

# The Rutherford

5000 Seminary Rd  
*(future address 5050 Mark Center Drive)*

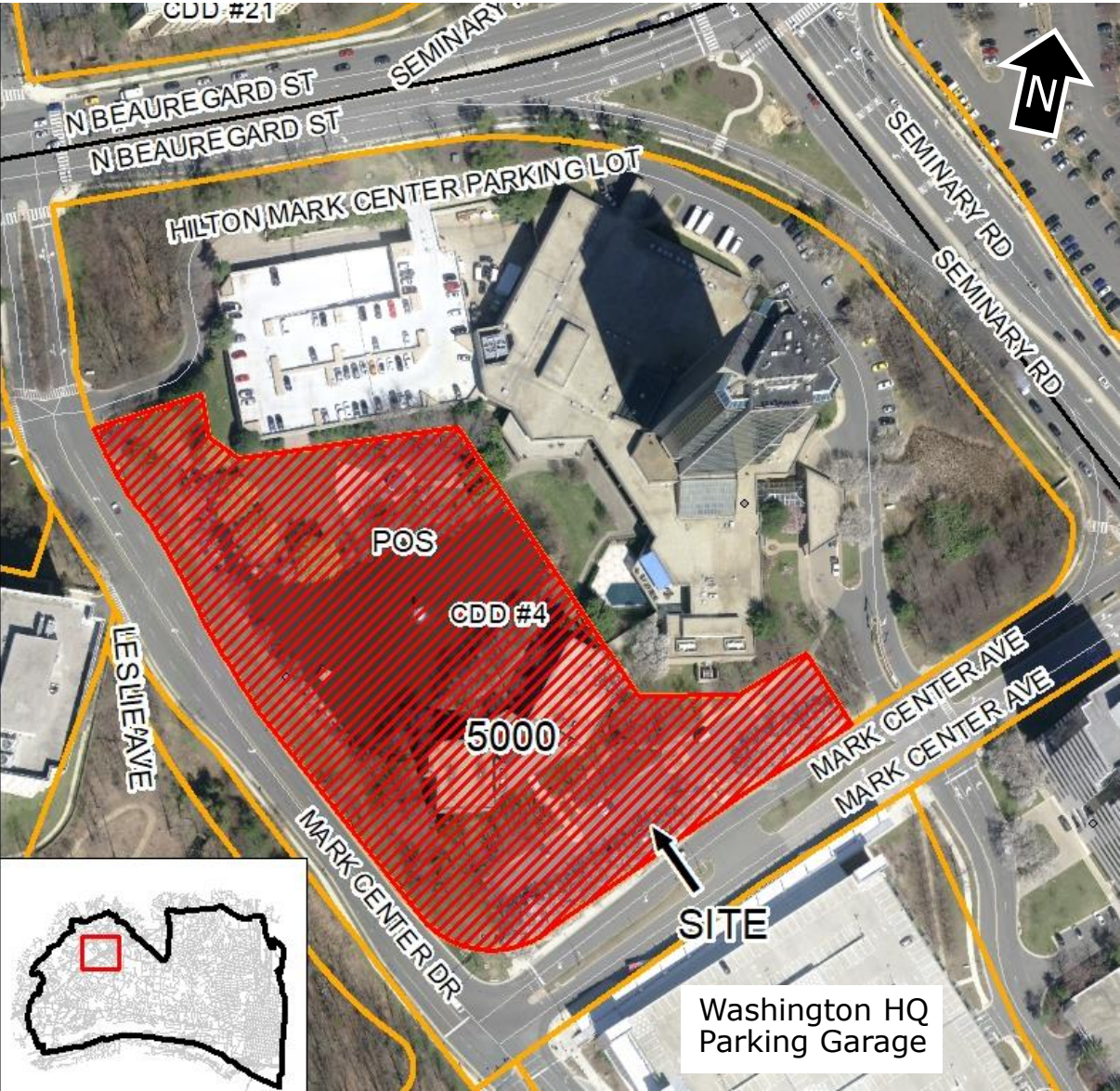
DSUP#2022-10027  
Coordinated Sign SUP#2023-00037  
TMP SUP#2022-00097

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Planning Commission (June 6, 2023)  
City Council (June 17, 2023)

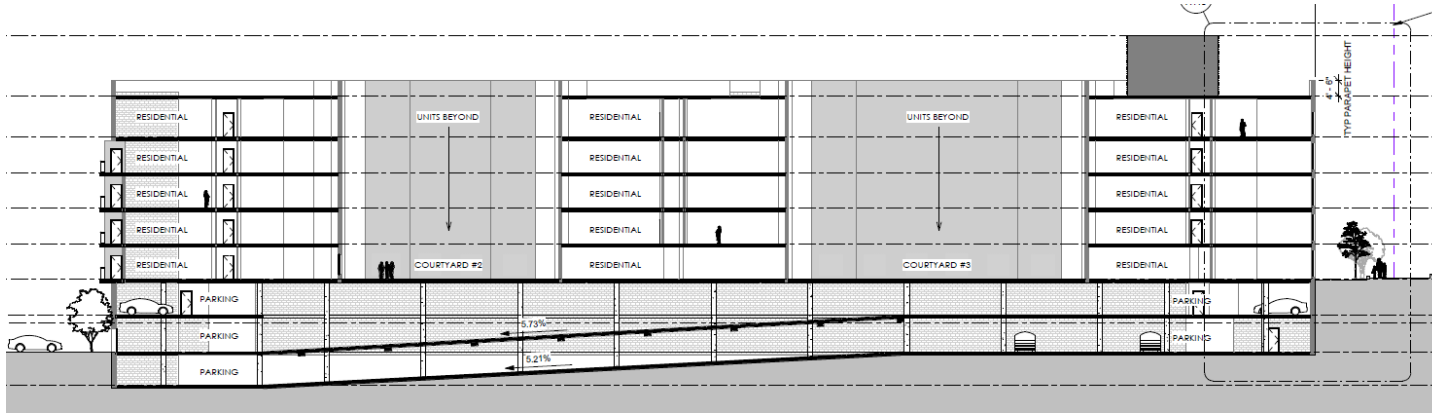


# Project Location



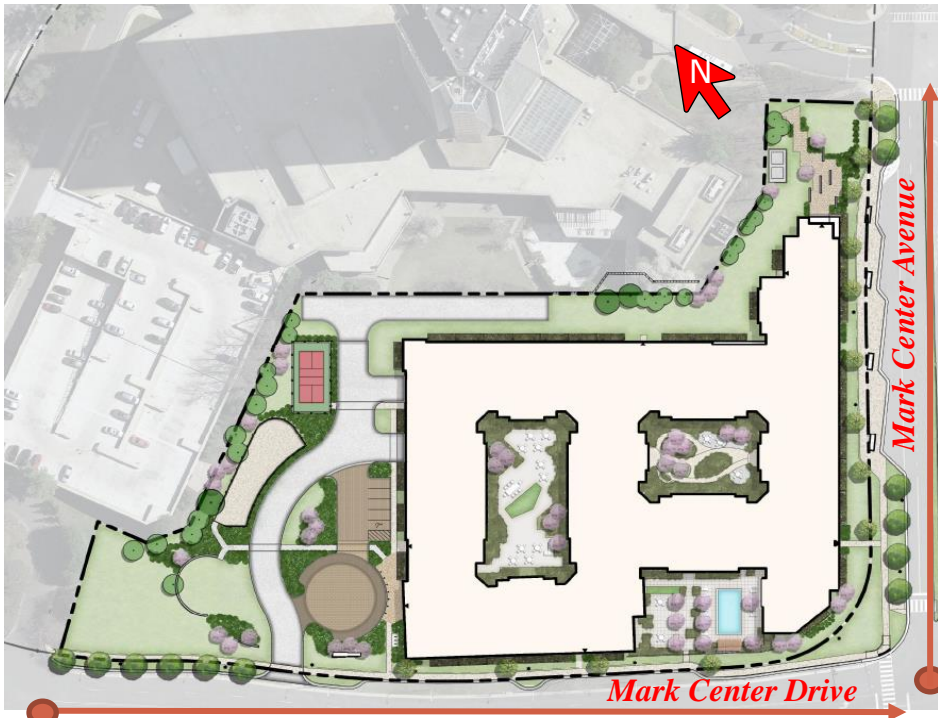


# Project Design and Architecture



*Cross Section from Mark Center Drive*

- New multifamily building on a 4.5 acre site
- 367 units incl. 25 affordable
- 405 spaces in above and below ground parking
- 40% on-site open space
  - 30% at-grade publicly accessible
  - 10% private courtyards, at and above grade



*Site Plan*



*Night view from Mark Center Drive*

# Land Use Requests

## DSUP

- Parking reduction
- Penthouses to exceed 15 feet in height

## SUP

- Transportation Management Plan
- Coordinated Sign Plan



*View from Mark Center Avenue*

## Community

MEETING	DATE
Beauregard Design Advisory Committee (BDAC)	September 26, 2022
BDAC	October 24, 2022
BDAC	December 5, 2022
Virtual Community Meeting (Convention Center demolition)	December 12, 2022
BDAC	February 6, 2023
Alexandria Housing Affordability Advisory Committee (AHAAC)	May 4, 2023
Planning Commission	June 6, 2023

# Considerations, Benefits & Recommendation



## **Considerations**

- Stormwater BMP's\*: 25% phosphorous load reduction from pre-development condition
- Transportation: traffic, off-street loading and pick up/drop off
- Schools: 35 net new students anticipated

## **Benefits**

- 25 dedicated affordable units
- Helps facilitate Mark Center Transit facility and West End Transitway expansions
- Approximately 700' of new sidewalk and street trees on Mark Center Dr
- Meeting Public Art and Green Building guidelines
- BSAP Developer Contributions through Streetscape & Implementation and Affordable Housing funds

## **Recommendation**

Planning Commission recommends **approval** of the request subject to the conditions in the report, with the revision to condition #37.

\*BMP = Best Management Practice



# Planning Commission's Recommendation

#37 The building shall use electricity except for limited accessory elements of the building such as retail uses, emergency generators, and ~~up to two gas fireplaces with occupant controls~~ in common amenity areas: including: up to three gas fireplaces/fire pits located in the exterior courtyards of the building with occupant controls (one in each courtyard); and intermittently used gas-fired bar-b-que grills in the outdoor courtyard amenity spaces. Gas fireplaces shall not burn continually. For these limited accessory elements, the buildings shall support low cost and easy conversion from onsite fossil fuel use to electrical use in the future. ~~(P&Z) (T&ES)~~ (PC) \*