading the existing site/structure(s), in order to meet any and all such current codes. The contractor and/or property owner is responsible for verifying that any and all existing structure(s) is in good condition and can sustain any alterations and/or additional loads being added as shown in this plan, prior to construction.
9. Once the contractor and/or property owner has taken possession of these approved plans for whatever intent or purpose, he or she is certifying that they agree with all of the notes, statements, and conditions listed above and that he or she comprehends exactly what each statement is saying. Also the contractor and/or property owner is responsible for ensuring that every requirement of these statements are performed.
10. It is the responsibility of the contractor and/or homeowner to verify that all of the existing structures dimensions, measurements, conditions, etc. match what has been proposed in this plan. These specifications need to be verified and addressed prior to the ordering of materials and prior to any demo or construction being performed, for any part of this proposed work. The contractor and/or homeowner is liable and financially responsible for all costs, fees, and etc. that may occur throughout construction, even if these plans are incorrect or different that the conditions on the site or different from previous conversations and requests. The contractor and/or homeowner are responsible for any additional costs for additional materials, corrections, engineering, labor and etc. that may occur throughout this project.

COVER SHEET

C

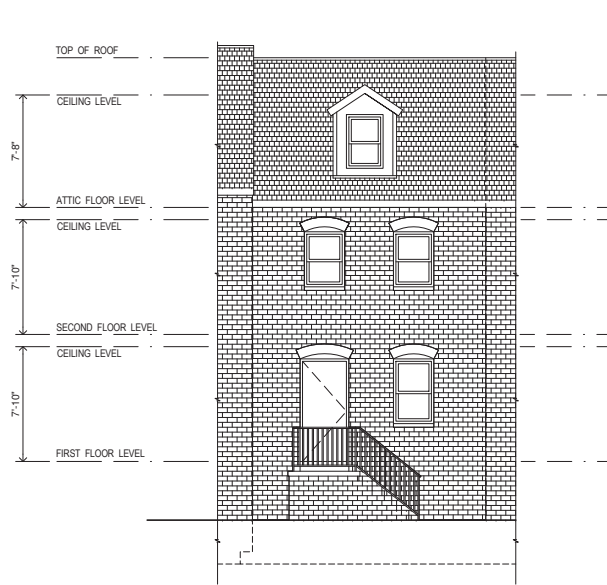
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REVISIONS

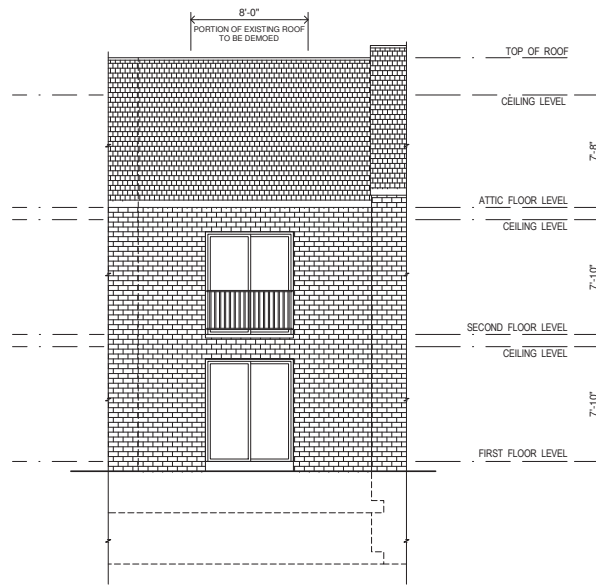
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DUMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

322 COMMERCE STREET
ALEXANDRIA, VA 22314



**EXISTING
FRONT ELEVATION (NO CHANGE)**
SCALE 1/4" = 1'-0"



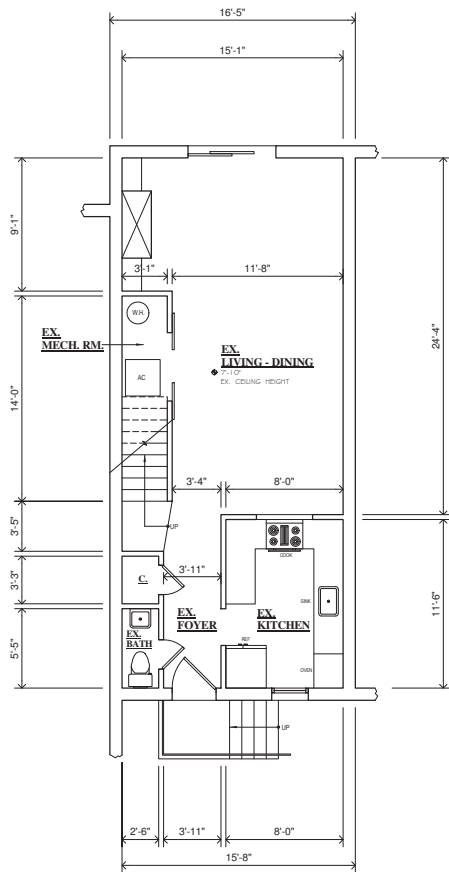
**EXISTING
REAR ELEVATION**
SCALE 1/4" = 1'-0"

REVISIONS	

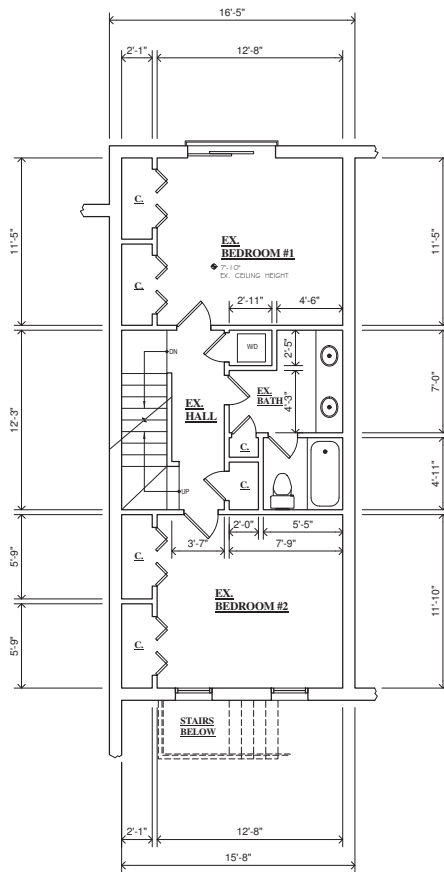
EZ PLAN & CONSULTING, LLC 4393 KEVIN WALKER DR. #156 DUMFRIES, VA 22025	PREPARED BY: BURNS DRAFTING & DESIGN, LLC

EXISTING BUILDING ELEVATIONS	
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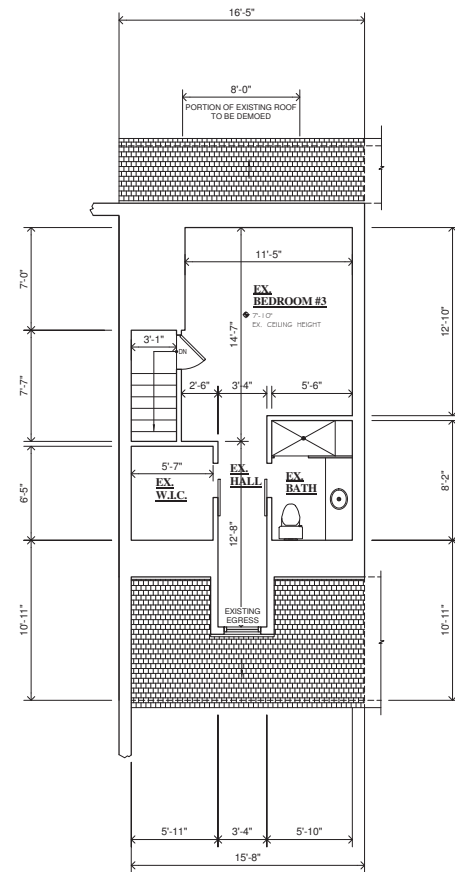
A1	
SCALE: 1/4" = 1'-0"	



**EXISTING
FIRST FLOOR PLAN (NO CHANGE)**
SCALE 1/4" = 1'-0"



**EXISTING
SECOND FLOOR PLAN (NO CHANGE)**
SCALE 1/4" = 1'-0"



**EXISTING
LOFT FLOOR PLAN**
SCALE 1/4" = 1'-0"

EXISTING FLOOR PLANS

322 COMMERCE STREET
ALEXANDRIA, VA 22314

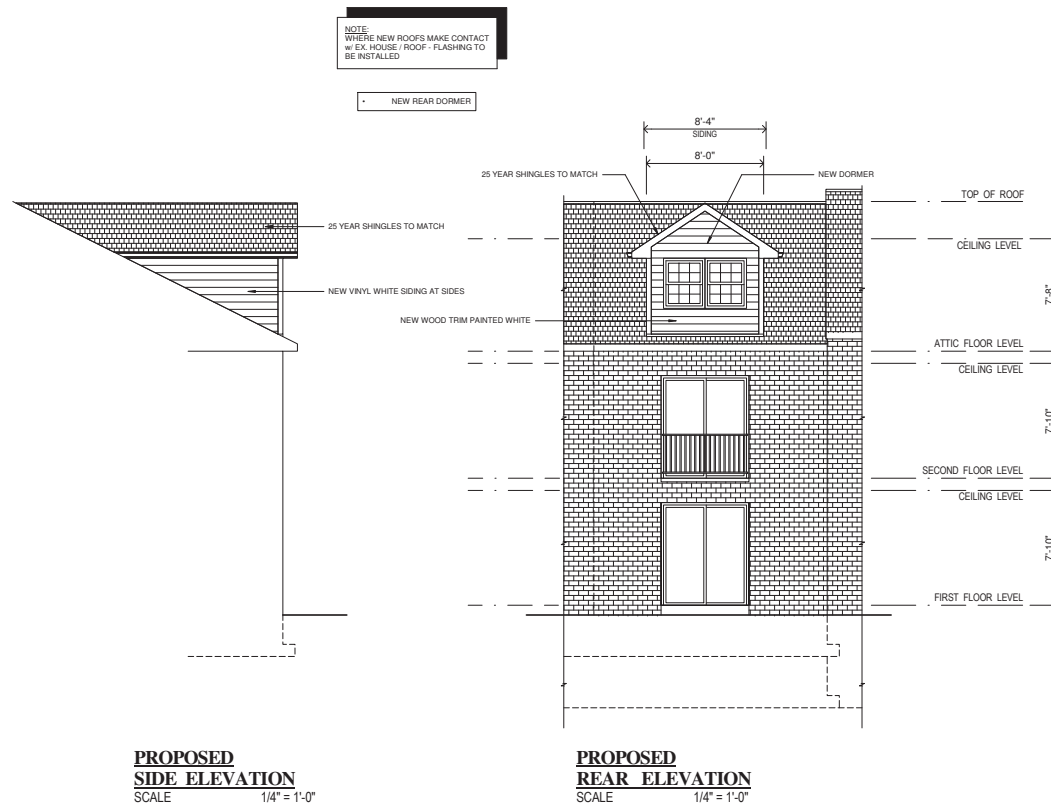
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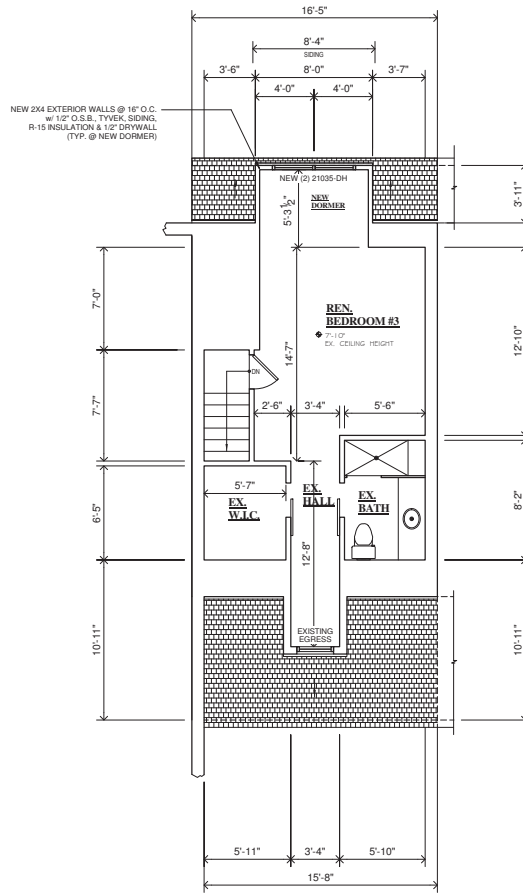
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A2

SCALE: 1/4" = 1'-0"



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PROPOSED BUILDING ELEVATIONS	
322 COMMERCE STREET ALEXANDRIA, VA 22314	
A3	
SCALE: 1/4" = 1'-0"	



NEW REAR DORMER
RENOVATE EXISTING BEDROOM

**PROPOSED
LOFT FLOOR PLAN**
SCALE 1/4" = 1'-0"

REVISIONS	

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PROPOSED FLOOR PLAN	322 COMMERCE STREET ALEXANDRIA, VA 22314
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A4
SCALE: 1/4" = 1'-0"



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What ...



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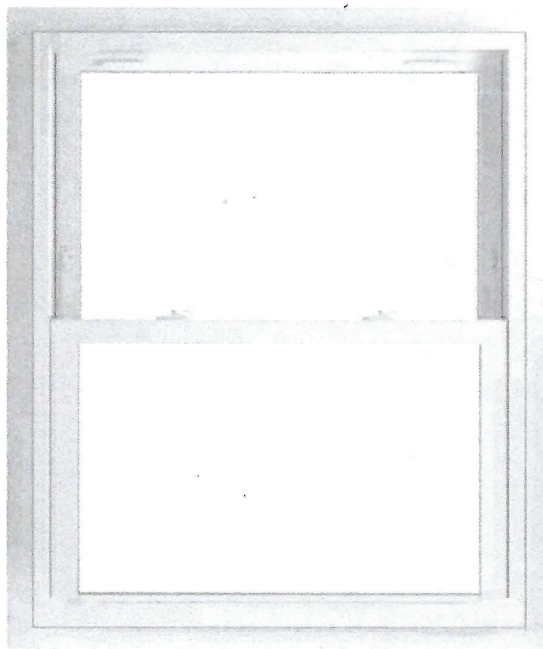
Internet # 203157322 Model # 70 DH FIN Store SKU # 516954

♥ 114

American Craftsman

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★★★★★ (555) Questions & Answers (299)



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