

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Linett Axelsson

LOCATION: Old and Historic Alexandria District
222 South West Street

ZONE: RM/Townhouse Zone

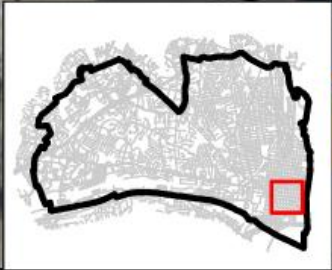
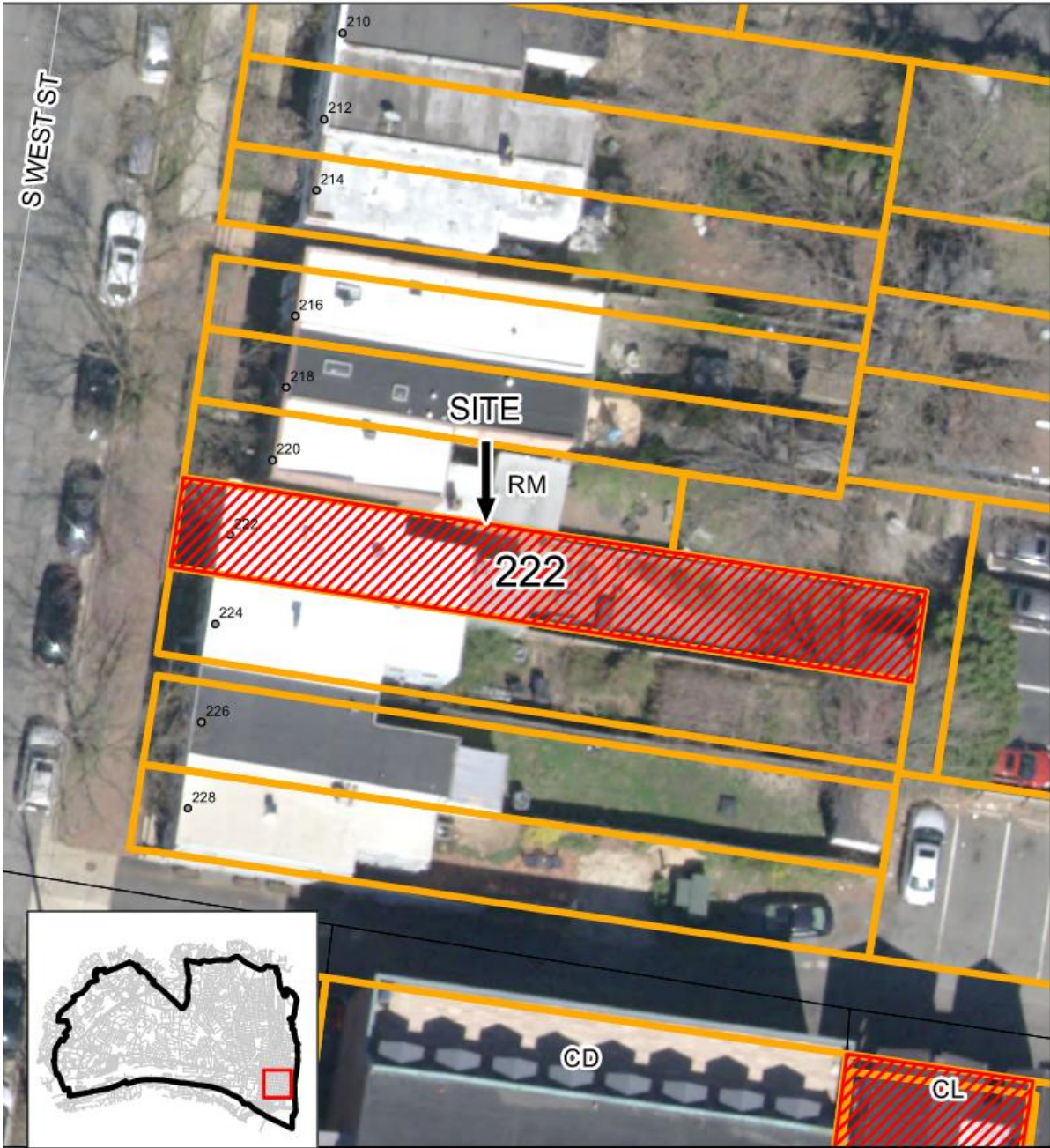
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations, with the following conditions:

1. The two windows on the north elevation that are visible from the street are made of wood to match the material and style of the front/west façade windows.
2. All proposed windows comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.
3. If any original siding is found, work with Staff to salvage and reuse it where possible.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2023-00273
222 S West Street



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness for alterations to replace three non-original windows on the front (west) façade and two non-original windows on the side (north) elevation, replace the front door and surround, replace shutters on the front façade, replace siding on all elevations, repair wood trim on the front façade, and replace trim on the side (north) elevation.

Several proposed alterations are not visible from a public right of way and therefore do not require BAR approval. This includes the replacement of existing rear (east) French doors and side door, replacement of six windows on the side (north) elevation, and installation of exterior light fixtures by the side and rear doors. Because these alterations do not require BAR approval, they are not discussed in the analysis.

Site context

The subject property is the northernmost of four attached townhouses located at 222-228 South West Street. A public alley runs along the south of the townhouses. There is a narrow alley along the north elevation that separates the property from the neighboring 220 South West Street. The siding on all elevations is visible from either South West Street or the public alley. The front façade windows and the two westernmost windows on the north (side) elevation are visible from South West Street.

II. HISTORY

According to Sanborn maps, the two-bay, two-story Italianate building at 222 South West Street was built between **1896** and **1902**. The wood frame building has a dentil cornice with brackets.

Previous BAR Approvals

BAR2011-00340 Administrative approval for roof replacement

III. ANALYSIS

Windows/Shutters

The *Design Guidelines* state that “Windows are a principal character defining feature of a building and serve both functional and aesthetic purposes. Windows allow the interior of a building to receive natural light, provide a means to see from the inside of a building to the outside and allow ventilation of a building interior.” Furthermore “The size, location, type and trim of windows are a defining element of historic architectural styles.”

On the front façade, the applicant proposes to replace three non-original wood windows and two sets of shutters (Figure 1). The proposed shutters will be painted louvered wood and operable. The applicant proposes to use two-over-two Marvin Ultimate SDL double-hung wood windows, with dual-pane glass. Pediments will also be added to the windows. On the north (side) façade, the applicant proposes to replace two non-original wood windows (Figure 2). The proposed windows will be two-over-two Marvin Ultimate SDL double-hung aluminum-clad wood windows, with dual-pane glass.

Staff has no objection to the proposed front façade windows, shutters, and pediments. The alterations will allow the property to harmonize well with neighboring 226 South West Street, which has similar pediments and louvered shutters. However, Staff believes that the two proposed aluminum-clad windows on the north elevation are not historically appropriate for this Early building and should be made of wood.

Door

The applicant proposes to replace the existing front door and surround with a painted wood door and pediment (Figure 1). All the townhouses in the row from 222 to 228 South West Street have similar door pediments; Staff finds that the proposed door and pediment will improve the architectural harmony of the row.

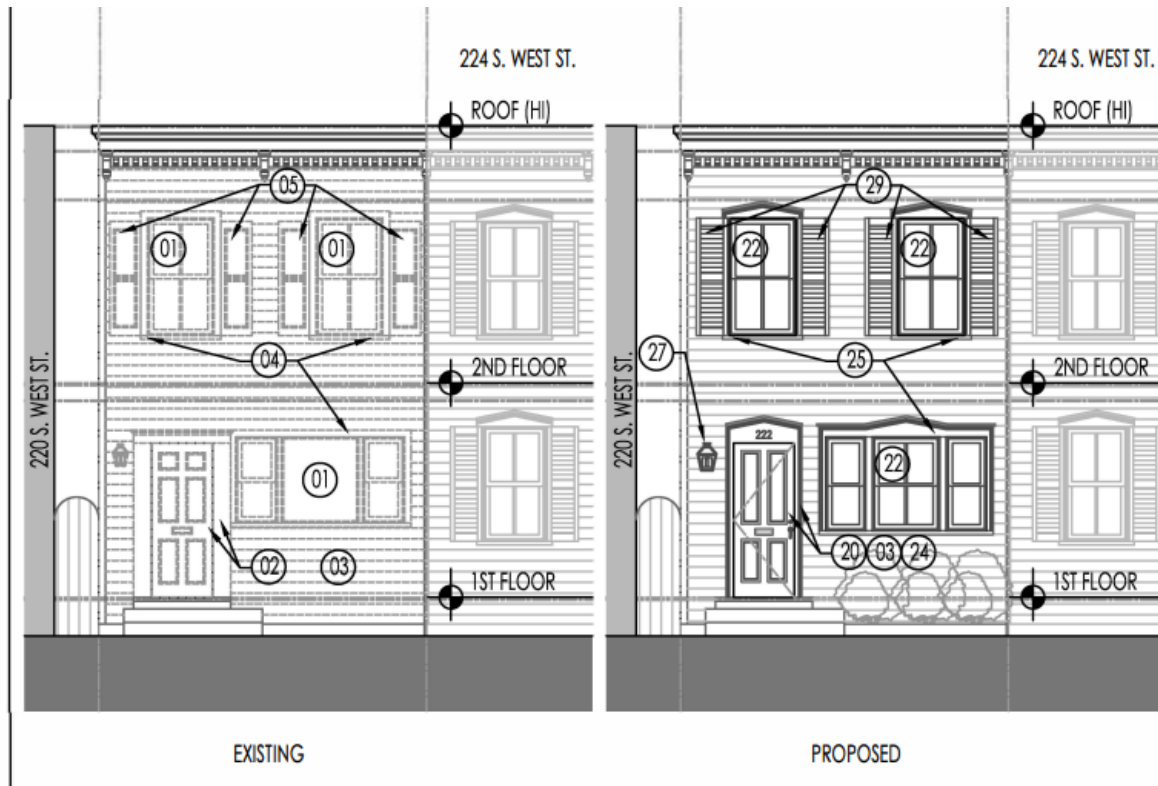


Figure 1. Existing and proposed front façade

Siding/Trim

The *Design Guidelines* state that “Siding is one of the principal character defining elements of a building. Brick and wood are the predominant exterior wall materials in the historic districts.” The building currently has painted German lap wood siding and wood trim. The applicant proposes to repair the wood trim on the front façade. The applicant also proposes to replace the siding on all elevations with painted German lap wood siding (Figure 3). The siding on the north (side) elevation will have composite trim on the lowermost section. Staff finds the proposed siding and trim alterations to be appropriate. The *BAR Policies for Administrative Approval* allows for the use of composite trim in certain limited locations. The proposed area is in the narrow alley between 220

and 222 South West Street. Staff finds that the composite trim would be minimally visible from the public right of way in the proposed location and therefore has no objection to it.

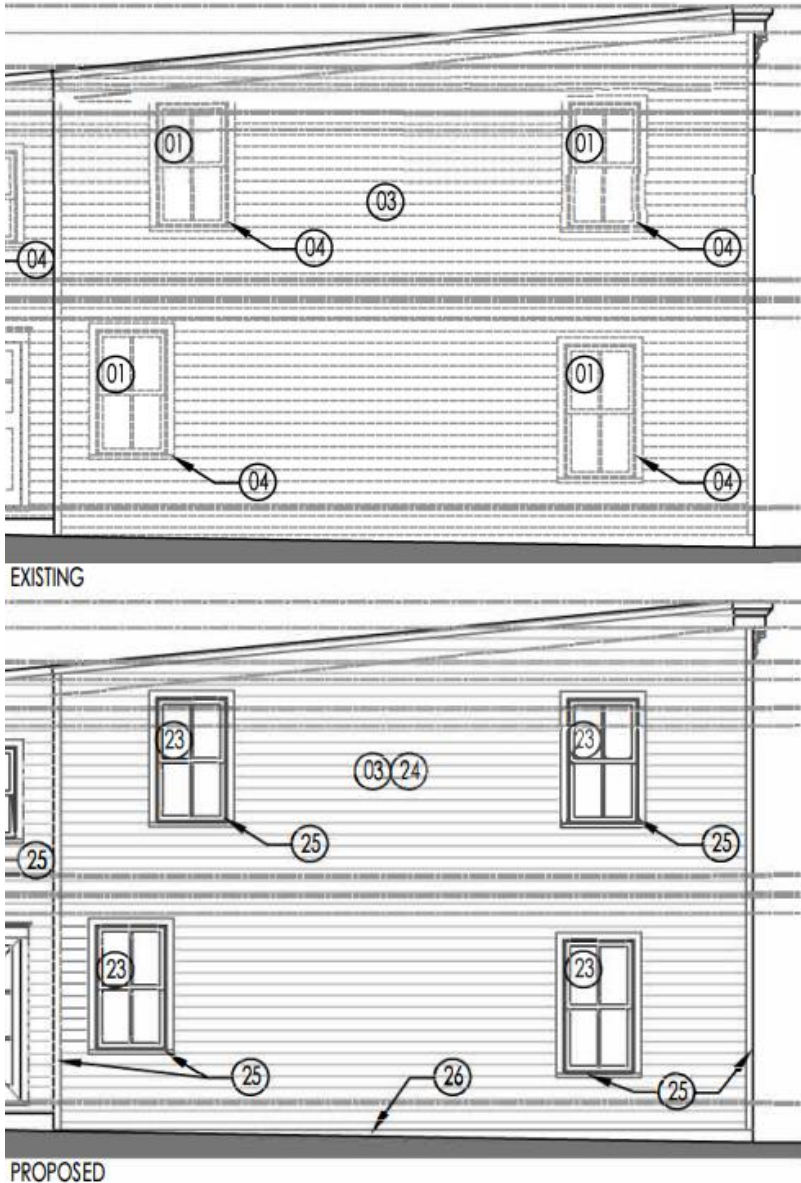


Figure 2. Existing and proposed north (side) elevation

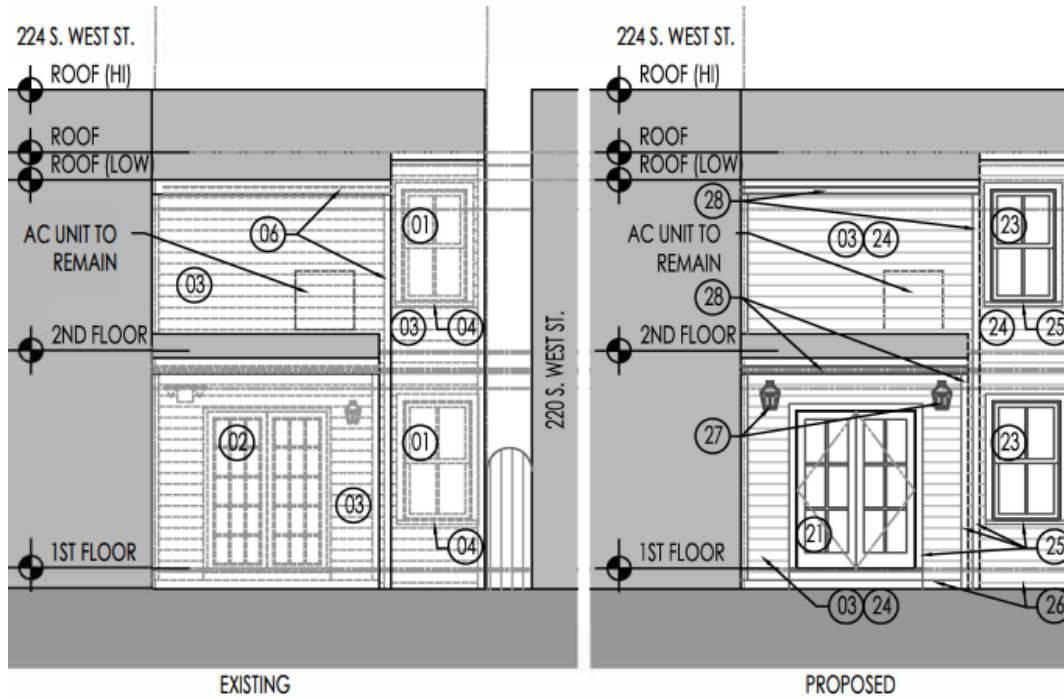


Figure 3. Existing and proposed rear elevation.

Staff believes that the proposed alterations will significantly improve the historic integrity of the block by increasing the uniformity of the architectural features. All the proposed alterations comply with the *Design Guidelines*, except for the aluminum-clad wood windows on the north elevation. Staff therefore recommends approval of the Certificate of Appropriateness for alterations, with the following conditions:

1. The two windows on the north elevation that are visible from the street are made of wood to match the material and style of the front façade windows.
2. All proposed windows comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.
3. If any original siding is found, work with Staff to salvage and reuse it.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed exterior changes will comply with zoning.

C-2 Approval is for windows, doors, and siding. Not approved for any structural changes.

Code Administration

C-1 A building permit is required for review.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2)

(T&ES)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No comments received.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes** **No** Is there an historic preservation easement on this property?
- Yes** **No** If yes, has the easement holder agreed to the proposed alterations?
- Yes** **No** Is there a homeowner’s association for this property?
- Yes** **No** If yes, has the homeowner’s association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:  _____

Printed Name: Karen Conkey

Date: 06/21/2023

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Linett Axelsson	222 South West St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 222 South West Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Linett Axelsson	222 South West St.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Karen Conkey	spouse	William Conkey
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

06/21/2023

Karen Conkey



Date

Printed Name

Signature



<p>222 South West Street, Alexandria, VA 22314</p> <p>PHOTO OF EXISTING SOUTH WEST STREET</p>			<p>BAR APPLICATION</p> <p>ASK</p> <p>1.1A</p> <p>NOT FOR CONSTRUCTION</p>
<p>CLIENT:</p> <p>Linett Axelsson</p> <p>222 S. West Street</p> <p>Alexandria, VA 22314</p>	<p>21 JUNE 2023</p>	<p>COPYRIGHT ©</p> <p>ARCHITECT:</p> <p>325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com</p>	
<p>Conkey architects</p>			



222 South West Street, Alexandria, VA 22314

PHOTO OF EXISTING SIDE ELEVATION

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CLIENT:

Linett Axelsson
 222 S. West Street
 Alexandria, VA 22314

ARCHITECT:

325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

21 JUNE 2023

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BAR APPLICATION

ASK
1.1B

NOT FOR CONSTRUCTION



222 South West Street, Alexandria, VA 22314

PHOTO OF EXISTING REAR ELEVATION

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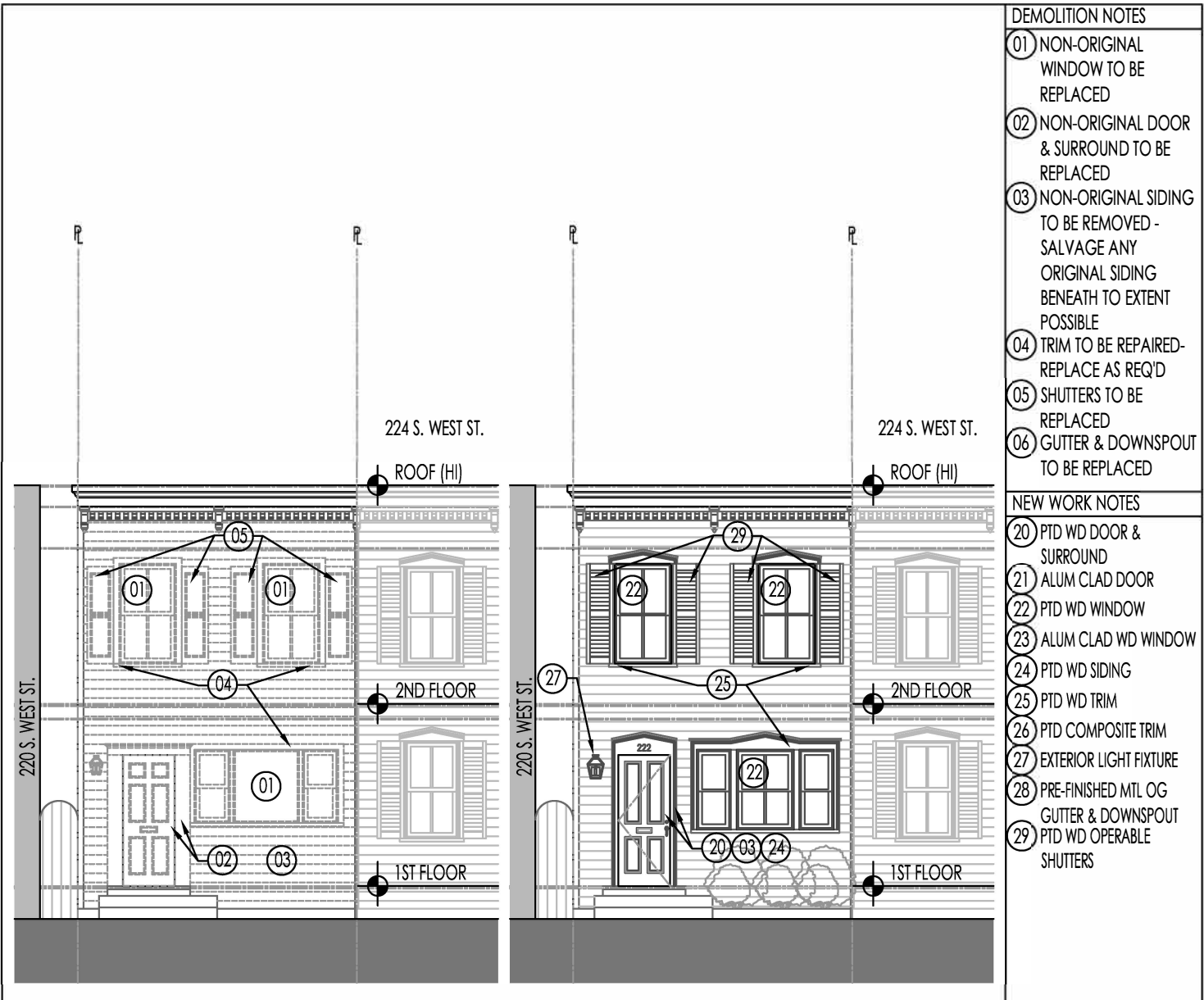
ARCHITECT: 325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

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BAR APPLICATION

**ASK
 1.1C**

NOT FOR CONSTRUCTION



- DEMOLITION NOTES**
- 01 NON-ORIGINAL WINDOW TO BE REPLACED
 - 02 NON-ORIGINAL DOOR & SURROUND TO BE REPLACED
 - 03 NON-ORIGINAL SIDING TO BE REMOVED - SALVAGE ANY ORIGINAL SIDING BENEATH TO EXTENT POSSIBLE
 - 04 TRIM TO BE REPAIRED- REPLACE AS REQ'D
 - 05 SHUTTERS TO BE REPLACED
 - 06 GUTTER & DOWNSPOUT TO BE REPLACED

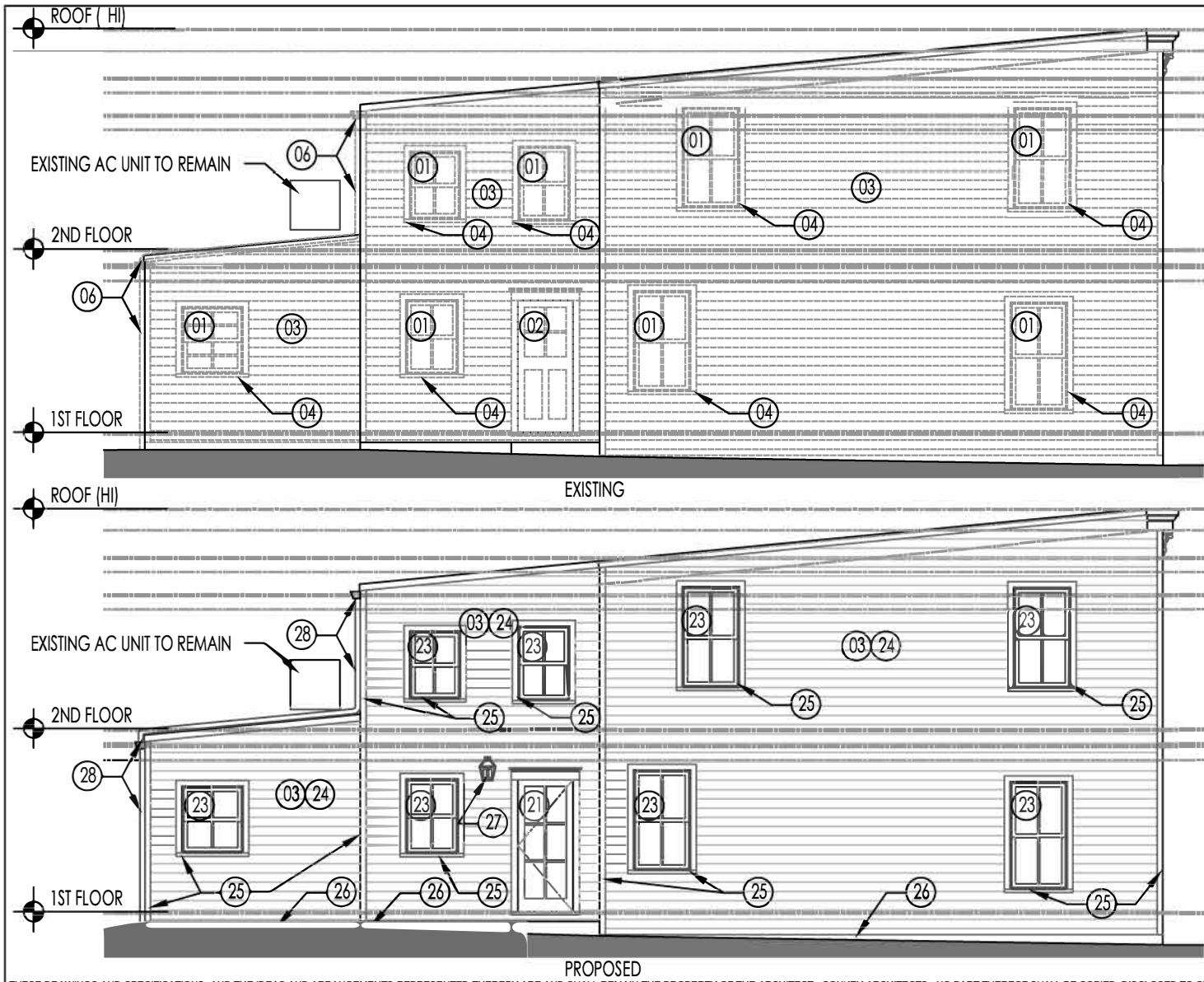
- NEW WORK NOTES**
- 20 PTD WD DOOR & SURROUND
 - 21 ALUM CLAD DOOR
 - 22 PTD WD WINDOW
 - 23 ALUM CLAD WD WINDOW
 - 24 PTD WD SIDING
 - 25 PTD WD TRIM
 - 26 PTD COMPOSITE TRIM
 - 27 EXTERIOR LIGHT FIXTURE
 - 28 PRE-FINISHED MTL OG GUTTER & DOWNSPOUT
 - 29 PTD WD OPERABLE SHUTTERS

EXISTING

PROPOSED

THESE DRAWINGS AND SPECIFICATIONS, AND THE IDEAS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, CONKEY ARCHITECTS. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT, OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

<h2>222 South West Street, Alexandria, VA 22314</h2>		BAR APPLICATION	
S. WEST STREET ELEVATION - EXISTING & PROPOSED		COPYRIGHT ©	
CLIENT: Linett Axelsson 222 S. West Street Alexandria, VA 22314	<p>SCALE: 1/8" = 1'-0"</p>	ARCHITECT: 325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com	<h1>ASK 3.1</h1>
21 JUNE 2023		Conkey architects	
			NOT FOR CONSTRUCTION



- DEMOLITION NOTES**
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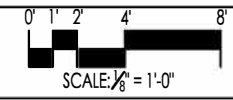
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222 South West Street, Alexandria, VA 22314

NORTH (SIDE) ELEVATION - EXISTING & PROPOSED

CLIENT:
Linett Axelsson
 222 S. West Street
 Alexandria, VA 22314



21 JUNE 2023

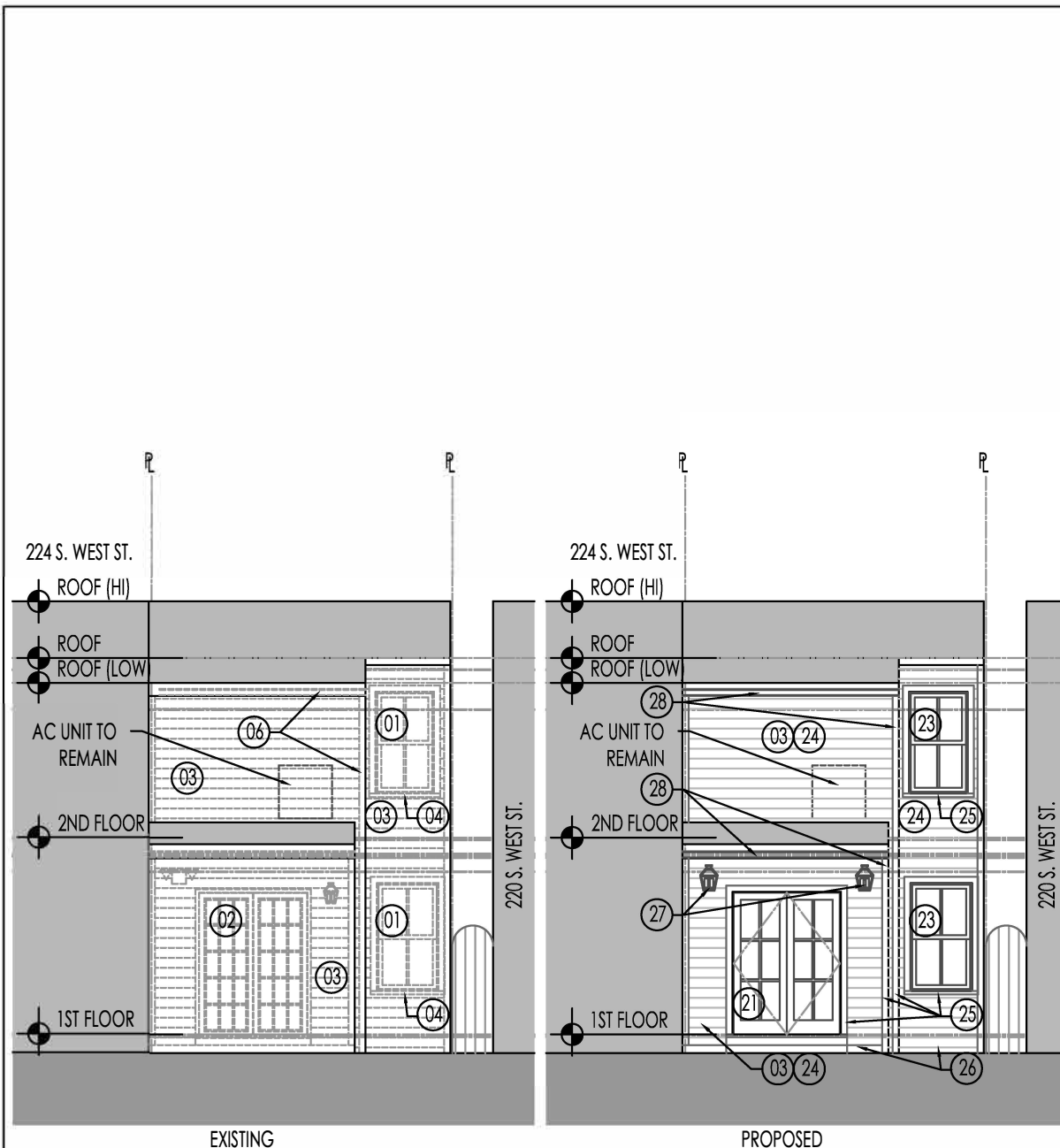
ARCHITECT:
 325 north patrick street
 alexandria, va 22314
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 info@conkeyarchitects.com



BAR APPLICATION

ASK 3.2

NOT FOR CONSTRUCTION



- DEMOLITION NOTES**
- 01 NON-ORIGINAL WINDOW TO BE REPLACED
 - 02 NON-ORIGINAL DOOR & SURROUND TO BE REPLACED
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EXISTING

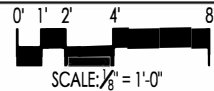
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222 South West Street, Alexandria, VA 22314

EAST (REAR) ELEVATION - EXISTING & PROPOSED

CLIENT:
Linett Axelsson
 222 S. West Street
 Alexandria, VA 22314



21 JUNE 2023

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 alexandria, va 22314
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 info@conkeyarchitects.com

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BAR APPLICATION

ASK
3.3

NOT FOR CONSTRUCTION

ULTIMATE

MARVIN SIGNATURE™ COLLECTION

PROPOSED
WINDOWS &
TERRACE
DOORS



ULTIMATE DOUBLE HUNG G2



Double Hung G2 window with Oil Rubbed Bronze hardware



Double Hung G2 windows in Ebony

ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



INTERIOR



EXTERIOR



WASH MODE WITH SASH LOCK IN ANTIQUE BRASS

WOOD EXTERIOR DOUBLE HUNG WINDOWS



Casement windows in Bronze with Oil Rubbed Bronze hardware



Wood Double Hung windows with custom stain

WOOD EXTERIOR DOUBLE HUNG WINDOWS

The Ultimate Wood Double/Single Hung, Ultimate Wood Double Hung Magnum, and Ultimate Wood Double Hung Insert are quintessentially American windows designed to fit seamlessly into the historic fabric of your home, neighborhood, or community. With residential and commercial applications, these windows are perfect for any historic building.



ULTIMATE WOOD
DOUBLE/SINGLE HUNG



ULTIMATE WOOD
DOUBLE HUNG MAGNUM



ULTIMATE WOOD
DOUBLE HUNG INSERT

ULTIMATE CASEMENT



Casement and Picture windows with Satin Nickel hardware



Casement windows with Matte Black hardware

ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin's exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



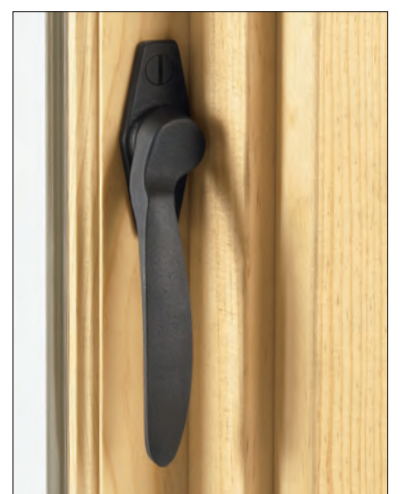
ULTIMATE CASEMENT INTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT EXTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT PUSH OUT INTERIOR WITH PUSH OUT HANDLE



ULTIMATE SWINGING FRENCH DOOR



Inswing French door with Matte Black hardware



Swinging French door and Picture windows

ULTIMATE SWINGING FRENCH DOOR

The Ultimate Swinging French door combines a classic single- and double-panel French style with expert craftsmanship. Engineered for both quality and performance, this door features a beautiful, substantial wood surround and a durable sill for weather protection even in harsh climates. To maximize views and access to the outdoors, select from inswing or outswing operation in sizes up to 14 feet wide and 9 feet high, and if a more streamlined look is desired, choose our short bottom rail option with sleek 4 3/4 inch wood surround on all sides.



OUTSWING INTERIOR WITH TALL BOTTOM RAIL



ARCH TOP INSWING INTERIOR WITH TALL BOTTOM RAIL



INSWING INTERIOR WITH SHORT BOTTOM RAIL



INSWING EXTERIOR WITH SHORT BOTTOM RAIL

EXTERIOR FINISH OPTIONS

- STONE WHITE
- COCONUT CREAM
- SIERRA WHITE
- CASHMERE
- PEBBLE GRAY
- HAMPTON SAGE
- CADET GRAY
- CLAY
- CASCADE BLUE
- SUEDE
- GUNMETAL
- WINEBERRY
- BRONZE
- BAHAMA BROWN
- EVERGREEN
- EBONY
- BRIGHT SILVER (PEARLESCENT)
- COPPER (PEARLESCENT)
- LIBERTY BRONZE (PEARLESCENT)
- CUSTOM COLOR: ANY COLOR YOU WANT

COLOR TBD

EXTRUDED ALUMINUM

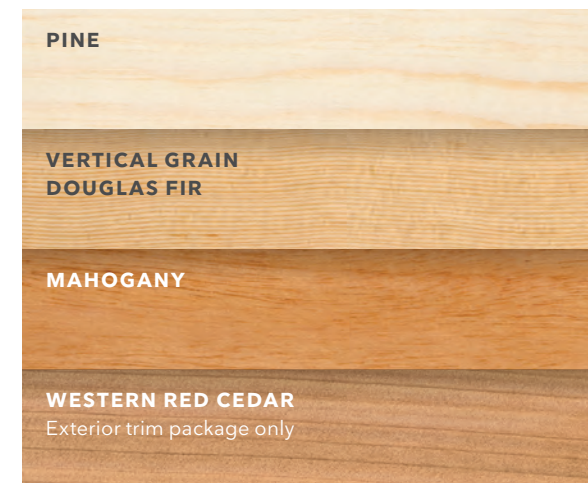
Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.



Ultimate Double Hung G2 window in Ebony



Ultimate Double Hung G2 window in Suede

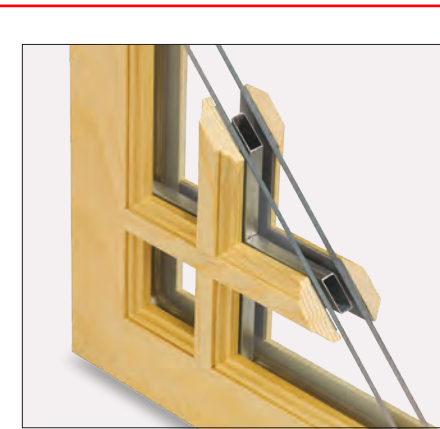
DIVIDED LITES



Casement windows with custom Simulated Divided Lites

DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



SIMULATED DIVIDED LITE (SDL)
SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.

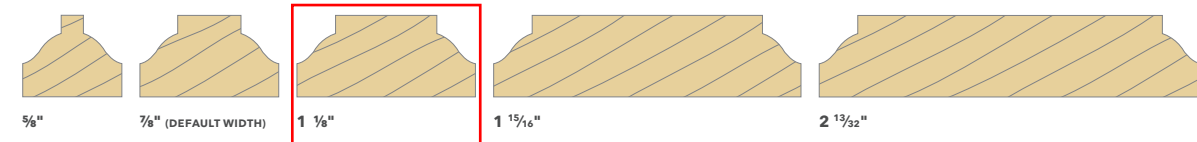


AUTHENTIC DIVIDED LITE (ADL)
Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



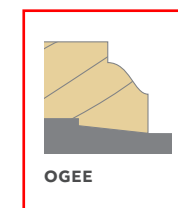
GRILLES-BETWEEN-THE-GLASS (GBG)
Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

FIVE STANDARD BAR WIDTHS



STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE

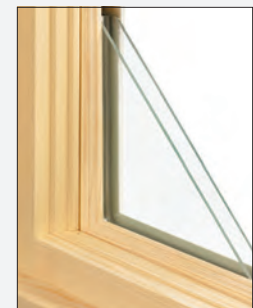


SQUARE STICKING

GLASS + GLAZING



Awning and Picture windows and Outswing French door



DUAL PANE GLAZING

Our standard glazing is dual pane: two panes of glass with Low E coatings and insulated with argon gas. Compared to a single glass pane, dual pane glass cuts energy costs significantly because of low emissivity coating and the gas filled insulating space between the glass layers.



TRIPLE PANE GLAZING

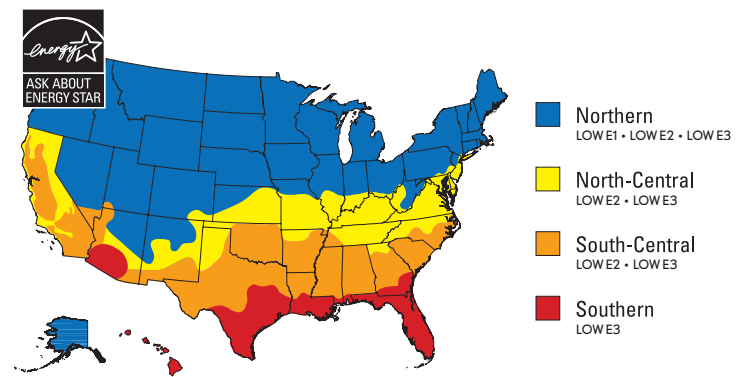
Triple pane glazing consists of three panes of glass with Low E coatings applied to the surface. Two glass spaces are insulated with argon gas between the panes. Available in products where glazing thickness can be wider than ¾ inch.

GLASS + GLAZING

The thermal and structural properties of wood combined with the right glazing make Marvin wood and clad-wood products an optimal choice for energy efficiency. We offer thousands of window and door options with two or three panes of glass and a range of glazing options to meet the performance challenges of any climate.

GLASS COATINGS

Low E coatings are microscopically thin, essentially invisible coatings on the glass surface that help manage the amount of light and heat conducted through a window pane or reflected away from it, reducing a home's dependence on heat and air conditioning. The national ENERGY STAR® program recognizes products that meet strict energy-efficiency guidelines to suit climates in different areas of the country, and Marvin offers products to meet climate and code requirements in every region.



LOW E1

Low E1 coating is a good choice when you want maximum solar heat gain and radiant heating properties. This type of coating is generally used in Northern climates where heating is prioritized over cooling. You'll reap maximum benefits when windows with this type of coating are positioned to receive direct sun exposure.

LOW E2

The most common Low E coating since it works well across most geographic regions and climates. Low E2 with two metallic coatings balances less solar heat gain and improved radiant heating properties.

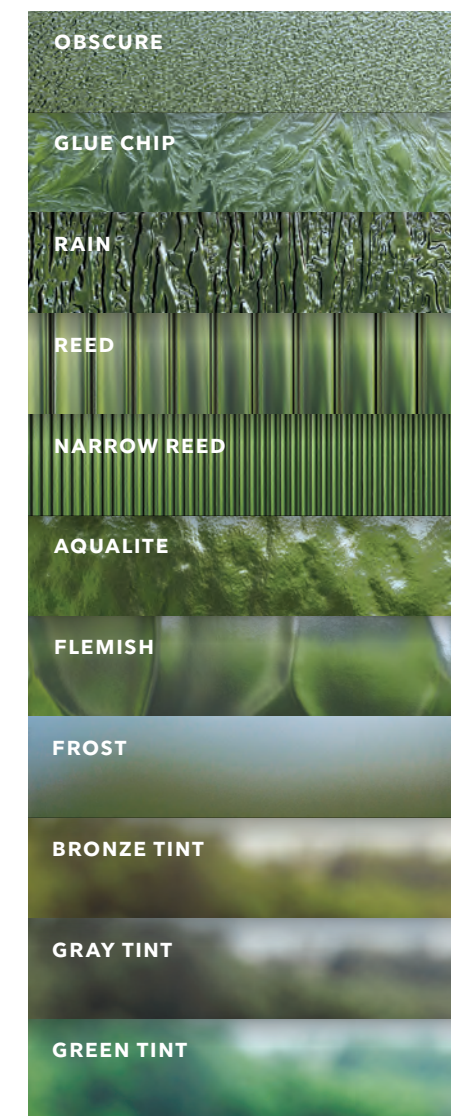
LOW E3

Used in applications where solar heat gain may be a concern, low E3 coating uses multiple metallic layers for radiant properties similar to Low E2. This type of coating is most commonly used in Southern, sunny climates where cooling is prioritized over heating.

SPECIALTY GLASS

Our specialty options include glass for unique project needs like sound abatement (STC/OITC), high altitudes, Sea Turtle Conservation Codes, and California fire zones. We also offer laminated glass on certain products that's designed specifically for hurricane zones.

A variety of decorative glass options are available to meet the unique needs of each project. Laminated glass is also available in clear, bronze, gray, or green with tinted interlayers.



SCREENS



Double Hung Insert G2 windows with Full Screens

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors and comes factory-prepped for staining and painting. A variety of screen mesh options in aluminum or fiberglass allow for further customization for aesthetics or to ensure you're choosing a mesh that's fine enough to keep even the littlest bugs away.

CASEMENT SCREEN OPTIONS



RETRACTABLE SCREEN
The innovative Retractable Screen from Marvin lets the breeze in and easily retracts out of sight when not in use. A tight seal and a strong adjustable pull bar ensure extraordinary performance. Marvin's unique concealed design makes the screen nearly undetectable when it is in the retracted position.

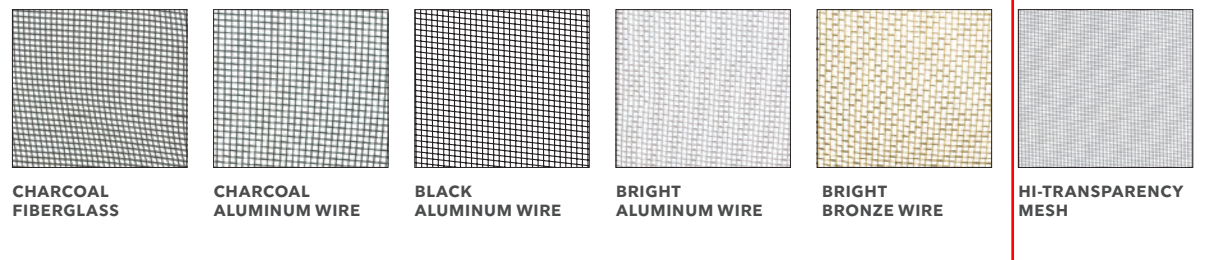


INSWING CASEMENT SCREEN
The beautifully crafted inswing screen can bring in fresh air along with its classic appearance to standard or round top casement windows.



WOOD SCREEN SURROUND
The patented wood screen surround with Hi-Transparency screen mesh and aluminum exterior creates a seamless wood interior.

SCREEN MESH OPTIONS



CHARCOAL FIBERGLASS **CHARCOAL ALUMINUM WIRE** **BLACK ALUMINUM WIRE** **BRIGHT ALUMINUM WIRE** **BRIGHT BRONZE WIRE** **HI-TRANSPARENCY MESH**

PRIMELOCK[®]

TRIM • SIDING • PATTERNS

ALL NATURAL MEETS HIGH TECH



- Clear Finger-Joint Eastern White pine
- Naturally decay resistant
- No chemicals added
- Suitable for interior and exterior use
- Low VOCs
- Uniform texture and straight-grained
- Accepts paint well
- Multi-layer protection, 3-step process, conditioner, sealer and topcoat

S4S Trim Boards



1x2, 3, 4, 5, 6, 8, 10 & 12
5/4x4, 5, 6, 8, 10 & 12

*For interior and exterior use



Siding

1/2x6 Bevel Siding
1x6 Drop Siding
1x6 & 1x8 Nickel Gap Siding



Patterns

1x4 Edge & Center Bead
5/8x4 Edge & Center Bead
1x6 Edge & Center Bead
1x6 WP4
1x6 T&G Flush Face
1x8 WP4 *special order
1x8 Edge & Center Bead * special order



Princeton Forest Products

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www.princetonforestproducts.com

PRIMELOCK®

TRIM • SIDING • PATTERNS

ALL NATURAL MEETS HIGH TECH



1x4 Edge & Center Bead
Non-reversible



5/8x4 Edge & Center Bead
Non-reversible



1x6 Edge & Center Bead
Non-reversible



1x6 & 1x8 WP4
(V-face/Flush back)
Non-reversible



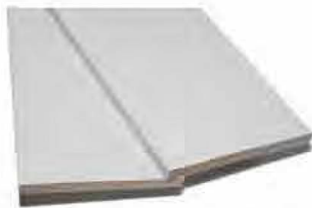
1 1/8 x ALS Widths
S4S (smooth face)



1x6 T&G Center Match
Non-reversible



23/32 x 5 1/2
German/Drop Siding



3/4 x ALS Widths
S4S (smooth face)



Bevel Siding
1/2x6



Nickel Gap Siding
1x6 & 1x8

Princeton Forest Products

30

www.princetonforestproducts.com

Application Received: 6/21



INSPIRATION
at your door[®]

Simpson[®]
Door Company

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Application Received: 6/21

NANTUCKET® COLLECTION

Nantucket Island is a place of great beauty that withstands the harsh coastal weather of the North Atlantic. That same resilient charm is expressed in the Nantucket® Collection by Simpson. Featuring a 10-year warranty, these doors combine weather-resistant wood species with a modified mortise-and-tenon construction technique. The result is a door that will retain its rugged beauty, regardless of what nature sends its way.



VIEW ENTIRE **NANTUCKET COLLECTION**
simpsondoor.com/nantucket



77860

32

Shown in Douglas fir with 77260 sidelights with flat panels and optional shaker sticking

Application Received: 6/21



WOOD SPECIES

You can choose from three wood species options. Because the grain patterns and color of natural wood will vary, your door will have a one-of-a-kind texture, warmth and personality.

- Available in Douglas Fir, Sapele Mahogany and Nootka Cypress



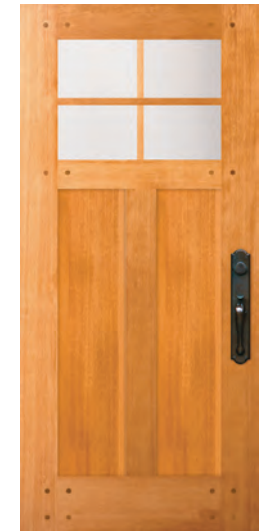
77130 RP
Shown in Douglas fir



77144 RP
Shown in nootka cypress



77132 FP
Shown in sapele mahogany with optional shaker sticking



77664 FP
Shown in Douglas fir with optional shaker sticking



77684 RP
Shown in nootka cypress with 77663 sidelight



77660 FP
Shown in sapele mahogany with optional shaker sticking



77944 FP
Shown in nootka cypress with 77703 sidelight and optional P-516 glass. Privacy Rating 5.



RP 1-7/16" INNERBOND® DOUBLE HIP-RAISED PANEL
FP 3/4" FLAT PANEL **33**

Application Received: 6/21



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Alexandria 10PM

22304

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Jefferson 19.3 in. 1-Light Black Outdoor Wall Lantern Sconce

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