

Docket Item #6 & #7 BAR
CASE # 2016-0425 &
2016-0426

BAR Meeting
January 18, 2017

ISSUE: Partial Demolition and Alterations

APPLICANT: Michael Lyons

LOCATION: 724 South Fairfax Street

ZONE: RM / Residential

STAFF RECOMMENDATION

Staff recommends **approval** of a Permit to Demolish to demolish the existing chimney, and a Certificate of Appropriateness for the following new materials:

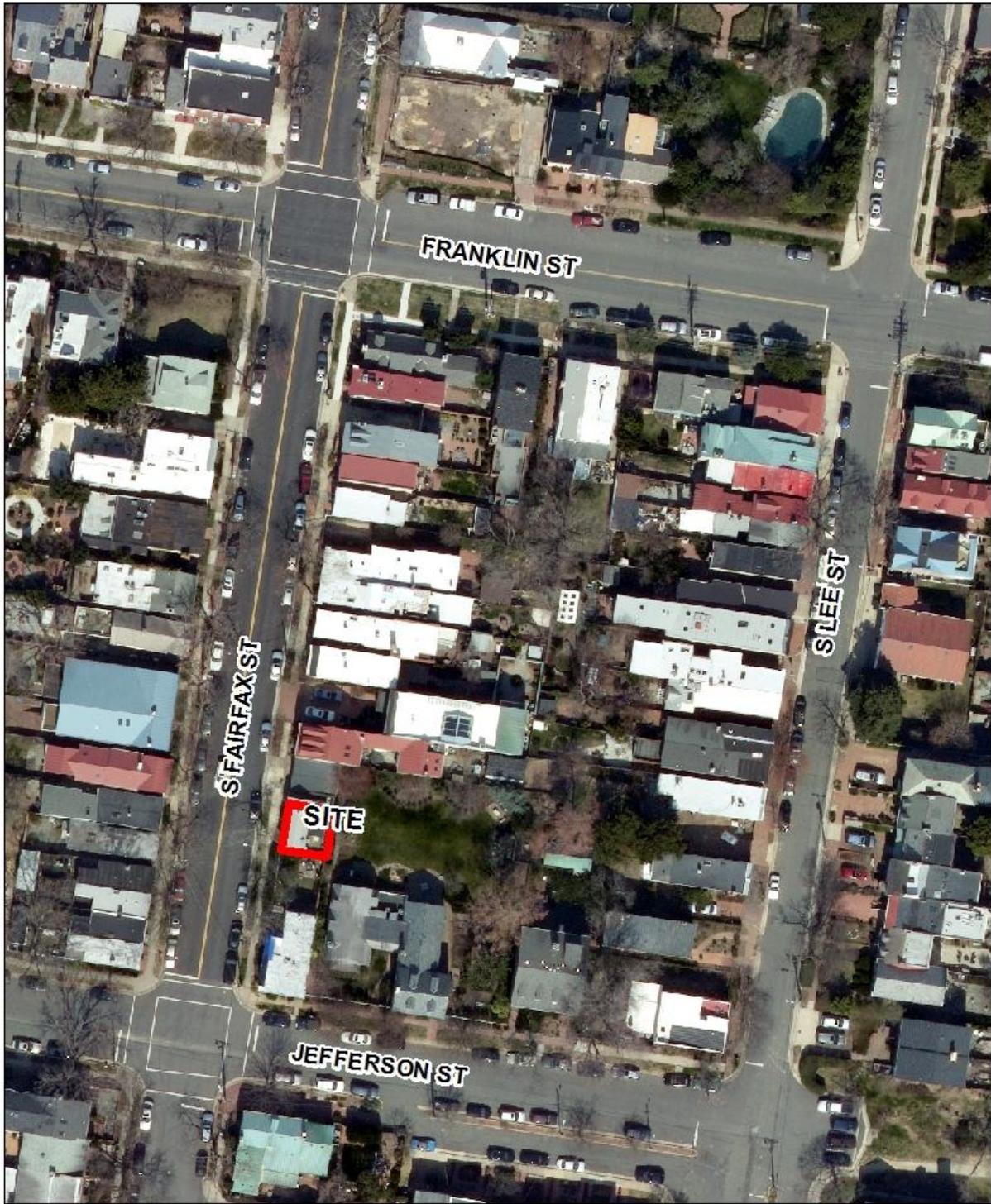
1. Standing seam metal roof;
2. Metal gutters and downspouts;
3. Operable wood shutters;
4. Six foot wood gate, provided that it is located on the applicant's property; and,
5. Six-panel wood front doors with full-light storm doors.

Staff recommends **denial** of a Certificate of Appropriateness of the following:

1. HardiePlank siding on the three visible elevations of the historic main block and *approval* of historically appropriate wood siding, provided that staff confirms in the field that historic wood siding does not exist below the existing asbestos siding; and,
2. Aluminum clad windows on the front facade of the historic main block and *approval* of painted wood, true-divided-light wood windows on the front façade and wood, simulated-divided-light wood windows on the north side elevation.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR2016-00425 & 00426



Note: Staff coupled the applications for a Permit to Demolish (BAR #2016-0424) and Certificate for Appropriateness (BAR #2016-0425) for clarity and brevity.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish and a Certificate of Appropriateness for alterations at 724 South Fairfax Street.

Permit to Demolish

- Demolition of the brick chimney flue.

Alterations

All exterior finishes on the house will be removed and replaced with the following new materials:

- HardiePlank siding with a 7" exposure.
- Standing seam metal roof with snow guards.
- Downspouts and gutters.
- Six-panel doors (material not specified) with full-light storm doors.
- Operable louvered wood shutters.
- Light fixtures.
- Six-over-six aluminum clad, simulated divided light windows.
- Wood fence.
- Composite decking.*
- Skylight.*

* Items with an asterisk will not be visible from the public way and do not require BAR approval.

II. HISTORY

The vernacular four-bay, two-story, gable roof frame house at 724 South Fairfax Street was constructed sometime **between 1897 and 1902**, according to the Sanborn Fire Insurance Maps, and the one-story rear addition was added between 1941 and 1958. Staff could locate no recent BAR approvals for the subject property, but did locate a number of exterior building permits:

<u>Permit #</u>	<u>Date</u>	<u>Project</u>
1993	October 26th, 1936	Install Weathertex on front.
7589	April 15th, 1947	Reside with Bricktex on the north and south and replace all rotted siding.

14841	April 7th, 1959	New dining room, new second floor stairs, removal of old chimney, replace all decayed wood, add new floor joist.
14868	April 14th, 1959	Remove six windows, install four new windows and add asbestos siding on the house. (BAR approved these alterations)
37595	November 19th, 1981	Replace roof.

III. ANALYSIS

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic house?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No



Figure 1: Chimney

While chimneys are considered one of the character defining features of early houses, the extant chimney (Figure 1), with its hard fired brick and Portland cement mortar, does not appear to date to the building's original period of construction. In the opinion of staff, the current chimney's demolition will not remove any portion of the building containing character-defining features of uncommon design or cultural or architectural merit and will not compromise the integrity of the building as a whole. Therefore, staff recommends approval of the Permit to Demolish.

Certificate of Appropriateness for Alterations

While staff routinely approves replacement materials administratively on historic buildings when the new materials are historically appropriate and comply with the BAR's adopted policies, the applicant proposes to use synthetic materials which require the approval of the Board. Although approval of some of the proposed alterations to 724 South Fairfax could have been achieved through the administrative approval process, they are included here so that the Board can see the comprehensive alterations proposed by the applicant and to reduce the application fees. The Board's approval authority is limited to the front and side elevations of the main block of the house because staff has determined that the other elevations of the house are not visible from the public way (figure 2). Although the north elevation of the one-story rear addition is partially visible (dashed line in figure two), it is only minimally visible and of later construction, so staff can support the use of synthetic materials on this elevation.

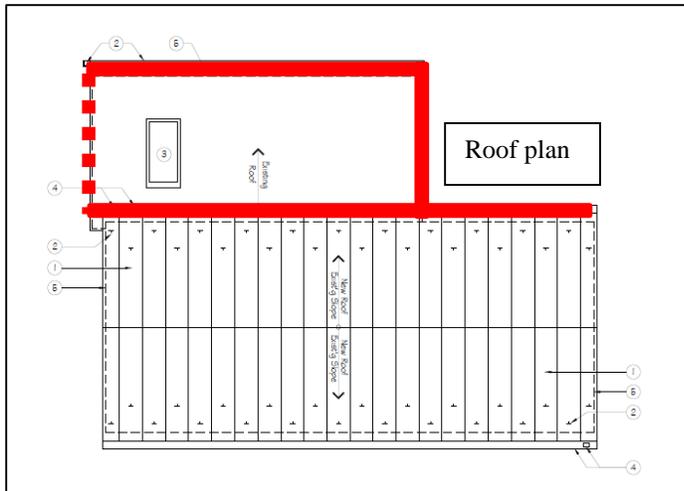


Figure 2: Elevations not visible from public way

As part of the significant renovation of the property, the applicant is proposing to remove the existing exterior cladding materials on the building (roof, windows and siding) and will replace them with new materials. A site visit and building permit research suggests that it is unlikely that there is much historic cladding material on the building, although it is possible that after the asbestos siding is removed, historic wood siding may be revealed that can guide staff in the appropriate siding profile that should be matched. There are a number of proposed alterations that staff supports:

- Metal downspouts and gutters.
- Six-panel doors with full-light storm doors, provided that the front doors are constructed of wood.
- Operable, louvered wood shutters.
- Light fixtures.
- Six foot wood gate, provided that it is located on the applicant's property.
- Standing seam metal roof with snow guards.

With respect to the roof material, documentary research revealed that the roof material was originally wood shake, at least until 1931, when the Sanborn Fire Insurance Maps show that the house had a composition roof. The Board's Roof Policy allows for administrative approval of a wood shake roof; therefore the applicant is seeking the Board's approval for the proposed metal roof. According to the Board's *Design Guidelines*, standing seam metal roofs were available during the first half of the 19th century and by the end of the century were in wide use throughout the historic district. For this reason, staff can support the proposed standing seam metal roof.

However, staff does not support the use of HardiePlank synthetic siding or aluminum clad windows on the main building block. Although modest in scale and design, the subject property contributes to the evolving streetscape of the southern quadrant of Old Town, and the use of historically appropriate materials on the main block, which is located on the front property line where the materials are subject to close inspection, is essential to retaining the integrity of this early building.

Siding

The *Design Guidelines* note that siding is one of the principal character defining elements of a building, and: “It is the policy of the Boards that synthetic siding such as aluminum or vinyl is not appropriate in the historic districts.” In the case of fiber cement siding, like HardiePlank, the Board generally supports its use on buildings or additions constructed after the mid-1970s, when the product became commercially available. Given the age and style of the building, staff believes that the most appropriate cladding material for the subject property would be beveled clapboard. In the event that historic siding exists under the existing asbestos, staff will recommend that it be repaired and retained, if feasible, and patched where necessary with wood siding in the same design and profile.

Windows

Similarly, the Board’s *Window Policy* states that “high quality, appropriate detailed aluminum clad wood, wood composite, or fiberglass replacement winds may be used ...on buildings constructed after 1965, when these windows became commercially available. The policy also states:

Previously replaced windows which contain modern frames, sash and smooth (sheet, plate or float) glass may be replaced with one of the following in the historically appropriate style:

18th and 19th century buildings with multi-light sash must use single glazed painted wood windows on the street facades. Energy panels may be used on single glazed replacement sash. Secondary elevations of these buildings may use painted wood simulated divided light insulated glass windows.

For these reasons, staff recommends that the Board deny the use of aluminum clad windows on the front façade of the main block, and instead approve painted wood windows, with single-glazed windows on the street-facing façade (these may have either a removable double glazing panel or storm windows) and simulated-divided-light painted *wood* windows on the visible secondary elevations. The replacement windows must also meet the *Alexandria Replacement Window Performance Specifications*. The windows and siding on non-visible elevations may be any material permitted by the building code.

STAFF

Stephanie Sample, Urban Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning Comments

- C-1 BAR2016-00425 – Proposed removal of existing exterior building materials (wood siding, window units and doors, asphalt shingle roofing, exterior features, and etc.), existing wood fence and deck comply with zoning.
- C-2 Proposed new wood fence must be located completely on the subject property. Applicant shall provide a plat and indicate all fence locations and height. If fences currently exist on the property, indicate location and height and if they are to remain on site.
- C-3 Indicate the location of all AC units, generators or any other accessory structures and show their compliance with applicable setbacks on the plat.
- C-4 Indicate existing and proposed building height on all construction drawings submitted for building permits. If there is no change in building height, please indicate with notes.

Code Administration

No comments received.

Transportation and Environmental Services

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a

minimum, from owner of the alley granting permission of use. (T&ES)

- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No comments received.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2016-0424 & 2016-0425:724 South Fairfax Street

Application & Materials
 BAR2016-00425 & 00426
 724 S Fairfax Street
 12/5/2016

724 South Fairfax St. Residence

Alexandria, Virginia

Drawing Index :

- | | | | |
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| CS | BAR Review Cover Sheet | A1 | Proposed First Floor Plan |
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| D7 | Demolition Side Elevation | | |

Scope Of Work :

Installation Of New Standing Seam Metal Roof (with Snowguards), Gutter & Downspout, "Hardiplank" Siding, Entry Doors (with Storm Door), Replacement Windows, Skylight, Exterior Light Fixtures, Composite Deck, and Wood Fence.

Vicinity Map:



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BAR Review Cover Sheet

Drawing:

724 South Fairfax St.
 Alexandria, VA

Project:

BAR Submittal

Submission:

December 05, 2016

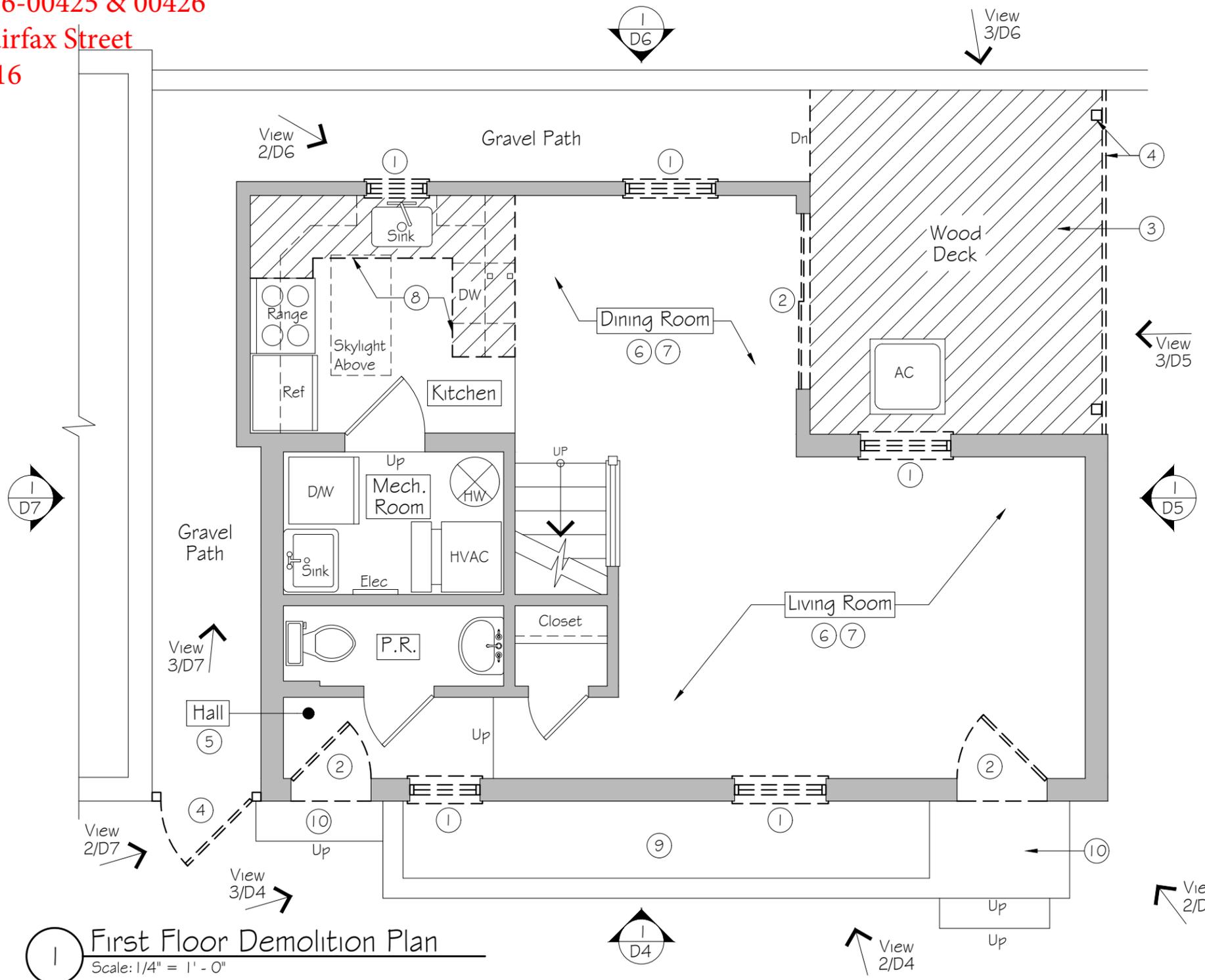
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CS

DEMOLITION PLAN KEYNOTES

- ① Remove Existing Window
- ② Remove Existing Door / Threshold
- ③ Remove Existing Wood Deck
- ④ Remove Existing Wood Fence / Post
- ⑤ Remove Existing Tile
- ⑥ Remove Existing Carpet
- ⑦ Remove Existing Subfloor and Structure As Required For New Hardwood Floor Installation
- ⑧ Remove Existing Countertop
- ⑨ Existing Brick Planter
- ⑩ Existing Brick Step / Stoop



DEMOLITION PLAN LEGEND:

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	EXISTING ITEM TO BE REMOVED
	EXISTING AREA TO BE REMOVED

① First Floor Demolition Plan
 Scale: 1/4" = 1' - 0"

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First Floor Demolition Plan
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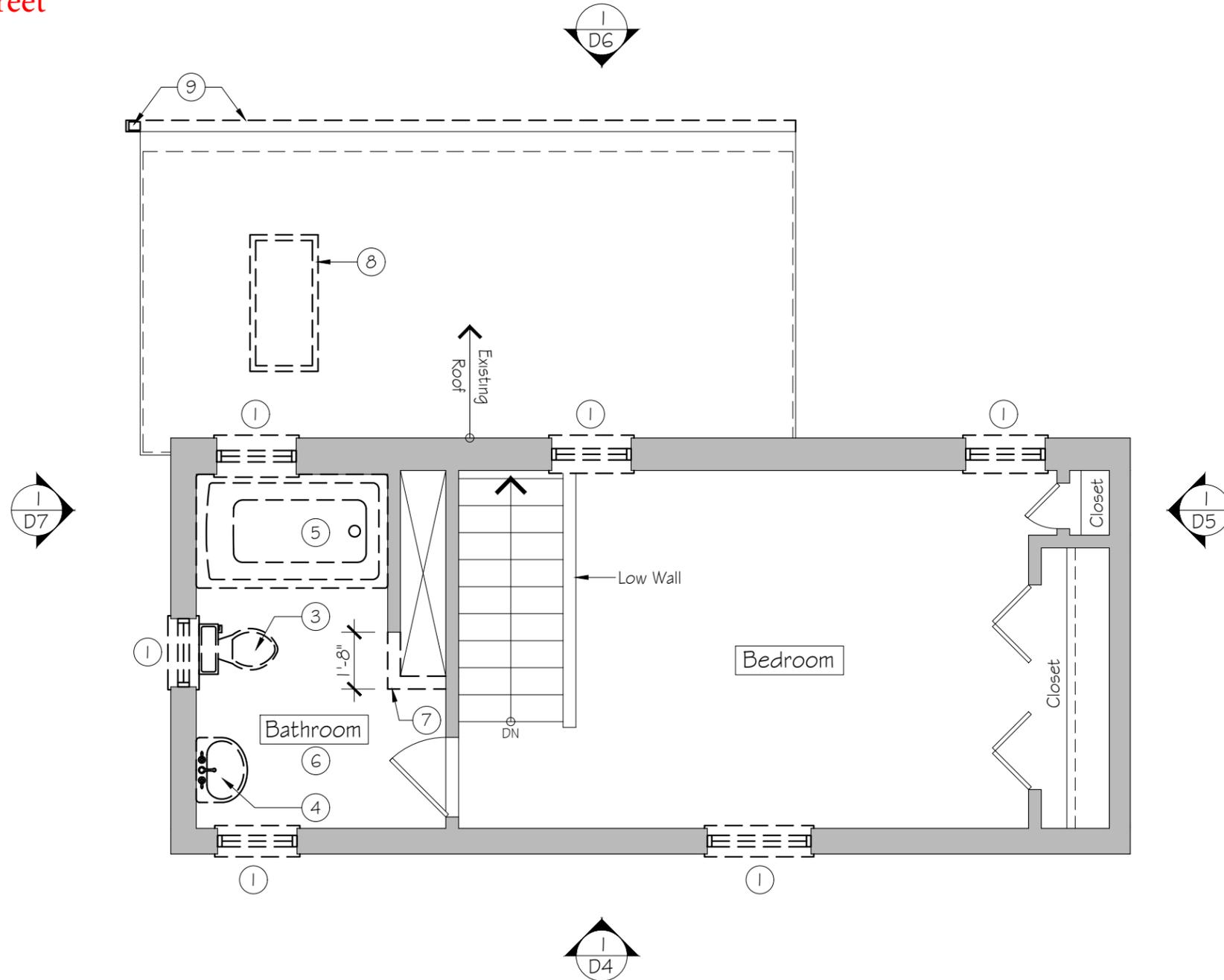
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DEMOLITION PLAN KEYNOTES

- ① Remove Existing Window
- ② Remove Existing Door / Threshold
- ③ Remove Existing Toilet
- ④ Remove Existing Sink
- ⑤ Remove Existing Tub
- ⑥ Remove Existing Tile
- ⑦ Remove Portion Of Existing Wall. Verify / Confirm That Portion Of Wall Is Clear Of Any Ductwork
- ⑧ Remove Existing Skylight For Replacement Skylight
- ⑨ Remove Existing Gutter / Downspout



DEMOLITION PLAN LEGEND:

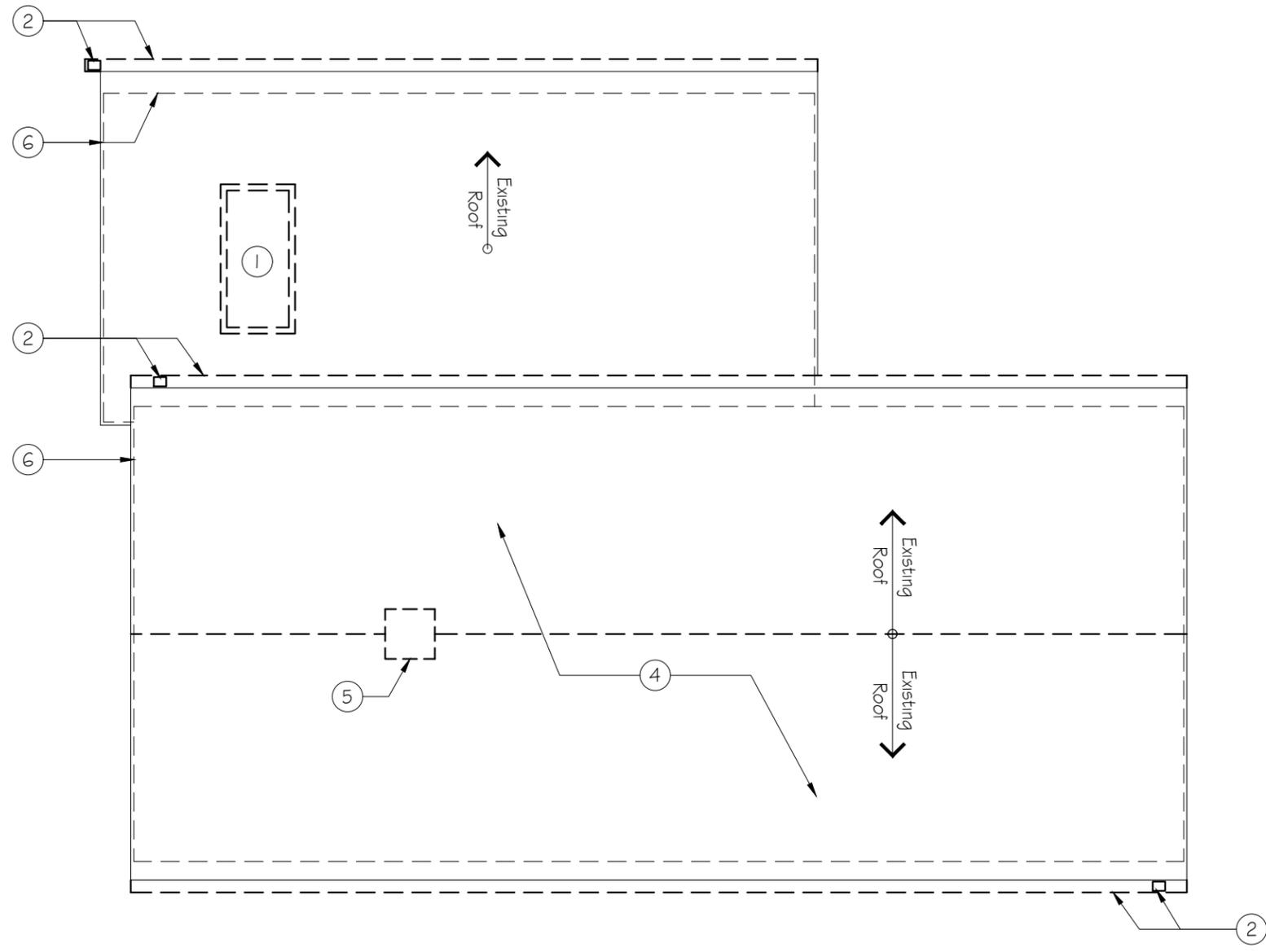
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING ITEM TO BE REMOVED
- EXISTING AREA TO BE REMOVED

① Second Floor Demolition Plan
 Scale: 1/4" = 1' - 0"

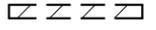
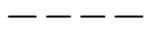
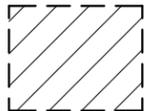
<p>CRAFTED ARCHITECTURE LLC Christine A. Kelly, AIA 950 N Washington Street, Suite 234, Alexandria, Virginia 22314 ph 703-768-7371 e-mail christine@craftedarchitecture.com</p>	<p>Second Floor Demolition Plan Drawing: 724 South Fairfax St. Alexandria, VA Project:</p>	<p>BAR Submittal Submission: December 05, 2016 Date:</p>	<p>Sheet No. D2</p>
	<p>13</p>		

DEMOLITION PLAN KEYNOTES

- ① Remove Existing Skylight
- ② Remove Existing Gutter & Downspout
- ③ Remove Existing Membrane Roof. Confirm / Replace Any Damaged Sheathing For New Roof Install.
- ④ Remove Existing Asphalt Shingle Roof. Confirm / Replace Any Damaged Sheathing For New Roof Install.
- ⑤ Remove Existing Brick Chimney
- ⑥ Line Of Existing Wall Below



DEMOLITION PLAN LEGEND:

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  EXISTING ITEM TO BE REMOVED
-  EXISTING AREA TO BE REMOVED

① Roof Demolition Plan
 Scale: 1/4" = 1' - 0"

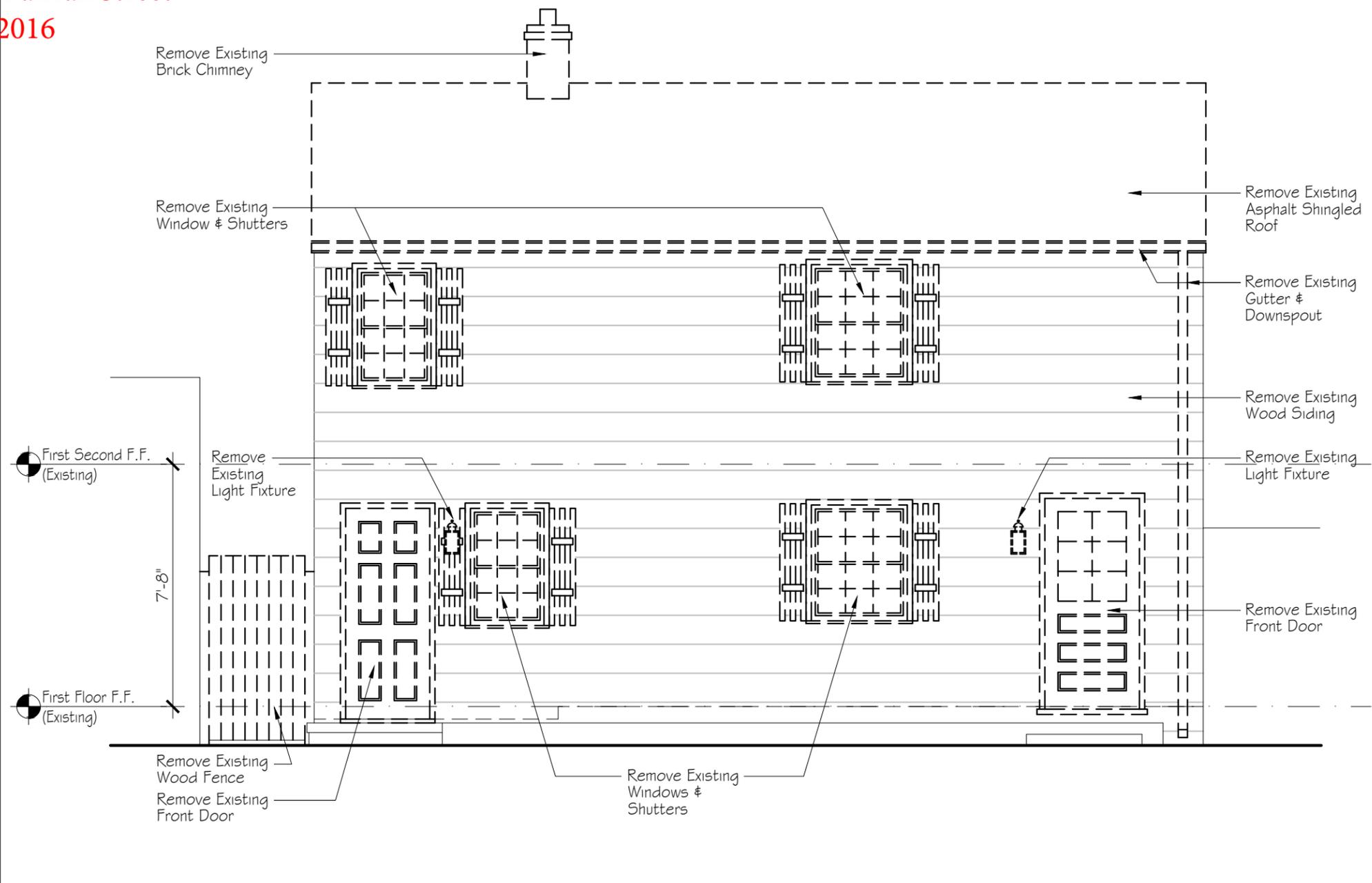
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Roof Demolition Plan
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1 Demolition Front Elevation
 Scale: 1/4" = 1' - 0"



2 View Of Front Elevation



3 View Of Front Entry

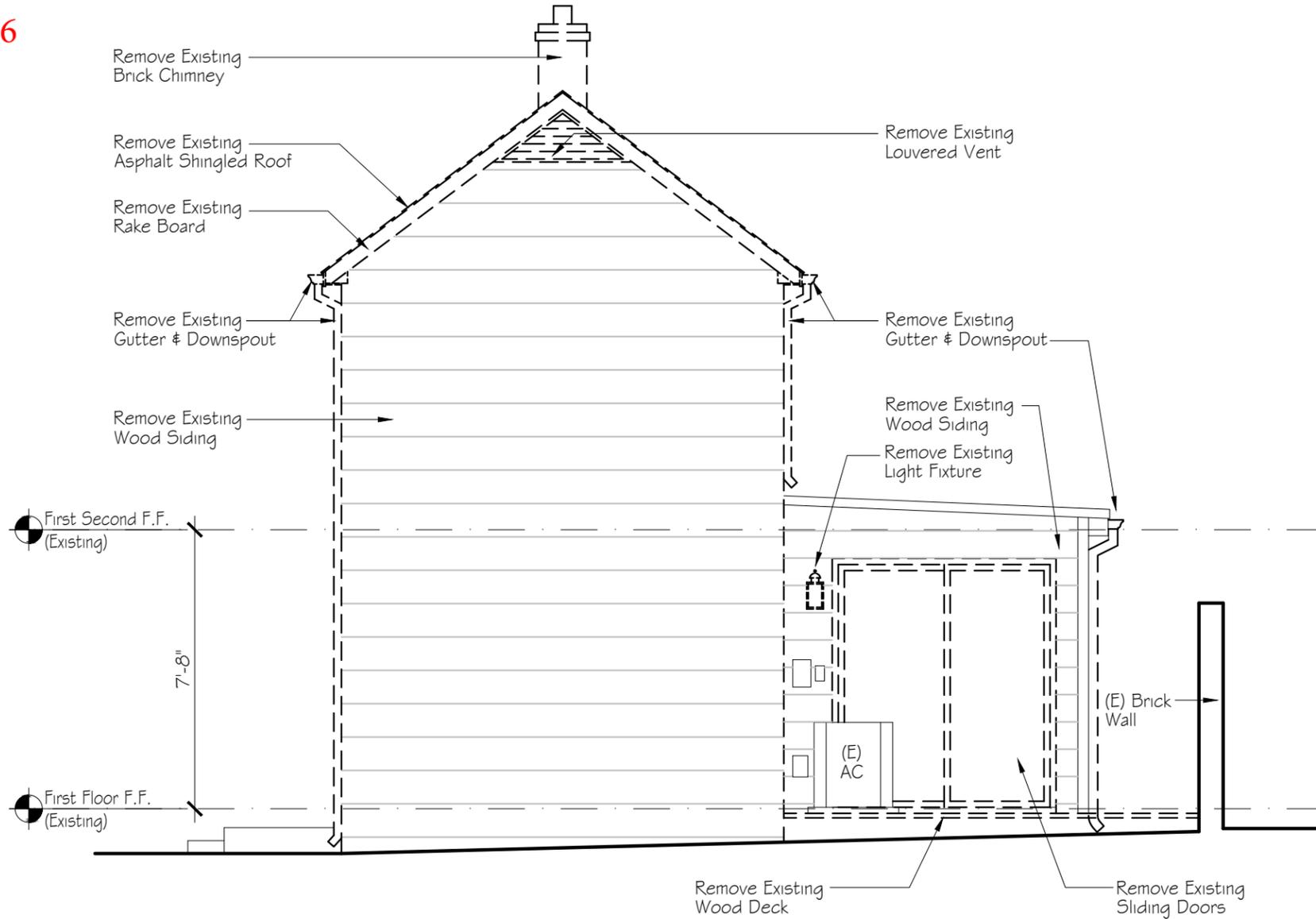
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Demolition Front Elevation
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1 Demolition Side Elevation
 Scale: 1/4" = 1' - 0"



2 View Of Side Elevation



3 View Of Side Deck Elev.

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Demolition Side Elevation

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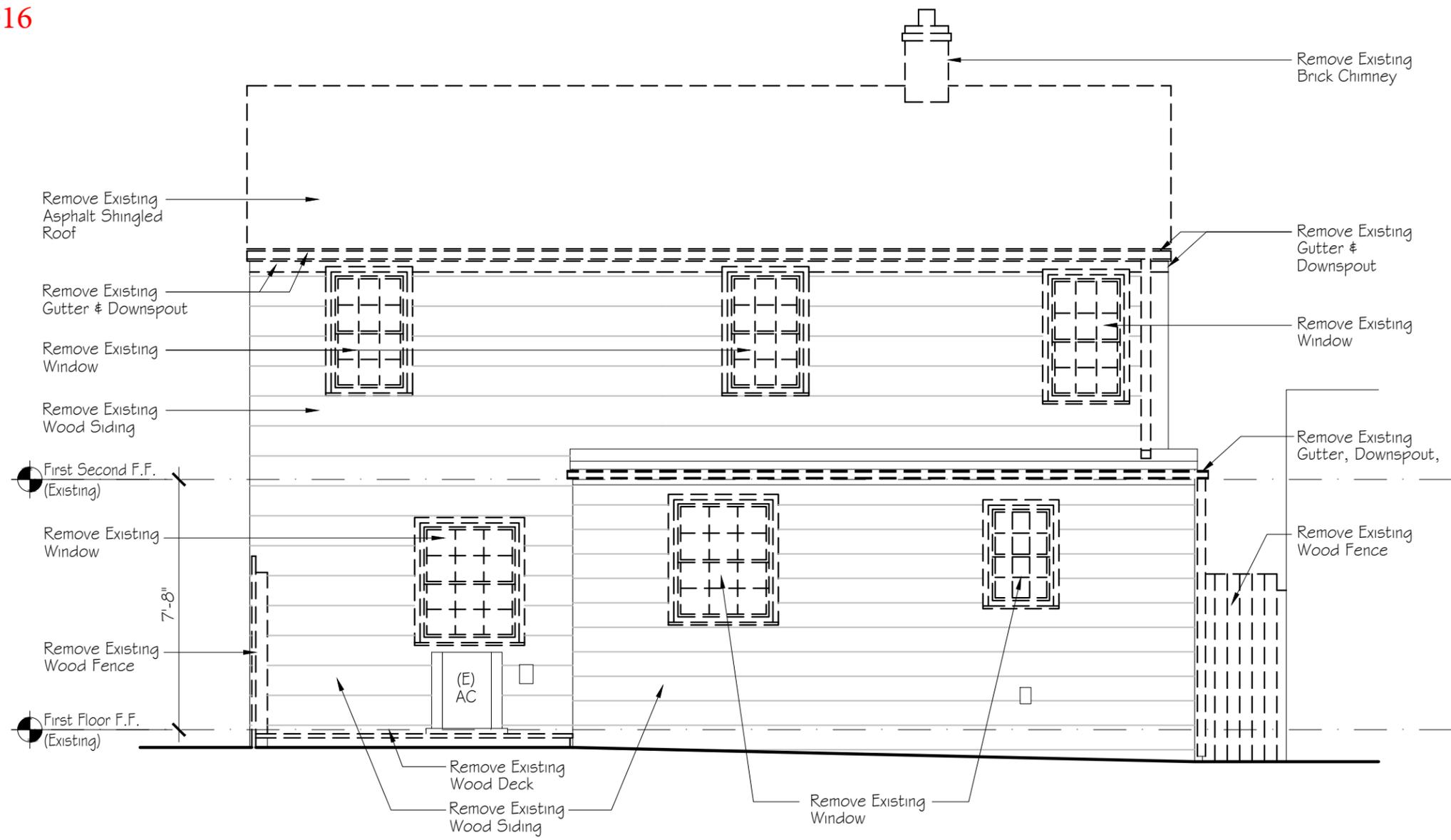
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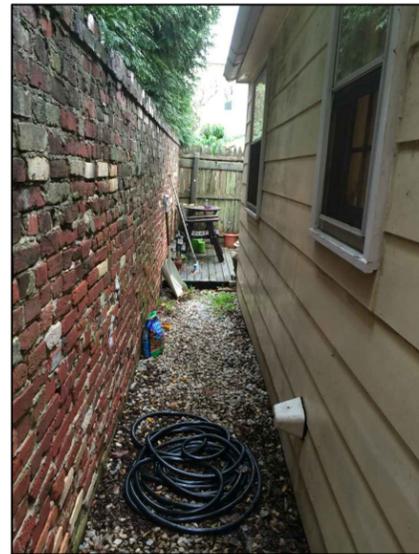
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1 Demolition Rear Elevation
 Scale: 1/4" = 1' - 0"



2 View Of Rear Elevation



3 View Of Rear Elevation

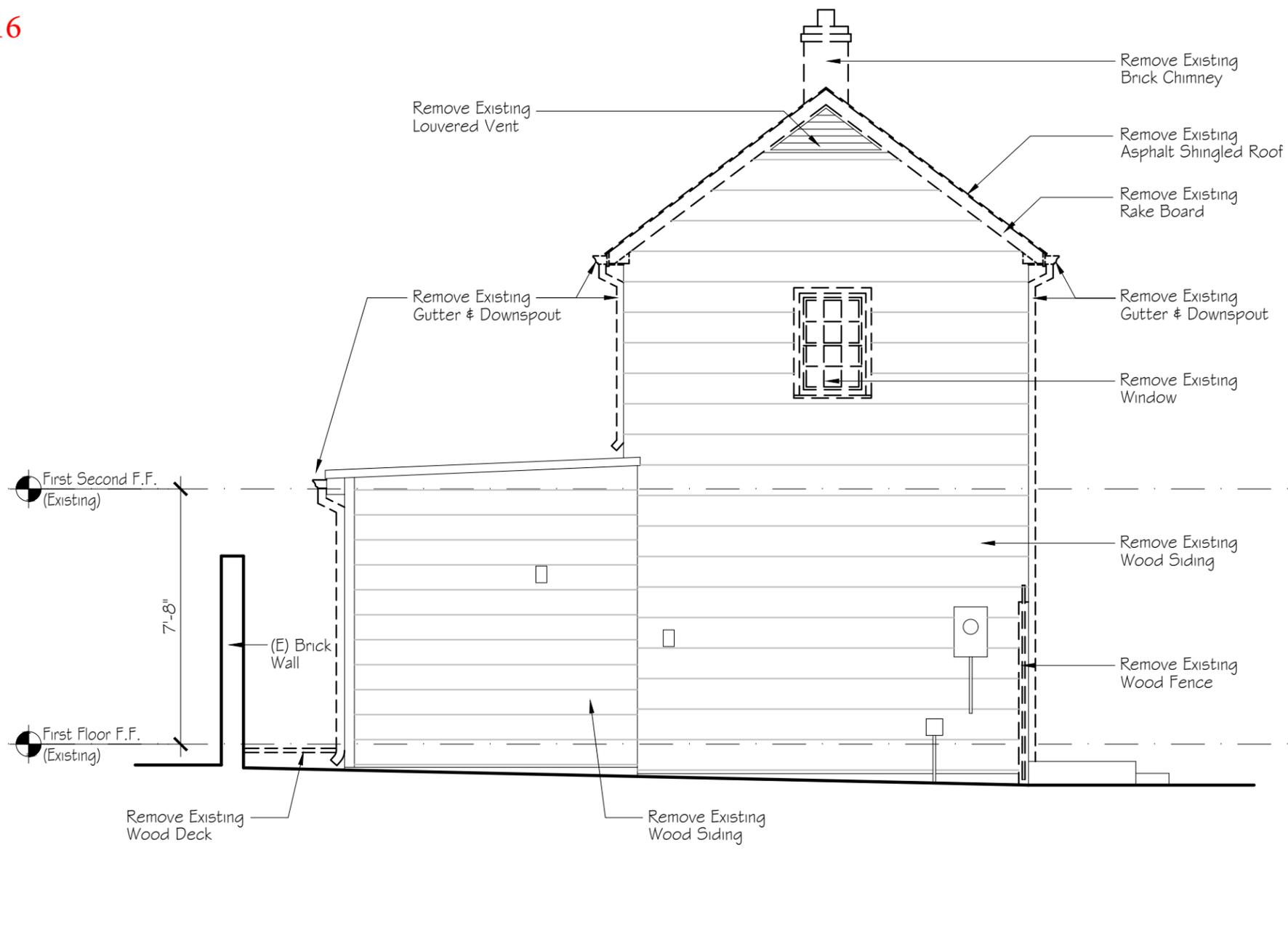
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1 Demolition Side Elevation
 Scale: 1/4" = 1' - 0"



2 View Of Side Elevation



3 View Of Side Elevation

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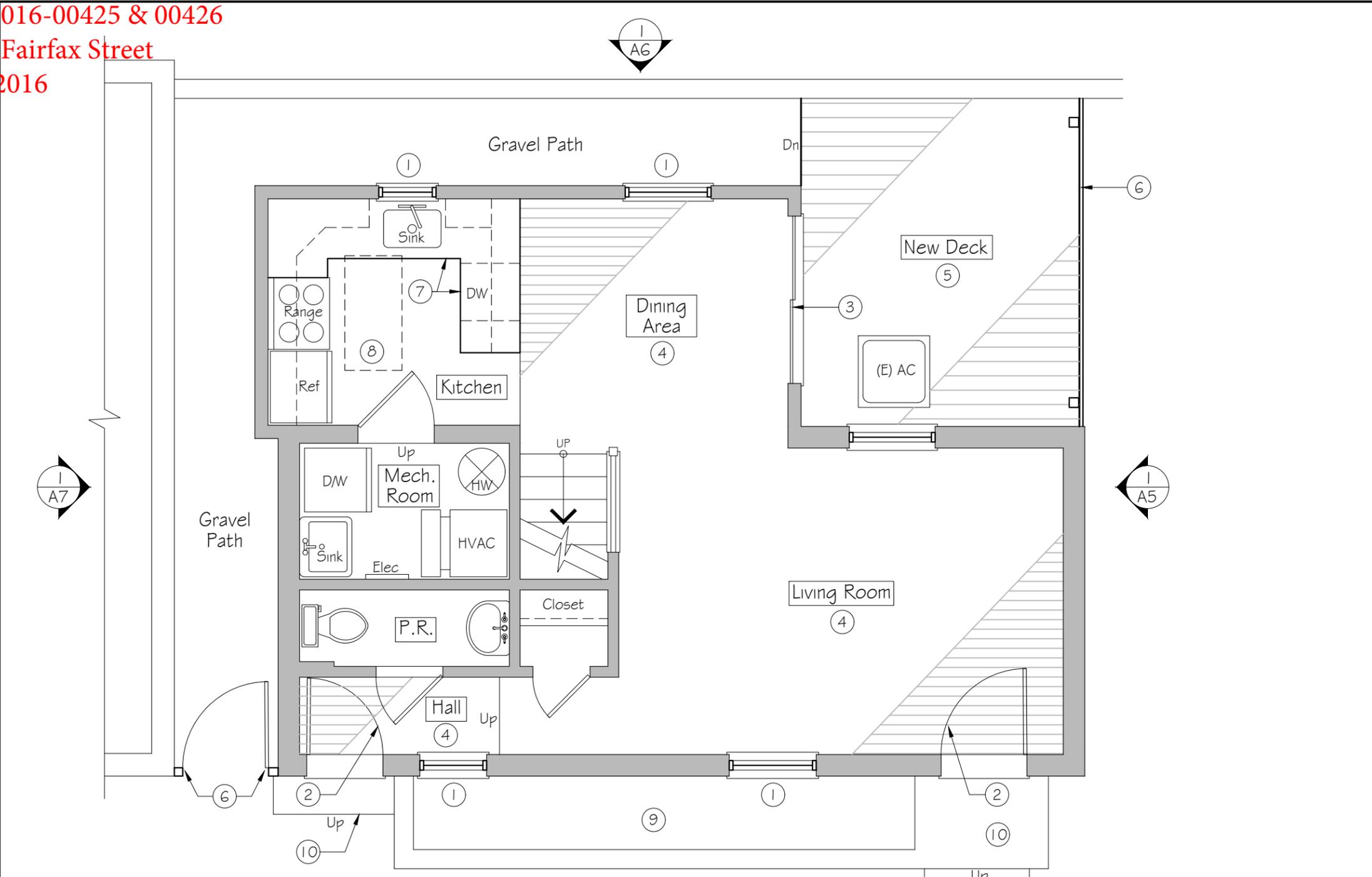
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Application & Materials
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 724 S Fairfax Street
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FLOOR PLAN KEYNOTES

- ① New Wood Window With Aluminum Clad Simulated Divided Lights
- ② New 6 Panel Door With Storm Door
- ③ New Sliding Glass Door
- ④ New Hardwood Flooring
- ⑤ New Composite Deck
- ⑥ New Wood Fence
- ⑦ New Countertop
- ⑧ New Skylight Above
- ⑨ Existing Brick Planter
- ⑩ Existing Brick Step / Stoop



FLOOR PLAN LEGEND:

- EXISTING WALL TO REMAIN
- NEW 2x4 STUD WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR

① Proposed First Floor Plan
 Scale: 1/4" = 1' - 0"

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 ph 703-768-7371 e-mail christine@craftedarchitecture.com

Proposed First Floor Plan
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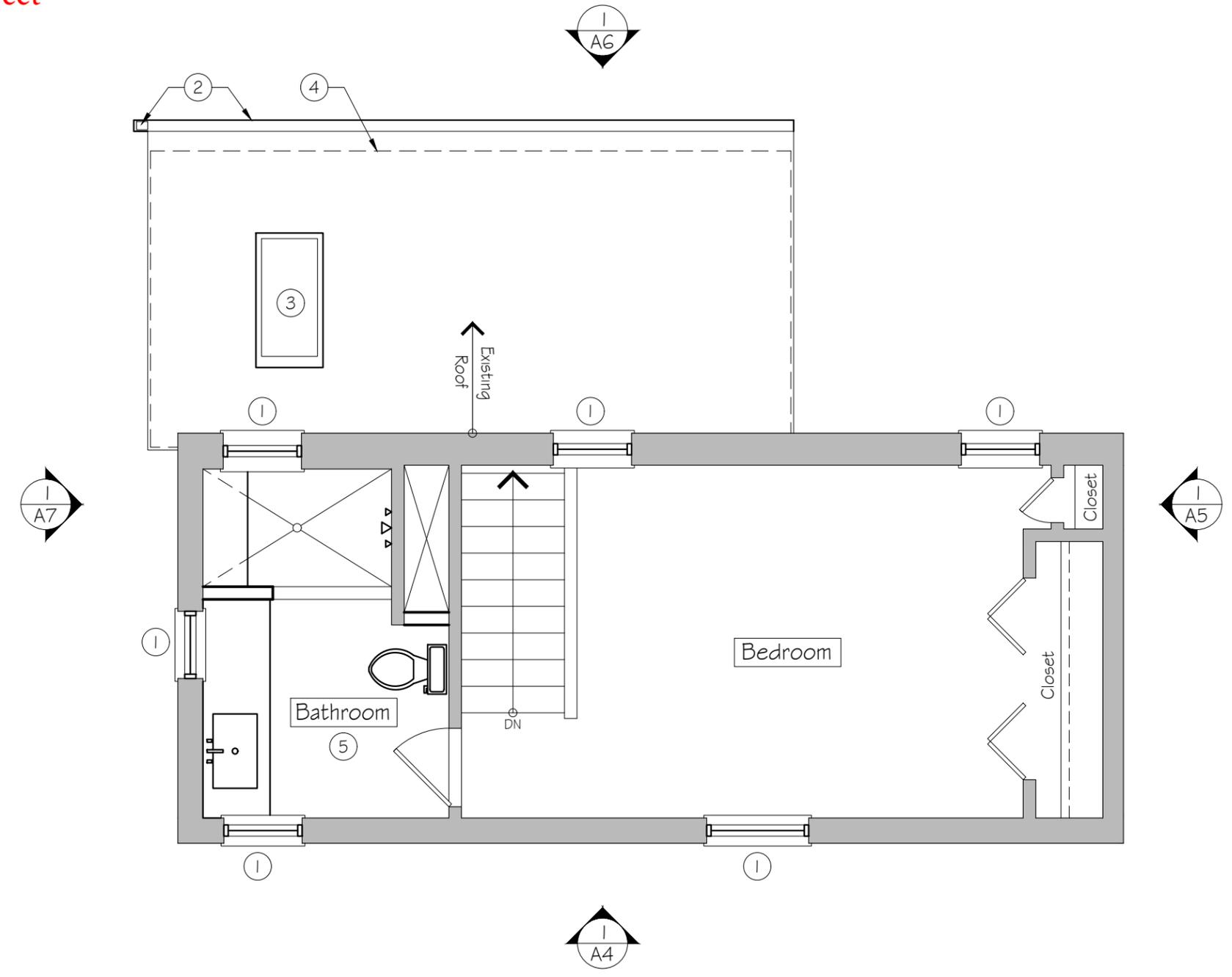
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A1

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FLOOR PLAN KEYNOTES

- ① New Wood Window With Aluminum Clad Simulated Divided Lights
- ② New Pre-Finished Aluminum Gutter & Downspout
- ③ New Skylight
- ④ Line Of Wall Below
- ⑤ New Tile Flooring



FLOOR PLAN LEGEND:

- EXISTING WALL TO REMAIN
- NEW 2x4 STUD WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR

① Proposed Second Floor Plan
 Scale: 1/4" = 1' - 0"

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Proposed Second Floor Plan
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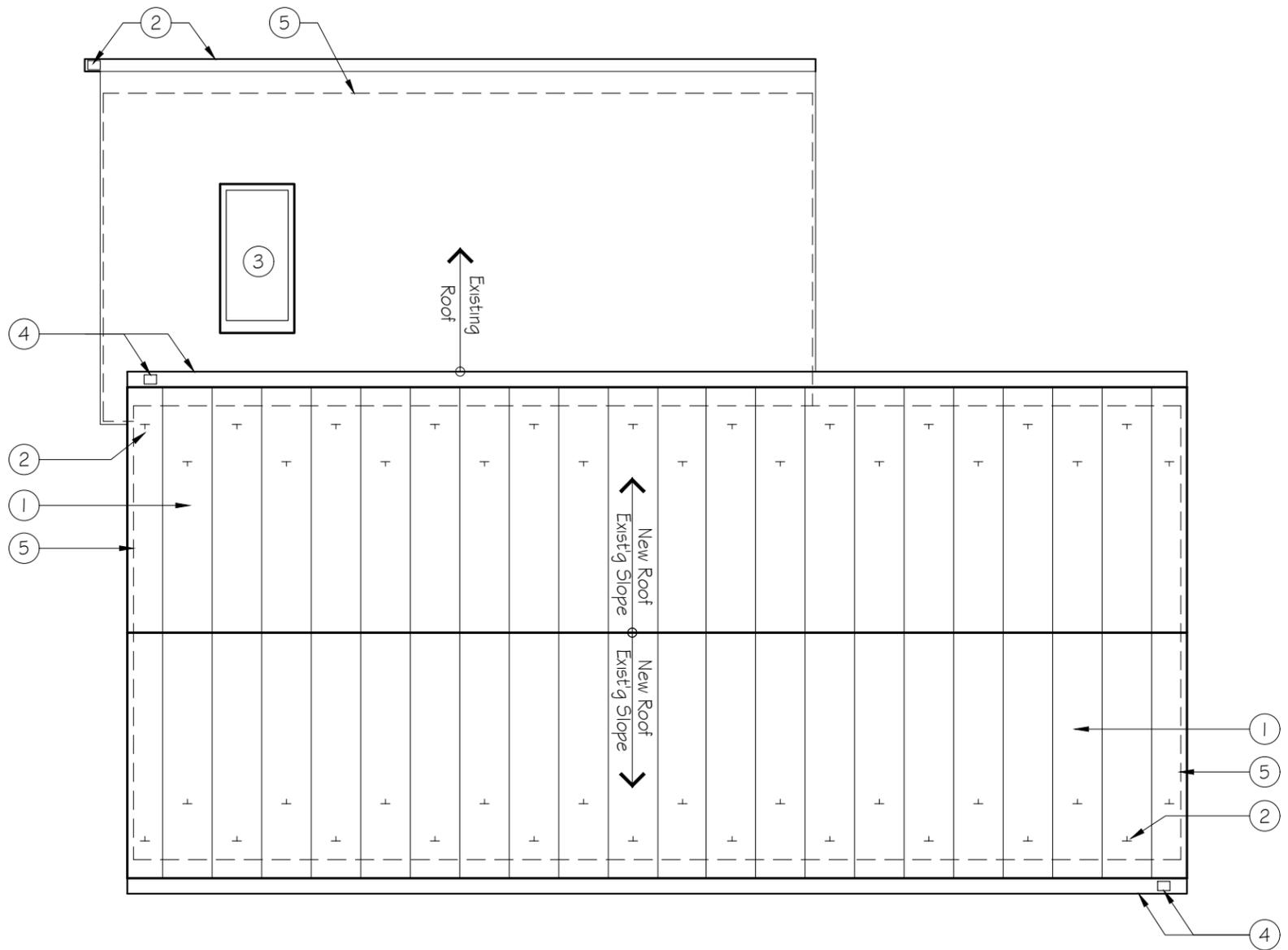
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A2

Application & Materials
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FLOOR PLAN KEYNOTES

- ① New Standing Seam Metal Roof
- ② New Snowguards
- ③ New Skylight
- ④ New Pre-Finished Aluminum Gutter & Downspout
- ⑤ Line Of Wall Below



① Proposed Roof Plan
 Scale: 1/4" = 1' - 0"

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BAR Submittal
 Submission:
 December 05, 2016
 Date:

Sheet No.
A3

Application & Materials
 BAR2016-00425 & 00426
 724 S Fairfax Street
 12/5/2016



1 Proposed Front Elevation
 Scale: 1/4" = 1' - 0"

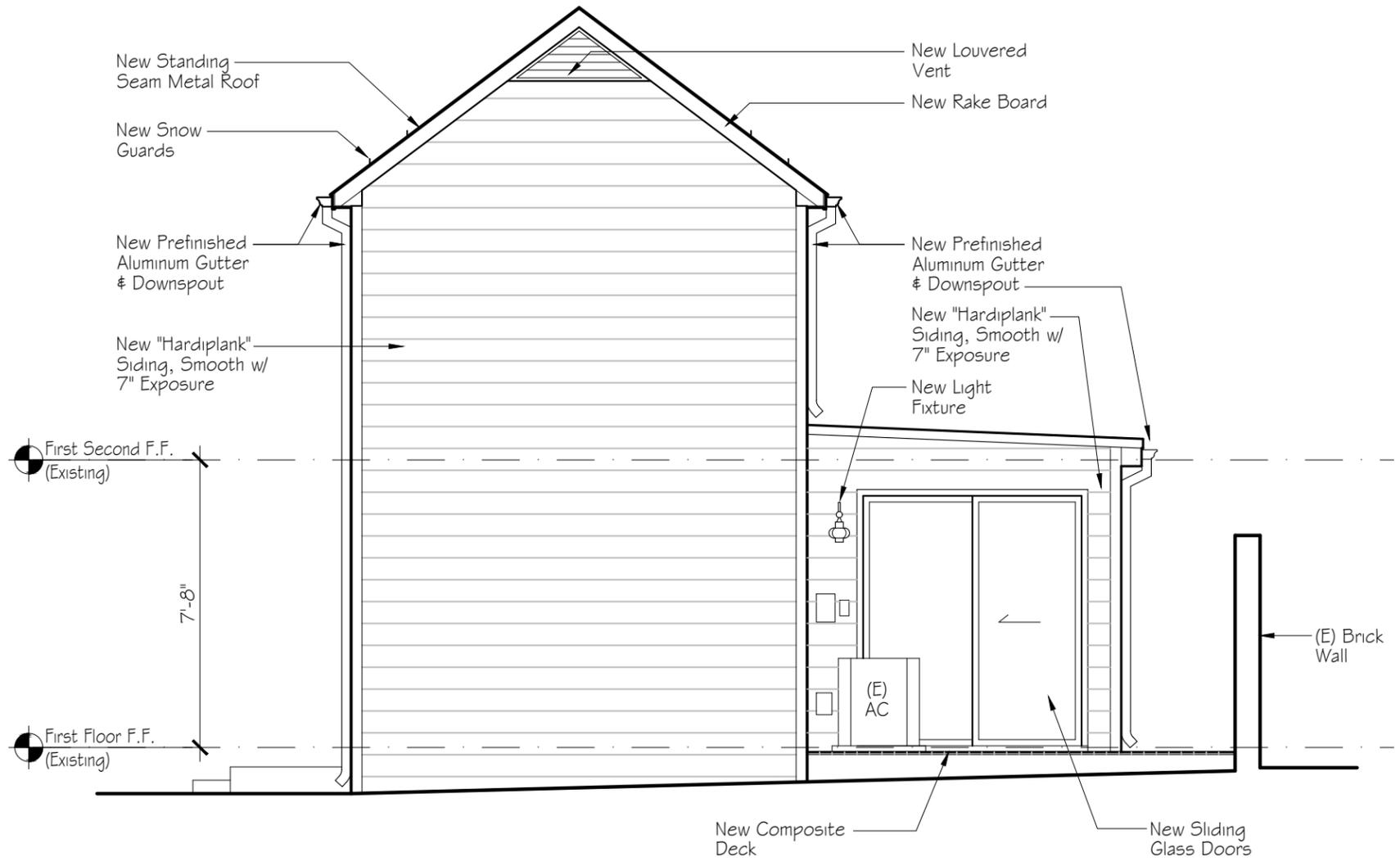
CRAFTED
ARCHITECTURE LLC
 Christine A. Kelly, AIA
 950 N Washington Street, Suite 234, Alexandria, Virginia 22314
 ph 703-768-7371 e-mail christine@craftedarchitecture.com

Proposed Front Elevation
 Drawing:
 724 South Fairfax St.
 Alexandria, VA
 Project:

BAR Submittal
 Submission:
 December 05, 2016
 Date:

Sheet No.
A4

Application & Materials
 BAR2016-00425 & 00426
 724 S Fairfax Street
 12/5/2016



1 Proposed Side Elevation
 Scale: 1/4" = 1' - 0"

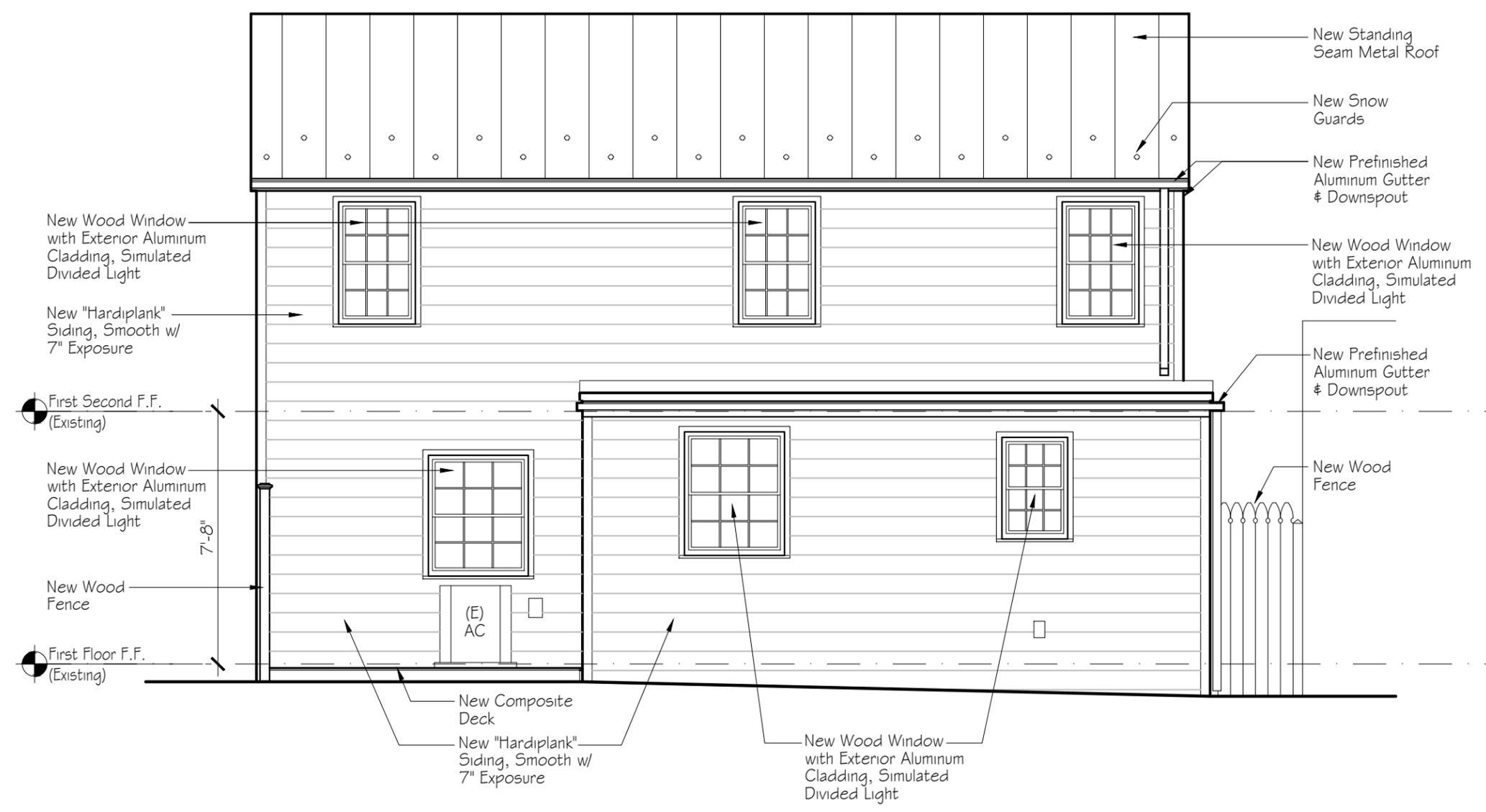
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Proposed Side Elevation
 Drawing:
 724 South Fairfax St.
 Alexandria, VA
 Project:

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Sheet No.
A5

Application & Materials
 BAR2016-00425 & 00426
 724 S Fairfax Street
 12/5/2016



1 Proposed Rear Elevation
 Scale: 1/4" = 1' - 0"

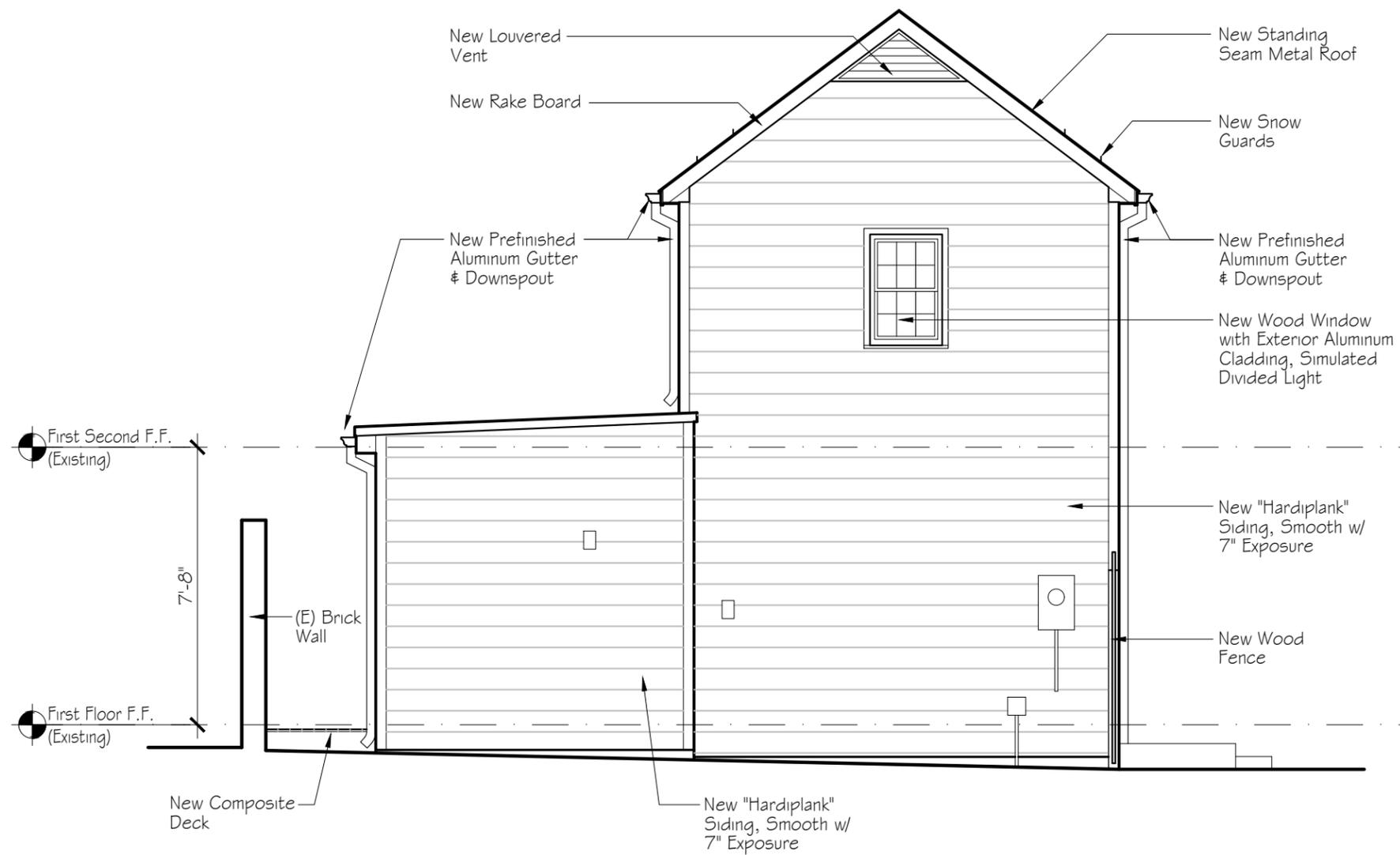
CRAFTED
ARCHITECTURE LLC
 Christine A. Kelly, AIA
 950 N Washington Street, Suite 234, Alexandria, Virginia 22314
 ph 703-768-7371 e-mail christine@craftedarchitecture.com

Proposed Rear Elevation
 Drawing:
 724 South Fairfax St.
 Alexandria, VA
 Project:

BAR Submittal
 Submission:
 December 05, 2016
 Date:

Sheet No.
A6

Application & Materials
 BAR2016-00425 & 00426
 724 S Fairfax Street
 12/5/2016



1 Proposed Side Elevation
 Scale: 1/4" = 1' - 0"

CRAFTED ARCHITECTURE LLC

Christine A. Kelly, AIA
 950 N Washington Street, Suite 234, Alexandria, Virginia 22314
 ph 703-768-7371 e-mail christine@craftedarchitecture.com

Proposed Side Elevation

Drawing:

724 South Fairfax St.
 Alexandria, VA

Project:

BAR Submittal

Submission:

December 05, 2016

Date:

Sheet No.

A7

ADDRESS OF PROJECT: 724 South Fairfax

TAX MAP AND PARCEL: 080.04-02-37 ZONING: Rm

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Michael Lyons

Address: 724 South Fairfax St.

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: mslyons65@hotmail.com

Authorized Agent (if applicable): Attorney Architect _____

Name: Christine A Kelly

Phone: 703-768-7371

E-mail: christine@craftedarchitecture.com

Legal Property Owner:

Name: Michael Lyons

Address: 724 South Fairfax St.

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: mslyons@hotmail.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

Application & Materials
BAR2016-00425 & 00426
724 S Fairfax Street
12/5/2016

NATURE OF PROPOSED WORK: Please check all that apply

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: Please check all that apply.
 - awning
 - doors
 - lighting
 - other ROOF MATERIAL
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Remove existing siding, roofing, windows, doors and shutters and replace with the following:
 Hard plank siding - painted
 standing seam metal roof
 Aluminum clad, simulated divided light windows
 Wood Exterior Doors
 Operable shutters

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the Design Guidelines for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

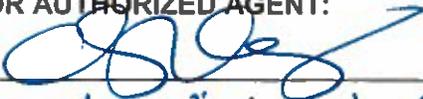
- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 
Printed Name: Christine A. Kelly
Date: 12/5/2016

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Michael Lyons	724 South Fairfax St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 724 South Fairfax St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Michael Lyons	724 South Fairfax St	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/5/2016
Date
Christine A. Kelly, AIA
Printed Name

Signature