

ADDRESS: 2411 RIDGE ROAD DRIVE
ZONE: R-8, RESIDENTIAL ZONE
APPLICANT: DIMEATRIUS OR KRISTIN EDWARDS
ISSUE: Special exception to construct a two-story addition in the required west side yard

ORDINANCE SECTION	SUBJECT	ORDINANCE REQUIREMENT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-306 (A)(2)	Side Yard (west)	10.35 feet*	9.67 feet	0.68 feet

**Based on the proposed addition's height of 20.69 feet measured from average preconstruction grade to the roof eave facing the west side yard.*

The staff **recommends approval** of the requested special exception because the request meets the criteria for a special exception.

If the Board decides to grant the requested special exception it is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department comments. The applicant must submit the following prior to the release of a Certificate of Occupancy: (1) a survey plat prepared by a licensed surveyor confirming building footprint and setbacks. The special exception must also be recorded in the City's Land Records Office prior to the release of the building permit.

I. Issue

The applicants propose to construct a two-story addition with crawl space at 2411 Ridge Road Drive. The addition will be located in the required west side yard approximately in line with the existing noncomplying west side wall and requires a special exception.



Figure 1: Subject Property

II. Background

The subject property is one corner lot of record with 71.14 feet of frontage facing Ridge Road Drive, 146.95 feet facing Central Avenue, a depth of 145.00 feet along the west side property line and 51.03 feet across the north side property line. According to Real Estate Assessment records, the property contains 9,399 square feet of lot area. The lot is a sub-standard lot of record with respect to lot width.

The corner lot is developed with a one and one-half story single unit dwelling. According to Real Estate Assessment records, the structure was originally constructed in 1949. The dwelling is located 25.80 feet from the front property line facing Ridge Road and 15.10 feet from Central Avenue, 9.10 feet from the west side property line and 81.20 feet the north side property line.

The following table provides zoning analysis of the subject property:

Zone	Required/Permitted	Existing	Proposed
Lot Area	9,000 sq. ft.	9,399 sq. ft.	9,399 sq. ft.
Lot Frontage (South)	40.00 ft.	71.14 ft.	74.14 ft.
Lot Frontage (East)	40.00 ft.	146.95	146.95 ft.
Lot Width	80.00 ft.	70.27 ft.	70.27 ft.
Primary Front Yard (Ridge Road Drive)	25.10 ft.*	25.80 ft.	25.80 ft.
Secondary Front Yard (Central Avenue)	26.70 ft. *	15.10 ft.	15.10 ft. existing 34.00 ft. addition 29.48 ft. porch
Side Yard (West)	10.35 ft.**	9.10 ft.	9.67 ft.
Side Yard (North)	11.67*** ft.	81.20 ft.	60.70 ft.
Height	30.00 ft.	19.71 ft.	23.33 ft. ***
Floor Area Ratio (FAR)	3,099.95 sq. ft.	1611.95 sq. ft.	2,723.53 sq. ft.

* Determined by the contextual block face.

** Based on the proposed addition's height of 20.69 feet measured from average preconstruction grade to the roof eave facing the west side yard.

*** Based on the proposed addition's height of 23.33 feet measured from average preconstruction grade to the midpoint of the gable roof facing the north side yard.

III. Description

The applicants propose to construct a two-story addition extending to the north of the existing dwelling. The addition will total 533.52 square feet on the first floor and 589.35 square feet on the second floor. The addition will be located 34.00 feet from secondary front property line facing Central Avenue, 60.70 feet from the north side property line and 9.67 feet from the west side property line. The new addition will be approximately in line with the existing west side wall set in 0.57 feet. The addition will measure 20.69 feet in height when measured from the average pre-construction grade to the roof eave facing the west side property line and based on a setback ratio of 1:2, requires a setback of 10.35 feet. The applicants request a special exception of 0.68 feet.

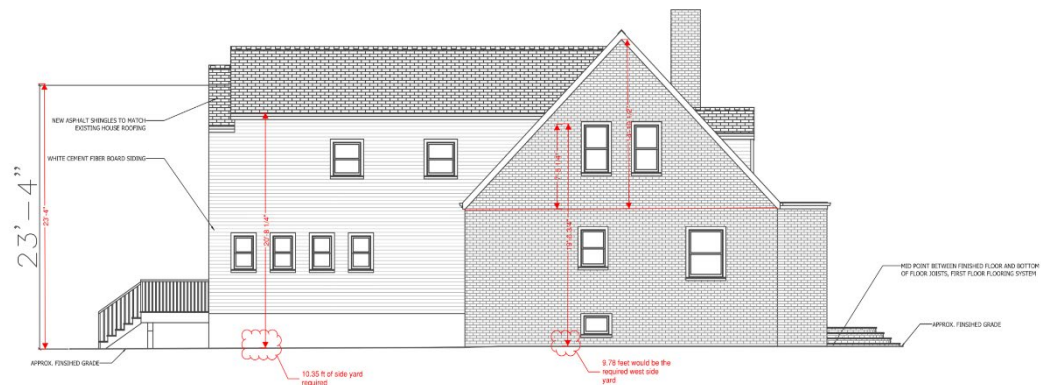


Figure 2: West Side Elevation

The applicants also propose to construct an open front porch that measures a total of 53.96 square feet in the secondary front yard facing Central Avenue and an open deck that measures a total 169.55 square feet. The porch is a permitted obstruction in the required front yard and the deck complies with all required setbacks. Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

IV. Master Plan/Zoning

The subject property is zoned R-8 and has been so zoned since adoption of the Third Revised Zoning Map in 1951 and is identified in the North Ridge Small Area Plan for residential use.

V. Requested Special Exception:

Side Yard 3-306(A)(2)

The R-8 zone requires a side yard based on a height to setback ratio of 1:2 with a minimum of 8.00 feet. Based on the proposed addition's height of 20.69 feet measured

from average pre-construction grade to the roof eave facing the west side yard, a setback of 10.35 feet is required from the west side property line. The applicants request a special exception of 0.68 feet to allow the addition to be constructed 9.67 feet from the west side property line.

VI. Noncomplying Structure/ Substandard Lot

The subject is a substandard lot developed with a noncomplying structure with respect to the following:

	<u>Required</u>	<u>Existing</u>	<u>Noncompliance</u>
Lot Width	80.00 ft.	70.27 ft.	9.73 ft.
Side Yard (West)	9.78 ft *	9.10 ft.	0.68 ft.
Secondary Front Yard	26.70 ft. **	15.10 ft.	11.60 ft.

*Based on a height of 19.56 feet measured from average pre-construction grade to the midpoint of gable of existing house facing the west side yard.

** Determined by the contextual block face.

VII. Special Exceptions Standards

A special exception is an approval that is based on the consistency of the proposal with the Zoning Ordinance but can only be approved by the City once certain criteria are met. Per Zoning Ordinance Section 11-1005(C) the BZA hears and decides applications for special exceptions and any application must meet the standards under Zoning Ordinance Section 11-1304. The criteria do not include considerations like the cost or financial hardship and are therefore inappropriate. The decisions of the BZA must be in conformance with the Zoning Ordinance; otherwise, they will be overturned by the courts. Thus, only the standards under Section 11-1300 can be considered in making a special exception decision. The Board of Zoning Appeals shall not grant a special exception unless it finds that the request meets all the special exception standards as follows:

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The applicant proposes constructing a two-story addition approximately in line with the existing non-complying west side wall. The addition will be no closer to the west side property line than the existing dwelling and will not exceed the height of the ridge of the existing dwelling. Many properties in this neighborhood are substandard as to lot width and appear to have noncomplying walls within required side yards. Approval of the request would not be detrimental to public welfare, to the neighborhood or adjacent properties.

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire, or endanger the public safety.

The proposed addition will continue to provide over 9.00 feet in setback from the west side property line. The adjacent property to the west should continue to receive adequate light and air as the movement of the sun from east to west will ensure that the property will not lack light. The proposed addition is located completely on the subject property and would not increase traffic congestion, danger or the spread of fire, or endanger public safety.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

The proposed addition will not alter the character of the area or zone as there is a mix of homes with modest bulk and mass as well as much larger homes with substantial additions. The proposal would continue to comply with floor area ratio and all other yard requirements.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

The neighborhood contains various types of houses, many with two-story additions. This proposal will be compatible with mass and scale of other homes in the neighborhood.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

The substandard lot width, irregular shape of the property, the two restrictive front yards required for corner lots and the placement of the existing dwelling on the lot, make constructing an addition in compliance difficult. The proposal represents the most reasonable location on the lot to accommodate an addition given the constraints on the lot.

VIII. Staff Conclusion

In conclusion, staff **recommends approval** of the requested special exception because it meets all the standards for a special exception as outlined above.

Staff

Marlo J.W. Ford, AICP, Urban Planner, Land Use + Preservation Division

marlo.ford@alexandriava.gov

Mary Christesen, Principal Planner, Land Use + Preservation Division

mary.christesen@alexandriava.gov

Tony LaColla, AICP, Division Chief, Land Use + Preservation Division

tony.lacolla@alexandriava.gov

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

* The applicant is advised that if the variance is approved the following additional comments apply.

Transportation and Environmental Services:

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

C-1 A building permit is required.

Recreation (Arborist):

No comments received.

Historic Alexandria (Archaeology):

- F-1 The 1894 G.M. Hopkins map shows two houses belonging to Dr. D.N. Rust in the vicinity of this property, one only a short distance to the east. The lot therefore has the potential to yield archaeological resources that could provide insight into residential life in late 19th-century Alexandria.
- C-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- C-2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- C-3 The statements in archaeology conditions above marked with an asterisk (*) shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Erosion and Sediment Control, Grading, and Sheeting and Shoring) so that on-site contractors are aware of the requirements. Additional statements to be included on the Final Site Plan will be determined in consultation with Alexandria Archaeology.



**APPLICATION
BOARD OF ZONING APPEALS**

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:

Side setback re-leaf, Existing house is non conforming on the side. New addition to be built following the Existing houses side exterior wall. The property is further hampered by having to Front Setback to contend with as well.

PART A

1. Applicant: Owner Contract Purchaser Agent

Name Ian Everett

Address [REDACTED]

Daytime Phone [REDACTED]

Email Address [REDACTED]

2. Property Location 2411 Ridge Road Dr., Alexandria, VA 22302

3. Assessment Map # 33.01 Block 02 Lot 18 Zone R8

4. Legal Property Owner Name Kristin & Dee Edwards

Address [REDACTED]

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Ian Everett	[REDACTED]	0%
2.			
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2411 Ridge Road Dr., Alexandria, VA 22302 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Kristin Edwards	[REDACTED]	100 %
2.	Dee Edwards	[REDACTED]	100 %
3.			

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	N/A	N/A	N/A
2.	N/A	N/A	N/A
3.	N/A	N/A	N/A

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3.24.2026

Ian Everett

Date

Printed Name

Ian Everett

Signature

5. Describe request briefly:

To construct a 2 story addition approx. 9.1 Feet the properties side yard. Addition is planned to be built in line with the existing houses exterior wall at the side yard. The project meets the basic distance requirement but exceeds the height requirements. The 2/1 rule only allows for a 18' addition which is less than the Existing house and the planned rear addition (31'-3").

6. If the property owner or applicant is being represented by an authorized agent,

such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

Yes — Provide proof of current City business license.

No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Ian Everett

Print Name

Telephone

Ian Everett

Signature

3.24.2026

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**

If granted the exception will allow the Edwards to build the addition to a size that will accommodate their family better than the current Cape Cod style house that is their now. It will be better to cook a Family meal in a Kitchen that isn't so cramped. Family events in proper sized family room will go off without a hitch. The new Owner Suite will allow the Kids to have their own bedrooms which will help them grow in life.

- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**

The new addition was designed to mesh with the Neighborhoods over all ecstatic. It mimics several other additions found in the neighborhood. The addition will be a harmonious concept that will not harm any adjoining properties or impact the neighborhood.

- 3. Explain how the proposed addition will affect the light and air to any**

With the addition being designed to be smaller than the existing house it will have less affect on the Light and air. No new systems will be added that will affect the light and air.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The addition will have the same exterior finishes that are already present on Houses in the neighborhood. Same white trim and painted white cement board siding present on several houses in the neighborhood.

5. How is the proposed construction similar to other buildings in the immediate area?

The Proposed Addition will be built with Wood and Block materials mirroring the other additions in the neighborhood. The new addition will be situated on the property the same as the other additions. Also the new addition was designed to be a similar style to all the other houses to ensure a harmonious addition to the the neighborhood.

6. Explain how this plan represents the only reasonable location on the lot to

With the current side setback requirements of 8' away from the side property line and a 2/1 height requirement and considering the subject property has 2 Front set backs the allowable addition would be dramatically under sized for their growing family's needs.

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

Yes the Owners have shown the plans to their neighbors. There has been NO dissenting opinion offered.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. R-8
 Street Address Zone

A2. x =
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="1,280.00"/>	Basement**	<input type="text" value="1,280.00"/>	B1. <input type="text" value="3,802.00"/> Sq. Ft.
First Floor	<input type="text" value="1,354.00"/>	Stairways**	<input type="text"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="727.00"/>	Mechanical**	<input type="text"/>	B2. <input type="text" value="1,721.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text" value="2,081.00"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text" value="240.00"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text" value="240.00"/>	Garage**	<input type="text" value="201.00"/>	
Garage	<input type="text" value="201.00"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
B1. Total Gross	<input type="text" value="3,802.00"/>	B2. Total Exclusions	<input type="text" value="1,721.00"/>	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	C1. <input type="text" value="1,300.00"/> Sq. Ft.
First Floor	<input type="text" value="522.00"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text" value="521.00"/>	Mechanical**	<input type="text"/>	C2. <input type="text" value="257.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text" value="1,043.00"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text" value="257.00"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text" value="257.00"/>	Garage**	<input type="text"/>	
Garage	<input type="text"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
C1. Total Gross	<input type="text" value="1,300.00"/>	C2. Total Exclusions	<input type="text" value="257.00"/>	

D. Total Floor Area

D1. Sq. Ft.
 Total Floor Area (add B3 and C3)

D2. Sq. Ft.
 Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
 Existing Open Space

E2. Sq. Ft.
 Required Open Space

E3. Sq. Ft.
 Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Jan Everett

Date: 3/24/2026



**EDWARDS
ADDITION**
2411 RIDGE ROAD DR.
ARLINGTON, VA 22302

DRAWING INDEX:

- CV-01 COVER SHEET
- A-002 PLAT & PROPOSED PLAT
- A-003 FAR WORK SHEET & BASEMENT CALCULATIONS
- A-101 EXISTING / DEMO PLANS
- A-102 EXISTING / DEMO ELEVATIONS
- A-103 EXISTING / DEMO ELEVATIONS
- A-104 PROPOSED BASEMENT & 1ST FLOORS
- A-105 PROPOSED 2ND FLOOR PLAN
- A-106 PROPOSED FRONT & LEFT SIDE ELEVATIONS
- A-107 PROPOSED REAR & RIGHT SIDE ELEVATIONS
- A-110 PROPOSED ELEVATIONS
- S-001 PROPOSED CROSS SECTION 1/S001 & DETAILS
- S-002 PROPOSED FOUNDATION PLAN
- S-101 PROPOSED FLOOR FRAMING PLANS
- S-102 PROPOSED ROOF FRAMING PLANS
- S-103 BEAM CALCULATIONS & SPECS
- S-104 BEAM CALCULATIONS CONTINUED
- S-105 LATERAL BRACING PLAN & NOTES

DESCRIPTION OF WORK TO BE PERFORMED:

TO CONSTRUCT A 2 STORY REAR ADDITION APPROXIMATELY 31'-6" x 20'-3" ON A CRAWLSPACE FOUNDATION. NEW ADDITION WILL HAVE A RENOVATED KITCHEN IN KIND WITH NEW CABINETS AND COUNTER TOPS. ALSO A LARGER FAMILY ROOM AND NEW SECOND STORY PRIMARY SUITE. NEW PRIMARY BATHROOM TO BE CONSTRUCTED. THE HOUSE WATER LINE WILL BE UPGRADED SINCE THE HOUSES TOTAL TOILET COUNT AFTER THE NEW PRIMARY BATHROOM IS ADDED WILL BE 4.

CODE REQUIREMENTS:

ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2021 VIRGINIA RESIDENTIAL CODE (IRC LATEST EDITION) AND IN ACCORDANCE WITH ALL LOCAL, STATE ORDINANCES AND REGULATIONS.

WINDOWS AND DOORS:

REPLACEMENT SHALL COMPLY WITH TABLE N1102.1.1 (R402.1.1) OF THE IRC 2021 RESIDENTIAL CODE LATEST EDITION.

RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS:

SUBJECT TO DAMAGE FROM:

- GROUND SNOW LOAD: 25 PSF
- WIND SPEED: 115 MPH
- SEISMIC DESIGN CATEGORY B
- WEATHERING: SEVERE
- FROST LINE: 24"
- TERMITE: MODERATE TO HEAVY
- WINTER DESIGN TEMP.: 17 F
- ICE SHIELD UNDERLAYMENT REQUIRED: YES

WHEELER SIDE ADDITION:

KRISTEN AND DEE EDWARDS
VIRGINIA MAILING ADDRESS:
2411 RIDGE ROAD DR.
ALEXANDRIA VA 22302
YEAR BUILT: 1949
LOT SIZE: 9,399 SF ZONE: R-8

BUILDING HEIGHT:

FRONT SIDE: 30'-9" FT
LEFT SIDE: 23'-6" FT
RIGHT SIDE: 30'-5" FT
BACK SIDE: 30'-10" FT
AVERAGE: 29'-5" FT

LOT COVERAGE CALCULATION:

AREA LOT: 9,399 SF
X 35% 3,289 SF (ALLOWED)
ADDITION: 3091 SF (ADDED+EX)
LESS THAN: 198 SF
UNDER THE MAX LOT COVERAGE OF 35%

PLUMBING FIXTURE COUNT:

	BASEMENT	FIRST	SECOND	FINAL TOTALS
TOILET	1	1	2	4
SINK	1	1	2	4
TUB	1	1	2	4
SHOWER	0	0	0	0

TOILET COUNT >4 SO WATER LINE UPGRADE REQUIRED



COOK BROS.
5521 LANGSTON BLVD.
ARLINGTON, VIRGINIA 22207
(703) 536-0900
VA CLASS "A" LICENSE 2705-007815

DESIGNER
IAN EVERETT

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**EDWARDS
ADDITION**
2411 RIDGE ROAD DR.
ALEXANDRIA, VA 22302

NO.	DESCRIPTION	DATE

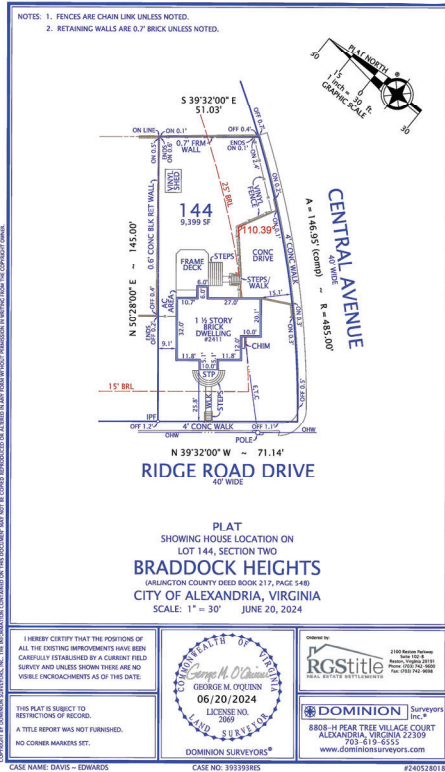
PROJECT NUMBER 8742

DATE 07-08-2026

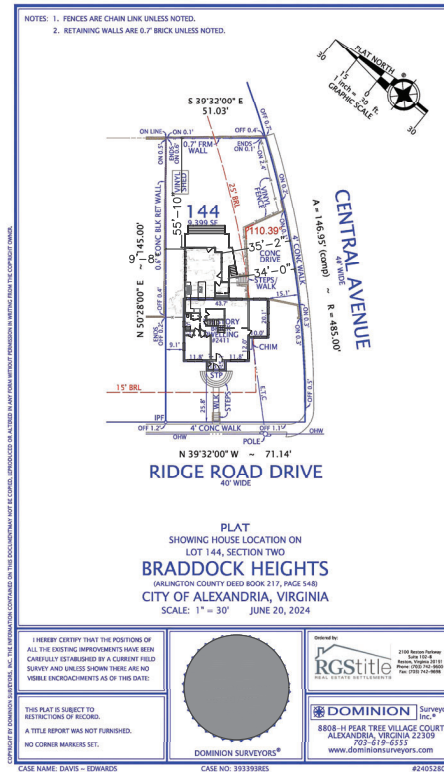
SCALE INDICATED

DRAWING NO.

CV01



1) EXISTING PLAT
SCALE: 1"=30'



2) PROPOSED PLAT
SCALE: 1"=30'

COOK BROS.
DESIGN/BUILD REMODELING

Since 1987

COOK BROS.
5521 LANGSTON BLVD
ARLINGTON, VIRGINIA 22207
(703) 538-0900
VA. CLASS 'A' LICENSE 2705-007815

DESIGNER
IAN EVERETT

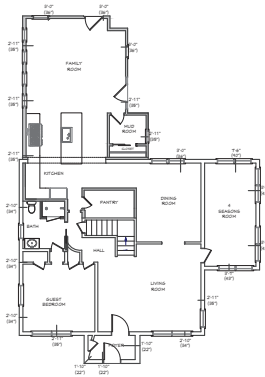
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EDWARDS ADDITION
2411 RIDGE ROAD DR.
ALEXANDRIA, VA 22302

NO.	DESCRIPTION	DATE

PROJECT NUMBER	8742
DATE	07-08-2024
SCALE	INDICATES
DRAWING NO.	

A001



FAR BASEMENT EXEMPTION CALCULATIONS

1. 1'-10"
 2. 2'-11"
 3. 2'-10"
 4. 2'-10"
 5. 2'-10"
 6. 2'-11"
 7. 2'-11"
 8. 2'-11"
 9. 3'-0"
 10. 3'-0"
 11. 3'-0"
 12. 3'-0"
 13. 2'-11"
 14. 2'-11"
 15. 3'-0"
 16. 7'-6"
 17. 3'-6"
 18. 3'-6"
 19. 3'-7"
 20. 2'-11"
 21. 2'-10"
 22. 1'-10"
 23. 1'-10"
- TOTAL: 808"
DIVIDED BY 23
AVERAGE: 2'-9"



Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations for
Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 241 Ridge Rd Dr
Street Address
A2. 1.289 AC
Total Lot Area
A3. 1.289 AC
Floor Area Ratio Allowed by Zone
A4. 1.289 AC
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	B1. Total Gross	B2. Total Exclusions
Basement 1,085.00	Basement** 1,085.00	3,216.00	1,155.00
First Floor 1,223.00	Stairways** 90.00		
Second Floor 727.00	Mechanical**		
Third Floor	Attic less than 7'		
Attic	Porches**		
Porches	Balcony/Deck**		
Balcony/Deck	Garage**		
Garage	Other**		
Other**			

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	C1. Total Gross	C2. Total Exclusions
Basement 1,030.00	Basement** 1,030.00	1,030.00	0.00
First Floor 515.00	Stairways**		
Second Floor 515.00	Mechanical**		
Third Floor	Attic less than 7'		
Attic	Porches**		
Porches	Balcony/Deck**		
Balcony/Deck	Garage**		
Garage	Other**		
Other**			

D. Total Floor Area

D1. 1,091.00 Sq. Ft.
Total Floor Area (per B3 and C3)

D2. 1,289.00 Sq. Ft.
Total Floor Area Allowed by Zone (A4)

E. Open Space (MS & MS (LMS))

E1. Existing Open Space
E2. Required Open Space
E3. Proposed Open Space

Notes

** Refer to the Zoning Ordinance Section 2-143(a) and consult with Zoning Staff for additional allowable exclusions. Additional area may be required for area exclusions.

*** Refer to the Zoning Ordinance Section 2-143(b) and consult with Zoning Staff for additional allowable exclusions. Additional area may be required for area exclusions, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____

1) SITE PLAN
SCALE: 3/32" = 1'



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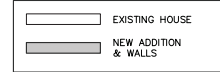
NO.	DESCRIPTION	DATE

PROJECT NUMBER 8742
DATE 07-09-2020
SCALE INDICATED

DRAWING NO.
A002



WALL KEY



1) EXISTING DEMO FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2) EXISTING DEMO RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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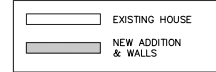
NO.	DESCRIPTION	DATE

PROJECT NUMBER	8742
DATE	07-08-2020
SCALE	INDICATED

DRAWING NO.

A102

WALL KEY



1) EXISTING DEMO REAR ELEVATION
SCALE: 1/4" = 1'-0"



2) EXISTING DEMO LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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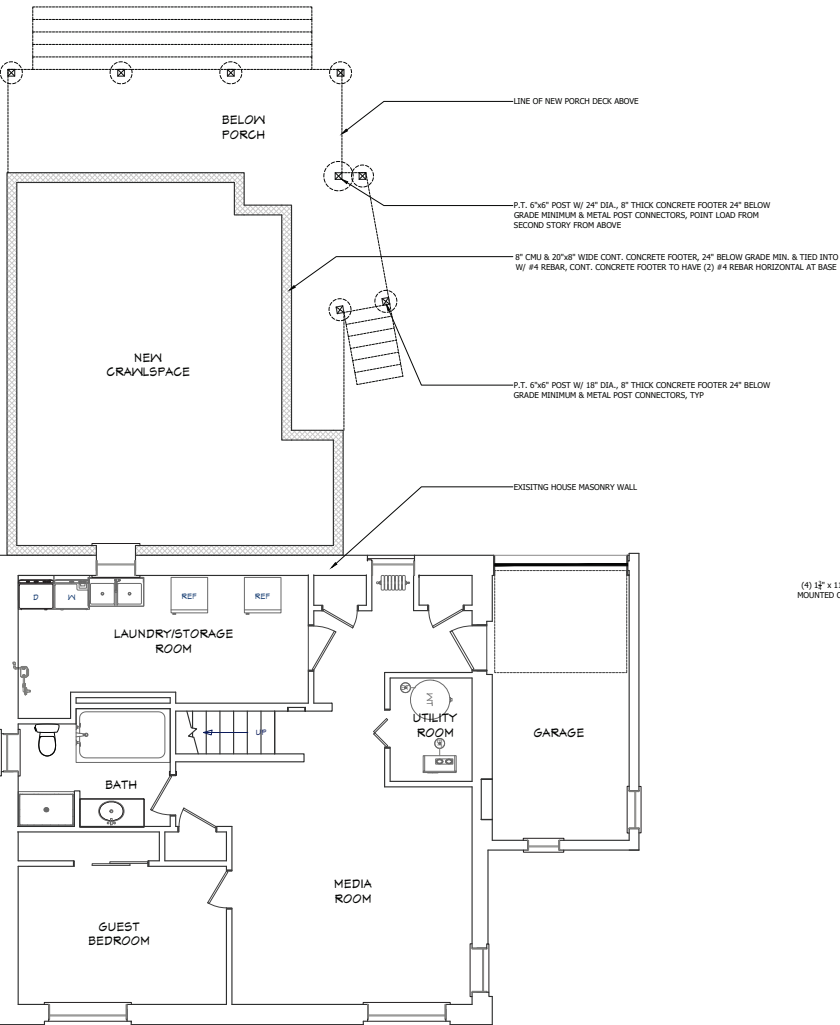
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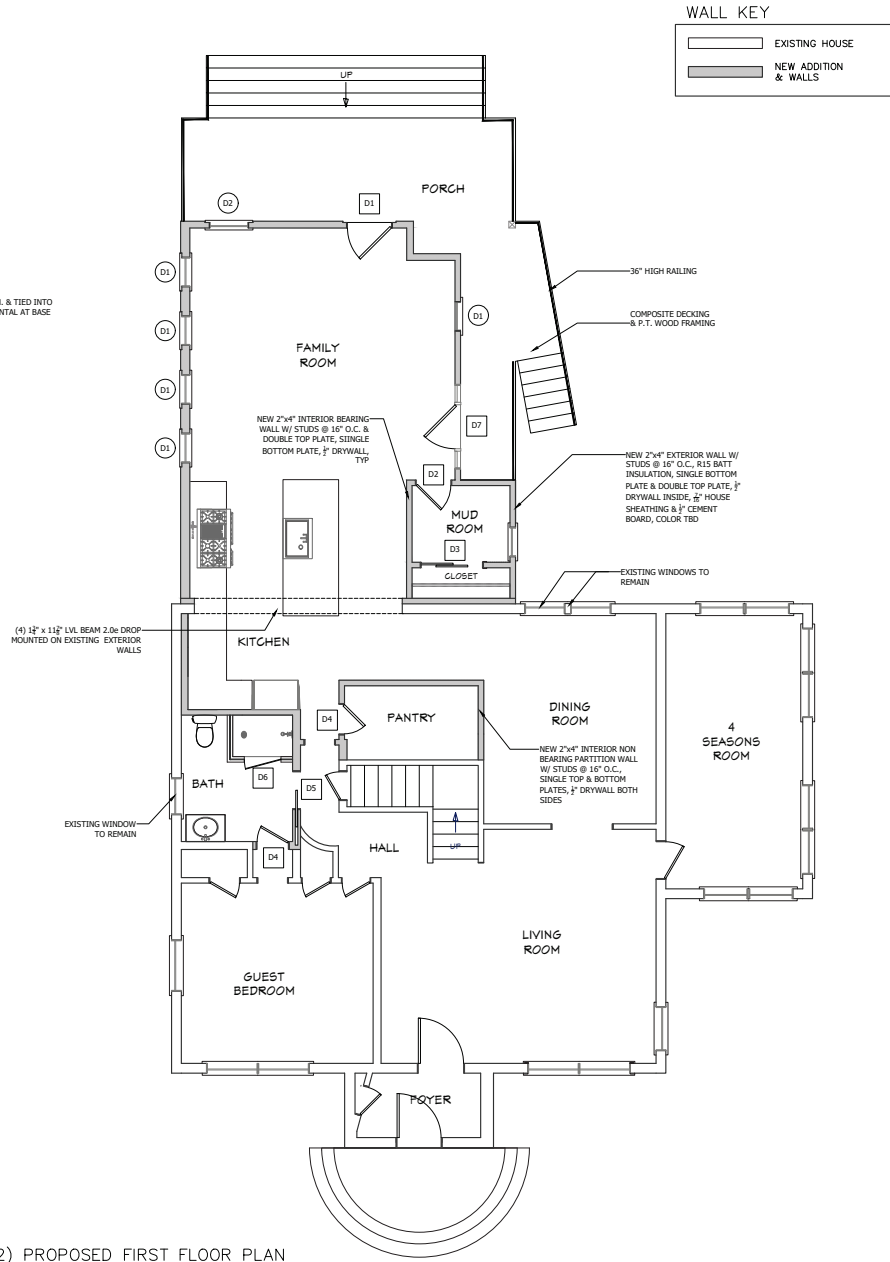
PROJECT NUMBER 8742
DATE 07-08-2020
SCALE INDICATED

DRAWING NO.

A103



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2) PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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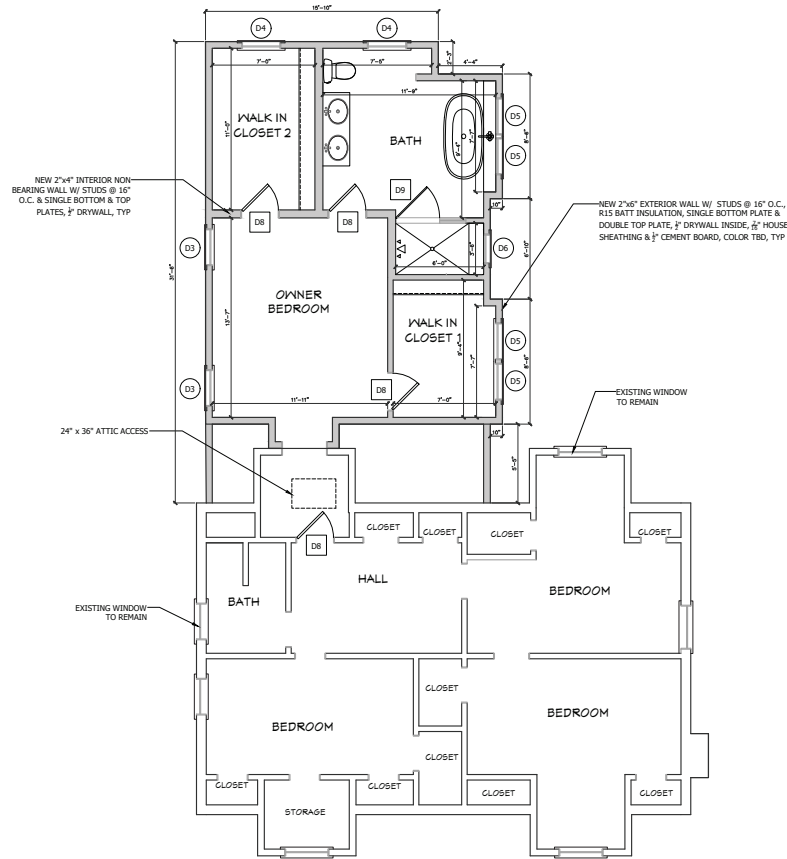
PROJECT NUMBER	8742
DATE	07-08-2020
SCALE	INDICATED

DRAWING NO.

A104

WALL KEY

	EXISTING HOUSE
	NEW ADDITION & WALLS



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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NO.	DESCRIPTION	DATE
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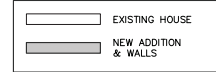
PROJECT NUMBER	8742
DATE	07-08-2020
SCALE	INDICATED

DRAWING NO.

A105



WALL KEY



1) FRONT ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING HEIGHT:
FRONT SIDE: OBSCURED
LEFT SIDE: 25'-4" FT
RIGHT SIDE: 28'-5" FT
REAR SIDE: 28'-5" FT
AVERAGE: 29'-5" FT



2) LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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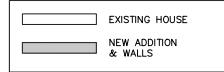
PROJECT NUMBER	8742
DATE	07-08-2020
SCALE	INDICATED

DRAWING NO.

A106



WALL KEY



BUILDING HEIGHT:
 FRONT SIDE: OBLSCURED
 LEFT SIDE: 25'-6" FT
 RIGHT SIDE: 28'-0" FT
 REAR SIDE: 28'-0" FT
 AVERAGE: 29'-5" FT

1) REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2) RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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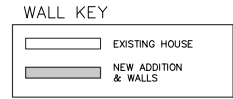
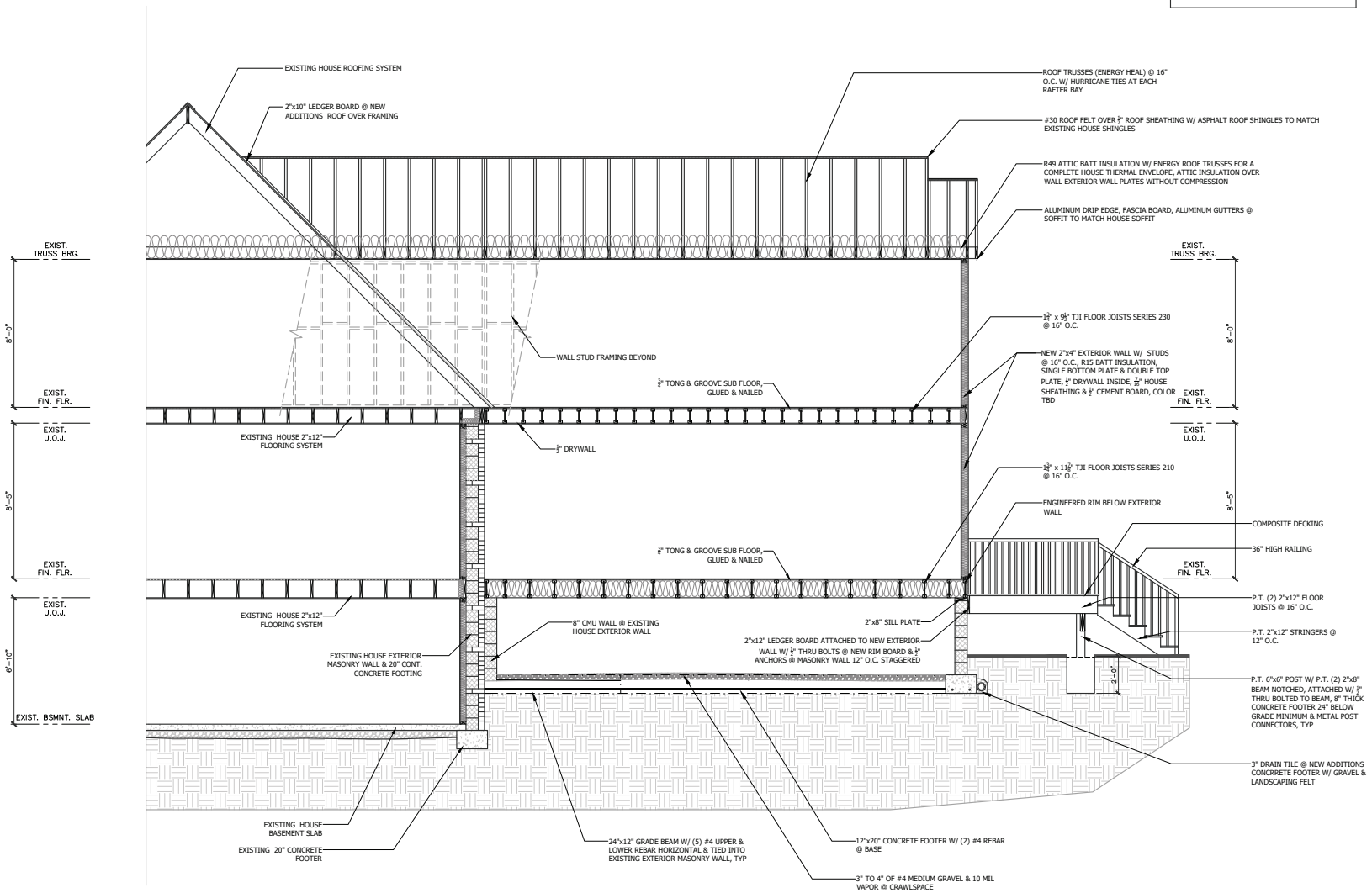
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SCALE	INDICATED

DRAWING NO.
 A107



1) PROPOSED BASEMENT PLAN
SCALE: 3/8" = 1'-0"



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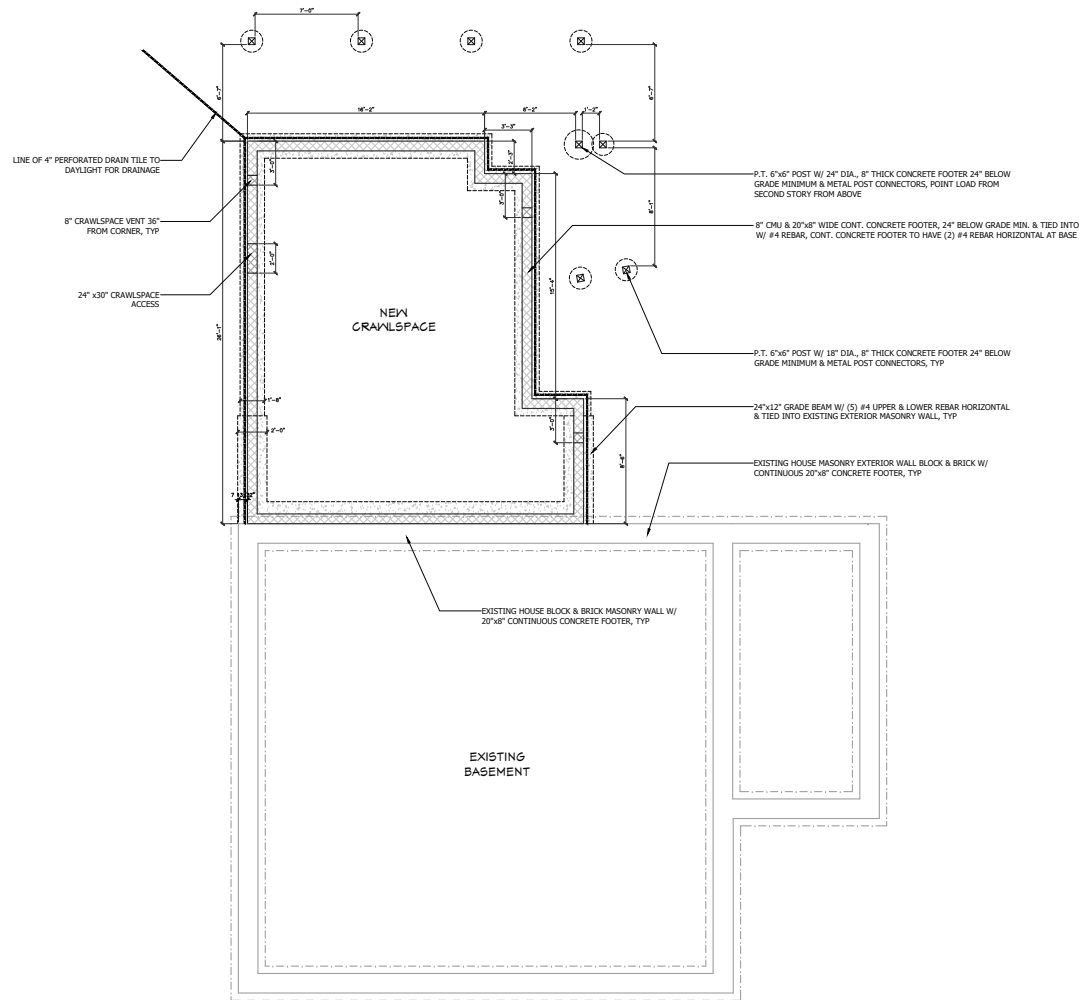
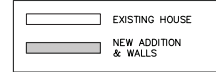
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NO.	DESCRIPTION	DATE

PROJECT NUMBER: 8742
DATE: 07-08-2026
SCALE: INDICATED

DRAWING NO.
S001

WALL KEY



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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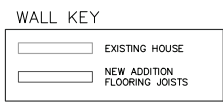
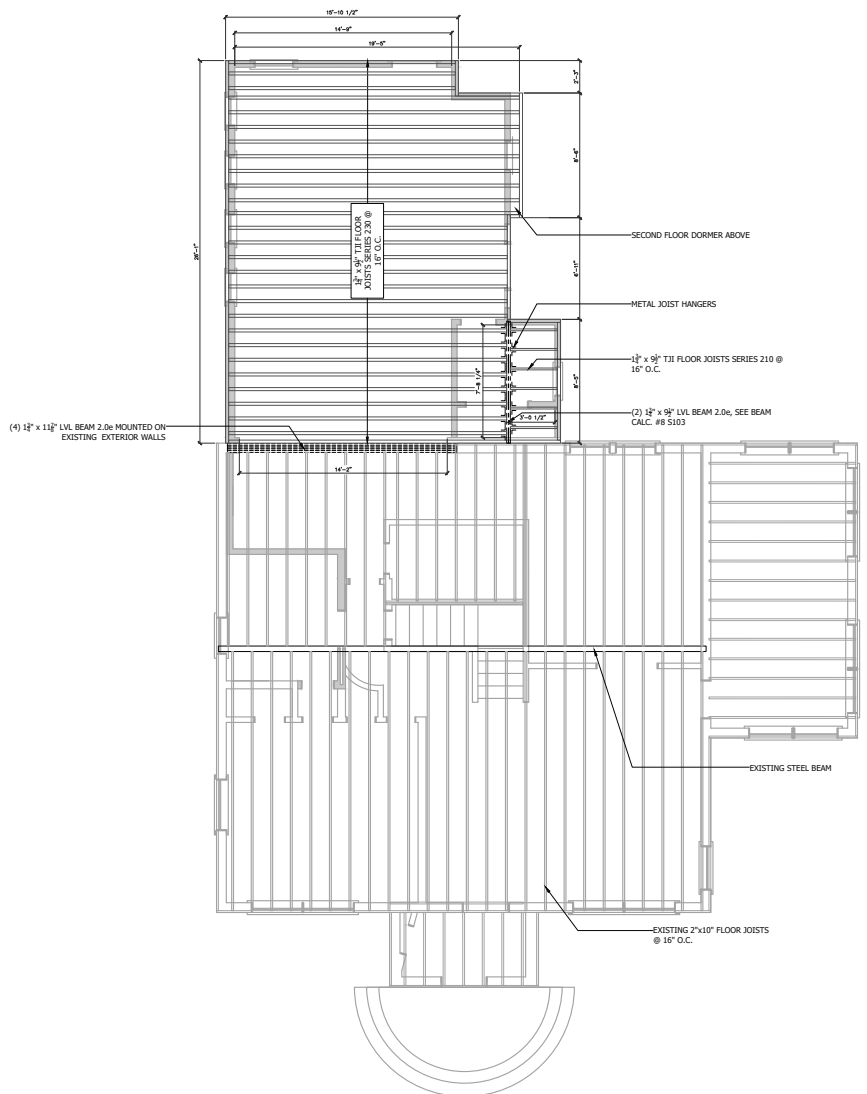
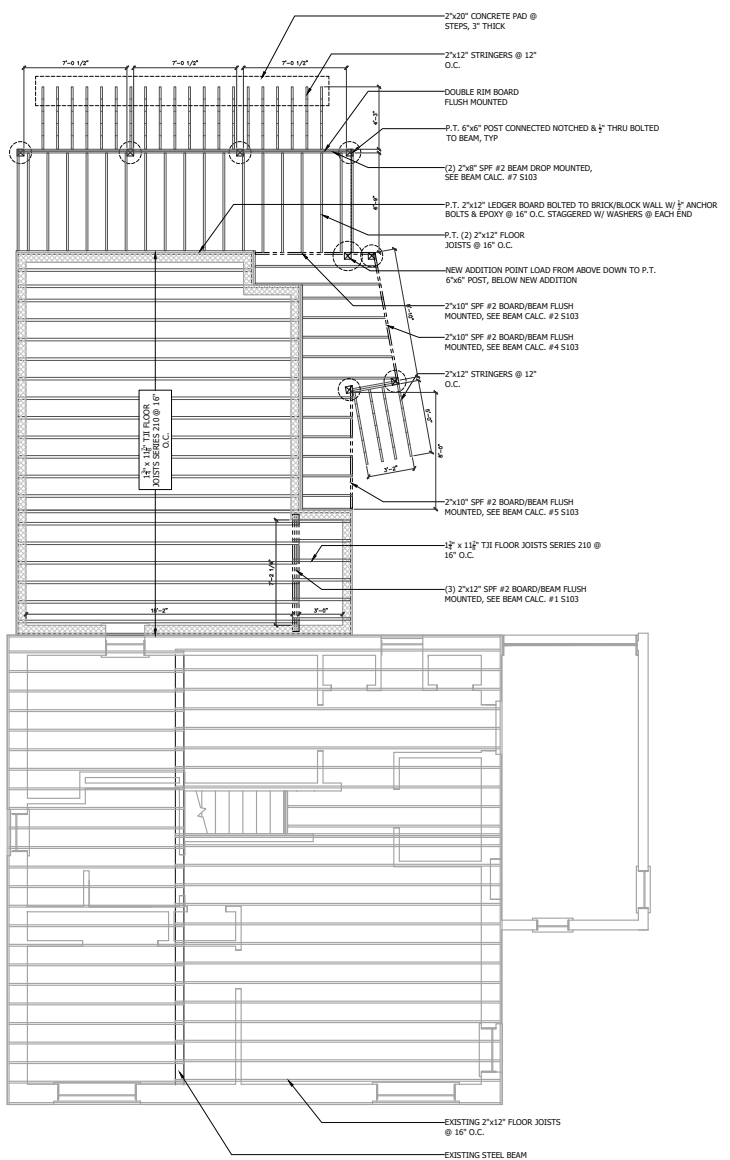
PROJECT NUMBER 8742

DATE 07-08-2020

SCALE INDICATED

DRAWING NO.

S002



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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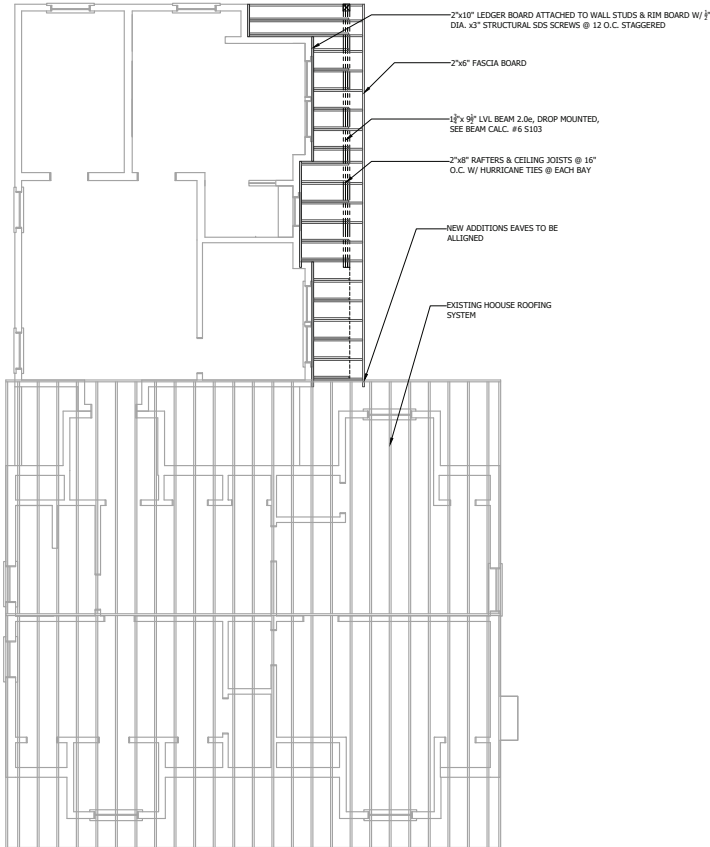
NO.	DESCRIPTION	DATE

PROJECT NUMBER	8742
DATE	07-08-2020
SCALE	INDICATED

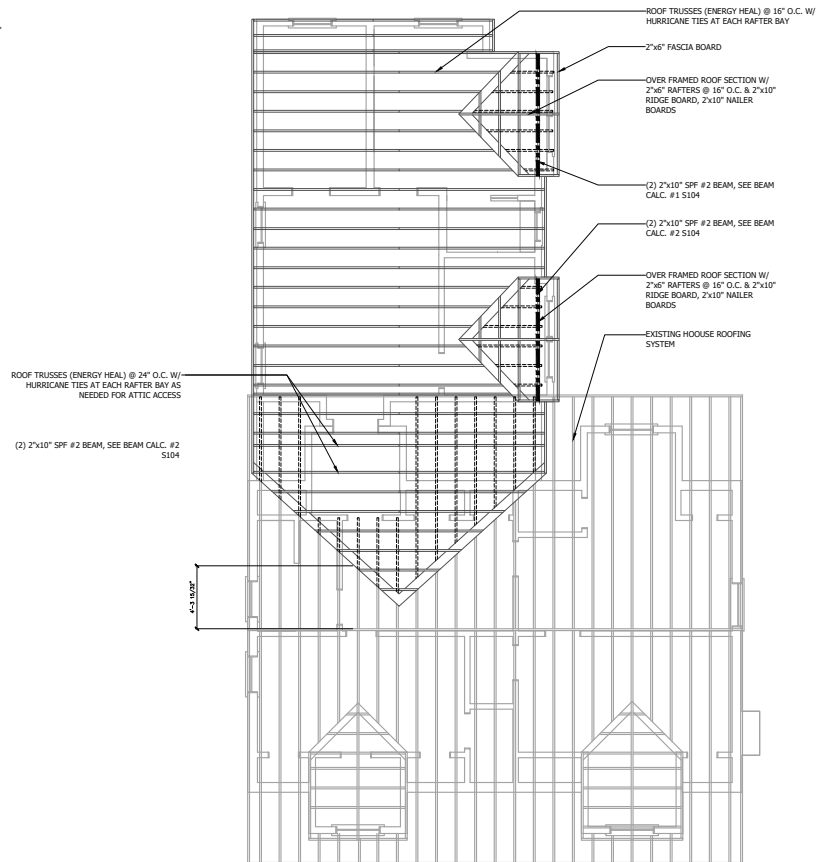
DRAWING NO.

S101

WALL KEY



1) PROPOSED PORCH ROOF PLAN
SCALE: 1/4" = 1'-0"



2) PROPOSED MAIN ROOF SYSTEM,
SCALE: 1/4" = 1'-0"



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SCALE	INDICATED

DRAWING NO.

S102





