

ISSUE: Reapproval of expired partial demolition and encapsulation (partial) plans,
Reapproval of expired alteration and addition plans

APPLICANT: Paul O’Sullivan

LOCATION: Old and Historic Alexandria District
333 Green Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the proposed addition and alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board’s decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR’s adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

Minutes for the December 18, 2024 Hearing

BOARD ACTION

On a motion by Mr. Scott, seconded by Mr. Lyons, the Board of Architectural Review voted to approve BAR#2023-00074 and BAR#2023-00083 as submitted. The motion carried on a vote of 4 to 2, with Ms. Miller and Ms. Zandian voting against.

Reason

The Board found the revised design appropriate.

Speakers

Paul O'Sullivan, owner and architect, available for questions

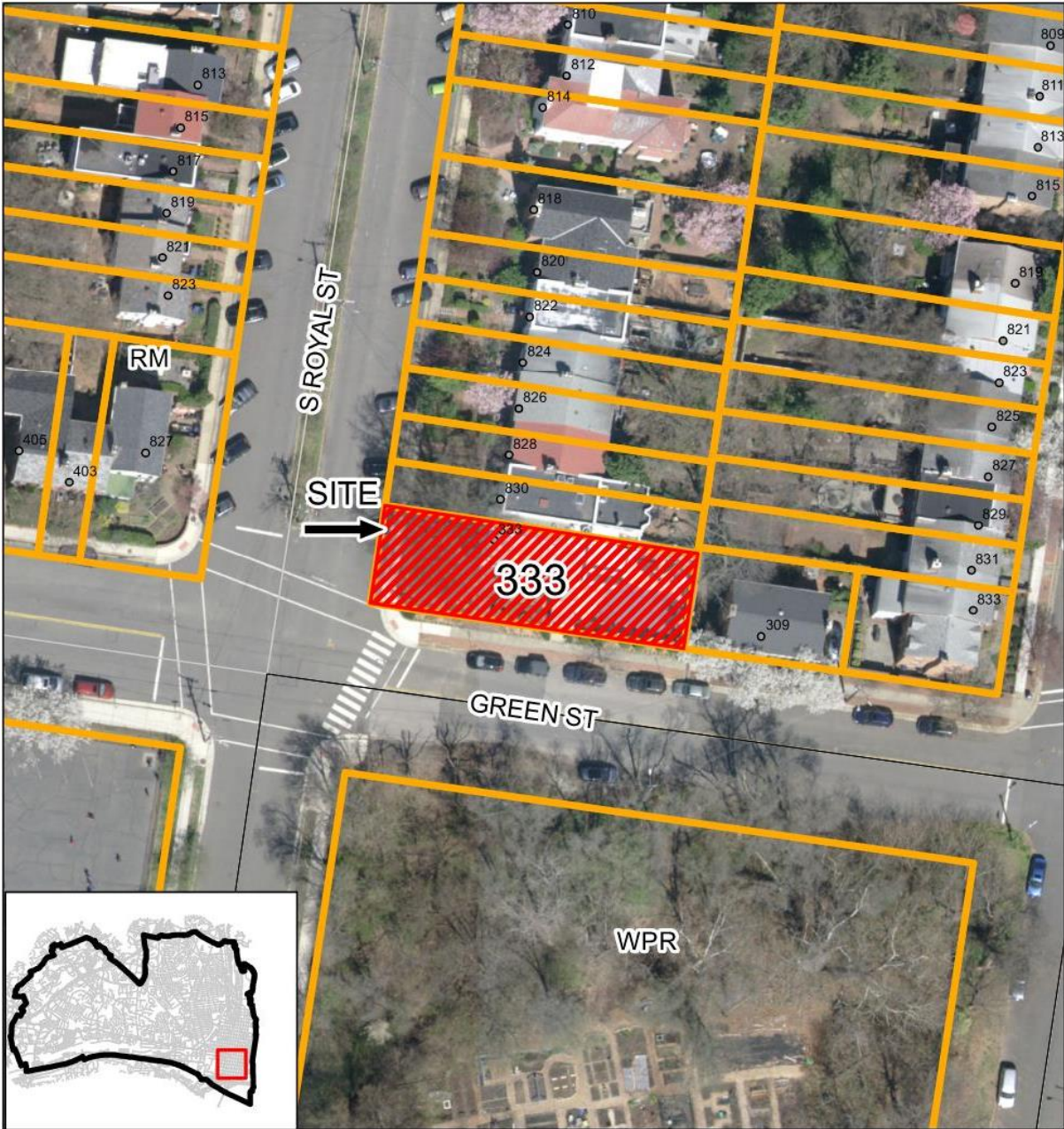
Gail Rothrock, HAF, spoke in opposition of the project.

Discussion

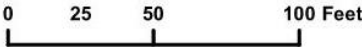
Mr. Scott clarified the procedural process. He spoke in support of the application and stated the importance of the immediate neighbor support of the project. He also found the changes to the existing roof favorable.

Ms. del Ninno spoke in support of the project. Noting the similar massing of properties on the block.

Ms. Miller asked if there were any changes to the design, since the previous hearing.



BAR#2026-00106 & BAR#2026-00107
OHAD
333 Green Street



Note: Staff coupled the applications for a Permit to Demolish (BAR2026-00107) and Certificate of Appropriateness (BAR2026-00106) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE

The project is returning to the Board because the BAR approval granted on December 18, 2024, has expired. The applicant has made the following minor changes to the submittal documents:

1. The engineered siding has been inset 2-3/4”;
2. The overhang of has been pulled in 11-3/4”;
3. A smaller HVAC rooftop unit has been selected; and,
4. Snow guards will be added to the roof (which doesn’t require BAR review).



Photo 1: Existing conditions



Photo 2: Current Submission (May 20, 2026)

I. APPLICANT’S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enclose the existing roof deck and exterior access stairs over the east side of the property to create a third-story addition, as well as alterations, at 333 Green Street.

Permit to Demolition/Encapsulation

- Demolish existing standing seam metal roof on portico and accessory structure
- Demolish existing hipped main roof
- Demolish existing low slope roof deck
- Demolish existing rooftop guard rail system
- Remove brick as required on the 3rd floor in order to lower windowsill height

Certificate of Appropriateness

- Replace the existing main roof with a high-pitched gabled roof
- Relocate existing and install new skylights on roof
- Enclose existing exterior roof deck and associated access stair on east side

The application also includes the following alterations which comply with the BAR Policy for Administrative Approval: in-kind replacement of the standing seam metal roof, storefront system window replacement (5), and relocation of existing rooftop HVAC compressor. The materials of the proposed addition will be engineered stone panels and brick (to match adjacent walls), metal trim and a thermoplastic polyolefin membrane roof (TPO) on the addition. All proposed replacement and new materials comply with the Board’s design guidelines and policies.

Site context

The subject property is located across from Jones Point Park.

II. HISTORY

According to the City’s real estate records, the townhouse at 333 Green Street was constructed as part of the Yates Garden subdivision circa **1952**. It is a two-bay, two-story painted brick end unit townhouse with a later addition. From 1966 to 1983, the Board approved several alterations for the property including an addition, a pool, skylight, window alterations and a new portico and stoop.

Previous BAR Approvals

- BAR2023-00083/00074 – The Board approval of an addition and alterations (12/18/2024).
- BAR2016-00357 – Staff administrative approved the replacement of a door (8/11/2018).
- BAR2012-00074 – Administrative approval to replace two windows (03/21/2012).
- BAR2010-00284 – The Board approved replacement windows (10/20/2010).
- April 21, 1982 – Board approval of an addition.
- June 1, 1983 – Board approval of new stoop, porch canopy and railing; relocate front door.
- Nov 7, 1979 – Board approval of an addition, subject to the submission of details.
- Aug 17, 1977 – Board approval to install a skylight and alter windows.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
(7)	In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?	No
(8)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

The analysis of the standards indicated above relate only to the portions of the roof area and wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Staff has no objection to the proposed addition and alterations. The *Design Guidelines* state that an approach to a design for a residential addition is one which creates a distinct yet compatible contrast with the original building through the use of differing materials, colors, and abstraction of the principal design elements of the original building.

The proposed rooftop addition will be 9'- 6" in height and constructed over the existing addition. The overall height will increase to 32'-4 ^{3/4}", which is still below RM zone's maximum permitted height of 35 feet. The applicant is proposing to replace the hipped roof on the main portion of the property with a high-pitched gable roof. This alteration is in response to the Board's concern that the addition was too tall in comparison to the main portion of the building. The *Design Guidelines*

states that roofs are a defining architectural feature and staff supports the proposed alteration. The gable roof type is commonly found on colonial-revival structures and this roof replacement will not lessen the integrity of the later building.

While the addition will be visible, it does not obscure or dilute the architectural importance of the original structure. Staff recommends approval of the proposed addition and alterations, as submitted.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Julie Weisgerber, Historic Preservation Principal Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed roof replacement and third floor addition will comply with zoning.

Code Administration

C-1 A building permit is required for required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeology comments.

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Staff report from December 18, 2024

ADDRESS OF PROJECT: 333 Green St., Alexandria, VA 22314

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: map = 080.04, PID 080.04-15-16 ZONING: RM

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Paul O'Sullivan

Address: _____

City: _____

Phone: _____ E-mail: _____

Authorized Agent (if applicable): Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Amy & Paul O'Sullivan

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attached for description of proposed work

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

DESCRIPTION OF PROPOSED WORK

ROOF:

- Demo existing standing seam metal roof (portico and attached storage)
- Demo existing hipped main roof & construct a higher pitched gabled roof in its place.
- Relocation of existing rooftop HVAC compressor
- Install existing standing seam metal roof with standing seam metal roof (main roof, portico and attached storage)
- Relocation of existing skylights & sun tunnels as called out in plan for daylighting interior rooms
- Adding skylights as called out in plan for daylighting interior rooms

3RD FLOOR:

- Enclose existing exterior roof deck and associated existing roof deck exterior access stair over the East side of the house.
- Demo existing low slope roof deck membrane and associated insulation.
- Demo existing rooftop guard rail system
- Selectively demolish brick as required to lower window sill to appropriate height
- Extend existing standing seam roof between existing original structure and existing 1980's addition
- Enclosed roof deck and access stair to allow conditioned space with the rest of the residence.
- Exterior materials to enclose addition shall be engineered stone panels and brick to match existing adjacent
- Exterior trim to be brake metal to match proposed roof
- Roof over addition shall be low sloped with a membrane (TPO or liquid applied)
- Operable windows throughout (5 ganged windows to align with windows at 2nd floor)

2ND FLOOR:

- Replace existing, non-thermally broken storefront 5 ganged windows with 5 ganged aluminum clad windows
- Infill (tooth-in) brick where applicable to match existing adjacent

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Paul J. O'Sullivan

Printed Name: Paul O'Sullivan

Date: 04-02-2026

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Paul O'Sullivan	[REDACTED]	50%
2. Amy O'Sullivan	[REDACTED]	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 333 Green St., Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Paul O'Sullivan	[REDACTED]	50%
2. Amy O'Sullivan	[REDACTED]	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

04-02-2026 _____ Paul O'Sullivan _____
 Date Printed Name Signature



Department of Planning & Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address RM
 Zone

A2. x =
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="998.00"/>	Basement**	<input type="text" value="938.00"/>	B1. <input type="text" value="3,844.00"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text" value="1,351.00"/>	Stairways**	<input type="text" value="121.00"/>	B2. <input type="text" value="1,662.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="1,122.00"/>	Mechanical**	<input type="text" value=""/>	B3. <input type="text" value="2,182.00"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value="373.00"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid gray; padding: 5px; min-height: 50px;">See attached FAR xcel sheet with breakdown of</div>
Attic	<input type="text" value="373.00"/>	Porches**	<input type="text" value="43.00"/>	
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value=""/>	
Balcony/Deck	<input type="text" value=""/>	Lavatory***	<input type="text" value="95.00"/>	
Lavatory***	<input type="text" value=""/>	Other**	<input type="text" value="32.00"/>	
Other**	<input type="text" value=""/>	Other**	<input type="text" value=""/>	
B1. Total Gross	<input type="text" value="3,785.00"/>	B2. Total Exclusions	<input type="text" value="1,662.00"/>	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	<input type="text" value=""/>	Basement**	<input type="text" value=""/>	C1. <input type="text" value="790.00"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text" value="92.00"/>	Stairways**	<input type="text" value="52.00"/>	C2. <input type="text" value="102.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="92.00"/>	Mechanical**	<input type="text" value=""/>	C3. <input type="text" value="688.00"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text" value="566.00"/>	Attic less than 7'***	<input type="text" value=""/>	Notes <i>*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.</i> <i>** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.</i> <i>***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.</i>
Attic	<input type="text" value="40.00"/>	Porches**	<input type="text" value=""/>	
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value=""/>	
Balcony/Deck	<input type="text" value=""/>	Lavatory***	<input type="text" value="50.00"/>	
Lavatory***	<input type="text" value=""/>	Other**	<input type="text" value=""/>	
Other	<input type="text" value=""/>	Other**	<input type="text" value=""/>	
C1. Total Gross	<input type="text" value="790.00"/>	C2. Total Exclusions	<input type="text" value="102.00"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Paul J. O'Neil 15

Date: 04-02-2026

FAR calculations for 333 Green St., Alexandria, VA 22314

ZONE	RM (Residential Medium)	
Total Lot area	4,787	sf
FAR allowed for RM	1.50	
Max Allowable floor area	7,180.50	sf
Existing floor area (minus exclusions)	2,182.00	
Proposed Floor area (minus exclusions)	2,870.00	sf
Difference Existing to Proposed	688.00	sf
Difference Allowable to Proposed	4,310.50	sf

EXISTING GROSS FLOOR AREA

	Existing Gross Floor Area (SF)	Allowable Exclusion (SF)	Remarks
Basement	998	998	<i>Ceiling of basement is < 4'-0" from average finish grade, also includes stairs to Basement</i>
First Floor	1,351		<i>includes 100 sf for cantilever of 2nd floor and 162 sf for exterior storage</i>
		43	<i>Front Portico</i>
		62	<i>Stairs with intermediate landing</i>
Second Floor	1,122		
		45	<i>Hall lav</i>
		50	<i>Master Bedroom lav (50 sf max allowable)</i>
		59	<i>Stairs with intermediate landing</i>
		32	<i>closet space under 7'-0"</i>
Third Floor	0		<i>not applicable</i>
Attic	373	373	<i>entire sloped ceiling < 7'-0" from finished floor</i>
Porches			
Balcony/Deck			
Lavatory			<i>see above breakout per floor for each floor lavatory</i>
Other			
Other			
Totals	3,844	1,662	

Existing Floor Area Minus Exclusions	2,182
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Exclusion breakout per City of Alexandria FAR form. (See adjacent for breakout of exclusions per floor)	
Basement	998
Stairways	121
Mechanical	0
Attic Less than 7	373
Porches	43
Balcony/Deck	0
Lavatory	95
Other (Closet 2nd floor under 7'-0")	32
Other	0
Totals	1,662

PROPOSED GROSS AREA

	Proposed Gross Floor Area (SF)	Allowable Exclusion (SF)	Remarks
Basement	998	998	<i>Ceiling of basement is < 4'-0" from average finish grade, also includes stairs to Basement</i>
First Floor	1,443	43	<i>Front Portico</i>
		62	<i>Stairs with intermediate landing</i>
Second Floor	1,214	45	<i>Hall lav</i>
		50	<i>Master Bedroom lav (50 sf max allowable)</i>
		59	<i>Stairs with intermediate landing</i>
		32	<i>closet space under 7'-0"</i>
Third Floor	566	50	<i>1 lav (50 sf max allowable)</i>
		52	<i>Stairs with intermediate landing</i>
		337	<i>attic space <7'-0" from finished floor = 377-40=337 sf</i>
Attic	377	337	
Porches			
Balcony/Deck			
Lavatory			<i>see above breakout per floor for each floor lavatory</i>
Other			
Other			
Totals	4,598	1,728	
Existing Floor Area Minus Exclusions 2,870			

Exclusion breakout per City of Alexandria FAR form. (See adjacent for breakout of exclusions per floor)	
Basement	998
Stairways	173
Mechanical	0
Attic Less than 7	337
Porches	43
Balcony/Deck	0
Lavatory	145
Other (Closet 2nd floor under 7'-0")	32
Other	0
Totals	1,728

- NOTES:
- *Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.
 - ** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.
 - ***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

Demo Calcs

Project: 333 Green St.

***Note: All SF is based on plan view area takeoffs**

1ST Floor Demo	
Square feet	LOCATION
156	Outdoor storage - Gabled standing seam metal roof material replacement
1ST Floor total	156

2ND Floor Demo	
Square feet	LOCATION
43	Portico - standing seam metal roof material replacement
11	Bedroom - Storefront window replacement
2	Stair tower - storefront window replacement
2nd Floor total	56

ROOF Level Demo	
Square feet	LOCATION
648	Hipped Roof structure - to be replaced with gabled roof
63	TPO membrane roof between hipped roof and roof deck parapet - (to be enclosed by addition)
13	Standing seam metal between hipped roof and roof deck parapet - material replacement
260	Roof deck including stair (to be enclosed by addition)
58	Brick Parapet
7	Precast between sloped windows at 2nd floor 5 ganged windows
56	Sloped glazing and associated storefront at 2nd floor
17	Encase top of existing chimney in order to extend to code compliant height above proposed gabled roof ridge
30	gutter replacement
Roof Level total	1152

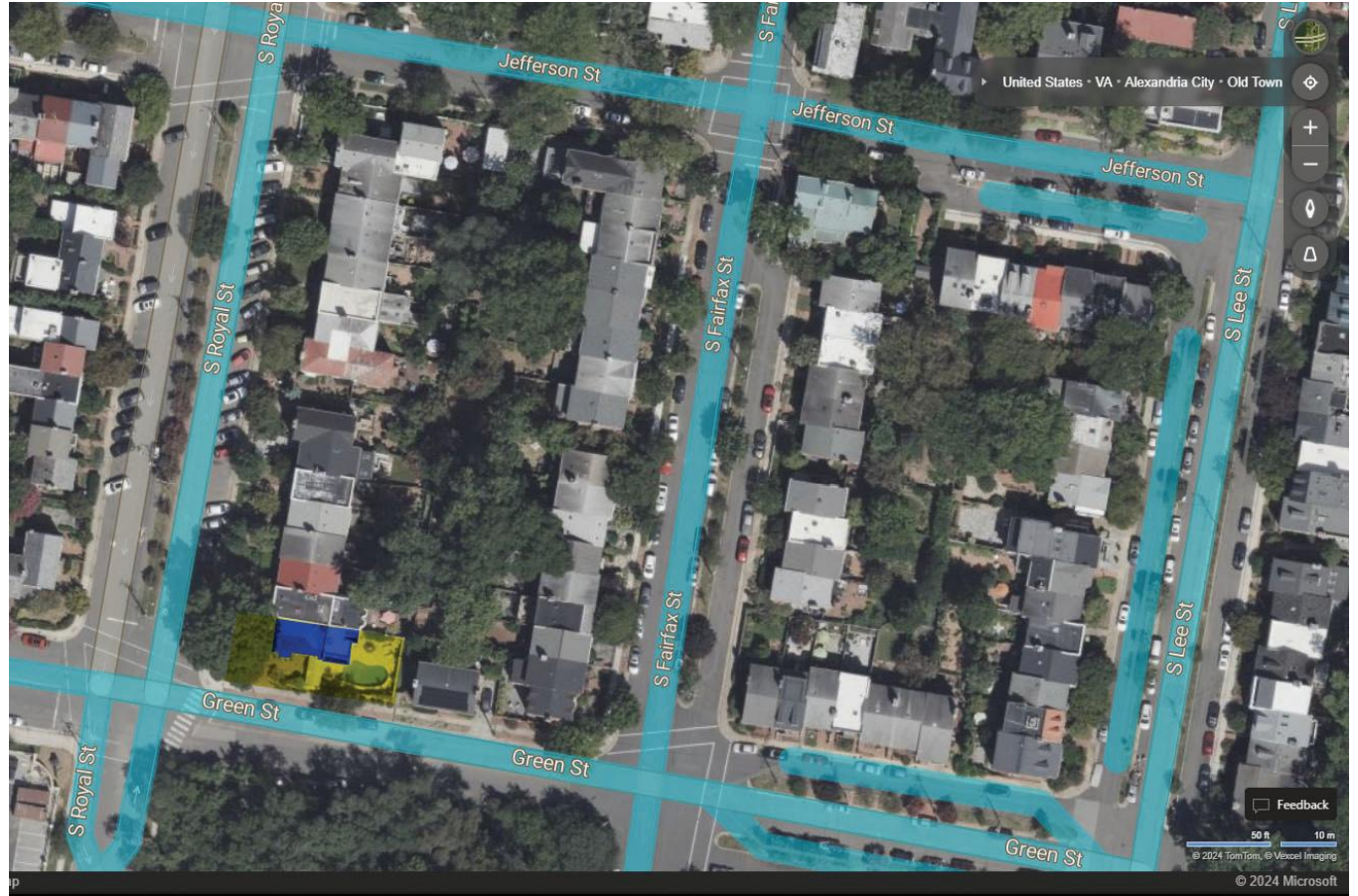
Total GROSS	
Demo	1364 SQUARE FEET

333 Green Street Addition

Alexandria Board of Architectural Review Package

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333 green st.
alexandria, va 22314
703.309.9828



Aerial Map

OS Design-Build, LLC.

333 Green St.
Alexandria, VA 223414
703. 09.9828

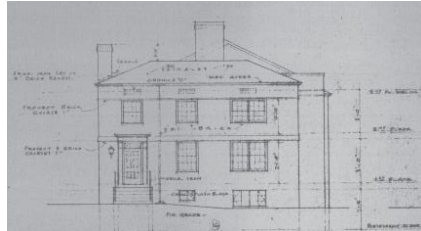
333 Green Street Addition

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BOUNDARY & AERIAL MAP

A1

September 26, 1952
original



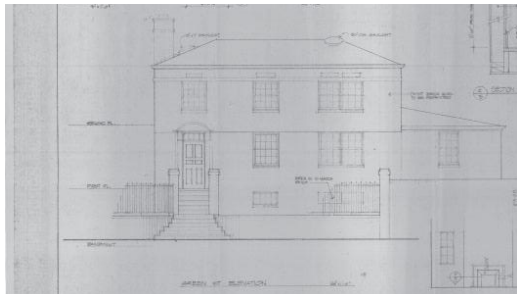
South Elevation



West Elevation

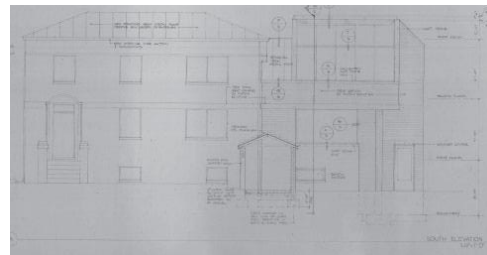
333 Green St.

August 5, 1977
addition/renovation

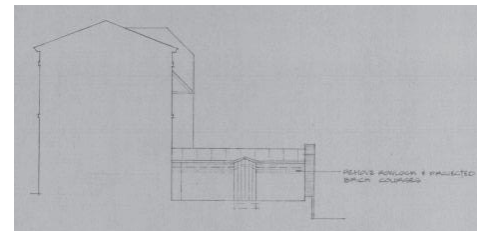


South Elevation

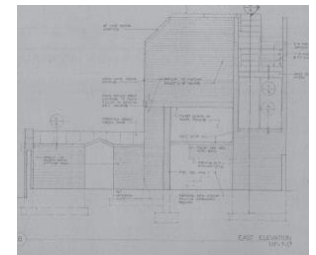
July 29, 1982
addition/renovation



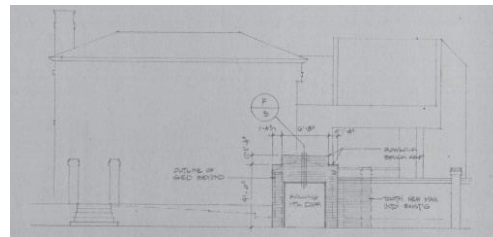
South Elevation



West Elevation



East Elevation



South Elevation @ Garage

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333 Green Street Addition

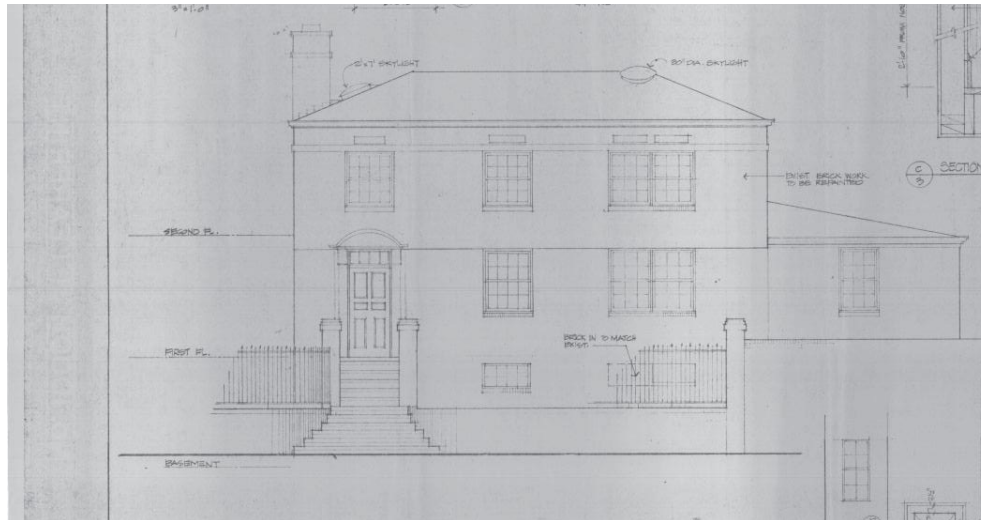
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HISTORIC ELEVATIONS

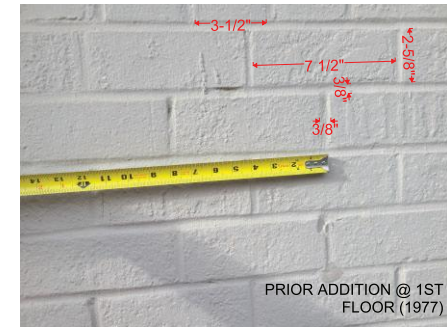
NOT TO SCALE

A3

August 5, 1977
addition/renovation



South Elevation



PRIOR ADDITION @ 1ST FLOOR (1977)



Existing Streetscape @ Royal Street

333 Green St.



333 Green St.

Existing Streetscape @ Green Street



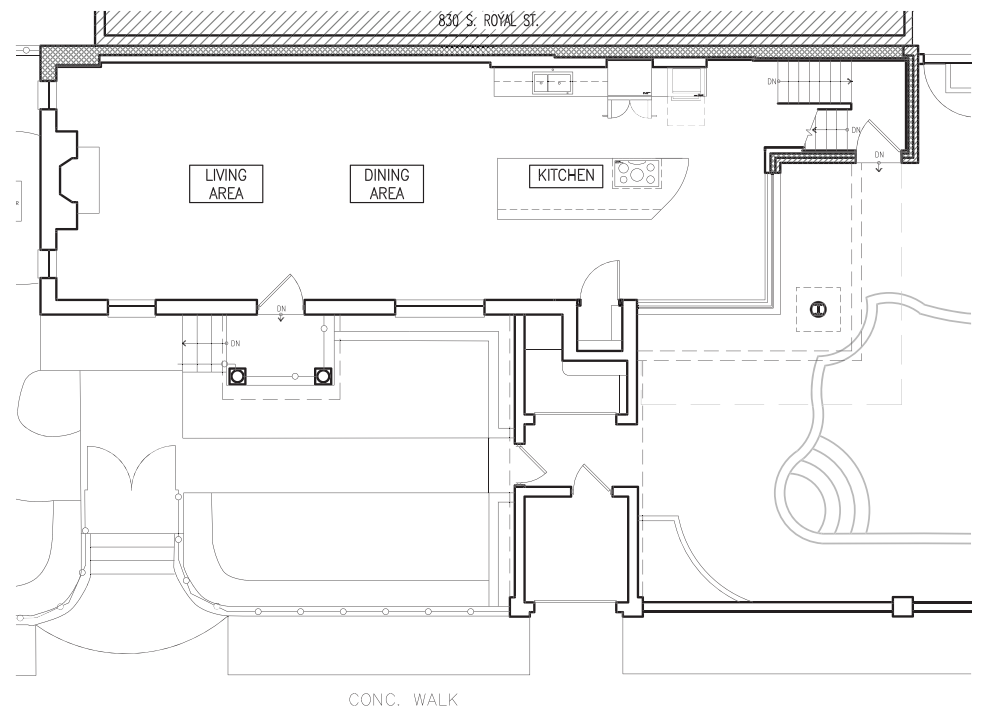
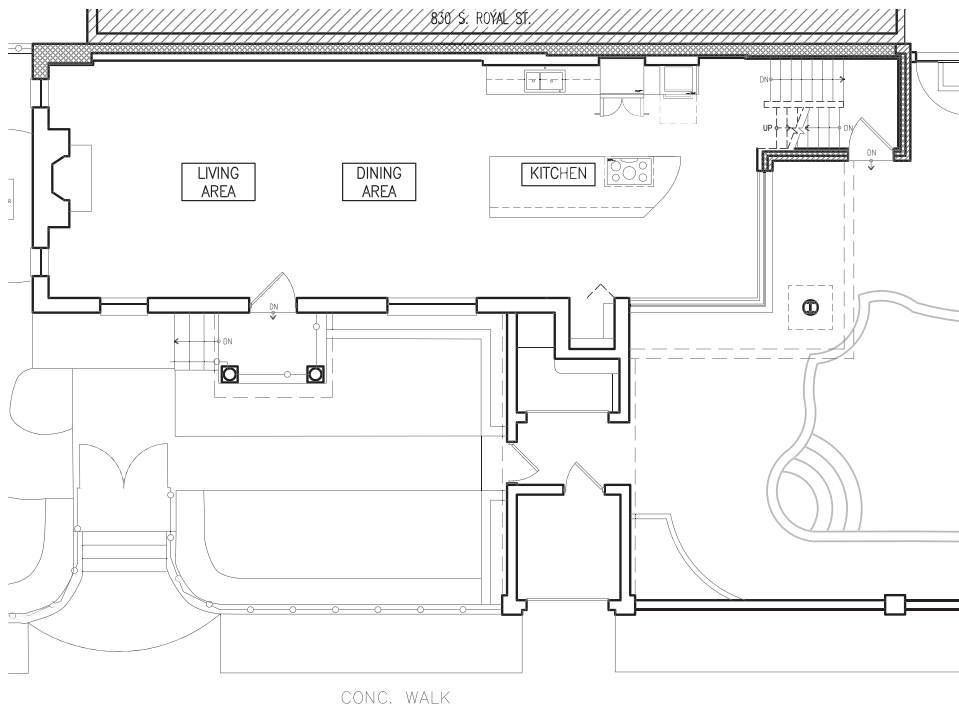
East facade @ Alley



South facade @ Green Street

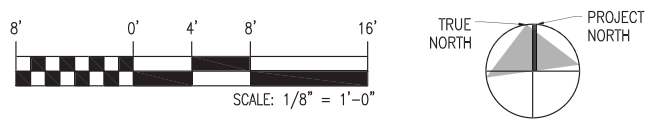


West facade @ Royal Street



A1 1ST FLOOR PLAN (DEMO) NO EXTERIOR WORK, FOR REFERENCE ONLY
SCALE: 1/8"=1'-0"

A2 1ST FLOOR PLAN (PROPOSED) NO EXTERIOR WORK, FOR REFERENCE ONLY
SCALE: 1/8"=1'-0"

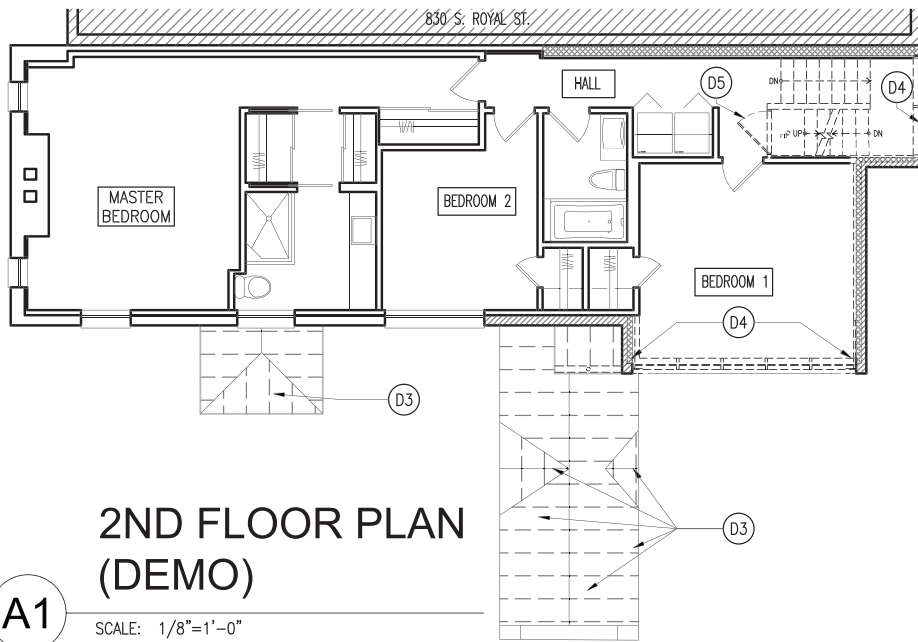


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1ST FLOOR PLANS

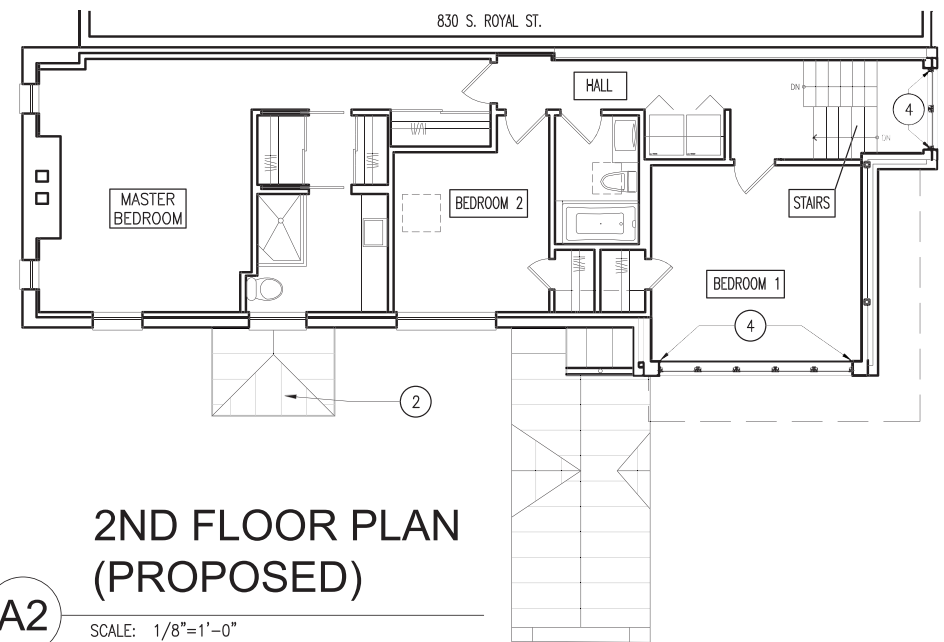
A8



2ND FLOOR PLAN (DEMO)

A1

SCALE: 1/8"=1'-0"



2ND FLOOR PLAN (PROPOSED)

A2

SCALE: 1/8"=1'-0"

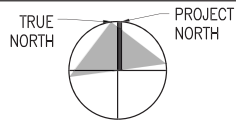
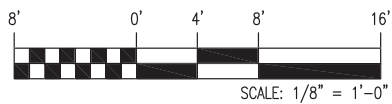
GENERAL NOTE: DEMO AND NEW KEYNOTS ARE FOR ALL FLOOR PLANS U.N.O.

D# DEMO PLAN KEYNOTES

- | | |
|---|--|
| D1 DEMO EXISTING GUARDRAIL | D6 DEMO EXISTING MEMBRANE ROOF |
| D2 DEMO EXISTING RTU | D7 SELECTIVELY DEMO EXISTING BRICK |
| D3 DEMO EXISTING STANDING SEAM METAL ROOF | D8 SALVAGE EXISTING SUN-TUNNEL FOR REUSE |
| D4 DEMO EXISTING STOREFRONT SYSTEM | D9 SALVAGE EXISTING SKYLIGHT FOR REUSE |
| D5 DEMO EXISTING EXTERIOR DOOR | D10 DEMO HIPPED ROOF |

PROPOSED PLAN KEYNOTES

- | | |
|-----------------------------|----------------------------|
| 1. MECH. ROOF TOP UNIT | 8. REUSE SALVAGED SKYLIGHT |
| 2. STANDING SEAM METAL ROOF | 9. SKYLIGHT |
| 3. MEMBRANE ROOF | 10. ROOF ACCESS HATCH |
| 4. GLAZING | 11. GABLED ROOF |
| 5. ROOF CRICKET | 12. SNOW GUARDS |
| 6. ROOF SCUPPER | |
| 7. SUN-TUNNEL | |



OS Design-Build, LLC.

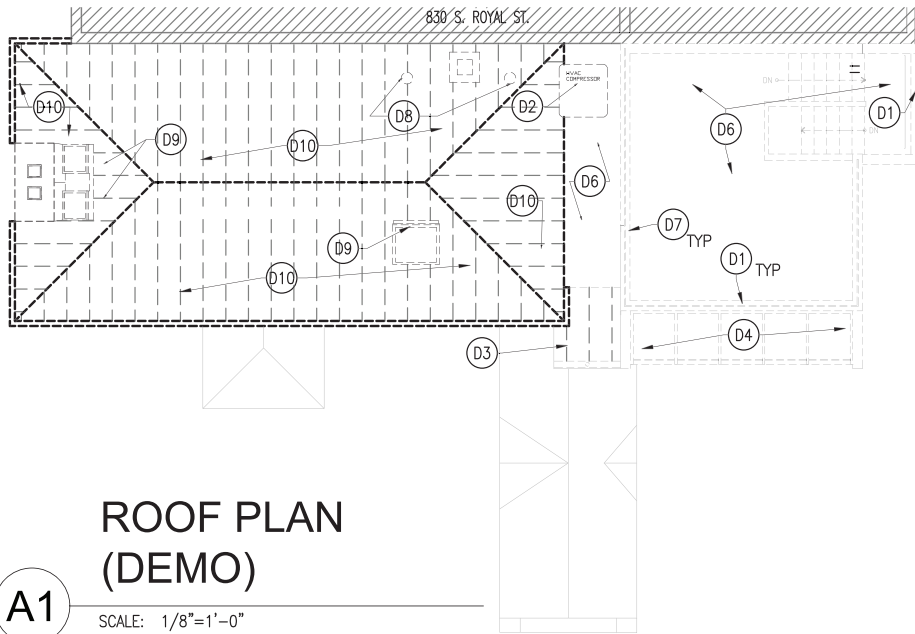
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333 Green Street Addition

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2ND FLOOR PLANS

A9



ROOF PLAN (DEMO)

A1 SCALE: 1/8"=1'-0"

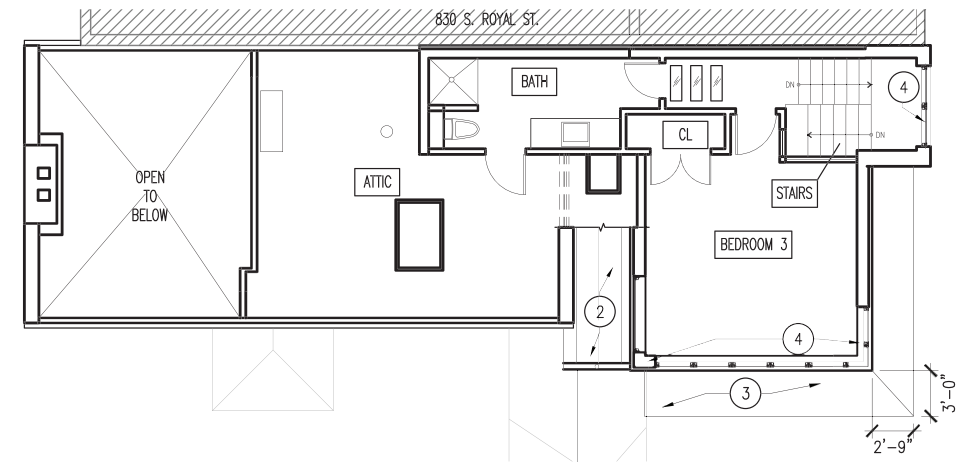
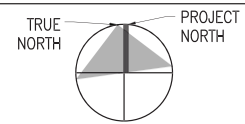
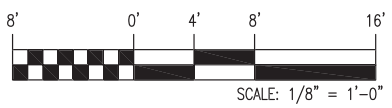
GENERAL NOTE: DEMO AND NEW KEYNOTES ARE FOR ALL FLOOR PLANS U.N.O.

D# DEMO PLAN KEYNOTES

- D1 DEMO EXISTING GUARDRAIL
- D2 DEMO EXISTING RTU
- D3 DEMO EXISTING STANDING SEAM METAL ROOF
- D4 DEMO EXISTING STOREFRONT SYSTEM
- D5 DEMO EXISTING EXTERIOR DOOR
- D6 DEMO EXISTING MEMBRANE ROOF
- D7 SELECTIVELY DEMO EXISTING BRICK
- D8 SALVAGE EXISTING SUN-TUNNEL FOR REUSE
- D9 SALVAGE EXISTING SKYLIGHT FOR REUSE
- D10 DEMO HIPPED ROOF

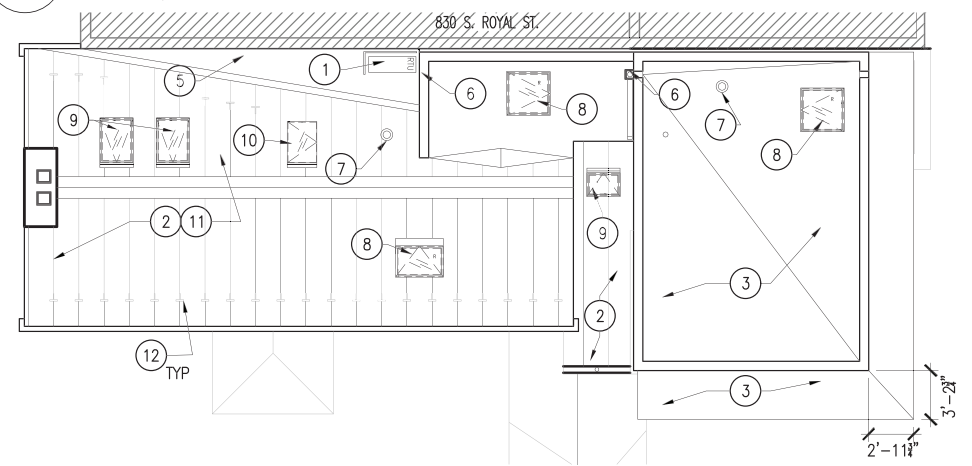
PROPOSED PLAN KEYNOTES

- 1. MECH. ROOF TOP UNIT
- 2. STANDING SEAM METAL ROOF
- 3. MEMBRANE ROOF
- 4. GLAZING
- 5. ROOF CRICKET
- 6. ROOF SCUPPER
- 7. SUN-TUNNEL
- 8. REUSE SALVAGED SKYLIGHT
- 9. SKYLIGHT
- 10. ROOF ACCESS HATCH
- 11. GABLED ROOF
- 12. SNOW GUARDS



3RD FLOOR PLAN (PROPOSED)

A2 SCALE: 1/8"=1'-0"



ROOF PLAN (PROPOSED)

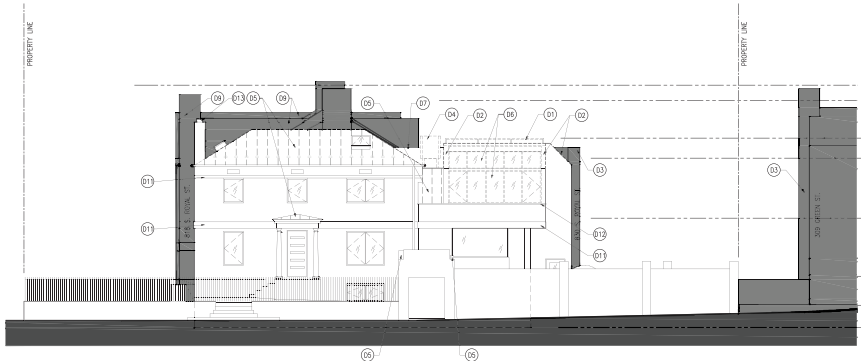
A3 SCALE: 1/8"=1'-0"

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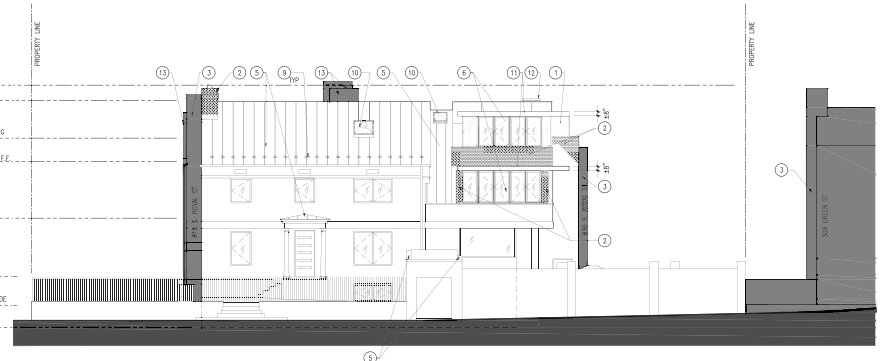
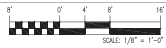
333 Green Street Addition
Alexandria Board of Architectural Review Package

3RD FLOOR / ROOF PLANS

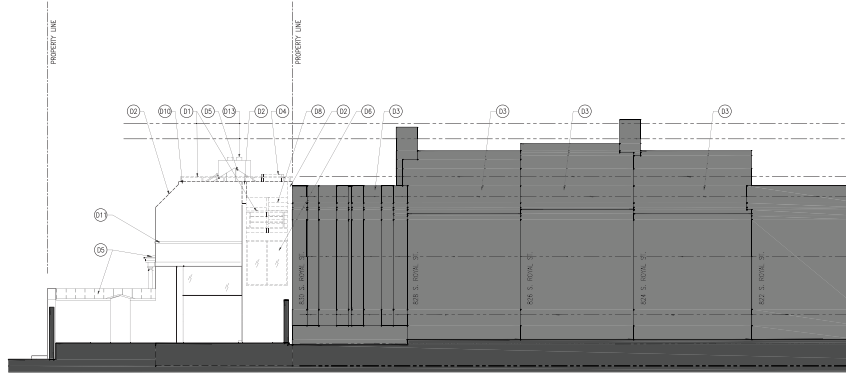
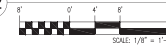
A10



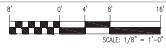
A1 ELEVATION - SOUTH (DEMO)



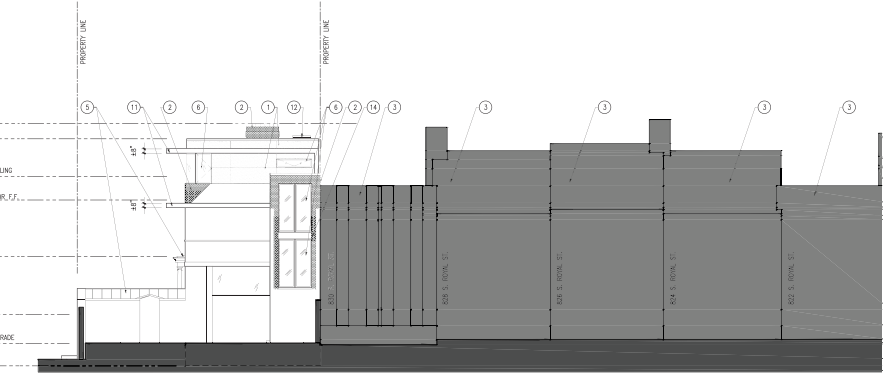
A2 ELEVATION - SOUTH (PROPOSED)



A3 ELEVATION - EAST (DEMO)



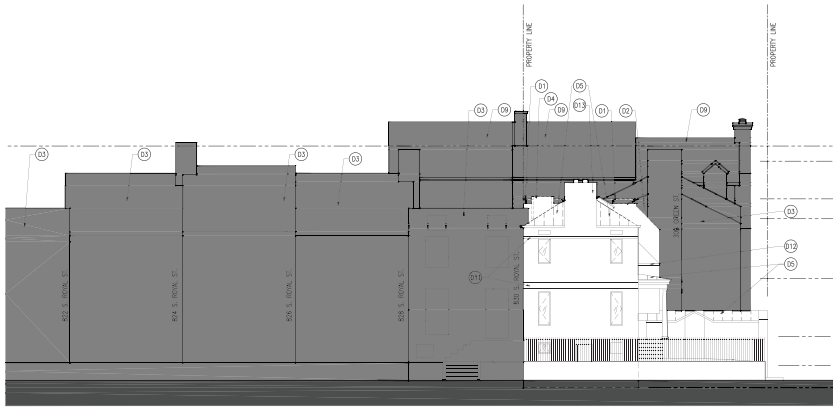
- ① DEMO ELEVATION KEYNOTES
- 01 DEMO EXISTING GUARDRAIL
 - 02 DEMO EXISTING PRECAST CORNING
 - 03 EXISTING ADJACENT NEIGHBOR STRUCTURE
 - 04 DEMO EXISTING RTU
 - 05 DEMO EXISTING STANDING SEAM METAL ROOF
 - 06 DEMO EXISTING STOREFRONT SYSTEM
 - 07 EXISTING TO REMAIN PARTY WALL BEYOND
 - 08 DEMO EXISTING EXTERIOR STAIR
 - 09 EXISTING NEIGHBOR STRUCTURE BEYOND
 - 10 SELECTIVELY DEMOLISH 1 COURSE OF BRICK
 - 11 EXISTING BRICK ACCENT COURSE
 - 12 EXISTING PRECAST SILL
 - 13 DEMO EXISTING CHIMNEY EXHAUST



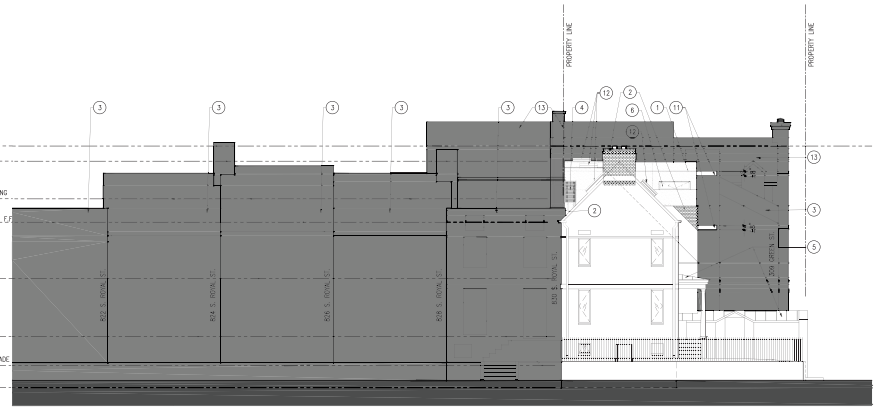
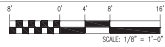
A4 ELEVATION - EAST (PROPOSED)



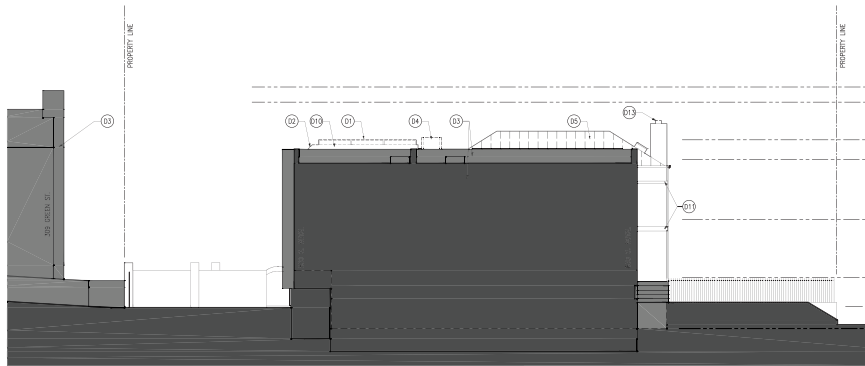
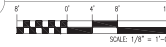
- ① ELEVATION KEYNOTES
- 1. Siding - ENGINEERED STONE OR CEMENTITIOUS SIDING, W/ REVEAL
 - 2. BRICK TO MATCH COLOR AND FINISH OF EXISTING ADJACENT
 - 3. EXISTING ADJACENT NEIGHBOR STRUCTURE
 - 4. RTU SCREEN (COLOR TO MATCH SIDING)
 - 5. STANDING SEAM METAL ROOF (DARK BRONZE)
 - 6. GLAZING (WINDOW TRIM COLOR - DARK BRONZE)
 - 7. EXISTING TO REMAIN PARTY WALL
 - 8. ROOF CROCKET (PULG APPLIED OR TIPS - COLOR WHITE)
 - 9. SNOW GUARDS
 - 10. SKYLIGHT
 - 11. OVERHANG METAL TRIM COLOR TO MATCH METAL ROOF
 - 12. SKYLIGHT BEYOND
 - 13. EXISTING NEIGHBOR STRUCTURE BEYOND
 - 14. METAL TRIM (EQU. TO MATCH METAL ROOF)
 - 15. SUN-TUNNEL
 - 16. ROOF ACCESS HATCH



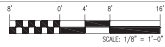
A1 ELEVATION - WEST (DEMO)



A2 ELEVATION - WEST (PROPOSED)

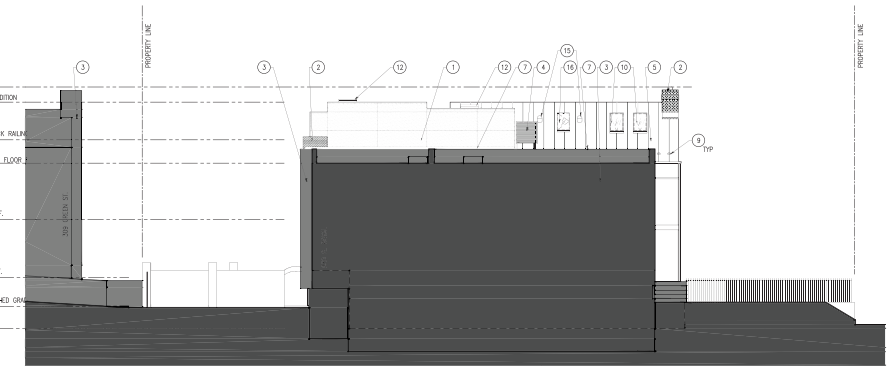


A3 ELEVATION - NORTH (DEMO)

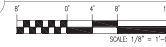


① DEMO ELEVATION IDENTITIES

- | | | |
|---|---|--|
| B1 DEMO EXISTING QUARRAL | B6 DEMO EXISTING STANDING SEAM METAL ROOF | B9 EXISTING NEIGHBOR STRUCTURE BEYOND |
| B2 DEMO EXISTING PRECAST COPING | B7 DEMO EXISTING STOREFRONT SYSTEM | B10 SELECTIVELY DEMOLISH 1 COURSE OF BRICK |
| B3 EXISTING ADJACENT NEIGHBOR STRUCTURE | B8 EXISTING TO REMAIN PARTY WALL BEYOND | B11 EXISTING BRICK ACCENT COURSING |
| B4 DEMO EXISTING RTU | B9 DEMO EXISTING EXTERIOR STAR | B12 EXISTING PRECAST SILL |
| | | B13 DEMO EXISTING CHIMNEY CHAUST |



A4 ELEVATION - NORTH (PROPOSED)



① ELEVATION IDENTITIES

- | | | |
|---|---|---|
| 1. STONE - ENGINEERED STONE OR
CONCRETE/STONE, W/ IRONCL | 6. GLAZING (WINDOW TRIM COLOR - DARK
BRONZE) | 11. OVERHANG METAL TRIM, COLOR TO MATCH
METAL ROOF |
| 2. BRICK TO MATCH COLOR AND FINISH OF
EXISTING ADJACENT | 7. EXISTING TO REMAIN PARTY WALL | 12. SKYLIGHT BEYOND |
| 3. EXISTING ADJACENT NEIGHBOR STRUCTURE | 8. ROOF CRICKET (FLUID APPLIED OR TPO -
COLOR WHITE) | 13. EXISTING NEIGHBOR STRUCTURE BEYOND |
| 4. IRON SCREEN (COLOR TO MATCH STONE) | 9. SNOW GUARDS | 14. METAL TRIM (COLOR TO MATCH METAL ROOF) |
| 5. STANDING SEAM METAL ROOF (DARK BRONZE) | 10. SKYLIGHT | 15. SUN-TUNNEL |
| | | 16. ROOF ACCESS HATCH |



Existing

Southwest Corner of Green Street and South Royal Street



Proposed



Existing

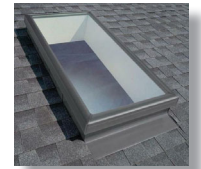
Southeast Corner of Green Street and South Fairfax Street



Proposed



Sun Tunnel (Solatube)



Skylight (Velux)

Metal roof examples (standing seam metal @ ±21" o.c.)

Low slope roof (fluid applied OR TPO (Thermoplastic Polyolefin) membrane color - white



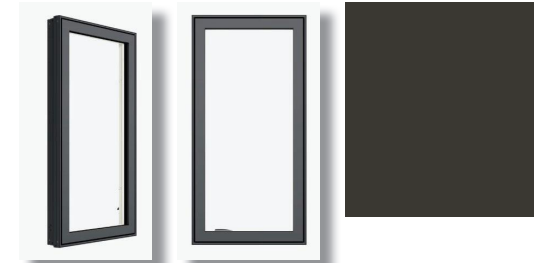
Metal roof profile



Equipment Screen (color to match Siding (AirDecko))



Snow Guards (SnowDefender 6500)



Windows - aluminum clad. exterior color - dark bronze, (Marvin Modern Line)

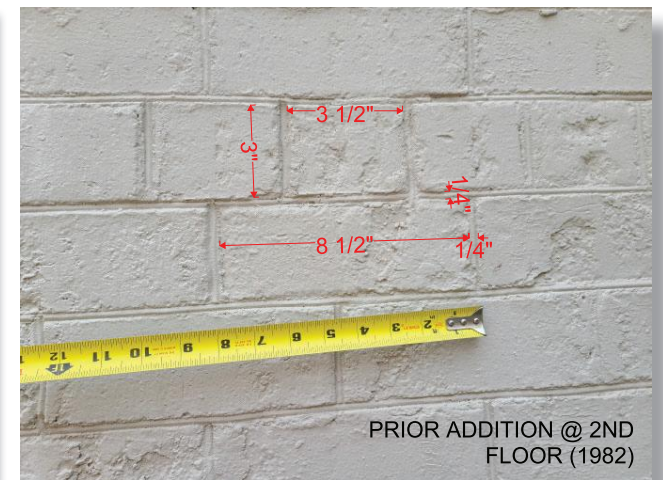
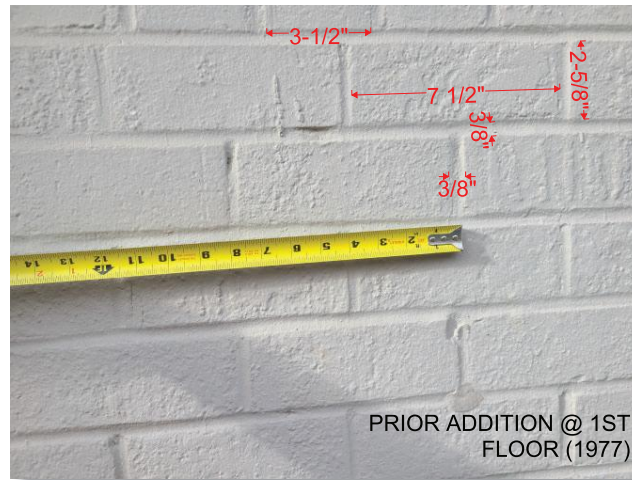
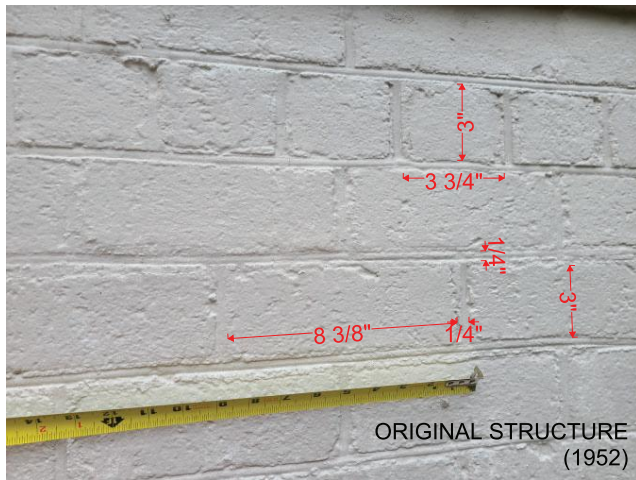
Environmentally Smart Colors - Designed Energy Efficient

TERRA COTTA	AGED COPPER	SOLAR WHITE	SANDSTONE	SURREY BEIGE
COLONIAL RED	PATINA GREEN	REGAL WHITE	ASH GRAY	SIERRA TAN
REGAL RED ★	HEMLOCK GREEN ★	STONE WHITE	DOVE GRAY	MEDIUM BRONZE
BURGUNDY ★	HARTFORD GREEN ★	SLATE BLUE	SLATE GRAY	MANSARD BROWN
MATTE BLACK	EVERGREEN	REGAL BLUE ★	CHARCOAL GRAY	DARK BRONZE

Metal roof color and Overhang - dark bronze



Siding - engineered stone panel (4'x8' nominal) rain screen, matte finish with reveals.



Brick dimensions and color to match
existing adjacent

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for addition and alterations

APPLICANT: Paul O’Sullivan

LOCATION: Old and Historic Alexandria District
333 Green Street

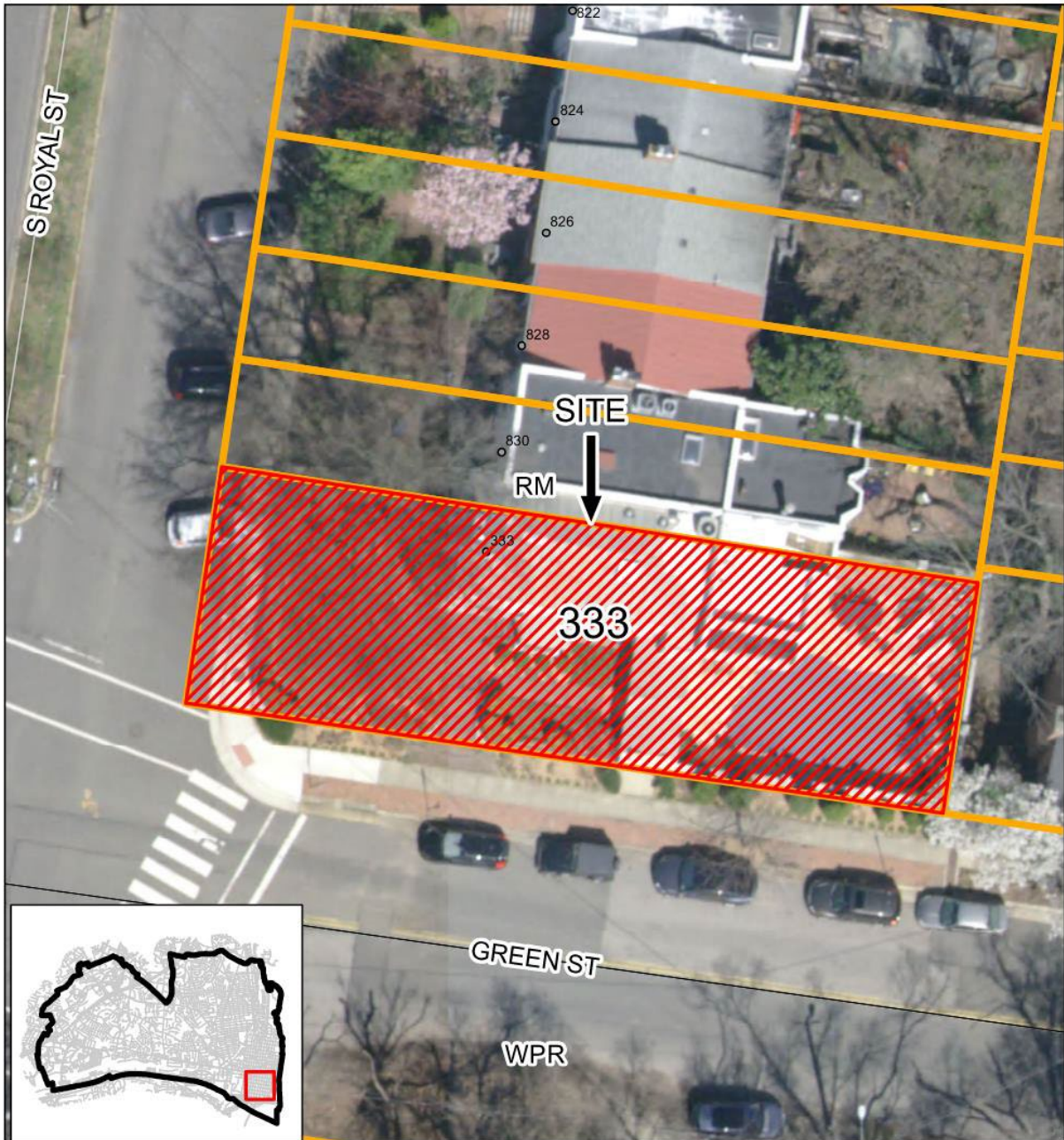
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

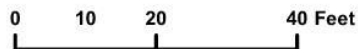
Staff recommends approval of the proposed addition and alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board’s decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR’s adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2023-00074 & BAR #2023-00083
333 Green Street



Note: Staff coupled the applications for a Permit to Demolish (BAR2023-00083) and Certificate of Appropriateness (BAR2023-00074) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE

The submission is returning to the Board after being deferred at the May 2, 2024, public hearing. The existing hipped roof on the main block will be demolished and replaced with a high-pitched gabled roof. The new roof will be approximately 4'-7" than the existing hipped roof. The new roof is proposed to address the Board's concerns that the proposed addition was too tall and did not harmonize with the existing structure.



Photo 1: 2nd Submission (May 2, 2024)



Photo 2: Current Submission (November 6, 2024)

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enclose the existing roof deck and exterior access stairs over the east side of the property to create a third-story addition, as well as alterations, at 333 Green Street.

Permit to Demolition/Encapsulation

- Demolish existing standing seam metal roof on portico and accessory structure
- Demolish existing hipped main roof
- Demolish existing low slope roof deck
- Demolish existing rooftop guard rail system
- Remove brick as required on the 3rd floor in order to lower windowsill height

Certificate of Appropriateness

- Replace the existing main roof with a high-pitched gabled roof.
- Relocate existing and install new skylights on roof.
- Enclose existing exterior roof deck and associated access stair on east side

The application also includes the following alterations which comply with the BAR Policy for Administrative Approval: in-kind replacement of the standing seam metal roof, storefront system window replacement (5), and relocation of existing rooftop HVAC compressor. The materials of the proposed addition will be engineered stone panels and brick (to match adjacent walls), metal

trim and a TPO roof on the addition. All proposed replacement and new materials comply with the Board’s design guidelines and policies.

Site context

The subject property is located across from Jones Point Park.

II. HISTORY

According to the City’s real estate records, the townhouse at 333 Green Street was constructed as part of the Yates Garden subdivision circa **1952**. It is a two-bay, two-story painted brick end unit townhouse with a later addition. From 1966 to 1983, the Board approved several alterations for the property including an addition, a pool, skylight, window alterations and a new portico and stoop.

Previous BAR Approvals

BAR2016-00357 – Staff administrative approved the replacement of a door (8/11/2018).

BAR2012-00074 – Administrative approval to replace two windows (03/21/2012).

BAR2010-00284 – The Board approved replacement windows (10/20/2010).

April 21, 1982 – Board approval of an addition.

June 1, 1983 – Board approval of new stoop, porch canopy and railing; relocate front door.

Nov 7, 1979 – Board approval of an addition, subject to the submission of details.

Aug 17, 1977 – Board approval to install a skylight and alter windows.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the roof area and wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Staff has no objection to the proposed addition and alterations. The *Design Guidelines* state that an approach to a design for a residential addition is one which creates a distinct yet compatible contrast with the original building through the use of differing materials, colors, and abstraction of the principal design elements of the original building.

The proposed rooftop addition will be 9'- 6" in height and constructed over the existing addition. The overall height will increase to 32'-4 ^{3/4"}, which is still below RM zone's maximum permitted height of 35 feet. The applicant is proposing to replace the hipped roof on the main portion of the property with a high-pitched gable roof. This alteration is in response to the Board's concern that the addition was too tall in comparison to the main portion of the building. The *Design Guidelines* states that roofs are a defining architectural feature and staff supports the proposed alteration. The gable roof type is commonly found on colonial-revival structures and this roof replacement will not lessen the integrity of the later building.

While the addition will be visible, it does not obscure or dilute the architectural importance of the original structure. Staff recommends approval of the proposed addition and alterations, as submitted.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Proposed roof replacement and third floor addition will comply with zoning.
- C-2 Submit updated staff updated FAR Sheet when applying for building permits.

Code Administration

- C-1 A building permit is required for required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant

must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeology comments.

V. MINUTES FROM MAY 2, 2024 BAR HEARING

BOARD ACTION: On a motion by Mr. Scott, and seconded by Mr. Lyons, the Board of Architectural Review accepted the request for the deferral of BAR#2023-00074 and BAR#2023-00083. The motion carried on a vote of 7-0.

REASON

The Board deferred the case for restudy of the addition's mass.

SPEAKERS

Paul O'Sullivan, architect, gave a presentation and was available for questions.

Gail Rothrock, 209 Duke St., spoke in opposition on behalf of Historic Alexandria Foundation.

Stephen Milone, 907 Prince St., spoke in opposition on behalf of Old Town Civic.

Robert Hatcher, 619 Pommander Way St., spoke in support.

DISCUSSION

Ms. Zandian asked clarification questions about the proposed roof plan and materials. She also stated that the third story should be setback to further reduce the massing.

Ms. del Ninno recommended further study of the roof and that the third story should be setback.

Mr. Lyons appreciates the changes made by the applicant and supports the project. He stated that the addition looks fine and fits in with the neighborhood.

Ms. Miller appreciates the effort of the applicant. She stated the modern addition works and the current proposal does not. The original house will use prominence with the proposed addition.

Mr. Adams stated that the project looms out too much and should complement the 1982 addition.

Mr. Scott stated that the height is too tall and doesn't fit in with the neighborhood. The addition is too massive.

Mr. Spencer suggested a hyphen would be good to add some separation. He also stated that the addition is too tall against the original house.

VI. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Staff report from May 2, 2024 LINK:
<https://alexandria.legistar.com/gateway.aspx?M=F&ID=c887c6a2-6d64-4691-b510-04a909dba26a.pdf>
- Staff report from March 16, 2023 LINK:
<https://alexandria.legistar.com/gateway.aspx?M=F&ID=1a5a39cc-b62f-4477-8f50-60d0410fd9f4.pdf>

ADDRESS OF PROJECT: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes** **No** Is there an historic preservation easement on this property?
- Yes** **No** If yes, has the easement holder agreed to the proposed alterations?
- Yes** **No** Is there a homeowner’s association for this property?
- Yes** **No** If yes, has the homeowner’s association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attached for description of proposed work

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

DESCRIPTION OF PROPOSED WORK

ROOF:

- Demo existing standing seam metal roof (portico and attached storage)
- Demo existing hipped main roof & construct a higher pitched gabled roof in its place.
- Relocation of existing rooftop HVAC compressor
- Install existing standing seam metal roof with standing seam metal roof (main roof, portico and attached storage)
- Relocation of existing skylights & sun tunnels as called out in plan for daylighting interior rooms
- Adding skylights as called out in plan for daylighting interior rooms

3RD FLOOR:

- Enclose existing exterior roof deck and associated existing roof deck exterior access stair over the East side of the house.
- Demo existing low slope roof deck membrane and associated insulation.
- Demo existing rooftop guard rail system
- Selectively demolish brick as required to lower window sill to appropriate height
- Extend existing standing seam roof between existing original structure and existing 1980's addition
- Enclosed roof deck and access stair to allow conditioned space with the rest of the residence.
- Exterior materials to enclose addition shall be engineered stone panels and brick to match existing adjacent
- Exterior trim to be brake metal to match proposed roof
- Roof over addition shall be low sloped with a membrane (TPO or liquid applied)
- Operable windows throughout (5 ganged windows to align with windows at 2nd floor)

2ND FLOOR:

- Replace existing, non-thermally broken storefront 5 ganged windows with 5 ganged aluminum clad windows
- Infill (tooth-in) brick where applicable to match existing adjacent

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Paul J. O'K

Printed Name: _____

Date: _____



Department of Planning & Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid black; height: 60px; margin-top: 5px;"></div>
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other** <input type="text"/>	Other** <input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>	B2. <u>Total Exclusions</u> <input type="text"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other <input type="text"/>	Other** <input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>	C2. <u>Total Exclusions</u> <input type="text"/>	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Paul J. O'Neil

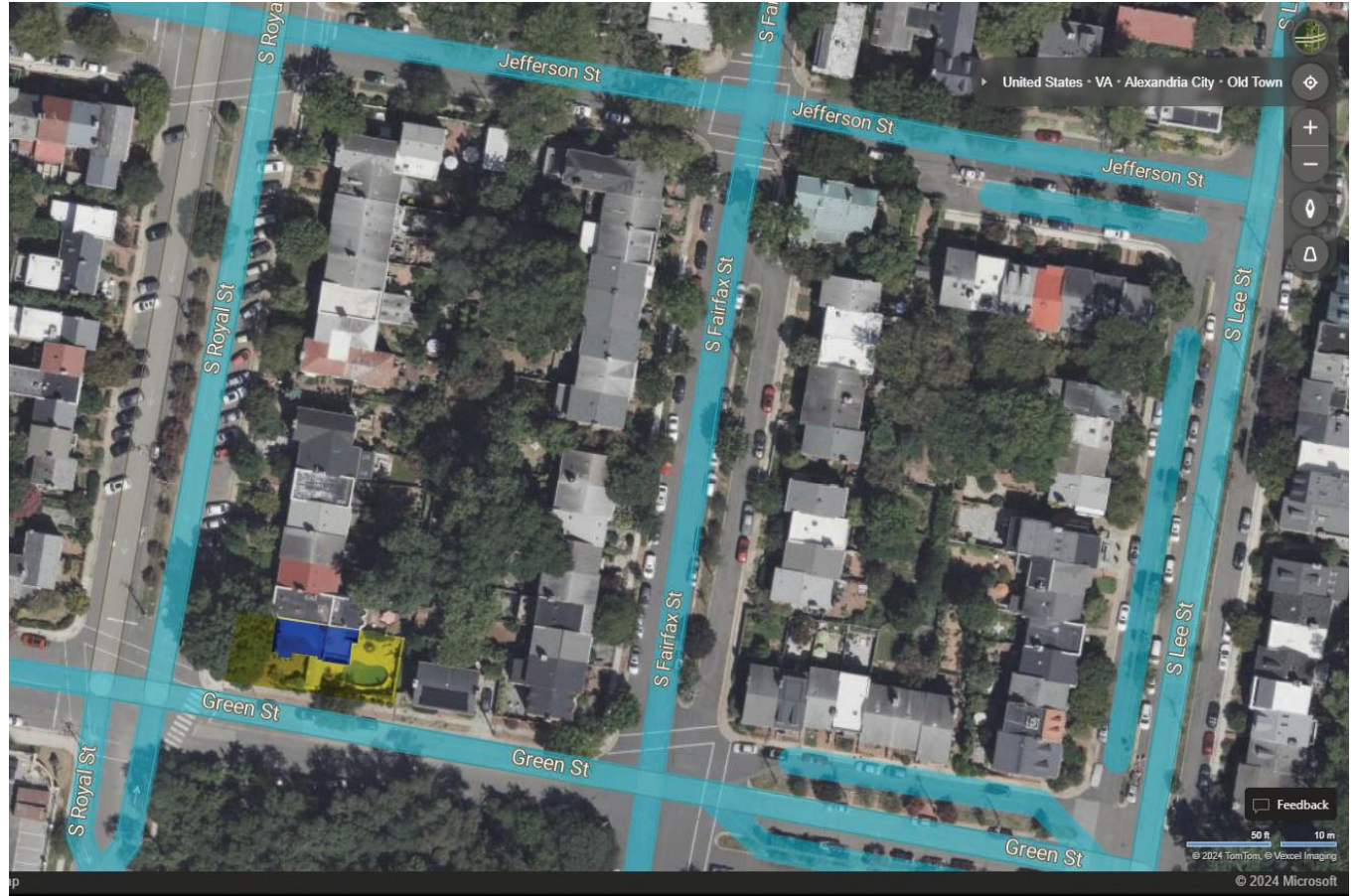
Date: _____

33 Green Street Addition

alexandria Board of Architectural Review Package

OS Design-Build, LLC.

333 green st.
alexandria, va 22314
703.309.9828



OS Design-Build, LLC.

333 Green St,
Alexandria, VA 223414
703.309.9828

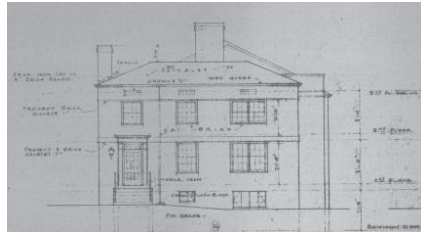
333 Green Street Addition

Alexandria Board of Architectural Review Package

BOUNDARY & AERIAL MAP

A1

September 26, 1952
original



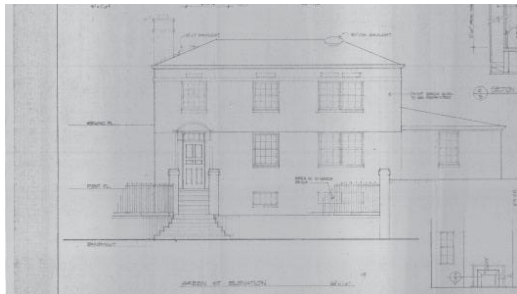
South Elevation



West Elevation

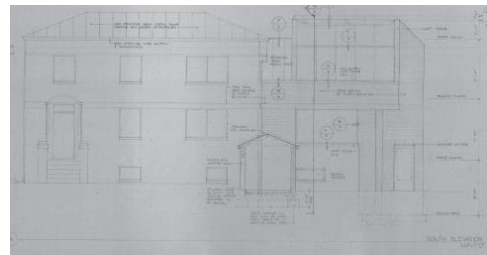
333 Green St.

August 5, 1977
addition/renovation

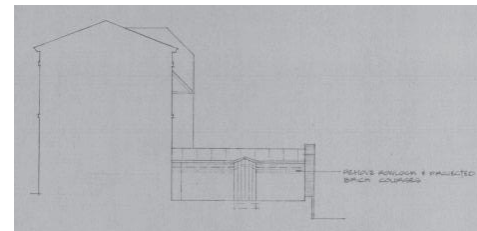


South Elevation

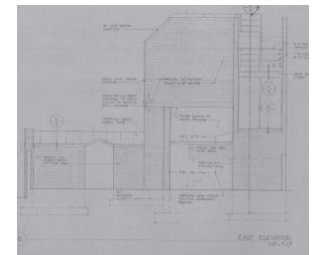
July 29, 1982
addition/renovation



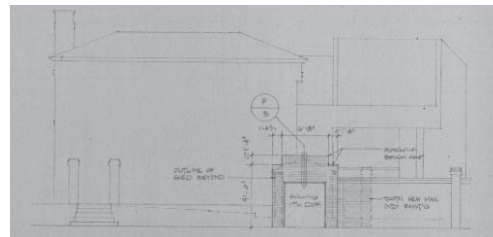
South Elevation



West Elevation



East Elevation



South Elevation @ Garage

OS Design-Build, LLC.

333 Green St.
Alexandria, VA 223414
703.309.9828

333 Green Street Addition

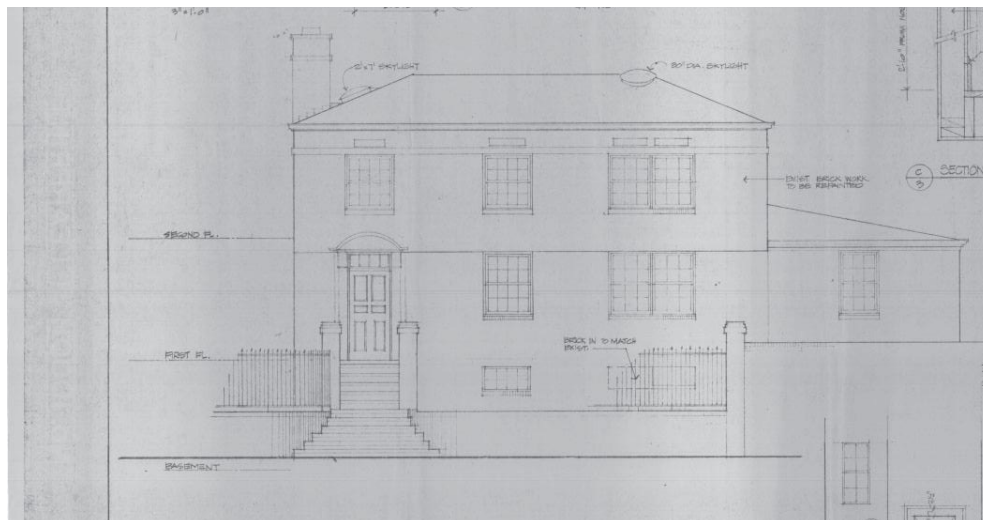
Alexandria Board of Architectural Review Package

HISTORIC ELEVATIONS

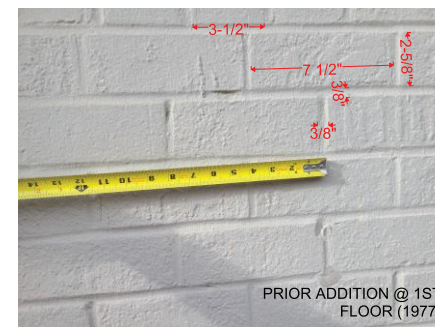
NOT TO SCALE

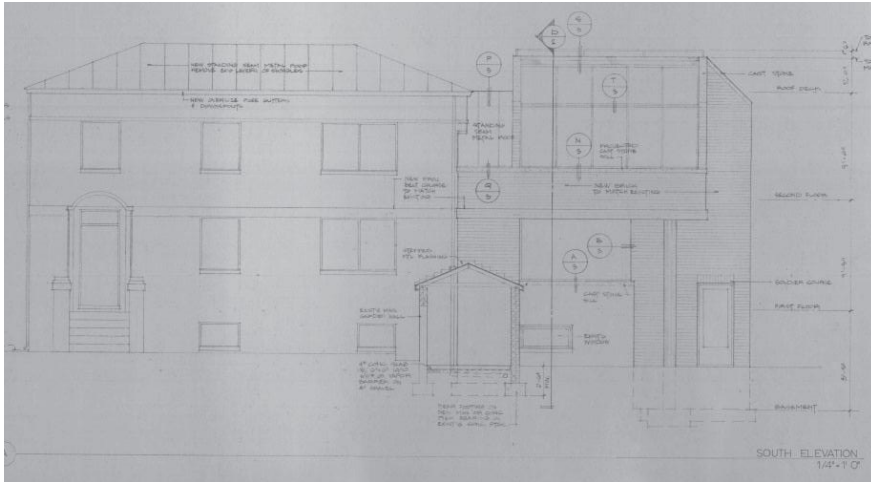
A3

August 5, 1977
addition/renovation

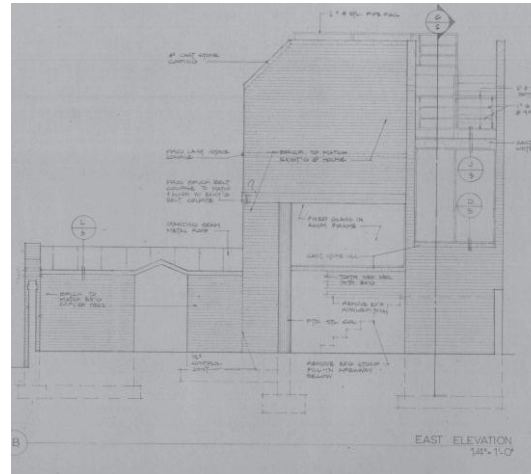


South Elevation



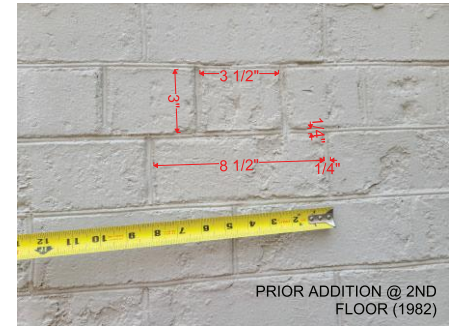


South Elevation

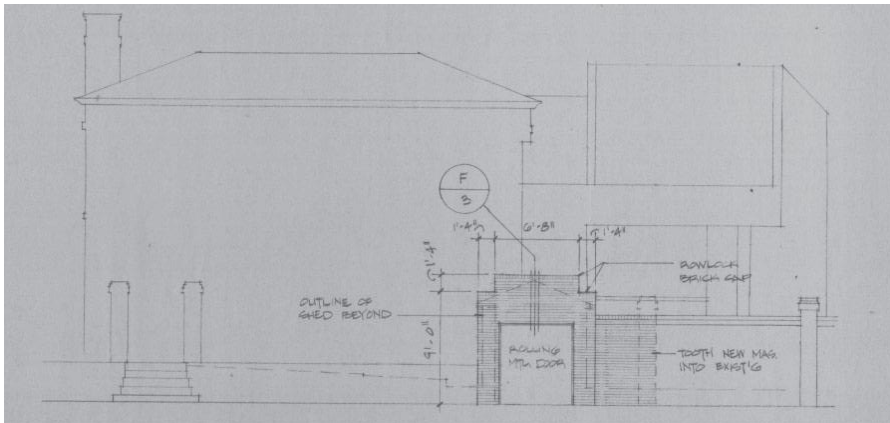


East Elevation

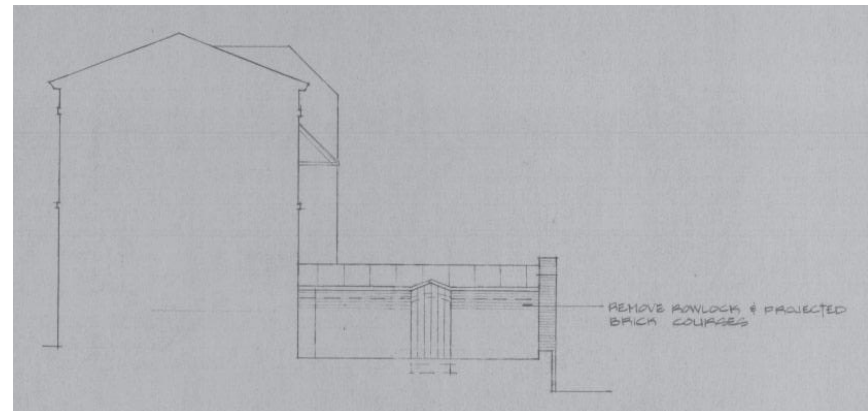
July 29, 1982
addition/renovation



PRIOR ADDITION @ 2ND FLOOR (1982)



South Elevation @ Garage



West Elevation

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333 Green St.
Alexandria, VA 223414
703.309.9828

333 Green Street Addition

Alexandria Board of Architectural Review Package

HISTORIC ELEVATIONS

NOT TO SCALE

A6



Existing Streetscape @ Royal Street

333 Green St.



333 Green St.

Existing Streetscape @ Green Street



East facade @ Alley



South facade @ Green Street



West facade @ Royal Street

OS Design-Build, LLC.

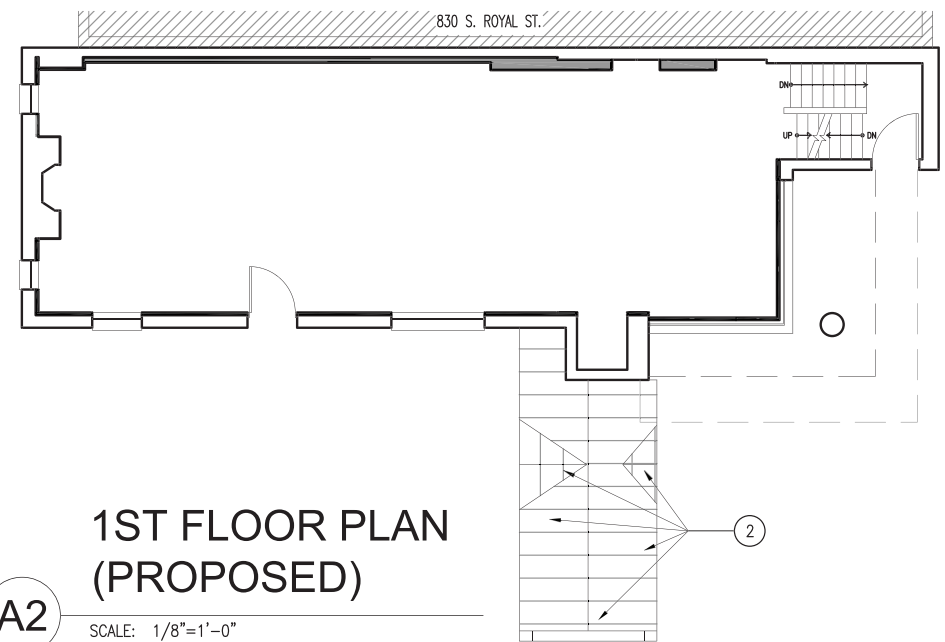
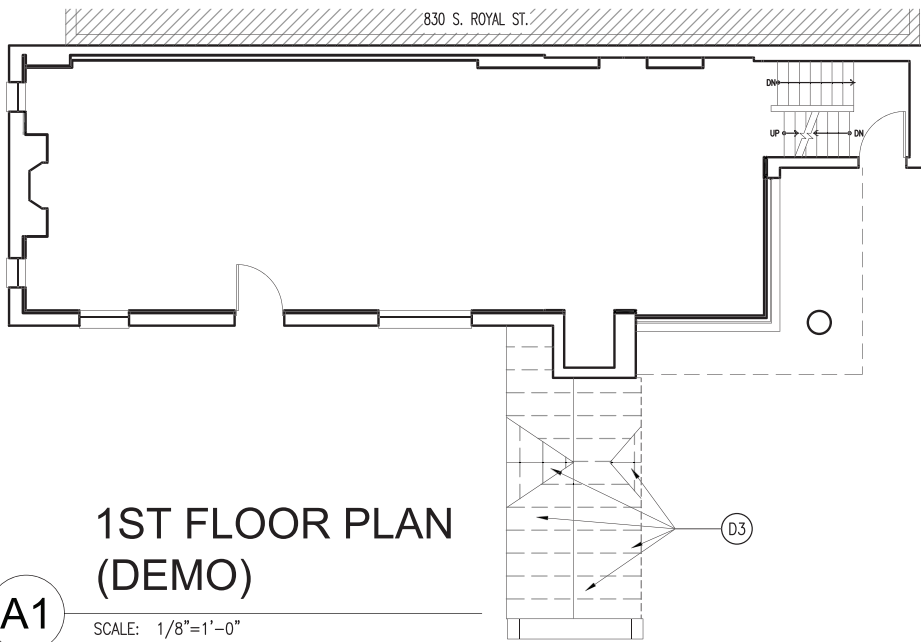
333 Green St.
Alexandria, VA 223414
703.309.9828

333 Green Street Addition

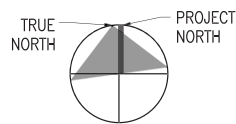
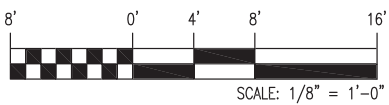
Alexandria Board of Architectural Review Package

EXISTING CONTEXT (IMAGES)

A7



D# DEMO PLAN KEYNOTES		# PROPOSED PLAN KEYNOTES	
D1	DEMO EXISTING GUARDRAIL	D6	DEMO EXISTING MEMBRANE ROOF
D2	SALVAGE EXISTING RTU FOR REUSE	D7	SELECTIVELY DEMO EXISTING BRICK
D3	DEMO EXISTING STANDING SEAM METAL ROOF	D8	SALVAGE EXISTING SUN-TUNNEL FOR REUSE
D4	DEMO EXISTING STOREFRONT SYSTEM	D9	SALVAGE EXISTING SKYLIGHT FOR REUSE
D5	DEMO EXISTING EXTERIOR DOOR	D10	DEMO HIPPED ROOF
		1.	REUSE MECH. ROOF TOP UNIT
		2.	STANDING SEAM METAL ROOF
		3.	MEMBRANE ROOF
		4.	GLAZING
		5.	ROOF CRICKET
		6.	ROOF SCUPPER
		7.	REUSE SUN-TUNNEL
		8.	REUSE SKYLIGHT
		9.	SKYLIGHT
		10.	ROOF ACCESS HATCH
		11.	GABLED ROOF



OS Design-Build, LLC.

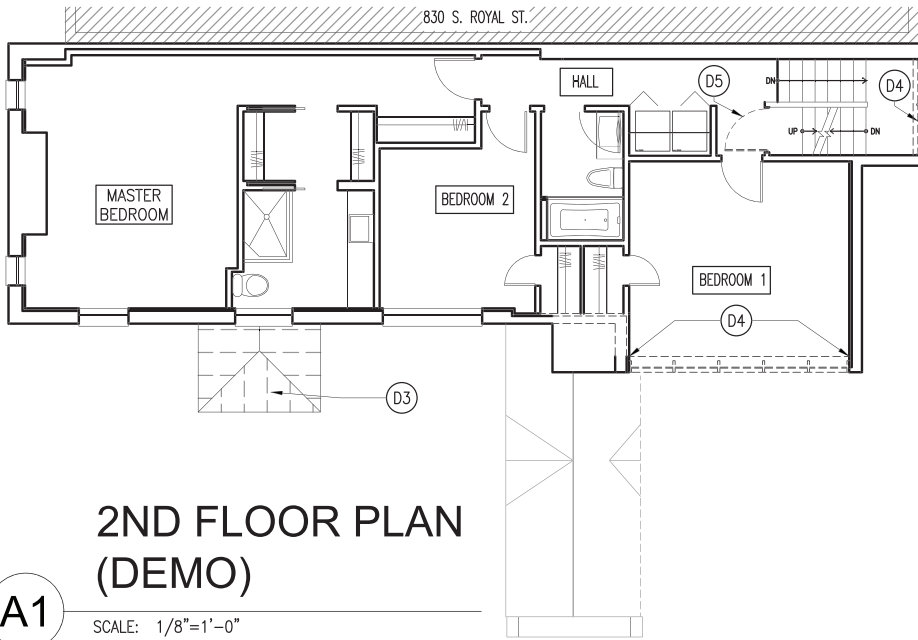
333 Green St.
Alexandria, VA 223414
703.309.9828

333 Green Street Addition

Alexandria Board of Architectural Review Package

1ST FLOOR PLANS

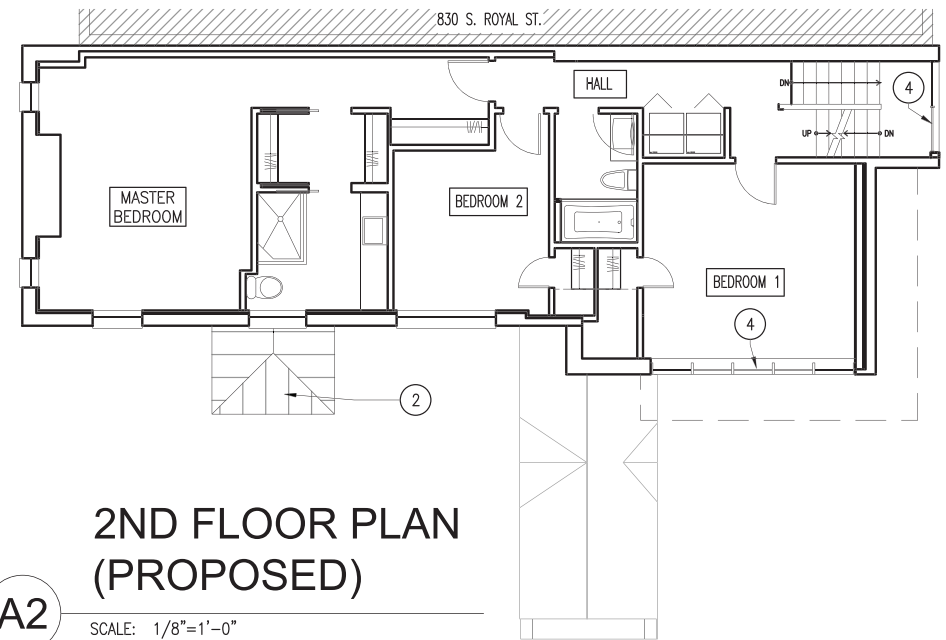
A8



2ND FLOOR PLAN (DEMO)

A1

SCALE: 1/8"=1'-0"



2ND FLOOR PLAN (PROPOSED)

A2

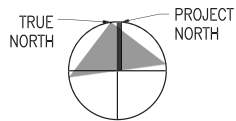
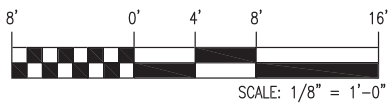
SCALE: 1/8"=1'-0"

D# DEMO PLAN KEYNOTES

- | | |
|---|--|
| D1 DEMO EXISTING GUARDRAIL | D6 DEMO EXISTING MEMBRANE ROOF |
| D2 SALVAGE EXISTING RTU FOR REUSE | D7 SELECTIVELY DEMO EXISTING BRICK |
| D3 DEMO EXISTING STANDING SEAM METAL ROOF | D8 SALVAGE EXISTING SUN-TUNNEL FOR REUSE |
| D4 DEMO EXISTING STOREFRONT SYSTEM | D9 SALVAGE EXISTING SKYLIGHT FOR REUSE |
| D5 DEMO EXISTING EXTERIOR DOOR | D10 DEMO HIPPED ROOF |

PROPOSED PLAN KEYNOTES

1. REUSE MECH. ROOF TOP UNIT
2. STANDING SEAM METAL ROOF
3. MEMBRANE ROOF
4. GLAZING
5. ROOF CRICKET
6. ROOF SCUPPER
7. REUSE SUN-TUNNEL
8. REUSE SKYLIGHT
9. SKYLIGHT
10. ROOF ACCESS HATCH
11. GABLED ROOF



OS Design-Build, LLC.

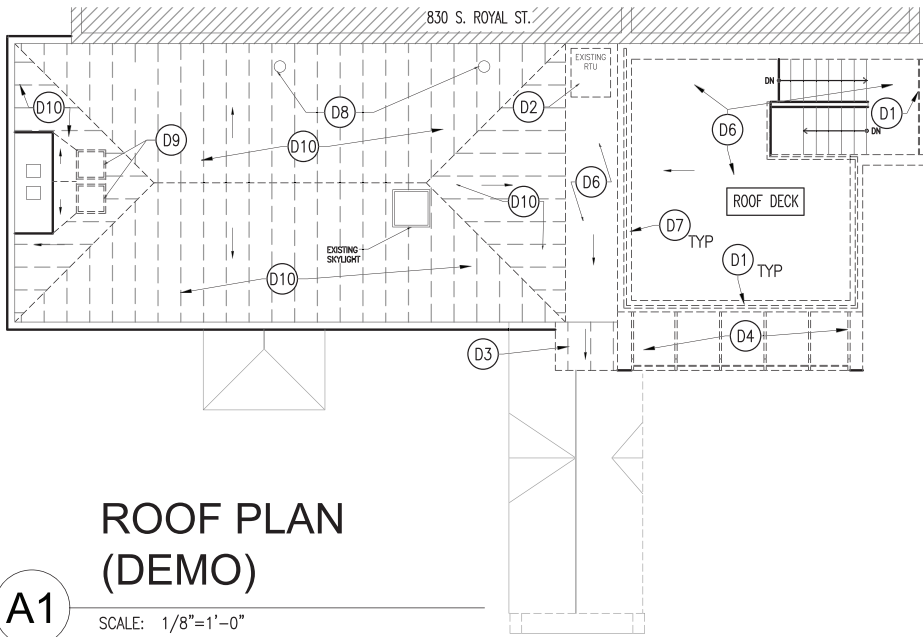
333 Green St.
Alexandria, VA 22314
703.309.9828

333 Green Street Addition

Alexandria Board of Architectural Review Package

2ND FLOOR PLANS

A9



ROOF PLAN (DEMO)

A1

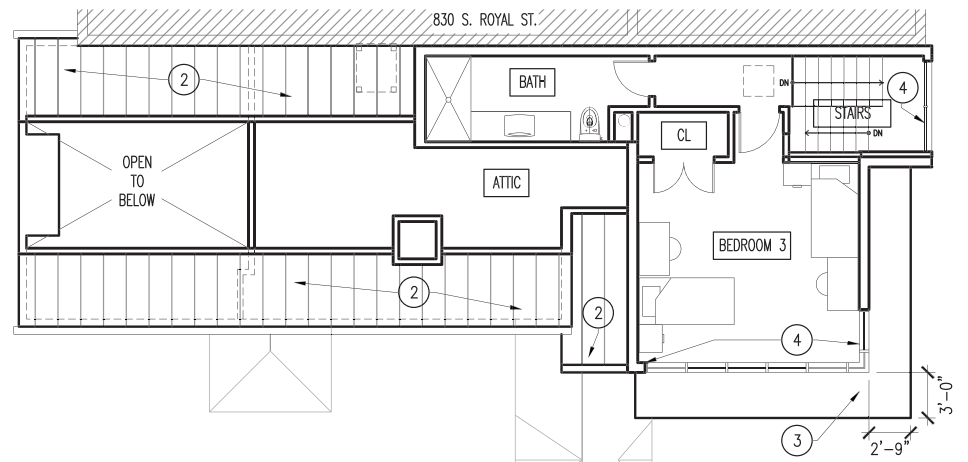
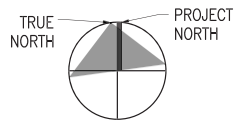
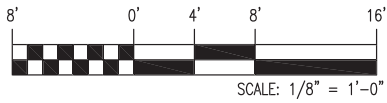
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D# DEMO PLAN KEYNOTES

- | | |
|---|--|
| D1 DEMO EXISTING GUARDRAIL | D6 DEMO EXISTING MEMBRANE ROOF |
| D2 SALVAGE EXISTING RTU FOR REUSE | D7 SELECTIVELY DEMO EXISTING BRICK |
| D3 DEMO EXISTING STANDING SEAM METAL ROOF | D8 SALVAGE EXISTING SUN-TUNNEL FOR REUSE |
| D4 DEMO EXISTING STOREFRONT SYSTEM | D9 SALVAGE EXISTING SKYLIGHT FOR REUSE |
| D5 DEMO EXISTING EXTERIOR DOOR | D10 DEMO HIPPED ROOF |

PROPOSED PLAN KEYNOTES

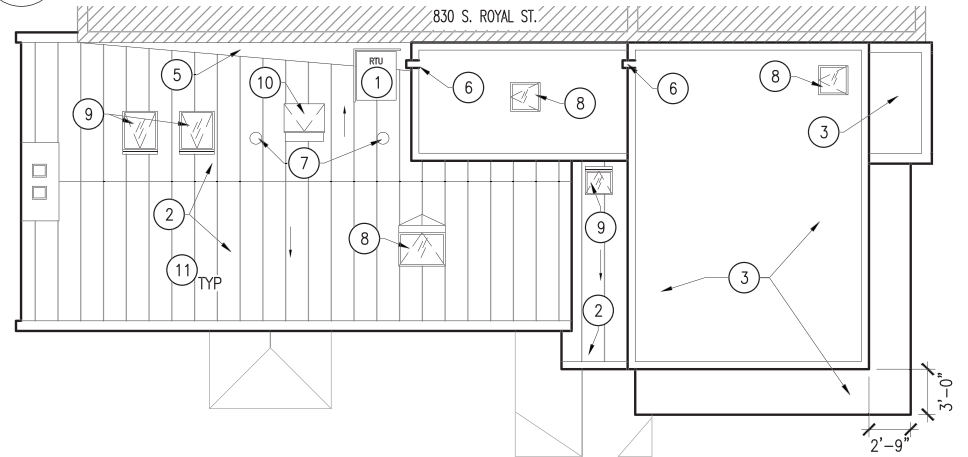
1. REUSE MECH. ROOF TOP UNIT
2. STANDING SEAM METAL ROOF
3. MEMBRANE ROOF
4. GLAZING
5. ROOF CRICKET
6. ROOF SCUPPER
7. REUSE SUN-TUNNEL
8. REUSE SKYLIGHT
9. SKYLIGHT
10. ROOF ACCESS HATCH
11. GABLED ROOF



3RD FLOOR PLAN (PROPOSED)

A2

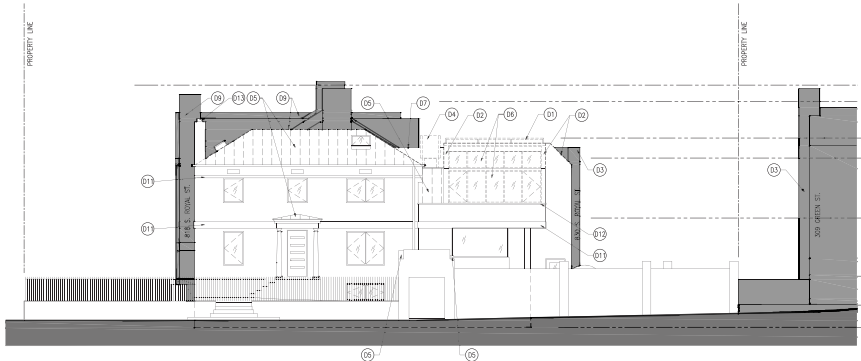
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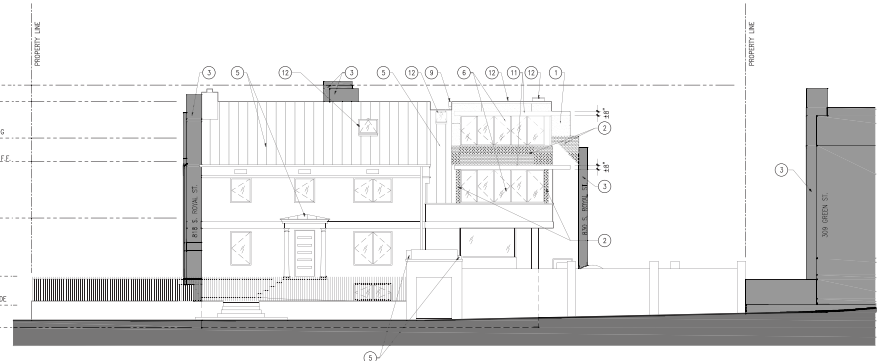
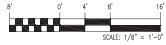
ROOF PLAN (PROPOSED)

A3

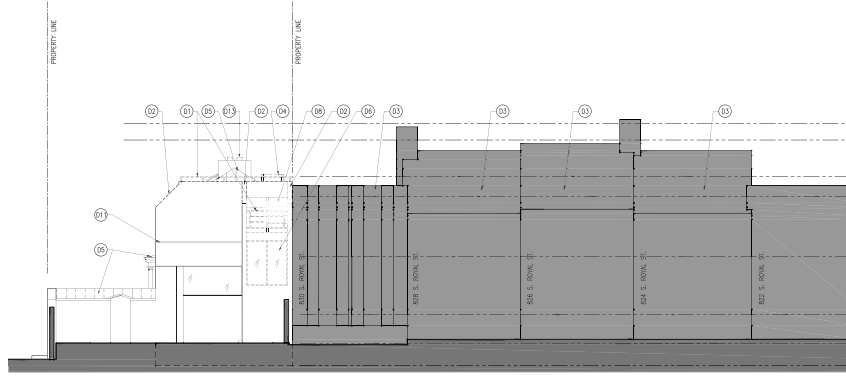
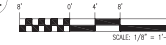
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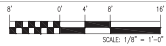
A1 ELEVATION - SOUTH (DEMO)



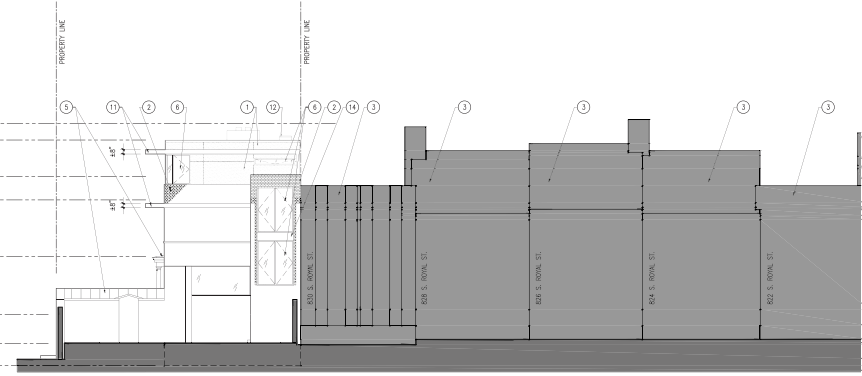
A2 ELEVATION - SOUTH (PROPOSED)



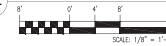
A3 ELEVATION - EAST (DEMO)



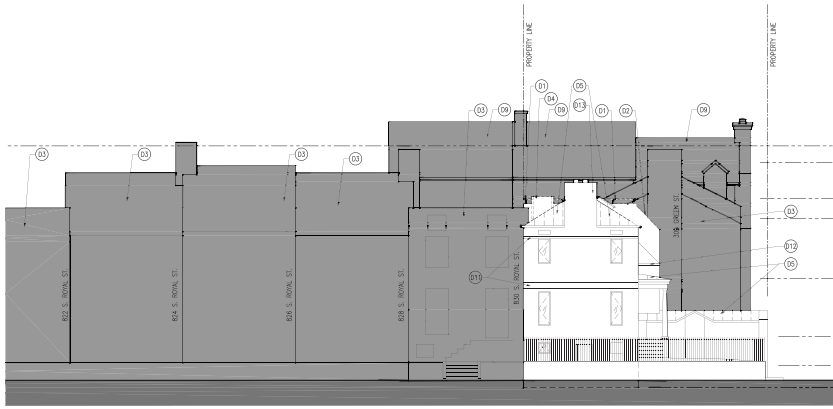
- DEMOS ELEVATION KEYNOTES**
- 01 DEMO EXISTING GUARDRAIL
 - 02 DEMO EXISTING PRECAST COPING
 - 03 DEMO EXISTING ADJACENT NEIGHBOR STRUCTURE
 - 04 SQUARE EXISTING RTU FOR REUSE
 - 05 DEMO EXISTING STANDING SEAM METAL ROOF
 - 06 DEMO EXISTING STOREFRONT SYSTEM
 - 07 EXISTING TO REARIN PARTY WALL BEYOND
 - 08 DEMO EXISTING EXTERIOR STAIR
 - 09 EXISTING NEIGHBOR STRUCTURE BEYOND
 - 10 SELECTIVELY DEMOLISH EXISTING BRICK
 - 11 EXISTING BRICK ACCENT COURSING
 - 12 EXISTING PRECAST SILL
 - 13 DEMO EXISTING CHIMNEY EXHAUST



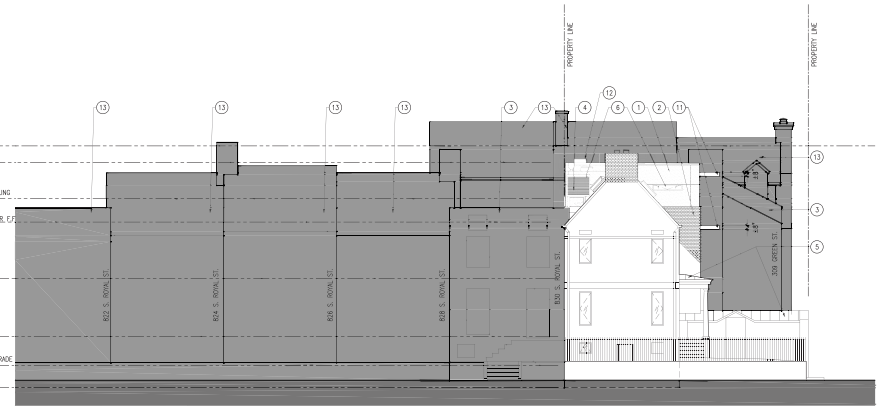
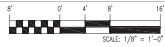
A4 ELEVATION - EAST (PROPOSED)



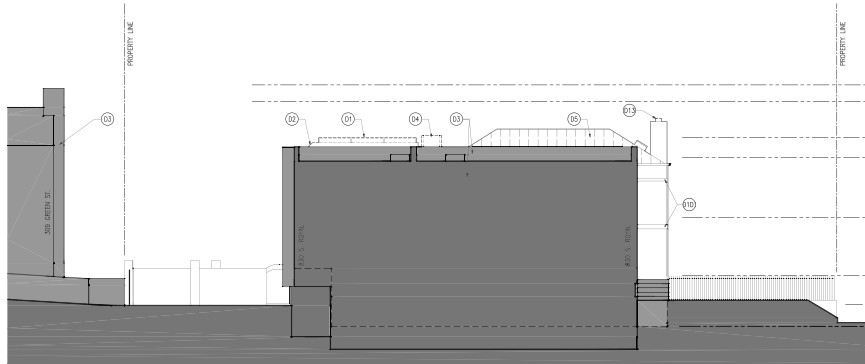
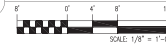
- ELEVATION KEYNOTES**
- 1. STONE - ENGINEERED STONE OR CEMENTITIOUS STONE, W/ REVEAL
 - 2. BRICK TO MATCH COLOR AND FINISH OF EXISTING ADJACENT
 - 3. EXISTING ADJACENT NEIGHBOR STRUCTURE
 - 4. RELOCATED RTU W/ SCREEN (COLOR TO MATCH STONE)
 - 5. STANDING SEAM METAL ROOF (DARK BRONZE)
 - 6. GLAZING (CASEMENT WINDOWS, COLOR - DARK BRONZE)
 - 7. EXISTING TO REARIN PARTY WALL
 - 8. ROOF SCHEDULE (FLUID APPLIED OR TRP - COLOR WHITE)
 - 9. DOWNSPOUT (COLOR TO MATCH STONE)
 - 10. RTU SCREEN (COLOR TO MATCH STONE)
 - 11. OVERHANG METAL TRIM, COLOR TO MATCH METAL ROOF
 - 12. SATELITE BEYOND
 - 13. EXISTING NEIGHBOR STRUCTURE BEYOND
 - 14. METAL TRIM (COLOR TO MATCH METAL ROOF)
 - 15. SUN-TUNNEL
 - 16. ROOF ACCESS HATCH



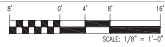
A1 ELEVATION - WEST (DEMO)



A2 ELEVATION - WEST (PROPOSED)

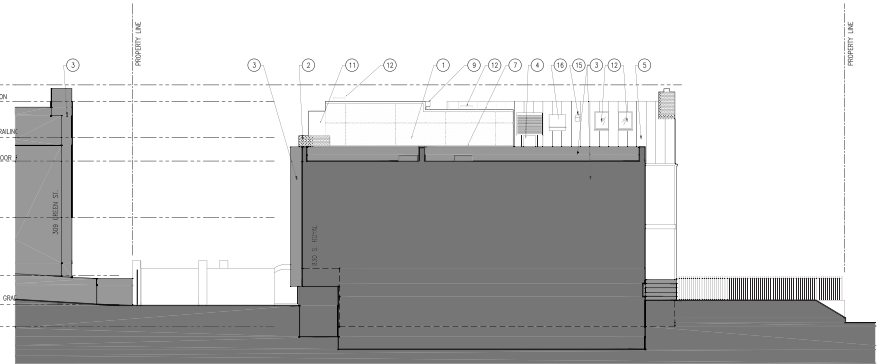


A3 ELEVATION - NORTH (DEMO)

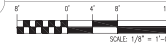


1 DEMO ELEVATION NOTES

- | | | |
|---|---|--|
| 01 DEMO EXISTING GUTTER | 05 DEMO EXISTING STANDING SEAM METAL ROOF | 09 EXISTING NEIGHBOR STRUCTURE BEYOND |
| 02 DEMO EXISTING PRECAST COPING | 06 DEMO EXISTING STRENGTHENMENT SYSTEM | 10 SELECTIVELY DEMOLISH EXISTING BRICK |
| 03 EXISTING ADJACENT NEIGHBOR STRUCTURE | 07 EXISTING TO REMAIN PARTY WALL BEYOND | 11 EXISTING BRICK ACCENT COURSING |
| 04 SALVAGE EXISTING RTU FOR REUSE | 08 DEMO EXISTING EXTERIOR STAIR | 12 EXISTING PRECAST SILL |
| | | 13 DEMO EXISTING CHIMNEY EXHAUST |



A4 ELEVATION - NORTH (PROPOSED)



1 ELEVATION NOTES

- | | | |
|--|--|---|
| 1. STONE - ENGINEERED STONE OR CONCRETE/STONE, W/ IRONCLAD | 5. STANDING SEAM METAL ROOF (DARK BRONZE) | 10. RTU SCREEN (COLOR TO MATCH Siding) |
| 2. BRICK TO MATCH COLOR AND FINISH OF EXISTING ADJACENT | 6. GLAZING (EXISTING WINDOWS, COLOR - DARK BRONZE) | 11. OPENING METAL TRIM, COLOR TO MATCH METAL ROOF |
| 3. EXISTING ADJACENT NEIGHBOR STRUCTURE | 7. EXISTING TO REMAIN PARTY WALL | 12. SKYLIGHT BEYOND |
| 4. RELOCATED RTU W/ SCREEN (COLOR TO MATCH Siding) | 8. ROOF CROCKET (FLUID APPLIED OR TPO - COLOR WHITE) | 13. EXISTING NEIGHBOR STRUCTURE BEYOND |
| | 9. DOWNSPOUT (COLOR TO MATCH Siding) | 14. METAL TRIM (COLOR TO MATCH METAL ROOF) |
| | | 15. SASH-TIMES |
| | | 16. ROOF ACCESS HATCH |



Existing

Southwest Corner of Green Street and South Royal Street



Proposed

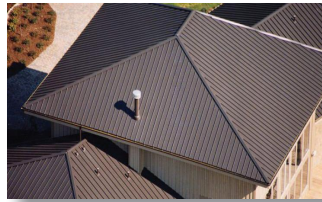


Existing

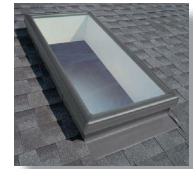
Southeast Corner of Green Street and South Fairfax Street



Proposed



Sun Tunnel (Solatube)



Skylight (Velux)

Metal roof examples (standing seam metal @ ±21" o.c.)

Low slope roof (fluid applied OR TPO (Thermoplastic Polyolefin) membrane color - white



Metal roof profile



Equipment Screen (color to match Siding (AirDecko))



Windows - aluminum clad. exterior color - dark bronze, (Marvin Ultimate Casement)

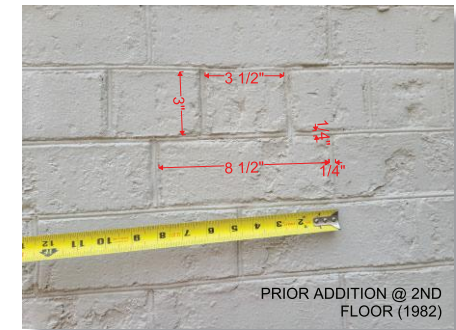
Environmentally Smart Colors - Designed Energy Efficient



Metal roof color and Overhang - dark bronze



Siding - engineered stone panel (4'x8' nominal) rain screen, matte finish with reveals.



Brick dimensions and color to match existing adjacent

FAR calculations for 333 Green St., Alexandria, VA 22314

ZONE	RM (Residential Medium)	
Total Lot area	4,787	sf
FAR allowed for RM	1.50	
Max Allowable floor area	7,180.50	sf
Existing floor area (minus exclusions)	2,182.00	
Proposed Floor area (minus exclusions)	2,870.00	sf
Difference Existing to Proposed	688.00	sf
Difference Allowable to Proposed	4,310.50	sf

EXISTING GROSS FLOOR AREA

	Existing Gross Floor Area (SF)	Allowable Exclusion (SF)	Remarks
Basement	998	998	<i>Ceiling of basement is < 4'-0" from average finish grade, also includes stairs to Basement</i>
First Floor	1,351		<i>includes 100 sf for cantilever of 2nd floor and 162 sf for exterior storage</i>
		43	<i>Front Portico</i>
		62	<i>Stairs with intermediate landing</i>
Second Floor	1,122		
		45	<i>Hall lav</i>
		50	<i>Master Bedroom lav (50 sf max allowable)</i>
		59	<i>Stairs with intermediate landing</i>
		32	<i>closet space under 7'-0"</i>
Third Floor	0		<i>not applicable</i>
Attic	373	373	<i>entire sloped ceiling < 7'-0" from finished floor</i>
Porches			
Balcony/Deck			
Lavatory			<i>see above breakout per floor for each floor lavatory</i>
Other			
Other			
Totals	3,844	1,662	

Existing Floor Area Minus Exclusions	2,182
---	--------------

Exclusion breakout per City of Alexandria FAR form. (See adjacent for breakout of exclusions per floor)	
Basement	998
Stairways	121
Mechanical	0
Attic Less than 7	373
Porches	43
Balcony/Deck	0
Lavatory	95
Other (Closet 2nd floor under 7'-0")	32
Other	0
Totals	1,662

PROPOSED GROSS AREA

	Proposed Gross Floor Area (SF)	Allowable Exclusion (SF)	Remarks
Basement	998	998	<i>Ceiling of basement is < 4'-0" from average finish grade, also includes stairs to Basement</i>
First Floor	1,443	43	<i>Front Portico</i>
		62	<i>Stairs with intermediate landing</i>
Second Floor	1,214	45	<i>Hall lav</i>
		50	<i>Master Bedroom lav (50 sf max allowable)</i>
		59	<i>Stairs with intermediate landing</i>
		32	<i>closet space under 7'-0"</i>
Third Floor	566	50	<i>1 lav (50 sf max allowable)</i>
		52	<i>Stairs with intermediate landing</i>
		337	<i>attic space <7'-0" from finished floor = 377-40=337 sf</i>
Attic	377	337	
Porches			
Balcony/Deck			
Lavatory			<i>see above breakout per floor for each floor lavatory</i>
Other			
Other			
Totals	4,598	1,728	
Existing Floor Area Minus Exclusions 2,870			

Exclusion breakout per City of Alexandria FAR form. (See adjacent for breakout of exclusions per floor)	
Basement	998
Stairways	173
Mechanical	0
Attic Less than 7	337
Porches	43
Balcony/Deck	0
Lavatory	145
Other (Closet 2nd floor under 7'-0")	32
Other	0
Totals	1,728

- NOTES:
- *Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.
 - ** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.
 - ***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

Demo Calcs

Project: 333 Green St.

***Note: All SF is based on plan view area takeoffs**

1ST Floor Demo	
Square feet	LOCATION
156	Outdoor storage - Gabled standing seam metal roof material replacement
1ST Floor total	156

2ND Floor Demo	
Square feet	LOCATION
43	Portico - standing seam metal roof material replacement
11	Bedroom - Storefront window replacement
2	Stair tower - storefront window replacement
2nd Floor total	56

ROOF Level Demo	
Square feet	LOCATION
648	Hipped Roof structure - to be replaced with gabled roof
63	TPO membrane roof between hipped roof and roof deck parapet - (to be enclosed by addition)
13	Standing seam metal between hipped roof and roof deck parapet - material replacement
260	Roof deck including stair (to be enclosed by addition)
58	Brick Parapet
7	Precast between sloped windows at 2nd floor 5 ganged windows
56	Sloped glazing and associated storefront at 2nd floor
17	Encase top of existing chimney in order to extend to code compliant height above proposed gabled roof ridge
30	gutter replacement
Roof Level total	1152

Total GROSS	
Demo	1364 SQUARE FEET